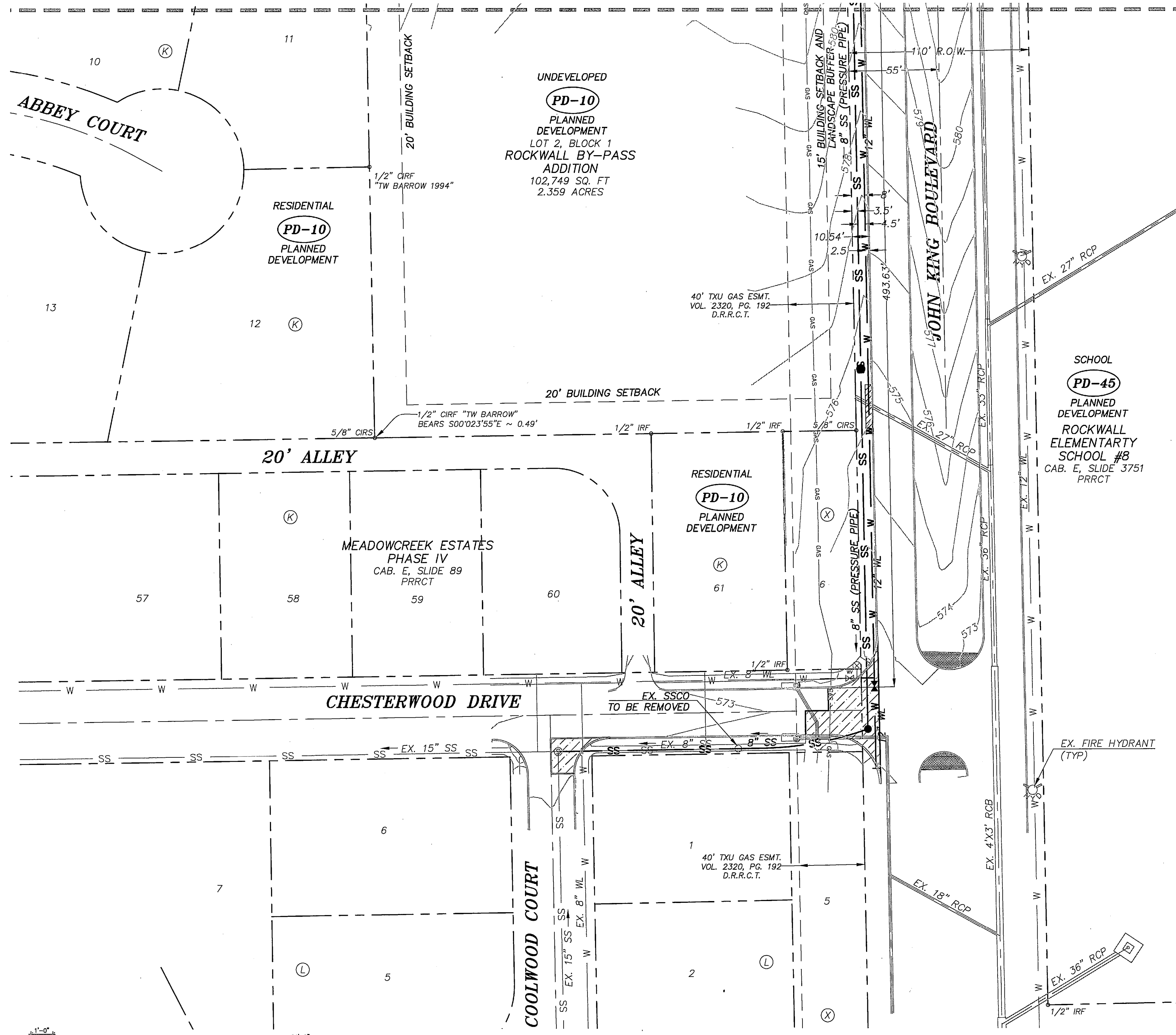
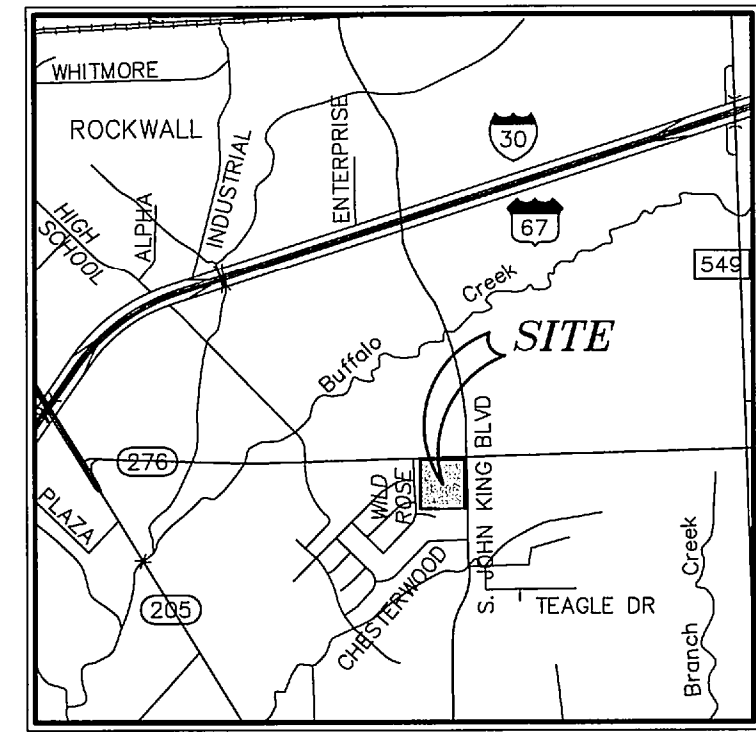
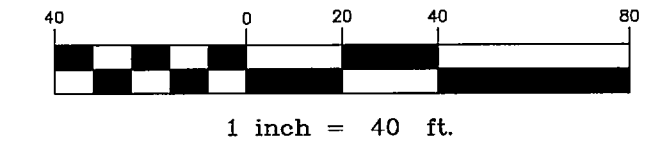
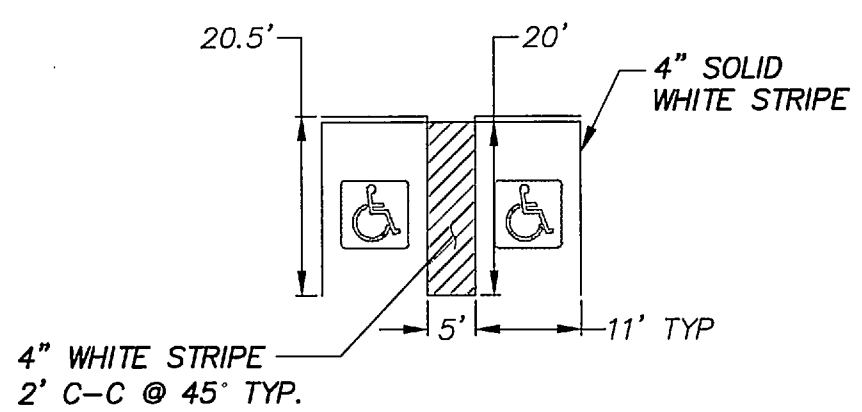


