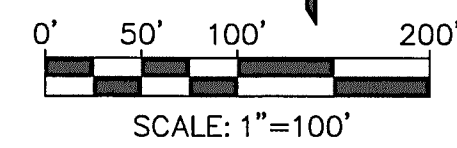
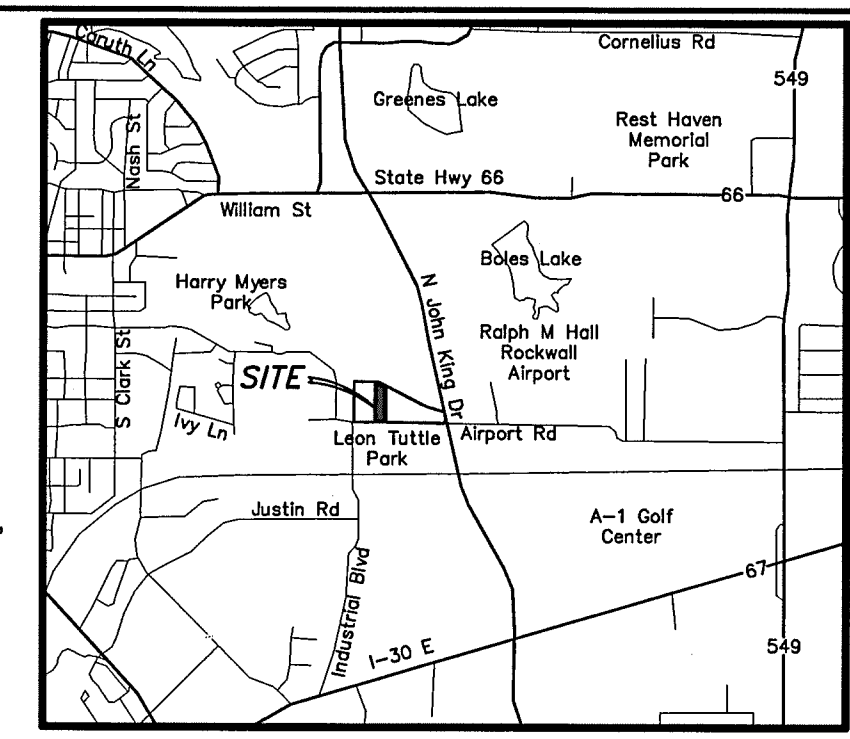
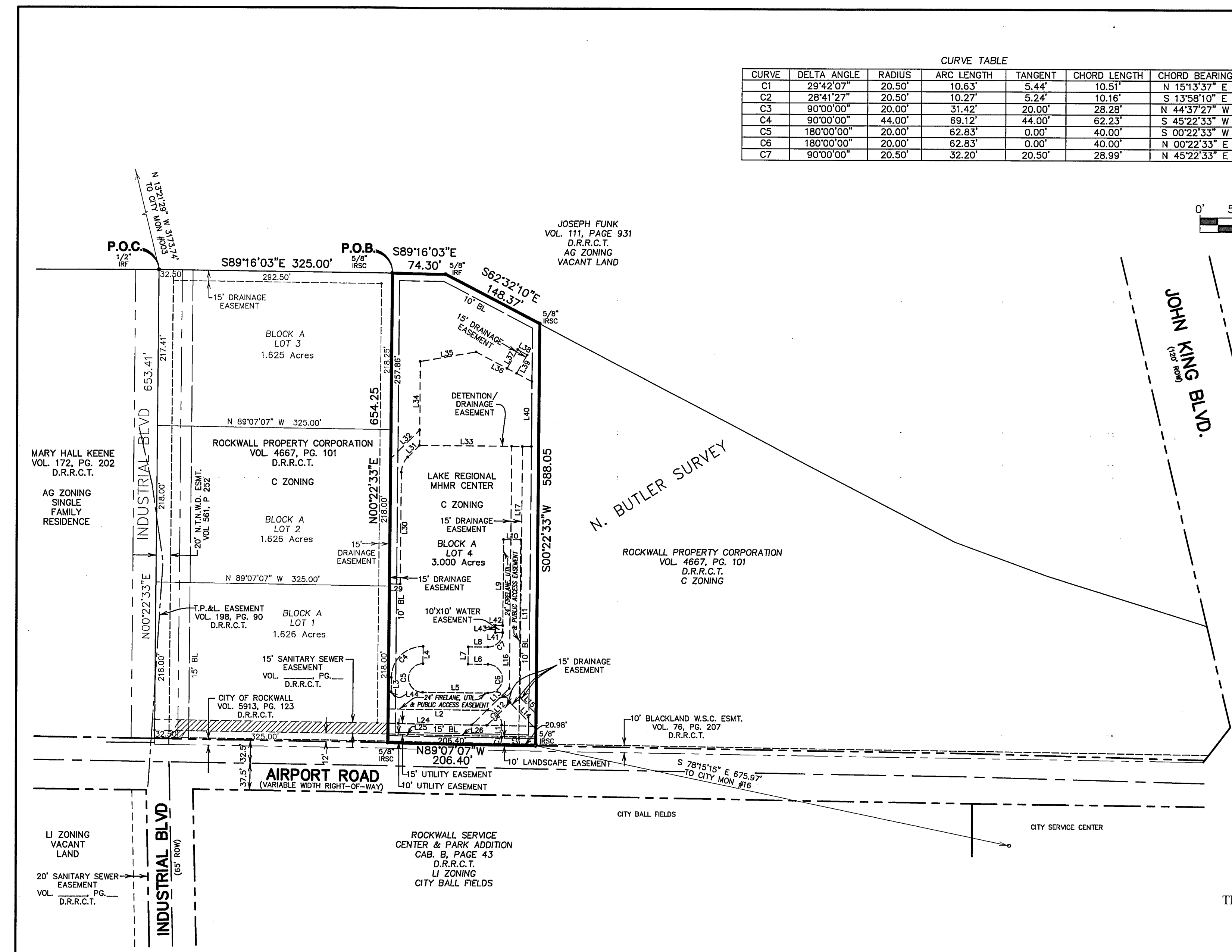


CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	29°42'07"	20.50'	10.63'	5.44'	10.51'	N 15°13'37" E
C2	28°41'27"	20.50'	10.27'	5.24'	10.16'	S 13°58'10" E
C3	90°00'00"	20.00'	31.42'	20.00'	28.28'	N 44°37'23" W
C4	90°00'00"	44.00'	69.12'	44.00'	62.23'	S 45°22'33" W
C5	180°00'00"	20.00'	62.83'	0.00'	40.00'	S 00°22'33" W
C6	180°00'00"	20.00'	62.83'	0.00'	40.00'	N 00°22'33" E
C7	90°00'00"	20.50'	32.20'	20.50'	28.99'	N 45°22'33" E



LINE	BEARING	DISTANCE
L1	N 00°22'33" E	18.22'
L2	N 89°37'27" W	138.89'
L3	N 00°22'33" E	20.00'
L4	S 00°22'33" W	24.00'
L5	S 89°37'27" E	91.00'
L6	N 89°37'27" W	28.00'
L7	N 00°22'33" E	24.00'
L8	S 89°37'27" E	27.50'
L9	N 00°22'33" E	130.00'
L10	S 89°37'27" E	24.00'
L11	S 00°22'33" W	277.29'
L12	S 43°45'07" W	45.41'
L13	N 45°50'27" E	73.37'
L14	N 44°37'27" W	51.09'
L15	N 44°37'27" W	31.82'
L16	N 00°22'33" E	337.73'
L17	N 00°22'33" E	349.87'
L24	S 89°11'28" E	206.40'
L25	N 89°07'07" W	206.40'
L26	S 89°11'28" E	206.40'
L29	N 89°37'27" W	15.00'
L30	S 00°22'33" W	156.67'
L31	S 45°22'33" W	23.20'
L32	S 45°22'33" W	56.84'
L33	S 89°37'27" E	156.20'
L34	S 00°22'33" W	116.64'
L35	S 80°10'05" W	79.02'
L36	N 62°32'10" W	88.09'
L37	N 29°31'00" E	30.10'
L38	S 60°29'00" E	15.00'
L39	S 29°31'00" W	29.56'
L40	N 00°22'33" E	90.53'
L41	N 89°37'27" W	9.99'
L42	N 89°37'27" W	10.00'
L43	S 00°22'33" W	10.00'
L44	N 89°37'27" W	3.89'

VICINITY MAP
(NOT TO SCALE)



NOTES:

- The bearing basis for the plat is the Deed from Rockwall Property Corporation to the City of Rockwall as recorded in Volume 5913, Page 123, Deed Records, Rockwell County, Texas.
- This site is not in the FEMA Floodplain or local 100yr Floodplain.
- It shall be the policy of the City of Rockwall to withhold issuing building permit until all streets, water, sewer and storm drainage system have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

LEGEND

- | | |
|------------|--|
| IRF | IRON ROD FOUND |
| IRSC | 5/8" IRON ROD SET WITH YELLOW CAP MARKED "R.P.L.S. 5274" |
| BL | BUILDING LINE (SET BACK) |
| D.R.R.C.T. | DEED RECORDS, ROCKWALL COUNTY, TEXAS |
| VOL. | VOLUME |
| PG. | PAGE |
| CAB. | CABINET |
| POB | POINT OF BEGINNING |
| POC | POINT OF COMMENCING |

Engineer:
Binkley & Barfield | C&P
 consulting engineers
 1801 Gateway Blvd, Suite 103
 Richardson, Texas 75080
 (972) 644-2800
 Contact: Mr. Thomas Jones
 Firm Registration #F-3185

Owner:
**LAKE REGIONAL
 MHR CENTER**
 P.O. Box 747
 400 Airport Road
 Terrell, Texas 75160
 (972) 524-4159
 Mr. Don Smith

Surveyor:
**COMPASS POINTS
 PROFESSIONAL SERVICES**
 3908 Wyeth Drive
 Plano, Texas 75023
 (972) 333-1064
 Contact: Mr. David F. McCullah, RPLS