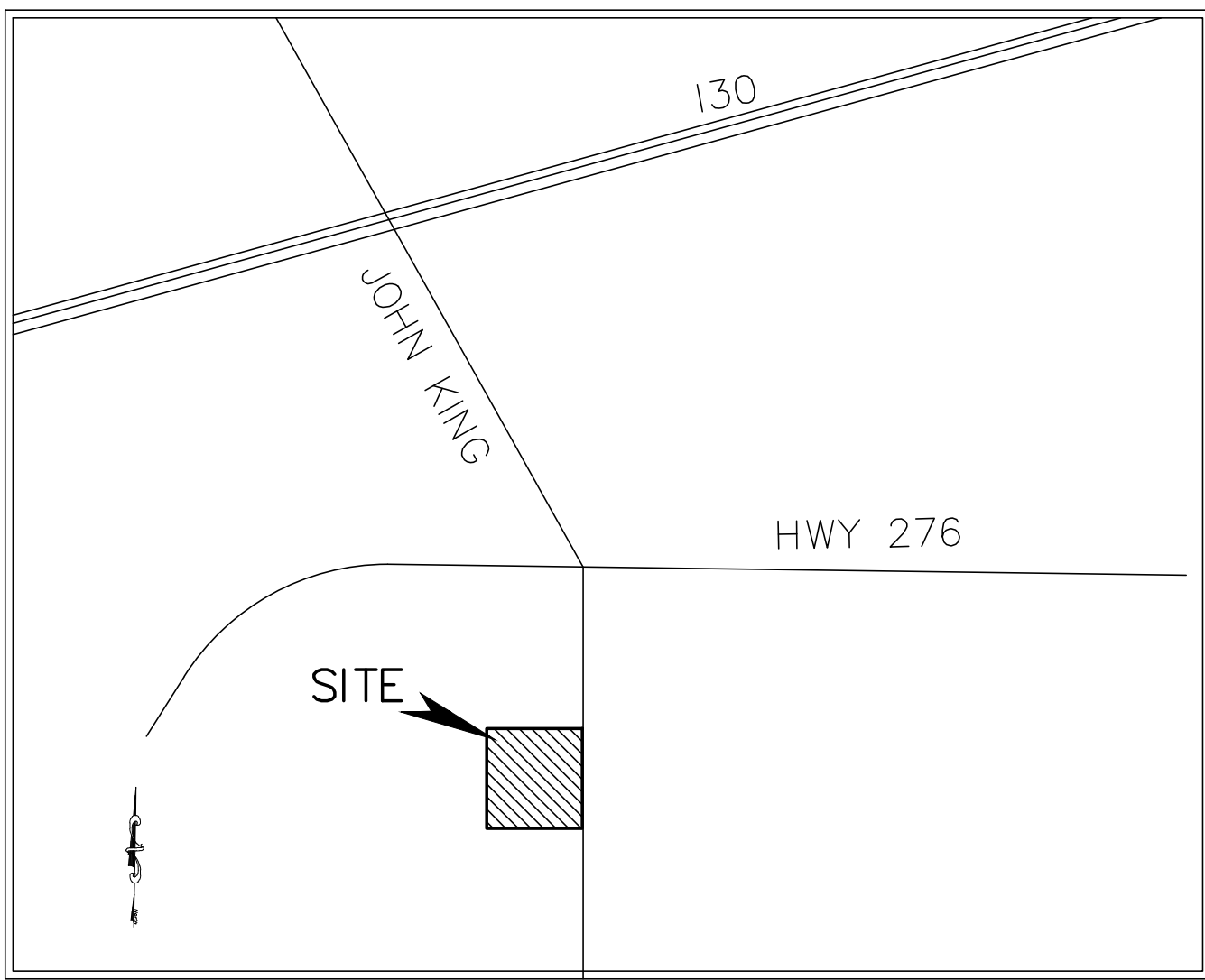


SITE IMPROVEMENT PLANS
for

JOHN KING OFFICE PARK

1940 S. John King Blvd
Lot 1, Block 1, 2.36 ACRES
W.H. BAIRD SURVEY

City of Rockwall
Rockwall County, Texas



Location Map

OWNER:

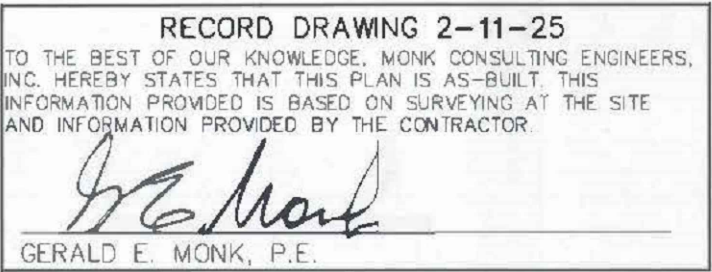
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

ENGINEER:

MONK CONSULTING ENGINEERS, INC.
GERALD E. MONK, P.E.
1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761
jerry@monkconsulting.com
REG. NO.: F-2567

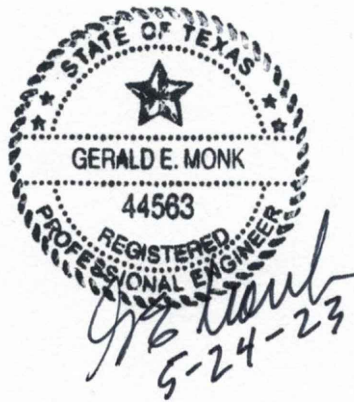
INDEX

SHEET NO.	DESCRIPTION
C100	Cover Sheet
C101	Plat
C101A	Site & Dimension Control Plan
C102	Paving Plan
C103	Site Utility Plan
C103A	Pre Drainage Area Plan
C104	Post Drainage Area Plan
C104A	Grading & Drainage Plan
C104A	Storm Profiles
C104B	Grading & Drainage Plan (con't)
C105-C105A	Pond Layout & Calculations
C106	Erosion Control Plan
A100	Architectural Site Plan/Landscape Plan
D101	Site Details
	General Notes



CASE #: SP2022-040
SUBMITTAL DATE:

1 st	1/11/23
2 nd	3/1/23
3 rd	3/23/23



NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #S	DATED
1			

OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING that tract of land situated in the W.H. Baird Survey, Abstract No. 25 in the City of Rockwall, Rockwall County, Texas, and being that tract of land described in General Warranty Deed with Vendor's Lien to JOHN KING OC, LLC recorded in Instrument Number 20220000001403, Official Public Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" cut in concrete found for corner, said corner being the southeast corner of Lot 1, Block 1 of Rockwall Bypass Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Cabinet H, Sheet 325, Map Records, Rockwall County, Texas, and being in the west right-of-way line of John King Boulevard (State Highway 205 Bypass)(110 foot right-of-way);

THENCE South 01 degrees 04 minutes 45 seconds East, along the west right-of-way line of said John King Boulevard, a distance of 349.72 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner, said corner being in the northeast corner of Lot 6, Block X of Meadowcreek Estates Phase IV, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Cabinet E, Slide 89, Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 11 minutes 53 seconds West, along the north line of said Lot 6, Block X, passing a 1/2 inch iron rod found at a distance of 44.81 feet, continuing along the north line of Lot 61, Block K of said Meadowcreek Estates Phase IV, passing a 1/2 inch iron rod found at a distance of 80.64 feet, and continuing along the north right-of-way line of a 20 foot alley for a total distance of 294.31 feet to a 1/2 inch iron rod found for corner, said corner being the southeast corner of Lot 12, Block K of said Meadowcreek Estates Phase IV;

THENCE North 01 degrees 02 minutes 01 seconds West, along the east line of said Lot 12, Block K, passing a 1/2 inch iron rod found at a distance of 165.28 feet, and continuing along the east line of said Lot 11, Block K of said Meadowcreek Estates Phase IV for a total distance of 349.61 feet to a 1/2 inch iron rod found for corner, said corner being in the south line of said Lot 1, Block 1;

THENCE North 89 degrees 10 minutes 30 seconds East, along the south line of said Lot 1, Block 1, a distance of 294.03 feet back to the POINT OF BEGINNING and containing 102,859 square feet or 2.361 acres of land more or less.

OWNERS DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **JOHN KING OFFICE PARK** a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the JOHN KING OFFICE PARK subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage or cause of action that I may have as a result of the dedication of exactions made herein.

JOHN KING OC, LLC, a Texas limited liability company

Aaron Davis
Manager, JOHN KING OC, LLC, a Texas limited liability company

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, on this day personally appeared Aaron Davis, Manager, JOHN KING OC, LLC, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2023.

Notary Signature

GENERAL NOTES:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

2) Bearings and elevations are based on NAD83, North American Datum of 1983.

3) The purpose of this plat is to create one lot from an unplatted tract of land.

SURVEYORS CERTIFICATE:

I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Gary E. Johnson, R.P.L.S. No. 5299

Approved:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2023.

The approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eight (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2023.

Mayor, City of Rockwall

City Secretary

City Engineer

ENGINEER
MONK CONSULTING ENGINEERS, INC.
1200 W. STATE STREET
GARLAND, TEXAS 75040
attn: JERRY MONK

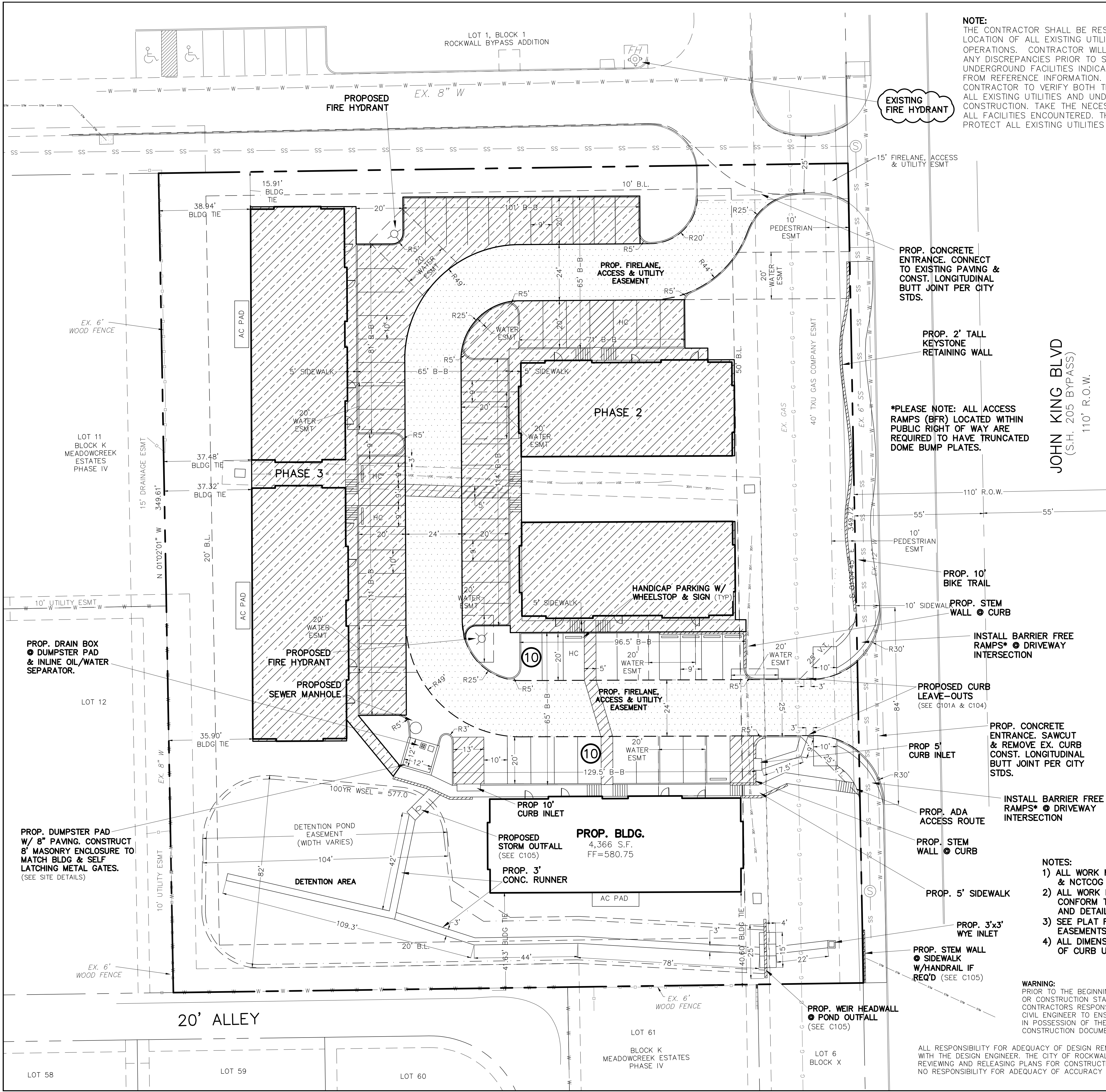
OWNER
JOHN KING OC, LLC
709 W. RUSK STREET
ROCKWALL, TEXAS 75087
AARON DAVIS - MANAGER


SURVEYOR
TEXAS HERITAGE
SURVEYING, LLC
10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com
Firm No. 10169300

PRELIMINARY PLAT
JOHN KING OFFICE PARK
LOT 1, BLOCK A
1 LOT
102,859 SQUARE FEET / 2.361 ACRES
BEING A TRACT OF LAND SITUATED IN THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. _____

PAGE 3 OF 3

DATE: 03/24/2023 / JOB # 2201036-3 / SCALE= 1" = 60' / DRAWN: KO



NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **TEXAS HERITAGE SURVEYING, LLC** OF **DALLAS, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:
LOT AREA: 2.36 Acres, 102,859 sq.ft.
LOT COVERAGE: 20.24%
FLOOR TO AREA RATIO: 4.94:1
BUILDING AREA: 20,458 sq.ft.
BUILDING HEIGHT: 1 STORY (25')
PROPOSED FUTURE USE: Office
IMPERVIOUS AREA (including buildings): 55,535 sq.ft.
ZONING: PD-10/C
PARKING: Required: Office (1/300sf) = 68
Handicap = 3
Provided: Standard = 64
Handicap = 4
Total Provided = 68
LANDSCAPE AREA: Required: (15%) 15,429 sq.ft.
Provided: 47,324 sq.ft.
FIRESPRINKLER: NO

* THERE ARE NO EX. BUILDINGS ON THIS SITE
* THERE ARE TREES ON THIS SITE

PHASE 1 DATA:
BUILDING AREA: 4,366 sq.ft.
BUILDING HEIGHT: 1 STORY (25')
PROPOSED FUTURE USE: Office
ZONING: PD-10/C
PARKING: Required: Office (1/300sf) = 15
Handicap = 1
Provided: Standard = 19
Handicap = 1
Total Provided = 20
FIRESPRINKLER: NO

JOHN KING BLVD
(S.H. 205 BYPASS)
110' R.O.W.

