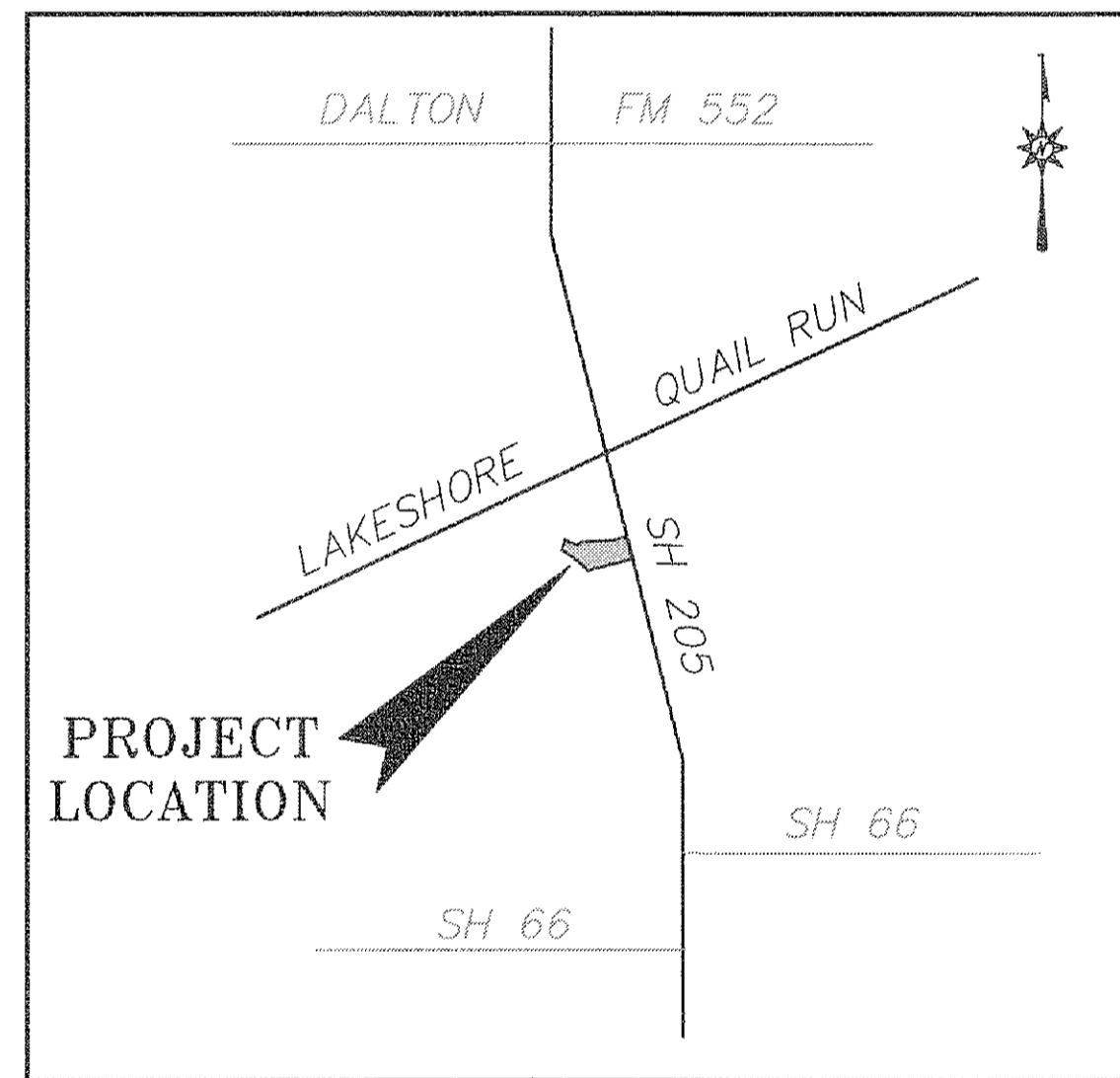


CONSTRUCTION PLANS FOR LAKESHORE COMMONS 0.81 AC± LOT 3, BLOCK A LAKESHORE COMMONS ADDN IN ROCKWALL, TEXAS



VICINITY MAP

FOR
MOORE WORTH INVESTMENTS, LLC
8445 FREEPORT PARKWAY, SUITE 175
IRVING, TX 75063
214-415-9993

AUGUST 2018

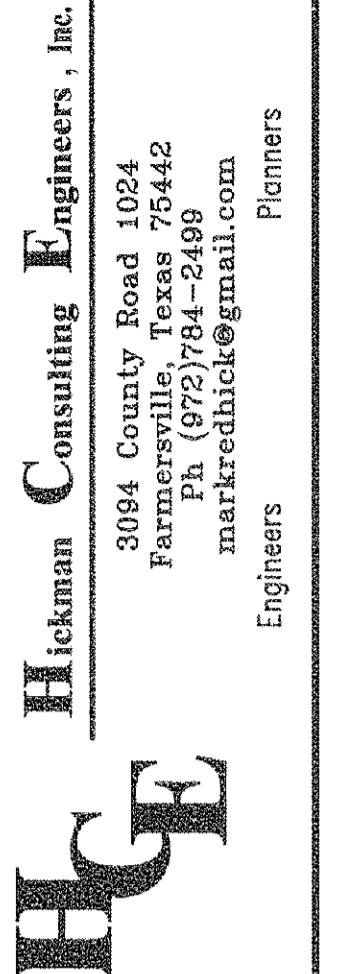
SHEET INDEX	
SHT #	SHEET TITLE
C-1	COVER SHEET
1-3	REPLAT -- BY OTHERS
C-2	SITE PLAN
1 OF 1	LANDSCAPE PLAN -- BY OTHERS
C-3	PAVING PLAN
C-4	GRADING PLAN
C-5	DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	EROSION CONTROL PLAN
D-1	DETAILS

PLAN SUBMITTALS		
No	DATE	COMMENTS
1	04-17-18	CITY OF ROCKWALL - 1st SUBMITTAL
2	05-17-18	CITY OF ROCKWALL - 2nd SUBMITTAL
3	06-21-18	CITY OF ROCKWALL - 3RD SUBMITTAL
4	07-13-18	CITY OF ROCKWALL - 4TH SUBMITTAL - UTILITY PLAN
5	08-09-18	CITY OF ROCKWALL - 5TH SUBMITTAL - UTILITY PLAN
F	08-15-18	CITY OF ROCKWALL - FINALS
R1	10-11-18	CITY OF ROCKWALL - REV 01

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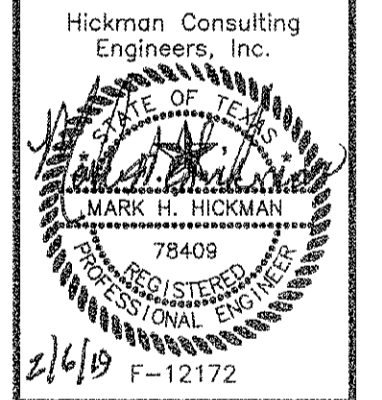
RECORD DRAWING

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COVER SHEET
 LAKESHORE COMMONS
 LOT 3, LAKESHORE COMMONS
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 MOORE WORTH INVESTMENTS, LLC
 8445 FREEPORT PARKWAY, SUITE 175
 IRVING, TX 75063
 214-415-9993

SCALE: N/A
 DATE: APRIL 2018
 DRAWN BY: EP
 CH'D BY: MH
 JOB NO: 1701-357
 FILE: 239-403-10
 DATE OF SUBMITTAL: 08/15/18



2/1/18
 F-12172

REVISION	DATE	DESCRIPTION

SHEET
C-1

BEFORE YOU DIG CALL:
1-800-245-4545



TEXAS ONE CALL SYSTEM

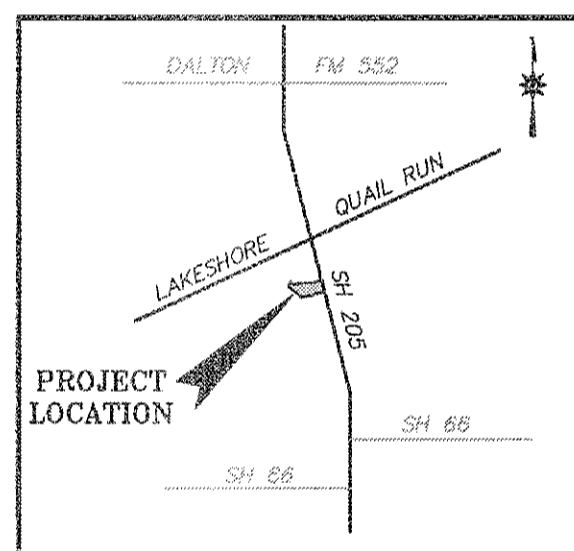
NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:
STOVALL & ASSOCIATES LAND SURVEYING
6417 WESLEY STREET
GREENVILLE, TEXAS 75042
903-450-1120
- SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

Course	Bearing	Distance
L 1	N 16°39'03" E	56.72'
L 2	S 47°14'05" E	22.78'
L 3	S 72°06'04" E	46.17'
L 4	N 42°07'52" E	17.76'



Scale 1" = 20'



VICINITY MAP

NOTE:
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

- OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD.
ELEVATION = 666.70' (VERTICAL DATUM: NAVD 1985)
- BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PSCAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205.
ELEVATION = 480.51'
- BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 475' WEST OF STATE HIGHWAY NO. 205.
ELEVATION = 488.05'

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ADA BARRIER-FREE RAMP REQUIREMENTS:

- TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS). SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES THAT ARE RAISED OR ETCHED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
- CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.
- RAMPS WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD. TRUNCATED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<2% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESS AISLE	<2% SLOPE IN ANY DIRECTION
CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS	

NOTE:
PARKING & ACCESSIBLE ROUTES FOR DISABLED PERSONS SHALL BE DESIGNATED, DESIGNED & CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

OWNER/DEVELOPER:
MOORE WORTH INVESTMENTS, LLC
8445 FREEPORT PARKWAY, SUITE 175
IRVING, TX 75063
214-415-9993

RECORD DRAWING

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LEGEND

PROPOSED	EXISTING
500 - PROPOSED CONTOURS	POWER POLE
515.00 - SPOT ELEVATION AT FINISHED GRADE	ANCHOR
514.00 - INDICATES TOP OF CURB ELEV	WATER METER
513.50 - INDICATES GUTTER ELEV	WATER VALVE
(W) - PROPOSED WATER LINE	IRRIGATION CONTROL VALVE
(SS) - PROPOSED SANITARY SEWER LINE	TELEPHONE PEDESTAL
(SD) - PROPOSED STORM DRAIN LINE	GAS METER
(C) - PROPOSED CONDUIT	MALDROX
(G) - PROPOSED GAS	LIGHT POLE
(CC) - CONCRETE CURB PER CITY STD	FIRE HYDRANT
(I) - WATER SERVICE TAP NO	BUILDING LINE
	BL - BUILDING LINE
	UE - UTILITY EASEMENT
	DUE - DRAINAGE & UTILITY EASEMENT
	FOC - FIBER OPTIC CABLE MARKER
	GAS - GAS SIGN
	SSSB - SUB SURFACE SERVICE BOX
	BOS - BURIED CABLE SIGN
	T - TRAFFIC SIGNAL
	U.E. - UTILITY EASEMENT
	A - ATMOS FLAG

SITE PLAN NOTES:

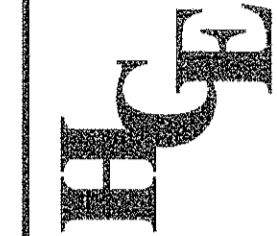
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS 4TH EDITION (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CITY REQUIREMENTS. SEE BLDG PLANS.

SITE LAYOUT NOTES:

- ALL FIRE LANES ARE 24' WIDE WITH MIN 20' INSIDE RADIUS AND MIN 44' OUTSIDE RADIUS. FIRE LANES SHALL BE CONSTRUCTED AND STRIPED PER CITY OF ROCKWALL FIRE DEPT REQUIREMENTS.
- ALL PARKING STALLS, UNLESS SHOWN OTHERWISE, SHALL BE 9' WIDE X 18' DEEP EXCEPT STALLS IN FRONT OF BLDG SHALL BE 9' WIDE X 20' DEEP.
VAN ACCESSIBLE AREA SHALL BE 9' MIN WIDE X 18' (OR 20') DEEP. OTHER ACCESSIBLES ADJACENT TO H/C PARKING SHALL BE 5' WIDE X 18' (OR 20') DEEP. ALL PARKING STALLS SHALL BE CONSTRUCTED PER PAVING PLAN.
- ALL OTHER DRIVING LANES SHALL BE MIN 24' WIDE AND CONSTRUCTED PER THE PAVING.

SITE SUMMARY - LOT 1	
ZONED	PD-65 (FOR GR USES)
PROPOSED USE	RESTAURANT
LOT AREA	0.81 AC (35,478.55 SF)
BUILDING AREA	2418 SF
PARKING	
RESTAURANT = 2200 SF	
REQUIRED TOTAL	22 SPACES
1/100	2200/100=22
REQUIRED TOTAL	22 SPACES (21 REG; 1 H/C)
PROVIDED TOTAL	31 SPACES (29 REG; 2 H/C)
LOT COVERAGE	6.2% (2200 SF)
IMPERVIOUS AREA	65% (23,178 SF)
PERVIOUS AREA	35% (12,301 SF)

Hickman Consulting Engineers, Inc.
3094 County Road 1024
Farmersville, Texas 76442
Ph: (877)788-2499
markrednick@gmail.com
markrednick@hce.com
Engineers

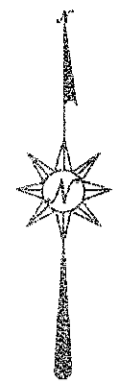


SITE PLAN
LAKESHORE COMMONS
LOT 3; LAKESHORE COMMONS
ROCKWALL COUNTY, TEXAS
MOORE WORTH INVESTMENTS, LLC
8445 FREEPORT PARKWAY, SUITE 175
IRVING, TX 75063
214-415-9993

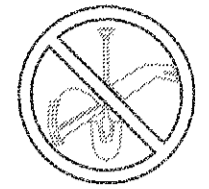
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DRAWN BY: FP	CHK'D BY: MHH
JOB NO: 1701-357	FILE: 239-LC2-WD
DATE SUBMITTED: 08/15/18(F)	



REVISION	DATE	DESCRIPTION
1	10-11-18	ADDED SIDEWALK ALONG HWY 205



BEFORE YOU DIG CALL:
1-800-245-4545



TEXAS ONE CALL SYSTEM



Scale 1" = 20'

- NOTES:**
- BOUNDARY/TOPO SURVEY PROVIDED BY:
STOVALL & ASSOCIATES LAND SURVEYING
6417 WESLEY STREET
GREENVILLE, TEXAS 75042
903-450-1120
 - SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
 - SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

NOTE:
ALL PAVEMENT RECOMMENDATIONS SHOWN ON THIS PLAN TO BE VERIFIED WITH SOILS REPORT PREPARED BY ALPHA TESTING, INC. REPORT NO G162558

LEGEND	
PROPOSED	EXISTING
— 500 — PROPOSED CONTOURS	— POWER POLE
515.00 SPOT ELEVATION AT FINISHED GRADE	— ANCHOR
514.00 INDICATES TOP OF CURB ELEV	— WATER METER
513.50 INDICATES GUTTER ELEV	— WATER VALVE
(W) PROPOSED WATER LINE	— IRRIGATION CONTROL VALVE
(SS) PROPOSED SANITARY SEWER LINE	— TELEPHONE PEDESTAL
(SD) PROPOSED STORM DRAIN LINE	— GAS METER
(C) PROPOSED CONDUIT	— MAILBOX
(G) PROPOSED GAS	— LIGHT POLE
(CC) CONCRETE CURB PER CITY STD	— FIRE HYDRANT
(1) WATER SERVICE TAP NO	— BL = BUILDING LINE
	— UE = UTILITY EASEMENT
	— DUE = DRAINAGE & UTILITY EASEMENT
	— FOC = FIBER OPTIC CABLE MARKER
	— GAS = GAS SIGN
	— SSSB = SUB SURFACE SERVICE BOX
	— BCS = BURIED CABLE SIGN
	— T.S. = TRAFFIC SIGNAL
	— U.E. = UTILITY EASEMENT
	— ATMOS FLAG

PAVING REQUIREMENTS

SEE SOILS REPORT FOR ADDITIONAL INFORMATION, REINFORCEMENT, SUBGRADE & OPTIONS.

- 2 DUMPSTER AREA — 7" MIN CONC THICKNESS, 3600 PSI; #3 @ 18" ONEW 6.5 SACK MIN/CY PER SOILS REPORT
- 3 PARKING — 5" MIN CONC THICKNESS, 3000 PSI; #3 @ 18" OCEW 5.5 SACK MIN/CY PER SOILS REPORT
- 4 SIDEWALK — 4" MIN CONC THICKNESS, 3000 PSI; #3 @ 24" OCEW 5.5 SACK MIN/CY
- 3 DRIVE-THRU — 6" MIN CONC THICKNESS, 3600 PSI; #3 @ 18" OCEW 6.5 SACK MIN/CY PER SOILS REPORT

PAVING NOTES

- SAW CUT CONCRETE AREAS SO THAT NO LARGER THAN 15'X15' CONCRETE AREAS REMAIN.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 3 DAYS PRIOR TO ANY CONCRETE POUR.
- ANY WORK DONE IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH CITY REQUIREMENTS.
- ALL BARRIER FREE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY, ADA & TAS STD. SPECIFICATIONS AND DETAILS.
- PAVEMENT SHALL HAVE SEALED JOINTS ON 15 TO 20 FOOT SPACINGS, CUT TO A DEPTH OF AT LEAST 1/4 OF THE PAVEMENT THICKNESS
- EXPANSION JOINTS SHOULD BE ON 45 FOOT SPACING AND BE SEALED WITH AN ELASTOMERIC JOINT SEALANT.
- AFTER CONSTRUCTION, THE CONSTRUCTION AND EXPANSION JOINTS SHOULD BE INSPECTED AS REQUIRED AND RESEALED, IF NECESSARY.
- SOILS REPORT SHALL BE REVIEWED BY CONTRACTOR PRIOR TO BEGINNING ANY CONSTRUCTION.
- LONGITUDINAL BUTT JOINTS PER THE CITY OF ROCKWALL ARE REQUIRED WHERE THE NEW PAVEMENT IS PLACED AGAINST EXISTING PAVEMENT.

