

DRAINAGE AREA TABLE

DRAINAGE AREA #	TOTAL DRAINAGE AREA (ac.)	COEFFICIENT OF RUNOFF C	TIME OF CONCENTRATION (min.)	I(10) (lph)	I(25) (lph)	I(100) (lph)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
EXISTING	.645	.60	10	7.30	8.40	9.80	2.83	3.25	3.79
1	.593	.80	10	7.30	8.40	9.80	3.46	3.99	4.65
2	.052	.80	10	7.30	8.40	9.80	0.30	0.35	0.41
TOTAL RUNOFF				3.76	4.34	5.06			

NOTES: INFESTRIES DETERMINED FROM NATIONAL WEATHER SERVICE TECHNICAL PAPER NO. 40
RATIONAL METHOD USED TO CALCULATE FLOW RATES (Q) @ 10-MIN

POND ANALYSIS

PRE-DEVELOPED Q100 = 3.79 cfs
POST-DEVELOPED Q100 = 5.06 cfs
SHEET FLOW TO EAST Q100 = 0.41 cfs
ALLOWABLE DISCHARGE OUT OF POND = 3.79cfs - 0.41cfs = 3.38cfs

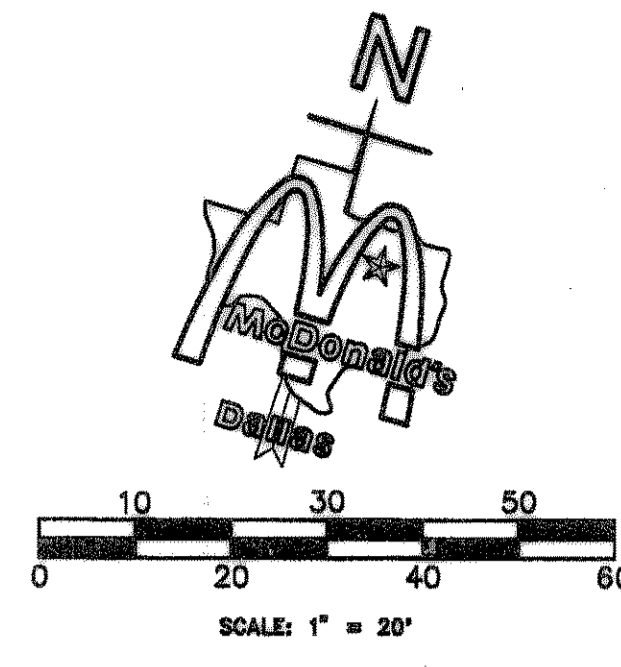
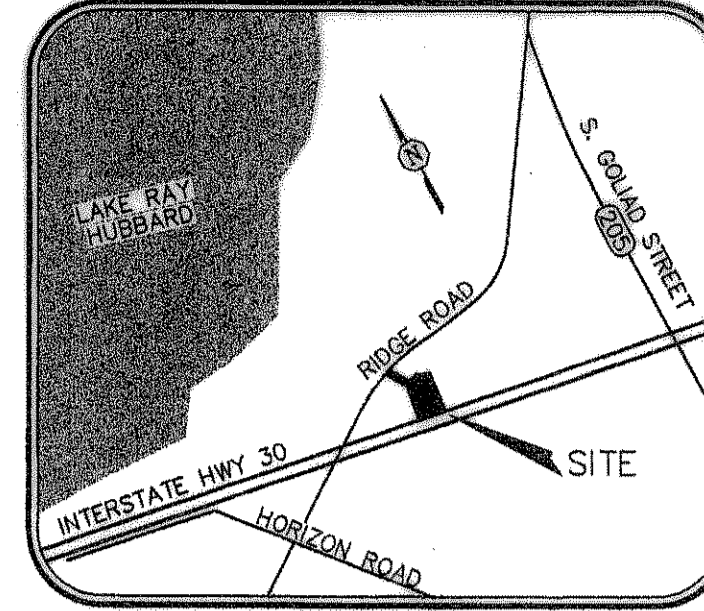
POND SIZING BASED UPON MODIFIED RATIONAL METHOD:

TOTAL VOLUME REQUIRED: 2372 cf (0.0545 Ac.Ft.)
TOTAL VOLUME PROVIDED: 2649 cf (0.0608 Ac.Ft.)
SPILLWAY (TOP) ELEVATION: 560.00