EXISTING FIRE HYDRANT

PROP. CONCRETE ENTRANCE. CONNECT TO EXISTING PAVING & CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

PROP. 2' TALL KEYSTONE RETAINING WALL

*PLEASE NOTE: ALL ACCESS RAMPS (BFR) LOCATED WITHIN PUBLIC RIGHT OF WAY ARE REQUIRED TO HAVE TRUNCATED DOME BUMP PLATES.

PROP. 10' BIKE TRAIL

PROP. STEM WALL @ CURB

INSTALL BARRIER FREE RAMPS* @ DRIVEWAY INTERSECTION

PROPOSED CURB LEAVE-OUTS (SEE C101A & C104)

PROP. CONCRETE ENTRANCE. SAWCUT & REMOVE EX. CURB CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

INSTALL BARRIER FREE RAMPS* @ DRIVEWAY INTERSECTION

PROP. ADA ACCESS ROUTE

PROP. STEM WALL @ CURB

PROP. 5' SIDEWALK

PROP. 3'x3' WYE INLET

PROP. STEM WALL @ SIDEWALK W/HANDRAIL IF REQ'D (SEE C105)

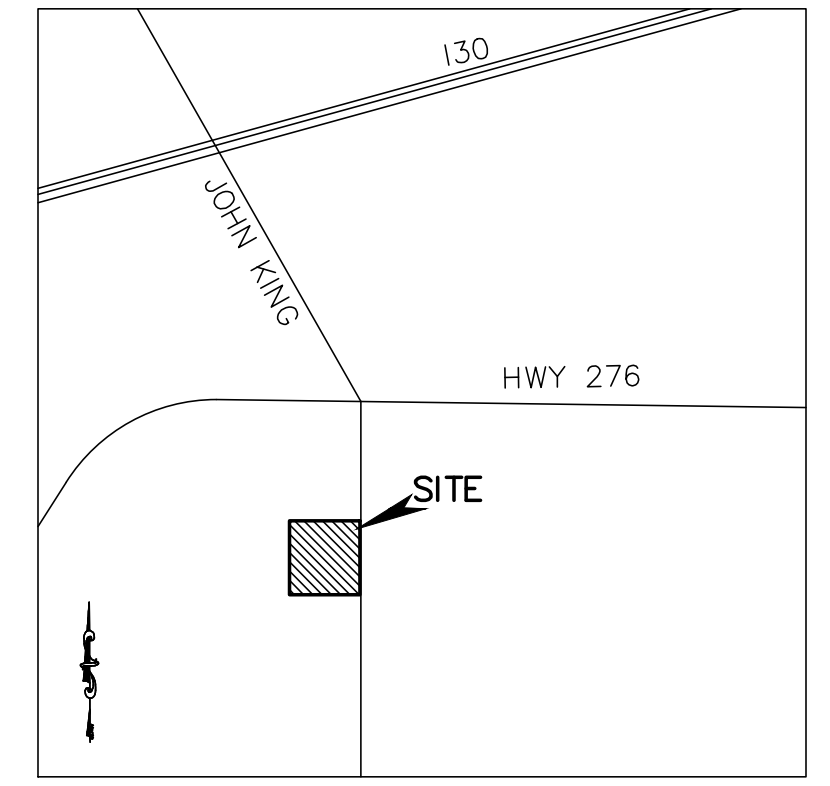
PROP. WEIR HEADWALL @ POND OUTFALL (SEE C105)

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

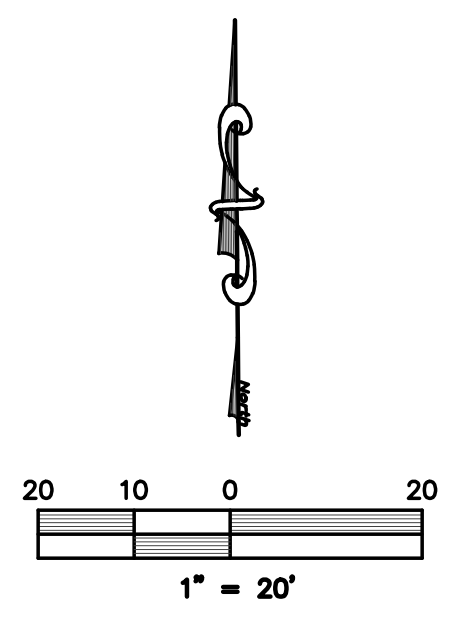
WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

TEMPORARY BENCHMARK:
'X' CUT IN CONCRETE CURB IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'



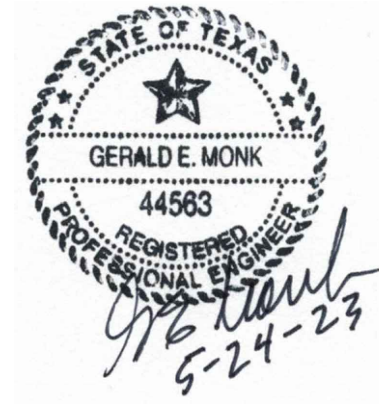
LOCATION MAP
(NOT TO SCALE)



LEGEND

- = PROPERTY LINE
- = EXISTING SANITARY SEWER LINE
- = EXISTING WATER LINE
- = EXISTING GAS LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- G = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE

RECORD DRAWING 2-11-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



CASE # SP2022-040

SITE & DIMENSION CONTROL PLAN

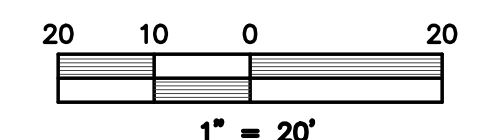
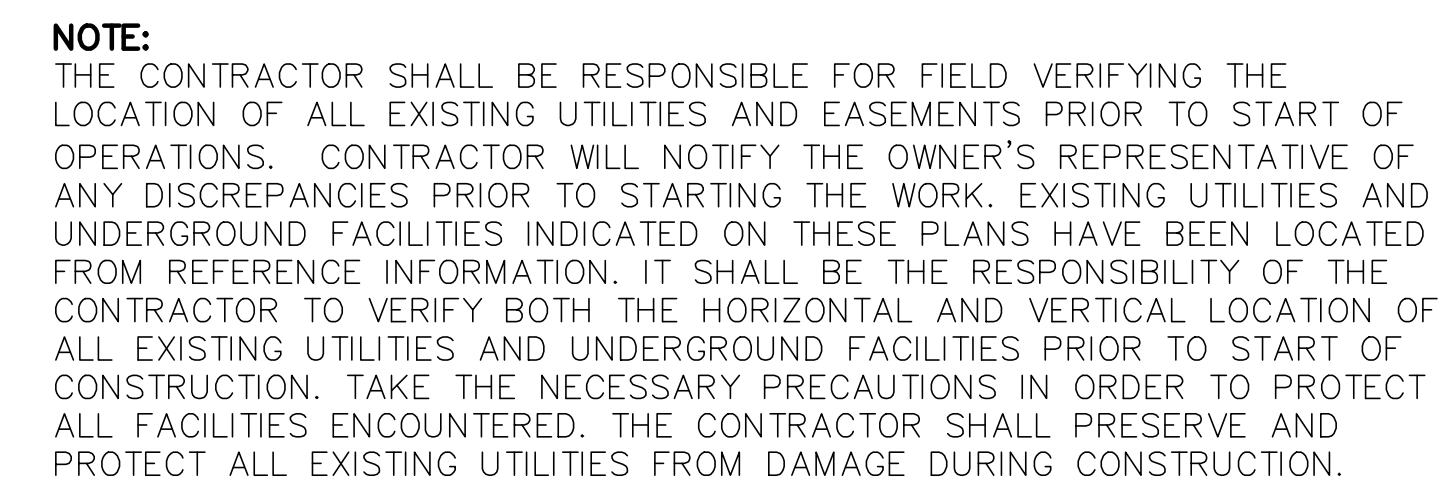
JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER:
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

prepared by:
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 5/24/23 scale: 1" = 20' sheet: **C101**



	=	PROPERTY LINE
	=	EXISTING SANITARY SEWER LINE
	=	EXISTING WATER LINE
	=	EXISTING GAS LINE
	=	EXISTING FIRE HYDRANT
	=	EXISTING WATER METER
	=	EXISTING POWER POLE
	=	EXISTING LIGHT POLE
	=	EX. WATER VALVE
	=	EXISTING SEWER MANHOLE
	=	EXISTING GAS METER
	=	PROPOSED FIRE HYDRANT
	=	PROPOSED 6" PAVING
	=	PROPOSED 8" PAVING
	=	PROPOSED 5" PAVING
	=	PROPOSED 4" PAVING

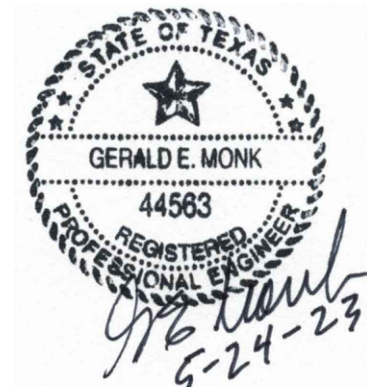


RECORD DRAWING 2-11-25

TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.



GERALD F. MONK, P.E.



MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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TEMPORARY BENCHMARK:
'X' CUT IN CONCRETE CURB
IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'

RETAINING WALL NOTES:
BLOCK VENDOR: KEYSTONE or equal
BLOCK TYPE: COMPAC III
GEOGRID TYPE: MIRAGRIDE 3XT
OFFSET PER BLOCK: 1"

CONCRETE DRIVE PAVING
TO BE 7" THICK W/#3 @ 18" O.C.
CONSTRUCT LONGITUDINAL
BUTT JOINT PER CITY DETAIL

PROP. 2' TALL
KEYSTONE
RETAINING WALL
(SEE C104)

PROP. 10' SIDEWALK TO BE
4" THICK CONC W/#3 @ 18"
W/ BARRIER FREE RAMPS*
@ DRIVEWAY INTERSECTIONS

BEGIN 6" CURB

CONCRETE
APPROACH PAVING
TO BE 8" THICK
W/#4 @ 18" O.C.
PER CITY DETAIL

***PLEASE NOTE: ALL ACCESS
RAMPS (BFR) LOCATED WITHIN
PUBLIC RIGHT OF WAY ARE
REQUIRED TO HAVE TRUNCATED
DOME BUMP PLATES.**

SAWCUT & REMOVE
EX. CONCRETE CURB.
(MIN 2' OFF CURB)
CONST. LONGITUDINAL
BUTT JOINT PER
CITY STDS.

