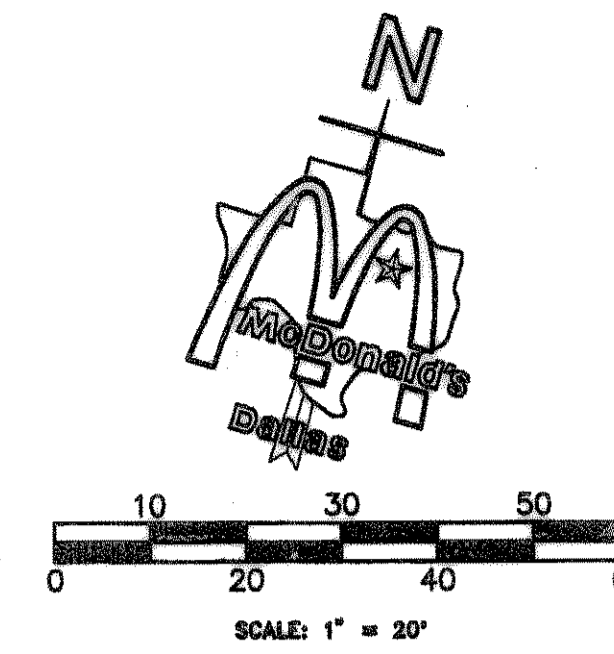
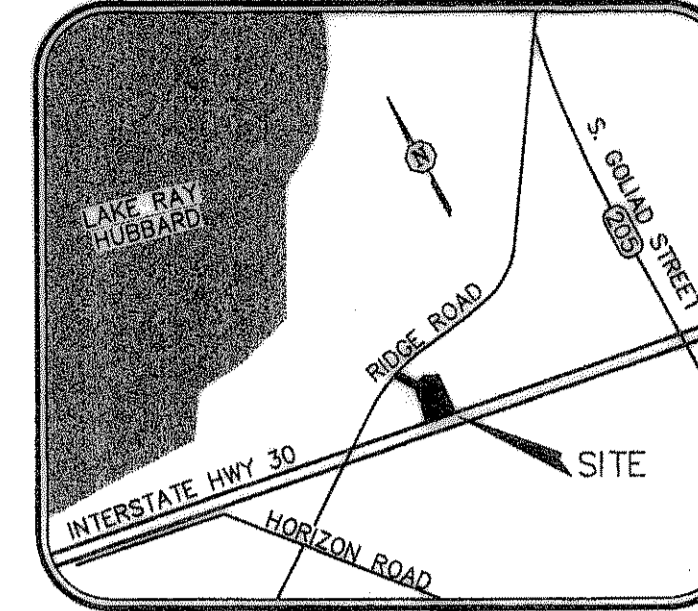


CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK	REF.	SHEET	MARK	REF.	SHEET	MARK	REF.	SHEET
1	SD-2	6"x18" VERTICAL CURB (TYP.) AT BLDG. PERIMETER	6	-	HANDRAIL	21	-	LANDSCAPE AREA, SUBGRADE ELEV. 2" BELOW TOP OF CURB
2	SD-2	18" CURB AND GUTTER (TYP.) AT PERIMETER OF SITE	12	4	SD-1 RECYCLED GUARD POST	22	10	SD-2 CONSTRUCT CONC. FLUME
3	-	CONCRETE PAVING	13	12	SD-2 CONC. WALK TO HAVE BROOM FINISH AND SEALANT	23	-	PRETREAT FOR TERMITE CONTROL
4	-	6" THK., 10' WIDE CONC. PAD REINF. PER SOILS REPORT	14	-	SD-3 PAVING SYMBOLS	24	-	4.5" CONCRETE (MIN. 3000 PSI) WITH 6x6x6 W.W.F.
5	-	6" THK. CONC. REINF. PAD WITH DETECTOR LOOP	15	-	4" PVC ROOF DRAIN FROM D.S. TO OUT FLOW AT CURB	25	-	NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.
6	-	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.	16	2	SD-1 LOT LIGHTING PRELIMINARY, REF: LOT LTG. RECOMMENDATIONS	26	-	CONCRETE TRANSFORMER PAD PER ELECTRIC COMPANY
7	-	CONC. REINF. RAMP @ 1:12 MAX. SLOPE	17	B	A2 ROOF ACCESS LADDER	27	-	ROUTE DOWNSPOUTS TO FRONT OF CURB (2"-4" PIPE OUT BACK OF CURB)
8	SD-2	PROPOSED CONCRETE WHEELSTOP	18	-	3' TAPERED CURB	28	-	PROPOSED 5' SIDEWALK
9	-	LEVEL TILE AREA, SLOPE AWAY FROM BLDG.	19	-	IRRIGATION WATER METER	29	-	ADD WEEP HOLES 5' ON CENTER EACH WAY (2"-4" PIPE) (WEEP HOLES ARE TO DRAIN OUT FRONT OF CURB)
10	SD-2	TILE FINISH OVER CONC. WALK	20	-	DOMESTIC WATER METER	30	-	PROPOSED RETAINING WALL (VARIABLE HEIGHT CURB)

