

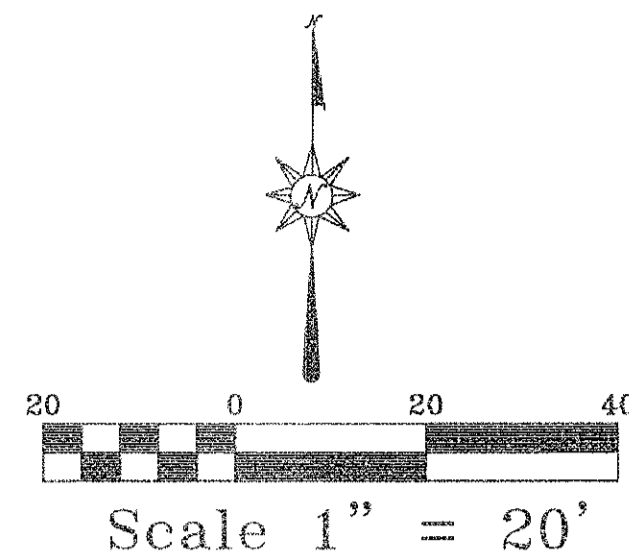








FOR UTILITY LOCATES CALL:  
972-771-7730 MIN 48 HR NOTICE



LOT 3  
LAKE SHORE COMMONS  
ADDITION, LOTS 1-4,  
BLOCK A  
CAB. 1, PG. 185  
P.P.H.C.T.

**NOTES:**

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
5417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

| LEGEND                                    |                                   |
|---|-----------------------------------|
| <b>PROPOSED</b>                           | <b>EXISTING</b>                   |
| — 500 = PROPOSED CONTOURS                 | ⊗ = POWER POLE                    |
| 515.00 = SPOT ELEVATION AT FINISHED GRADE | ⊙ = ANCHOR                        |
| 514.00 = INDICATES TOP OF CURB            | ⊕ = WATER METER                   |
| 513.50 = INDICATES GUTTER ELEVATION       | ⊖ = WATER VALVE                   |
| (W) = PROPOSED WATER LINE                 | ⊗ = IRRIGATION CONTROL VALVE      |
| (SS) = PROPOSED SANITARY SEWER LINE       | ⊕ = TELEPHONE PEDESTAL            |
| (SD) = PROPOSED STORM DRAIN LINE          | ⊖ = GAS METER                     |
| (C) = PROPOSED CONDUIT                    | ⊗ = MAILBOX                       |
| (G) = PROPOSED GAS                        | ⊕ = LIGHT POLE                    |
| (C) = CONCRETE CURB PER CITY STD          | ⊖ = FIRE HYDRANT                  |
| (1) = WATER SERVICE TAP NO                | BL = BUILDING LINE                |
|   | UR = UTILITY EASEMENT             |
|   | DUR = DRAINAGE & UTILITY BASEMENT |
|   | FOC = FIBER OPTIC CABLE MARKER    |
|   | GAS = GAS SIGN                    |
|   | SSSB = SUB SURFACE SERVICE BOX    |
|   | BCS = BURIED CABLE SIGN           |
|   | ⊕ = TRAFFIC SIGNAL                |
|   | U.E. = UTILITY EASEMENT           |
|   | ⊖ = ATMOS FLAG                    |

**PAVING REQUIREMENTS**

SEE SOILS REPORT FOR ADDITIONAL INFORMATION, REINFORCEMENT, SUBGRADE & OPTIONS.

- DUMPSTER AREA - 7" MIN CONC THICKNESS,  
3600 PSI; #3 @ 18" ONEW  
6.5 SACK MIN/CY  
PER SOILS REPORT
- PARKING - 5" MIN CONC THICKNESS,  
3000 PSI; #3 @ 18" OCEW  
5.5 SACK MIN/CY  
PER SOILS REPORT
- SIDEWALK - 4" MIN CONC THICKNESS,  
3000 PSI; #3 @ 24" OCEW  
5.5 SACK MIN/CY
- FIRE LANE - 6" MIN CONC THICKNESS;  
3600 PSI; #3 @ 18 OCEW  
6.0 SACK/CY MACHINE  
6.5 SACK/CY HAND  
PER CITY STD  
ALL FIRE LANES SHALL BE STRIPPED OR SIGNED  
IN ACCORDANCE WITH THE 2015 INTERNATIONAL  
FIRE CODE AS ADOPTED BY THE CITY OF ROCKWALL
- DRIVE AISLE - 6" MIN CONC THICKNESS,  
3600 PSI; #3 @ 18" OCEW  
6.5 SACK MIN/CY  
PER SOILS REPORT

**PAVING NOTES**

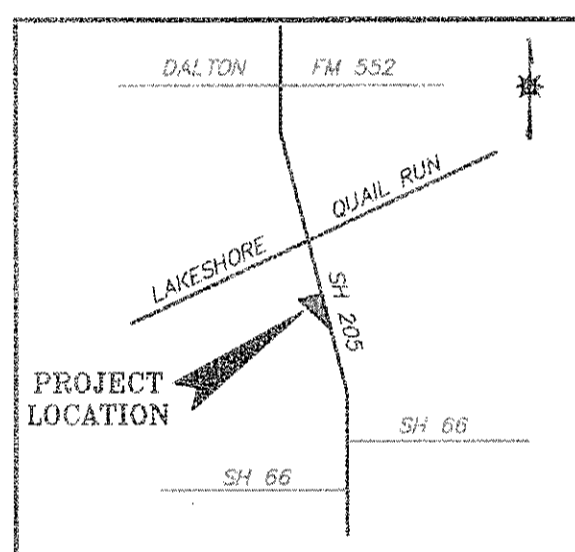
- SAW CUT CONCRETE AREAS SO THAT NO LARGER THAN 15'X15' CONCRETE AREAS REMAIN.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 3 DAYS PRIOR TO ANY CONCRETE POUR.
- ANY WORK DONE IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL BARRIER FREE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY, ADA & TAS STD. SPECIFICATIONS AND DETAILS.
- PAVEMENT SHALL HAVE SEALED JOINTS ON 15 TO 20 FOOT SPACINGS, CUT TO A DEPTH OF AT LEAST 1/4 OF THE PAVEMENT THICKNESS
- EXPANSION JOINTS SHOULD BE ON 45 FOOT SPACING AND BE SEALED WITH AN ELASTOMERIC JOINT SEALANT.
- AFTER CONSTRUCTION, THE CONSTRUCTION AND EXPANSION JOINTS SHOULD BE INSPECTED AS REQUIRED AND RESEALED, IF NECESSARY.
- SOILS REPORT SHALL BE REVIEWED BY CONTRACTOR PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONCRETE PAVEMENT LONGITUDINAL BUTT JOINTS PER THE CITY OF ROCKWALL ARE REQUIRED WHERE THE NEW PAVEMENT IS PLACED AGAINST EXISTING PAVEMENT.