CURB

END 6" CURB

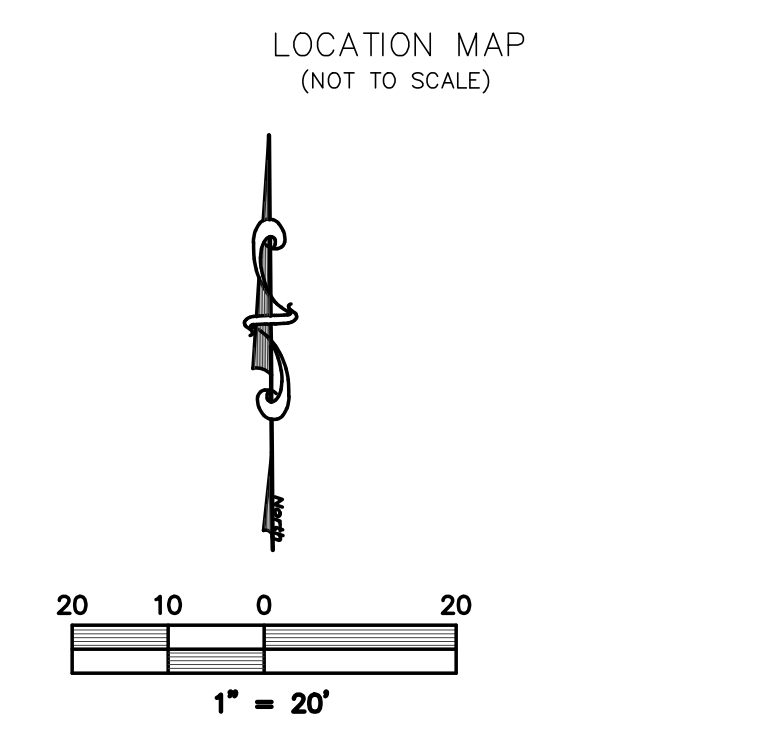
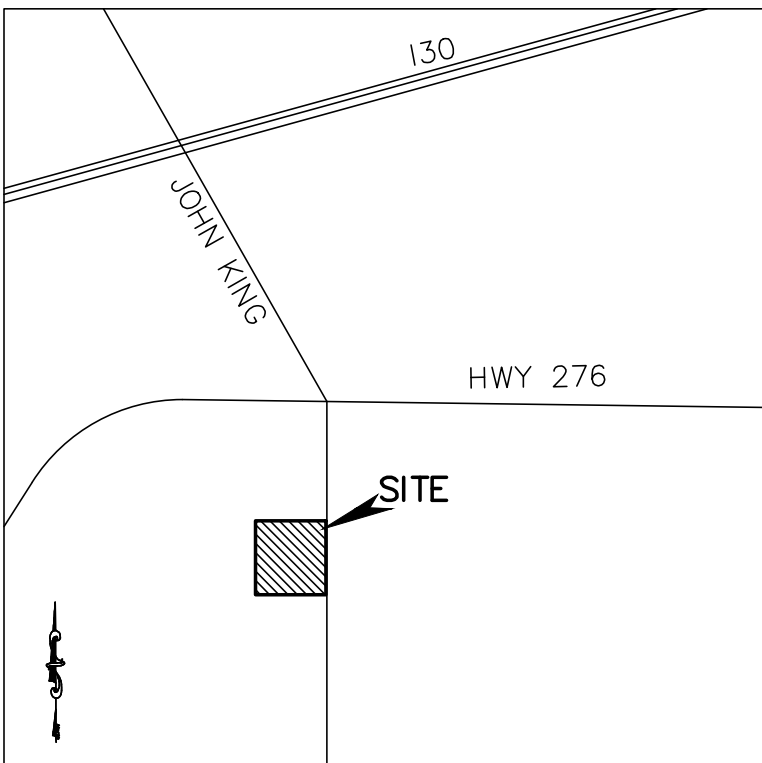
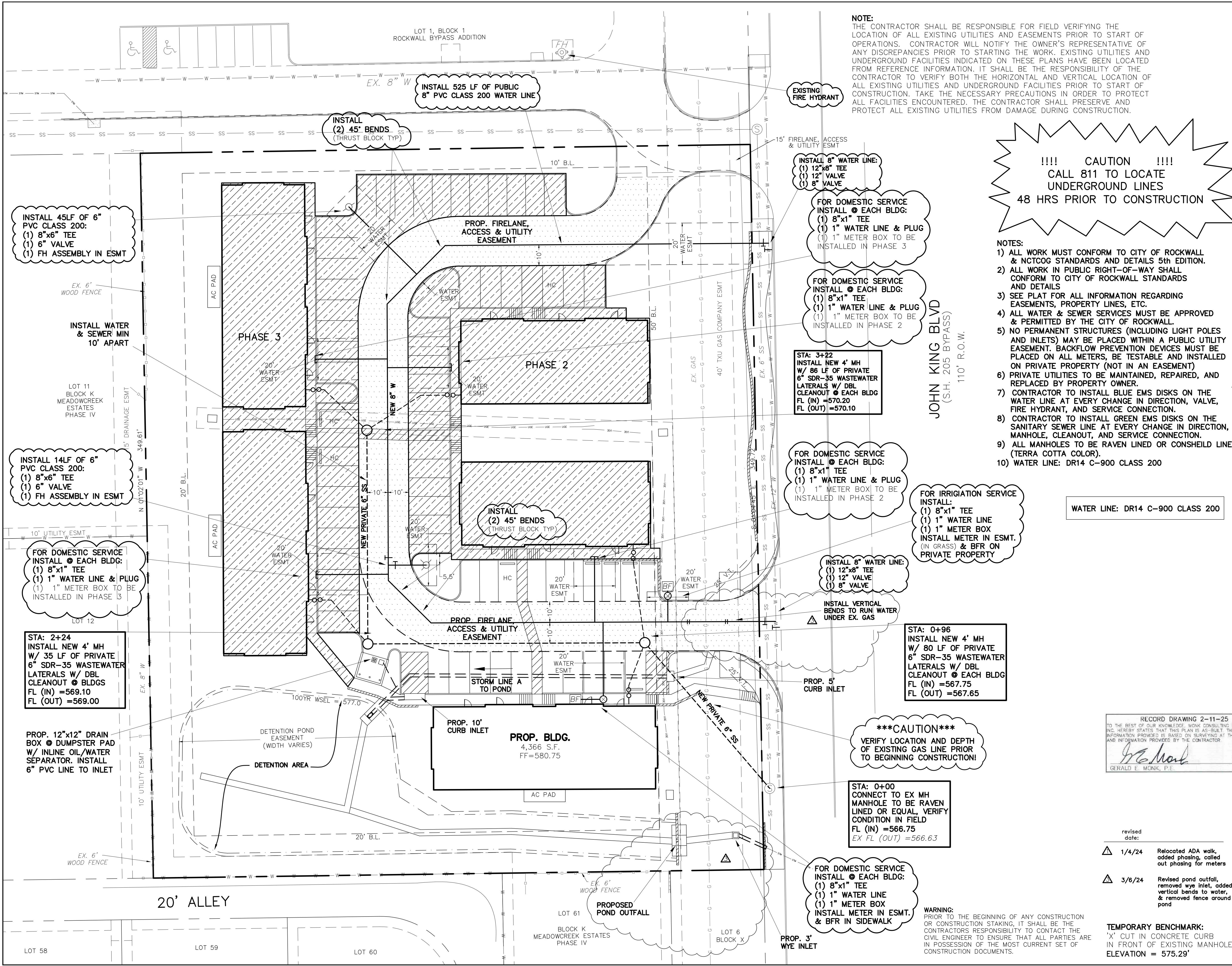
LS

PROP. 5' SIDEWALK TO BE
4" THICK CONC W/#3 @ 18"
W/ BARRIER FREE RAMPS*
@ DRIVEWAY INTERSECTIONS

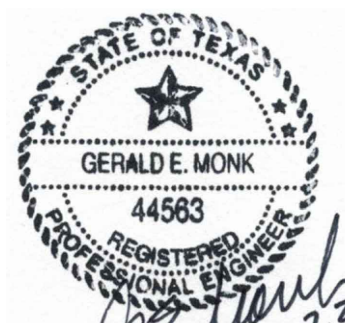
CONSTRUCT STEM
WALL AT SIDEWALK
W/HANDRAIL IF
REQUIRED (SEE C105)

CONSTRUCT WEIR
HEADWALL FOR POND
(SEE C105)

20' ALLEY



LEGEND	
---	= PROPERTY LINE
SS	= EXISTING SANITARY SEWER LINE
W	= EXISTING WATER LINE
G	= EXISTING GAS LINE
FH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
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RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
○	= PROPOSED FIRE HYDRANT
- - - -	= PROPOSED FIRELANE



RECORD DRAWING 2-11-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.

CASE # SP2022-040
SITE UTILITY PLAN
JOHN KING OFFICE PARK
1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas
OWNER
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093
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MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761
REG NO.: F-2567
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date: 5/24/23 scale: 1" = 20' sheet: C102

NOTE:
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!!!! CAUTION !!!!
CALL 811 TO LOCATE UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL WATER & SEWER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
 - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON ALL METERS, BE TESTABLE AND INSTALLED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
 - 6) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.
 - 7) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION.
 - 8) CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE SANITARY SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
 - 9) ALL MANHOLES TO BE RAVEN LINED OR CONSHIELD LINER (TERRA COTTA COLOR).
 - 10) WATER LINE: DR14 C-900 CLASS 200

WATER LINE: DR14 C-900 CLASS 200

STA: 0+96
INSTALL NEW 4' MH
W/ 80 LF OF PRIVATE
6" SDR-35 WASTEWATER
LATERALS W/ DBL
CLEANOUT @ EACH BLDG
FL (IN) =567.75
FL (OUT) =567.65

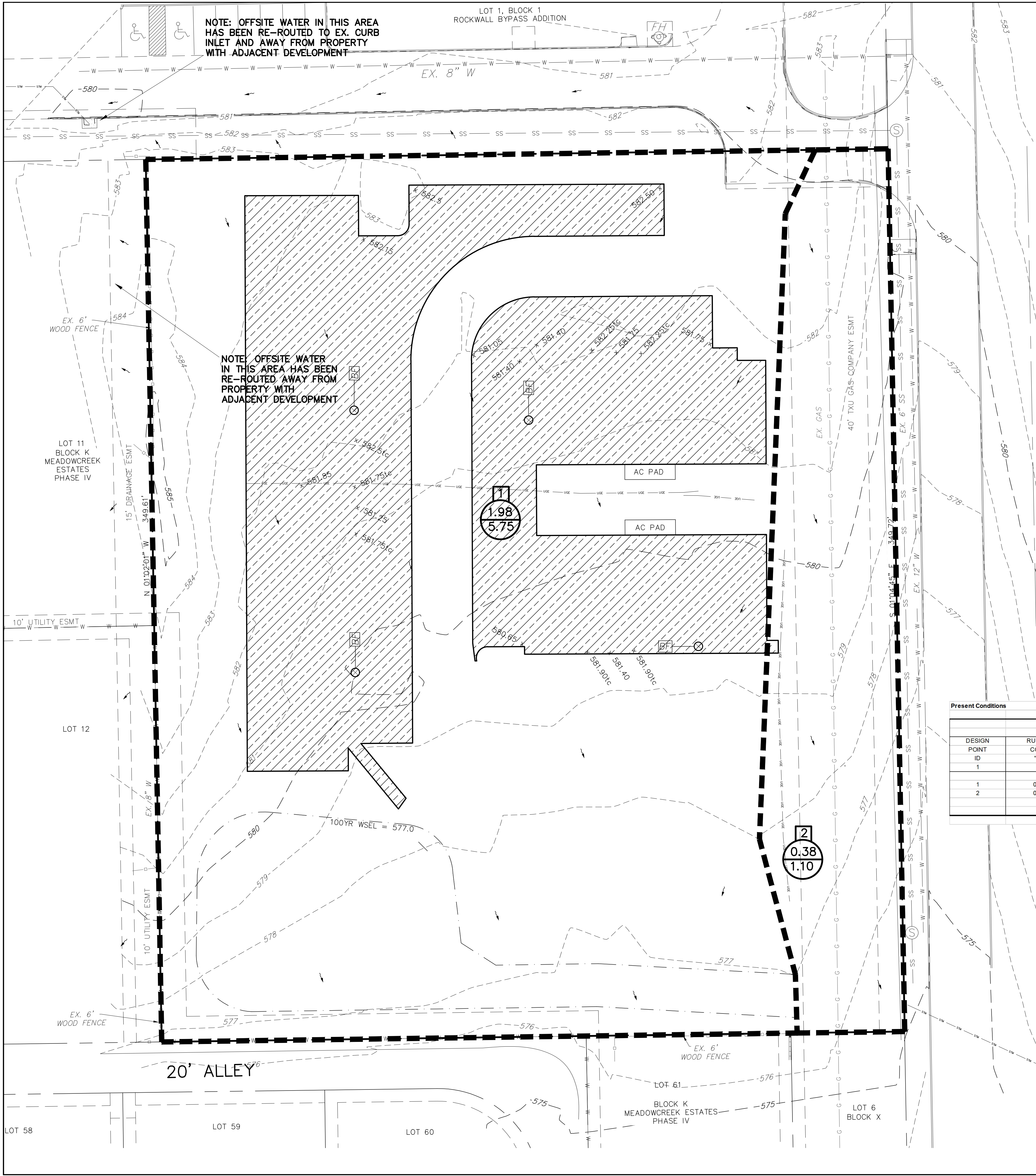
*****CAUTION*****
VERIFY LOCATION AND DEPTH
OF EXISTING GAS LINE PRIOR
TO BEGINNING CONSTRUCTION!

