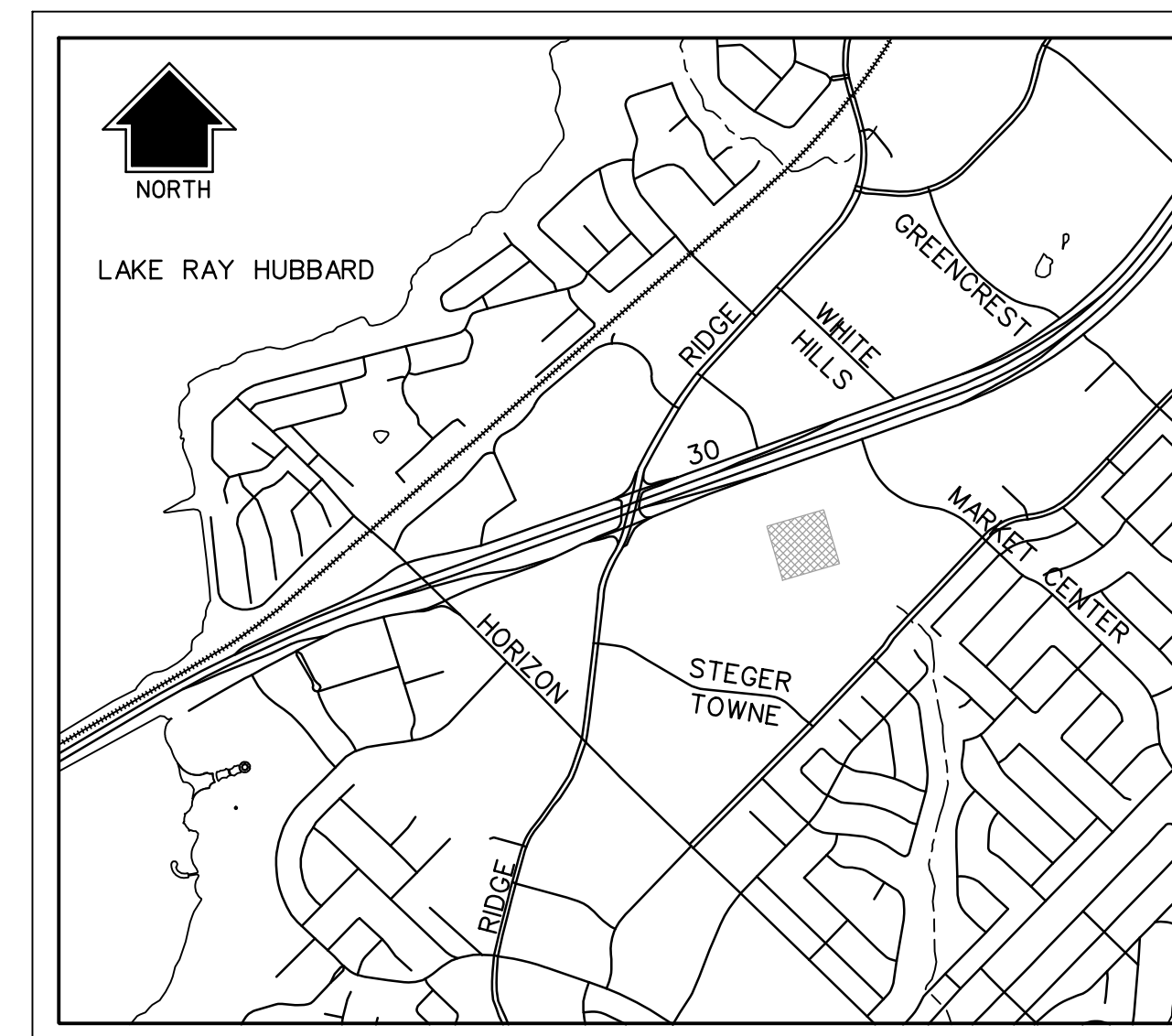


# ENGINEERING CONSTRUCTION PLANS FOR LAKE POINTE CHURCH

NEW CHAPEL/EDUCATIONAL BUILDING  
PART OF LOT 1 BLOCK A  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

AVO 31697 - LAKE POINTE CHURCH  
LOT 1, BLOCK A LAKE POINTE BAPTIST CHURCH ADDITION



LOCATION MAP  
N.T.S.  
MAPSCO NO. 30C-G

## SHEET INDEX

	COVER SHEET
	REPLAT
C0.01	GENERAL NOTES
C1.01	SITE LOCATION PLAN
C1.02	SITE PLAN
C2.01	DEMOLITION PLAN
C3.01	EROSION CONTROL PLAN
C3.02	EROSION CONTROL NOTES & DETAILS
C4.01	PAVING PLAN
C4.02	PAVING DETAILS
C5.01	GRADING PLAN
C5.02	GRADING INSET DETAIL
△ C6.01	DRAINAGE AREA MAP
C6.02-C6.03	STORM DRAIN PLAN
C6.04	STORM DRAIN PROFILE
C6.05	STORM DRAIN CALCULATIONS
C7.01	PRIVATE WASTE WATER PLAN
C8.01	PUBLIC WATER PLAN
C9.01	UTILITY PLAN

### OWNER / DEVELOPER

LAKE POINTE CHURCH- ROCKWALL CAMPUS  
701 INTERSTATE 30  
ROCKWALL, TX 75087  
CONTACT: JOHN WARDELL  
(PH) 469-698-2244

### CIVIL ENGINEER

HALFF ASSOCIATES, INC.  
3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TX 75034  
TBPE FIRM #F-312  
CONTACT: DAN WARFIELD, P.E.  
(PH) 214-618-4570

### ARCHITECT

SHANKS ARCHITECTS  
5151 BELTLINE ROAD, SUITE 840  
DALLAS, TX 75254  
CONTACT: TIM BROYLES, RA  
(PH) 972-788-9300



3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TEXAS 75034-8640  
TEL (214) 618-4570  
FAX (214) 618-4574  
TBPE FIRM #F-312

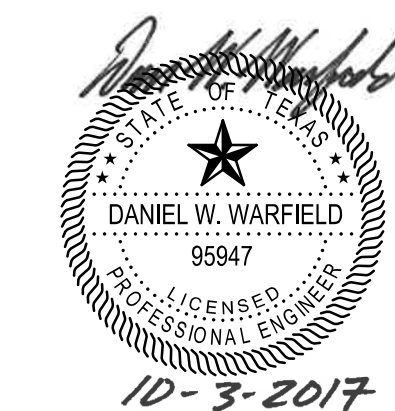
### RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE  
HALFF ASSOCIATES, INC. HEREBY STATES  
THAT THIS PLAN IS A RECORD DRAWING.  
THESE RECORD DRAWINGS HAVE BEEN  
PREPARED BASED ON INFORMATION  
PROVIDED BY THE GENERAL CONTRACTOR,  
MEDCO CONSTRUCTION L.L.C.  
DURING MAY 2018, FIELD OBSERVATIONS,  
ON 05/09/2018, AND FIELD SURVEY  
WORK CONDUCTED AT THE SITE. THIS  
INFORMATION INCLUDES MODIFICATIONS  
BY ADDENDA AND CHANGE ORDERS. THE  
ORIGINAL SEALED CONSTRUCTION  
DRAWINGS ARE ON FILE AT THE OFFICES  
OF:  
HALFF ASSOCIATES, INC., TBPE FIRM #312

ENGINEER OF RECORD:

*Daniel W. Warfield*

DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE 06/11/2018



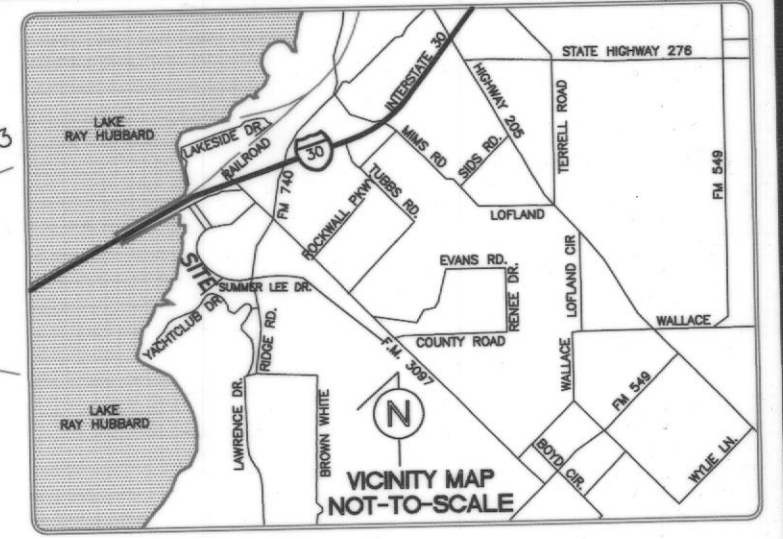
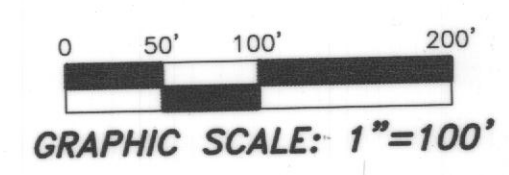
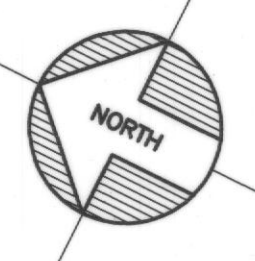
The seal appearing on this document was  
authorized by Daniel W. Warfield, P.E. 95947  
on 10-03-2017. Alteration of a sealed  
document without proper notification to the  
responsible engineer is an offense under the  
Texas Engineering Practice Act. The record  
copy of this drawing is on file at the offices of  
Halff Associates, Inc., 3803 Parkwood Blvd.,  
Frisco, Texas 75034, TBPE FIRM #F-312.

Revision		
No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	GRADING, ADDED F.H. RAISED FL AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS
-	-	-
-	-	-
-	-	-
-	-	-

APRIL 2017 PROBABLE START OF CONSTRUCTION

NOTE:  
THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.

= EXISTING EASEMENT TO BE ABANDONED BY THIS PLAT



**INTERSTATE HIGHWAY 30**

LOT 1A, BLOCK B  
RW MARKETCENTER ADDITION  
CAB. "D", PG. 134

SECOND AMENDED REPLAT  
LOT 1, BLOCK A  
LAKE POINTE BAPTIST  
CHURCH ADDITION  
CAB. E, PG. 217 MRRCT  
**LOT 3, BLOCK A**  
34.4904 AC.

LAKE POINTE BAPTIST CHURCH  
VOL. 1121, PG. 239  
VOL. 1314, PG. 257  
VOL. 1323, PG. 290

LOT 3 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT  
DRAINAGE DETENTION POND AREA  
STEGER DUNHILL, LLC  
VOLUME 5251, PAGE 184 DRCT

LOT 3 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT

LOT 2 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT

LOT 4 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT

**SURVEYOR:**  
BLUE SKY SURVEYING & MAPPING CORPORATION  
TBPLS REG. #10105700  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
(214) 358-4500  
CONTACT: DAVID R. PETREE, R.P.L.S.  
TBPLS REGISTRATION No. 10105700

**OWNER:**  
LAKE POINTE BAPTIST CHURCH  
701 EAST INTERSTATE 30  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-2322

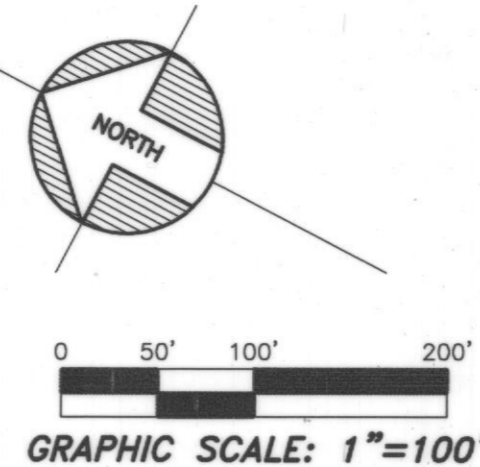
**J 337**  
**FINAL PLAT**  
**LOT 3, BLOCK A**  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A REPLAT OF LOT 1, BLOCK A  
SECOND AMENDED REPLAT  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A 34.4904-ACRE PARCEL  
JAMES SMITH SURVEY, ABSTRACT NO. 200  
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APRIL 9, 2018

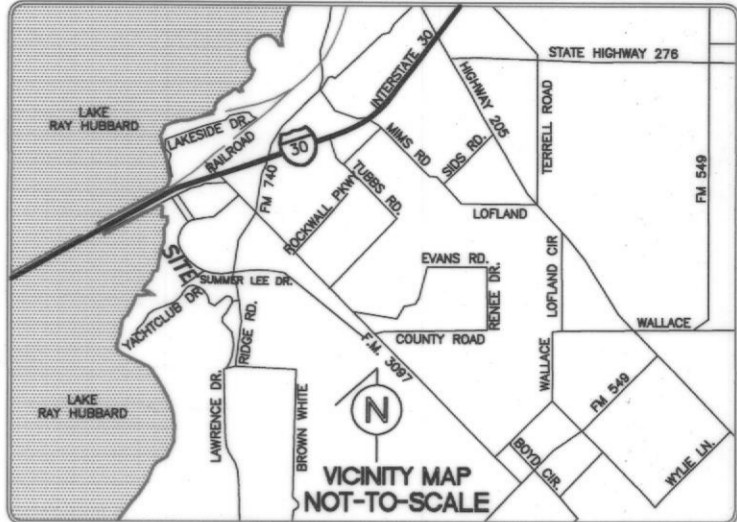
CASE NO. P2017-048

SHEET 1 OF 4

**NOTE:**  
THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.



LOT 1A, BLOCK B  
RW MARKETCENTER ADDITION  
CAB. "D", PG. 134



**INTERSTATE HIGHWAY 30**

POINT OF BEGINNING

LOT 1, BLOCK A  
VERA CRUZ PROPERTIES  
VOL. 5977, PG. 123

LOT 2, BLOCK A  
MILLER ADDITION  
CAB. "D", SL. 1

LOT 1, BLOCK "A"  
CHILLI'S SUBDIVISION  
CAB. C, SLIDE 253

SECOND AMENDED REPLAT  
LOT 1, BLOCK A  
LAKE POINTE BAPTIST  
CHURCH ADDITION  
CAB. E, PG. 217 MRRCT  
**LOT 3, BLOCK A**  
**34.4904 AC.**

LAKE POINTE BAPTIST CHURCH  
VOL. 1121, PG. 239  
VOL. 1314, PG. 257  
VOL. 1323, PG. 290

AMENDED REPLAT  
LOT 2 BLOCK A  
LAKE POINTE BAPTIST  
CHURCH ADDITION  
CAB. E, PG. 217 MRRCT

LOT 3 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT  
DRAINAGE DETENTION POND AREA

LOT 3 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT

LOT 2 BLOCK A  
STEGER TOWNE CROSSING PHASE 1  
CAB. C, SL. 345 MRRCT

**SURVEYOR:**  
BLUE SKY SURVEYING & MAPPING CORPORATION  
TBPLS REG. #10105700  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
(214) 358-4500  
**CONTACT:** DAVID R. PETREE, R.P.L.S.  
TBPLS REGISTRATION No. 10105700

**OWNER:**  
LAKE POINTE BAPTIST CHURCH  
701 EAST INTERSTATE 30  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-2322

**J 338**  
**FINAL PLAT**  
**LOT 3, BLOCK A**  
**LAKE POINTE BAPTIST CHURCH ADDITION**  
**BEING A REPLAT OF LOT 1, BLOCK A**  
SECOND AMENDED REPLAT  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A 34.4904-ACRE PARCEL  
JAMES SMITH SURVEY, ABSTRACT NO. 200  
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

~ EASEMENT LINE TABLE ~

NO.	BEARING	DISTANCE
L10	S70°28'46"W	72.02'
L11	S12°27'15"E	196.37'
L12	S27°42'55"E	19.26'
L13	S12°16'56"E	84.59'
L14	S77°24'22"E	48.77'
L15	S29°36'18"E	474.52'
L16	S17°01'31"W	19.00'
L17	S30°42'18"E	182.24'
L18	S44°00'31"W	219.95'
L19	S47°54'54"E	56.81'
L20	S46°20'41"E	59.74'
L21	S42°31'14"W	50.01'
L22	N46°20'41"W	60.73'
L23	N39°15'47"W	34.45'
L24	S43°50'33"W	249.48'
L25	S45°45'57"E	35.43'
L26	S42°17'11"W	7.88'
L27	N46°02'14"W	24.01'
L28	N42°17'11"E	7.18'
L29	N45°45'57"W	83.33'
L30	N51°42'01"W	63.97'
L31	N46°23'26"W	76.78'
L32	N59°53'58"W	35.10'
L33	N46°08'27"W	488.25'
L34	N18°33'21"W	123.63'
L35	N29°23'41"W	498.11'
L36	N42°49'13"E	25.11'
L37	S30°02'27"E	525.84'
L38	S11°51'30"E	91.71'
L39	S46°08'27"E	490.80'
L40	S59°53'58"E	35.10'
L41	S46°23'26"E	123.46'
L42	N43°59'46"E	540.14'
L43	S86°03'09"W	204.57'
L44	N12°24'29"W	215.32'
L45	S78°15'32"W	77.91'
L46	N12°20'35"W	490.68'
L47	N10°43'32"W	81.95'
L48	S77°32'09"W	56.30'
L49	N12°04'25"W	211.77'
L50	N70°28'46"E	24.20'
L51	S12°04'25"E	202.82'
L52	N77°32'09"E	68.96'
L53	S10°43'32"E	106.35'
L54	S12°20'35"E	468.27'
L55	N78°15'32"E	84.03'
L56	N77°43'40"E	102.79'
L57	N12°27'15"W	429.99'
L58	S80°33'58"W	16.02'
L59	N12°27'15"W	316.11'
L60	S77°34'02"W	320.98'
L61	N70°08'34"W	32.23'
L62	S80°01'01"W	18.65'
L63	N16°57'12"W	16.29'
L64	N70°28'46"E	24.04'
L65	S70°08'34"E	32.23'
L66	N77°34'02"E	320.96'
L67	N12°27'15"W	73.30'
L68	N70°28'46"E	40.31'
L69	S29°36'18"E	384.75'
L70	S21°19'01"E	100.63'
L71	S30°42'18"E	8.67'
L72	S77°43'40"W	150.28'
L73	N12°27'15"W	495.58'
L74	S77°24'22"E	16.96'
L75	N77°43'40"E	317.99'
L76	S31°03'47"E	55.81'
L77	S12°58'57"E	16.54'
L78	S86°03'09"W	204.57'
L79	N12°24'29"W	220.95'
L80	S46°08'27"E	19.31'
L81	N77°41'53"E	73.86'
L82	N19°41'53"E	90.84'
L83	S19°41'53"W	78.88'
L84	S77°41'53"W	64.48'
L85	N46°08'27"W	73.37'
L86	N19°41'52"E	44.77'
L87	N19°41'53"E	34.11'
L88	S12°16'27"E	4.88'
L89	S28°42'14"W	46.71'
L90	N12°20'35"W	138.26'
L91	S77°33'50"W	20.46'
L92	S77°33'50"W	16.74'
L93	N12°26'10"W	15.00'
L94	N77°33'50"E	16.75'
L95	S12°03'08"E	15.00'
L96	N12°16'20"W	28.44'
L97	N77°43'40"E	15.00'
L98	S12°16'20"E	25.18'

~ EASEMENT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C10	44.00'	15°15'40"	11.72'	S20°05'05"E	11.69'
C11	44.00'	15°25'59"	11.85'	S19°59'56"E	11.82'
C12	20.00'	65°07'25"	22.73'	S44°50'39"E	21.53'
C13	20.00'	47°48'04"	16.69'	S53°30'20"E	16.21'
C14	230.52'	69°20'46"	279.01'	S05°23'15"W	262.29'
C15	20.00'	91°55'24"	32.09'	S01°57'11"E	28.76'
C16	394.06'	17°04'12"	117.40'	S58°59'07"E	116.97'
C17	366.93'	17°40'37"	113.20'	S53°34'10"E	112.76'
C18	332.28'	17°53'01"	103.71'	N54°41'18"W	103.29'
C19	407.45'	19°44'32"	140.39'	N56°23'43"W	139.70'
C20	19.69'	90°16'24"	31.02'	N89°38'56"W	27.91'
C21	20.00'	89°36'30"	31.28'	S00°57'42"E	28.19'
C22	49.00'	88°03'08"	75.30'	S01°44'23"E	68.11'
C23	25.00'	88°03'08"	38.42'	N01°44'23"W	34.75'
C24	44.00'	5°56'03"	4.56'	N48°43'59"W	4.56'
C25	44.00'	5°18'35"	4.08'	N49°02'43"W	4.08'
C26	20.00'	13°30'32"	4.72'	N53°08'42"W	4.70'
C27	44.00'	13°45'30"	10.57'	N53°01'12"W	10.54'
C28	44.00'	27°35'06"	21.18'	N32°20'54"W	20.98'
C29	44.00'	18°10'57"	13.96'	S20°56'58"E	13.90'
C30	20.00'	34°16'57"	11.97'	S28°59'59"E	11.79'
C31	20.00'	13°45'30"	4.80'	S53°01'12"E	4.79'
C32	44.00'	13°30'32"	10.37'	S53°08'42"E	10.35'
C33	20.00'	89°46'01"	31.33'	N88°43'34"E	28.23'
C34	211.45'	34°55'02"	128.86'	N27°12'04"E	126.88'
C35	19.14'	166°46'26"	55.72'	N71°48'46"W	38.03'
C36	210.95'	40°45'42"	150.07'	S32°22'05"W	146.93'
C37	44.00'	33°18'13"	25.58'	S69°24'02"W	25.22'
C38	44.00'	81°32'22"	62.62'	N53°10'40"W	57.47'
C39	5.00'	133°21'55"	11.64'	N79°05'26"W	9.18'
C40	99.55'	83°56'49"	145.86'	S76°12'01"W	133.16'
C41	133.94'	15°23'00"	35.96'	N67°18'07"W	35.85'
C42	44.00'	26°44'51"	20.54'	N88°22'03"W	20.35'
C43	96.69'	17°18'49"	29.22'	N82°33'30"E	29.11'
C44	20.00'	76°26'31"	26.68'	N50°33'50"W	24.75'
C45	20.00'	91°44'19"	32.02'	N56°35'41"W	28.71'
C46	32.00'	90°23'25"	50.48'	N57°16'08"W	45.41'
C47	20.00'	90°23'25"	31.55'	S57°16'08"E	28.38'
C48	20.00'	91°44'19"	32.02'	S56°35'41"E	28.71'
C49	20.00'	89°23'53"	31.21'	S57°02'32"E	28.14'
C50	44.00'	23°43'04"	18.21'	S89°52'56"E	18.08'
C51	157.94'	16°42'37"	46.06'	S69°40'06"E	45.90'
C52	75.55'	97°24'28"	128.45'	N72°19'32"E	113.53'
C53	44.00'	54°06'21"	41.55'	N50°40'29"E	40.02'
C54	20.00'	90°10'55"	31.48'	N32°38'12"E	28.33'
C55	20.00'	89°58'42"	31.41'	N57°26'36"W	28.28'
C56	44.00'	32°17'23"	24.80'	N86°17'16"W	24.47'
C57	20.00'	29°50'25"	10.42'	N85°03'47"W	10.30'
C58	20.00'	83°01'47"	28.98'	N58°28'06"W	26.51'
C59	15.00'	87°00'08"	22.78'	S58°15'27"E	20.65'
C60	44.00'	31°36'57"	24.28'	S85°57'03"E	23.97'
C61	20.00'	32°17'23"	11.27'	S86°17'16"E	11.12'
C62	20.00'	90°01'18"	31.42'	N32°33'24"E	28.29'
C63	44.00'	8°17'16"	6.36'	S25°27'40"E	6.36'
C64	44.00'	9°23'16"	7.21'	S26°00'40"E	7.20'
C65	20.00'	108°25'58"	37.85'	S23°30'41"W	32.45'
C66	20.00'	89°49'05"	31.35'	N57°21'48"W	28.24'
C67	20.00'	115°02'53"	40.16'	N45°04'12"E	33.74'
C68	20.00'	47°48'04"	16.69'	S53°30'20"E	16.21'
C69	20.00'	71°12'33"	24.86'	S66°40'03"E	23.29'
C70	228.59'	18°44'25"	74.77'	S24°25'35"E	74.43'
C71	20.01'	97°03'32"	33.90'	S37°38'09"W	29.99'
C72	43.14'	67°44'04"	51.00'	S54°16'34"W	48.09'
C73	186.95'	41°23'50"	135.07'	S32°03'01"W	132.16'
C74	20.00'	33°18'13"	11.63'	S69°24'03"W	11.46'
C75	20.00'	81°32'22"	28.46'	N53°10'40"W	26.12'
C76	20.00'	90°08'09"	31.46'	N32°39'36"E	28.32'
C77	20.00'	90°00'00"	31.42'	N88°51'33"E	28.28'
C78	44.00'	33°50'20"	25.99'	N60°46'43"E	25.61'
C79	40.00'	58°00'00"	40.49'	N48°41'53"E	38.78'
C80	20.00'	31°40'23"	11.06'	N03°51'41"E	10.92'
C81	20.00'	68°19'08"	23.85'	S54°37'31"E	22.46'
C82	96.69'	12°14'10"	20.65'	N85°05'49"E	20.61'
C83	30.00'	56°22'12"	29.52'	S47°52'58"W	28.34'
C84	64.00'	58°00'00"	64.79'	S48°41'53"W	62.06'
C85	25.00'	123°50'20"	54.03'	S15°46'43"W	44.11'
C86	30.00'	32°36'26"	17.07'	N36°00'06"E	16.84'
C87	44.00'	31°47'26"	24.41'	S39°31'02"W	24.10'
C88	44.00'	20°05'31"	15.43'	S65°27'30"W	15.35'
C89	44.00'	2°13'24"	1.71'	S76°36'58"W	1.71'

~ BOUNDARY LINE TABLE ~

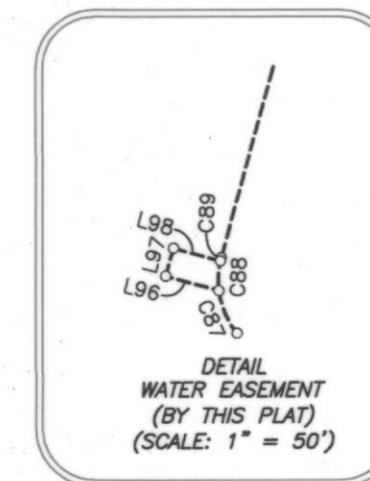
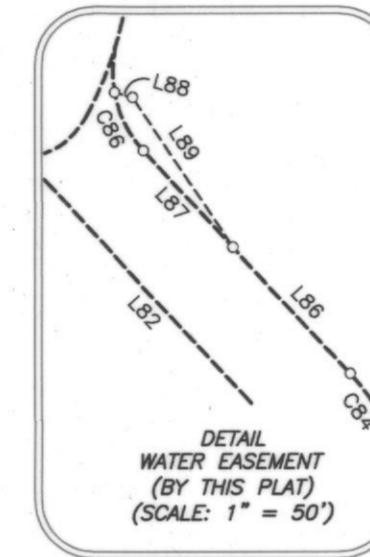
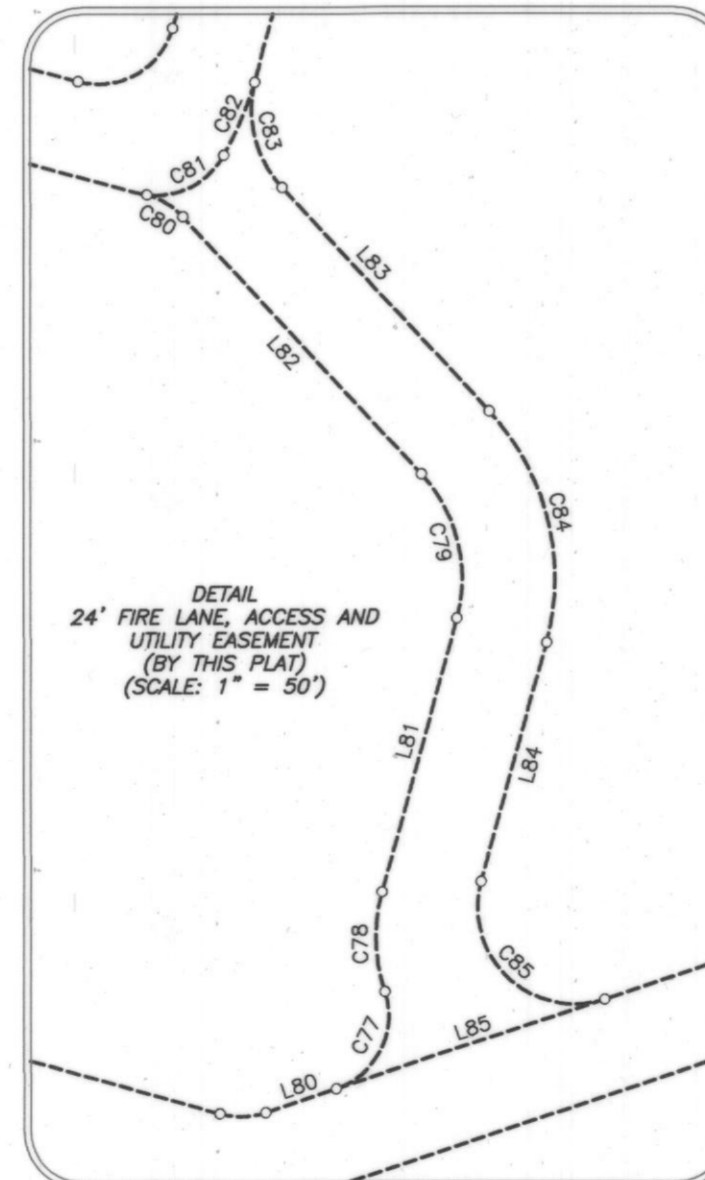
NO.	BEARING	DISTANCE
L1	S 11°47'11" E	249.84'
L2	S 29°22'50" E	282.69'
L3	S 41°04'08" E	94.02'
L4	S 83°42'50" E	108.03'
L5	N 11°47'11" E	90.49'

~ BOUNDARY CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	210.00'	30°23'51"	111.41'	S 14°26'40" E	110.11'
C2	210.00'	11°25'32"	41.88'	S 35°21'22" E	41.81'
C3	190.00'	11°41'18"	38.76'	S 35°13'29" E	38.69'
C4	1250.00'	08°10'23"	178.31'	S 39°29'51" W	178.16'
C5	1150.00'	08°49'46"	177.22'	S 39°49'33" W	177.04'
C6	315.00'	29°05'23"	159.93'	N 69°09'56" W	158.22'

NOTE:

THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.