**NOTE:**  
ALL PAVEMENT RECOMMENDATIONS SHOWN ON THIS PLAN TO BE VERIFIED WITH SOILS REPORT PREPARED BY ALPHA TESTING, INC. REPORT NO 6162558

**RECORD DRAWING**

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

THIS RECORD DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



VICINITY MAP

**PRIVATE ADA BARRIER-FREE RAMP REQUIREMENTS:**

- TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS). SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES THAT ARE RAISED OR ETCHED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
- CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.
- RAMPS WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD. TRUNCATED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

| ADA/TAS SLOPE REQUIREMENTS |                                  |
|----------------------------|----------------------------------|
| ACCESSIBLE ROUTE           | <2% SLOPE<br><2% CROSS SLOPE     |
| RAMP & CURB RAMP           | <6.33% (1:12)<br><2% CROSS SLOPE |
| TAS PARKING & ACCESS AISLE | <2% SLOPE IN ANY DIRECTION       |

CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS

**NOTE:**  
PARKING & ACCESSIBLE ROUTES FOR DISABLED PERSONS SHALL BE DESIGNATED, DESIGNED & CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'

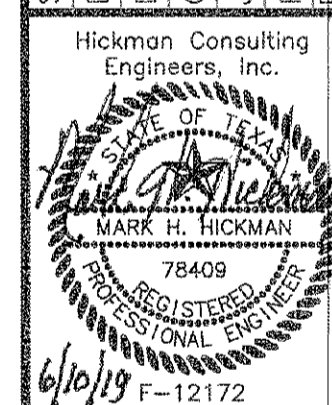
BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 475' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 488.06'

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3094 County Road 1024  
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Ph: (972)784-2499  
markredhick@gmail.com  
Planners  
Engineers

PAVING PLAN  
LAKE SHORE COMMONS  
LOT 4; LAKE SHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=20'  
DATE: APRIL 2018  
DRAWN BY: FFP  
CHK'D BY: MHH  
JOB NO: 1801-357  
FILE: 248-104-wp  
DATE SUBMITTED: 11/20/17/18/19

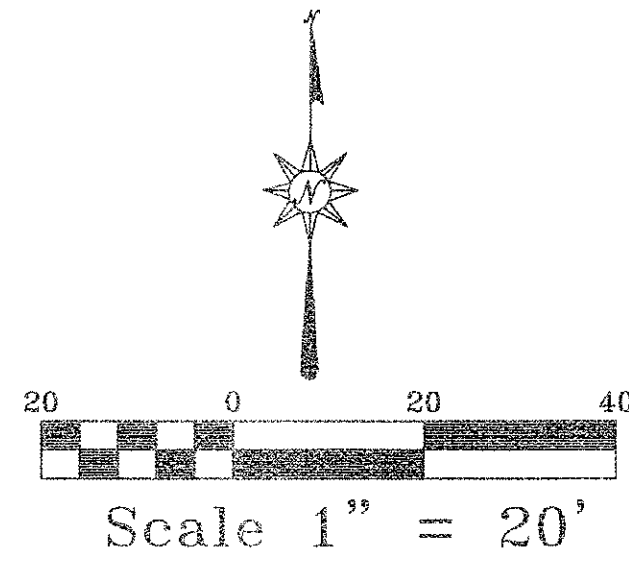


| DATE | BY | DESCRIPTION |
|------|----|-------------|
|      |    |             |
|      |    |             |
|      |    |             |
|      |    |             |

SHEET  
C-3

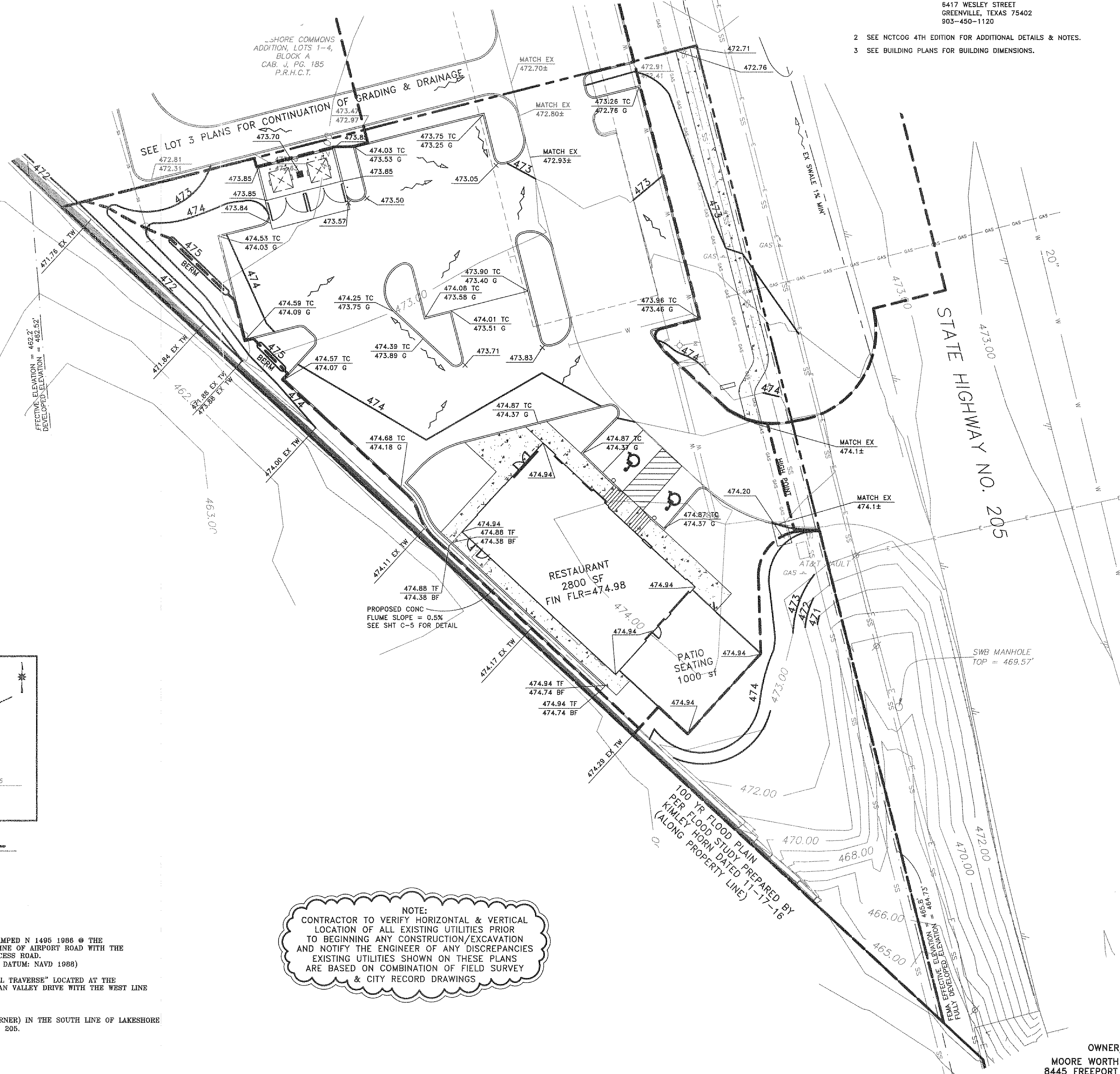


FOR UTILITY LOCATES CALL:  
972-771-7730 MIN 48 HR NOTICE



- NOTES:**
- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
  - SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
  - SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