STA: 0+00
CONNECT TO EX MH
MANHOLE TO BE RAVEN
LINED OR EQUAL, VERIFY
CONDITION IN FIELD
FL (IN) =566.75
EX FL (OUT) =566.63

FOR DOMESTIC SERVICE
INSTALL @ EACH BLDG:
(1) 8"x1" TEE
(1) 1" WATER LINE
(1) 1" METER BOX
INSTALL METER IN ESMT.
& BFR IN SIDEWALK

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

TEMPORARY BENCHMARK:
'X' CUT IN CONCRETE CURB
IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'

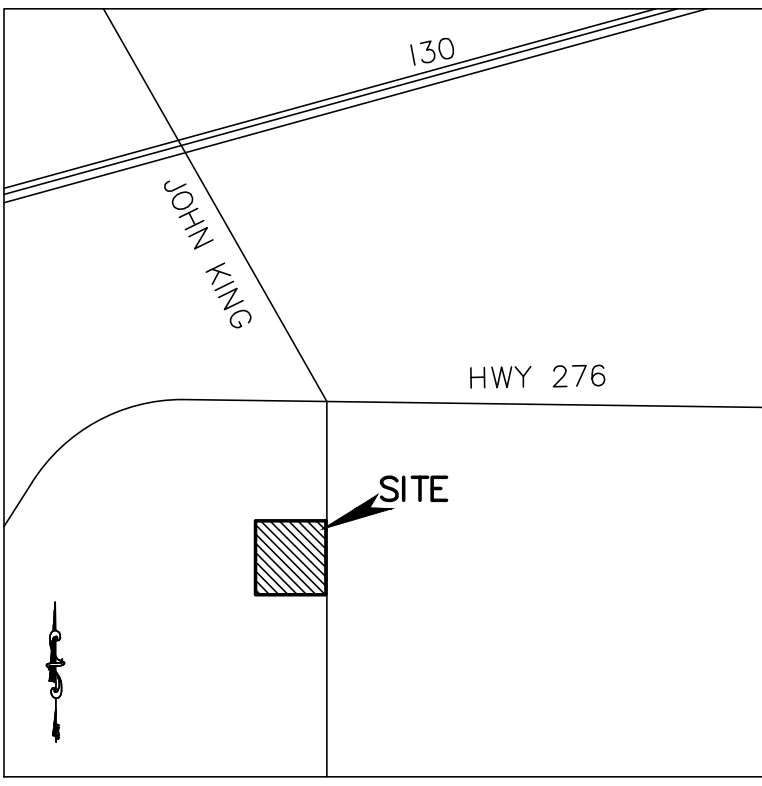


NOTE:
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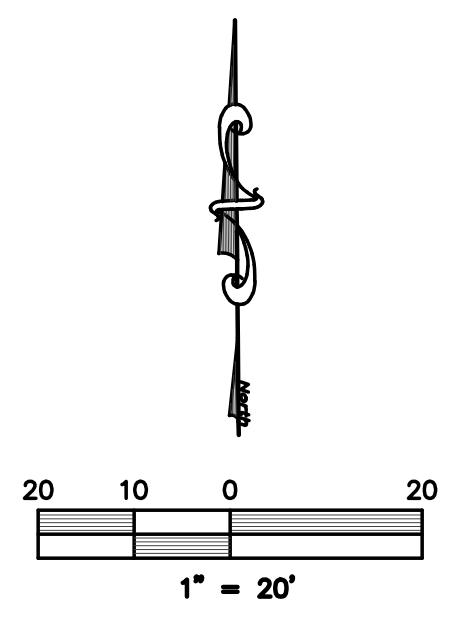
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TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **TEXAS HERITAGE SURVEYING, LCC OF DALLAS, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

JOHN KING BLVD
(S.H. 205 BYPASS)
110' R.O.W.



LOCATION MAP
(NOT TO SCALE)

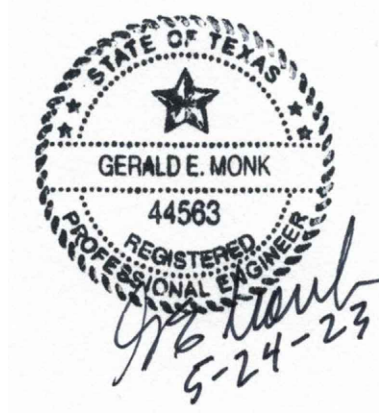


LEGEND

- = PROPERTY LINE
- SS --- SS = EXISTING SANITARY SEWER LINE
- = EXISTING WATER LINE
- = EXISTING GAS LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
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- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- PH = PROPOSED FIRE HYDRANT
- [] = PROPOSED FIRELANE

Present Conditions											
DRAINAGE AREA CALCULATIONS											
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 110yr Q 10yr cfs	Discharge 110yr Q 10yr cfs	Intensity 110yr Q 10yr cfs	Discharge 110yr Q 10yr cfs	Comments	
1	0.35	1	1.980	0.69	20.00	5.90	4.09	8.30	5.75	undeveloped	
2	0.35	1	0.380	0.13	20.00	5.90	0.78	8.30	1.10	Undeveloped	
			2.360								

RECORD DRAWING 2-11-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



CASE #: SP2022-040

PRE DRAINAGE AREA PLAN

JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER:
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

prepared by:
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date:	scale:	sheet:
5/24/23	1" = 20'	C103

TEMPORARY BENCHMARK:
"X" CUT IN CONCRETE CURB
IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'

NOTE: OFFSITE WATER IN THIS AREA HAS BEEN RE-ROUTED TO EX. CURB INLET AND AWAY FROM PROPERTY WITH ADJACENT DEVELOPMENT

LOT 1, BLOCK 1
ROCKWALL BYPASS ADDITION

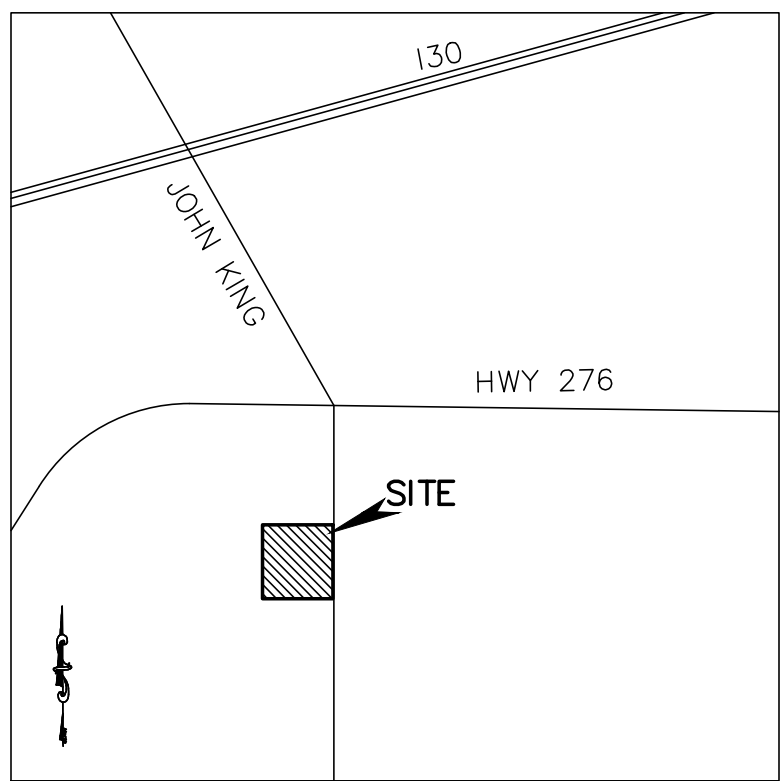
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**** NOTICE TO CONTRACTORS ****

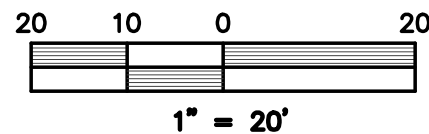
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LOCATION MAP
(NOT TO SCALE)



LEGEND

- = PROPERTY LINE
- = EXISTING SANITARY SEWER LINE
- = EXISTING WATER LINE
- = EXISTING GAS LINE
- FH = EXISTING FIRE HYDRANT
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- min = MINIMUM
- max = MAXIMUM
- = PROPOSED FIRE HYDRANT
- [] = PROPOSED FIRELANE

Summary Detention Pond B Calculations

		Volume	Elevation
Qallow 100	6.50 cfs	21,135 cf	575.50
Qallow 25	5.15 cfs	17,240 cf	575.44
Qallow 10	4.62 cfs	14,828 cf	575.40
Qallow 5	3.83 cfs	12,716 cf	575.30

3' WYE INLET A-1
INSTALL STD WYE INLET
TOP = 579.75
THROAT = 579.0
FL = 574.50
SEE PROFILE C104A

5' CURB INLET A-3
TOP = 577.5
THROAT = 576.75
FL = 572.50
SEE PROFILE C104A

3' WYE INLET C-2
INSTALL STD WYE INLET
TOP = 576.25
THROAT = 575.5
FL = 570.0
SEE PROFILE C104A

POND OUTFALL
TOP = 575.5
FL (IN) = 569.60
FL (OUT) = 569.50
SEE DETAILS ON C105

3' WYE INLET B-1
INSTALL STD WYE INLET
TOP = 577.5
THROAT = 576.75
FL = 572.50
SEE PROFILE C104A

TEMPORARY BENCHMARK:

'X' CUT IN CONCRETE CURB
IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'

CASE #: SP2022-040

POST DRAINAGE AREA PLAN

JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNED BY
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

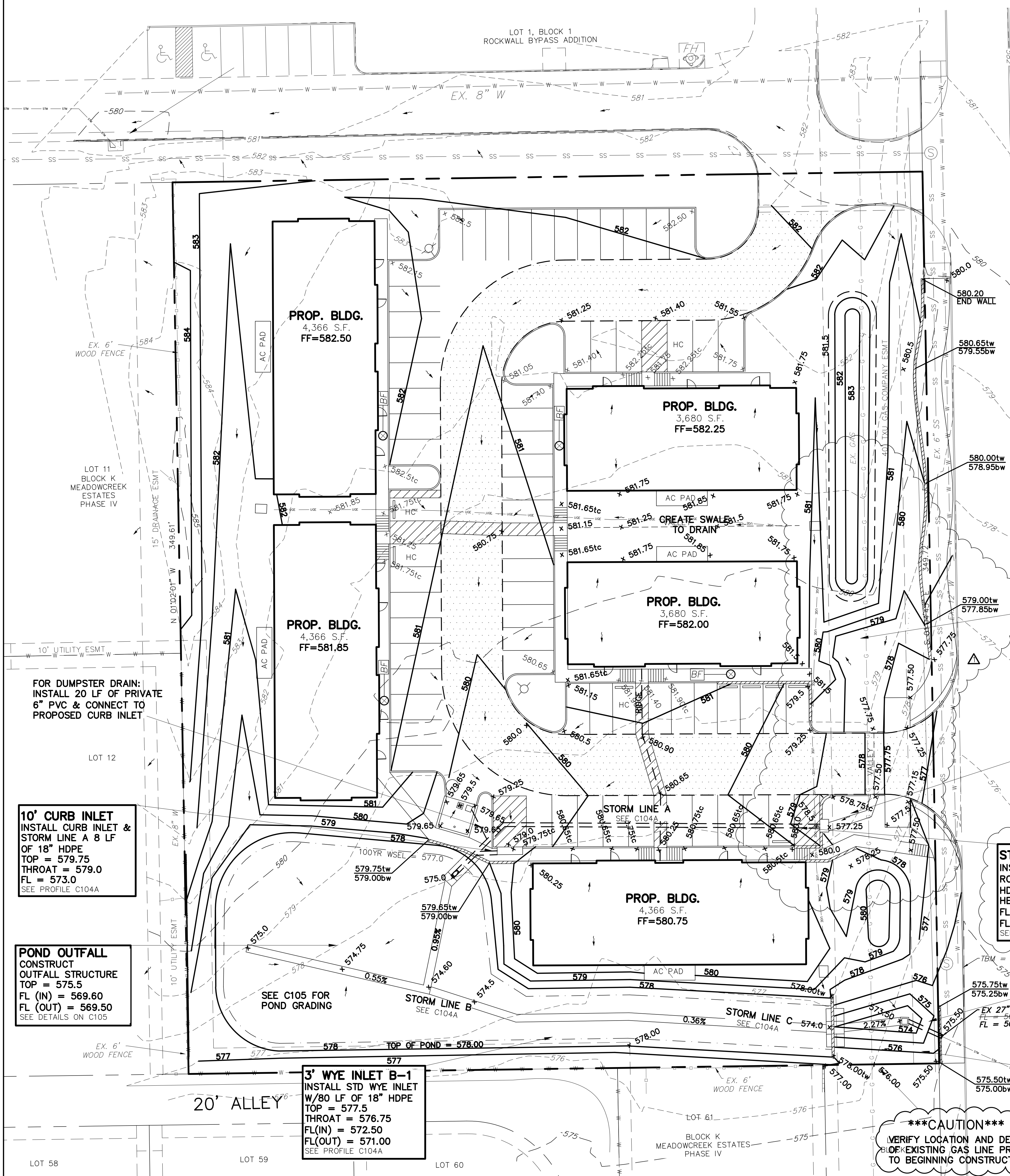
prepared by

MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG. NO.: F-2567
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date: 5/24/23
scale: 1" = 20'

sheet: C103A



NOTE:
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 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 6) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
 - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.
 - 9) ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STD DENSITY USING A SHEEP'S FOOT ROLLER.