SURVEYOR:  
BLUE SKY SURVEYING & MAPPING CORPORATION  
TBPLS REG. #10105700  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
(214) 358-4500  
CONTACT: DAVID R. PETREE, R.P.L.S.  
TBPLS REGISTRATION No. 10105700

OWNER:  
LAKE POINTE BAPTIST CHURCH  
701 EAST INTERSTATE 30  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-2322

J 339  
FINAL PLAT  
LOT 3, BLOCK A  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A REPLAT OF LOT 1, BLOCK A  
SECOND AMENDED REPLAT  
LAKE POINTE BAPTIST CHURCH ADDITION  
BEING A 34.4904-ACRE PARCEL  
JAMES SMITH SURVEY, ABSTRACT NO. 200  
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APRIL 9, 2018

CASE NO. P2017-048

SHEET 3 OF 4

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, LAKEPOINTE BAPTIST CHURCH IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64 AND THE JAMES SMITH SURVEY, ABSTRACT NO. 200 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF LOT 1 IN BLOCK A OF SECOND AMENDED REPLAT OF LOT 1 IN BLOCK A OF LAKE POINT BAPTIST CHURCH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, SLIDE 217 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THOSE TRACTS OF LAND AS DESCRIBED IN WARRANTY DEED TO THE CHURCH ON THE ROCK AS RECORDED IN VOLUME 286, PAGE 11 AND VOLUME 248, PAGE 323 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 30, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1 IN BLOCK A;

THENCE FOLLOWING ALONG THE EAST LINE OF SAID LOT IN BLOCK A OF LAKE POINT BAPTIST CHURCH ADDITION AND THE WEST LINE OF SAID LOT 1A IN BLOCK B OF RW MARKETCENTER ADDITION THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (8);

- 1. SOUTH 11' 47' 11" EAST FOR A DISTANCE OF 249.84 FEET TO A POINT FOR CORNER;
2. SOUTH 29' 22' 50" EAST FOR A DISTANCE OF 282.69 FEET TO A 1/2" IRON ROD WITH RED CAP FOUND FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET WITH A CENTRAL ANGLE OF 30' 23' 51" AND A CHORD BEARING SOUTH 14' 26' 40" EAST AT A DISTANCE OF 110.11 FEET;
3. SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT FOR AN ARC DISTANCE OF 111.41 FEET TO A POINT FOR CORNER;
4. SOUTH 29' 38' 36" EAST FOR A DISTANCE OF 227.00 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET WITH A CENTRAL ANGLE OF 11' 25' 32" AND A CHORD BEARING SOUTH 35' 21' 22" EAST AT A DISTANCE OF 41.81 FEET;
5. SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT FOR AN ARC DISTANCE OF 41.88 FEET TO A POINT FOR CORNER;
6. SOUTH 41' 04' 08" EAST FOR A DISTANCE OF 94.02 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 190.00 FEET WITH A CENTRAL ANGLE OF 11' 41' 18" AND A CHORD BEARING SOUTH 35' 13' 29" EAST AT A DISTANCE OF 38.69 FEET;
7. SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 38.76 FEET TO A POINT FOR CORNER;
8. SOUTH 29' 22' 50" EAST FOR A DISTANCE OF 521.04 FEET TO A 1/2" IRON ROD WITH RED CAP FOUND FOR CORNER, SAID POINT BEING THE SOUTHEASTERLY CORNER OF AFORESAID LOT 1 IN BLOCK A OF LAKEPOINTE BAPTIST CHURCH ADDITION AND BEING IN THE NORTHWEST RIGHT-OF-WAY LINE OF RALPH HALL PARKWAY (110' RIGHT-OF-WAY), SAID POINT ALSO BEING THE SOUTHWEST CORNER OF AFORESAID LOT 1A IN BLOCK B OF RW MARKETCENTER ADDITION, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 1250.00 FEET WITH A CENTRAL ANGLE OF 08' 10' 23" AND A CHORD BEARING SOUTH 39' 29' 51" WEST AT A DISTANCE OF 178.16 FEET;

THENCE SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT AND ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY FOR AN ARC DISTANCE OF 178.31 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1150.00 FEET WITH A CENTRAL ANGLE OF 08' 49' 46" AND A CHORD BEARING SOUTH 39' 49' 33" WEST AT A DISTANCE OF 177.04 FEET;

THENCE SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY FOR AN ARC DISTANCE OF 177.22 FEET TO A POINT FOR CORNER;

THENCE SOUTH 44' 14' 26" WEST AND CONTINUING ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY FOR A DISTANCE OF 171.71 FEET TO A POINT FOR CORNER, SAID POINT BEING THE EASTERLY CORNER OF LOT 2 IN BLOCK A OF AMENDED REPLAT OF LAKE POINTE BAPTIST CHURCH ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, SLIDE 217 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 46' 02' 14" WEST AND DEPARTING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID RALPH HALL PARKWAY AND ALONG THE COMMON LINE OF AFORESAID LOTS 1 AND 2 IN BLOCK A OF LAKEPOINTE BAPTIST CHURCH ADDITION FOR A DISTANCE OF 242.92 FEET TO A POINT FOR CORNER;

THENCE SOUTH 43' 57' 49" WEST ALONG THE COMMON LINE OF AFORESAID LOTS 1 AND 2 IN BLOCK A OF LAKEPOINTE BAPTIST CHURCH ADDITION AND PASSING THE WESTERLY CORNER OF SAID LOT 2 AND THE NORTHERLY CORNER OF LOT 1 IN BLOCK 1 OF DRAKE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, SLIDE 301 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS AND ALONG THE SOUTHEASTERLY LINE OF A 60' DRIVEWAY EASEMENT FOR A DISTANCE OF 539.77 FEET TO A POINT FOR CORNER IN THE NORTHEAST RIGHT-OF-WAY LINE OF STEGER TOWNE DRIVE (65' RIGHT-OF-WAY), SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 315.00 FEET WITH A CENTRAL ANGLE OF 29' 05' 23" AND A CHORD BEARING NORTH 69' 09' 56" WEST AT A DISTANCE OF 158.22 FEET;

THENCE NORTHWESTERLY ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF SAID STEGER TOWNE DRIVE FOR AN ARC DISTANCE OF 159.93 FEET TO A POINT FOR CORNER, SAID POINT BEING IN THE SOUTH LINE OF LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "C", SLIDE 345 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT ALSO BEING IN THE SOUTH LINE OF A TRACT OF LAND DESCRIBED IN DEED TO STEGER DUNHILL, LLC AS RECORDED IN VOLUME 5251, PAGE 184 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 83' 42' 50" EAST ALONG THE SOUTH LINE OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 AND THE COMMON NORTH LINE OF SAID 60' DRIVEWAY EASEMENT FOR A DISTANCE OF 108.03 FEET TO A POINT FOR CORNER;

THENCE NORTH 43' 57' 49" EAST ALONG THE EASTERLY LINE OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 AND THE COMMON NORTH LINE OF SAID 60' DRIVEWAY EASEMENT FOR A DISTANCE OF 335.89 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING THE EASTERLY CORNER OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 ADDITION AND BEING IN THE WESTERLY LINE OF LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION;

THENCE NORTH 46' 02' 14" WEST ALONG THE WESTERLY LINE OF SAID LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION AND THE NORTHEASTERLY LINE OF SAID LOT 3 IN BLOCK A OF STEGER TOWNE CROSSING PHASE 1 FOR A DISTANCE OF 857.57 FEET TO AN "X" CUT IN CONCRETE FOUND FOR CORNER, SAID POINT BEING THE MOST SOUTHERLY SOUTHEAST CORNER OF LOT 3 OF MILLER ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 1 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 11' 47' 11" EAST ALONG THE COMMON LINE OF SAID LOT 3 OF MILLER ADDITION AND SAID LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION FOR A DISTANCE OF 90.49 FEET TO A POINT FOR CORNER;

THENCE NORTH 29' 23' 41" WEST ALONG THE EASTERLY LINE OF SAID MILLER ADDITION AND THE WEST LINE OF SAID LOT 1 IN BLOCK A OF LAKE POINTE BAPTIST ADDITION FOR A DISTANCE OF 486.93 FEET TO AN "X" CUT IN CONCRETE FOUND FOR CORNER, SAID POINT BEING IN THE EAST LINE OF LOT 2 OF SAID MILLER ADDITION, SAID POINT ALSO BEING THE SOUTHERLY CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO VERA CRUZ PROPERTIES AS RECORDED IN VOLUME 5977, PAGE 123 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 42' 49' 13" EAST ALONG THE SOUTH LINE OF SAID VERA CRUZ TRACT FOR A DISTANCE OF 174.31 FEET TO A POINT FOR CORNER, SAID POINT BEING THE SOUTHEAST CORNER OF SAID VERA CRUZ TRACT AND THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL CHAMBER OF COMMERCE AS RECORDED IN VOLUME 239, PAGE 236 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 70' 27' 23" EAST ALONG THE SOUTH LINE OF SAID ROCKWALL CHAMBER OF COMMERCE FOR A DISTANCE OF 158.17 FEET TO AN "X" CUT IN CONCRETE FOUND FOR CORNER;

THENCE NORTH 12' 04' 25" WEST ALONG THE EAST LINE OF SAID ROCKWALL CHAMBER OF COMMERCE FOR A DISTANCE OF 210.02 FEET TO A 1/2" IRON ROD FOUND FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 30;

THENCE NORTH 70' 28' 46" EAST FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 30 FOR A DISTANCE OF 662.26 FEET TO THE POINT OF BEGINNING AND CONTAINING 34.4904 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 3, BLOCK A, LAKE POINTE BAPTIST CHURCH ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LAKE POINTE BAPTIST CHURCH ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING;

- (1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ADJUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREOF ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE 10th DAY OF April, 2018.

LAKE POINTE CHURCH

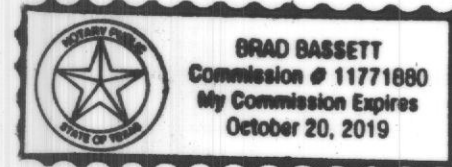
BY: John Wardell, Trustee

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN WARDELL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 10th DAY OF April, 2018.

Notary Public in and for the State of Texas
My Commission Expires:



Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
05/18/2018 02:28:09 PM
\$200.00
20180000006587



SURVEYOR:
BLUE SKY SURVEYING & MAPPING CORPORATION
TBPLS REG. #10105700
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500
CONTACT: DAVID R. PETREE, R.P.L.S.
TBPLS REGISTRATION No. 10105700

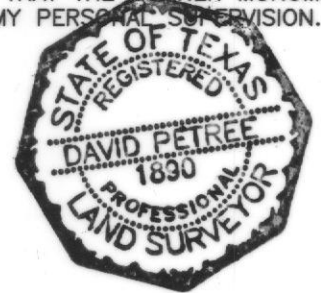
OWNER:
LAKE POINTE BAPTIST CHURCH
701 EAST INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 972-771-2322

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

David Petree

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

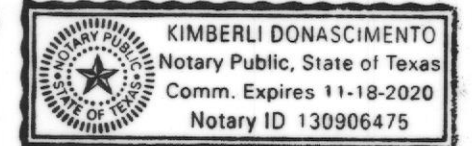


STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID PETREE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 10 DAY OF April, 2018.

Notary Public in and for the State of Texas
My Commission Expires:



RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE 2 DAY OF October, 2018.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS 15th DAY OF May, 2018.

Mayor, City of Rockwall



City Engineer

COPY

J 340
FINAL PLAT
LOT 3, BLOCK A
LAKE POINTE BAPTIST CHURCH ADDITION
BEING A REPLAT OF LOT 1, BLOCK A
SECOND AMENDED REPLAT
LAKE POINTE BAPTIST CHURCH ADDITION
BEING A 34.4904-ACRE PARCEL
JAMES SMITH SURVEY, ABSTRACT NO. 200
E.P.G. CHISUM SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APRIL 9, 2018

CASE NO. P2017-048

**GENERAL NOTES:**

- All work shall conform to the requirements of the City of Rockwall and shall be in accordance with the specifications for this project, these plans, and the North Central Texas Council of Governments (NCTCOG) Standard Specifications for Public Works Construction, 4th Edition.
- Contractor is responsible for, and must obtain prior to construction, all necessary construction permits required by the City of Rockwall.
- The Contractor shall abide by all applicable federal, state, and local laws governing excavation. The Contractor shall provide detailed plans and specifications for trench safety systems that comply with applicable laws governing excavation. These plans shall be sealed by an Engineer experienced in the design of trench safety systems and licensed by the State of Texas. Submit plan to the Owner prior to commencing work. The Contractor shall be solely responsible for all aspects of work related to excavation.
- Existing utility locations shown are taken from available records provided by the utility Owner and field locations of surface appurtenances. Locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Some utility lines may not be shown. Contractor shall assume responsibility for actual field location and protection of existing facilities whether shown or not. Contractor shall also assume responsibility for repairs to existing facilities, whether shown or not, damaged by contractor's activities. Differences in horizontal or vertical location of existing utilities shall not be a basis for additional expense.
- Contractor shall locate and adjust existing utility manhole lids, cleanouts, water valves and other surface appurtenances as required for new construction. Contractor shall coordinate utility adjustments with other disciplines and the appropriate utility agencies and provide for all fees for permits, connections, inspections, etc.
- The Contractor shall protect existing property monumentation and primary control. Any such points which the Contractor believes will be destroyed shall have offset points established by the Contractor prior to construction. Any monumentation destroyed by the Contractor shall be reestablished at his expense.
- Any damages that may occur to real property or existing improvements shall be restored by the Contractor to at least the same condition that the real property or existing improvements were in prior to the damages. This restoration shall be subject to the Owner's approval; moreover, this restoration shall not be a basis for additional compensation to the Contractor. Restoration shall include, but not be limited to, regrassing, revegetation, replacing fences, replacing trees, etc.
- It shall be the responsibility of the Contractor to:
  - Prevent any damage to private property and property owner's poles, fences, shrubs, etc.
  - Provide access to all drives during construction.
  - Protect all underground utilities to remain in service.
  - Notify all utility companies and verify location of all utilities prior to start of construction.
- Contractor shall maintain positive drainage at all time during construction. Ponding of water in streets, drives, truck courts, trenches, etc. will not be allowed.
- Contractor shall maintain existing sanitary sewer and water service at all times during construction.
- Contractor is responsible for coordination with utility companies and adjustment of existing sanitary sewer cleanouts, water meters and any other appurtenances to new grade as required.
- Pavement removal and repair shall conform to the City of Rockwall requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete and/or asphalt edges. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.
- Fire service shall be sized and designed by a State of Texas licensed fire protection engineer/contractor registered in the State of Texas.
- All underground fire lines shall be installed by a state licensed fire protection contractor.
- All utility crossings shall comply with TCEQ Chapter 217 and 290 regulations.

**EROSION CONTROL NOTES:**

- Refer to the Erosion Control Sheets, sheets C3.01 and C3.02, for Erosion Control notes.

**DEMOLITION NOTES:**

- For additional extents for demolition, refer to grading, storm drainage, paving, and dimension control, water and sanitary sewer plans.
- Information provided on this plan does not delineate any underground foundation or objects that currently may be covered.
- The contract shall be responsible for proper removal and disposal of materials as required by the Owner or Owner's representative.

**GRADING NOTES:**

- No grading or earthwork shall commence until filing of a Notice of Intent to the Texas Commission of Environmental Quality (TCEQ) if applicable and Implementation of the Storm water Pollution Prevention Plan by the Contractor. A site erosion control plan and stormwater pollution prevention plan shall be prepared and provided to the City of Rockwall by others prior to start of construction.
- The existing ground surface shall be stripped of vegetation, roots, old construction debris, and other organic materials. Material unsuitable for fill shall be removed from the site and properly disposed of.
- The subgrade should be firm and able to support the construction equipment without displacement. Soft or yielding subgrade should be corrected and made stable before construction proceeds. The subgrade shall be proof rolled using a heavy pneumatic tire roller, loaded dump truck or similar piece of heavy equipment.
- All areas to receive fill shall be stripped of vegetation and the top six (6) inches scarified prior to receiving any fill. Fill material shall be placed in loose lifts not exceeding 8-inches in uncompacted thickness. The fill material shall be uniform with respect to material type and moisture content. Clods and chunks of material shall be broken down and the fill material mixed by disk, blading, or plowing, as necessary, so that a material of uniform moisture and density is obtained for each lift. Water required to bring the fill material to the proper moisture content should be sprinkled evenly through each layer.
- The on-site soils are suitable for use in site grading. Imported fill material shall be clean soil with a Liquid Limit less than 40 and no rock greater than 4 inches in maximum dimension. The fill material shall be free of vegetation and debris.
- The fill material shall be compacted between 95 and 98 percent of the maximum dry density as determined by the Standard Proctor test, ASTM D 698. In conjunction with the compacting operation, the fill material shall be brought to the proper moisture content. The moisture content of the compacted soils should be maintained between -2 and +2 percent of the optimum value (determined from ASTM D 698). All fill to be compacted using a sheep's foot roller.
- The Contractor shall administer sprinklers for dust control, earthwork or base construction as required or as directed by the Engineer in accordance with the TXDOT Standard Specification for Construction, Item 204-Sprinklering.
- Contractor's work shall include pavement removal and disposal required for new walk, drive, curb, gutter and other grading features. Contractor shall be responsible for all coordination, inspection and testing required by the Owner and/or the City of Rockwall.
- All sidewalks shall maintain 2% cross slope maximum. Longitudinal slopes along sidewalks and accessible routes shall not exceed 5% in the direction of travel. Slopes within designated handicap parking or loading areas shall not exceed 2% in any direction.
- 4:1 Horizontal: Vertical is the maximum allowable slope within the earthen areas.
- Site grading and pavement subgrade shall be prepared in accordance with the Geotechnical Report No. G161157 prepared by ALPHA TESTING dated 06/10/2016.
- Proposed spot elevations represent gutter elevation unless noted otherwise.

**PAVING NOTES:**

- Pavement removal and repair shall conform to City of Rockwall requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.
- Contractor's work shall include pavement removal and disposal required for new walk, drive, curb, gutter and other paving features. Contractor shall be responsible for all coordination, inspection and testing required by the Owner and/or the City of Rockwall.
- Concrete paving joints shall be constructed as recommended in the geotechnical report noted below. Expansion joints shall be placed at changes in direction of paving, at driveways and/or as shown on the drawings. Seal all joints as shown on the drawings.
- Paving sections shall be sawcut in 15' x15' squares.
- Site grading and pavement subgrade shall be prepared in accordance with the Geotechnical Report No. G161157 prepared by ALPHA TESTING dated 06/10/2016.
- Unless otherwise indicated on plans, all dimensions are to face of curb or face of building and are perpendicular to property line. These dimensions are provided to tie the Architect's Site Plan to the property lines.
- All sidewalks and handicap parking areas shall meet current ADA standards for minimum and maximum slopes.

**PRIVATE WATER AND SANITARY SEWER NOTES:**

- All materials and workmanship for private utility construction shall conform to the Standard Specifications for Public Works Construction for North Central Texas, latest edition, and the City of Rockwall requirements.
- Pipe material for water and sanitary sewer lines shall conform to the notes shown on this drawing and to requirements of the project specifications. Water line for fire service shall be C900 PVC, DR 14 Class 200. Water lines for domestic use shall be Type 'K' Copper from tap to meter and copper or AWWA C900 PVC, DR-18 Class 235 from meter to building.
- All water lines for domestic use shall be Type 'K' Copper from tap to meter and copper or
- All bends and tees in water mains shall have thrust blocking provided in accordance with City of Rockwall standard details.
- No water jetting shall be allowed.
- All sanitary sewer pipe 12" and smaller shall be PVC SDR 26 pipe, heavy wall, in compliance with ASTM D 2241, latest revision. All pipe joints shall be in compliance with ASTM D 3139, latest, revision. Other pipe material shall be subject to approval by the City Engineer.
- Water mains shall have the following minimum cover below street grades:
 

i. Size	Cover
ii. 6"	3.5'
iii. 8"	4.0'
iv. 10"	4.0'
v. 12"	5.0'
vi. >16"	6.0'
- Coordinate utility service locations with most current Architectural/MEP Plans for this project. Notify Engineer with any discrepancies.
- Fire service shall be sized and designed by a State of Texas licensed fire protection engineer/contractor registered in the State of Texas.
- All underground fire lines shall be installed by a state licensed fire protection contractor.
- Refer to City of Rockwall standard details for DDC valve and vault construction, Water and Sanitary Sewer embedment and water thrust blocking.
- Field adjustments shall not be made without notification of the Owner and engineer.
- Utility service locations shall be plugged 5' from future building. Refer to Architectural /MEP Plans for this project for future continuation of building utilities.
- All water and sanitary sewer services shall be tested as required by the City of Rockwall. Paving shall not take place until utilities are tested and accepted by the City of Rockwall.
- All utility crossings shall comply with TCEQ Chapter 217 and 290 regulations.
- All public water lines shall be DR-14 Class 200.
- Contractor shall install blue EMS disks on the water line at every change in direction, valve, service connection, fire hydrant, and 250'.

**DRAINAGE NOTES:**

- All materials and workmanship for storm drain construction shall conform to the Standard Specifications for Public Works Construction for North Central Texas, latest edition, and the City of Rockwall General Design Standards, latest edition.
- During the construction of these improvements, any interpretation of the Standard Specifications for Public Works Construction for North Central Texas, and any matter which requires the approval of the Owner, must be approved by the appropriate governmental official before any construction involving that decision commences. Assumptions about what these decisions might be which are made during the bidding phase will have no bearing on the decision.

**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE GENERAL CONTRACTOR, MEXCO CONSTRUCTION LLC DURING MAY 2018, FIELD OBSERVATIONS, ON 05/09/2018, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THIS INFORMATION INCLUDES MODIFICATIONS BY ADDENDUM AND CHANGE ORDERS. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF: HALFF ASSOCIATES, INC., TBPE FIRM #312

ENGINEER OF RECORD:

*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TBPE FIRM #312  
 DATE 06/11/2018

**LAKE POINTE CHURCH  
 NEW CHAPEL / EDUCATION BUILDING**  
 701 Interstate 30 Rockwall, TX 75087

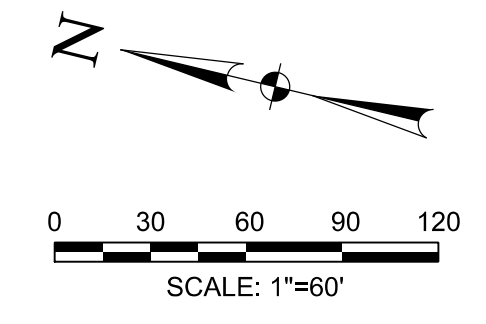
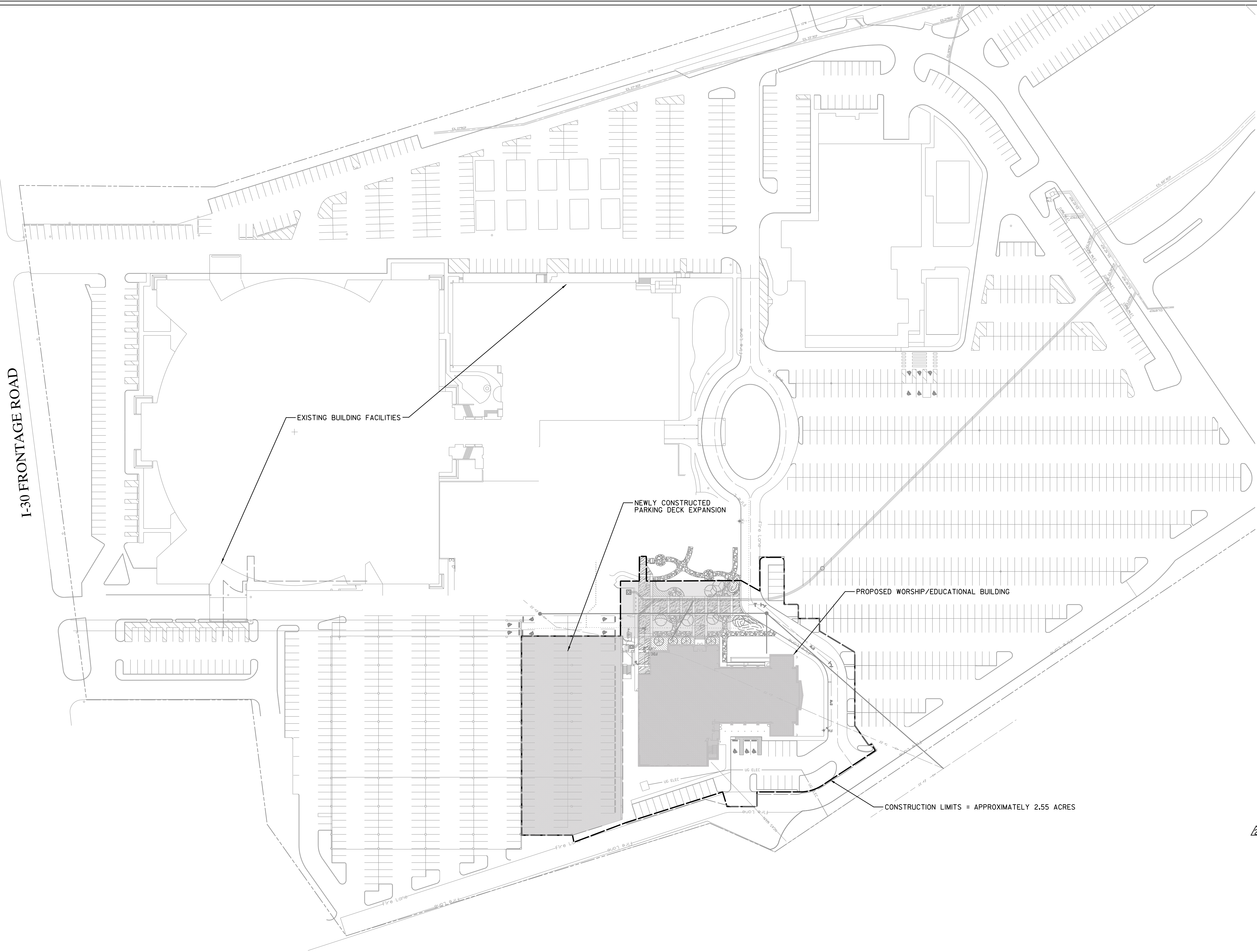


Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	GENERAL NOTES FOR REMEDIATION AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS



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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	GENERAL NOTES
Sheet Number	C0.01



REVISED BACKGROUND PROPOSED  
SITE PLAN LAYOUT ONLY

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WORK CONDUCTED AT THE SITE. THIS  
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ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE 06/11/2018