| LEGEND                                    |                                  |
|---|----------------------------------|
| PROPOSED                                  | EXISTING                         |
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| 514.00 = INDICATES TOP OF CURB ELEV       | ⊕ = WATER METER                  |
| 513.50 = INDICATES GUTTER ELEV            | ⊖ = WATER VALVE                  |
| ⊕ = PROPOSED WATER LINE                   | ⊗ = IRRIGATION CONTROL VALVE     |
| ⊖ = PROPOSED SANITARY SEWER LINE          | ⊙ = TELEPHONE PEDESTAL           |
| ⊗ = PROPOSED STORM DRAIN LINE             | ⊕ = GAS METER                    |
| ⊙ = PROPOSED CONDUIT                      | ⊖ = MAILBOX                      |
| ⊕ = PROPOSED GAS                          | ⊗ = LIGHT POLE                   |
| ⊖ = CONCRETE CURB PER CITY STD            | ⊕ = FIRE HYDRANT                 |
| ⊗ = WATER SERVICE TAP NO                  | BL = BUILDING LINE               |
|   | UB = UTILITY EASEMENT            |
|   | DU = DRAINAGE & UTILITY EASEMENT |
|   | FOC = FIBER OPTIC CABLE MARKER   |
|   | GAS = GAS SIGN                   |
|   | SSSB = SUB SURFACE SERVICE BOX   |
|   | BCS = BURIED CABLE SIGN          |
|   | TS = TRAFFIC SIGNAL              |
|   | UE = UTILITY EASEMENT            |
|   | ATM = ATMOS FLAG                 |



- GRADING NOTES:**
- ALL FILL TO BE COMPACTED TO A MIN 95% USING A SHEEP'S FOOT ROLLER.
  - CONTRACTOR TO ADJUST ALL EXISTING OR PROPOSED UTILITIES TO FINAL GRADE.

| ADA/TAS SLOPE REQUIREMENTS  |                            |
|---|----------------------------|
| ACCESSIBLE ROUTE  | <5% SLOPE                  |
|   | <2% CROSS SLOPE            |
| RAMP & CURB RAMP  | <8.33% (1:12)              |
|   | <2% CROSS SLOPE            |
| TAS PARKING & ACCESS AISLE  | <2% SLOPE IN ANY DIRECTION |
| CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS |                            |

**NOTE:**  
PARKING & ACCESSIBLE ROUTES FOR DISABLED PERSONS SHALL BE DESIGNATED, DESIGNED & CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

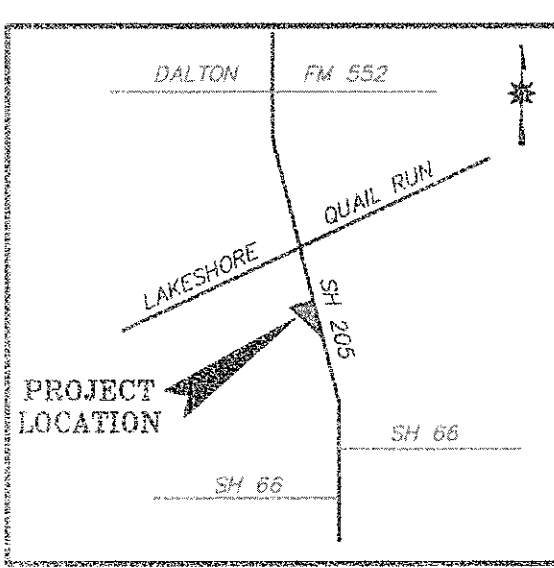
**PRIVATE ADA BARRIER-FREE RAMP REQUIREMENTS:**

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**RECORD DRAWING**

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

THIS RECORD DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



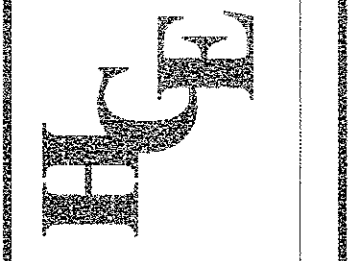
VICINITY MAP

- OFFSITE BENCHMARK -- STEEL ROD W/ACCESS CAP STAMPED N 1405 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD.  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1986)
- BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'
- BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 475' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 466.05'

**NOTE:**  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

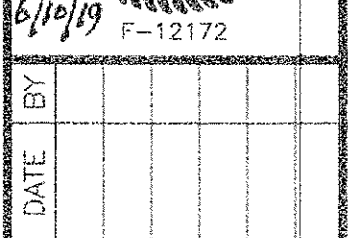
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Hickman Consulting Engineers, Inc.  
3094 County Road 1024  
Farmersville, Texas 76744  
mark@hickman.com  
marktech@hickman.com  
Engineers



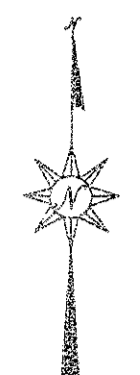
**GRADING PLAN**  
LAKESHORE COMMONS  
LOT 4: LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1" = 20'  
DATE: MAY 2018  
DRAWN BY: FP  
CHK'D BY: MHH  
JOB NO: 1801-357  
FILE: 248-104-WP  
DATE SUBMITTED: 11/01/18



| REVISION | DATE | BY | DESCRIPTION |
|----------|------|----|-------------|
| 6/10/19  |      |    | F-12172     |

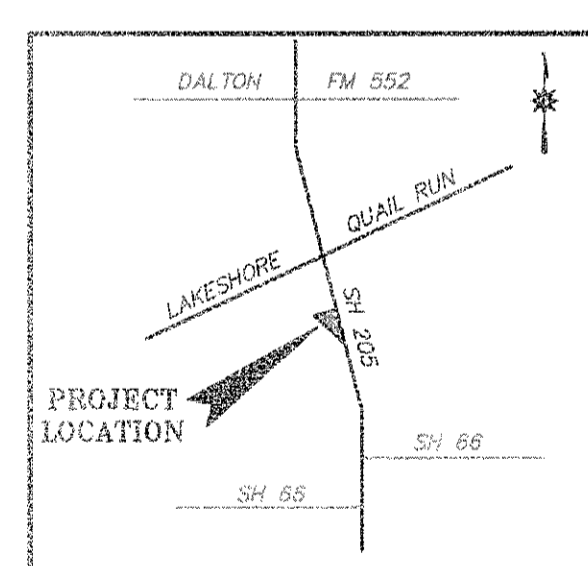




FOR UTILITY LOCATES CALL:  
972-771-7730 MIN 48 HR NOTICE



Scale 1" = 40'