RECORD DRAWING

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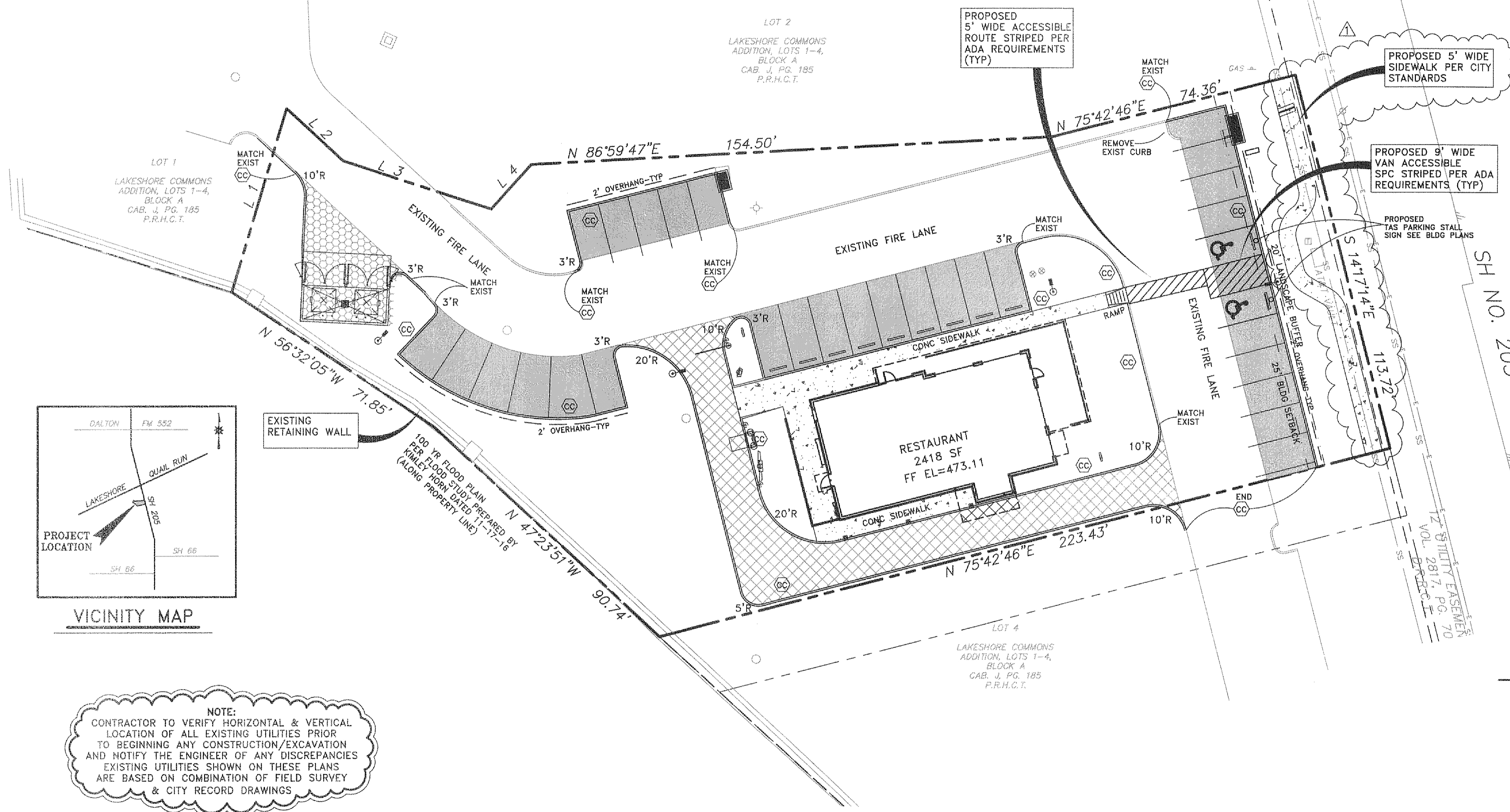
ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<5% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
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CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS

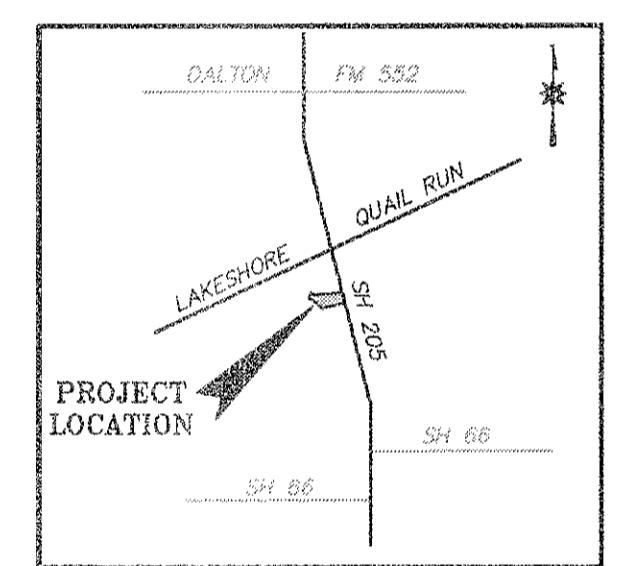
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VICINITY MAP

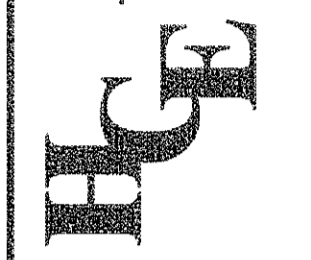
OFFSITE BENCHMARK — STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 668.70' (VERTICAL DATUM: NAVD 1986)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERS" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PEGAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205. ELEVATION = 480.51'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINK OF LAKESHORE DRIVE ± 475' WEST OF STATE HIGHWAY NO. 205. ELEVATION = 486.95'

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Hickman Consulting Engineers, Inc.
3004 County Road 1024
Farmersville, Texas 75442
PH (972)764-2489
markredtick@gmail.com
Engineers Planners



PAVING PLAN
LAKESHORE COMMONS
LOT 3: LAKESHORE COMMONS
ROCKWALL, ROCKWALL COUNTY, TEXAS
MOORE WORTH INVESTMENTS, LLC
8445 FRELINGHUS, IRVING, TEXAS 75063

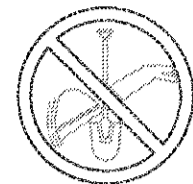
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DATE: FEB2018
DRAWN BY: FP
CHK'D BY: MHH
JOB NO: 1701-357
FILE: 239-42-NO
DATE SUBMITTED: 08/15/18(F)

Hickman Consulting Engineers, Inc.
Mark H. Hickman
Professional Engineer
No. 78409
State of Texas
2/6/19 F-12172

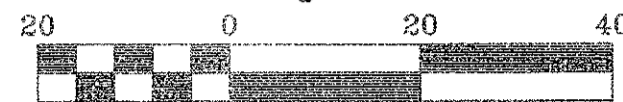
REVISION	DATE	BY	DESCRIPTION
1	10-11-18	BY	ADDED SIDEWALK ALONG HWY 205



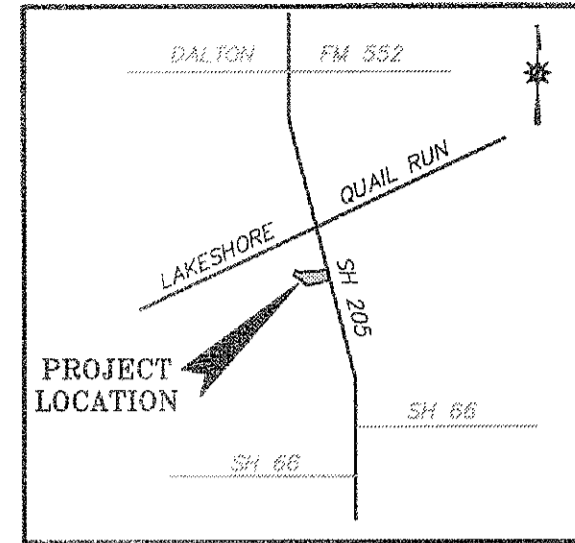
BEFORE YOU DIG CALL:
1-800-245-4545



TEXAS ONE CALL SYSTEM



Scale 1" = 20'



VICINITY MAP

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STOVALL & ASSOCIATES LAND SURVEYING
6417 WESLEY STREET
GREENVILLE, TEXAS 75402
903-450-1120
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LEGEND	
PROPOSED	EXISTING
500 = PROPOSED CONTOURS	⊗ = POWER POLE
515.00 = SPOT ELEVATION AT FINISHED GRADE	⊗ = ANCHOR
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⊗ = PROPOSED GAS	⊗ = LIGHT POLE
⊗ = CONCRETE CURB PER CITY STD	⊗ = FIRE EXTINGUISHER
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	⊗ = SUB SURFACE SERVICE BOX
	⊗ = BURIED CABLE SIGN
	⊗ = TRAFFIC SIGNAL
	⊗ = UTILITY EASEMENT
	⊗ = ATMOS FLAG

- GRADING NOTES:**
- ALL FILL TO BE COMPACTED TO A MIN 95% USING A SHEEP'S FOOT ROLLER.
 - CONTRACTOR TO ADJUST ALL EXISTING OR PROPOSED UTILITIES TO FINAL GRADE.

