

REV'S PER CITY 03/03/2011

1. MOVED TRASH ENCLOSURE OUT OF DRAINAGE EASEMENT.
2. ADDED 15' WATER EASEMENT AT EAST SIDE OF PROPERTY.
3. MOVED ELECTRIC TRANSFORMER NORTH.
4. ADDED SINGAGE NOTE.
5. ADDED 2 OFF-SITE DRAINAGE EASEMENTS AT SOUTH PROPERTY LINE.
6. ADDED FIRE LANE AT THE SOUTH SIDE OF BUILDING.
7. ADDED GUARD POST AROUND GAS METER.

REV'S PER MCD 05/24/2011

1. MOVED TRASH ENCLOSURE EAST 1.5 FEET AND MADE STORAGE WIDER BY 1.5 FEET.

NOTICE TO CONTRACTOR

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
2. TRASH ENCLOSURE FINISH TO MATCH BUILDING. REFER TO SHEET TE-1 FOR FOUNDATION DESIGN.
3. LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
4. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

SITE INFORMATION

LAND AREA: 57,647 SF (1.323 AC.)
 PD-70ISH 205 OVERLAY DISTRICT
 NONE
 PROPOSED USE: McDONALD'S RESTAURANT
 BUILDING AREA (APPROXIMATE): 4,700 S.F.
 4,700 SF/57,647 = 8.15%
 BUILDING HEIGHT: 21'-6"
 BUILDING REQUIRED PARKING: 47,000 SF/100 SF = 47 SPACES
 49
 2
 2
 2

PARKING PROVIDED:
 HANDICAP PARKING PROVIDED:
 HANDICAP PARKING REQUIRED:
 2
 2

IMPERVIOUS AREA: 44,345.62 SF (1.018 AC.)
 LANDSCAPED AREA PROVIDED: 13,301.18 SF (0.305 AC.)
 LANDSCAPED AREA REQUIRED: 8,639.11 SF (0.20 AC.)

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

- (A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
- (B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
- (C) ALL ACCESSIBLE SPACES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 80" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

CURB RAMPS:

- (D) RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- (E) RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES. (OR PAINT STRIPE)
- (F) BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
- (G) RAMPS SHALL NOT EXCEED A 1:12 SLOPE.

SIDEWALKS AND ACCESSIBLE ROUTES:

- (H) SIDEWALKS MUST BE AT LEAST 36" WIDE
- (I) SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
- (J) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

OWNER INFORMATION

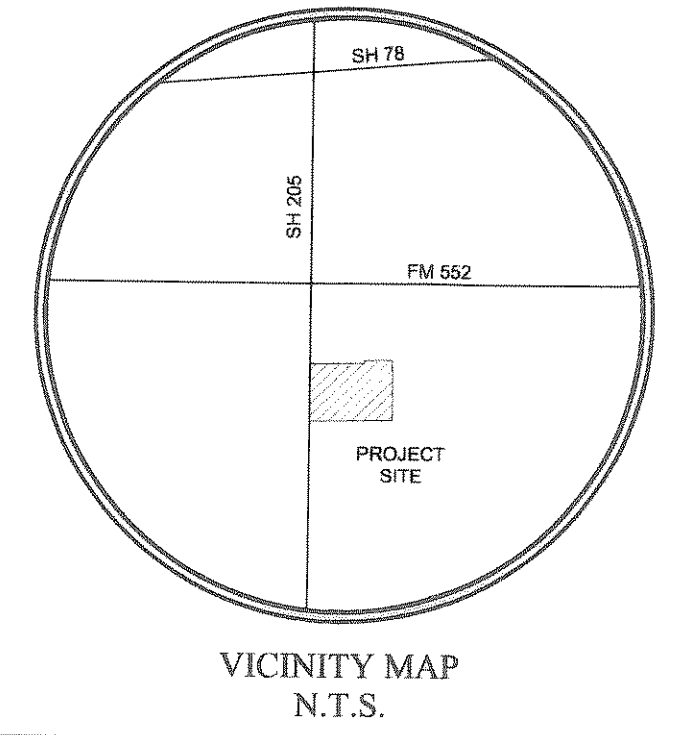
McDONALD'S
 511 E. CARPENTER FRY, STE. 375
 IRVING, TEXAS 75062
 (972) 869-5392
 CONTACT: KEVIN MCKIBBEN

HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLD WIDE COMPANY, OAKBROOK, IL PH# 1-800-957-7671