VICINITY MAP

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 586.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205. ELEVATION = 480.61'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 476' WEST OF STATE HIGHWAY NO. 205. ELEVATION = 468.05'

**NOTE:**  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

**NOTES:**

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

| LEGEND                                  |                                   |
|---|-----------------------------------|
| PROPOSED                                | EXISTING                          |
| — 500 — PROPOSED CONTOURS               | ⊗ = POWER POLE                    |
| 515.00 SPOT ELEVATION AT FINISHED GRADE | ⊙ = ANCHOR                        |
| 514.00 INDICATES TOP OF CURB ELEV       | ⊕ = WATER METER                   |
| 513.50 INDICATES GUTTER ELEV            | ⊗ = WATER VALVE                   |
| (W) PROPOSED WATER LINE                 | ⊕ = IRRIGATION CONTROL VALVE      |
| (SS) PROPOSED SANITARY SEWER LINE       | ⊕ = TELEPHONE PEDESTAL            |
| PROPOSED STORM DRAIN LINE               | ⊕ = GAS METER                     |
| (C) PROPOSED CONDUIT                    | ⊕ = MAILBOX                       |
| PROPOSED GAS                            | ⊕ = LIGHT POLE                    |
| (C/C) CONCRETE CURB PER CITY STD        | ⊕ = FIRE HYDRANT                  |
| (1) WATER SERVICE TAP NO                | BL = BUILDING LINE                |
|   | UR = UTILITY EASEMENT             |
|   | DUB = DRAINAGE & UTILITY EASEMENT |
|   | FOC = FIBER OPTIC CABLE MARKER    |
|   | GAS = GAS SIGN                    |
|   | SSSB = SUB SURFACE SERVICE BOX    |
|   | ACS = BURIED CABLE SIGN           |
|   | ⊕ = UTILITY SIGNAL                |
|   | U.E. = UTILITY EASEMENT           |
|   | ⊕ = ATMOS FLAG                    |

KEY:  
DRAINAGE AREA NO (X)

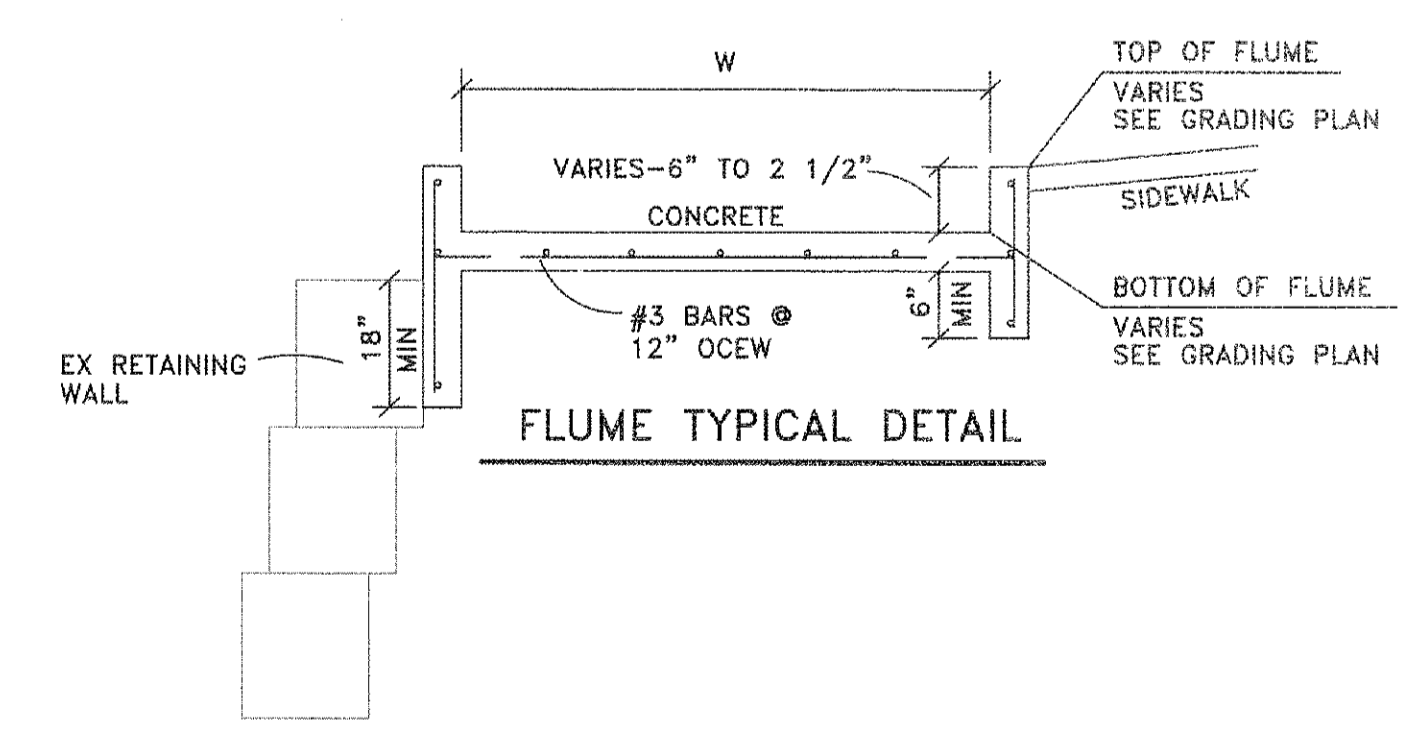
| DRAINAGE AREA CHART |       |                  |       |                  |                        |                          |
|---------------------|-------|------------------|-------|------------------|------------------------|--------------------------|
| AREA                | C     | I <sub>100</sub> | A     | Q <sub>100</sub> | CONVEYANCE             | REMARKS                  |
|                     | coeff | Intensity        | acres | cfs              |                        |                          |
| 1                   | 0.90  | 9.80             | 0.04  | 0.35             | SHEET FLOW             | TO WEST TO CREEK         |
| 2                   | 0.90  | 9.80             | 0.87  | 7.67             | TO CURB INLET IN LOT 3 | TO EXISTING UDS TO CREEK |
| 3                   | 0.90  | 9.80             | 0.82  | 7.23             | TO CURB INLET IN LOT 3 | TO EXISTING UDS TO CREEK |
| 4                   | 0.90  | 9.80             | 0.15  | 1.32             | SHEET FLOW             | TO SOUTH TO CREEK        |