NOTE:
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<3% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESS AISLE	<2% SLOPE IN ANY DIRECTION

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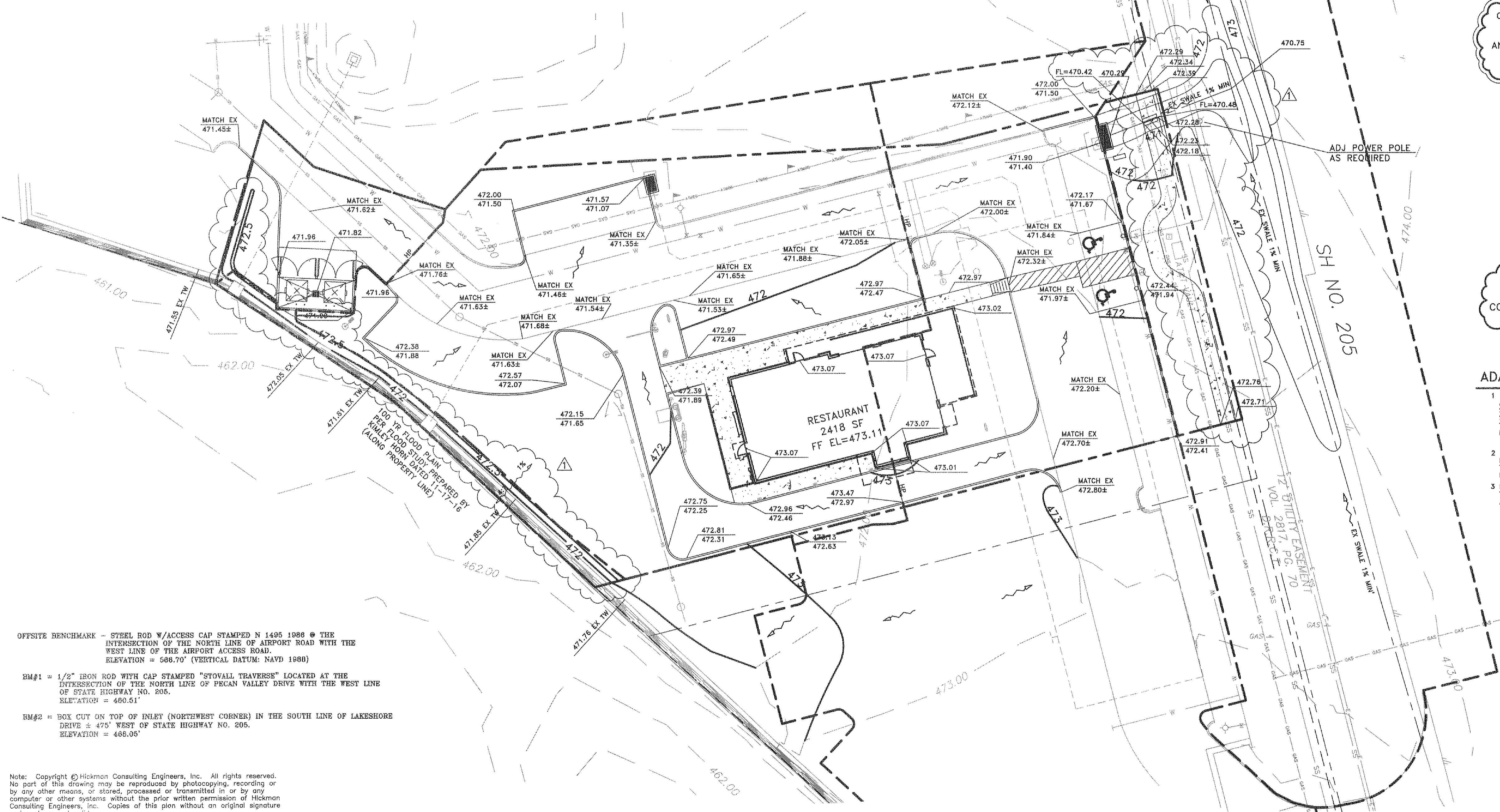
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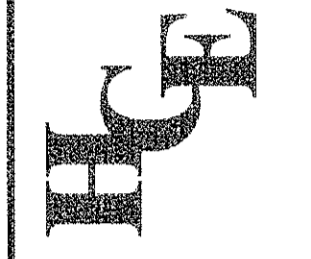
OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 586.70' (VERTICAL DATUM: NAVD 1980)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205. ELEVATION = 480.61'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE = 475' WEST OF STATE HIGHWAY NO. 205. ELEVATION = 468.05'

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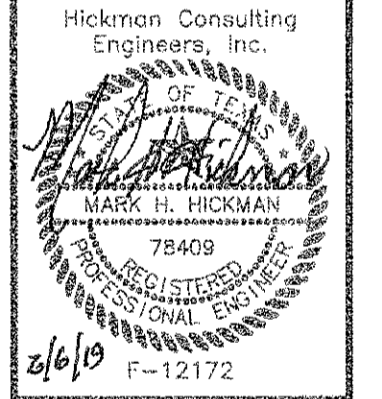
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3094 County Road 1024
Farmersville, Texas 76542
Ph. (817) 268-2519
mace@hickman.com
Engineers



GRADING PLAN
LAKESHORE COMMONS
LOT 3, LAKESHORE COMMONS
ROCKWALL, ROCKWALL COUNTY, TEXAS
MOORE WORTH INVESTMENTS, LLC
8445 FRESHWING, FRESHWING, TEXAS 75043
214-415-9933

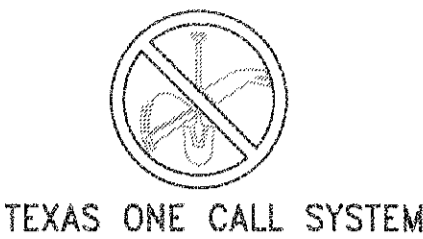
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DATE: FEB 2018
DRAWN BY: FP
CHK'D BY: MH
JOB NO: 1701-357
FILE: 238-04-ND
DATE: 08/15/18(F)

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REVISION	DATE	BY	DESCRIPTION
1	10-11-18	FP	REV GRADING ALONG WALL & ADDED SW

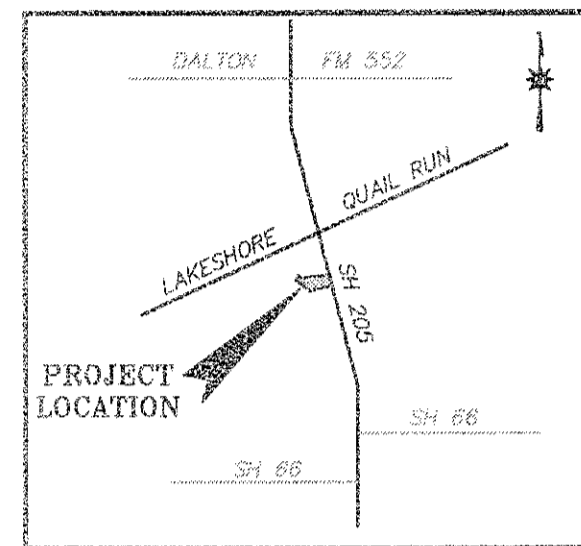
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TEXAS ONE CALL SYSTEM

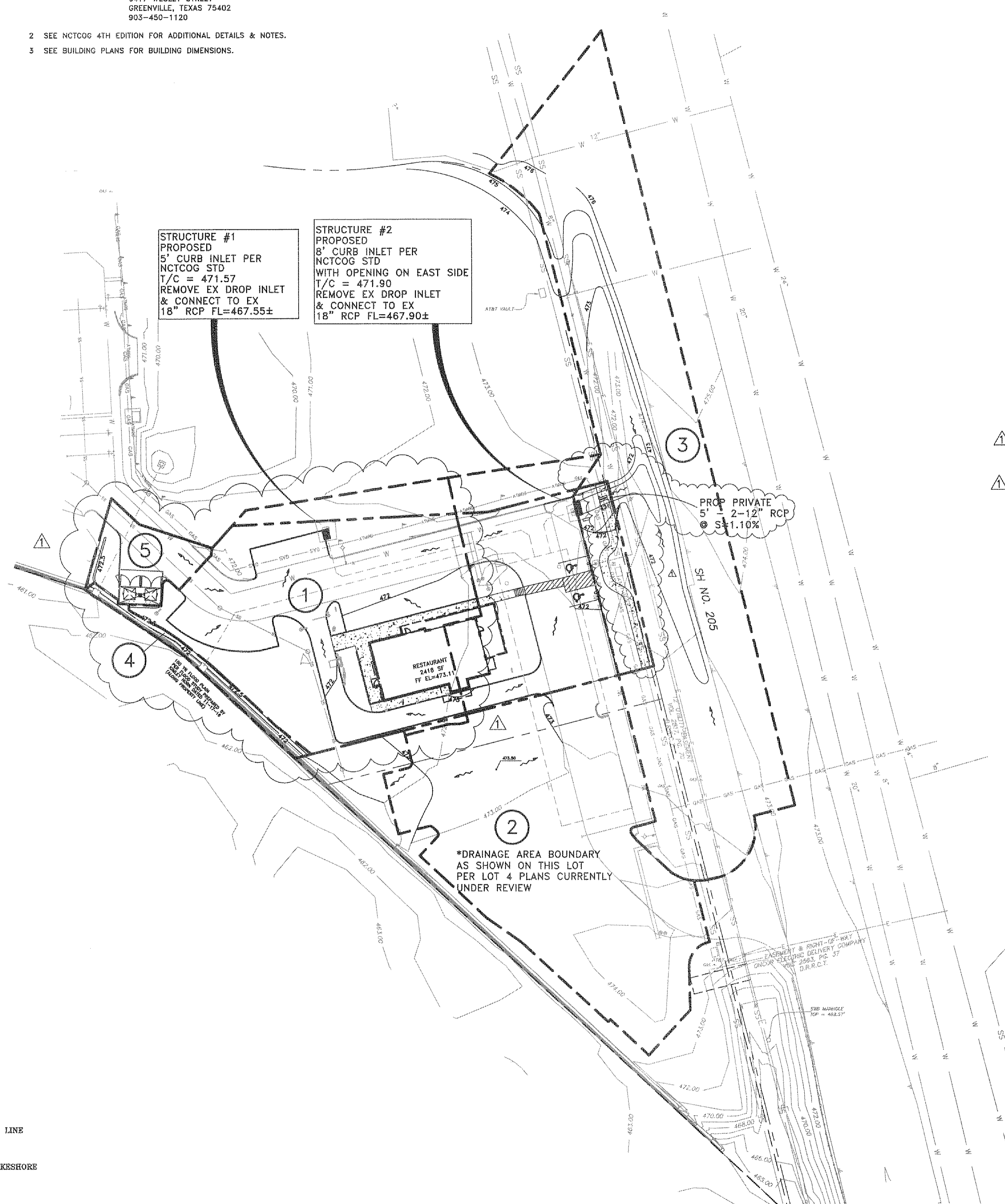


Scale 1" = 40'