3' WYE INLET A-1
INSTALL STD WYE INLET
TOP = 579.75
THROAT = 579.0
FL = 574.50
SEE PROFILE C104A

5' CURB INLET A-3
INSTALL CURB INLET
W/OPEN BACK
W/8 LF OF 18" HDPE
TOP = 579.25
THROAT = 578.50
opening = 577.50
FL = 574.00
SEE PROFILE C104A

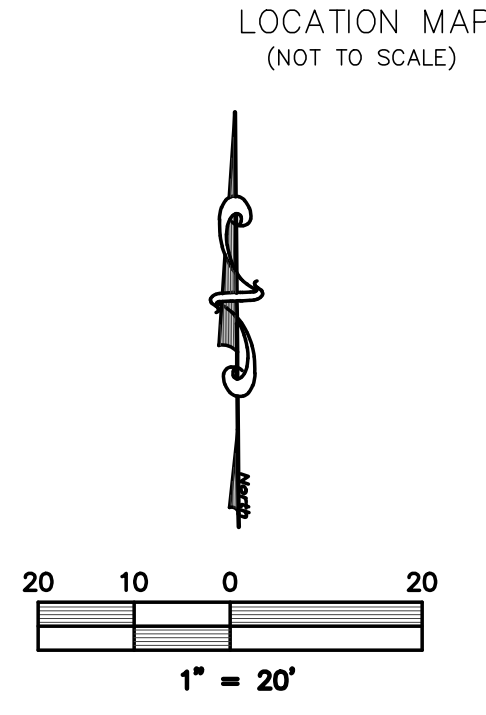
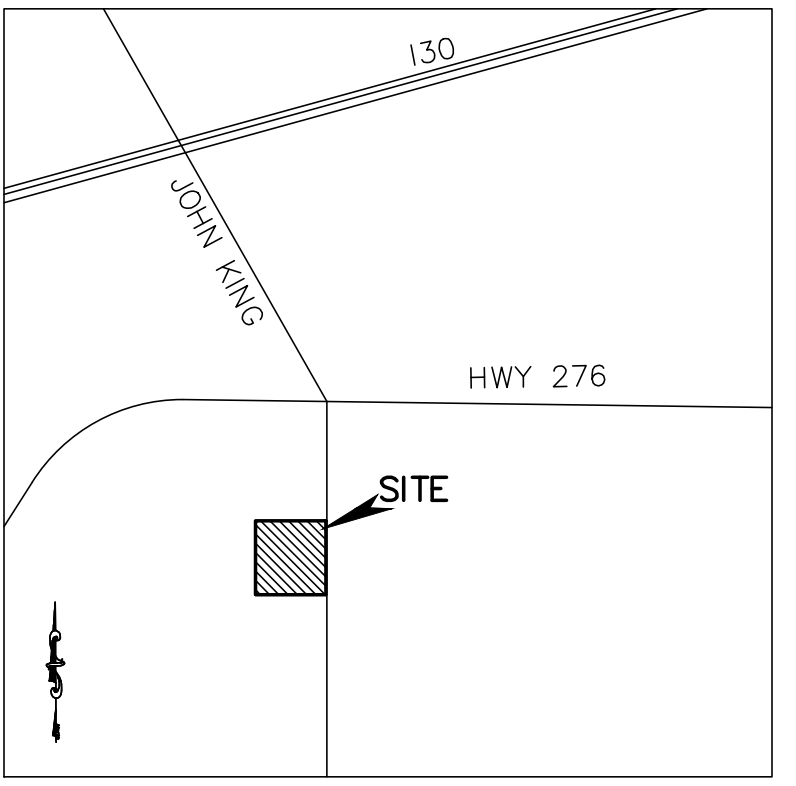
STORM LINE "A"
INSTALL 60 LF OF 18" RCP & 185 LF OF 18" HDPE W/SLOPING HEADWALL AT OUTFALL
FL(IN) = 574.50
FL(OUT) = 570.00
SEE PROFILE C104A

STORM LINE "C"
INSTALL 39 LF OF 18" RCP & 194 LF OF 18" HDPE. CONNECT TO EX STORM LINE
FL(IN) = 569.50
FL(OUT) = 568.04
SEE PROFILE C104A

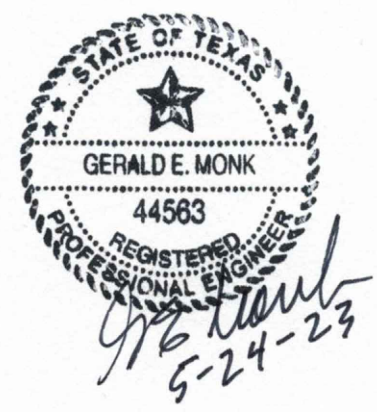
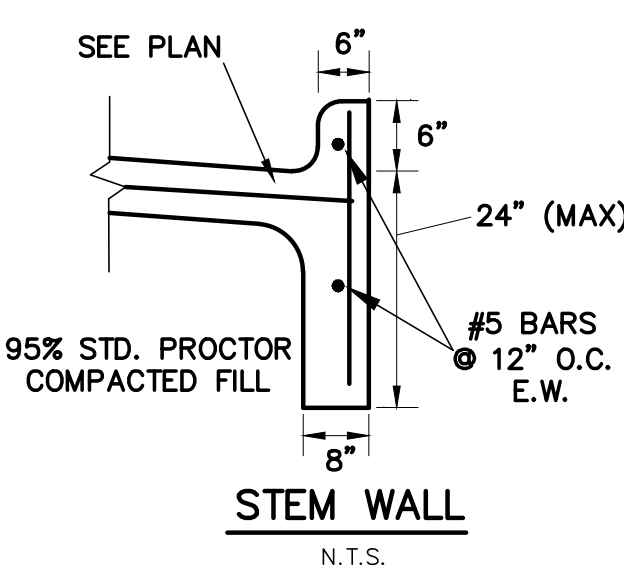
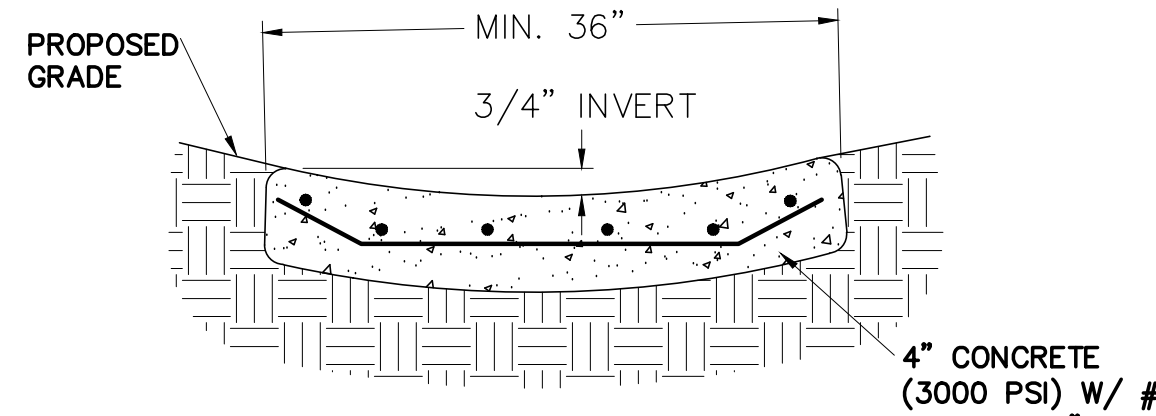
CONNECT STORM LINE C TO EX. STORM W CONCRETE COLLAR
EX FL = 568.04

3' WYE INLET C-2
INSTALL STD WYE INLET
W/7 LF OF 18" RCP & CONNECT TO STORM LINE B
TOP = 574.25
THROAT = 573.50
SEE PROFILE C104A

*****CAUTION*****
VERIFY LOCATION AND DEPTH OF EXISTING GAS LINE PRIOR TO BEGINNING CONSTRUCTION!



- LEGEND**
- = PROPERTY LINE
 - = EXISTING SANITARY SEWER LINE
 - = EXISTING WATER LINE
 - = EXISTING GAS LINE
 - ⊙ FH = EXISTING FIRE HYDRANT
 - ⊙ WM = EXISTING WATER METER
 - ⊙ PP = EXISTING POWER POLE
 - ⊙ LP = EXISTING LIGHT POLE
 - ⊙ T = EX. WATER VALVE
 - ⊙ S = EXISTING SEWER MANHOLE
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 - EXIST. or EX. = EXISTING
 - PROP. = PROPOSED
 - LS = LANDSCAPE
 - RCP = REINFORCED CONCRETE PIPE
 - min = MINIMUM
 - max = MAXIMUM
 - ⊙ = PROPOSED FIRE HYDRANT
 - [] = PROPOSED FIRELANE



CASE #: SP2022-040

GRAING & DRAINAGE PLAN

JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER:
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