OUTFALL STRUCTURE

22.5 LF. OF (1) 12" RCP @ 0.98%
OUTFLOW FL = 567.00
INFLOW FL = 567.22
QCAP = 3.80 cfs
VEL. = 4.49 fps

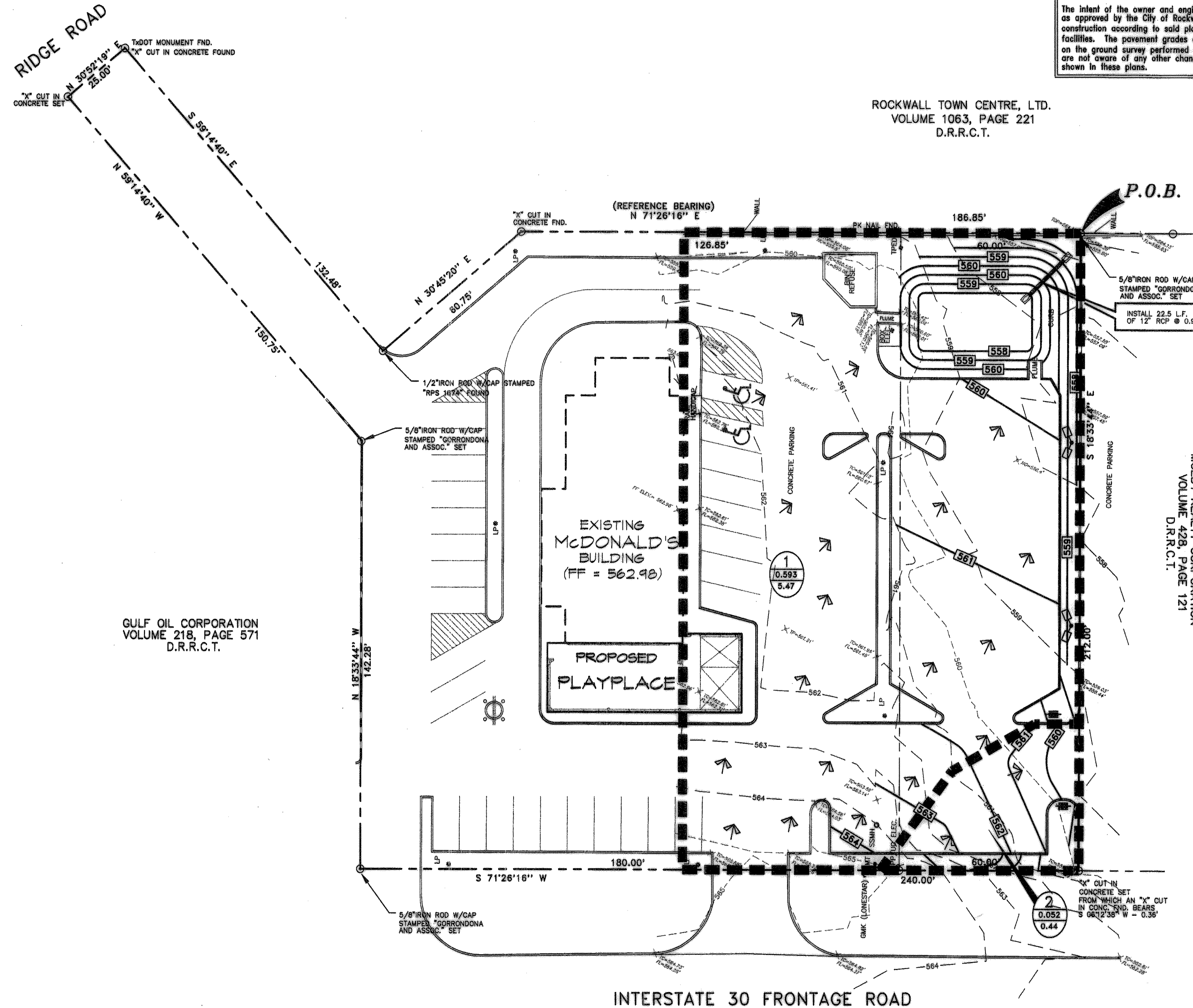
VICINITY MAP



RECORD DRAWINGS

07/25/2000
The intent of the owner and engineer was to construct these facilities according to these plans as approved by the City of Rockwall. The lines and grades were set on the ground for construction according to said plans. The City of Rockwall inspected the construction of these facilities. The pavement grades and above the ground utility appurtenances were verified by an on the ground survey performed after completion of construction and are shown hereon. We are not aware of any other changes or revisions to these plans during construction except those shown in these plans.

ROCKWALL TOWN CENTRE, LTD.
VOLUME 1063, PAGE 221
D.R.R.C.T.



LEGEND

- LIGHT & POLE PER RECOMM'D. (METAL HALIDE LAMP AT 400 WATT, 110,000 LUMENS ON 20' HGT. POLE)
- FIRE HYDRANT
- WATER VALVE
- WATER METER (PROPOSED)
- WATER METER (EXISTING)
- SANITARY SEWER MANHOLE
- TELEPHONE RISER
- OVERHEAD ELECTRIC
- U.G.E. UNDERGROUND ELECTRIC
- W. UNDERGROUND WATER
- UGT. UNDER GROUND TELEPHONE
- PROPOSED GAS METER
- UNDER GROUND GAS LINE
- 6" S.S. SANITARY SEWER
- POWER POLE
- GUY WIRE
- TOP OF PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- 561 PROPOSED FINISHED GRADE CONTOUR
- 330 EXISTING CONTOUR
- PAVEMENT HIGHPOINT
- DRAINAGE FLOW ARROW
- 3 DRAINAGE AREA NUMBER
- 0.355 DRAINAGE AREA ACREAGE (Ac.)
- 2.19 100-yr FLOWRATE (CFS)

GULF OIL CORPORATION
VOLUME 218, PAGE 571
D.R.R.C.T.