VICINITY MAP

- NOTES:**
- BOUNDARY/TOPO SURVEY PROVIDED BY:
STOVALL & ASSOCIATES LAND SURVEYING
6417 WESLEY STREET
GREENVILLE, TEXAS 75402
903-450-1120
 - SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
 - SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

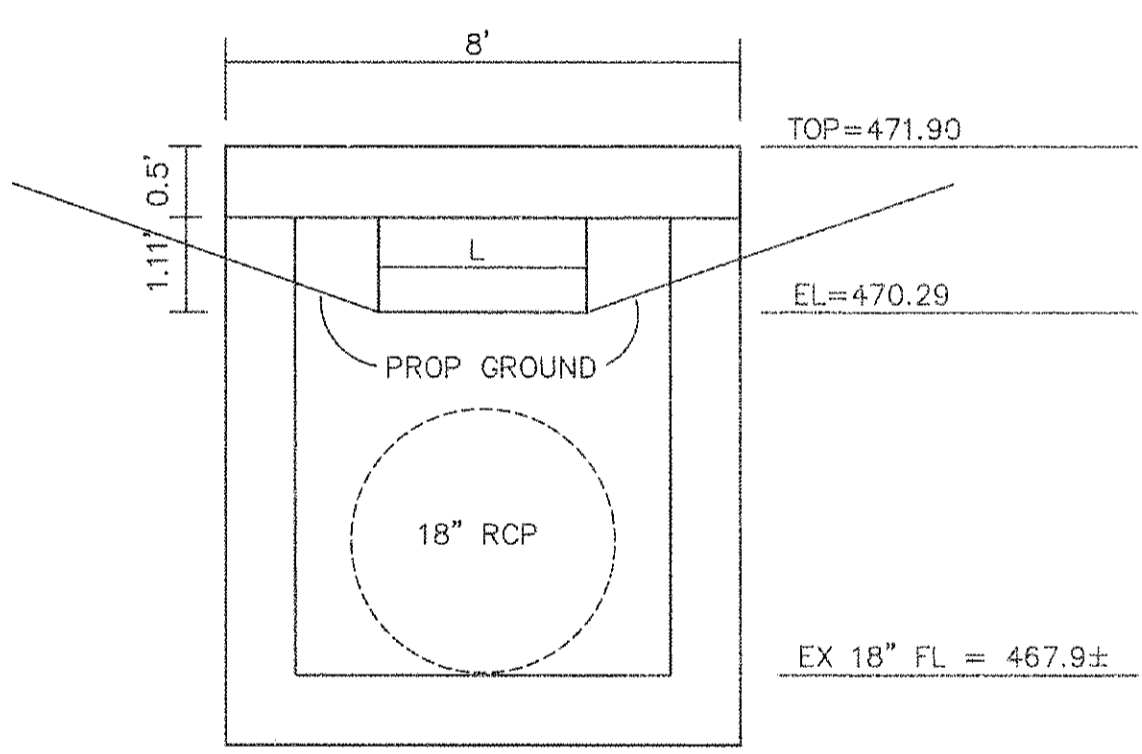


LEGEND	
PROPOSED	EXISTING
— 500 — PROPOSED CONTOURS	⊙ = POWER POLE
515.00 SPOT ELEVATION AT FINISHED GRADE	⊙ = ANCHOR
514.00 INDICATES TOP OF CURB ELEV	⊙ = WATER METER
513.50 INDICATES GUTTER ELEV	⊙ = WATER VALVE
⊙ = PROPOSED WATER LINE	⊙ = IRRIGATION CONTROL VALVE
SS = PROPOSED SANITARY SEWER LINE	⊙ = TELEPHONE PEDESTAL
SD = PROPOSED STORM DRAIN LINE	⊙ = GAS METER
⊙ = PROPOSED CONDUIT	⊙ = MAILBOX
⊙ = PROPOSED GAS	⊙ = LIGHT POLE
⊙ = CONCRETE CURB PER CITY STD	⊙ = FIRE HYDRANT
⊙ = WATER SERVICE TAP NO	BL = BUILDING LINE
	UE = UTILITY EASEMENT
	DUE = DRAINAGE & UTILITY EASEMENT
	FOC = FIBRE OPTIC CABLE MARKER
	GAS = GAS SIGN
	SSSB = SUB SURFACE SERVICE BOX
	BGS = BURIED CABLE SIGN
	⊙ = TRAFFIC SIGNAL
	U.E. = UTILITY EASEMENT
	⊙ = ATMOS FLAG

KEY:
DRAINAGE AREA NO (X)

DRAINAGE AREA CHART							
AREA	C	I ₁₀₀	A	Q ₁₀₀	CONVEYANCE	REMARKS	OUTFALL
1	0.90	9.80	0.50	4.41	TO STRUCTURE #1-CI	TO EXISTING UDS	TO CREEK
2	0.90	9.80	0.81	7.14	TO STRUCTURE #2-CI	TO EXISTING UDS	TO CREEK
3	0.90	9.80	0.82	7.23	TO STRUCTURE #2-CI/OPENING ON EAST SIDE	TO EXISTING UDS	TO CREEK
4	0.90	9.80	0.02	0.18	SHEET FLOW	TO SOUTHWEST	TO CREEK
5	0.90	9.80	0.06	0.53	SHEET FLOW	TO NORTHWEST	TO CREEK

Tc = 10 min



$$Q = CLH^{3/2}$$

$$C = 3 \quad H = 1.11' \quad Q = 7.23 \text{ cfs}$$

$$7.23 = 3 * L * (1.11)^{3/2}$$

$$L = 2.06'$$

STRUCTURE #2 - CURB INLET
EAST SIDE @ SWALE

NOTE:
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL
LOCATION OF ALL EXISTING UTILITIES PRIOR
TO BEGINNING ANY CONSTRUCTION/EXCAVATION
AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES
EXISTING UTILITIES SHOWN ON THESE PLANS
ARE BASED ON COMBINATION OF FIELD SURVEY
& CITY RECORD DRAWINGS

RECORD DRAWING

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OFFSITE BENCHMARK -- STEEL ROD W/ACCESS CAP STAMPED N 1490 1988 @ THE
INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE
WEST LINE OF THE AIRPORT ACCESS ROAD.
ELEVATION = 586.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE
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ELEVATION = 480.61'

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DRIVE ± 475' WEST OF STATE HIGHWAY NO. 205.
ELEVATION = 488.05'

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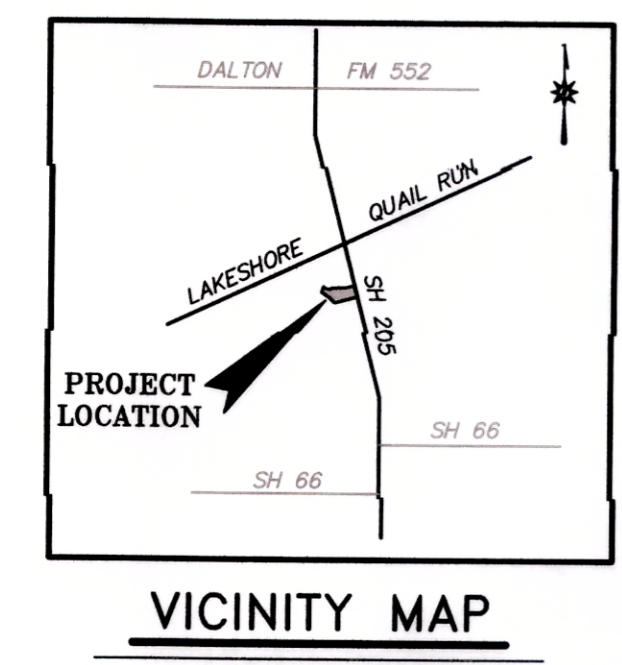
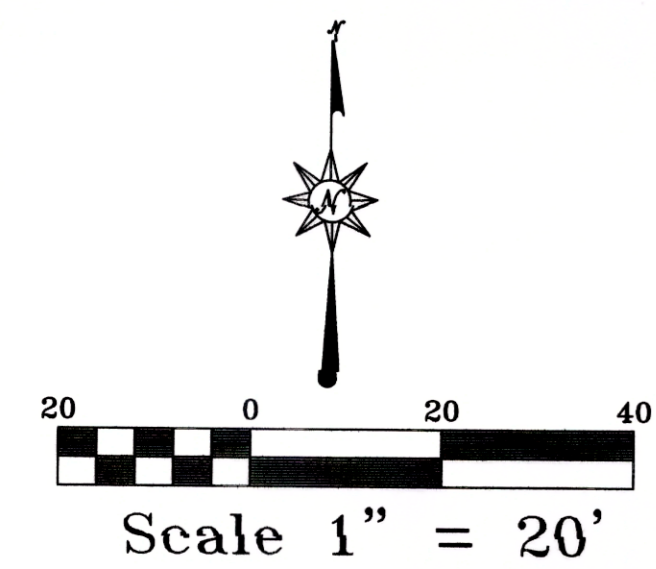
DRAINAGE PLAN
LAKESHORE COMMONS
LOT 3: LAKESHORE COMMONS
ROCKWALL, ROCKWALL COUNTY, TEXAS
MOORE NORTH INVESTMENTS, LLC
8445 FREEMONT PARKWAY, SUITE 175
IRVING, TX 75063
214-415-9993