NOTICE TO CONTRACTOR:

- CONTRACTOR SHALL INSTALL 3/4" CONDUIT WITH WIRE TO ALL LIGHT POLES. CONTRACTOR SHALL VERIFY EXACT LOCATION OF 3/4" CONDUIT WITH McDONALD'S PROJECT MANAGER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON-SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT DRIVES ON NORTH & EAST SIDE OF McDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY McDONALD'S PROJECT MANAGER.

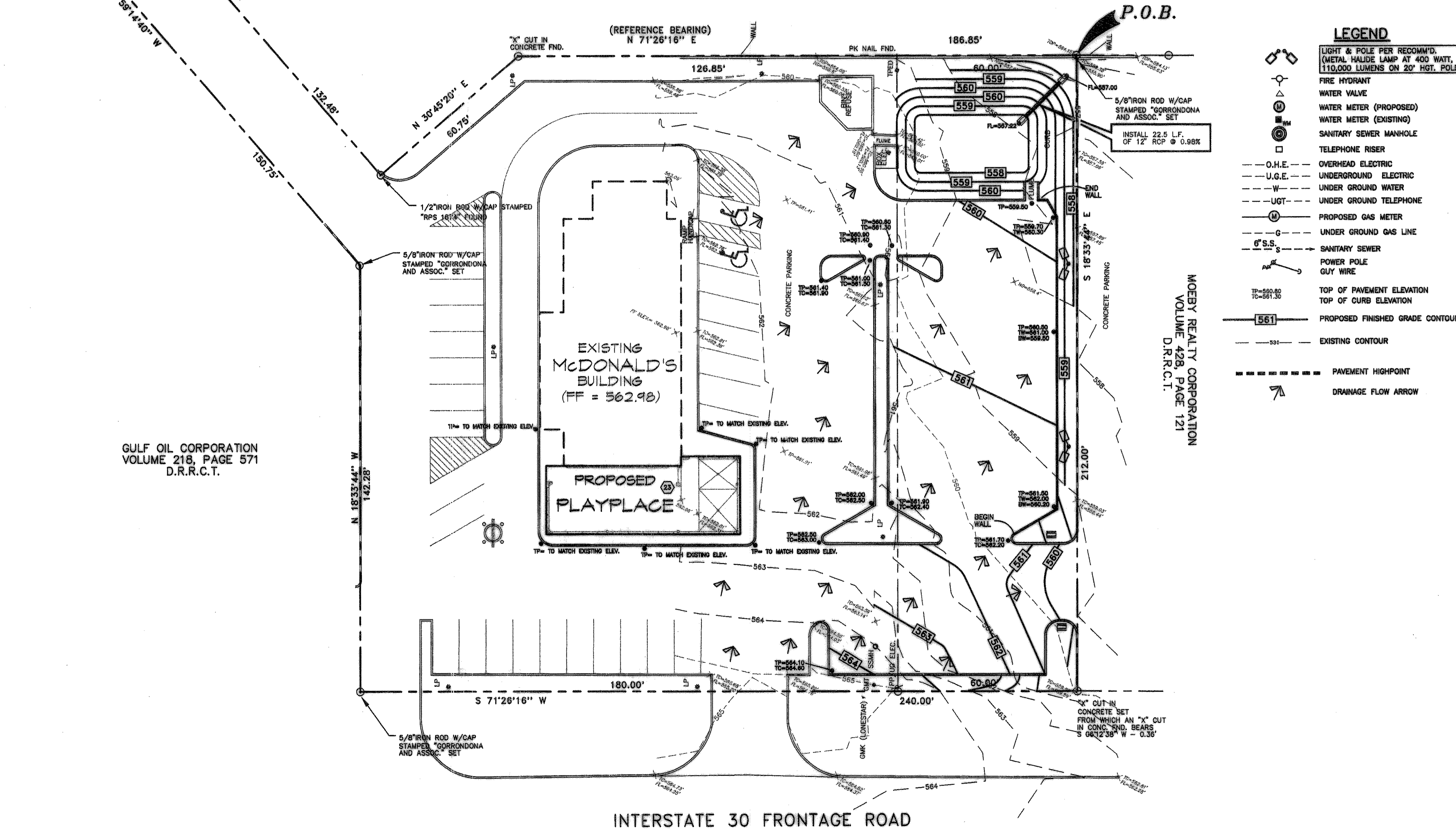
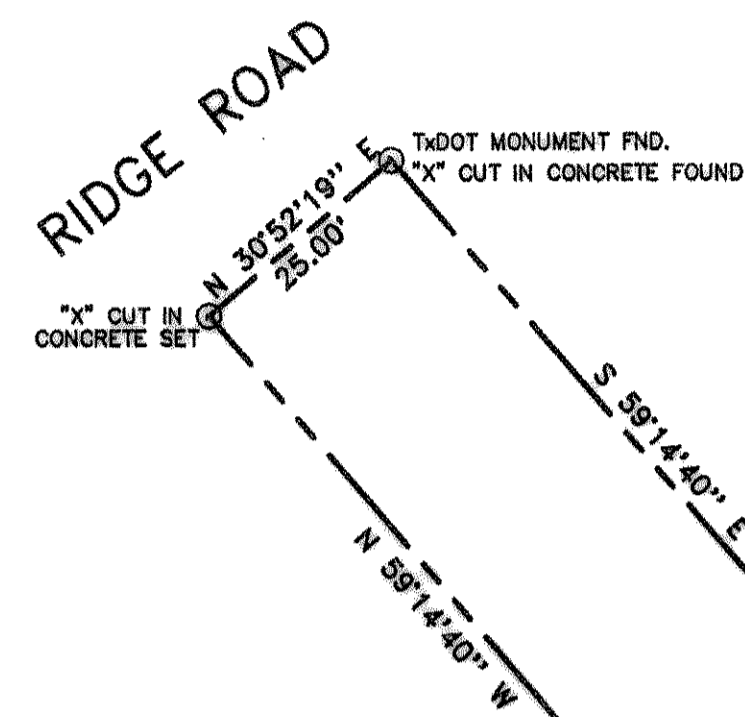
VICINITY MAP