Tc = 10 min

| FLUME DRAINAGE AREA CHART |       |                  |       |                  |            |                 |
|---------------------------|-------|------------------|-------|------------------|------------|-----------------|
| SUB-AREA                  | C     | I <sub>100</sub> | A     | Q <sub>100</sub> | CONVEYANCE | OUTFALL         |
|                           | coeff | Intensity        | acres | cfs              |            |                 |
| 2a                        | 0.90  | 9.80             | 0.02  | 0.18             | FLUME A    | TO EXISTING UDS |

Tc = 10 min

| CONC FLUME CALCULATIONS |                  |   |      |         |               |
|-------------------------|------------------|---|------|---------|---------------|
| Q=CWH <sup>1.48</sup>   |                  |   |      |         |               |
| FLUME                   | Q <sub>100</sub> | C | H    | REQD    | DESIGN        |
|                         | (c.f.s.)         |   | (ft) | WIDTH W | LENGTH/REMARK |
| A                       | 0.18             | 3 | .50  | 0.16'   | 1' PROP       |



**RECORD DRAWING**

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

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**Hickman Consulting Engineers, Inc.**  
8094 County Road 1024  
Parsippany, Texas 75442  
Ph (972)784-2499  
markredick@gmail.com  
Engineers

**HCE**

**DRAINAGE PLAN**  
LAKESHORE COMMONS  
LOT 4; LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=40'  
DATE: MAY 2018  
DRAWN BY: FP  
CHK'D BY: MHH  
JOB NO: 1801-357  
FILE: 288-104-00  
DATE SUBMITTED: 11/20/17/RE/7

Hickman Consulting Engineers, Inc.  
79409  
F-12172

DATE BY DESCRIPTION REVISION

SHEET  
C-5

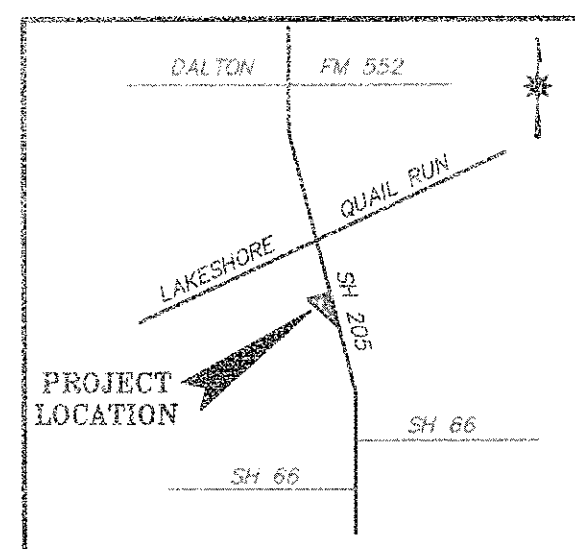
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FOR UTILITY LOCATES CALL:  
972-771-7730 MIN 48 HR NOTICE



Scale 1" = 20'



VICINITY MAP

OFFSITE BENCHMARK -- STEEL ROD W/ACCESS CAP STAMPED N 1496 1886 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 889.70' (VERTICAL DATUM: NAVD 1886)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205. ELEVATION = 480.61'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 475' WEST OF STATE HIGHWAY NO. 205. ELEVATION = 488.95'

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NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

| LEGEND                                    |                                   |
|---|-----------------------------------|
| PROPOSED                                  | EXISTING                          |
| — 500 = PROPOSED CONTOURS                 | ⊙ = POWER POLE                    |
| 515.00 = SPOT ELEVATION AT FINISHED GRADE | ⊕ = ANCHOR                        |
| 514.00 = INDICATES TOP OF CURB ELEV       | ⊖ = WATER METER                   |
| 513.50 = INDICATES GUTTER ELEV            | ⊗ = WATER VALVE                   |
| (W) = PROPOSED WATER LINE                 | ⊘ = IRRIGATION CONTROL VALVE      |
| (SS) = PROPOSED SANITARY SEWER LINE       | ⊙ = TELEPHONE PEDESTAL            |
| (SD) = PROPOSED STORM DRAIN LINE          | ⊙ = GAS METER                     |
| (C) = PROPOSED CONDUIT                    | ⊙ = MAILBOX                       |
| (G) = PROPOSED GAS                        | ⊙ = LIGHT POLE                    |
| (C) = CONCRETE CURB PER CITY STD          | ⊙ = FIRE HYDRANT                  |
| (T) = WATER SERVICE TAP NO                | BL = BUILDING LINE                |
|   | UE = UTILITY EASEMENT             |
|   | DUR = DRAINAGE & UTILITY EASEMENT |
|   | FCC = FIBER OPTIC CABLE MARKER    |
|   | GAS = GAS SIGN                    |
|   | SSSH = SUB SURFACE SERVICE BOX    |
|   | BCS = BURIED CABLE SIGN           |
|   | ⊙ = TRAFFIC SIGNAL                |
|   | UE = UTILITY EASEMENT             |
|   | T = ATMOS FLAG                    |

WATER & WASTEWATER NOTES:

- ALL WATER AND SANITARY SEWER MAIN CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENT SHALL CONFORM TO THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) GUIDELINES FOR CONSTRUCTION OF PUBLIC WATER AND SEWER SYSTEMS. WATER AND SANITARY SERVICES SHALL BE TESTED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE "AS-BUILT" PLANS TO THE OWNER SO THAT THE REPRODUCIBLES OF THE PLANS MAY BE CORRECTED TO REFLECT "AS-BUILT" CONDITIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN ALL NECESSARY WARNING AND SAFETY DEVICES (FLASHING LIGHTS, BARRICADES, SIGNS, ETC.) TO PROTECT THE PUBLIC SAFETY AND HEALTH UNTIL ALL WORK HAS BEEN COMPLETED AND ACCEPTED BY THE CITY.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERIFY IN THE FIELD ANY UTILITIES THAT MAY CONFLICT WITH HIS CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY RELOCATION OR ADJUSTMENT COST ASSOCIATED WITH HIS WORK. AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION IN THE VICINITY OF EXISTING UNDERGROUND UTILITIES, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES.
- ALL SANITARY SEWER PIPES SHALL BE SDR 35 CLASS 150 AND SHALL BE TESTED IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE AND RIGHT-OF-WAY OR PROPERTY LINE, UNLESS NOTED OTHERWISE.
- WATER SERVICES SHALL BE TYPE K COPPER, LOCATED AS INDICATED ON THE PLANS. METER BOXES SHALL MEET CITY SPECIFICATIONS.
- SANITARY SEWER LATERALS SHALL BE AS INDICATED ON THE PLAN.
- EMBEDMENTS SHALL BE PER CITY REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE A TRENCH SAFETY PLAN AND BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO HIS WORK.
- ALL WATER METERS ARE TO BE LOCATED IN NON-TRAFFIC AREAS.
- CONSTRUCTION SHALL NOT PROCEED ABOVE THE FOUNDATION PRIOR TO COMPLETION OF ALL FIRE LANES AND FIRE HYDRANTS.
- ALL SANITARY SEWER LATERALS OUTSIDE OF EASEMENT SHALL BE INSPECTED BY THE CITY BUILDING INSPECTOR PRIOR TO BACKFILL.
- A CLEAR SPACE OF 3' SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
- WHEN TYING TO EXISTING MANHOLES, THE INVERT SHALL BE REWORKED.
- THE FIRE SYSTEM REQUIRES A SEPARATE PERMIT.
- PRIVATE WATER LINES AND SEWER LINES REQUIRE A SEPARATE PERMIT.
- ALL WATER MAINS SHALL BE DR 14 C-900 AND SHALL BE TESTED IN ACCORDANCE WITH CITY REQUIREMENTS.
- CONTRACTOR TO INSTALL BLUE EMS DISKS ON WATER LINES AT EVERY CHANGE IN DIRECTION, 250', VALVES AND SERVICE CONNECTIONS.