SCALE: 1"=40'
DATE: FEB2018
DRAWN BY: FP
CHK'D BY: MHH
JOB NO: 1701-357
FILE: 229-102-WO
DATE: 02/09/18/18(F)

Hickman Consulting Engineers, Inc.
MARK S. HICKMAN
78409
2/6/18 F-12172

REVISION	DATE	DESCRIPTION
1	10-11-18	REV DA 1, 4 & 5 & ADDED SW

SHEET
C-5



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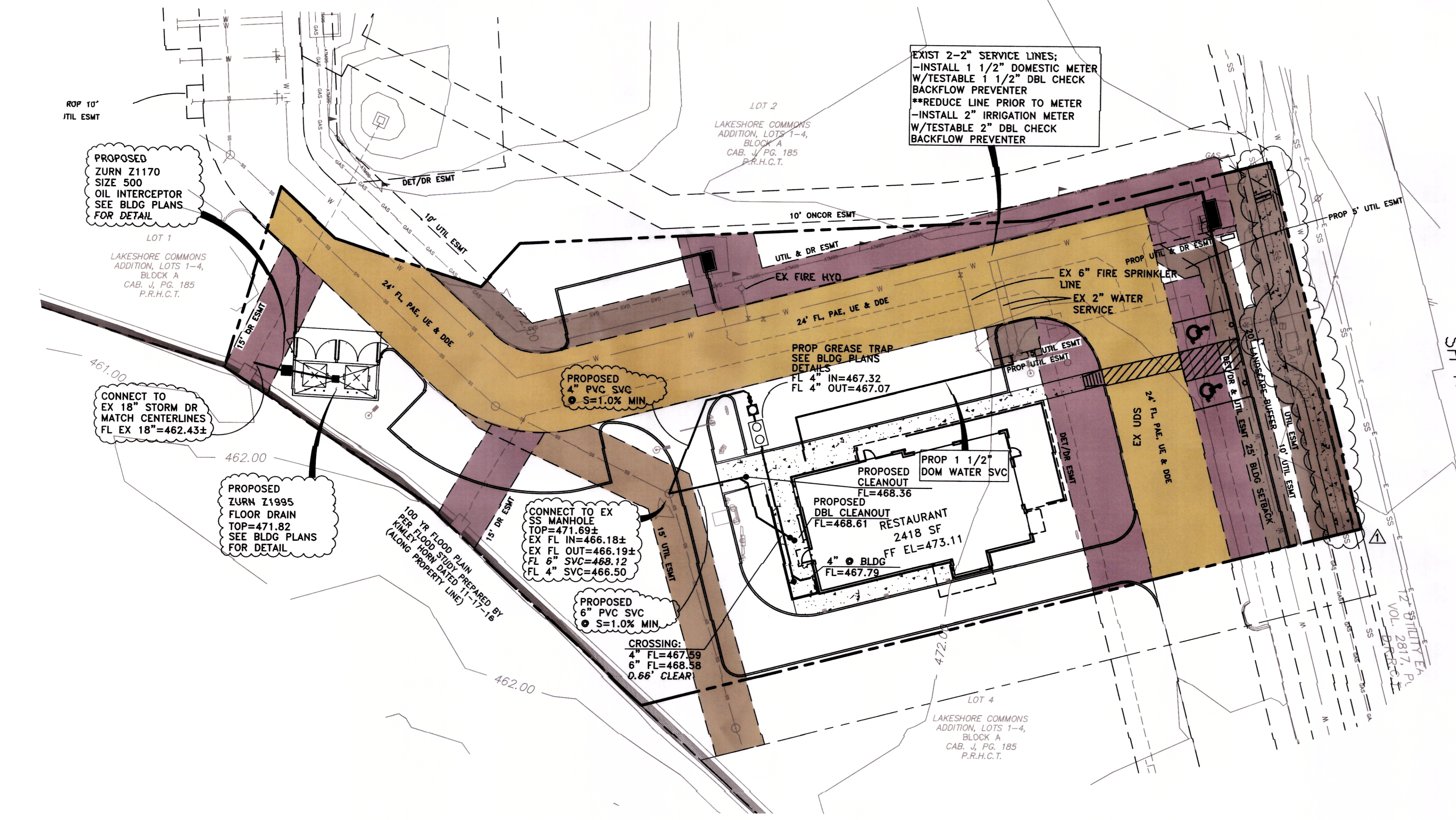
- NOTES:**
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GREENVILLE, TEXAS 75402
903-450-1120
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LEGEND	
PROPOSED	EXISTING
515.00 - PROPOSED CONTOURS	⊗ = POWER POLE
514.00 - SPOT ELEVATION AT FINISHED GRADE	⊙ = ANCHOR
513.50 - INDICATES TOP OF CURB ELEV	⊕ = WATER METER
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	⊕ = FIBER OPTIC CABLE MARKER
	⊕ = GAS SIGN
	⊕ = SUB SURFACE SERVICE BOX
	⊕ = BURIED CABLE SIGN
	⊕ = TRAFFIC SIGNAL
	⊕ = UTILITY EASEMENT
	⊕ = ATMOS FLAG

EASEMENT LEGEND:

[Brown Shaded Area]	UTILITY EASEMENT
[Dark Brown Shaded Area]	SANITARY SEWER EASEMENT
[Purple Shaded Area]	DRAINAGE, DETENTION AND/OR UTIL EASEMENT
[Orange Shaded Area]	FIRE LANE, PUBLIC ACCESS, UTILITY, DETENTION & DRAINAGE EASEMENT

- WATER & WASTEWATER NOTES:**
- ALL WATER AND SANITARY SEWER MAIN CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENT SHALL CONFORM TO THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) GUIDELINES FOR CONSTRUCTION OF PUBLIC WATER AND SEWER SYSTEMS. WATER AND SANITARY SERVICES SHALL BE TESTED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICE AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE "AS-BUILT" PLANS TO THE OWNER SO THAT THE REPRODUCIBLES OF THE PLANS MAY BE CORRECTED TO REFLECT "AS-BUILT" CONDITIONS.
 - THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN ALL NECESSARY WARNING AND SAFETY DEVICES (FLASHING LIGHTS, BARRICADES, SIGNS, ETC.) TO PROTECT THE PUBLIC SAFETY AND HEALTH UNTIL ALL WORK HAS BEEN COMPLETED AND ACCEPTED BY THE CITY.
 - THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERIFY IN THE FIELD ANY UTILITIES THAT MAY CONFLICT WITH HIS CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY RELOCATION OR ADJUSTMENT COST ASSOCIATED WITH HIS WORK. AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION IN THE VICINITY OF EXISTING UNDERGROUND UTILITIES, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES.
 - ALL SANITARY SEWER PIPES SHALL BE SDR 35 CLASS 150 AND SHALL BE TESTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - ALL DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE AND RIGHT-OF-WAY OR PROPERTY LINE, UNLESS NOTED OTHERWISE.
 - WATER SERVICES SHALL BE TYPE K COPPER, LOCATED AS INDICATED ON THE PLANS. METER BOXES SHALL MEET CITY SPECIFICATIONS.
 - SANITARY SEWER LATERALS SHALL BE AS INDICATED ON THE PLAN.
 - EMBEDMENTS SHALL BE PER CITY REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE A TRENCH SAFETY PLAN AND BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO HIS WORK.
 - ALL WATER METERS ARE TO BE LOCATED IN NON-TRAFFIC AREAS.
 - CONSTRUCTION SHALL NOT PROCEED ABOVE THE FOUNDATION PRIOR TO COMPLETION OF ALL FIRE LANES AND FIRE HYDRANTS.
 - ALL SANITARY SEWER LATERALS OUTSIDE OF EASEMENT SHALL BE INSPECTED BY THE CITY BUILDING INSPECTOR PRIOR TO BACKFILL.
 - A CLEAR SPACE OF 3' SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
 - WHEN TYING TO EXISTING MANHOLES, THE INVERT SHALL BE REWORKED.
 - THE FIRE SYSTEM REQUIRES A SEPARATE PERMIT.
 - PRIVATE WATER LINES AND SEWER LINES REQUIRE A SEPARATE PERMIT.
 - ALL WATER MAINS SHALL BE DR 14 C-900 AND SHALL BE TESTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - CONTRACTOR TO INSTALL BLUE EMS DISKS ON WATER LINES AT EVERY CHANGE IN DIRECTION, 250', VALVES AND SERVICE CONNECTIONS.
 - CONTRACTOR TO INSTALL GREEN EMS DISKS ON SEWER LINES AT EVERY CHANGE IN DIRECTION, 250' AND SERVICE CONNECTIONS.