**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087

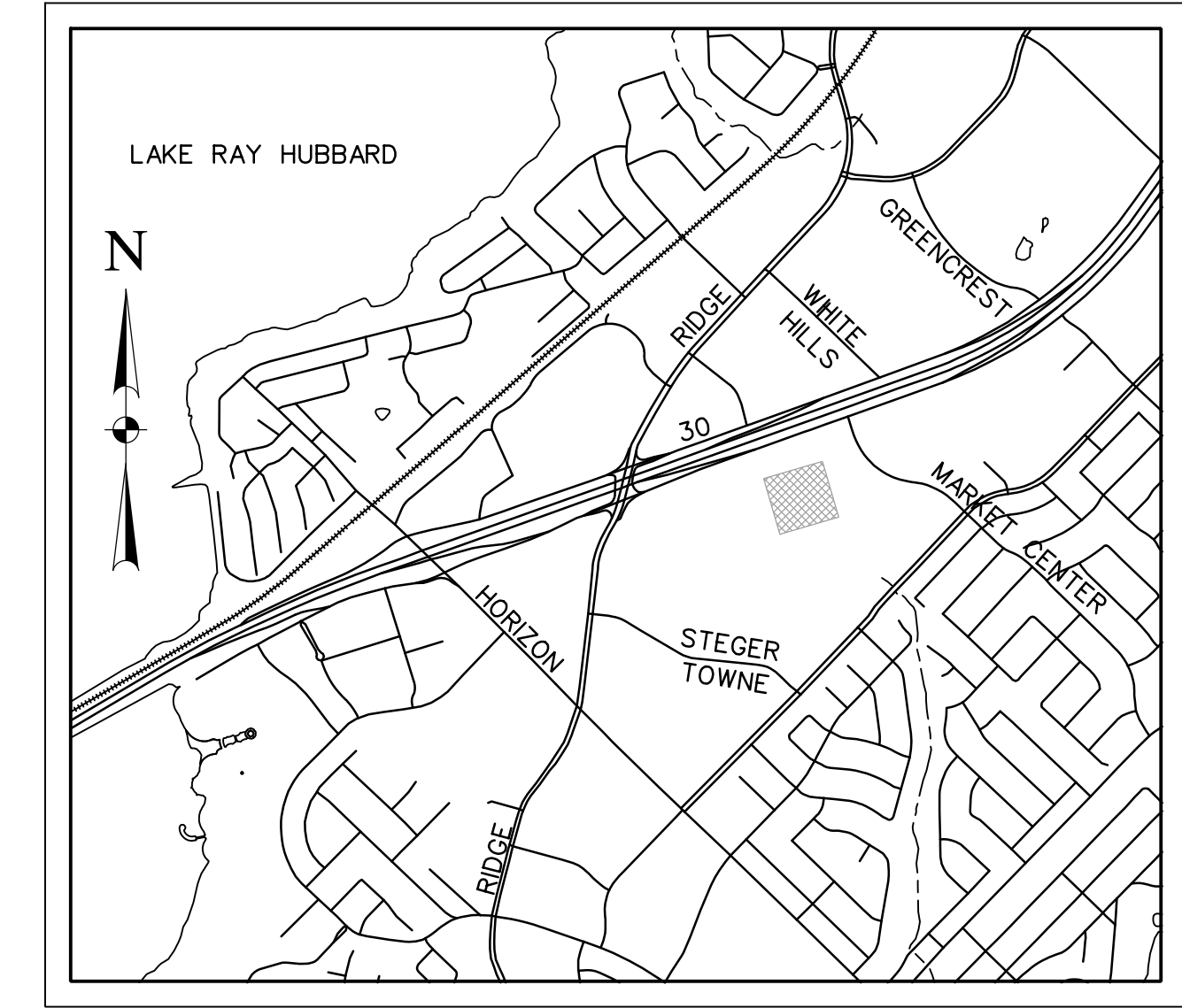
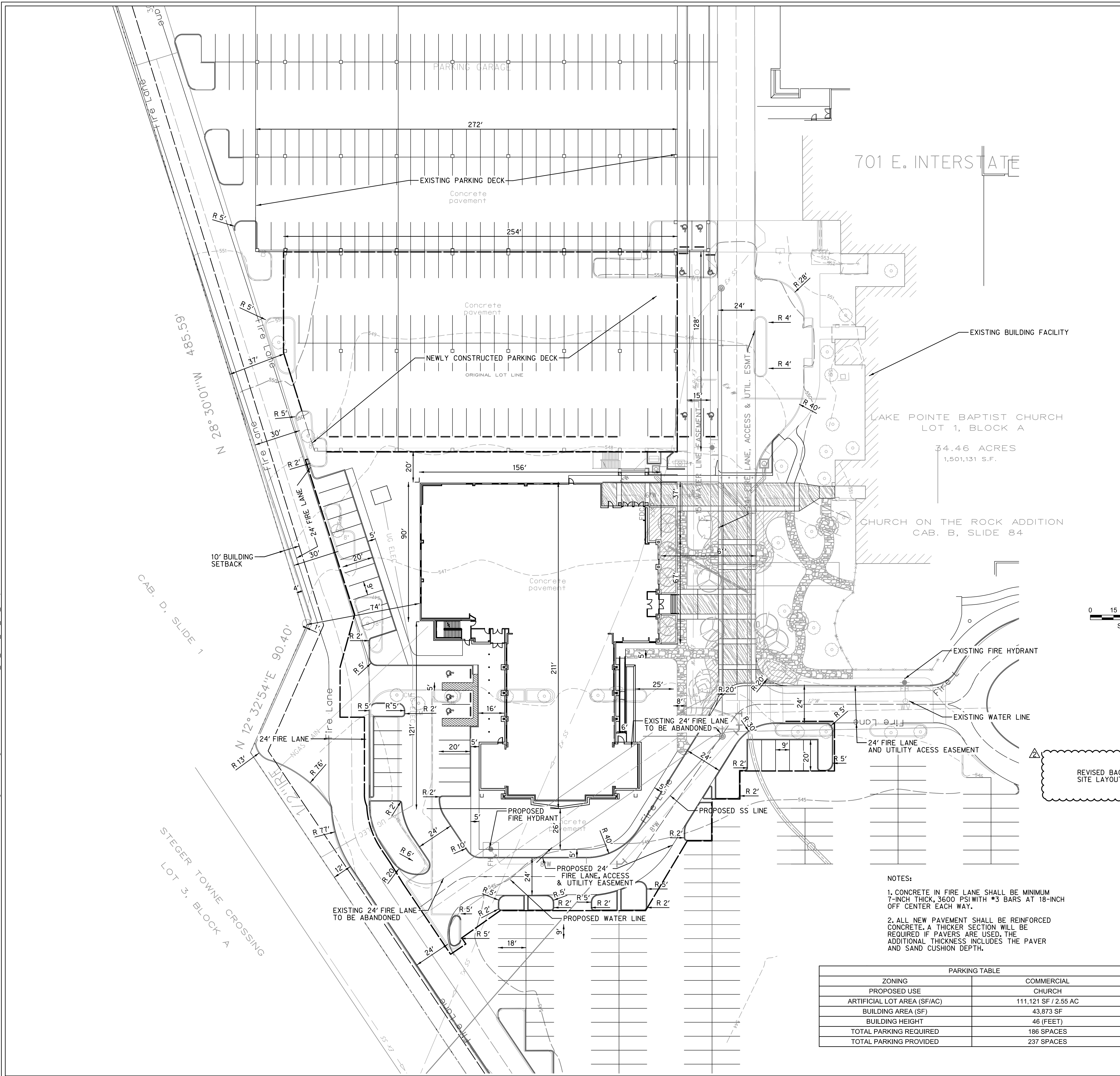
**HALFF**  
3803 PARKWOOD BLVD, SUITE 800  
FRISCO, TEXAS 75034-2640  
TEL: (214) 618-4272  
FAX: (214) 618-4274  
TBPE FIRM #F-312

Revision No.	Date	Description
2	10/03/2017	OWNER, ARCHITECT, ENGINEER, AND STORE DRAWING RECORD DRAWINGS
3	06/11/2018	RECORD DRAWINGS



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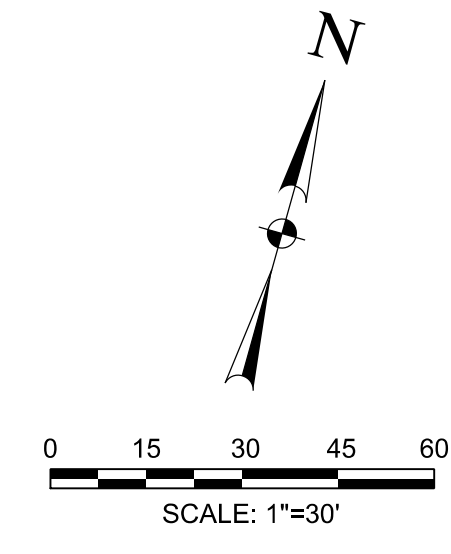
Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	SITE LOCATION PLAN
Sheet Number	C1.01



LOCATION MAP  
N.T.S.

**LEGEND:**

---	Ex F/O	EXISTING FIBER OPTIC
---	Ex TEL	EXISTING TELEPHONE LINE
---	Ex GAS	EXISTING GAS LINE
---	Ex SS	EXISTING SANITARY SEWER
---	Ex OHE	EXISTING OVERHEAD ELECTRIC
---	Ex UGE	EXISTING UNDERGROUND ELECTRIC
---	Ex W	EXISTING WATER LINE
---		STORM SEWER
---	455	MAJOR CONTOUR LINE
---	454	MINOR CONTOUR LINE
---	460	EXISTING MAJOR CONTOUR LINE
---	461	EXISTING MINOR CONTOUR LINE
---		PROPERTY LINE
---		EASEMENT LINE
---		ASPHALT
---	PP	POWER POLE
---	WM	SANITARY SEWER MANHOLE
---	WV	WATER VALVE
---	FH	FIRE HYDRANT
---	WM	WATER METER
---		INLET PROTECTION
---	SF	SILT FENCE



**OWNER / DEVELOPER**  
 JOHN WARDELL  
 LAKE POINTE CHURCH- ROCKWALL CAMPUS  
 701 INTERSTATE 30  
 ROCKWALL, TX 75087  
 (PH) 469-698-2244

**ARCHITECT**  
 SHANKS ARCHITECTS  
 5151 BELTLINE ROAD, SUITE 840  
 DALLAS, TX 75254  
 CONTACT: TIM BROYLES, RA  
 (PH) 972-788-9300

**CIVIL ENGINEER**  
 HALFF ASSOCIATES, INC.  
 3803 PARKWOOD BLVD., SUITE 800  
 FRISCO, TX 75034  
 CONTACT: DAN WARFIELD, P.E.  
 (PH) 214-618-4570

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 OF:  
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 ENGINEER OF RECORD:  
  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TBPE FIRM #312  
 DATE 06/11/2018

- NOTES:**
1. CONCRETE IN FIRE LANE SHALL BE MINIMUM 7-INCH THICK, 3600 PSI WITH #3 BARS AT 18-INCH OFF CENTER EACH WAY.
  2. ALL NEW PAVEMENT SHALL BE REINFORCED CONCRETE. A THICKER SECTION WILL BE REQUIRED IF PAVERS ARE USED. THE ADDITIONAL THICKNESS INCLUDES THE PAVER AND SAND CUSHION DEPTH.

PARKING TABLE	
ZONING	COMMERCIAL
PROPOSED USE	CHURCH
ARTIFICIAL LOT AREA (SF/AC)	111,121 SF / 2.55 AC
BUILDING AREA (SF)	43,873 SF
BUILDING HEIGHT	46 (FEET)
TOTAL PARKING REQUIRED	186 SPACES
TOTAL PARKING PROVIDED	237 SPACES

**SITE PLAN**  
 LAKE POINTE CHURCH  
 PART OF BLOCK A LOT 1  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 DECEMBER, 2016

**CASE #:** \_\_\_\_\_



Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	OWNER ACCESS FOR EXISTING AND NEW UTILITY
3	06/11/2018	RECORD DRAWINGS

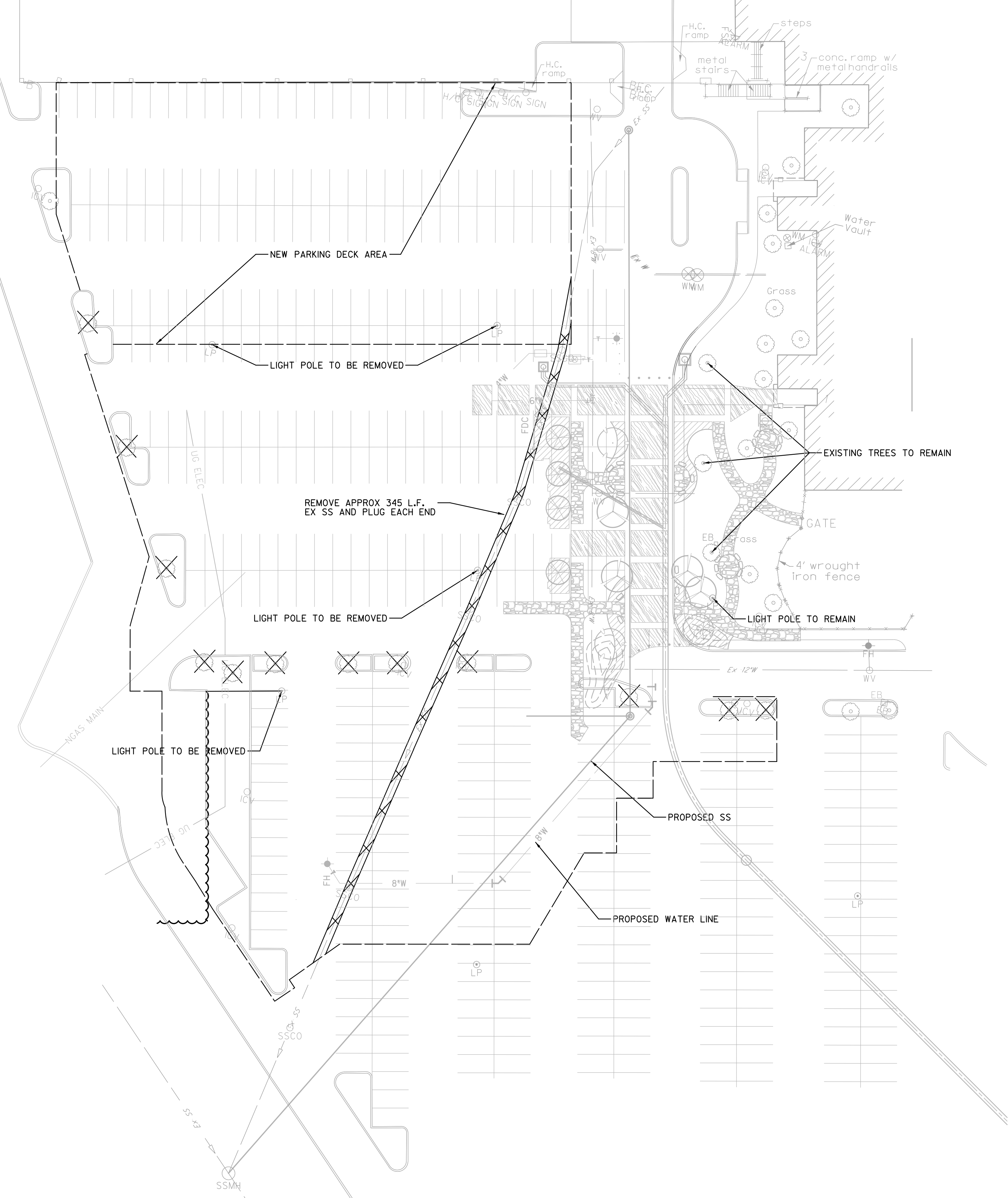


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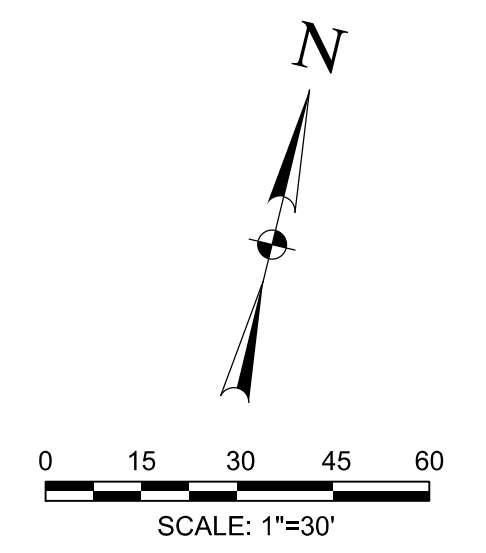
Project No.:	31697
Issued:	04/25/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED

Sheet Title  
**SITE PLAN**  
 Sheet Number  
**C1.02**





**CAUTION!!!**  
 EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



- LEGEND:**
- Ex F/O --- EXISTING FIBER OPTIC
  - Ex TEL --- EXISTING TELEPHONE LINE
  - Ex Gas --- EXISTING GAS LINE
  - Ex SS --- EXISTING SANITARY SEWER
  - Ex OHE --- EXISTING OVERHEAD ELECTRIC
  - Ex UGE --- EXISTING UNDERGROUND ELECTRIC
  - Ex W --- EXISTING WATER LINE
  - --- STORM SEWER
  - --- MAJOR CONTOUR LINE
  - --- MINOR CONTOUR LINE
  - --- EXISTING MAJOR CONTOUR LINE
  - --- EXISTING MINOR CONTOUR LINE
  - --- PROPERTY LINE
  - --- EASEMENT LINE
  - /// ASPHALT
  - ⊙ PP POWER POLE
  - ⊙ OWV SANITARY SEWER MANHOLE
  - ⊙ WV WATER VALVE
  - ⊙ FH FIRE HYDRANT
  - ⊙ WM WATER METER
  - ⊗ INLET PROTECTION
  - ⊗ TREE TO BE REMOVED
  - --- PAVEMENT REMOVAL / CONSTRUCTION LIMITS

**NOTES:**  
 1. SEE PAVING, GRADING, AND UTILITY PLANS FOR FURTHER DETAILS ON DEMOLITION LIMITS

REVISD BACKGROUND SITE LAYOUT ONLY

SEE SHEET C0.01 FOR GENERAL NOTES

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 ENGINEER OF RECORD:  
*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC, TBPE FIRM #312  
 DATE 06/11/2018

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
1	04/25/2017	TREES TO REMAIN
2	10/03/2017	(GENERAL) ACCORD TO REVISIONS AND PERMITS
3	06/11/2018	RECORD DRAWINGS

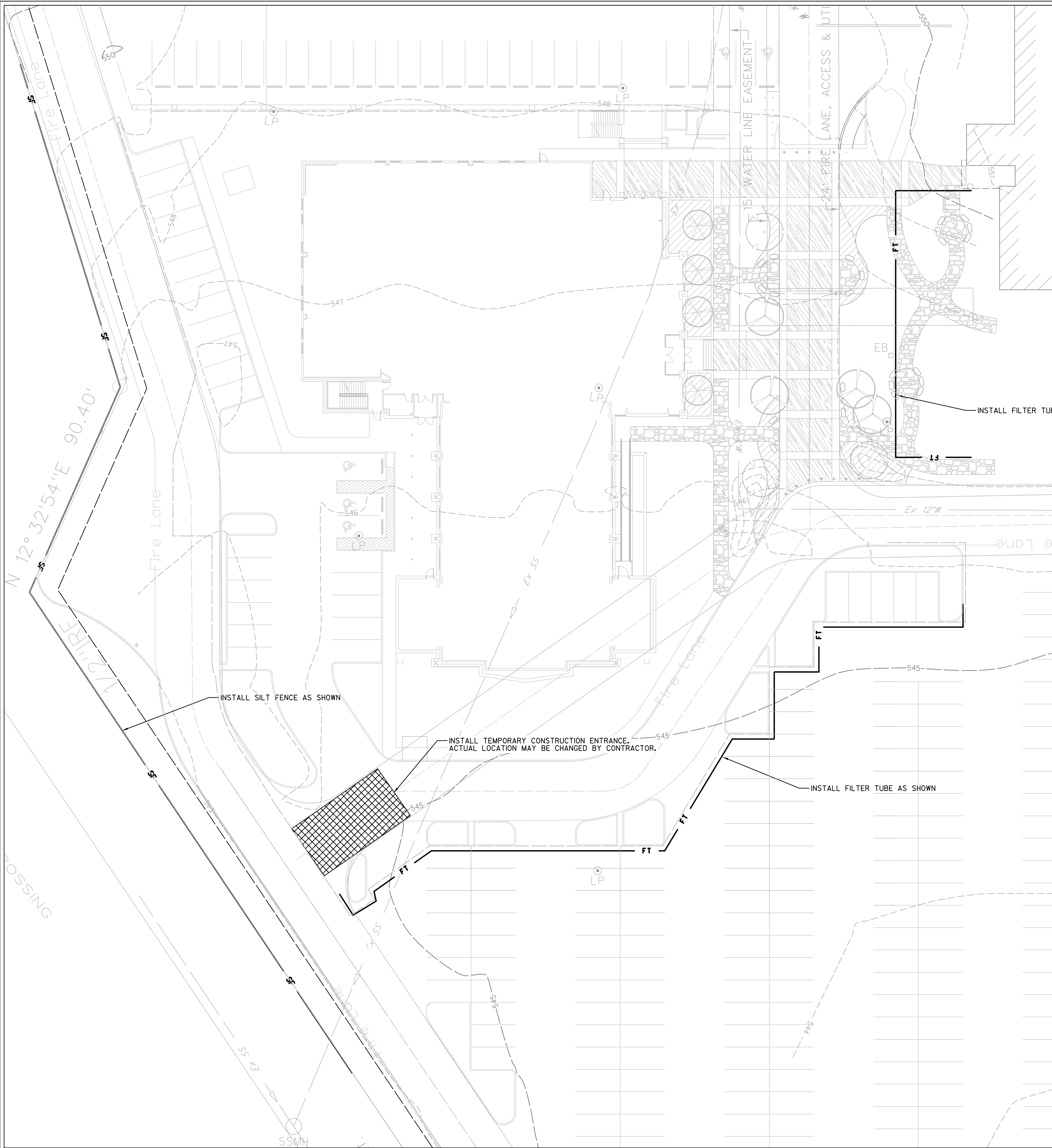


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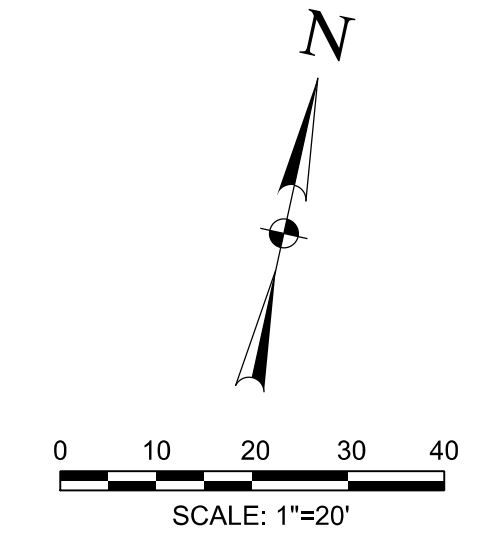
Project No.:	31697
Issued:	04/25/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED

Sheet Title  
**DEMOLITION PLAN**

Sheet Number  
**C2.01**



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**LEGEND:**

- Ex F/O --- EXISTING FIBER OPTIC
- Ex TEL --- EXISTING TELEPHONE LINE
- Ex GAS --- EXISTING GAS LINE
- Ex SS --- EXISTING SANITARY SEWER
- Ex OHE --- EXISTING OVERHEAD ELECTRIC
- Ex UGE --- EXISTING UNDERGROUND ELECTRIC
- Ex W --- EXISTING WATER LINE
- ==== STORM SEWER
- ==== MAJOR CONTOUR LINE
- ==== MINOR CONTOUR LINE
- ==== EXISTING MAJOR CONTOUR LINE
- ==== EXISTING MINOR CONTOUR LINE
- PROPERTY LINE
- EASEMENT LINE
- /// ASPHALT
- PP POWER POLE
- SANITARY SEWER MANHOLE
- WV WATER VALVE
- FH FIRE HYDRANT
- ⊗ WM WATER METER
- INLET PROTECTION
- SF SILT FENCE
- FT FILTER TUBE

**NOTES:**

1. SEE SHEET C3.02 FOR EROSION CONTROL NOTES AND DETAILS.

REVISED BACKGROUND SITE LAYOUT ONLY

IMPROVED SITE AREA: 2.5 ACRES  
 AREA OF DISTURBANCE: 2.5 ACRES

**OWNER / DEVELOPER**

LAKE POINTE CHURCH- ROCKWALL CAMPUS  
 701 INTERSTATE 30  
 ROCKWALL, TX 75087  
 CONTACT: JOHN WARDELL  
 (PH) 469-698-2244

**CIVIL ENGINEER**

HALFF ASSOCIATES, INC.  
 3803 PARKWOOD BLVD., SUITE 800  
 FRISCO, TX 75034  
 TBPE FIRM #F-312  
 CONTACT: DAN WARFIELD, P.E.  
 (PH) 214-618-4570

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 HALFF ASSOC. TBPE FIRM #312  
 DATE 06/11/2018

SEE SHEET C0.01 FOR GENERAL NOTES

**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
 701 Interstate 30 Rockwall, TX 75087

**HALFF**  
 3803 PARKWOOD BLVD., SUITE 800  
 FRISCO, TEXAS 75034-2640  
 TEL 214-618-4570  
 FAX 214-618-4571  
 TBPE FIRM #F-312

Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	GENERAL NOTES PA, REVISIONS, AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS



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Project No.:	31697
Issued:	04/25/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	EROSION CONTROL PLAN
Sheet Number	C3.01

Erosion Control Notes

1. The Contractor is responsible for implementing a Storm Water Pollution Prevention Plan (SWP3) in accordance with TCEQ Texas Pollutant Discharge Elimination System (TPDES) Permit No. TXR150000 (PERMIT). The details shown on this sheet represent typical methods for controlling erosion during construction and are intended for the Contractor's guidance. In the implementation of the Pollution Prevention Plan, the plan shall comply with the PERMIT and Federal, State and local requirements. The plan shall include, but not be limited to, preparation and submittal of a Notice of Intent (NOI) to the TCEQ, if the project is 5 acres or larger and preparation of all plans and documentation as required by the PERMIT.

2. It is the intent of the information provided on these documents to be used as a general guideline for the Contractor. The SWP3 to be prepared shall meet the current requirements set forth in the TCEQ's TPDES general permit for storm water discharges from construction sites as well as any local requirements.

3. The Contractor shall be responsible for maintaining erosion control during construction and for obtaining any required construction related drainage permits, or making any construction related notifications. An inspection report that summarizes inspection activities and implementation of the SWP3 shall be performed as required by the PERMIT and retained by the Contractor and made a part of the construction documents. The Contractor shall provide copies of all SWP3 documents including, but not limited to, inspection records, original plans, and modified plans to the Owner at contract close-out. During construction the contractor shall provide copies of the inspection reports to the Owner on a monthly basis.

4. Temporary storm drainage and/or erosion control material shall be suitable for this application and shall be installed with the proper techniques by the Contractor as required by NCTCOG Standard Specifications for Public Works Construction. Temporary storm drainage and/or erosion control material shall be removed by the Contractor, in addition to any excavations backfilled by the Contractor, in accordance with NCTCOG Standard Specifications for Public Works Construction when temporary erosion control devices are no longer needed as specified in the PERMIT. Maintenance of the permanent erosion control measures at the site will be assumed by the Owner at contract close out and acceptance of the work.

5. The Contractor shall maintain the SWP3 in accordance with the TCEQ Permit and make the SWP3 available, upon request, to the TCEQ and/or Owner.

6. The Contractor must amend the SWP3 whenever there is a change in design, construction, operation, or maintenance of the SWP3, or when the existing SWP3 proves ineffective. Modifications shall not compromise the intent of the requirements of the PERMIT. Modifications including design and all additional materials and work shall be accomplished by the Contractor at no additional expense to the Owner.

7. The Contractor shall inspect his stabilization and erosion control measures at a minimum of once every 14 days, and within 24 hours after any storm event greater than 0.5 inches, or once every 7 days. The Contractor shall repair inadequacies revealed by the inspection before the next storm event and he shall modify his SWP3 within 7 days of the inspection.

8. The Contractor shall adopt and implement appropriate construction site management practices to prevent the discharge of oils, greases, paints, gasoline, and other pollutants to storm water. Appropriate practices shall include, but not be limited to: designating areas for equipment maintenance and repair; collecting wastes periodically; maintaining conveniently located waste receptacles, and designating and controlling equipment washdown.

9. Borrow areas, if excavated, shall be protected and stabilized by the Contractor in a manner acceptable to the Owner and in accordance with PERMIT requirements.