RECORD DRAWINGS

07/25/2000
The intent of the owner and engineer was to construct these facilities according to these plans as approved by the City of Rockwall. The lines and grades were set on the ground for construction according to said plans. The City of Rockwall inspected the construction of these facilities. The pavement grades and above the ground utility appurtenances were verified by an on the ground survey performed after completion of construction and are shown hereon. We are not aware of any other changes or revisions to these plans during construction except those shown in these plans.

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LEGEND

- LIGHT & POLE PER RECOMM'D. (METAL HALIDE LAMP AT 400 WATT, 110,000 LUMENS ON 20' HGT. POLE)
- FIRE HYDRANT
- WATER VALVE
- WATER METER (PROPOSED)
- WATER METER (EXISTING)
- SANITARY SEWER MANHOLE
- TELEPHONE RISER
- O.H.E. OVERHEAD ELECTRIC
- U.G.E. UNDERGROUND ELECTRIC
- U.G.T. UNDER GROUND TELEPHONE
- LG.T. UNDER GROUND TELEPHONE
- PROPOSED GAS METER
- UNDER GROUND GAS LINE
- S.S.S. SANITARY SEWER
- POWER POLE GUY WIRE
- TP=560.00 TO=561.00 TOP OF PAVEMENT ELEVATION
- TP=560.00 TO=561.00 TOP OF CURB ELEVATION
- 561 PROPOSED FINISHED GRADE CONTOUR
- 562 EXISTING CONTOUR
- PAVEMENT HIGHPOINT
- DRAINAGE FLOW ARROW

GULF OIL CORPORATION
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INTERSTATE 30 FRONTAGE ROAD

- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT AS THE PERIMETER OF SITE.
- FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING, LANDSCAPING AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- ALL "SPOT" ELEVATIONS SHOWN ARE AT GUTTER, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.