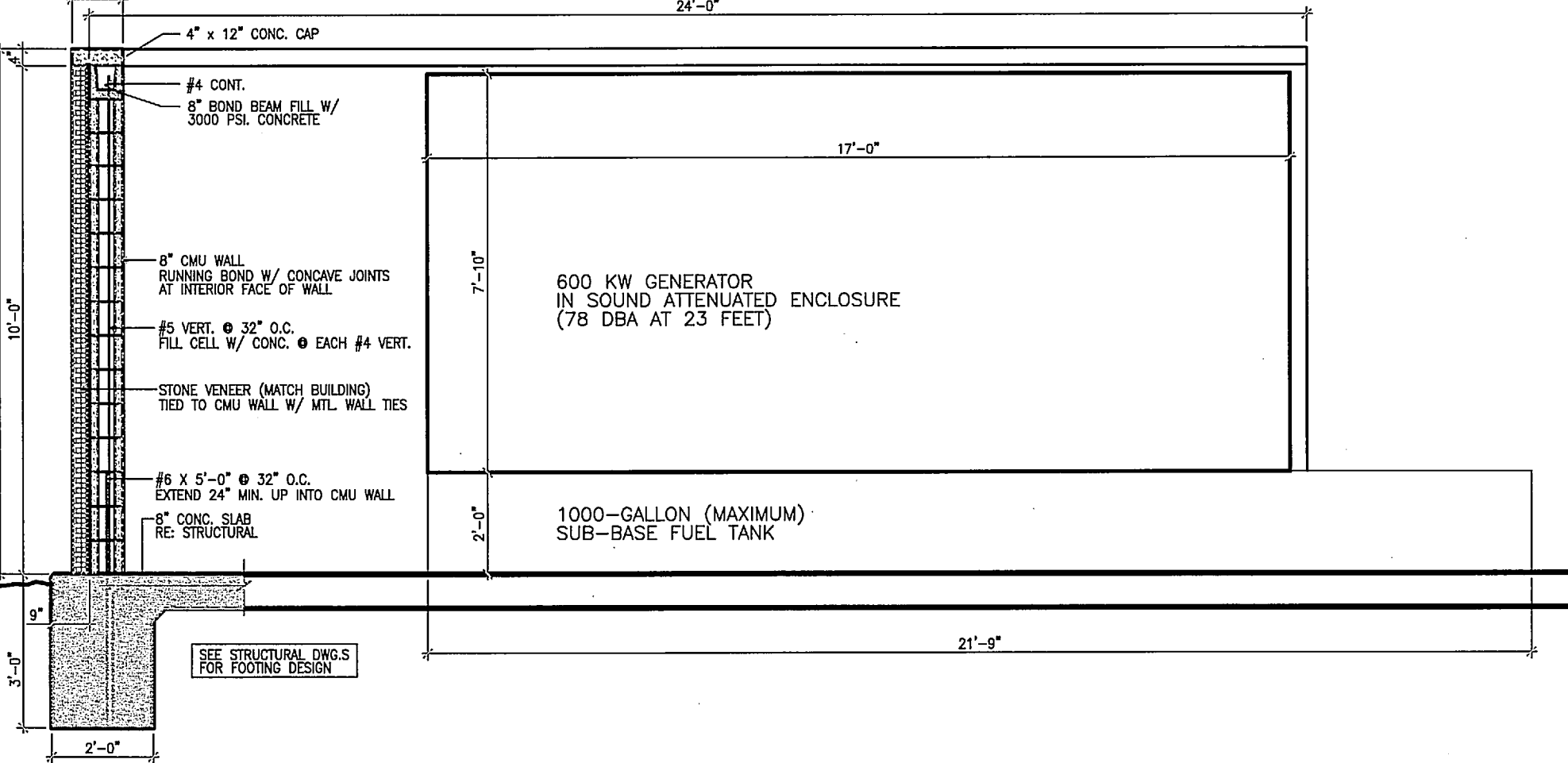
SHEET A



TYPICAL ACCESSIBLE PARKING DETAIL



VICINITY MAP  
N.T.S.



GENERATOR SCREEN  
1/2" = 1" (SECTION)

NOTES:

1. TYPICAL PARKING STALL IS 20' LONG X 9' WIDE.
2. ACCESSIBLE PARKING STALL IS 20' LONG X 11' WIDE.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
6. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
7. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TEN TO TWENTY FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
8. PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
9. REFER TO PHOTOMETRIC PLAN FOR LIGHTING TYPE AND INTENSITY INFORMATION.
10. ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.
11. THERE SHALL BE AT LEAST 3' CLEARANCE AROUND FIRE HYDRANTS.
12. PROPOSED LIGHT FIXTURES SHALL BE 20 FT ABOVE FINISHED GRADE.
13. ALL SIDEWALK AND PAVEMENT WILL BE CONCRETE UNLESS OTHERWISE NOTED.
14. A SEPARATE PERMIT WILL BE REQUIRED FOR ALL SIGNS.
15. PROPOSED CONSTRUCTION TYPE IS VA (1-HOUR FIRE RATED) WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
16. ALL DRIVES AND PARKING AREAS SHALL BE CONCRETE PAVEMENT.
17. ALL PROPOSED STORM SYSTEMS TO BE PRIVATE UNLESS OTHERWISE NOTED.
18. ON-SITE STORM RUNOFF FLOWS TOWARD AND DISCHARGES INTO DETENTION POND.
19. REFER TO ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE, GENERATOR UNIT SCREEN, AND AREA LIGHT DETAILS.

BENCHMARK:

BM No. 1  
City of Rockwall R-19. Brass monument at the northwest corner of Silverview & Diamond Way, ±500' south of SH 276.  