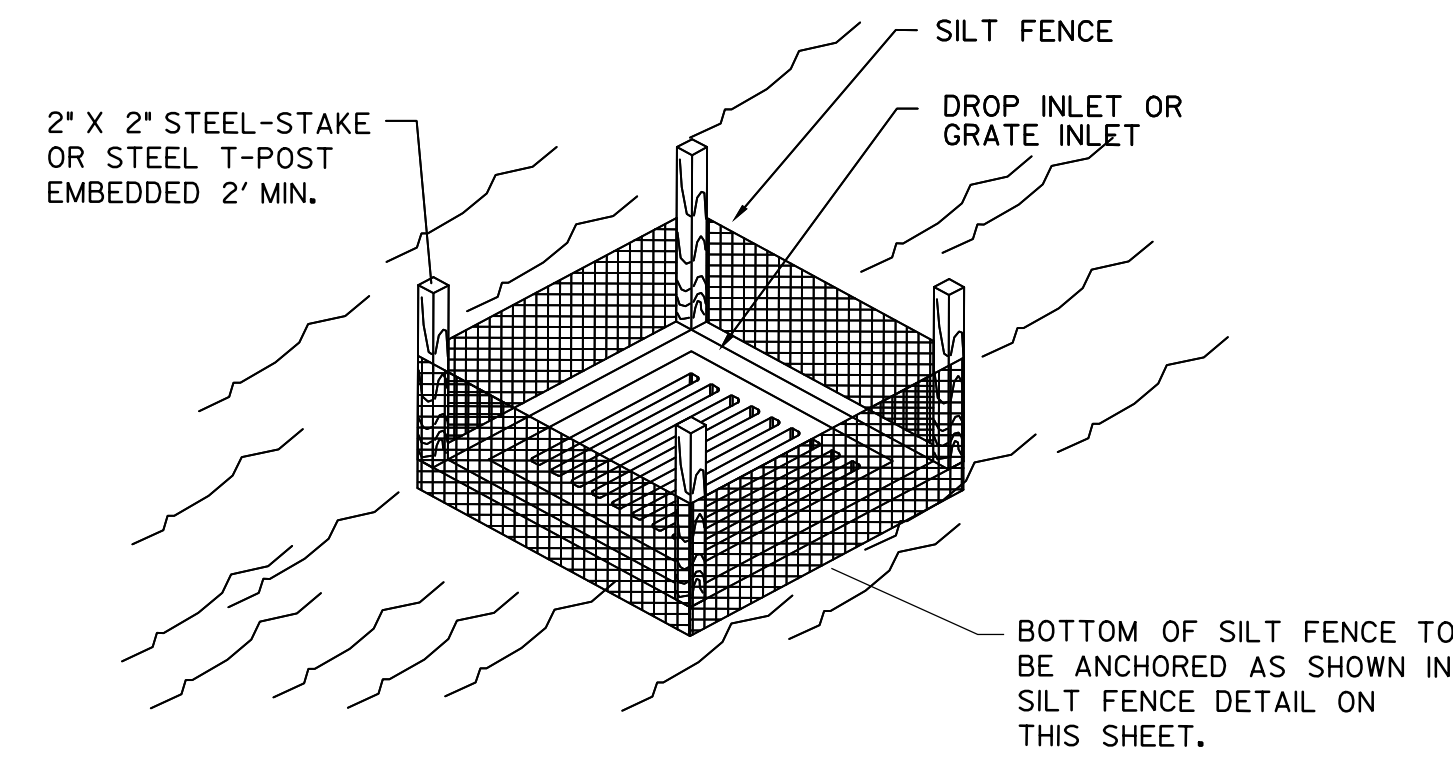
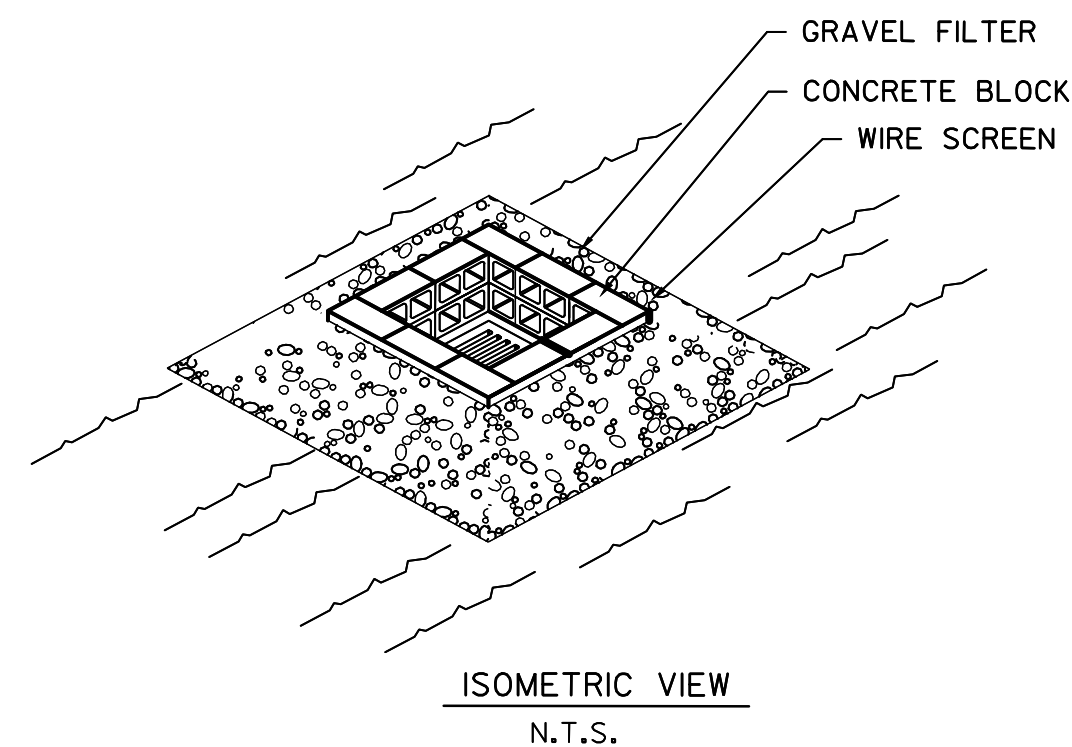
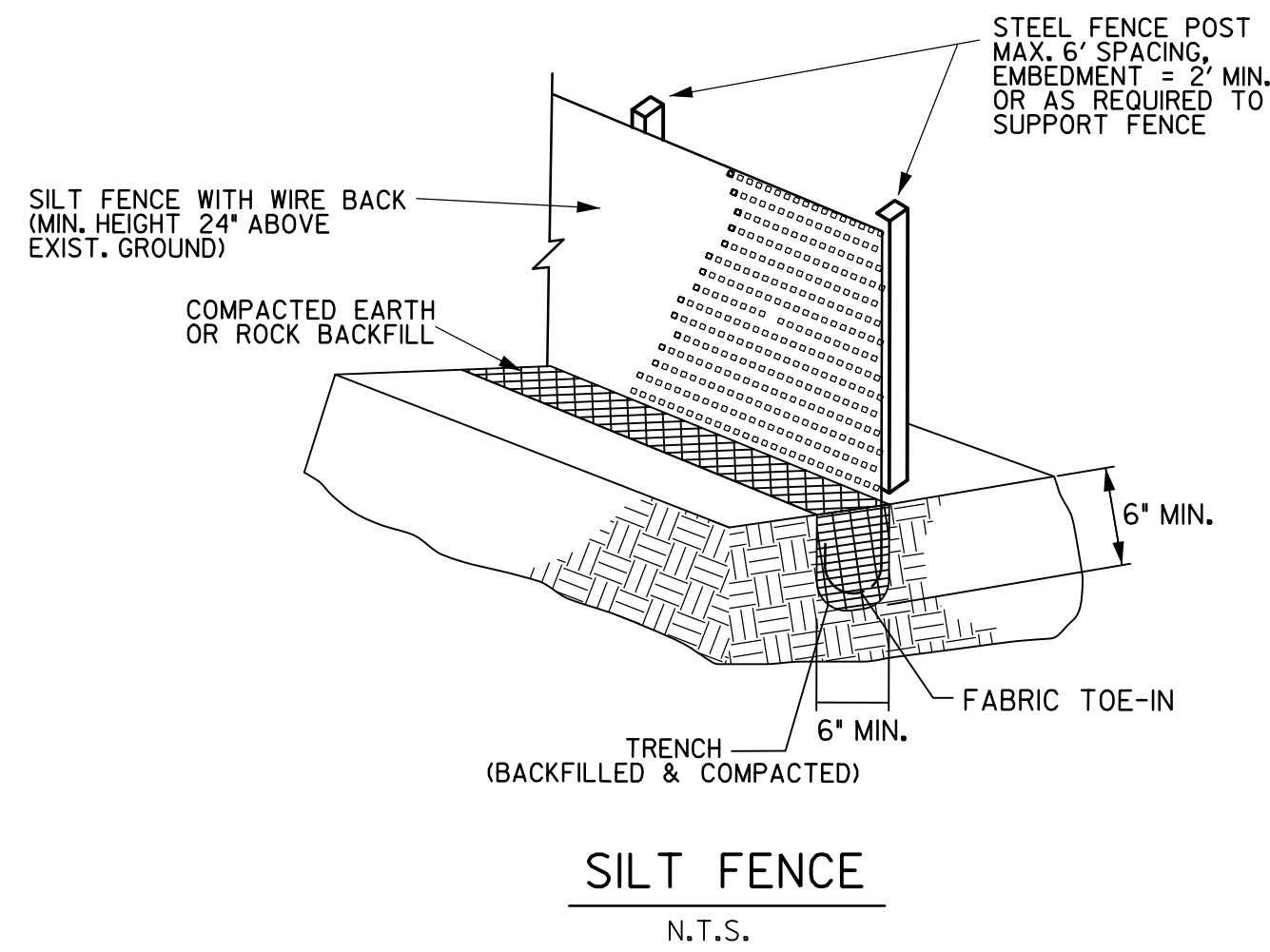
10. All non-paved areas shall be seeded and mulched with erosion protection grass by the Contractor immediately upon completion of final grading. This includes all ditches and embankments. The Contractor shall maintain final grading, and keep seeded areas watered until fully established and accepted by Owner.

11. The Contractor shall construct a silt fence at locations suggested on plans as appropriate or as modified in his SWP3 to fit site conditions at the time of placement, and all borrow and stock pile areas. The silt fence shall be constructed as detailed on this plan. The Contractor shall remove accumulated silt when it reaches a depth of 1/3 the height of the silt fence. The Contractor shall dispose of the removed silt in a location approved by the Owner and in such a manner as to not contribute to erosion and sedimentation. The Contractor shall remove the silt fence when the site is completely stabilized in accordance with the PERMIT.

12. The Contractor shall designate material and equipment storage areas mutually agreed to by the Owner. The storage areas shall be graded for positive drainage, and the surface stabilized with a minimum of 2 inches of compacted flex base on 6 inches of scarified and recompact subgrade by the Contractor. A silt fence shall be installed by the Contractor around the storage areas to prevent eroded material from leaving the site.

13. All inlets (onsite and offsite) receiving drainage water from disturbed areas shall be protected by the Contractor as per details shown or other Owner approved methods to prevent eroded material from being transported into inlets. The inlet protection shall be constructed as shown on these plans.

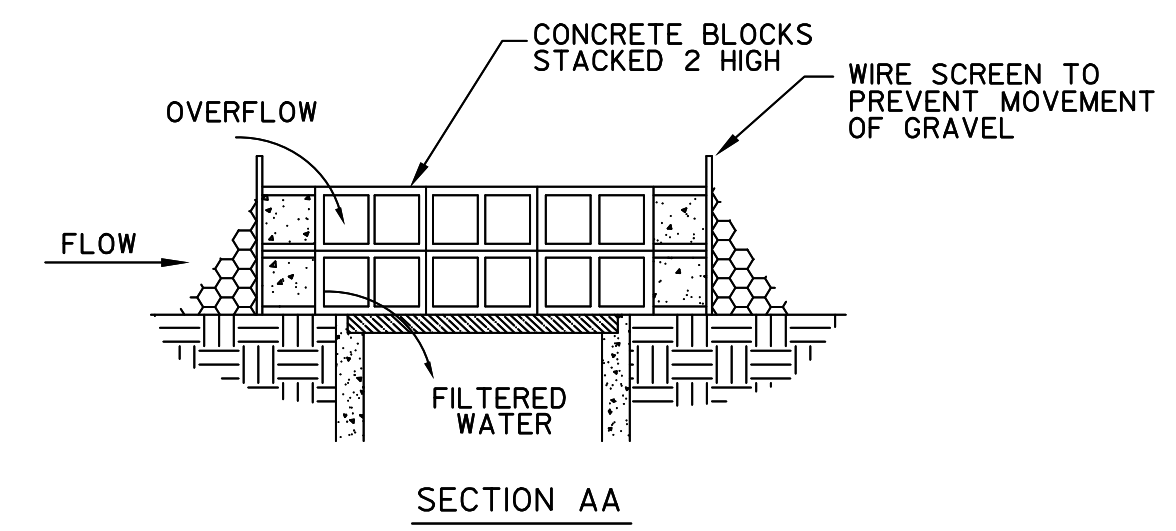
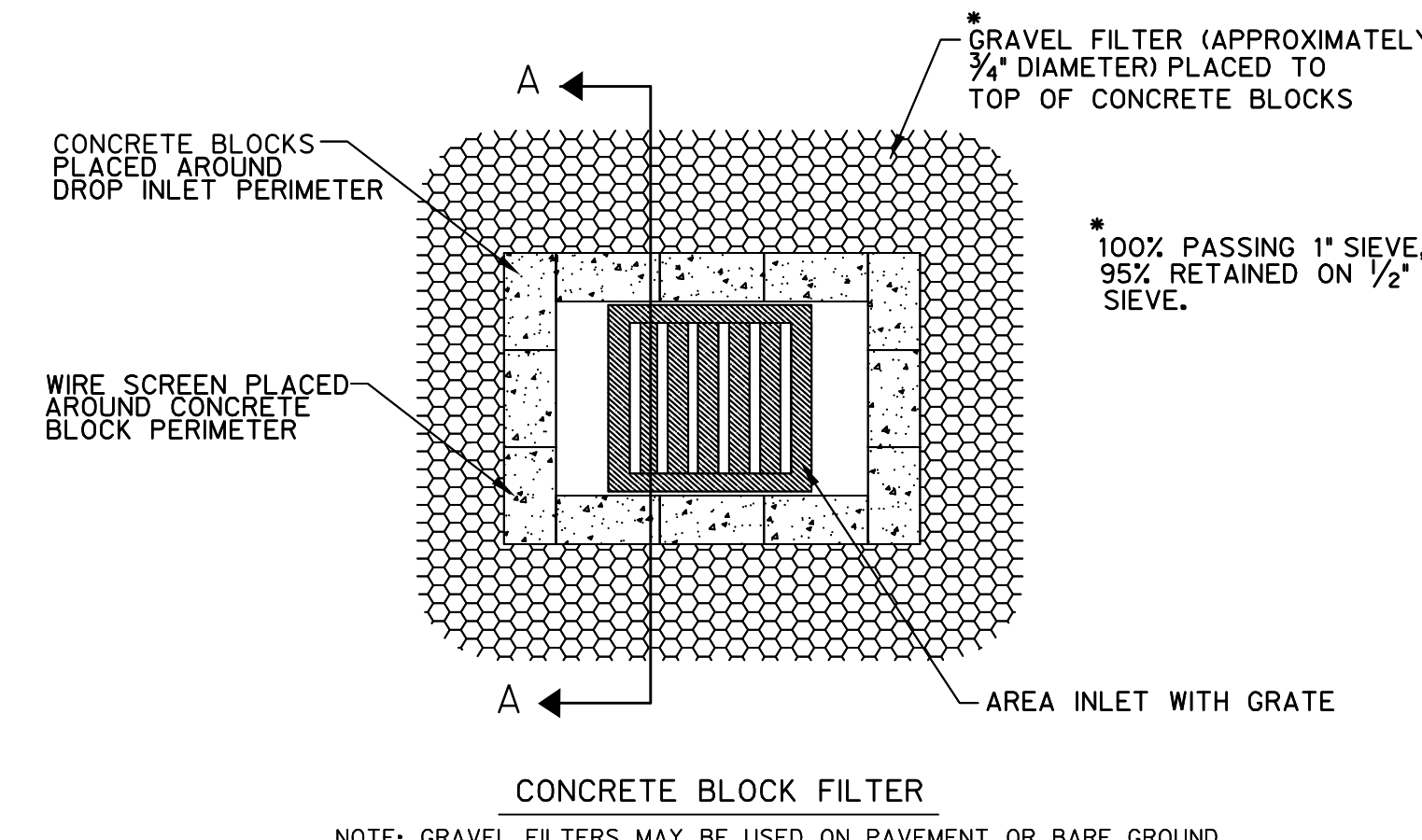
14. The notes and details contained herein do not relieve the Contractor and Owner of meeting and implementing the requirements of the PERMIT.



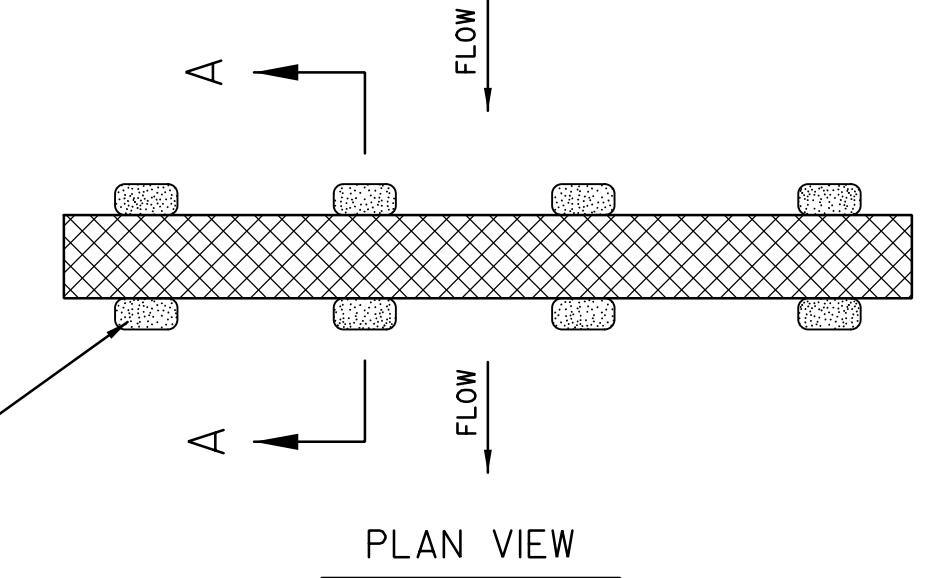
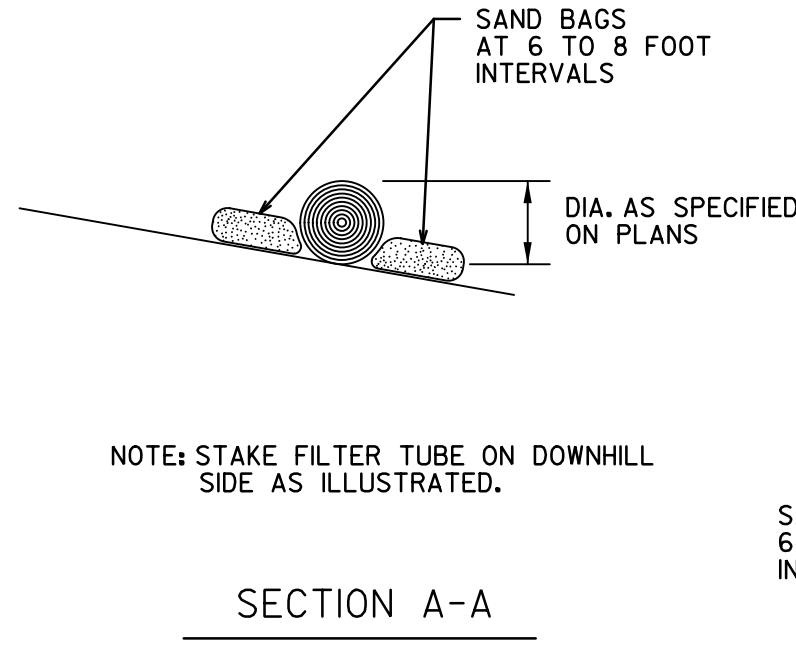
NOTE: CONCENTRATED DITCH FLOW COMING FROM ONE OR MORE SIDES TO THE DROP INLET MAY REQUIRE A STONE CHECK STRUCTURE TO BE CONSTRUCTED ON ONE SIDE OF THE DROP INLET.

SILT FENCE GENERAL NOTES:

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED WITH A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF TWO FEET.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 6" DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

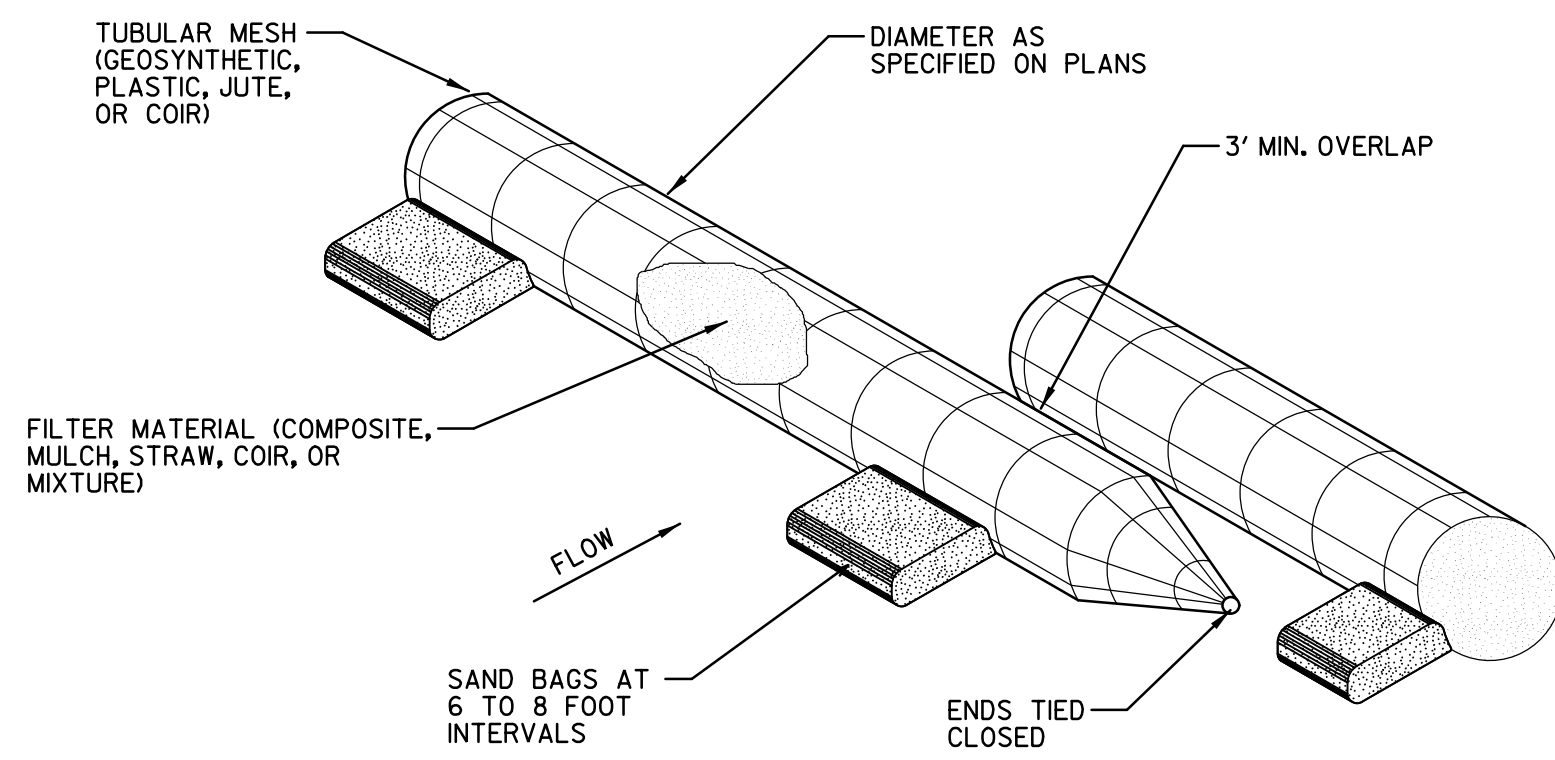
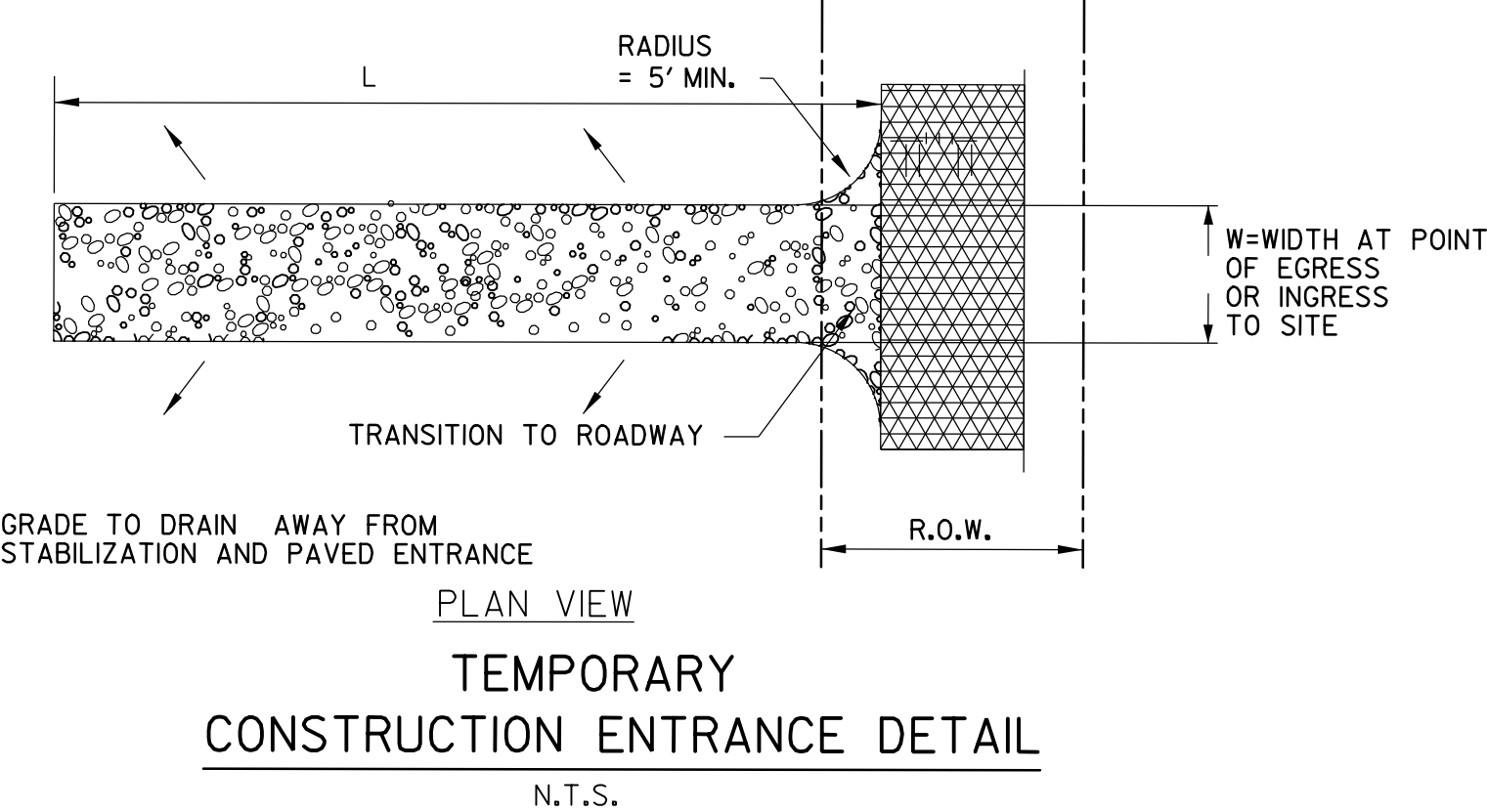
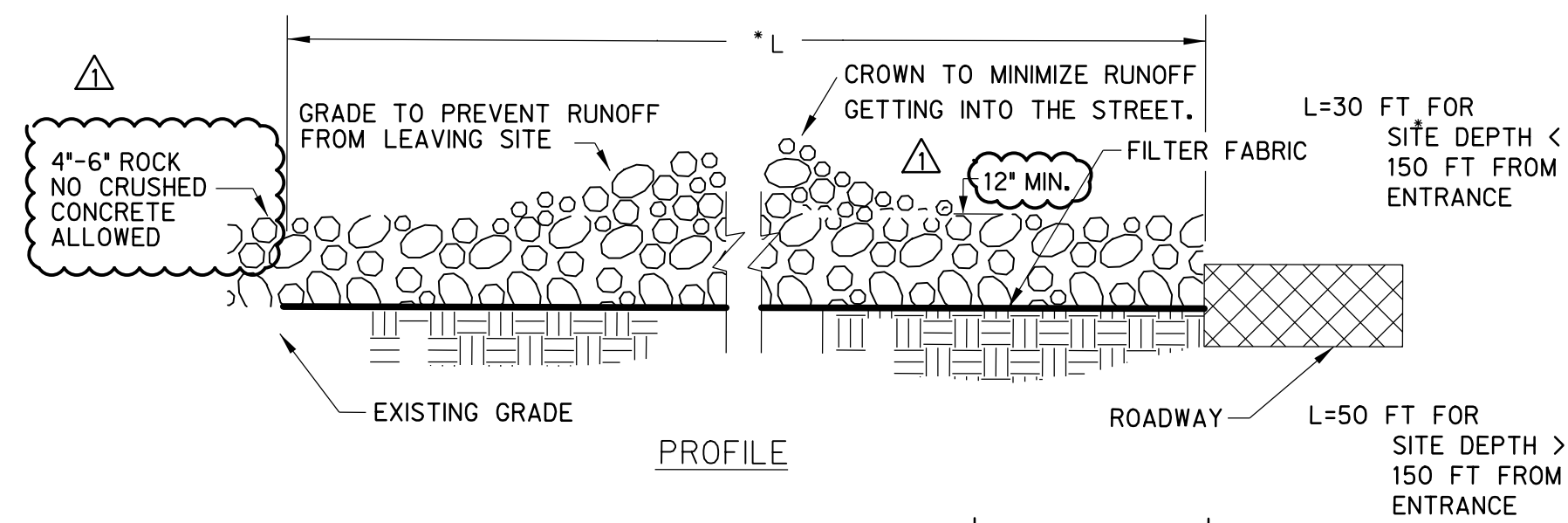


GRATE INLET  
FILTER PROTECTION  
N.T.S.



PERIMETER FILTER BARRIER

DRAINAGE AREA (MAX.)	AVG. WIDTH OF AREA TO TUBE	TUBE DIA. (MIN.)
1/4 ACRE PER 100 FT.	110 FT.	12"
1/2 ACRE PER 100 FT.	55 FT.	10"
1/2 ACRE PER 100 FT.	25 FT.	8"



RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE GENERAL CONTRACTOR, MEDCO CONSTRUCTION L.L.C. DURING MAY 2018. FIELD OBSERVATIONS ON 05/09/2018, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THIS INFORMATION INCLUDES MODIFICATIONS BY ADDENDA AND CHANGE ORDERS. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF: HALFF ASSOCIATES, INC. TPBE FIRM #312

ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TPBE FIRM #312  
DATE 06/11/2018

LAKE POINTE CHURCH  
NEW CHAPEL / EDUCATION BUILDING  
701 Interstate 30 Rockwall, TX 75087

HALFF  
3803 PARKWOOD BLVD., SUITE 800  
FRISCO, TEXAS 75034-2640  
TEL: (214) 618-1574  
FAX: (214) 618-1574  
TPBE FIRM #312

Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
3	06/11/2018	RECORD DRAWINGS



The seal appearing on this document was authorized by Daniel W. Warfield, P.E. 95947 on 10-03-2017. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act. The record copy of this drawing is on file at the offices of Halff Associates, Inc., 3803 Parkwood Blvd., Frisco, Texas 75034. TPBE FIRM #312.