BENCHMARK SPECIFICATION

BENCH MARK:
TOP FLANGE BOLT ON FIRE HYDRANT BETWEEN OPEN & DASH AT INTERSECTION OF GREENCREST BLVD. AND IH-30 FRONTAGE ROAD.

PAVING SPECIFICATION VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:
CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:
5" TOTAL THICKNESS FOR PARKING AREA.
6" TOTAL THICKNESS FOR DRIVES.
7" TRASH ENCLOSURE PAD
6" DRIVE THRU PAD
6" IN. CONC. SURF. 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS 18" O.C.E.V. OVER; COMPACTED CEMENT STABILIZED (4% TO 6%) SUBGRADE
CONCRETE (5.5 SACK/CY) IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI, AND A MINIMUM OF 5 ± 1.5% ENTRAINED AIR.
CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCAFFRY: N/A
NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. DENSITIES SHALL BE TAKEN UNDER PAVEMENT AREA. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.
STEVE FRIEDMAN
3477 W. TOUHY AVENUE / LINCOLN WOOD, ILLINOIS 60645
1-800-LIGHT-IT

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

PARKING PROVIDED
(REQUIRED 1 SPACE PER 100 S.F. OF BLDG. FLOOR SPACE 4,379/100=44)

TOTAL SPACES EXISTING	20 SPACES 9' X 18' @ 90'
46	(HANDICAP) 2 SPACES 8' X 18' @ 60'
	24 SPACES 9' X 18' @ 60'
TOTAL SPACES PROPOSED	28 SPACES 9' X 18' @ 90'
62	(HANDICAP) 2 SPACES 8' X 18' @ 60'
	33 SPACES 9' X 18' @ 60'

BUILDING: EXISTING BUILDING
SURVEY INFORMATION

PREPARED BY: CORRONDONA & ASSOCIATES, INC.
6737 BRENTWOOD STAR ROAD, SUITE 224
FORT WORTH, TEXAS 76112
817-498-1424
DATE: MAY 1999
LEGAL: ROCKWALL TOWNE CENTRE

SITE CONDITIONS	
ZONING: RETAIL	BLDG. SETBACK FRONT: 20'
PARKING: 1/100 S.F.	BLDG. SETBACK: RIGHT=0', LEFT=0'
LANDSCAPING: 15% (7.5% FRONTAGE)	BLDG. SETBACK REAR: = 0'
SIGN SETBACK: N/A	FLOOD ZONE: N/A
SIGN: N/A	LOT SIZE: 53,431 S.F./1.23 Ac.

PLAN SCALE: 1" = 20'
STREET ADDRESS: 1-30 @ F.M. 740 (RIDGE ROAD)

CITY: ROCKWALL	STATE: TEXAS
COUNTY: ROCKWALL	LOT #: 8
	BLOCK #: A
	ADDITION: ROCKWALL TOWN CENTRE

REGIONAL DWG. NO: 42/398
CORPORATE DWG. NO: GRADING PLAN
C-2

ADAMS CONSULTING ENGINEERS, INC.
CIVIL - ENVIRONMENTAL ENGINEERS
2446 E. SMOAK BLVD. SUITE 100 • ROCKWALL, TEXAS 75086
Phone: 817/952-8860 • Fax: 817/952-7871

McDONALD'S
KROG DRIVE - OAK BROOK, ILLINOIS 60521
ADDRESS: 1-30 @ F.M. 740 (RIDGE ROAD) ROCKWALL, TEXAS
McDONALD'S L/C: 42/398
ACRI J.K. D89-016

McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	5/28/99	REVISIONS AS PER CITY OF ROCKWALL	J.L.	

REGIONAL MGR. _____
CONS. MGR. _____
OPERATIONS DEPT. _____
REAL ESTATE DEPT. _____
CONTRACTOR OWNER _____

STATUS: _____ DATE: 4/2/99 BY: J.L.
PLAN CHECKED: _____ G.R.A.
AS-BUILT: _____