SITE LEGEND

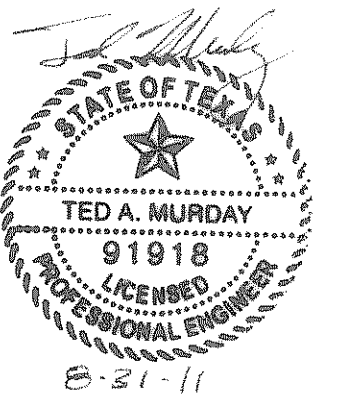
IRF	IRON ROD FOUND
IRS	IRON ROD SET
PP	POWER POLE
LP	LIGHT POLE
FH	FIRE HYDRANT
WW	WATER VALVE
WM	WATER METER
BF	BACK FLOW DEVICE
EM	ELECTRIC METER
SM	SIGNAL POLE
CV	CONTROL VALVE
SSMH	SANITARY SEWER MANHOLE
STRMH	STORM SEWER MANHOLE
W	WATER LINE
SS	SANITARY SEWER LINE
CVW	CONDUIT WITH WIRE
UGE	UNDERGROUND ELECTRIC



GENERAL NOTES

1. Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
2. 3/4" consult to locations shown at the not permitted for signing as by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
3. Lot lighting concrete footings to conform with the soils report recommendations for this site.
4. Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
5. The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and routing.
6. General Contractor must provide exact "as built" information upon completion.
7. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
8. Curb elevations shall be 2" above finish pavement unless noted otherwise.
9. All landscape areas shall be rough graded to 2" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
10. It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over the project.
11. Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
12. Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
13. Sidewalks around building shall have same subgrade preparation as building foundation.
14. All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
15. Topographic information taken from a Topographic Survey performed by AJ BEDFORD GROUP, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found on the construction documents (ps&e), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
16. McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
17. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	02/08/11	FIRST SUBMITTAL	CAS	
2	03/03/2011	REVISIONS PER CITY COMMENTS	RL	
1	03/03/2011	REVISIONS PER MCD	RL	
1	08/25/2011	RECORD DRAWINGS	BS	RD



McDONALD'S

THESE AND SIMILAR NOTATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

TIME Registration #: F-1002
 McDONALD'S L.C. #42-2854
 ADAMS ENGINEERING No. 2088 101