Published NAVD88 Elev: 600.69'

BM No. 2  
Box cut on top of the west curb line of SH 205 Bypass, on the south curb return of a driveway, 615' south of the centerline of SH 276, and 19' northeast of a 5/8" capped iron rod stamped "Mycoskie McInnis".  
Elev: 581.15'

GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MYCOSKIE MCINNIS ASSOCIATES, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

ARCHITECT:  
WILLIAM STAFFORD  
P.O. BOX 1166  
FORT SMITH, AR 72902  
TEL: (479) 783-5015

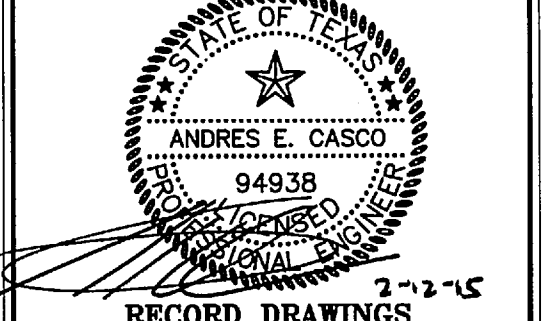
OWNER/DEVELOPER:  
OAC SENIOR LIVING  
CENTER, LLC  
610 TOWSON AVENUE  
FORT SMITH, AR 72902  
TEL: (479) 783-5015  
CONTACT: RICK GRIFFIN

SUBMITTAL DATE: APRIL 30, 2013

OAC SENIOR LIVING, LLC.  
ROCKWALL BY-PASS ADDITION  
SITE PLAN - SHEET B  
ROCKWALL, TEXAS

PROJECT TITLE:  
OAC SENIOR LIVING, LLC.  
ROCKWALL BY-PASS ADDN.

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RECORD DRAWINGS  
PROJECT NUMBER: 2651-00-01  
PROJECT MANAGER: J. SUMPTER  
DRAWN BY: S. BELL  
CHECKED BY: A. CASCO  
ISSUE DATE: 04/30/2013

TO THE BEST OF OUR KNOWLEDGE MYCOSKIE MCINNIS ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS IS BASED ON SURVEY DATA, VISUAL POST-CONSTRUCTION FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE CONTRACTOR.

02.12.15 RECORD DRAWINGS AEC

REV. DATE DESCRIP. BY

SHEET CONTENT:  
SITE PLAN - SHEET B

SHEET NO: 5

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