INTERSTATE 30 FRONTAGE ROAD

BENCHMARK SPECIFICATION

BENCH MARK
TOP FLANGE BOLT ON FIRE HYDRANT BETWEEN OPEN & DASH AT INTERSECTION OF GREENCHERRY BLVD. AND I-30 FRONTAGE ROAD.

PAVING SPECIFICATION VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:
CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST.
CONCRETE:
5" TOTAL THICKNESS FOR PARKING AREA.
6" TOTAL THICKNESS FOR DRIVES.
7" TRASH ENCLOSURE PAD
6" DRIVE THRU PAD
6" IN. CONC. SURF. 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS) 18" O.C.E.W. OVER; COMPACTED CEMENT STABILIZED (4% TO 6%) SUBGRADE
CONCRETE (5.5 SACK/CY) IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI, AND A MINIMUM OF 5 ± 1.5% ENTRAINED AIR.
CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCAFFRY: N/A
NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IDENTITIES SHALL BE TAKEN UNDER PAVEMENT AREA. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION
SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.
STEVE FRIEDMAN
3477 W. TOURAY AVENUE / LINCOLN WOOD, ILLINOIS 60645
1-800-LIGHT-IT
NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

PARKING PROVIDED	
(REQUIRED 1 SPACE PER 100 S.F. OF BLDG. FLOOR SPACE 4,378/100=44)	
TOTAL SPACES EXISTING	20 SPACES 9' X 18' @ 90'
46	♿ (HANDICAP) 2 SPACES 8' X 18' @ 60'
	24 SPACES 9' X 18' @ 60'
TOTAL SPACES PROPOSED	28 SPACES 9' X 18' @ 90'
62	♿ (HANDICAP) 2 SPACES 8' X 18' @ 60'
	33 SPACES 9' X 18' @ 60'

BUILDING: EXISTING BUILDING
SURVEY INFORMATION

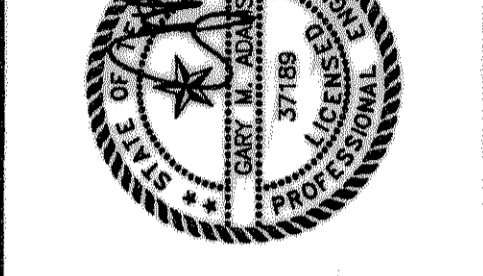
PREPARED BY: CORRODONA & ASSOCIATES, INC.
6737 BRENTWOOD STAR ROAD, SUITE 224
FORT WORTH, TEXAS 76112
817-468-1424
DATE: MAY 1999
LEGAL: ROCKWALL TOWN CENTRE

SITE CONDITIONS
ZONING: RETAIL BLDG. SETBACK FRONT: 20'
PARKING: 1/100 S.F. BLDG. SETBACK: RIGHT=0', LEFT=0'
LANDSCAPING: 15% (7.5% FRONTAGE) BLDG. SETBACK REAR: = 0'
SIGN SETBACK: N/A FLOOD ZONE: N/A
SIGN: N/A LOT SIZE: 53,431 S.F./1.23 Ac.

PLAN SCALE: 1" = 20'
STREET ADDRESS
1-30 @ F.M. 740 (RIDGE ROAD)
CITY: ROCKWALL STATE: TEXAS
COUNTY: ROCKWALL LOT #: 8 BLOCK #: A ADDITION: ROCKWALL TOWN CENTRE
REGIONAL DWG. NO: 42/398 CORPORATE DWG. NO: DRAINAGE PLAN C-2A

REV DATE DESCRIPTION BY ISSUE REF

A 5/28/99 REVISIONS AS PER CITY OF ROCKWALL J.L.



66719
MCDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
McDONALD'S P.O. BOX 49/988
1-30 @ F.M. 740 (RIDGE ROAD)
ROCKWALL, TEXAS
ACR J.K. 898-016

DALLAS REGION
ADDRESS: IRAC DRIVE - OAK BROOK, ILLINOIS 60521
DATE: _____
SIGNATURE (2 REQUIRED): _____
CO-SIGN SIGNATURES: _____
REGIONAL MGR. _____
CONST. MGR. _____
OPERATIONS DEPT. _____
REAL ESTATE DEPT. _____
CONTRACTOR OWNER _____

STATUS	DATE	BY
DATE DRAWN	4/2/99	J.L.
PLAN CHECKED		G.R.A.
AS-BUILT		

ADAMS CONSULTING ENGINEERS, INC.
CIVIL - ENVIRONMENTAL ENGINEERS
2446 E. Bouchelle Blvd., Suite 100 - Sachille, Texas 76062
Phone: (817) 588-9860 • Fax: (817) 588-7671