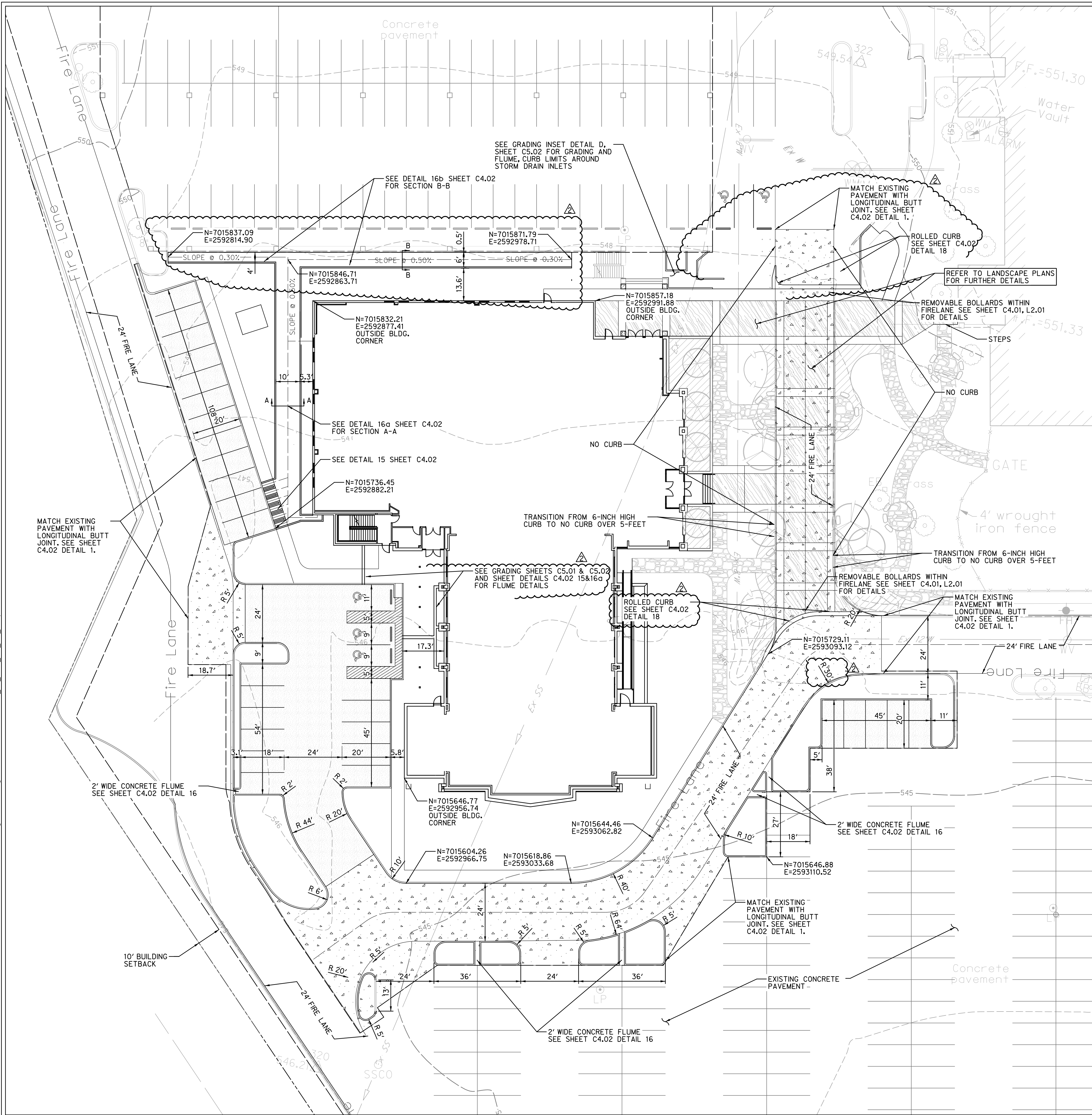
Project No.:	31697
Issued:	
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	

EROSION CONTROL  
NOTES AND DETAILS

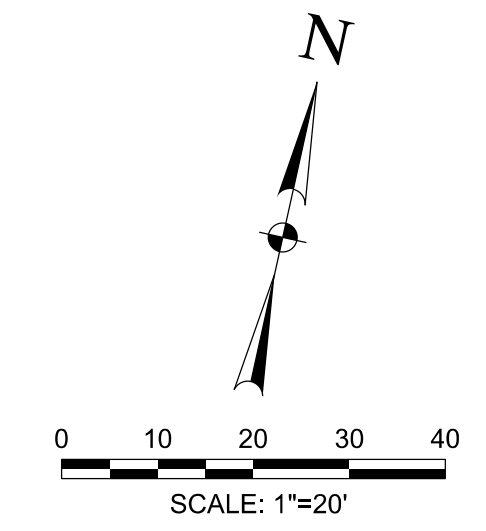
C3.02  
Sheet Number

THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL RELEVANT DOCUMENTS INCLUDING HIS OPERATION SPECIFIC INFORMATION PER THE TCEQ TPDES PERMIT NO. TXR150000, INCLUDING ALL DOCUMENTATION & CERTIFICATIONS AS REQUIRED BY THE PERMIT.

6/11/2018 2:44:50 PM ah1820 HALFF I:\31000a\31697\CADD\Sheets\C401-PP-31697.dgn Design PDF\_2D\_MON\_FW\_AIR\_300.plt



**CAUTION!!!**  
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



**LEGEND:**

- Ex F/O --- EXISTING FIBER OPTIC
- Ex TEL --- EXISTING TELEPHONE LINE
- Ex GAS --- EXISTING GAS LINE
- Ex SS --- EXISTING SANITARY SEWER
- Ex OHE --- EXISTING OVERHEAD ELECTRIC
- Ex UGE --- EXISTING UNDERGROUND ELECTRIC
- Ex W --- EXISTING WATER LINE
- --- STORM SEWER
- --- MAJOR CONTOUR LINE
- --- MINOR CONTOUR LINE
- --- EXISTING MAJOR CONTOUR LINE
- --- EXISTING MINOR CONTOUR LINE
- --- PROPERTY LINE
- --- EASEMENT LINE
- --- ASPHALT
- --- POWER POLE
- --- SANITARY SEWER MANHOLE
- --- WATER VALVE
- --- FIRE HYDRANT
- --- WATER METER
- --- INLET PROTECTION
- --- SILT FENCE

**PAVEMENT LEGEND**

- 5' THICK, 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. OVER LIME TREATED SUBGRADE COMPACTED TO 95% OF ASTM D698 PER GEOTECHNICAL RECOMMENDATIONS. (MIN. 5.5 SACK MIX)
- 6' THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. OVER LIME TREATED SUBGRADE COMPACTED TO 95% OF ASTM D698 PER GEOTECHNICAL RECOMMENDATIONS. (MIN. 6.5 SACK MIX)

- NOTE:**
1. ALL DIMENSIONS ARE PARALLEL & PERPENDICULAR TO FACE OF CURB OR FACE OF BUILDING
  2. ALL CURBS ARE 6-INCHES HIGH UNLESS STATED OTHERWISE.

SEE SHEET C0.01 FOR GENERAL NOTES

**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE GENERAL CONTRACTOR, MEDCO CONSTRUCTION LLC, DURING MAY 2018, FIELD OBSERVATIONS, ON 06/09/2018, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THIS INFORMATION INCLUDES MODIFICATIONS BY ADDENDA AND CHANGE ORDERS. THE ORIGINAL SCALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF:  
HALFF ASSOCIATES, INC., TBPE FIRM #312  
ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE 06/11/2018

**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	ISSUED UNDER P.A. NUMBER 11 AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS



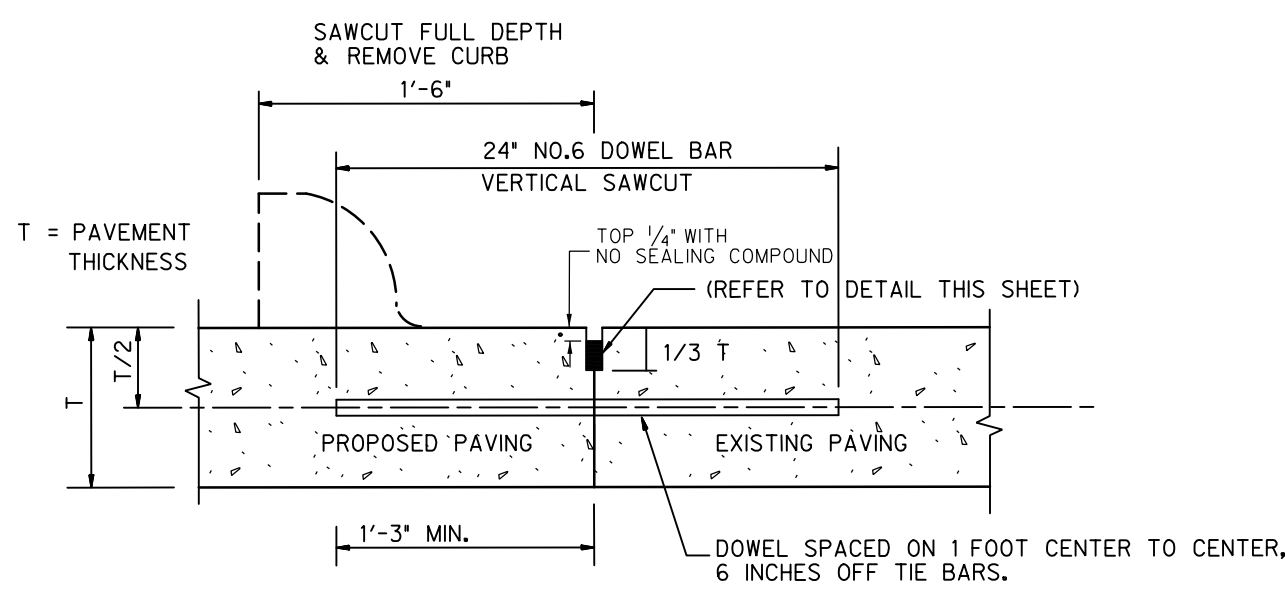
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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	PAVING PLAN
Sheet Number	C4.01

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

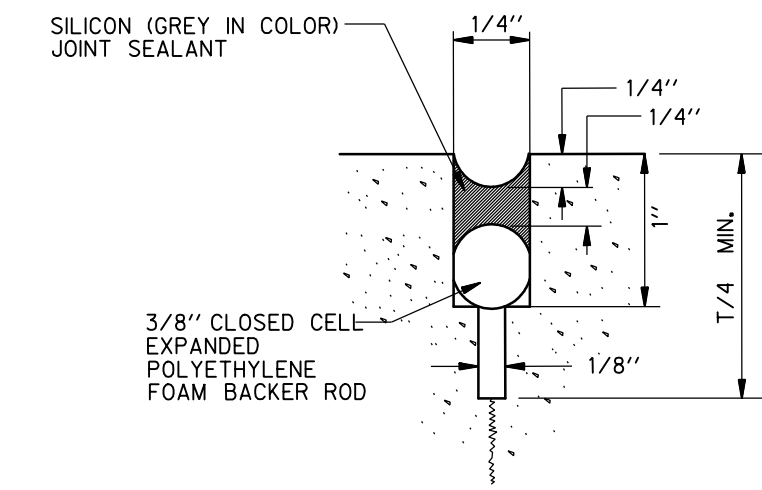
6/11/2018 2:44:56 PM ah1820 HALFF I:\310006\31697\CAAD\Sheets\C402-PD-31697.dgn Design PDF\_ZD\_MON\_FW\_MR\_300.plt

**1 LONGITUDINAL BUTT JOINT**  
N.T.S.

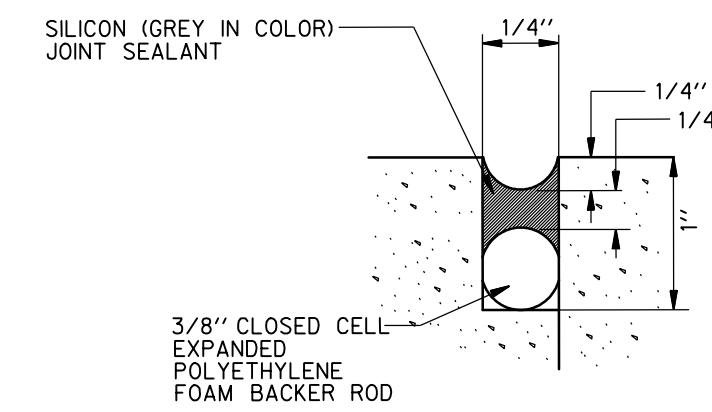


- DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
- DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.
- DOWEL BARS SHALL BE EPOXIED IN PLACE WITHIN EXISTING PAVEMENT.

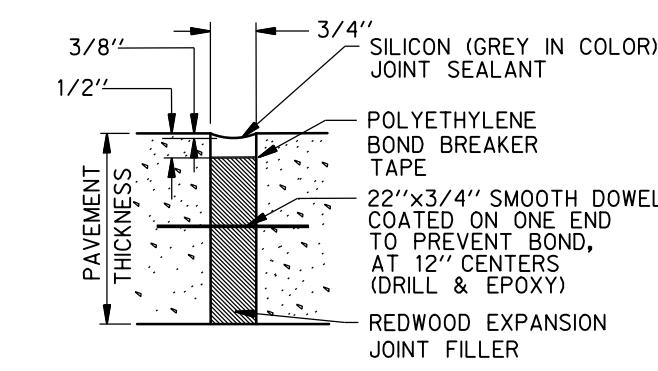
**2 SAWN CONTROL JOINT (LONGITUDINAL & TRANSVERSE)**  
N.T.S.



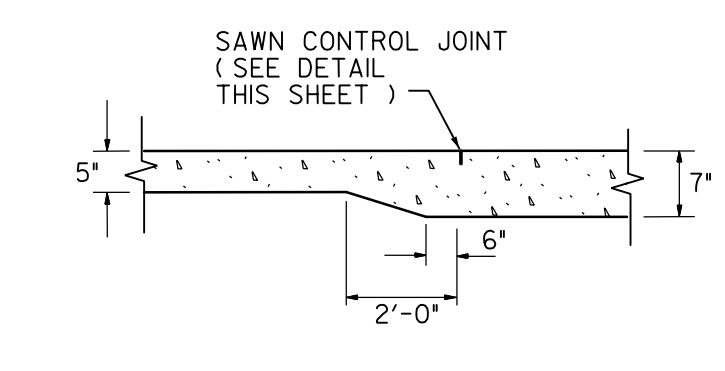
**3 CONSTRUCTION JOINT**  
N.T.S.



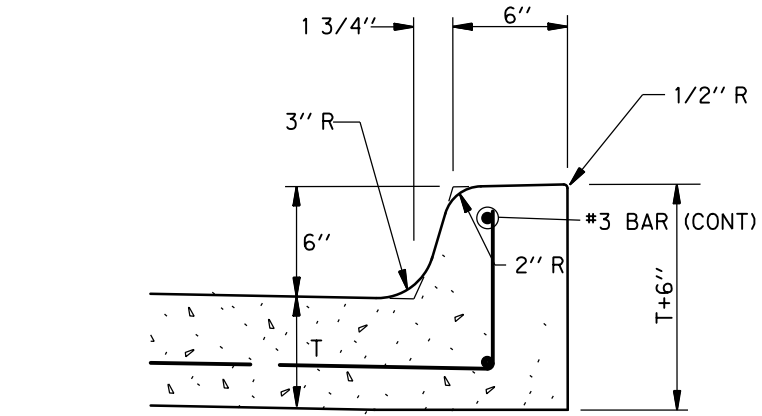
**4 EXPANSION JOINT**  
N.T.S.



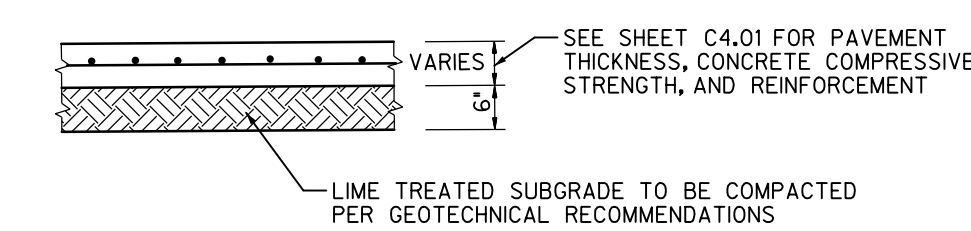
**5 PAVEMENT TRANSITION**  
N.T.S.



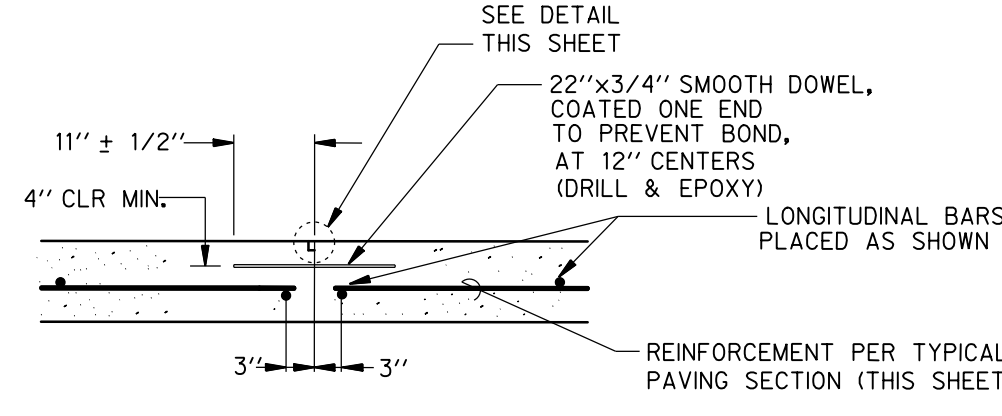
**6 6" INTEGRAL CURB**  
N.T.S.



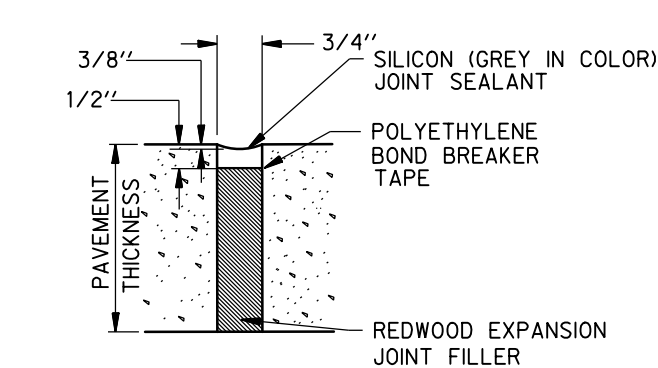
**7 TYPICAL PAVEMENT SECTION**  
N.T.S.



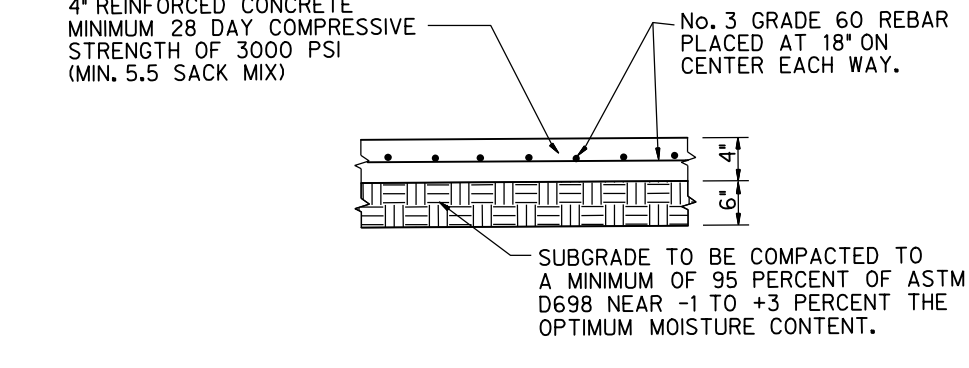
**8 OPTIONAL CONSTRUCTION JOINT**  
N.T.S.



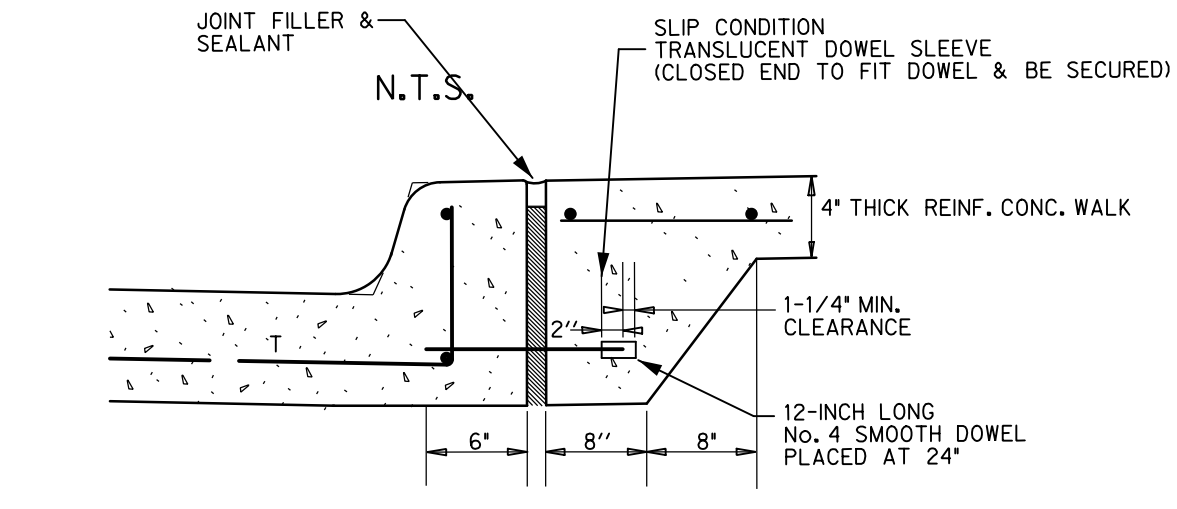
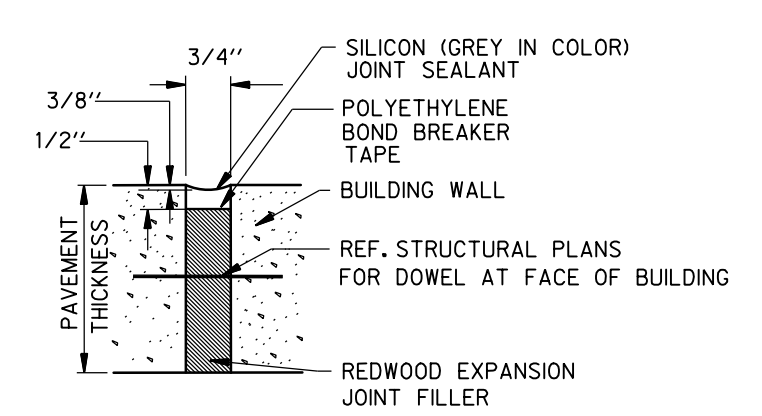
**9 ISOLATION JOINT**  
N.T.S.



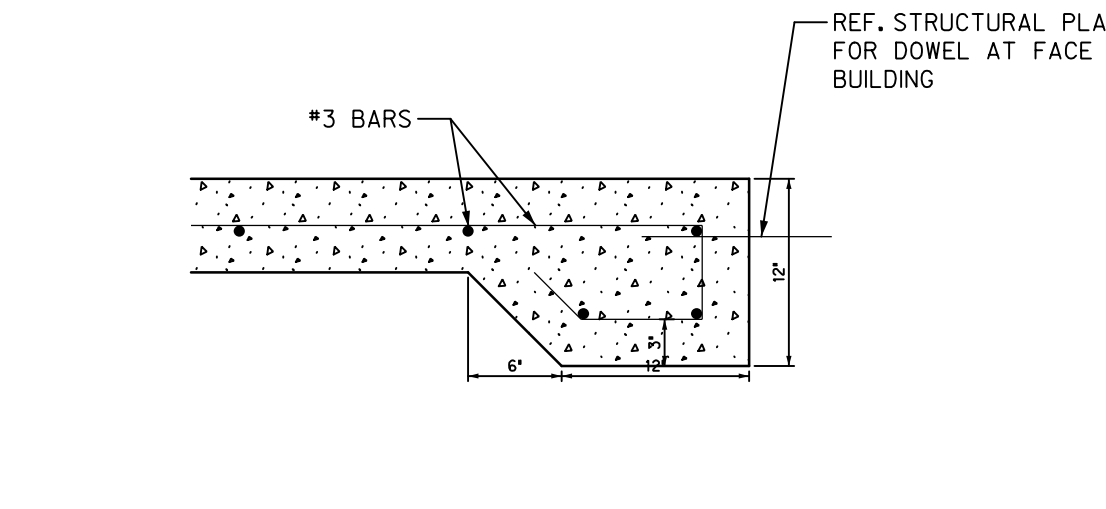
**10 TYPICAL SIDEWALK SECTION**  
N.T.S.



**11 DOWELLED JOINT AT DOORWAYS**  
N.T.S.

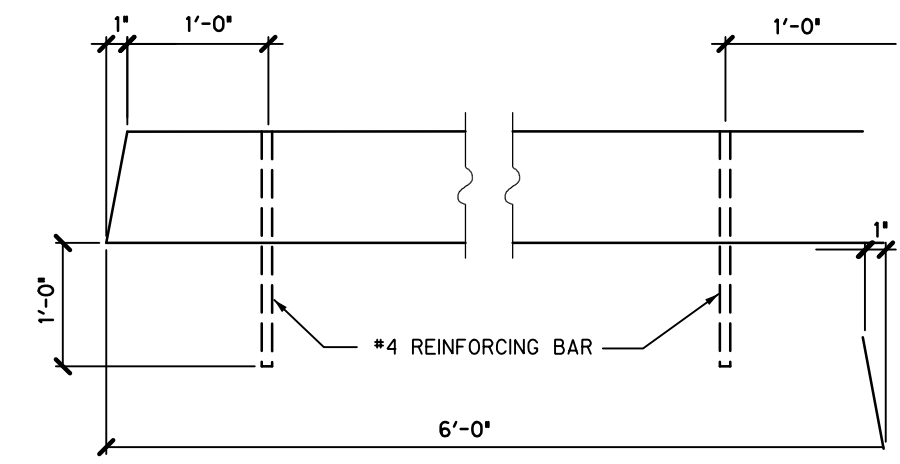


**12 DETAIL FOR SIDEWALK ADJACENT TO CURB**  
N.T.S.



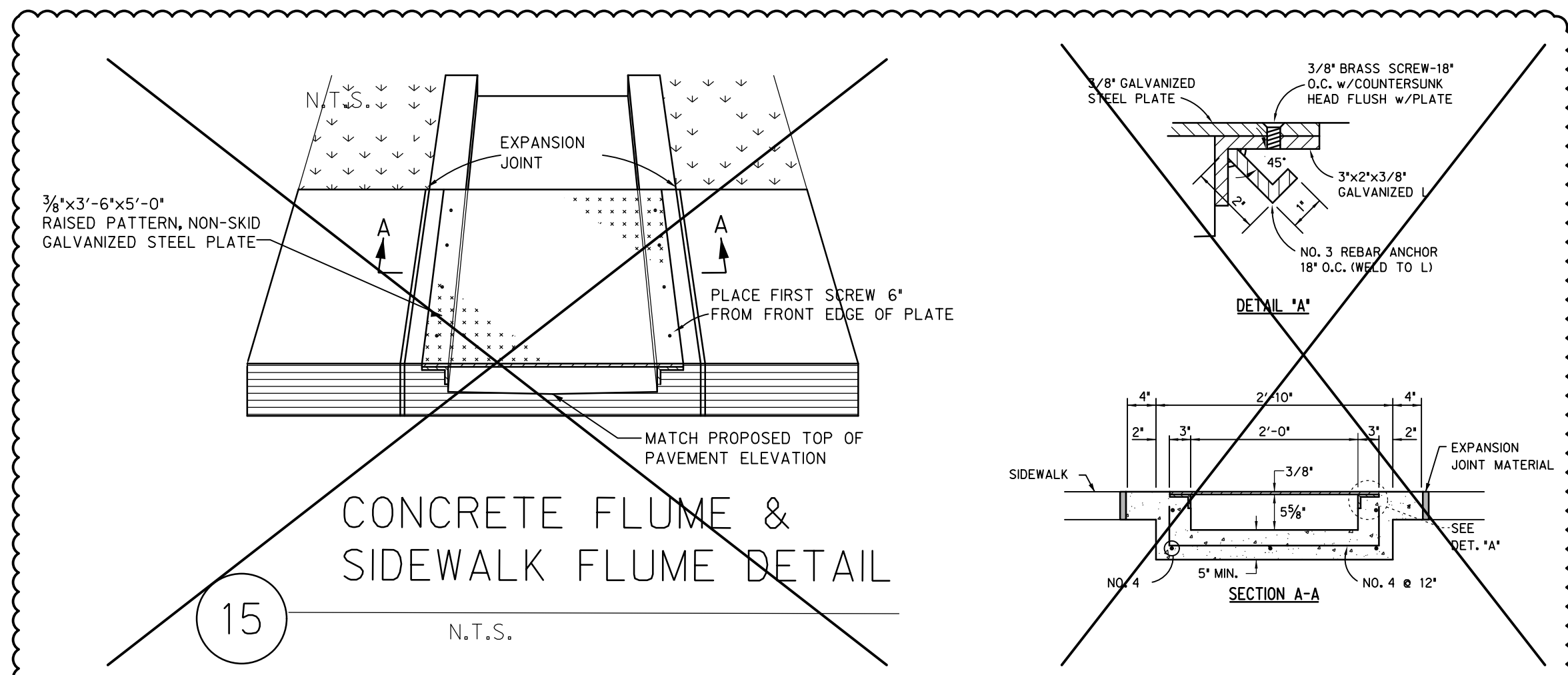
**13 PAVEMENT EDGE AT FACE OF BUILDING**  
N.T.S.