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

HICKMAN CONSULTING ENGINEERS, INC.  
 9084 COUNTY ROAD 1094  
 FORT WORTH, TX 76142  
 PH: (817) 754-2495  
 MARK@HICKMANENGINEERS.COM  
 Engineers

**HCE**  
 UTILITY PLAN  
 LAKESHORE COMMONS  
 LOT 4, LAKESHORE COMMONS  
 ROCKWALL, ROCKWALL COUNTY, TEXAS  
 MOORE WORTH INVESTMENTS, LLC  
 8445 FREEPORT PARKWAY, SUITE 175  
 IRVING, TX 75063  
 214-415-9993

|                  |                  |
|------------------|------------------|
| SCALE: 1"=20'    | DATE: MAY 2018   |
| DRAWN BY: FP     | CHK'D BY: MHH    |
| JOB NO: 1801-357 | FILE: 248-104-WP |
| DATE: 6/10/19    | DATE: 11/20/18   |
| DESCRIPTION:     |                  |
| REVISION:        |                  |

HICKMAN CONSULTING ENGINEERS, INC.  
 MARK H. HICKMAN  
 REGISTERED PROFESSIONAL ENGINEER  
 78409  
 F-12172

SHEET  
**C-6**

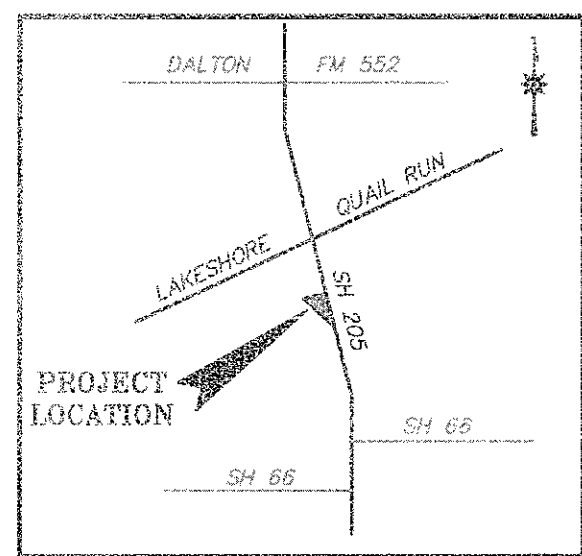




FOR UTILITY LOCATES CALL:  
972-771-7730 MIN 48 HR NOTICE



Scale 1" = 20'



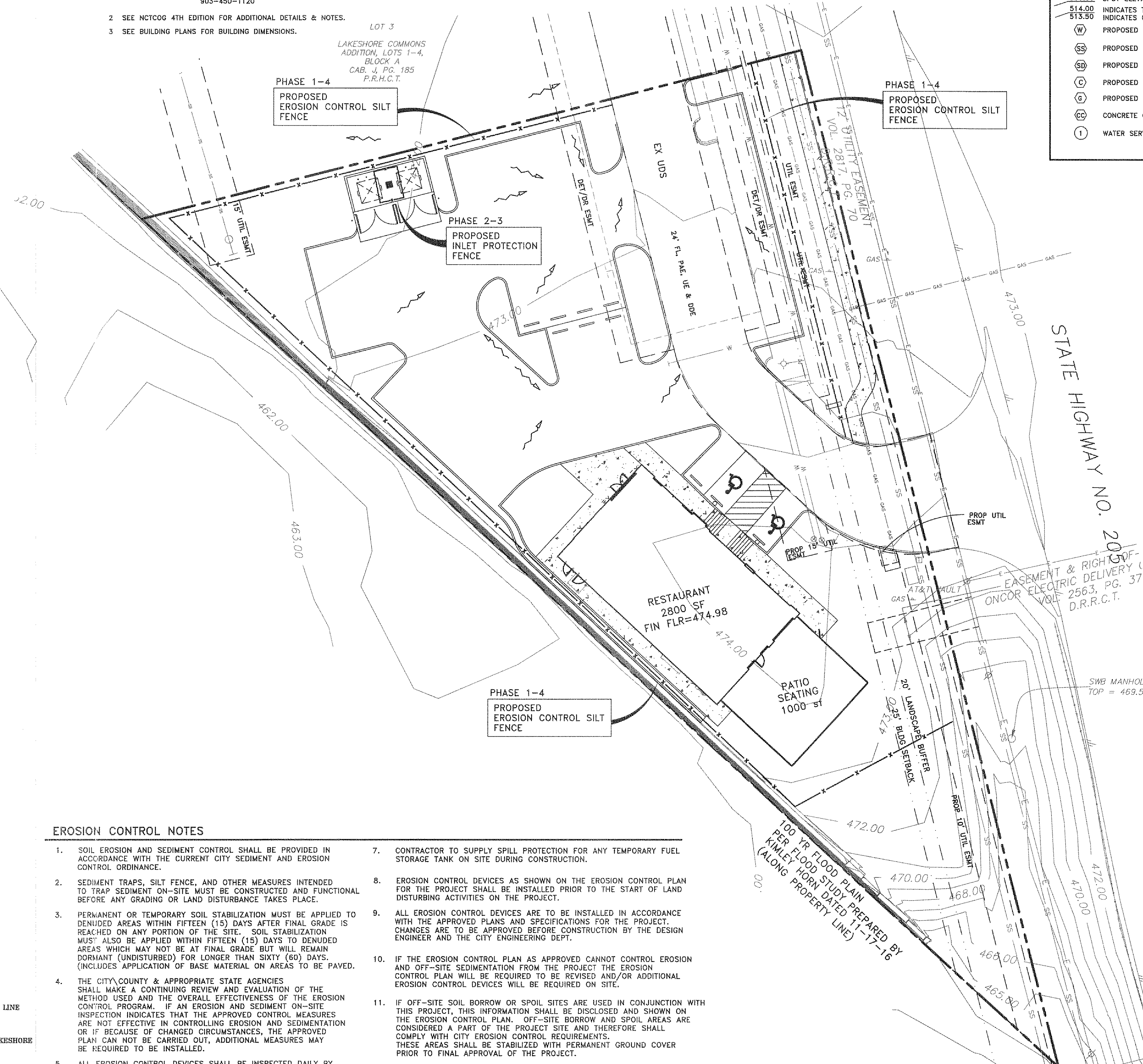
VICINITY MAP

**NOTE:**  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

**NOTES:**

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75042  
903-450-1120
- SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