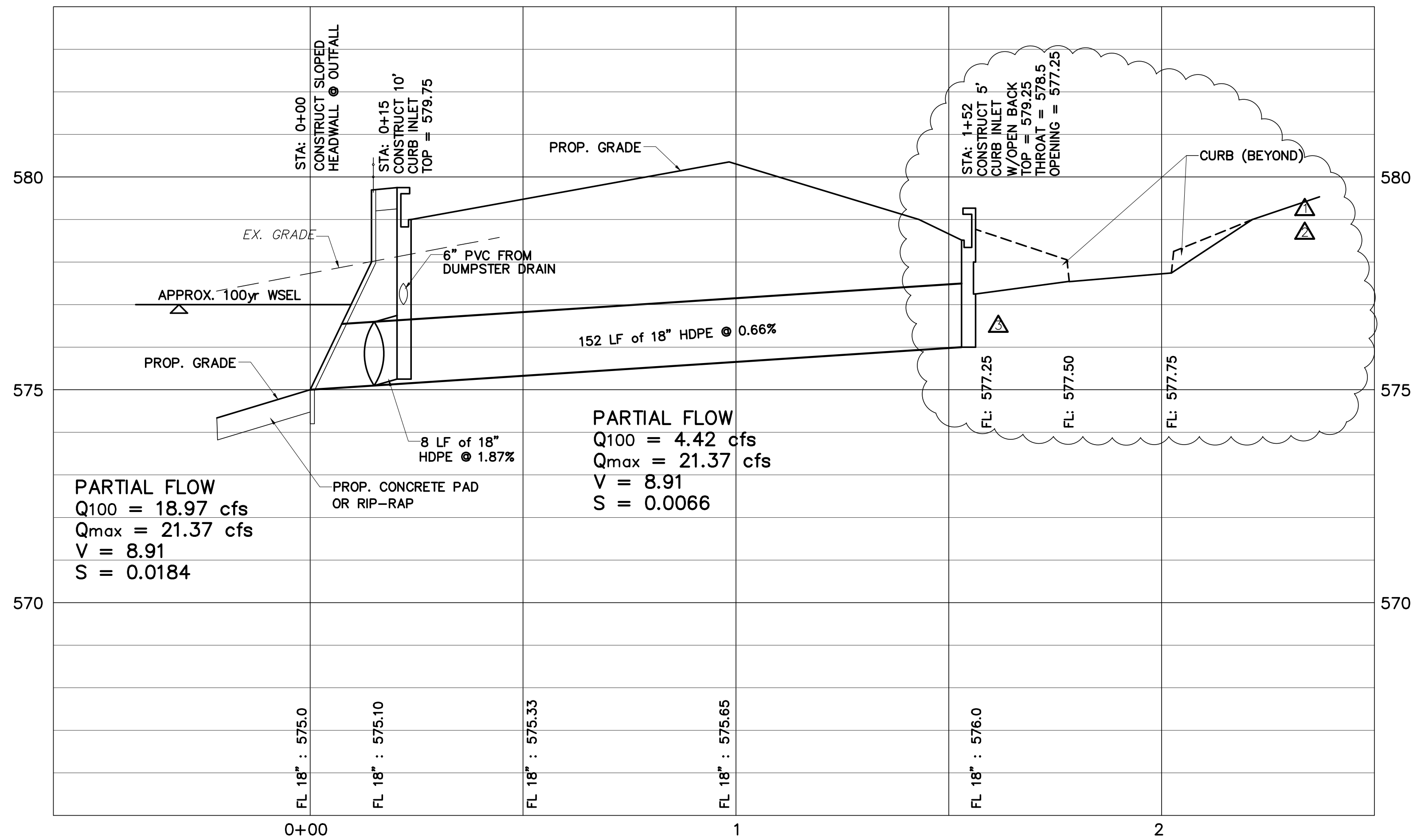
prepared by:
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1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG No.: F-2567
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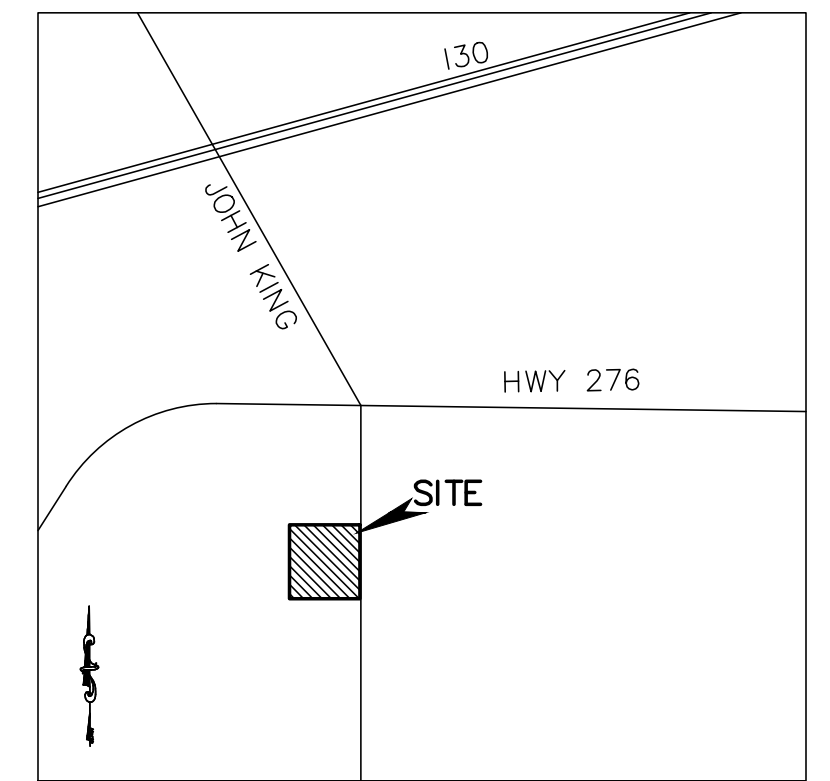
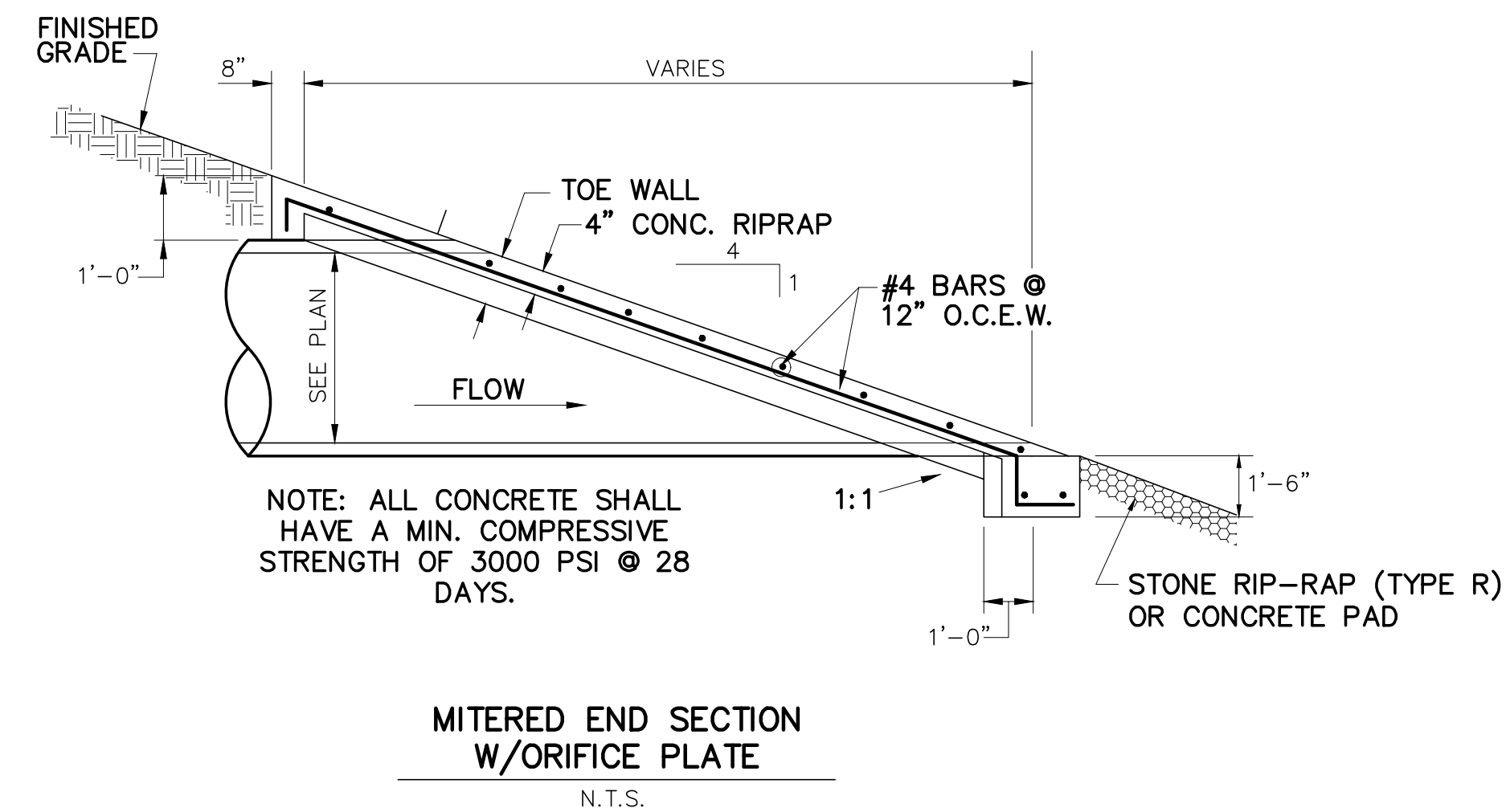
date: 5/24/23 scale: 1" = 20' sheet: **C104**

revised date:
1/4/24 Relocated ADA walk, extended berm & revised material of pipe to RCP within public esmt
2/27/24 Revised Storm Line C, added sheet C104A

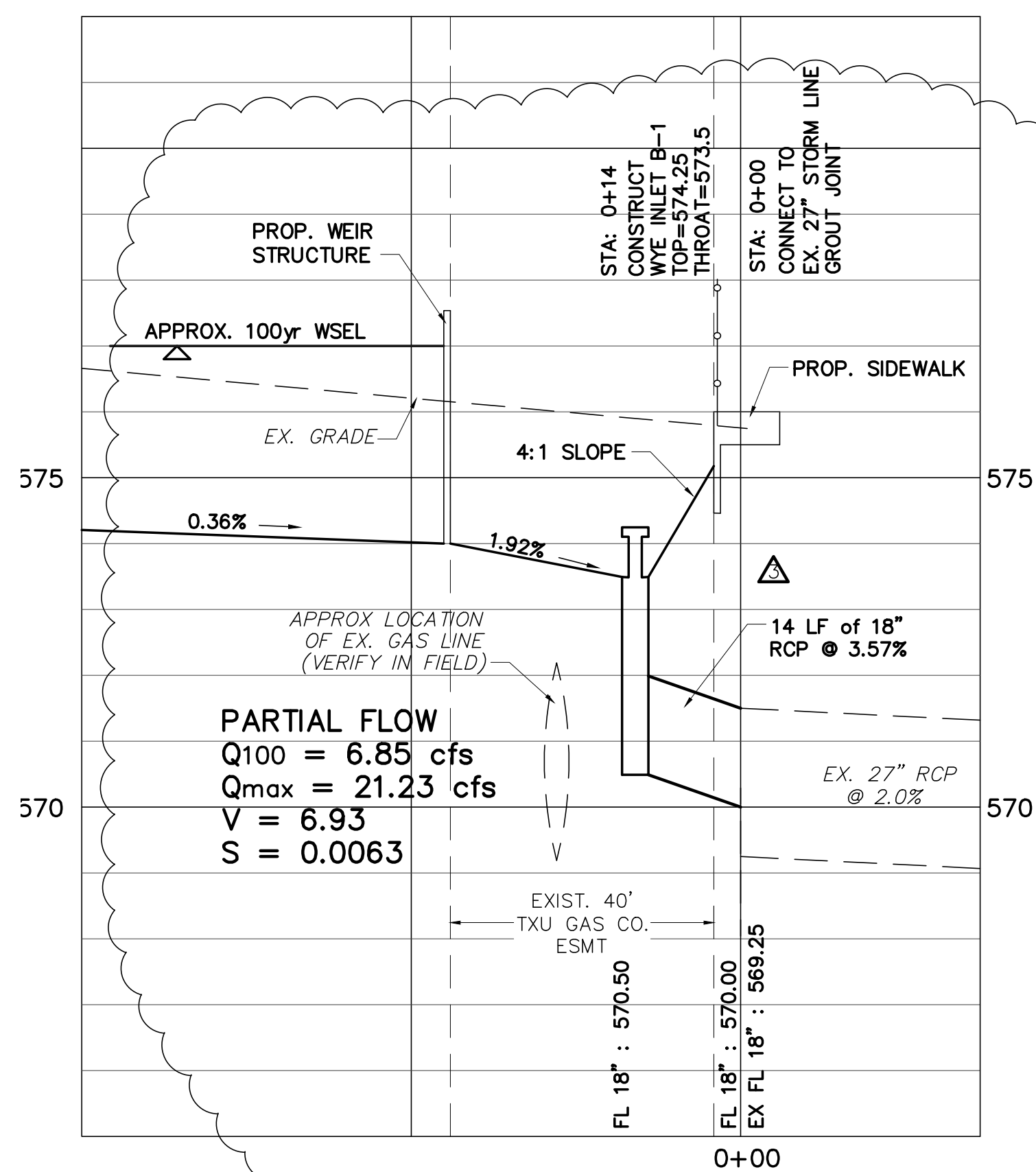
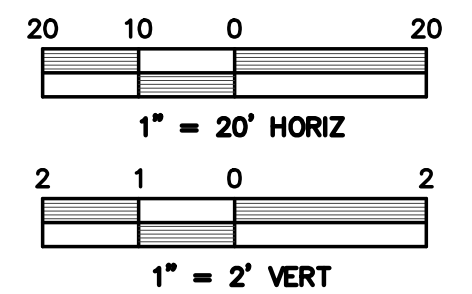
TEMPORARY BENCHMARK:
"X" CUT IN CONCRETE CURB IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'



PRIVATE STORM LINE "A"



LOCATION MAP
(NOT TO SCALE)



PRIVATE STORM LINE "B"

CAUTION
VERIFY LOCATION AND DEPTH
OF EXISTING GAS LINE PRIOR
TO BEGINNING CONSTRUCTION!

RECORD DRAWING 2-11-25
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INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS
INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE
AND INFORMATION PROVIDED BY THE CONTRACTOR.
GERALD E. MONK, P.E.