**14 PRECAST CONC. WHEEL STOP**  
N.T.S.

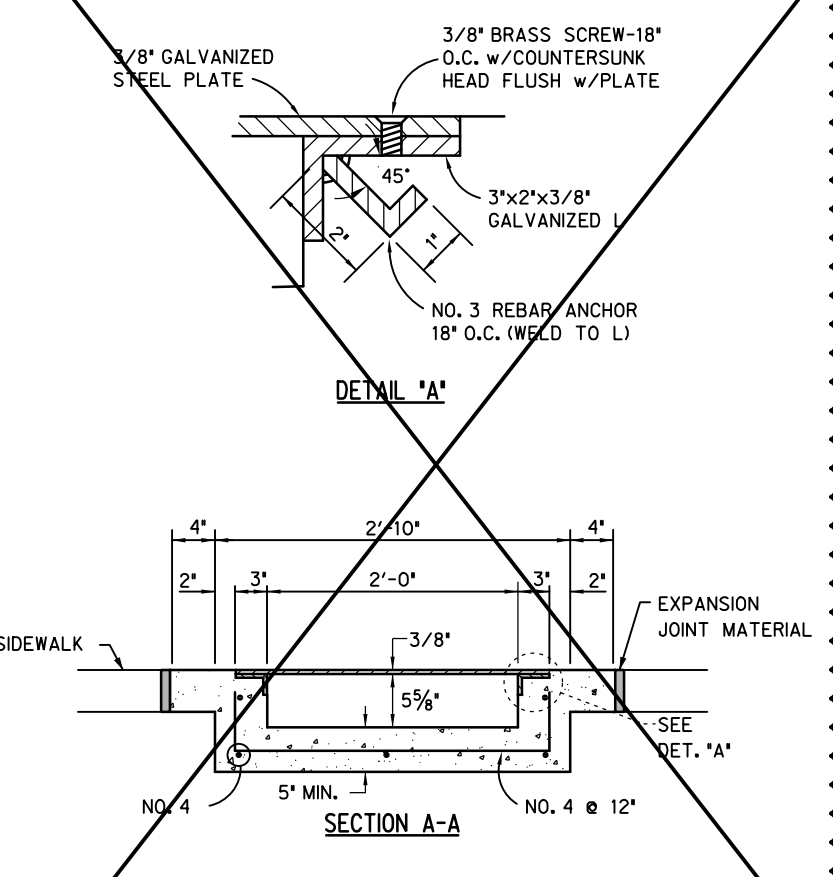


- NOTE:**
- PROVIDE ONE PRECAST WHEEL STOP PER HANDICAP PARKING SPACE AND PARKING ADJACENT TO BUILDING AS INDICATED ON SITE PLAN.
  - WHEEL STOP SHALL BE ATTACHED SECURELY TO THE CONCRETE PAVEMENT W/ EPOXY ADHESIVE AND DOWELS AS INDICATED.

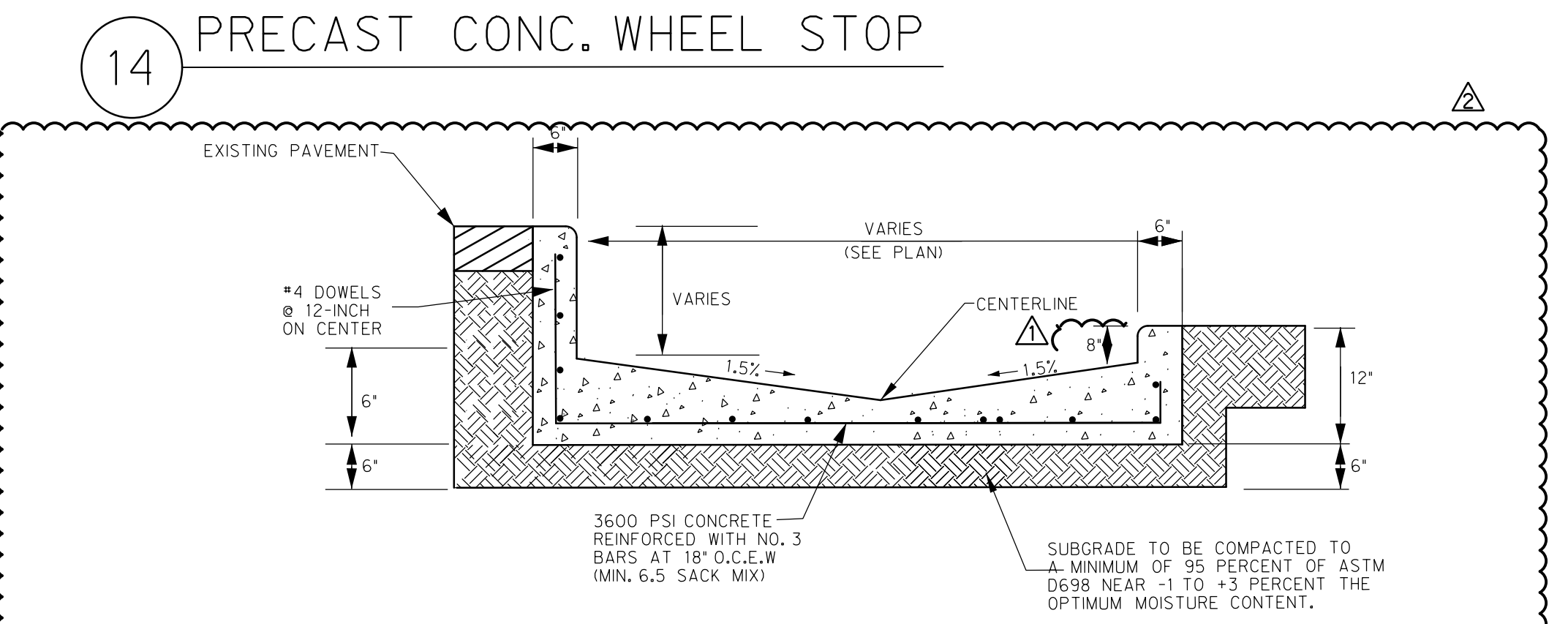
**15 CONCRETE FLUME & SIDEWALK FLUME DETAIL**  
N.T.S.



**CONCRETE FLUME & SIDEWALK FLUME DETAIL**  
N.T.S.



**16a FLUME DETAIL**  
N.T.S.



**16b FLUME HYBRID DETAIL**  
N.T.S.

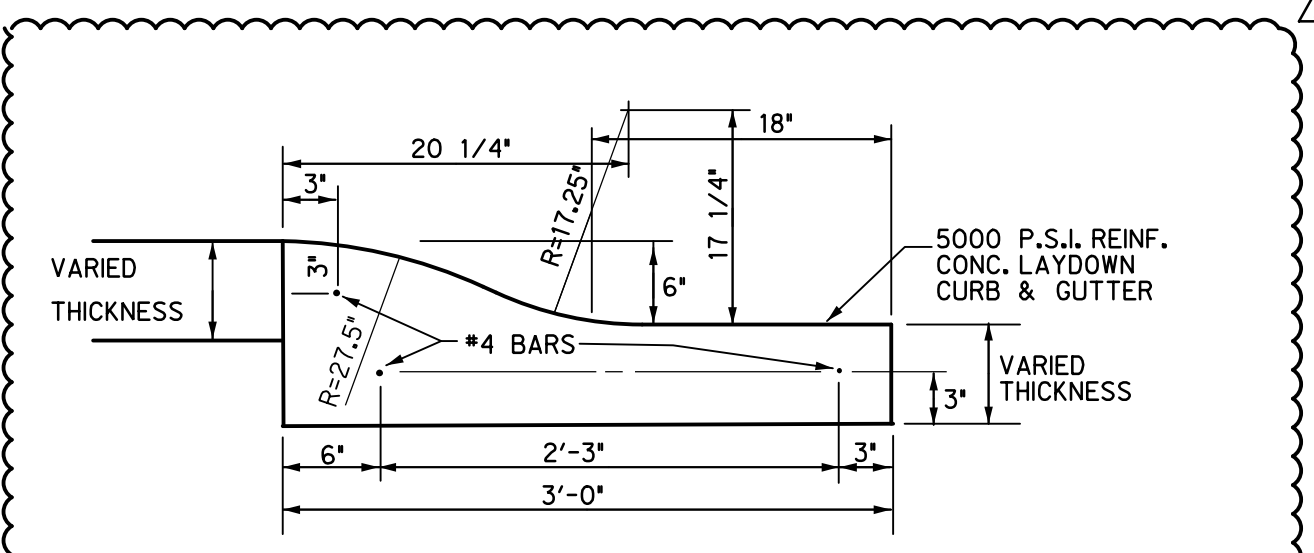
**RECORD DRAWING**

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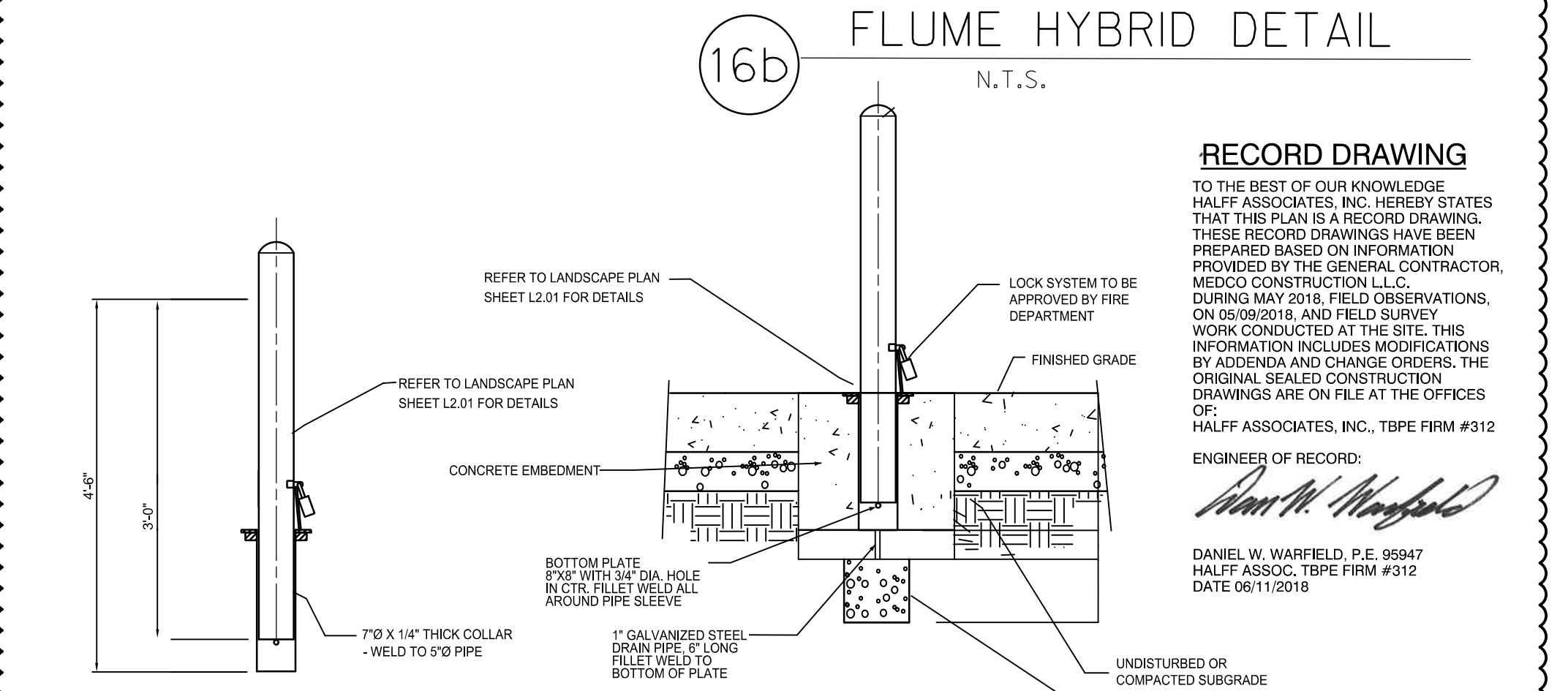
HALFF ASSOCIATES, INC. TBPE FIRM #312

ENGINEER OF RECORD:

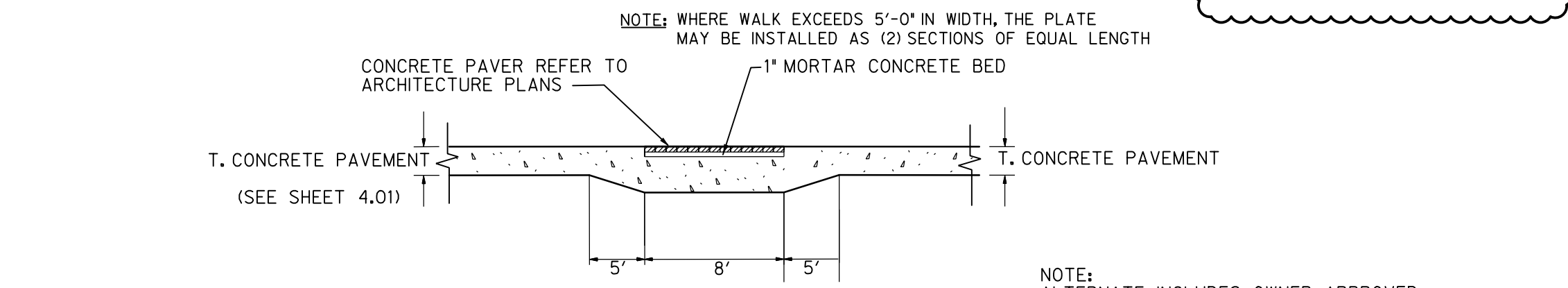
Daniel W. Warfield, P.E. 95947  
DATE 06/11/2018



**18 ROLLED CURB DETAIL**  
N.T.S.



**19 REMOVABLE GALVANIZED STEEL BOLLARD**  
N.T.S.



**17 CONCRETE PAVER DETAIL (IF APPLICABLE)**  
N.T.S.

**LAKE POINTE CHURCH  
NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087

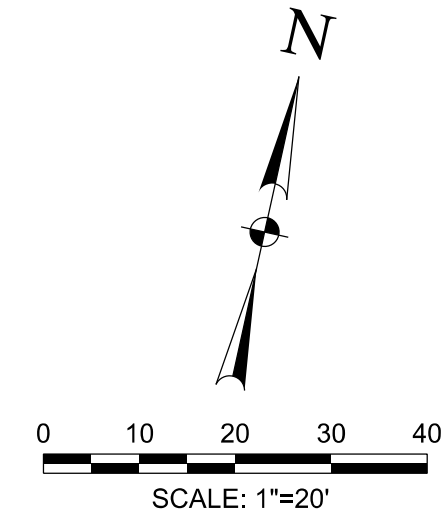
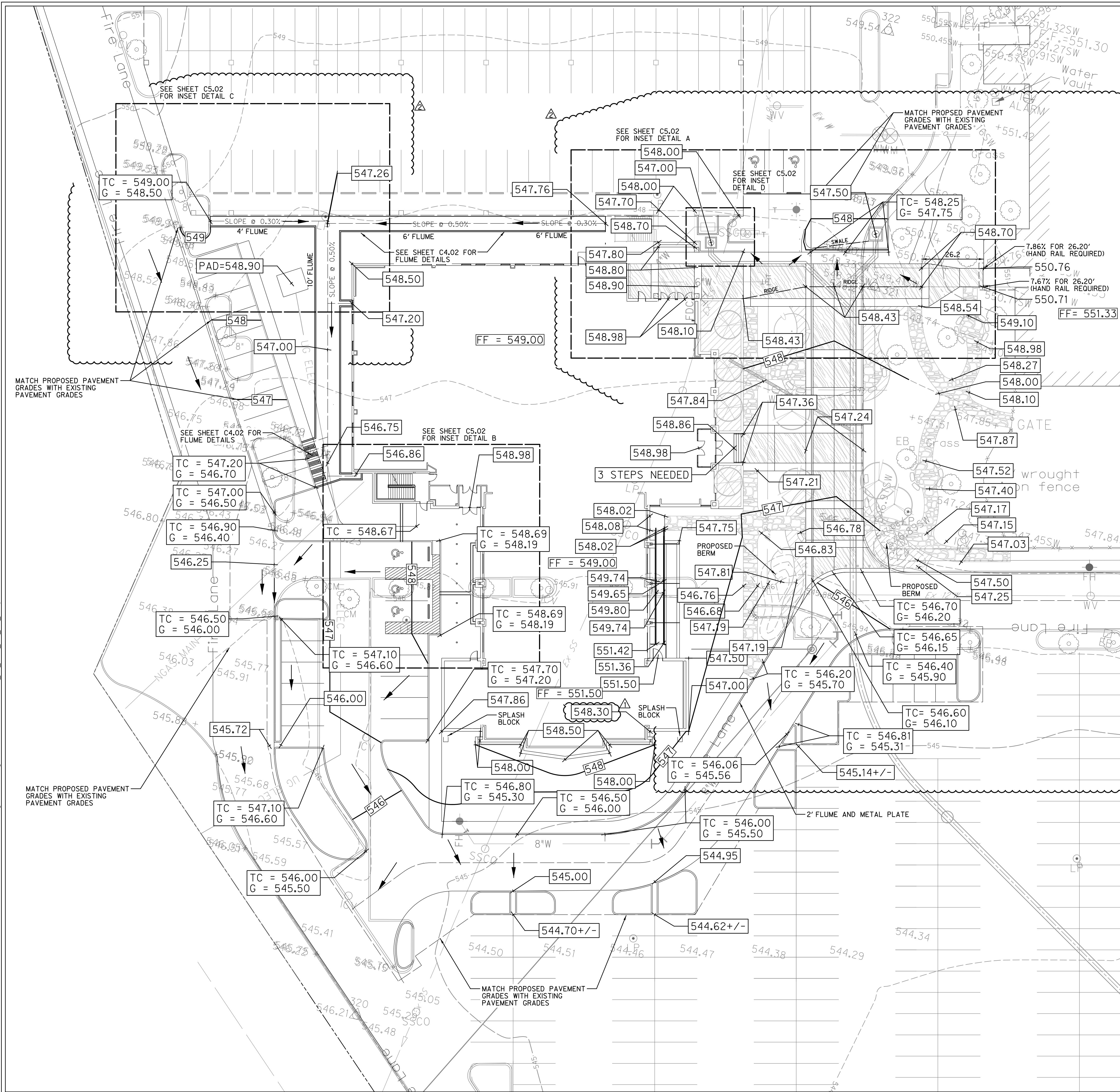
**HALFF**  
3803 PARKWOOD BLVD, SUITE 800  
FRISCO, TEXAS 75034-2640  
TEL: (214) 616-1674  
FAX: (214) 616-1674  
TBPE FIRM #312

Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	GENERAL, ADDED P.L. NUMBER, AND SITE DRAINAGE
3	06/11/2018	RECORD DRAWINGS

*Daniel W. Warfield*  
SITE ENGINEER  
DANIEL W. WARFIELD  
95947  
LICENSED PROFESSIONAL ENGINEER  
10-3-2017

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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	PAVING DETAILS
Sheet Number	C4.02



**CAUTION!!!**  
 EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)

**NOTES:**  
 1. SEE SHEET C4.02 FOR FLUME DETAILS

**LEGEND:**

---	EXISTING FIBER OPTIC
---	EXISTING TELEPHONE LINE
---	EXISTING GAS LINE
---	EXISTING SANITARY SEWER
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING WATER LINE
---	STORM SEWER
---	MAJOR CONTOUR LINE
---	MINOR CONTOUR LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	PROPERTY LINE
---	EASEMENT LINE
---	ASPHALT
433.50	PROPOSED SPOT ELEVATION
435.50	EXISTING SPOT ELEVATION
TC	TOP OF CURB ELEVATION
G	GUTTER ELEVATION
PP	POWER POLE
WM	SANITARY SEWER MANHOLE
OVV	WATER VALVE
FH	FIRE HYDRANT
WM	WATER METER

**RECORD DRAWING**

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 ENGINEER OF RECORD:  
 Daniel W. Warfield  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC., TBPE FIRM #312  
 DATE 06/11/2018

SEE SHEET C1.01 FOR GENERAL NOTES

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
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320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description	REVISION TO ADDRESS CITY COMMENTS	DATE	REVISION TO ADDRESS CITY COMMENTS	RECORD DRAWINGS
1	04/25/2017					
2	10/03/2017					
3	06/11/2018					



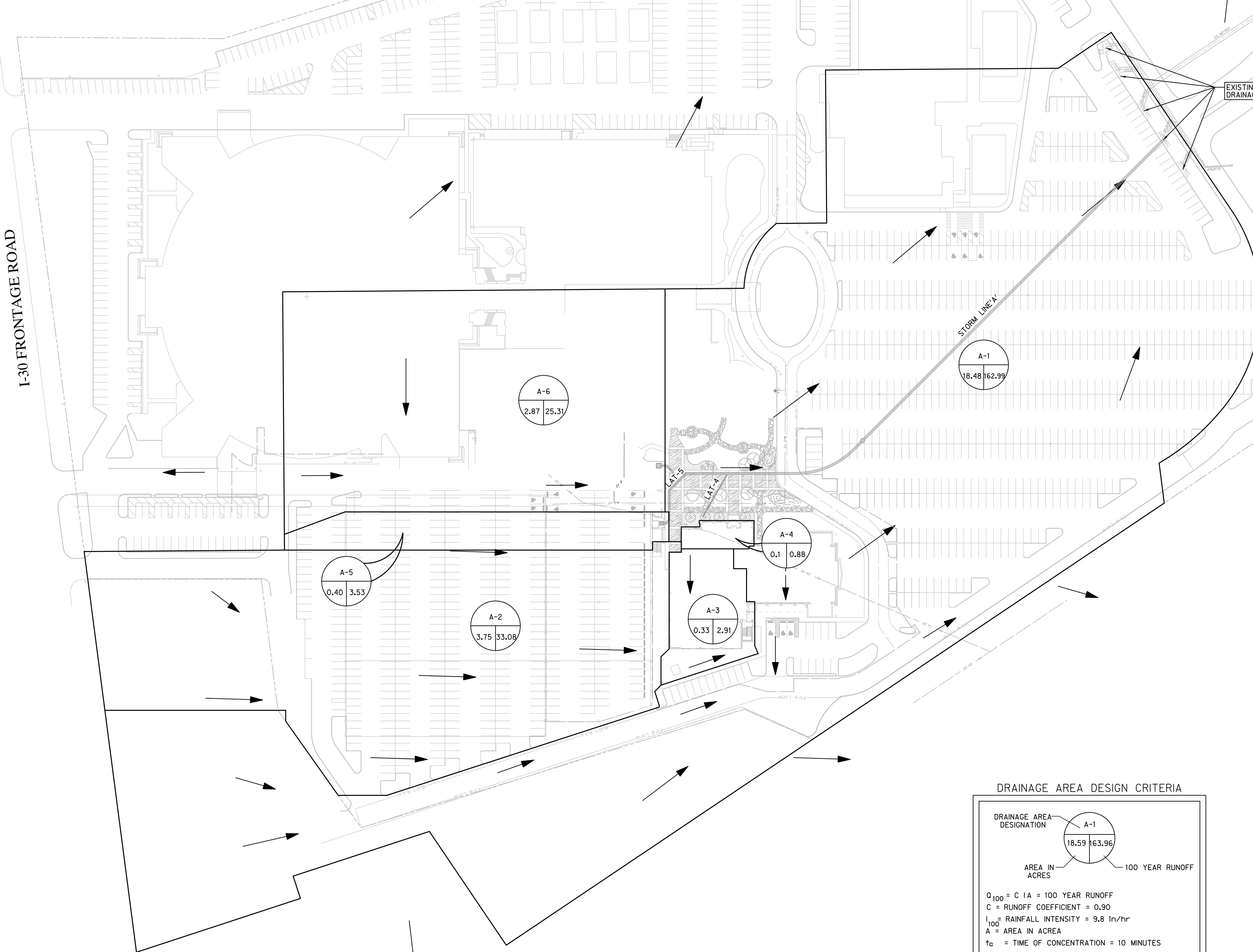
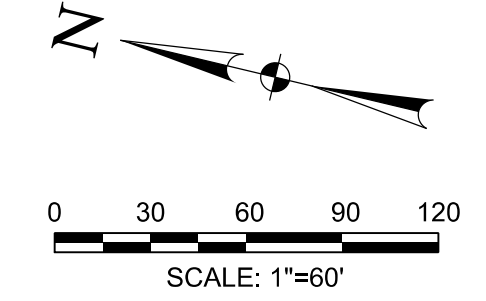
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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	GRADING PLAN
Sheet No.	C5.01



PROPOSED DRAINAGE AREAS						COMMENTS
AREA (acres)	C	Tc (min)	I100 (In/hr)	Q100 (cfs)		
A-1	18.48	0.90	10.0	9.80	163.0	TO EXISTING STORM DRAIN INLETS
A-2	3.75	0.90	10.0	9.80	33.1	TO PROPOSED FLUMES
A-3	0.33	0.90	10.0	9.80	2.9	TO PROPOSED FLUMES
A-4	0.10	0.90	10.0	9.80	0.9	TO PROPOSED LAT A-4
A-5	0.40	0.90	10.0	9.80	3.5	TO PROPOSED INLET A-5
A-6	2.87	0.90	10.0	9.80	25.3	TO PROPOSED INLETS A-6

**CAUTION!!!**  
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



EXISTING STORM DRAINAGE INLETS

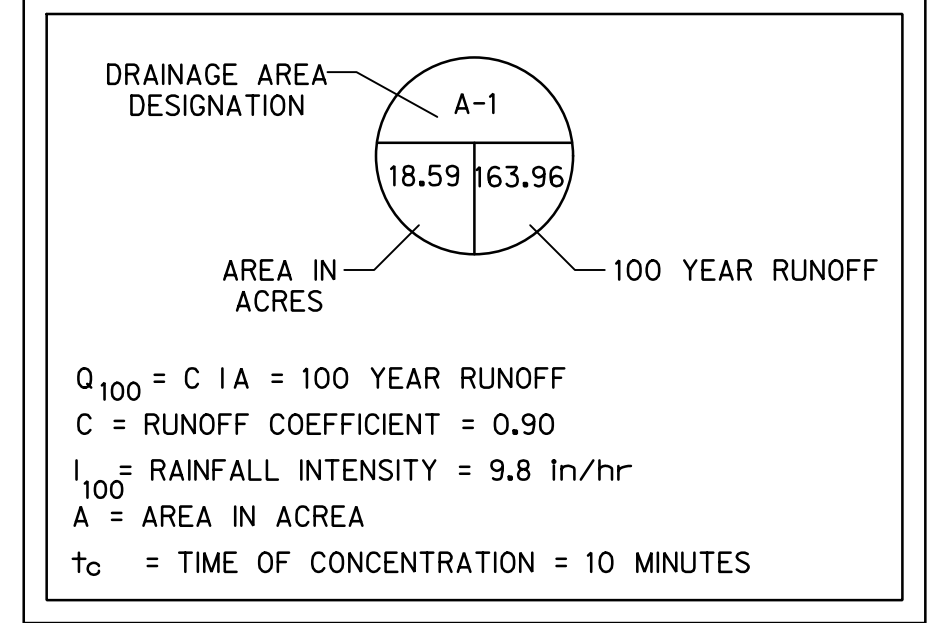
**RECORD DRAWING**  
TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE GENERAL CONTRACTOR, MEDCO CONSTRUCTION L.L.C. DURING MAY 2018, FIELD OBSERVATIONS, ON 05/09/2018, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THIS INFORMATION INCLUDES MODIFICATIONS BY ADDENDA AND CHANGE ORDERS. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC., TBPE FIRM #312  
ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE 06/11/2018

- NOTES:**
1. THE PROPOSED IMPROVEMENTS WITH THIS PROJECT ARE WITHIN AN EXISTING PAVED PARKING LOT. THESE IMPROVEMENTS DO NOT CHANGE OVERALL STORM DRAINAGE DIVIDES. ALL STORM WATER RUNOFF IS OVERLAND SHEET FLOW TO EXISTING CURB INLETS LOCATED AT THE SOUTH END OF THE SITE. (A PORTION OF THE SITE STORMWATER RUNOFF WITH THE ADDITION OF A RAISED FIRELANE.)
  2. REFER TO LAKE POINTE CHURCH SOUTHEAST PARKING IMPROVEMENTS DRAINAGE AREA MAP PREPARED BY HALFF ASSOCIATES DATED NOV. 2005 FOR ADDITIONAL DRAINAGE AREA DELINEATIONS.
  3. REFER TO LAKE POINTE BAPTIST CHURCH DRAINAGE AREA MAP & DATA PREPARED BY GRAHAM ASSOCIATES, INC. DATED APRIL 2000 FOR ADDITIONAL DRAINAGE AREA DELINEATIONS.