NOTE:
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

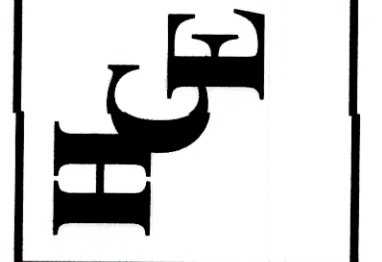
OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 569.70' (VERTICAL DATUM: NAVD 1988)

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markredhick@gmail.com
Engineers



UTILITY PLAN
LAKESHORE COMMONS
LOT 3; LAKESHORE COMMONS
ROCKWALL, ROCKWALL COUNTY, TEXAS
MOORE WORTH INVESTMENTS, LLC
8445 FREEDOMWAY, SUITE 175
IRVING, TX 75038
214-415-9935

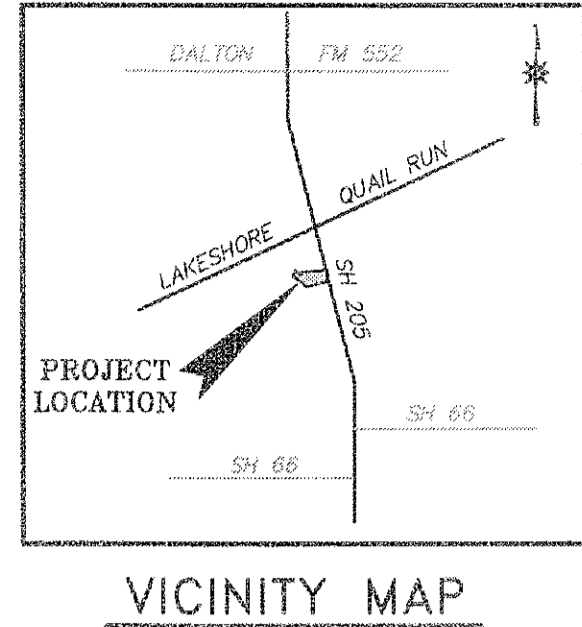
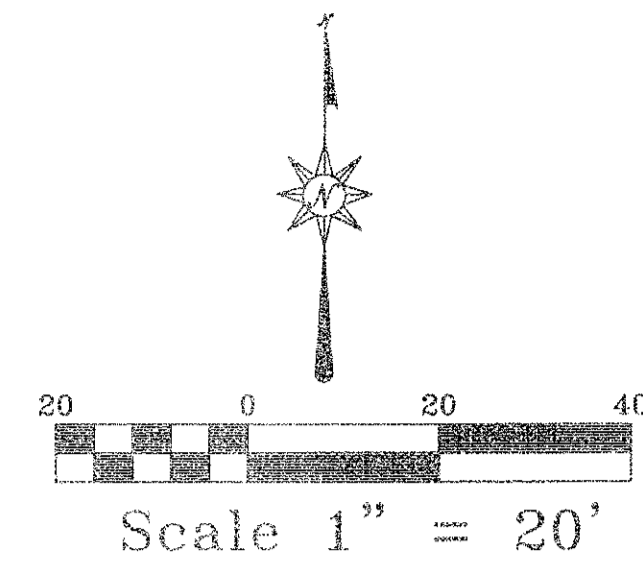
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DATE: FEB 2018
DRAWN BY: FP
CHK'D BY: MHH
JOB NO.: 1701-357
FILE: 248-103-WP
DATE SUBMITTED: 08/15/18 (P)

REVISION	DATE	BY	DESCRIPTION
1	10-11-18	FP	ADDED SIDEWALK ALONG HWY 205

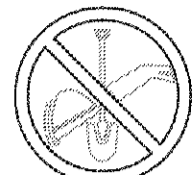
SHEET
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RECORD DRAWING

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TEXAS ONE CALL SYSTEM

NOTES:

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6417 WESLEY STREET
GREENVILLE, TEXAS 75402
903-450-1120
- SEE NCTCOG 4TH EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

LEGEND	
PROPOSED	EXISTING
500 = PROPOSED CONTOURS	⊗ = POWER POLE
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	⊗ = TRAFFIC SIGNAL
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	⊖ = ATMOS FLAG

NOTE:
GENERAL CONTRACTOR TO BE RESPONSIBLE FOR INSTALLING & MAINTAINING ALL EROSION CONTROL DEVICES PER CITY OF ROCKWALL REQUIREMENTS & STANDARDS

CONSTRUCTION SEQUENCE

- PHASE 1 - GRADING
- PHASE 2 - UTILITY INSTALLATION
- PHASE 3 - PAVING
- PHASE 4 - LANDSCAPE/SOIL STABILIZATION

DISTURBED AREA:

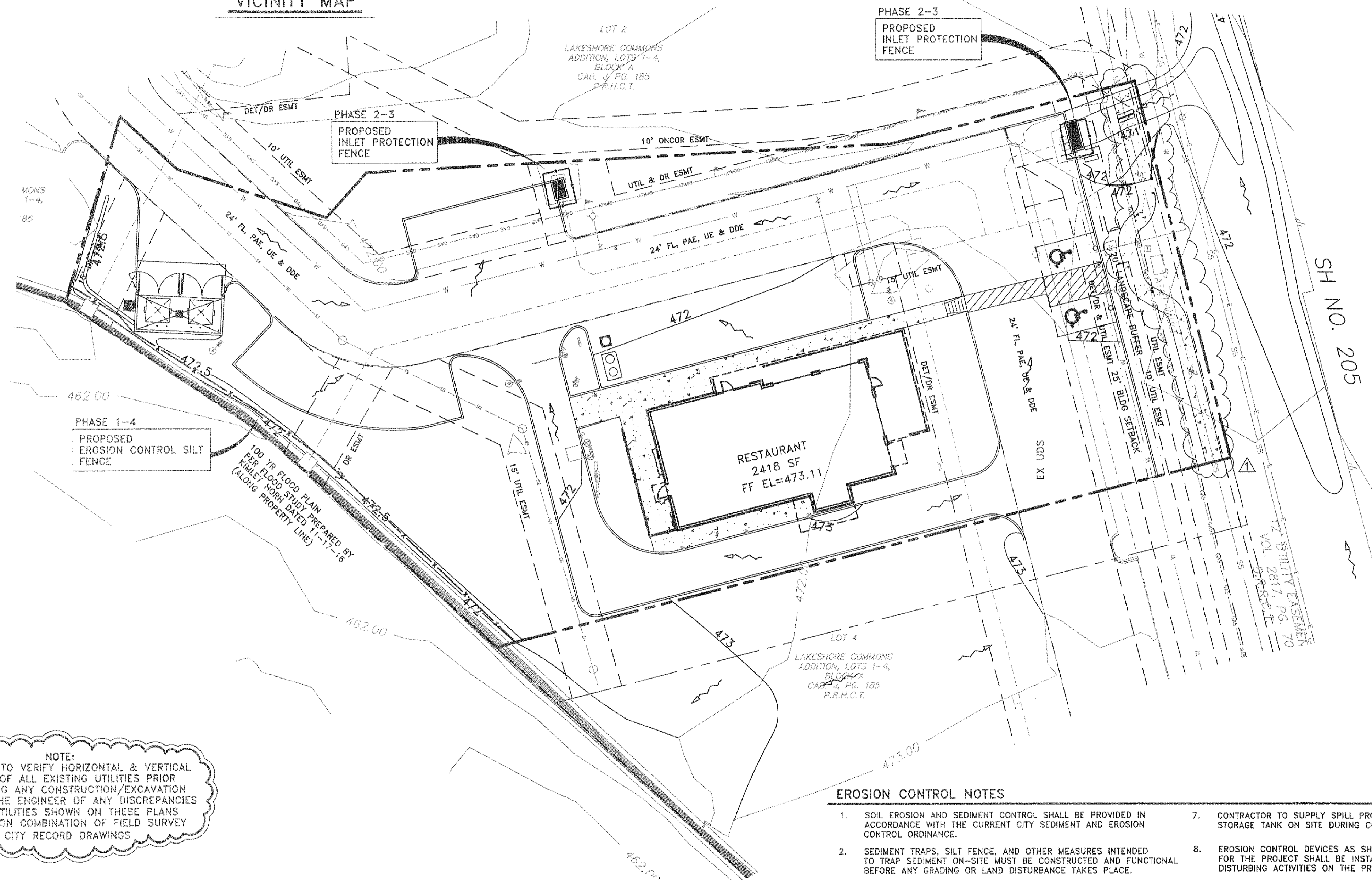
0.96 Ac±

SILT FENCE

SILT FENCE SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM BEHIND FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. INSPECT THE BASE OF THE FENCE TO ENSURE THAT NO GAPS HAVE DEVELOPED AND RE-TRENCH AS NECESSARY. INSPECT FENCE POSTS TO ENSURE THAT THEY ARE PROPERLY SUPPORTING THE FENCE. STRAIGHTEN, RESET AND ADD POSTS IF NECESSARY. IF FILTER FABRIC IS RIPPED, DAMAGED OR DETERIORATED, REPLACE IT IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS AND DETAILS.

INLET PROTECTION

CURB INLET PROTECTION SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM THE STORAGE AREA WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-HALF OF THE STORAGE DEPTH. IF DEWATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE. CLEAN THE FILTER STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.