CASE # SP2022-040

STORM PROFILES

JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER

SBM REAL ESTATE SERVICES
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Contact: Aaron Davis (214)557-9093

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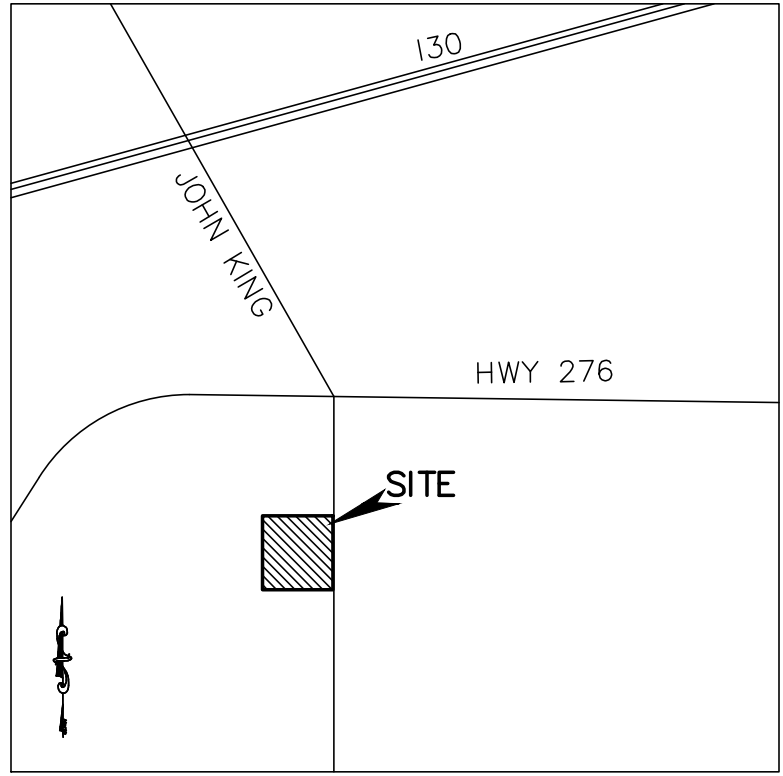
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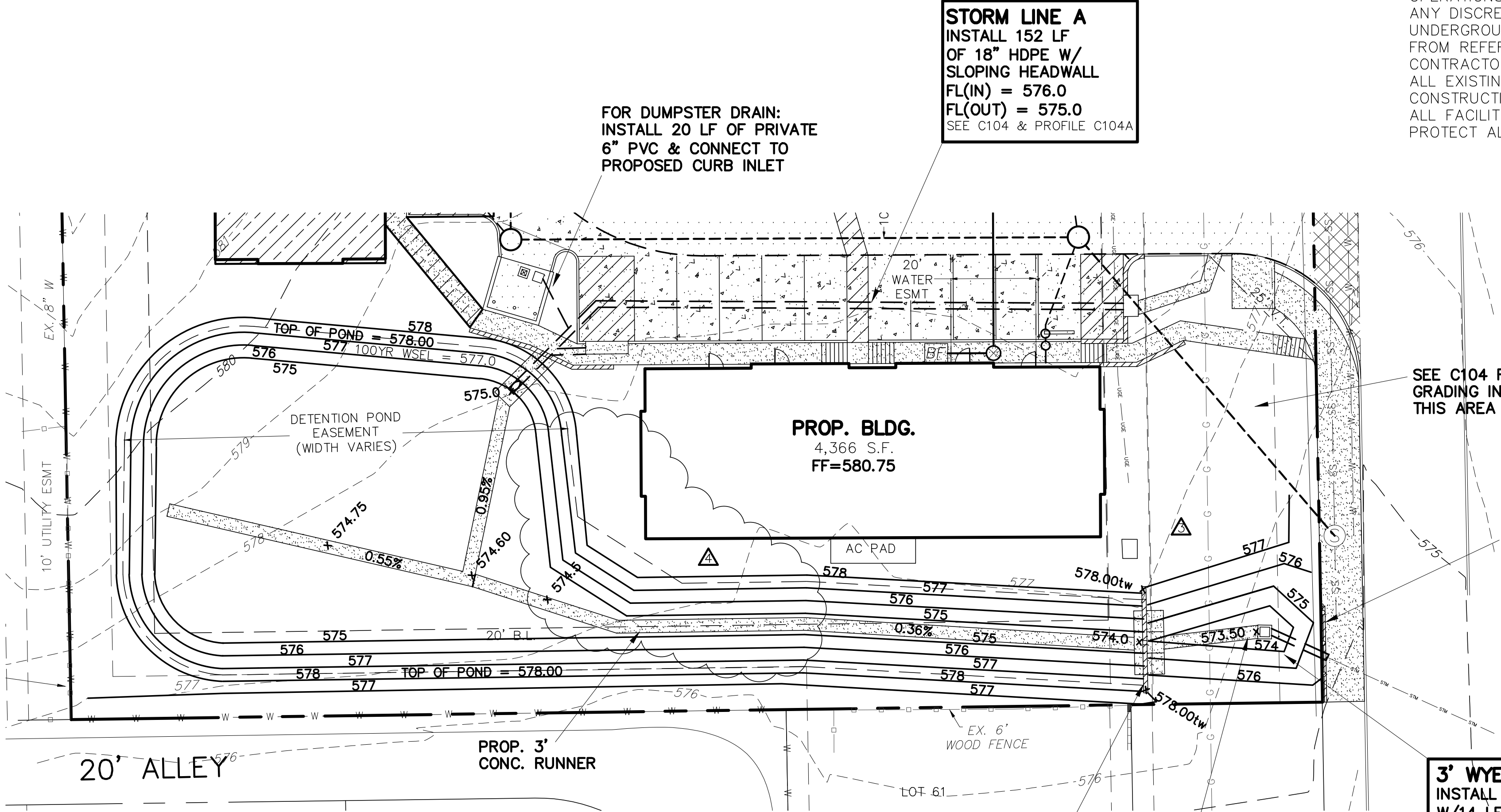
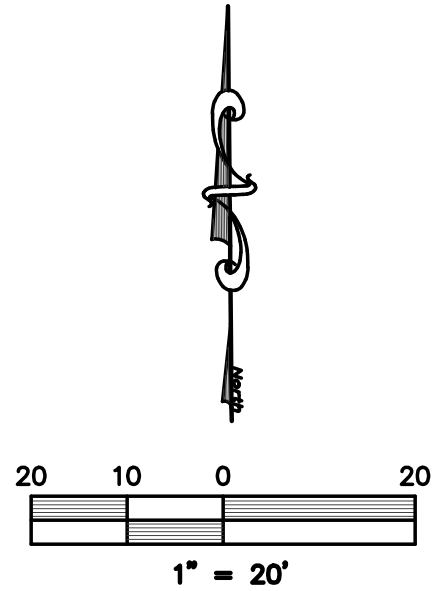
TEMPORARY BENCHMARK:
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IN FRONT OF EXISTING MANHOLE
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date: 5/24/23 scale: 1" = 20' sheet: C104A

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LOCATION MAP
(NOT TO SCALE)



STORM LINE A
INSTALL 152 LF
OF 18" HDPE W/
SLOPING HEADWALL
FL(IN) = 576.0
FL(OUT) = 575.0
SEE C104 & PROFILE C104A

FOR DUMPSTER DRAIN:
INSTALL 20 LF OF PRIVATE
6" PVC & CONNECT TO
PROPOSED CURB INLET

SEE C104 FOR
GRADING IN
THIS AREA

INSTALL HANDRAIL
(IF REQUIRED)
ALONG SIDEWALK
ADJ TO WYE INLET
W/STEM WALL WHERE
GRADE DIFFERENCE
IS GREATER THAN 6"

3' WYE INLET B-1
INSTALL STD WYE INLET
W/14 LF OF 18" RCP
& CONNECT TO
EX. 27" STORM
TOP = 574.25
THROAT = 573.50
FL (OUT) = 570.50
SEE PROFILE THIS SHEET

POND OUTFALL
CONSTRUCT WEIR
HEADWALL STRUCTURE
TOP = 576.65
FL = 564.00
(SEE DETAIL THIS SHEET)

PROP. 3'
CONC. RUNNER

Pond Report

Hydraflow Hydrographs by Intellisolve v9.01
Pond No. 3 - Revised Pond
Pond Data
Contours - User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 574.00 ft

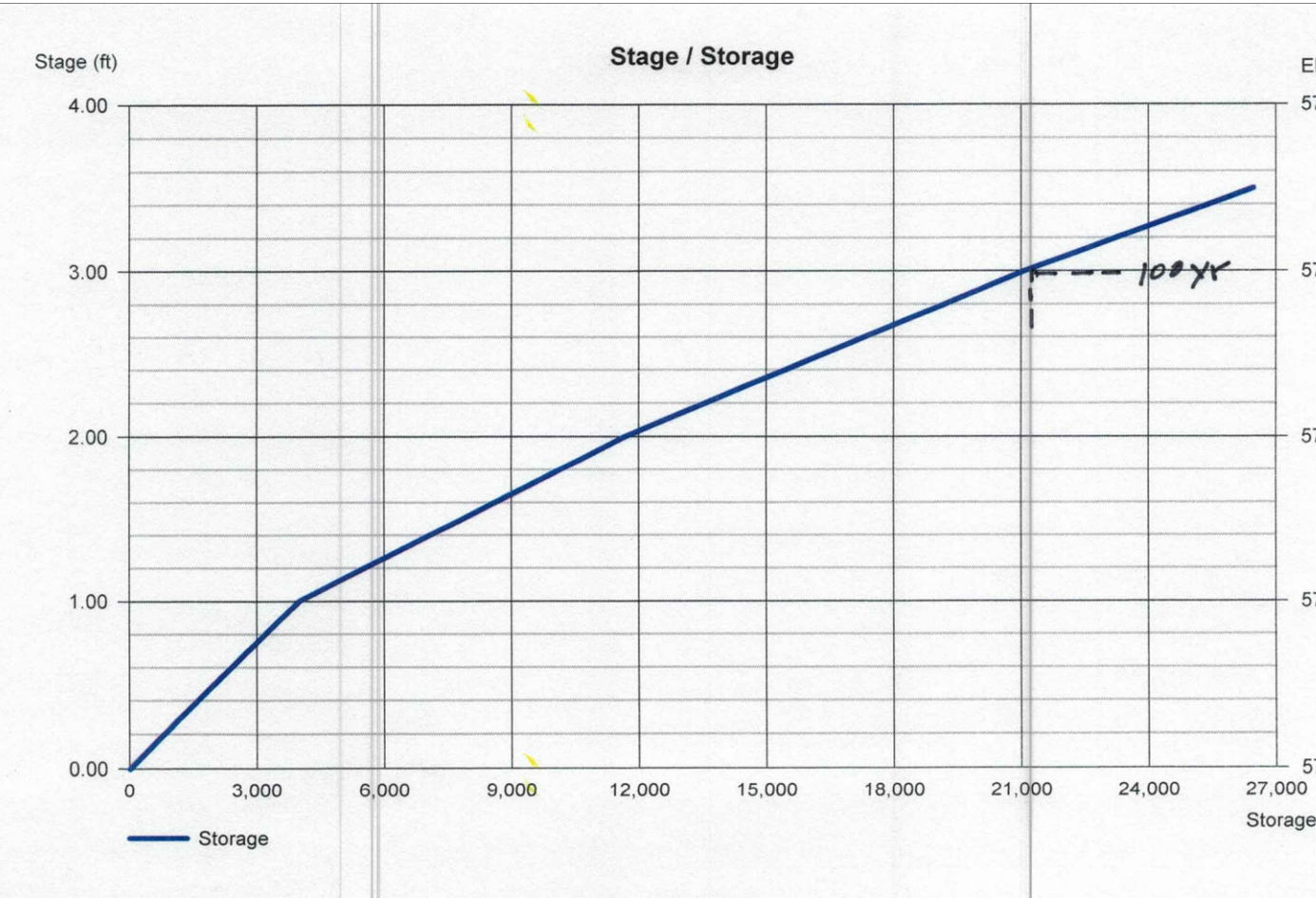
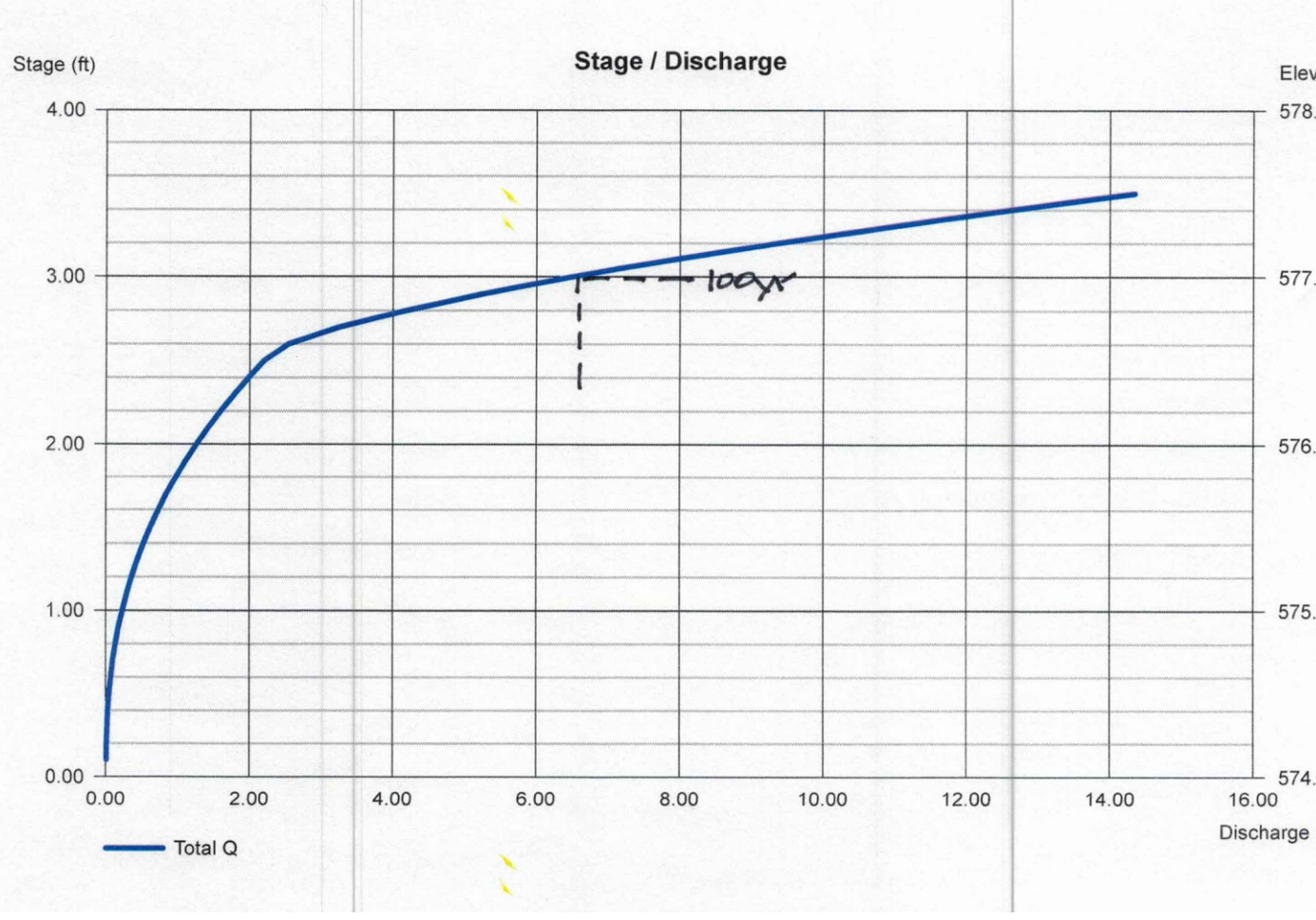
Stage / Storage Table		Contour area (sqft)		Incr. Storage (cuft)	Total storage (cuft)
Stage (ft)	Elevation (ft)				
0.00	574.00	1,200	0	0	0
1.00	575.00	8,800	4,000	4,000	4,000
2.00	576.00	11,650	7,650	11,650	11,650
3.00	577.00	10,350	9,425	21,075	21,075
3.50	577.50	11,220	5,393	26,468	26,468