**LEGEND:**

- - - Ex F/O - - - EXISTING FIBER OPTIC
- - - Ex TEL - - - EXISTING TELEPHONE LINE
- - - Ex GAS - - - EXISTING GAS LINE
- - - Ex SS - - - EXISTING SANITARY SEWER
- - - Ex OHE - - - EXISTING OVERHEAD ELECTRIC
- - - Ex UGE - - - EXISTING UNDERGROUND ELECTRIC
- - - Ex W - - - EXISTING WATER LINE
- ==== STORM SEWER
- ==== MAJOR CONTOUR LINE
- ==== MINOR CONTOUR LINE
- ==== EXISTING MAJOR CONTOUR LINE
- ==== EXISTING MINOR CONTOUR LINE
- PROPERTY LINE
- EASEMENT LINE
- /// ASPHALT
- ⊕ PP POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- WV WATER VALVE
- ⊙ FH FIRE HYDRANT
- ⊙ WM WATER METER
- PROPOSED DRAINAGE DIVIDE
- ← DIRECTION OF FLOW

**DRAINAGE AREA DESIGN CRITERIA**



**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087

**HALFF**  
3803 PARKWOOD BLVD, SUITE 800  
FRISCO, TEXAS 75034-2640  
TEL: (214) 618-1674  
FAX: (214) 618-1674  
TBPE FIRM #F-312

Revision No.	Date	Description
1	10/03/2017	DRAINAGE, ASBESTOS, RAISED FL, AND STORM DRAINAGE
2	06/11/2018	RECORD DRAWINGS



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Project No.: 31697  
Issued: 08/01/2017  
Drawn By: TRS  
Checked By: DWW  
Scale: AS NOTED

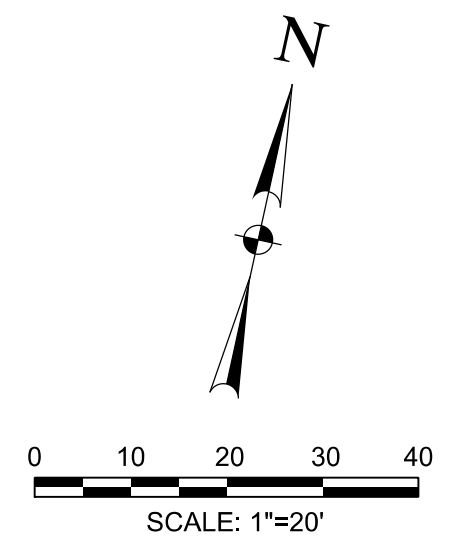
Sheet Title  
**DRAINAGE AREA MAP**

**C6.01**  
Sheet Number

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP



**CAUTION!!!**  
 EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



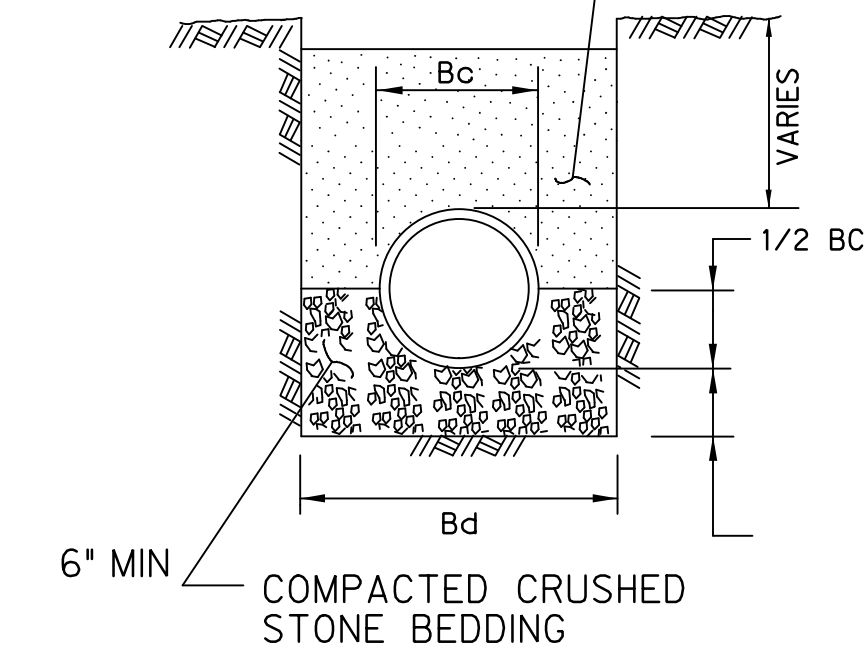
**LEGEND:**

- - - Ex F/O - - - EXISTING FIBER OPTIC
- - - Ex TEL - - - EXISTING TELEPHONE LINE
- - - Ex GAS - - - EXISTING GAS LINE
- - - Ex SS - - - EXISTING SANITARY SEWER
- - - Ex OHE - - - EXISTING OVERHEAD ELECTRIC
- - - Ex UGE - - - EXISTING UNDERGROUND ELECTRIC
- - - Ex W - - - EXISTING WATER LINE
- ==== STORM SEWER
- ==== MAJOR CONTOUR LINE
- ==== MINOR CONTOUR LINE
- ==== EXISTING MAJOR CONTOUR LINE
- ==== EXISTING MINOR CONTOUR LINE
- ==== PROPERTY LINE
- ==== EASEMENT LINE
- ==== ASPHALT
- PP POWER POLE
- WV SANITARY SEWER MANHOLE
- FH WATER VALVE
- ⊗ WM FIRE HYDRANT
- ⊗ WM WATER METER
- ⊗ WM INLET PROTECTION

EXISTING PAVEMENT TO BE REMOVED AND REPLACED WITH MIN. 7" 3600 PSI CONCRETE (MIN. 6.5 SACK MIX) DUE TO UTILITY CONNECTION. RESTRIPE FIRE LANE.

STA. 0+00.00 SD LINE A =  
 CONNECT TO EXISTING 20' CURB INLET  
 FL 30' = 534.50  
 FL EX: 534.25

SELECT OR GRANULAR MATERIAL COMPACTED TO 95% OF STD. PROCTOR DENSITY



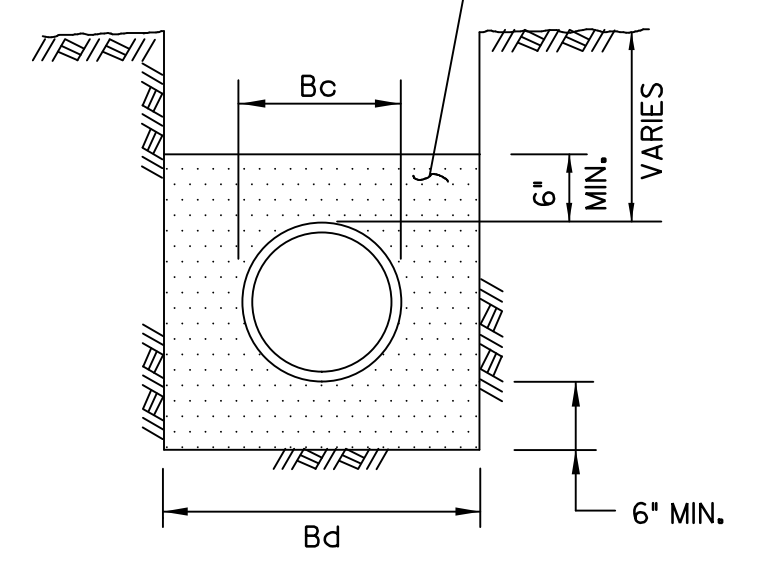
**EMBEDMENT CONCRETE AND RIGID PIPE**

N.T.S.

**NOTES:**

1. Bc = OUTSIDE DIAMETER OF PIPE
2. Bd = TRENCH WIDTH
3. BELL HOLES SHALL BE PROVIDED FOR BELL & SPIGOT PIPE.

CRUSHED STONE BEDDING  
 MAX. 3/4-INCH PARTICLES  
 12% OR LESS PASSING  
 NO. 200 SIEVE ALLOWABLE



**EMBEDMENT PVC PIPE**

N.T.S.

**NOTES:**

1. Bc = OUTSIDE DIAMETER OF PIPE
2. Bd = TRENCH WIDTH

**RECORD DRAWING**

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 HALFF ASSOCIATES, INC., TBPE FIRM #312

ENGINEER OF RECORD:  
*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TBPE FIRM #312  
 DATE 06/11/2018

**HALFF**  
 3803 PARKWOOD BLVD, SUITE 800  
 FRISCO, TEXAS 75034-2640  
 TEL: (214) 618-4274  
 FAX: (214) 618-4274  
 TBPE FIRM #F-312

Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	GENERAL NOTES FOR REVISION AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS

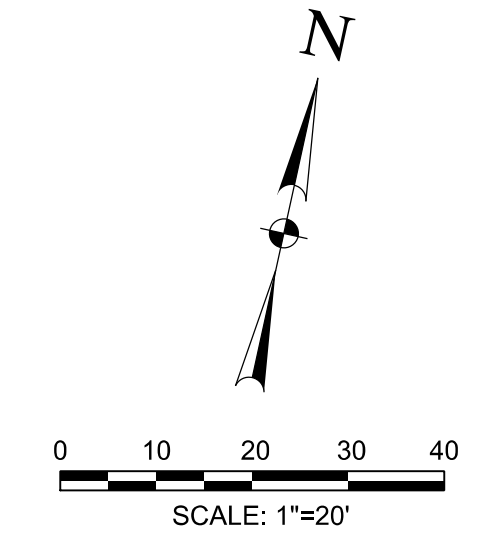
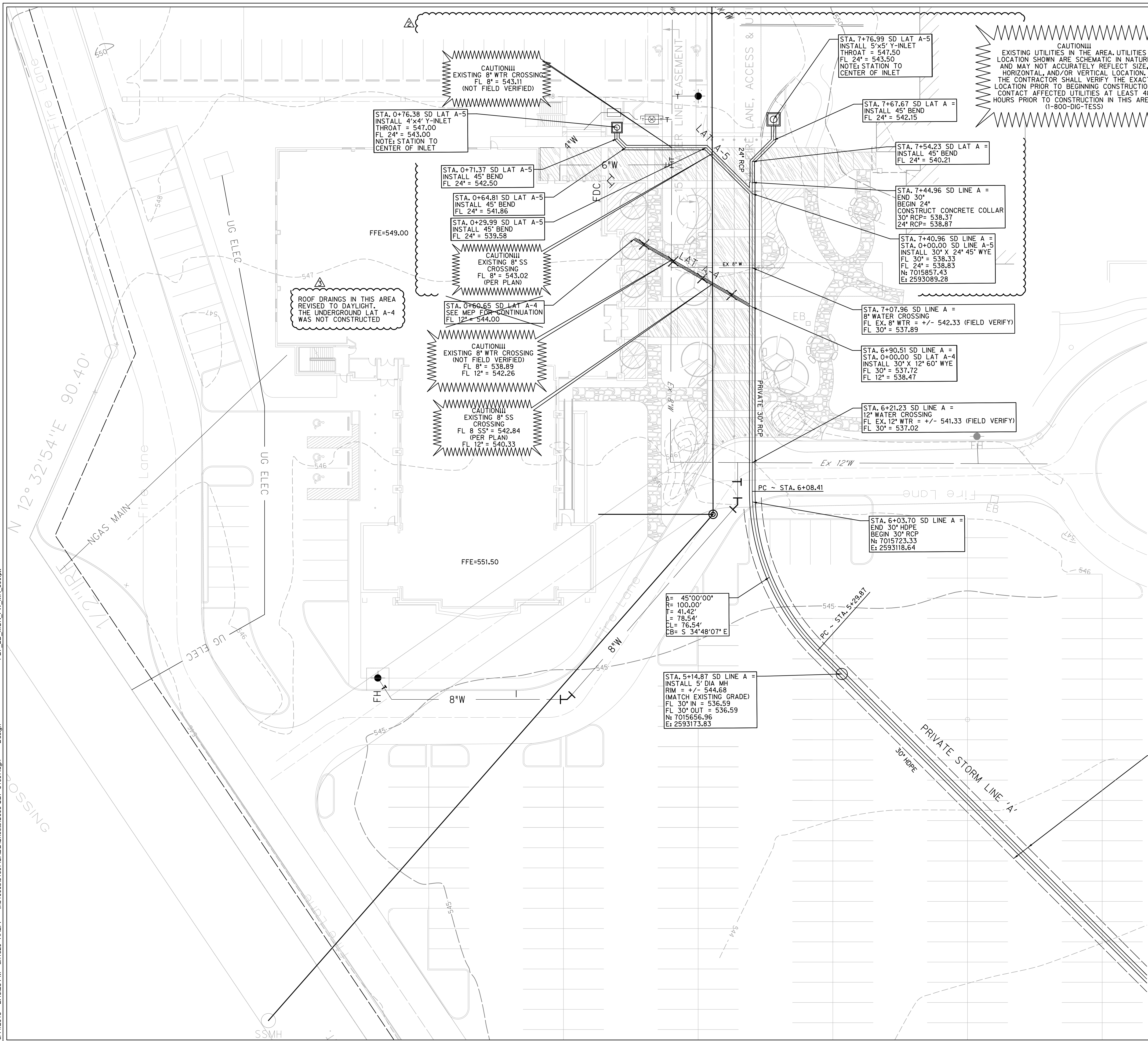


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SEE SHEET C0.01 FOR GENERAL NOTES

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

Project No.: 31697  
 Issued: 08/01/2017  
 Drawn By: TRS  
 Checked By: DWW  
 Scale: AS NOTED  
 Sheet Title: STORM DRAIN PLAN  
**C6.02**  
 Sheet Number



**LEGEND:**

- Ex F/O --- EXISTING FIBER OPTIC
- Ex TEL --- EXISTING TELEPHONE LINE
- Ex GAS --- EXISTING GAS LINE
- Ex SS --- EXISTING SANITARY SEWER
- Ex OHE --- EXISTING OVERHEAD ELECTRIC
- Ex UGE --- EXISTING UNDERGROUND ELECTRIC
- Ex W --- EXISTING WATER LINE
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- ==== EXISTING MINOR CONTOUR LINE
- ==== PROPERTY LINE
- ==== EASEMENT LINE
- ==== ASPHALT
- PP POWER POLE
- SMH SANITARY SEWER MANHOLE
- OV WATER VALVE
- FH FIRE HYDRANT
- WM WATER METER
- IP INLET PROTECTION
- SF SILT FENCE
- FT FILTER TUBE

**CAUTION!!!**  
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)

ROOF DRAININGS IN THIS AREA REVISED TO DAYLIGHT. THE UNDERGROUND LAT A-4 WAS NOT CONSTRUCTED

EXISTING PAVEMENT TO BE REMOVED AND REPLACED WITH MIN. 7\"/>

SEE SHEET C0.01 FOR GENERAL NOTES

**RECORD DRAWING**

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ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC., TBPE FIRM #312  
DATE 06/11/2018

**LAKE POINTE CHURCH  
NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087



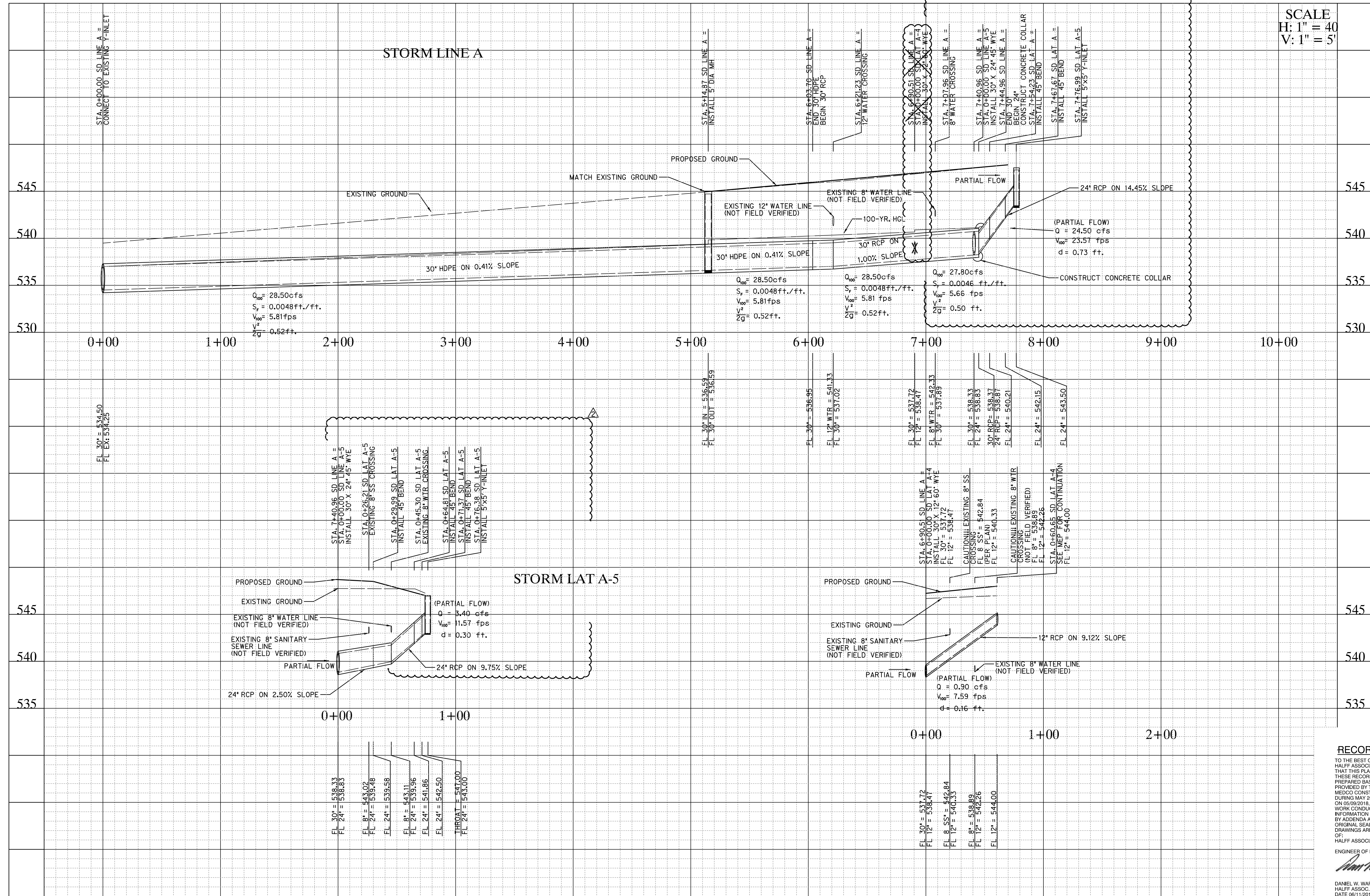
Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	ISSUED FOR PERMITS, AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS



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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title:	STORM DRAIN PLAN
Sheet Number:	C6.03

BENCHMARKS	#	NORTHING	EASTING	ELEVATION	DESCRIPTION
	105	7015991.2980	2592962.1928	550.06	SXTP
	106	7015431.9569	2593196.4381	543.24	SXTP
	320	7015521.4980	2592947.0430	546.21	SXTP
	321	7015870.0270	2593095.7245	548.29	SXTP
	322	7015977.2058	2593078.3578	549.54	SXTP

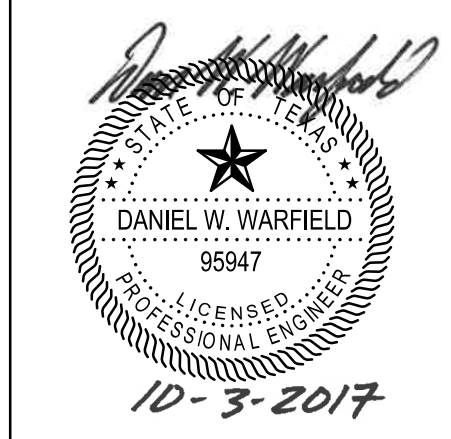


SCALE  
H: 1" = 40'  
V: 1" = 5'

**LAKE POINTE CHURCH**  
NEW CHAPEL / EDUCATION BUILDING  
701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
2	10/03/2017	ISSUING, ADDRESS CHANGE AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS



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**RECORD DRAWING**  
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ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBP# FIRM #F-312  
DATE 06/11/2018

SEE SHEET C0.01  
FOR GENERAL NOTES

BENCHMARK #	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	STORM DRAIN PROFILE
Sheet Number	C6.04

STORM DRAIN CALCULATIONS:

RUNOFF COLLECTION POINT (Inlet or Manhole)			Distance Between Collection Points	INCREMENTAL DRAINAGE AREA			Incoming CA (from wye or manhole, link to DS lateral DS Accum. CA)	Accumulated "CA"	Time at Upstream Station (minutes)	Design Storm Frequency (yrs.)	Intensity "I" (in/hr)	Storm Water Runoff "Q" (c.f.s.)	Slope of Hydraulic Gradient "S" (ft./ft.)	Selected Storm Sewer Size SPAN for RCB (feet) DIA for pipe (inches)	RISE ONLY FOR RCB (feet)	Velocity In Sewer Between Collection Points "V" (ft/sec)	Standard DS Junction Loss k	Minor Loss Coeff. K <sub>j</sub>	Velocity Head (V <sup>2</sup> /2g) (feet)	Flow Time in Sewer Distance V x 60 (minutes)	Hydraulic Grade						
DRAINAGE AREA	UPSTREAM STATION	DOWNSTREAM STATION		Drainage Area "A" (Acres)	Combined Runoff Coeff. C*C <sub>f</sub>	Incremental "CA"															DS Hyd. Grade	Friction Losses	Hyd. Grade After Friction Loss	Junction Losses	Minor Losses	Hyd. Grade After Hyd. Jump	
<b>LINE A</b>																											
A-6	7+76.99	7+67.67	9.32	2.78	0.90	2.50	0.00	2.50	10.00	100	9.80	24.5	0.0117	24		7.80		1.50	0.95	0.02	541.26	0.11	541.37	0.00	1.42	542.79	
45° BEND	7+67.67	7+54.23	13.44		0.00	0.00	0.00	2.50	10.02	100	9.79	24.5	0.0117	24		7.80	0.35		0.94	0.03	541.22	0.16	541.38	0.61	0.00	541.99	
45° BEND	7+54.23	7+44.96	9.27		0.00	0.00	0.00	2.50	10.05	100	9.78	24.5	0.0117	24		7.79	0.35		0.94	0.02	541.05	0.11	541.16	0.61	0.00	541.77	
Pipe Size Change	7+44.96	7+40.96	4.00		0.00	0.00	0.00	2.50	10.07	100	9.77	24.4	0.0117	24		7.78			0.94	0.01	541.22	0.05	541.26	0.00	0.00	541.26	
45° WYE LAT A-5	7+40.96	6+90.51	50.45		0.90	0.00	0.34	2.84	10.08	100	9.76	27.8	0.0046	30		5.66	0.60		0.50	0.15	541.05	0.23	541.29	-0.07	0.00	541.22	
60° WYE LAT A-4	6+90.51	6+21.23	69.28		0.90	0.00	0.09	2.93	10.23	100	9.70	28.5	0.0048	30		5.80	0.60		0.52	0.20	540.50	0.33	540.83	0.22	0.00	541.05	
PIPE SLOPE CHANGE	6+21.23	5+14.87	106.36		0.00	0.00	0.00	2.93	10.42	100	9.61	28.5	0.0048	30		5.81			0.52	0.31	539.98	0.51	540.50	0.00	0.00	540.50	
5' DIA MH	5+14.87	0+00.00	514.87		0.00	0.00	0.00	2.93	10.73	100	9.47	28.5	0.0048	30		5.81			0.52	1.48	537.00	2.49	539.49	0.50	0.00	539.98	
<b>LATERAL A-4</b>																											
INLET A-4	0+09.53	0+00.00	9.53	0.10	0.90	0.09		0.09	10.00	100	9.80	0.9	0.0006	12		1.12			1.50	0.02	0.14	541.05	0.01	541.06	0.00	0.03	541.09
<b>LATERAL A-5</b>																											
INLET A-5	0+76.38	0+71.37	5.01	0.38	0.90	0.34		0.34	10.00	100	9.80	3.4	0.0002	24		1.07			1.50	0.02	0.08	541.26	0.00	541.27	0.00	0.03	541.29
45° BEND	0+71.37	0+64.81	6.56			0.00		0.34	10.00	100	9.80	3.4	0.0002	24		1.07	0.35		0.02	0.10	541.25	0.00	541.25	0.01	0.00	541.26	
45° BEND	0+64.81	0+45.30	19.51			0.00		0.34	10.00	100	9.80	3.4	0.0002	24		1.07	0.35		0.02	0.30	541.24	0.00	541.24	0.01	0.00	541.25	
Pipe slope change	0+45.30	0+29.99				0.00			10.00	100																	
45° BEND	0+29.99	0+00.00	29.99			0.00		0.34	10.00	100	9.80	3.4	0.0002	24		1.07	0.35		0.02	0.47	541.22	0.01	541.22	0.01	0.00	541.24	

INLET CALCULATIONS:


Inlet ID	Flow To Inlet (Q)	Length of Inlet Opening (L)	Depth of Water (head at inlet) (y)	Q Allowable	Q Actual
	(cfs)	(ft)	(ft)	(cfs)	(cfs)
A-6	25.31	5'X5', L=20	0.6	28.69	25.31
A-5	3.53	4'X4', L=16	0.5	17.46	3.53

DROP INLET FLOW EQUATION:  $Q = 3.087Ly^{3/2}$

DROP INLET LENGTH EQUATION:  $L = Q/3.087y^{3/2}$

RECORD DRAWING

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ENGINEER OF RECORD:  
  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TBPE FIRM #312  
 DATE 06/11/2018



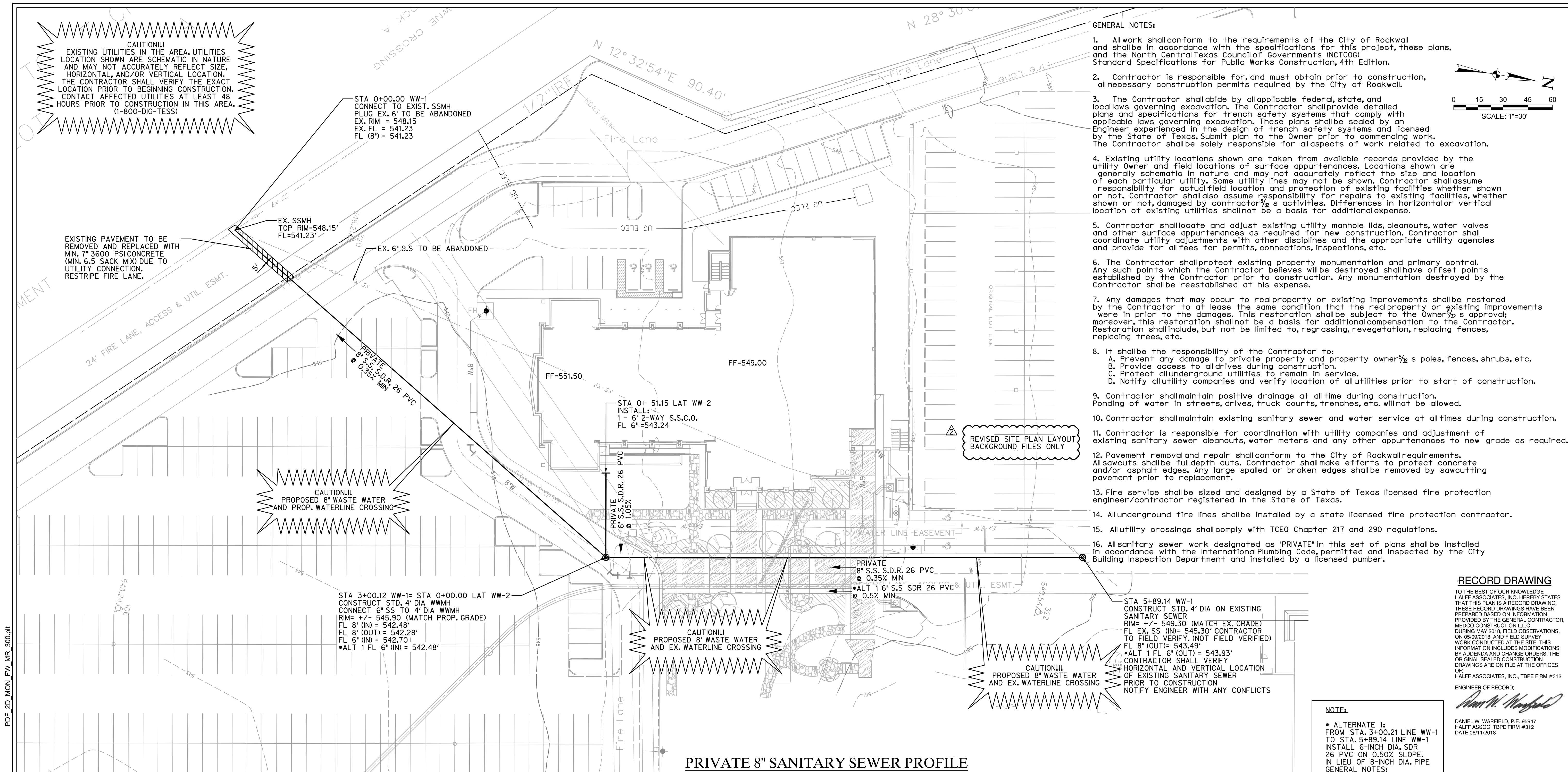
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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	STORM DRAIN CALCS
	C6.05
Sheet Number	

**LAKE POINTE CHURCH**  
 NEW CHAPEL / EDUCATION BUILDING  
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
2	10/03/2017	RECORD DRAWING
3	06/11/2018	RECORD DRAWING



- GENERAL NOTES:
- All work shall conform to the requirements of the City of Rockwall and shall be in accordance with the specifications for this project, these plans, and the North Central Texas Council of Governments (NCTCOG) Standard Specifications for Public Works Construction, 4th Edition.
  - Contractor is responsible for, and must obtain prior to construction, all necessary construction permits required by the City of Rockwall.
  - The Contractor shall abide by all applicable federal, state, and local laws governing excavation. The Contractor shall provide detailed plans and specifications for trench safety systems that comply with applicable laws governing excavation. These plans shall be prepared by an Engineer experienced in the design of trench safety systems and licensed by the State of Texas. Submit plan to the Owner prior to commencing work. The Contractor shall be solely responsible for all aspects of work related to excavation.
  - Existing utility locations shown are taken from available records provided by the utility Owner and field locations of surface appurtenances. Locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Some utility lines may not be shown. Contractor shall assume responsibility for actual field location and protection of existing facilities whether shown or not. Contractor shall also assume responsibility for repairs to existing facilities, whether shown or not, damaged by contractor's activities. Differences in horizontal or vertical location of existing utilities shall not be a basis for additional expense.
  - Contractor shall locate and adjust existing utility manhole lids, cleanouts, water valves and other surface appurtenances as required for new construction. Contractor shall coordinate utility adjustments with other disciplines and the appropriate utility agencies and provide for all fees for permits, connections, inspections, etc.
  - The Contractor shall protect existing property, monumentation and primary control. Any such points which the Contractor believes will be destroyed shall have offset points established by the Contractor prior to construction. Any monumentation destroyed by the Contractor shall be reestablished at his expense.
  - Any damages that may occur to real property or existing improvements shall be restored by the Contractor to at least the same condition that the real property or existing improvements were in prior to the damages. This restoration shall be subject to the Owner's approval; moreover, this restoration shall not be a basis for additional compensation to the Contractor. Restoration shall include, but not be limited to, regrading, revegetation, replacing fences, replacing trees, etc.
  - It shall be the responsibility of the Contractor to:
    - Prevent any damage to private property and property owner's poles, fences, shrubs, etc.
    - Provide access to all drives during construction.
    - Protect all underground utilities to remain in service.
    - Notify all utility companies and verify location of all utilities prior to start of construction.
  - Contractor shall maintain positive drainage at all time during construction. Ponding of water in streets, drives, truck courts, trenches, etc. will not be allowed.
  - Contractor shall maintain existing sanitary sewer and water service at all times during construction.
  - Contractor is responsible for coordination with utility companies and adjustment of existing sanitary sewer cleanouts, water meters and any other appurtenances to new grade as required.
  - Pavement removal and repair shall conform to the City of Rockwall requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete and/or asphalt edges. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.
  - Fire service shall be sized and designed by a State of Texas licensed fire protection engineer/contractor registered in the State of Texas.
  - All underground fire lines shall be installed by a state licensed fire protection contractor.
  - All utility crossings shall comply with TCEQ Chapter 217 and 290 regulations.
  - All sanitary sewer work designated as 'PRIVATE' in this set of plans shall be installed in accordance with the International Plumbing Code, permitted and inspected by the City Building Inspection Department and installed by a licensed plumber.