LOT 3  
LAKESHORE COMMONS  
ADDITION, LOTS 1-4,  
BLOCK A  
CAB. J, PG. 185  
P.R.H.C.T.



| PROPOSED                                  | EXISTING                         |
|---|----------------------------------|
| 500 - PROPOSED CONTOURS                   | ○ = POWER POLE                   |
| 515.00 - SPOT ELEVATION AT FINISHED GRADE | ○ = ANCHOR                       |
| 514.00 - INDICATES TOP OF CURB ELEV       | ○ = WATER METER                  |
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| ○ = PROPOSED STORM DRAIN LINE             | ○ = GAS METER                    |
| ○ = PROPOSED CONDUIT                      | ○ = MAILBOX                      |
| ○ = PROPOSED GAS                          | ○ = LIGHT POLE                   |
| ○ = CONCRETE CURB PER CITY STD            | ○ = FIRE HYDRANT                 |
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|   | UE = UTILITY EASEMENT            |
|   | DU = DRAINAGE & UTILITY EASEMENT |
|   | FC = FIBER OPTIC CABLE MARKER    |
|   | GAS = GAS SIGN                   |
|   | SSSB = SUB SURFACE SERVICE BOX   |
|   | BOS = BURIED CABLE SIGN          |
|   | ○ = TRAFFIC SIGNAL               |
|   | U.E. = UTILITY EASEMENT          |
|   | ○ = ATMOS FLAG                   |

**NOTE:**  
GENERAL CONTRACTOR TO BE RESPONSIBLE FOR INSTALLING & MAINTAINING ALL EROSION CONTROL DEVICES PER CITY OF ROCKWALL REQUIREMENTS & STANDARDS

**CONSTRUCTION SEQUENCE**

- PHASE 1 - GRADING
- PHASE 2 - UTILITY INSTALLATION
- PHASE 3 - PAVING
- PHASE 4 - LANDSCAPE/SOIL STABILIZATION

**DISTURBED AREA:**

0.88 Ac±

**SILT FENCE**

SILT FENCE SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM BEHIND FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. INSPECT THE BASE OF THE FENCE TO ENSURE THAT NO GAPS HAVE DEVELOPED AND RE-TRENCH AS NECESSARY. INSPECT FENCE POSTS TO ENSURE THAT THEY ARE PROPERLY SUPPORTING THE FENCE. STRAIGHTEN, RESET AND ADD POSTS IF NECESSARY. IF FILTER FABRIC IS RIPPED, DAMAGED OR DETERIORATED, REPLACE IT IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS AND DETAILS.

**INLET PROTECTION**

CURB INLET PROTECTION SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM THE STORAGE AREA WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-HALF OF THE STORAGE DEPTH. IF DEWATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE. CLEAN THE FILTER STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.

**EROSION CONTROL NOTES**

- SOIL EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE CURRENT CITY SEDIMENT AND EROSION CONTROL ORDINANCE.
- SEDIMENT TRAPS, SILT FENCE, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON-SITE MUST BE CONSTRUCTED AND FUNCTIONAL BEFORE ANY GRADING OR LAND DISTURBANCE TAKES PLACE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DENUDED AREAS WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED WITHIN FIFTEEN (15) DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN SIXTY (60) DAYS. (INCLUDES APPLICATION OF BASE MATERIAL ON AREAS TO BE PAVED.)
- THE CITY/COUNTY & APPROPRIATE STATE AGENCIES SHALL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHOD USED AND THE OVERALL EFFECTIVENESS OF THE EROSION CONTROL PROGRAM. IF AN EROSION AND SEDIMENT ON-SITE INSPECTION INDICATES THAT THE APPROVED CONTROL MEASURES ARE NOT EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION OR IF BECAUSE OF CHANGED CIRCUMSTANCES, THE APPROVED PLAN CAN NOT BE CARRIED OUT, ADDITIONAL MEASURES MAY BE REQUIRED TO BE INSTALLED.
- ALL EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE SITE FOREMAN. ANY STRUCTURES THAT ARE DAMAGED OR INOPERATIVE WILL BE IMMEDIATELY REPAIRED OR REPLACED.
- CONTRACTOR TO CONSTRUCT A PIT OR WASH BASIN FOR "WASH OUT" OF CONCRETE TRUCKS. CONTRACTOR TO CONSTRUCT AN ENCLOSURE TO STORE ALL TRASH AND WASTE MATERIALS UNTIL PROPER DISPOSAL AT OFF-SITE FACILITY.
- CONTRACTOR TO SUPPLY SPILL PROTECTION FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE DURING CONSTRUCTION.
- EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY ENGINEERING DEPT.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
- IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH CITY EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
- MOWABLE VEGETATION SHALL BE ESTABLISHED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- 75-80% OF ALL DISTURBED AREA TO HAVE A MIN OF 1" TALL STAND OF GRASS (NOT WEEDS) PRIOR TO CITY ACCEPTANCE.

OFFSITE BENCHMARK - SPKRL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD.  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" INCH ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 479' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 468.05'

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OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

**RECORD DRAWING**

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Engineers

**EROSION CONTROL PLAN**  
LAKESHORE COMMONS  
LOT 4; LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=20'  
DATE: MAY 2016  
DRAWN BY: FP  
CHK'D BY: WHH  
JOB NO: 1801-357  
FILE: P-8-1-C4-WP  
SUBMITTAL: 11/07/16/F