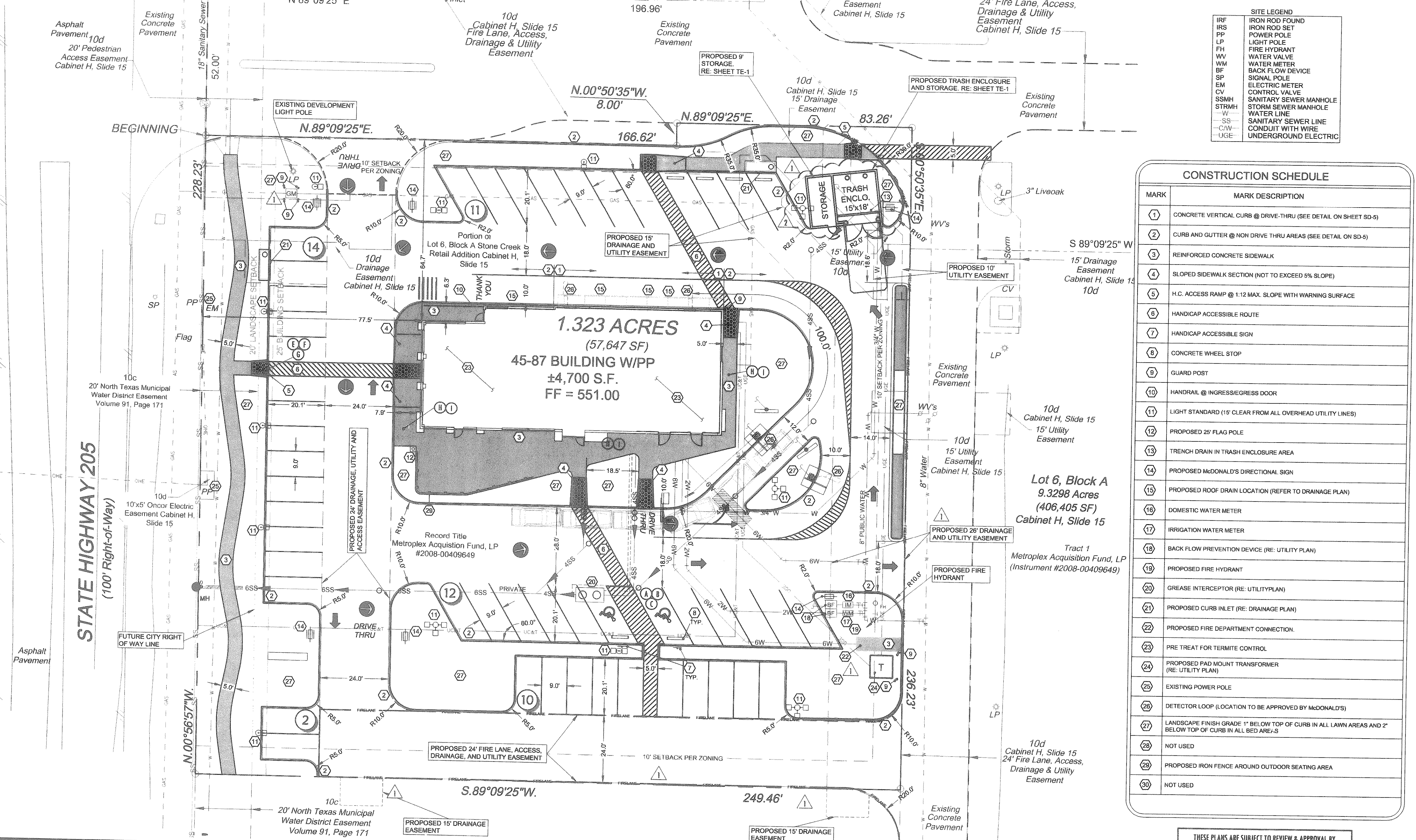
ROCKWALL, TEXAS
 SH 205 & SH 552

RECORD DRAWINGS August 2011

These plans have been revised to reflect those changes, if any, that deviated from the City approved construction plans. All revisions are based on construction records furnished to ADAMS by the contractor of record. We are not aware of any other changes as ADAMS was not on-site through the construction duration.

ENGINEER: *John Murphy*

#: 91918 DATE: 8-31-11



CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (SEE DETAIL ON SHEET SD-5)
2	CURB AND GUTTER @ NON DRIVE THRU AREAS (SEE DETAIL ON SD-5)
3	REINFORCED CONCRETE SIDEWALK
4	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE)
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN
8	CONCRETE WHEEL STOP
9	GUARD POST
10	HANDRAIL @ INGRESS/EGRESS DOOR
11	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	PROPOSED 20' FLAG POLE
13	TRENCH DRAIN IN TRASH ENCLOSURE AREA
14	PROPOSED McDONALD'S DIRECTIONAL SIGN
15	PROPOSED ROOF DRAIN LOCATION (REFER TO DRAINAGE PLAN)
16	DOMESTIC WATER METER
17	IRRIGATION WATER METER
18	BACK FLOW PREVENTION DEVICE (RE: UTILITY PLAN)
19	PROPOSED FIRE HYDRANT
20	GREASE INTERCEPTOR (RE: UTILITY PLAN)
21	PROPOSED CURB INLET (RE: DRAINAGE PLAN)
22	PROPOSED FIRE DEPARTMENT CONNECTION
23	PRE TREAT FOR TERMITE CONTROL
24	PROPOSED PAD MOUNT TRANSFORMER (RE: UTILITY PLAN)
25	EXISTING POWER POLE
26	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
27	LANDSCAPE FINISH GRADE: 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
28	NOT USED
29	PROPOSED IRON FENCE AROUND OUTDOOR SEATING AREA
30	NOT USED

PAVING SPECIFICATION

VERIFY W/MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:
 TERRACON CONSULTANTS, INC.
 1015 2010 PROJECT NO. 94105225

BENCHMARK

1. STANDARD CITY OF ROCKWALL MONUMENT STATION NO. 10 IS 2" BRASS DISC SET IN THE CENTER MEDIAN OF NORTH LAKESHORE DRIVE NEAR THE INTERSECTION OF NORTH LAKESHORE DRIVE AND NORTH ALAMO. POSTED ELEVATION = 524.79

SURVEY INFORMATION

PREPARED BY: AJ BEDFORD GROUP, INC.
 401 N. ALAMO RD.
 ROCKWALL, TX
 (972) 722-0225
 DATE: 10/01/2010

LEGAL DESCRIPTION: LOT 6, BLOCK A, STONE CREEK RETAIL ADDITION

PLAN SCALE: 1" = 20'

ADDITION
STONE CREEK RETAIL
 STREET ADDRESS
SH 205 & SH 552

CITY: ROCKWALL STATE: TEXAS

COUNTY: ROCKWALL COUNTY SURVEY: W.T. DEWEES ABSTRACT NO. ---

LC NUMBER: 042-2854 CORPORATE DWG. NAME: SITE PLAN

PLAN APPROVALS

REGIONAL MGR	CONIST MGR	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURES

STATUS	DATE	BY
DATE DRAWN	FEB 2011	CC
PLAN CHECKED		
AS-BUILT		

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.