**RECORD DRAWING**

TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE GENERAL CONTRACTOR, MEDCO CONSTRUCTION L.L.C. DURING MAY 2018, FIELD OBSERVATIONS, ON 05/09/2018, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THIS INFORMATION INCLUDES MODIFICATIONS BY ADDENDA AND CHANGE ORDERS. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF: HALFF ASSOCIATES, INC., TBPE FIRM #312

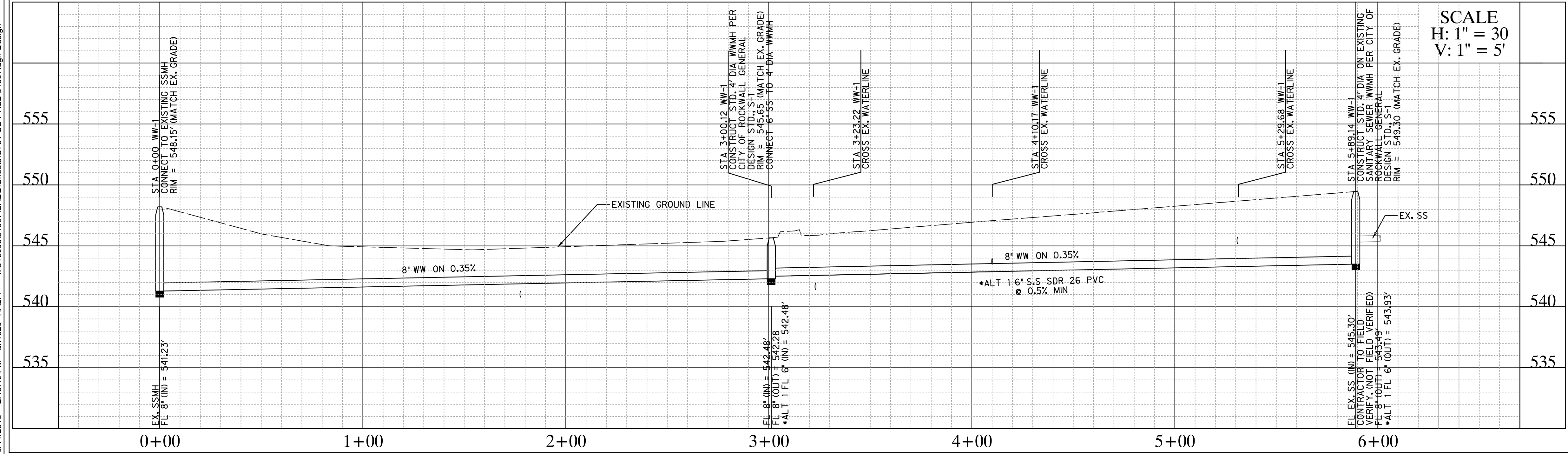
ENGINEER OF RECORD:  
*Daniel W. Warfield*  
 DANIEL W. WARFIELD, P.E. 95947  
 HALFF ASSOC. TBPE FIRM #312  
 DATE 06/11/2018

**NOTE:**

- ALTERNATE 1: FROM STA. 3+00.21 LINE WW-1 TO STA. 5+89.14 LINE WW-1 INSTALL 6-INCH DIA. SDR 26 PVC ON 0.50% SLOPE, IN LIEU OF 8-INCH DIA. PIPE

GENERAL NOTES:

**PRIVATE 8" SANITARY SEWER PROFILE**



**LEGEND:**

---	Ex F/O	EXISTING FIBER OPTIC
---	Ex TEL	EXISTING TELEPHONE LINE
---	Ex Gas	EXISTING GAS LINE
---	Ex SS	EXISTING SANITARY SEWER
---	Ex OHE	EXISTING OVERHEAD ELECTRIC
---	Ex UGE	EXISTING UNDERGROUND ELECTRIC
---	Ex W	EXISTING WATER LINE
---	---	STORM SEWER
---	455	MAJOR CONTOUR LINE
---	454	MINOR CONTOUR LINE
---	460	EXISTING MAJOR CONTOUR LINE
---	461	EXISTING MINOR CONTOUR LINE
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	ASPHALT
PP	PP	POWER POLE
○	○	SANITARY SEWER MANHOLE
○WV	○WV	WATER VALVE
●FH	●FH	FIRE HYDRANT
⊗WM	⊗WM	WATER METER

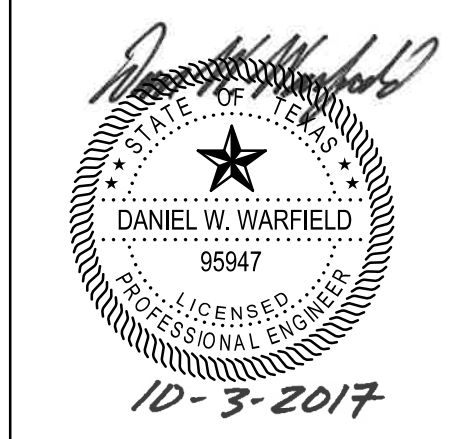
**BENCHMARKS**

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	ISSUED FOR PERMITS AND EROSION CONTROL
3	06/11/2018	RECORD DRAWINGS



The seal appearing on this document was authorized by Daniel W. Warfield, P.E. 95947 on 10-23-2017. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act. The record copy of this drawing is on file at the offices of Halff Associates, Inc., 3803 Parkwood Blvd., Frisco, Texas 75034. TBPE FIRM #F-312.

Project No.: 31697  
 Issued: 04/25/2017  
 Drawn By: TRS  
 Checked By: DWW  
 Scale: AS NOTED  
 Sheet Title  
**WASTE WATER PLAN**  
**C7.01**  
 Sheet Number

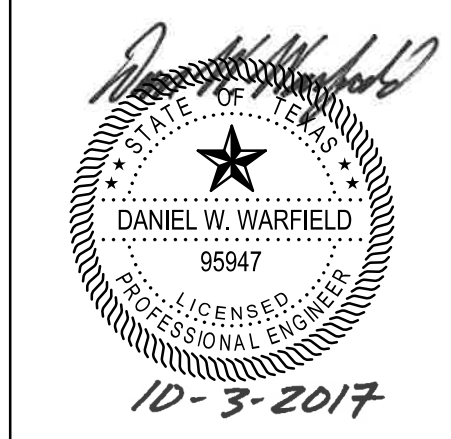
TOWNE C  
LOT 2, BLOCK A

**CAUTION!!!**  
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)

**LAKE POINTE CHURCH  
NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087

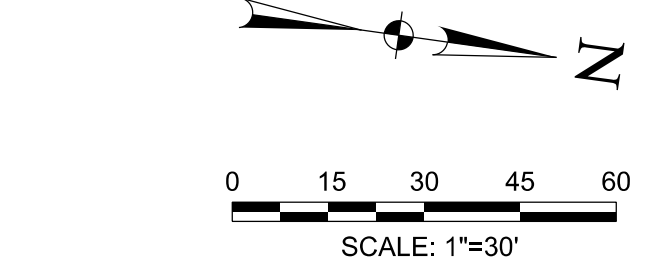
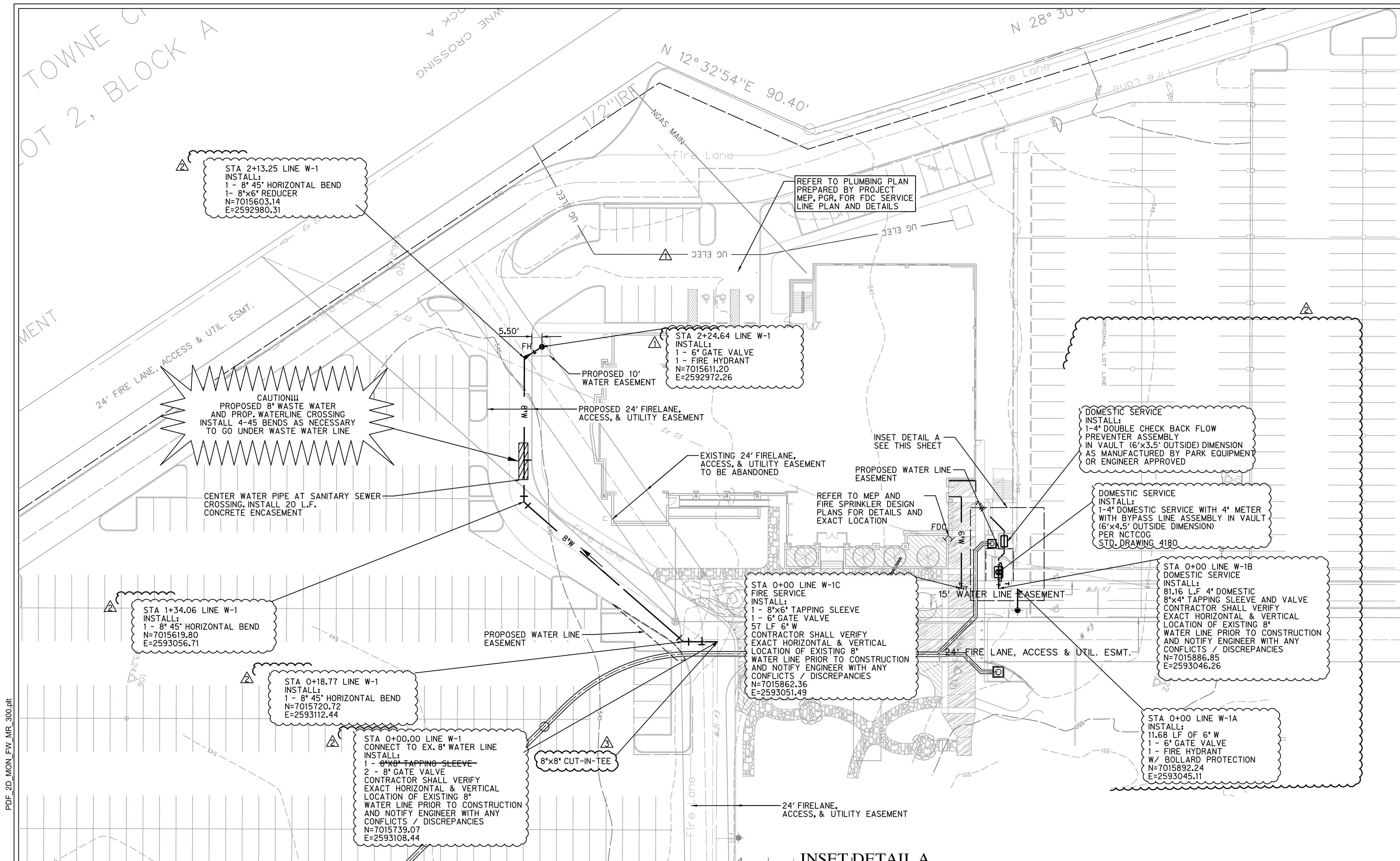


Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	OPENING, ACCESS, AND EASEMENT INFORMATION
3	06/11/2018	RECORD DRAWINGS



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Project No.:	31697
Issued:	08/01/2017
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	<b>WATER PLAN</b>
Sheet Number	<b>C8.01</b>

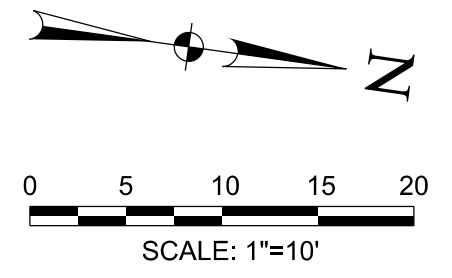
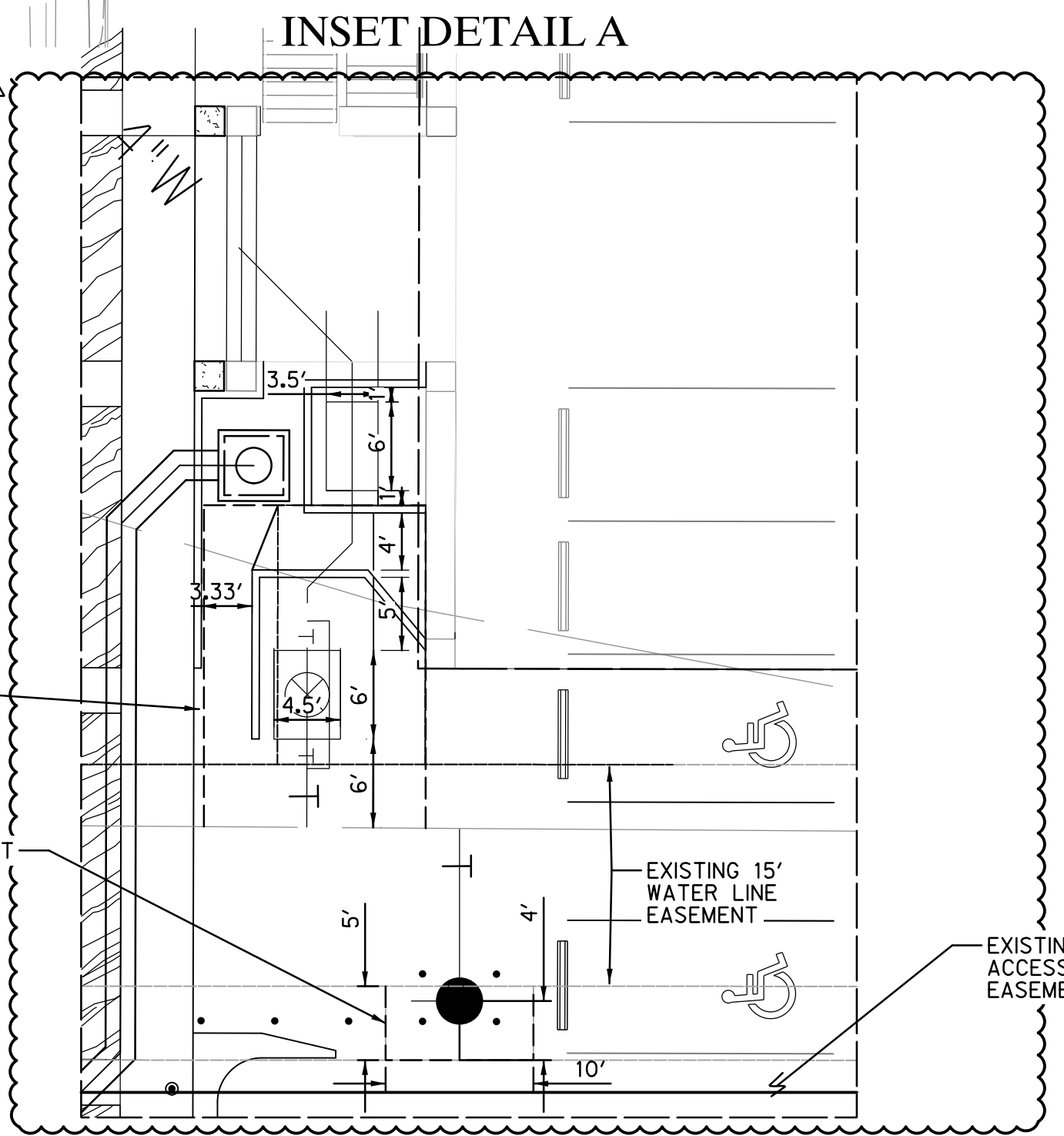


**LEGEND:**

---	Ex F/O	EXISTING FIBER OPTIC
---	Ex TEL	EXISTING TELEPHONE LINE
---	Ex Gas	EXISTING GAS LINE
---	Ex SS	EXISTING SANITARY SEWER
---	Ex OHE	EXISTING OVERHEAD ELECTRIC
---	Ex UOE	EXISTING UNDERGROUND ELECTRIC
---	Ex W	EXISTING WATER LINE
---	---	STORM SEWER
---	455	MAJOR CONTOUR LINE
---	454	MINOR CONTOUR LINE
---	460	EXISTING MAJOR CONTOUR LINE
---	461	EXISTING MINOR CONTOUR LINE
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	ASPHALT
⊙	⊙	POWER POLE
⊙	⊙	SANITARY SEWER MANHOLE
⊙	⊙	WATER VALVE
⊙	⊙	FIRE HYDRANT
⊙	⊙	WATER METER

**NOTE:**  
1. A SEPARATE PERMIT FROM THE FIRE DEPARTMENT IS REQUIRED FOR FIRE SPRINKLER LINES.  
2. A MINIMUM 10' SEPARATION DISTANCE IS REQUIRED BETWEEN FIRE SPRINKLER LINES AND ALL OTHER UTILITIES.

**RECORD DRAWING**  
TO THE BEST OF OUR KNOWLEDGE HALFF ASSOCIATES, INC. HEREBY STATES THAT THIS PLAN IS A RECORD DRAWING. THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE GENERAL CONTRACTOR, MEDCO CONSTRUCTION L.L.C. DURING MAY 2018 FIELD OBSERVATIONS. ON 05/09/2018, AND FIELD SURVEY WORK CONDUCTED AT THE SITE. THIS INFORMATION INCLUDES MODIFICATIONS BY ADDENDA AND CHANGE ORDERS. THE ORIGINAL SEALED CONSTRUCTION DRAWINGS ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC., TBP# FIRM #312  
ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC, TBP# FIRM #312  
DATE 06/11/2018

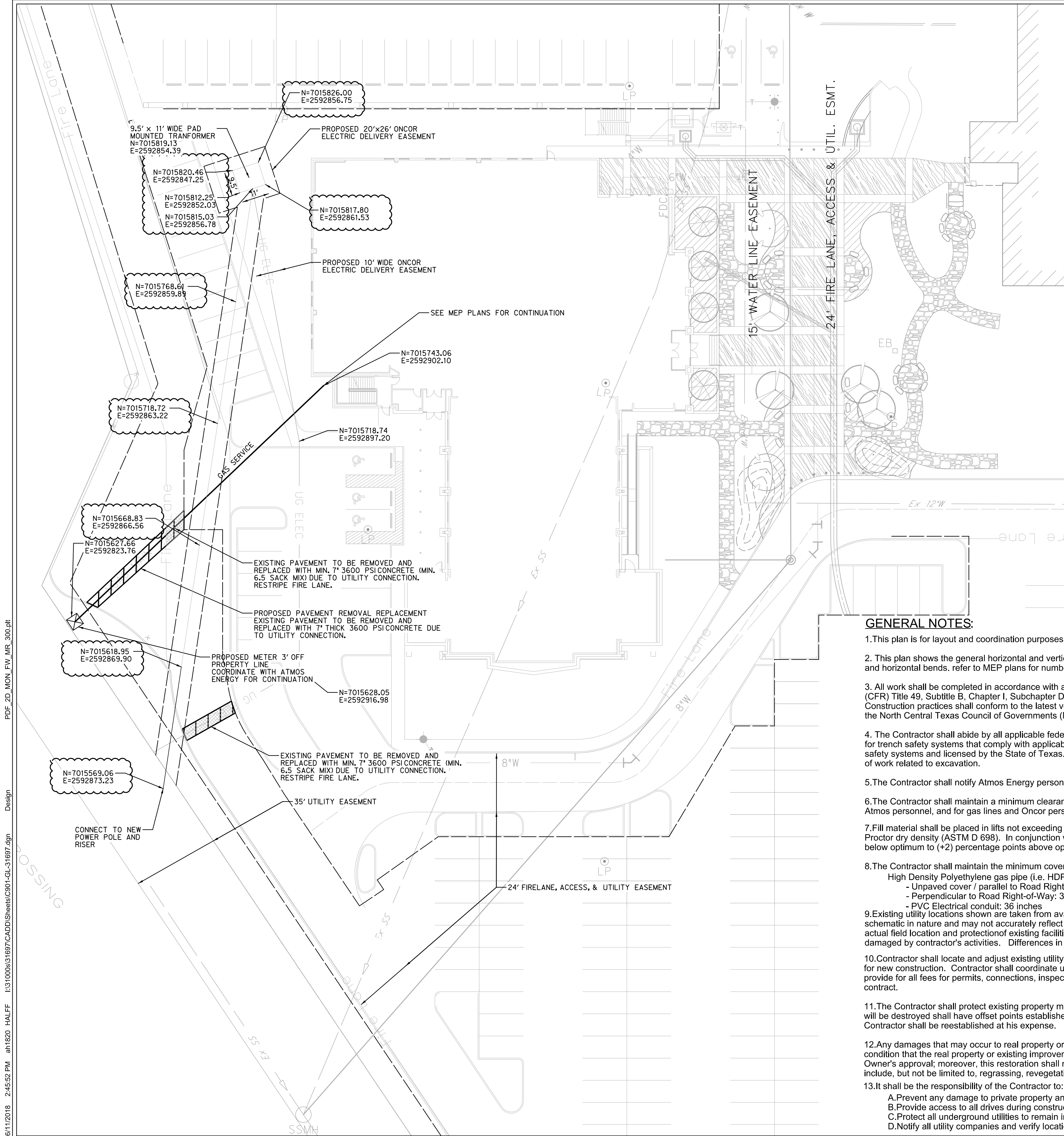


SEE SHEET C0.01 FOR GENERAL NOTES

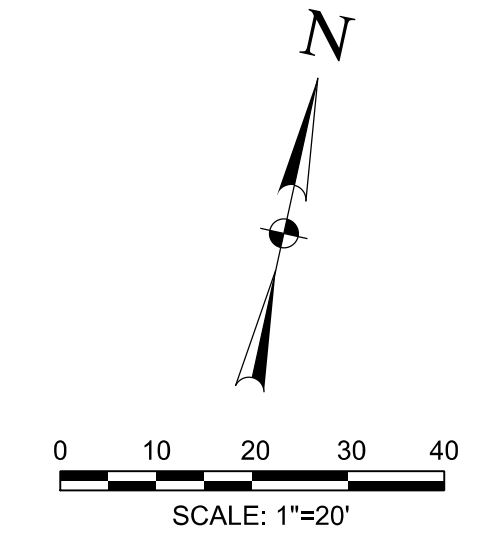
**BENCHMARKS**

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321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

6/11/2018 2:45:52 PM ah1820 HALFF I:\31000a\31697\CADD\Sheets\C901-GL-31697.dgn Design



**CAUTION!!!**  
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



**LEGEND:**

- - - Ex F/O - - - EXISTING FIBER OPTIC
- - - Ex TEL - - - EXISTING TELEPHONE LINE
- - - Ex GAS - - - EXISTING GAS LINE
- - - Ex SS - - - EXISTING SANITARY SEWER
- - - Ex OHE - - - EXISTING OVERHEAD ELECTRIC
- - - Ex UGE - - - EXISTING UNDERGROUND ELECTRIC
- - - Ex W - - - EXISTING WATER LINE
- ==== STORM SEWER
- ==== MAJOR CONTOUR LINE
- ==== MINOR CONTOUR LINE
- ==== EXISTING MAJOR CONTOUR LINE
- ==== EXISTING MINOR CONTOUR LINE
- ==== PROPERTY LINE
- ==== EASEMENT LINE
- ==== ASPHALT
- PP POWER POLE
- OV SANITARY SEWER MANHOLE
- FH WATER VALVE
- WM FIRE HYDRANT
- WM WATER METER
- WM INLET PROTECTION

**RECORD DRAWING**

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ENGINEER OF RECORD:  
*Daniel W. Warfield*  
DANIEL W. WARFIELD, P.E. 95947  
HALFF ASSOC. TBPE FIRM #312  
DATE: 06/11/2018

**GENERAL NOTES:**

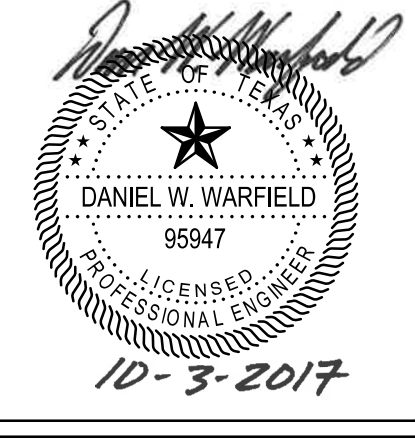
1. This plan is for layout and coordination purposes only. The sizing of the gas main and connection details shall be per Atmos specifications.
2. This plan shows the general horizontal and vertical locations of electrical conduits only. The contractor shall verify what radius to use at vertical and horizontal bends. refer to MEP plans for number of conduits, electrical design, conduit encasement and manhole details.
3. All work shall be completed in accordance with all applicable federal, state, and local regulations; including but not limited to the Code of Federal Regulations (CFR) Title 49, Subtitle B, Chapter I, Subchapter D, Part 192 (Transportation of Natural and Other Gas by Pipeline: Minimum Federal Safety Standards. Construction practices shall conform to the latest versions of Atmos Energy Construction Procedures Manual and Pipeline Services Engineering Standards, the North Central Texas Council of Governments (NCTCOG) Public Works Construction Standards latest version, and the City of Rockwall standards.
4. The Contractor shall abide by all applicable federal, state, and local laws governing excavation. The Contractor shall provide detailed plans and specifications for trench safety systems that comply with applicable laws governing excavation. These plans shall be sealed by an Engineer experienced in the design of trench safety systems and licensed by the State of Texas. Submit plan to the Owner prior to commencing work. The Contractor shall be solely responsible for all aspects of work related to excavation.
5. The Contractor shall notify Atmos Energy personnel at least 48 hours prior to the start of construction.
6. The Contractor shall maintain a minimum clearance of 24" from any underground obstruction, except upon approval of variance by Atmos personnel, and for gas lines and Oncor personnel for electric lines.
7. Fill material shall be placed in lifts not exceeding nine (9) inches in loose thickness. Fill material shall be compacted at a minimum of 95 percent maximum standard Proctor dry density (ASTM D 698). In conjunction with the compacting operation, fill material shall be brought to a moisture content ranging from (-2) percentage points below optimum to (+2) percentage points above optimum (-2 to +2).
8. The Contractor shall maintain the minimum cover requirements to the top of pipe as specified below:  
High Density Polyethylene gas pipe (i.e. HDPE or poly):  
- Unpaved cover / parallel to Road Right-of-Way: 36 inches  
- Perpendicular to Road Right-of-Way: 36 inches  
- PVC Electrical conduit: 36 inches
9. Existing utility locations shown are taken from available records provided by the utility Owner and field locations of surface appurtenances. Locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Some utility lines may not be shown. Contractor shall assume responsibility for actual field location and protection of existing facilities whether shown or not. Contractor shall also assume responsibility for repairs to existing facilities, whether shown or not, damaged by contractor's activities. Differences in horizontal or vertical location of existing utilities shall not be a basis for additional expense.
10. Contractor shall locate and adjust existing utility manhole lids, cleanouts, water valves, and other surface appurtenances as required for new construction. Contractor shall coordinate utility adjustments with other disciplines and the appropriate utility agencies and provide for all fees for permits, connections, inspections, etc. These adjustments shall be considered incidental to the construction contract.
11. The Contractor shall protect existing property monumentation and primary control. Any such points which the Contractor believes will be destroyed shall have offset points established by the Contractor prior to construction. Any monumentation destroyed by the Contractor shall be reestablished at his expense.
12. Any damages that may occur to real property or existing improvements shall be restored by the Contractor to at least the same condition that the real property or existing improvements were in prior to the damages. This restoration shall be subject to the Owner's approval; moreover, this restoration shall not be a basis for additional compensation to the Contractor. Restoration shall include, but not be limited to, regrading, revegetation, replacing fences, replacing trees, etc.
13. It shall be the responsibility of the Contractor to:  
A. Prevent any damage to private property and property owner's poles, fences, shrubs, etc.  
B. Provide access to all drives during construction.  
C. Protect all underground utilities to remain in service.  
D. Notify all utility companies and verify location of all utilities prior to start of construction.

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**LAKE POINTE CHURCH**  
**NEW CHAPEL / EDUCATION BUILDING**  
701 Interstate 30 Rockwall, TX 75087

**HALFF**  
3803 PARKWOOD BLVD, SUITE 800  
FRISCO, TEXAS 75034-2640  
TEL: (214) 618-1574  
FAX: (214) 618-1574  
TBPE FIRM #312

Revision No.	Date	Description
1	04/25/2017	REVISED TO ADDRESS CITY COMMENTS
2	10/03/2017	ORIGINAL, ADDED F&E, RUMBLE STRIPES AND STORM DRAINAGE
3	06/11/2018	RECORD DRAWINGS



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Project No.:	31697
Issued:	
Drawn By:	TRS
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	UTILITY PLAN
Sheet Number	C9.01

Project: Lake Point Church Maintenance Bond Info  
 Location: Rockwall, Texas  
 Date: June 7, 2018  
 Addendum: 0

As Built contract quantity and unit price amounts.

We propose to provide equipment, labor and material to perform the following operations.  
 This quote is void after thirty days from proposal date.

**Detail for Maintenance Bond**

Item	Description	Quantity	Unit	Unit Cost	Ext. Cost
1	4" compound meter vault	1	EA	\$17,500.00	\$17,500.00
2	8" DR-14PVC Water Pipe	220	LF	\$28.46	\$6,261.20
3	6" DR-14 PVC Water Pipe	80	LF	\$23.33	\$1,866.40
4	4" DR-14 PVC Water Pipe	20	LF	\$19.74	\$394.80
5	fire hyd	2	LF	\$7,245.45	\$14,490.90
6	8" valves with acc	1	EA	\$2,181.54	\$2,181.54
9	Miscellaneous	1	EA		\$0.00
<b>Subtotal For Water Line :</b>					\$46,403.92

Approved By: Jacob Sheard

Sincerely,  
 Brenan Phelps  
 972-814-1428

**Jacob Sheard**  
Digitally signed by Jacob Sheard  
 DN: C=US,  
 E=jacob.sheard@medcoconstruction.com,  
 O=MEDCO Construction, OU=Project  
 Administrator, CN=Jacob Sheard  
 Date: 2018.06.12 13:31:38-05'00'

As-Built Drawings