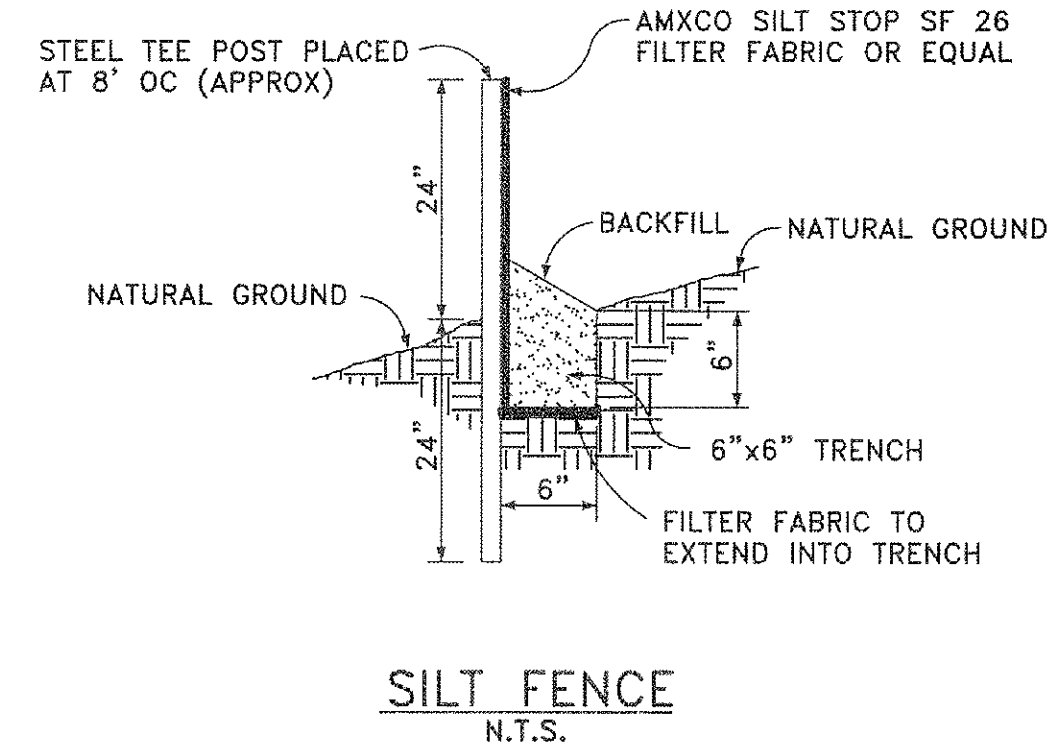
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**GENERAL NOTES:**

- 1) ALL WORK WITHIN RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND DETAILS & NCTCOG 4TH EDITION.
- 2) EXISTING UTILITIES SHOWN ARE FROM AVAILABLE RECORDS. LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. SOME UTILITY LINES MAY NOT BE SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATION AND PROTECTION OF EXISTING FACILITIES WHETHER SHOWN OR NOT. CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING FACILITIES, WHETHER SHOWN OR NOT, DAMAGED BY CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS EXISTING UTILITIES SHALL NOT BE A BASIS FOR ADDITIONAL EXPENSES.
- 3) TRAFFIC FLOW AND ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF THE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC SAFETY MEASURES FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- 4) THE CONTRACTOR SHALL PROVIDE MATERIAL AND QUALITY CONTROL TESTING AS REQUIRED BY OWNER. TESTS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - DENSITY TESTS FOR GENERAL SITE FILL. (MINIMUM ONE TEST PER LIFT PER 10,000 S.F. FILL.)
  - DENSITY TESTS FOR UTILITY TRENCH BACK FILL (MINIMUM ONE TEST PER 100 L.F. ON EVERY OTHER LIFT)
  - CONCRETE CYLINDER TESTS. (MINIMUM 4 CYLINDERS PER 100 C.Y. OF MATERIAL.)
- 5) CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PONDING OF WATER IN STREETS, DRIVES, TRUCK COURTS, TRENCHES, ETC. WILL NOT BE ALLOWED.
- 6) PAVEMENT REMOVAL AND REPAIR SHALL CONFORM TO CITY GUIDELINES. ALL SAW CUTS SHALL BE FULL DEPTH CUTS. CONTRACTOR SHALL MAKE EFFORTS TO PROTECT CONCRETE EDGES. ANY LARGE SPALLED OR BROKEN EDGES SHALL BE REMOVED BY SAW CUTTING PAVEMENT PRIOR TO REPLACEMENT. DOWEL NEW PAVEMENT TO EXISTING CONCRETE PAVEMENT WITH #6 SMOOTH DOWELS AT 15" C-C EACH FACE. DRILL DOWELS TO A DEPTH OF 12 INCHES AND GROUT OR EPOXY IN PLACE.
- 7) EARTHWORK OPERATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF QUALIFIED PERSONNEL WORKING IN CONJUNCTION WITH THE PROJECT GEOTECHNICAL ENGINEER.
- 8) CONCRETE CURB TO BE CONSTRUCTED PER CITY STANDARDS.
- 9) SEE LANDSCAPE PLAN PRIOR TO ANY CLEARING AND/OR GRUBBING TO LOCATE WHICH TREES AND SHRUBS WILL REMAIN OR BE RELOCATED.
- 10) REVIEW UTILITY PLAN PRIOR TO ANY CLEARING AND/OR GRUBBING.
- 11) REMOVE ALL EXISTING TREES, BUSHES, AND/OR SHRUBS IN THE PATH OF THE SIDEWALK CONSTRUCTION. SPECIAL LANDSCAPE FEATURES TO BE REPLACED WHEN DETERMINED BY THE CITY ENGINEER.
- 12) ALL EXPANSION JOINTS TO BE CONSTRUCTED AT EVERY 40 FEET, AT CURBS AND AT ALL DRIVEWAYS.
- 13) ALL CONSTRUCTION JOINTS SHALL BE PLACED AT 4 OR 5 FOOT INTERVALS ON 4 FOOT WIDE SIDEWALK AND AT EVERY 6 FOOT INTERVALS ON 6 FOOT SIDEWALKS.



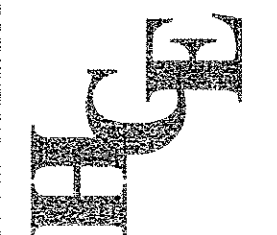
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SEE NCTCOG 4TH EDITION FOR ADDITIONAL SPECIFICATIONS AND DETAILS

**RECORD DRAWING**

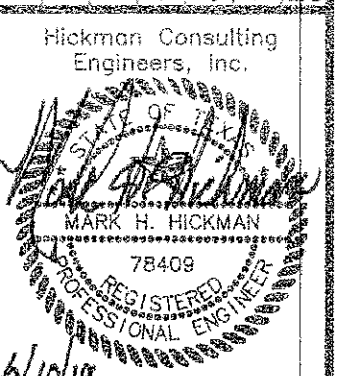
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 markredhick@gmail.com  
 Engineers



**DETAILS**  
 LAKESHORE COMMONS  
 LOT 4, LAKESHORE COMMONS  
 ROCKWALL, ROCKWALL COUNTY, TEXAS  
 MOORE WORTH INVESTMENTS, LLC  
 8445 FREEPORT PARKWAY, SUITE 175  
 IRVING, TX 75063  
 214-415-9983

SCALE: N/A  
 DATE: MAY 2018  
 DRAWN BY: EP  
 CHK'D BY: MHH  
 JOB NO: 1801-357  
 FILE: 248-106-01  
 SUBMITAL: 11/27/18



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SHEET  
**D-1**