NOTE:
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EROSION CONTROL NOTES

- SOIL EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE CURRENT CITY SEDIMENT AND EROSION CONTROL ORDINANCE.
- SEDIMENT TRAPS, SILT FENCE, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON-SITE MUST BE CONSTRUCTED AND FUNCTIONAL BEFORE ANY GRADING OR LAND DISTURBANCE TAKES PLACE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DENUDEED AREAS WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED WITHIN FIFTEEN (15) DAYS TO DENUDEED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN SIXTY (60) DAYS. (INCLUDES APPLICATION OF BASE MATERIAL ON AREAS TO BE PAVED.)
- THE CITY/COUNTY & APPROPRIATE STATE AGENCIES SHALL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHOD USED AND THE OVERALL EFFECTIVENESS OF THE EROSION CONTROL PROGRAM. IF AN EROSION AND SEDIMENT ON-SITE INSPECTION INDICATES THAT THE APPROVED CONTROL MEASURES ARE NOT EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION OR IF BECAUSE OF CHANGED CIRCUMSTANCES, THE APPROVED PLAN CAN NOT BE CARRIED OUT, ADDITIONAL MEASURES MAY BE REQUIRED TO BE INSTALLED.
- ALL EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE SITE FOREMAN. ANY STRUCTURES THAT ARE DAMAGED OR INOPERATIVE WILL BE IMMEDIATELY REPAIRED OR REPLACED.
- CONTRACTOR TO CONSTRUCT A PIT OR WASH BASIN FOR "WASH OUT" OF CONCRETE TRUCKS. CONTRACTOR TO CONSTRUCT AN ENCLOSURE TO STORE ALL TRASH AND WASTE MATERIALS UNTIL PROPER DISPOSAL AT OFF-SITE FACILITY.
- CONTRACTOR TO SUPPLY SPILL PROTECTION FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE DURING CONSTRUCTION.
- EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY ENGINEERING DEPT.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
- IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH CITY EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
- MOWABLE VEGETATION SHALL BE ESTABLISHED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- 75-80% OF ALL DISTURBED AREA TO HAVE A MIN OF 1" TALL STAND OF GRASS (NOT WEEDS) PRIOR TO CITY ACCEPTANCE.

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 568.70' (VERTICAL DATUM: NAVD 1988)

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Engineers

EROSION CONTROL PLAN
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LOT 3; LAKESHORE COMMONS
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214-415-9993

SCALE: 1"=20'
DATE: FEB2018
DRAWN BY: FP
CHK'D BY: MHH
JOB NO: 1701-357
FILE: 209-423-90
DATE: FEBRUARY 15/18/18

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78409
F-12172

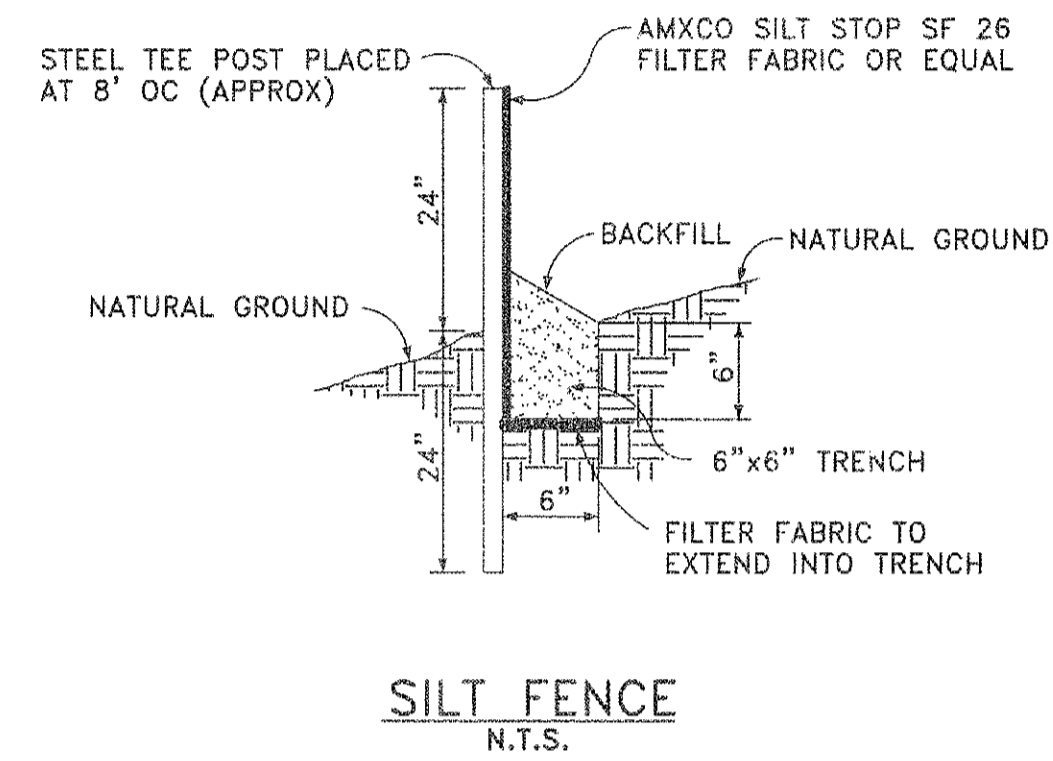
DATE: 10-11-18 BY: [Signature]
DESCRIPTION: ADDED SIDEWALK ALONG HWY 205

REVISION: 1

SHEET
C-7

GENERAL NOTES:

- 1) ALL WORK WITHIN RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND DETAILS & NCTCOG 4TH EDITION.
- 2) EXISTING UTILITIES SHOWN ARE FROM AVAILABLE RECORDS. LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. SOME UTILITY LINES MAY NOT BE SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATION AND PROTECTION OF EXISTING FACILITIES WHETHER SHOWN OR NOT. CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING FACILITIES, WHETHER SHOWN OR NOT, DAMAGED BY CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS EXISTING UTILITIES SHALL NOT BE A BASIS FOR ADDITIONAL EXPENSES.
- 3) TRAFFIC FLOW AND ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF THE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC SAFETY MEASURES FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- 4) THE CONTRACTOR SHALL PROVIDE MATERIAL AND QUALITY CONTROL TESTING AS REQUIRED BY OWNER. TESTS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - DENSITY TESTS FOR GENERAL SITE FILL. (MINIMUM ONE TEST PER LIFT PER 10,000 S.F. FILL.)
 - DENSITY TESTS FOR UTILITY TRENCH BACK FILL (MINIMUM ONE TEST PER 100 L.F. ON EVERY OTHER LIFT)
 - CONCRETE CYLINDER TESTS. (MINIMUM 4 CYLINDERS PER 100 C.Y. OF MATERIAL.)
- 5) CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PONDING OF WATER IN STREETS, DRIVES, TRUCK COURTS, TRENCHES, ETC. WILL NOT BE ALLOWED.
- 6) PAVEMENT REMOVAL AND REPAIR SHALL CONFORM TO CITY GUIDELINES. ALL SAW CUTS SHALL BE FULL DEPTH CUTS. CONTRACTOR SHALL MAKE EFFORTS TO PROTECT CONCRETE EDGES. ANY LARGE SPALLED OR BROKEN EDGES SHALL BE REMOVED BY SAW CUTTING PAVEMENT PRIOR TO REPLACEMENT. DOWEL NEW PAVEMENT TO EXISTING CONCRETE PAVEMENT WITH #6 SMOOTH DOWELS AT 15" C-C EACH FACE. DRILL DOWELS TO A DEPTH OF 12 INCHES AND GROUT OR EPOXY IN PLACE.
- 7) EARTHWORK OPERATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF QUALIFIED PERSONNEL WORKING IN CONJUNCTION WITH THE PROJECT GEOTECHNICAL ENGINEER.
- 8) CONCRETE CURB TO BE CONSTRUCTED PER CITY STANDARDS.
- 9) SEE LANDSCAPE PLAN PRIOR TO ANY CLEARING AND/OR GRUBBING TO LOCATE WHICH TREES AND SHRUBS WILL REMAIN OR BE RELOCATED.
- 10) REVIEW UTILITY PLAN PRIOR TO ANY CLEARING AND/OR GRUBBING.
- 11) REMOVE ALL EXISTING TREES, BUSHES, AND/OR SHRUBS IN THE PATH OF THE SIDEWALK CONSTRUCTION. SPECIAL LANDSCAPE FEATURES TO BE REPLACED WHEN DETERMINED BY THE CITY ENGINEER.
- 12) ALL EXPANSION JOINTS TO BE CONSTRUCTED AT EVERY 40 FEET, AT CURBS AND AT ALL DRIVEWAYS.
- 13) ALL CONSTRUCTION JOINTS SHALL BE PLACED AT 4 OR 5 FOOT INTERVALS ON 4 FOOT WIDE SIDEWALK AND AT EVERY 6 FOOT INTERVALS ON 6 FOOT SIDEWALKS.



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SEE NCTCOG 4TH EDITION FOR ADDITIONAL SPECIFICATIONS AND DETAILS

RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS NOT VERIFIED THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

HCE

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DETAILS

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MOORE WORTH INVESTMENTS, LLC
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214-415-9963

SCALE: N/A
DATE: APRIL 2018
DRAWN BY: FP
CHK'D BY: MHH
JOB NO: 1701-357
FILE # 98-402-D
DATE SUBMITTED: 06/15/18(F)

Hickman Consulting Engineers, Inc.

MARK H. HICKMAN
78409
REGISTERED PROFESSIONAL ENGINEER
2/6/19 F-12172

REVISION	DATE	BY	DESCRIPTION

SHEET
D-1