100 yr =
21,075 CF
of storage

Culvert / Orifice Structures				Weir Structures			
[A]	[B]	[C]	[Pr/Rsr]	[A]	[B]	[C]	[D]
Rise (in)	= 0.00	0.00	0.00	Crest Len (ft)	= 0.00	3.00	0.00
Span (in)	= 0.00	0.00	0.00	Crest El. (ft)	= 574.00	576.55	0.00
No. Barrels	= 0	0	0	Weir Coeff.	= 0.22	3.33	3.33
Invert El. (ft)	= 0.00	0.00	0.00	Weir Type	= 10 deg V	Rect	---
Length (ft)	= 0.00	0.00	0.00	Multi-Stage	= No	No	No
Slope (%)	= 0.00	0.00	n/a	Exfil. (in/hr)	= 0.000 (by Wet area)		
N-Value	= .013	.013	.013	TW Elev. (ft)	= 0.00		
Orifice Coeff.	= 0.60	0.60	0.60				
Multi-Stage	= n/a	No	No				

Note: Culvert/Orifice outflows are analyzed under inlet and outlet control. Weir risers are checked for orifice conditions.

Stage / Storage / Discharge Table		Civ A	Civ B	Civ C	Pr/Rsr	Wt A	Wt B	Wt C	Wt D	Exfil	User	Total
Stage	Storage	ft	cfs	cfs	cfs	cfs	cfs	cfs	cfs	cfs	cfs	cfs
0.00	0	574.00	---	---	---	---	0.00	---	---	---	---	0.00
1.00	4,000	575.00	---	---	---	0.22	0.00	---	---	---	---	0.22
2.00	11,650	576.00	---	---	---	1.26	0.00	---	---	---	---	1.26
3.00	21,075	577.00	---	---	---	3.46	3.02	---	---	---	---	6.48
3.50	26,468	577.50	---	---	---	5.09	9.25	---	---	---	---	14.34



revised
date:

- 3/6/24 Revised pond, outfall & Storm Line B & removed fence around pond
- 3/18/24 Revised grading at corner of building.

TEMPORARY BENCHMARK:
'X' CUT IN CONCRETE CURB
IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'

RECORD DRAWING 2-11-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
GERALD E. MONK, P.E.



CASE #: SP2022-040

POND LAYOUT

JOHN KING OFFICE PARK

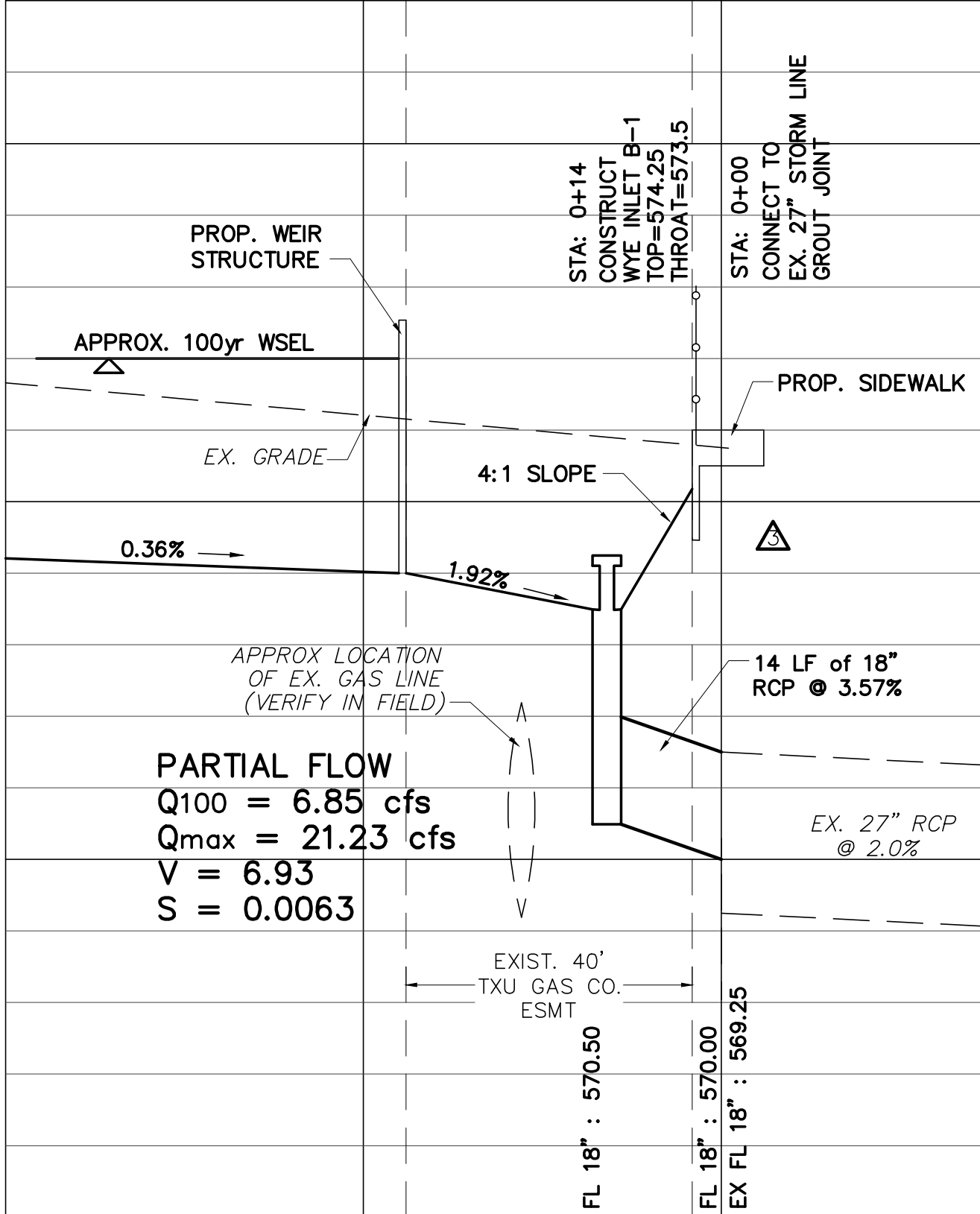
1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

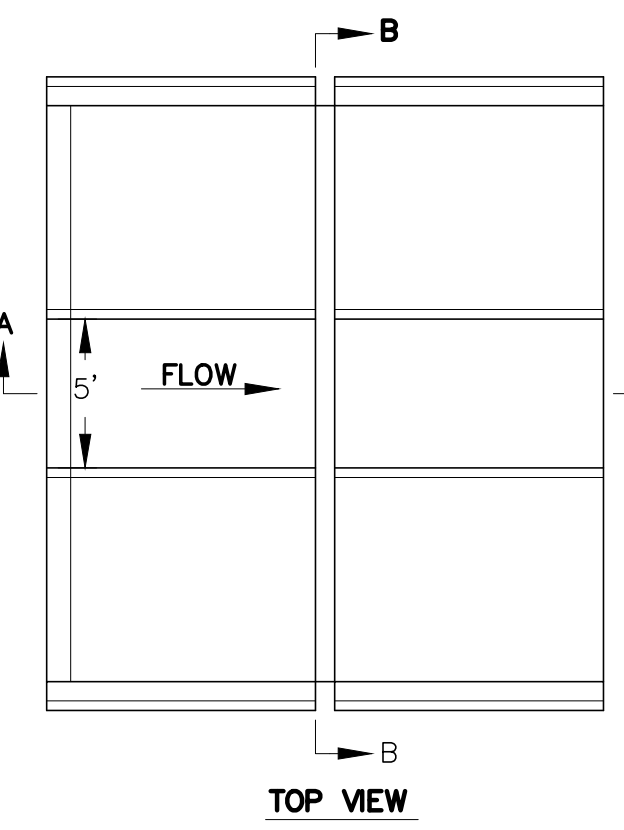
REG NO.: F-2567
©2023 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 5/24/23 scale: 1" = 20' sheet: C105

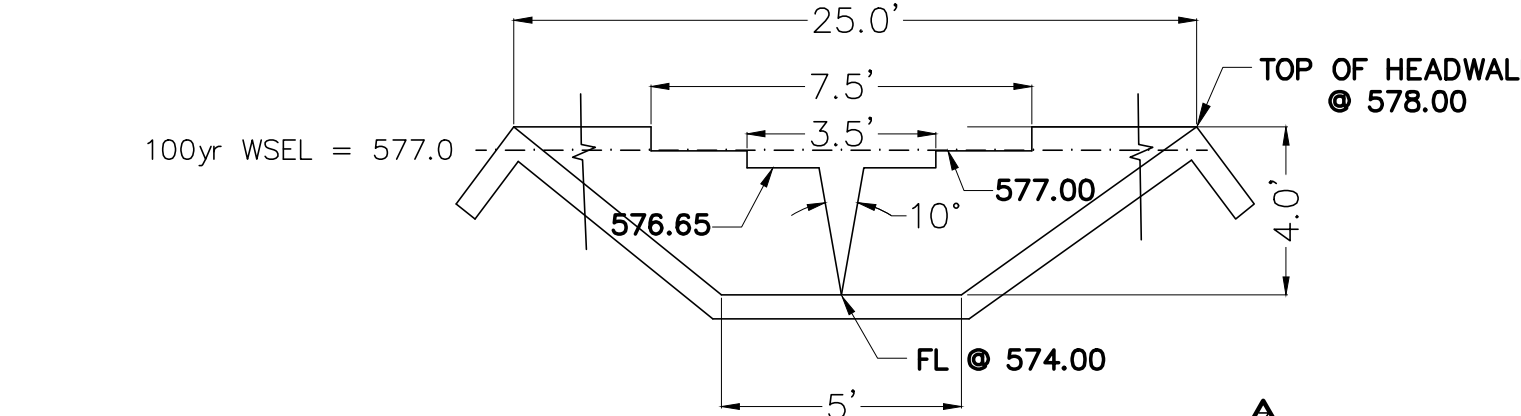


PRIVATE STORM LINE "B"

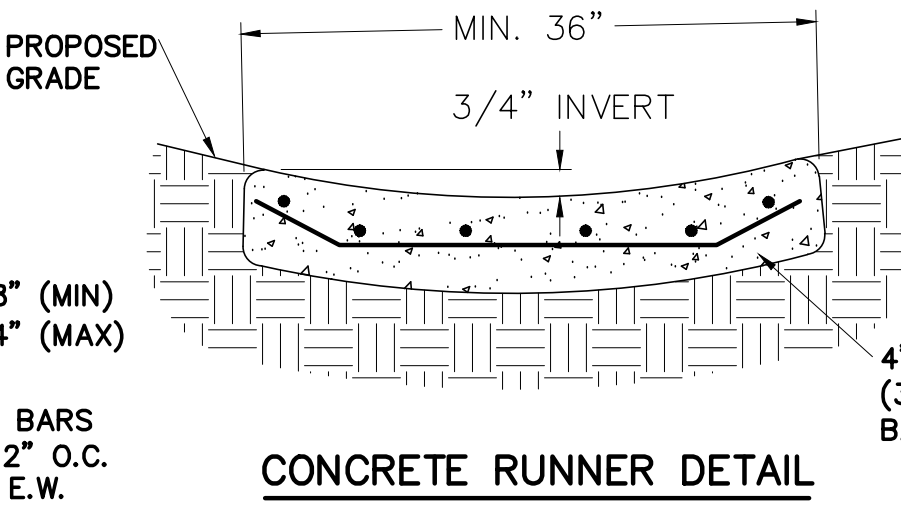
PARTIAL FLOW
Q100 = 6.85 cfs
Qmax = 21.23 cfs
V = 6.93
S = 0.0063



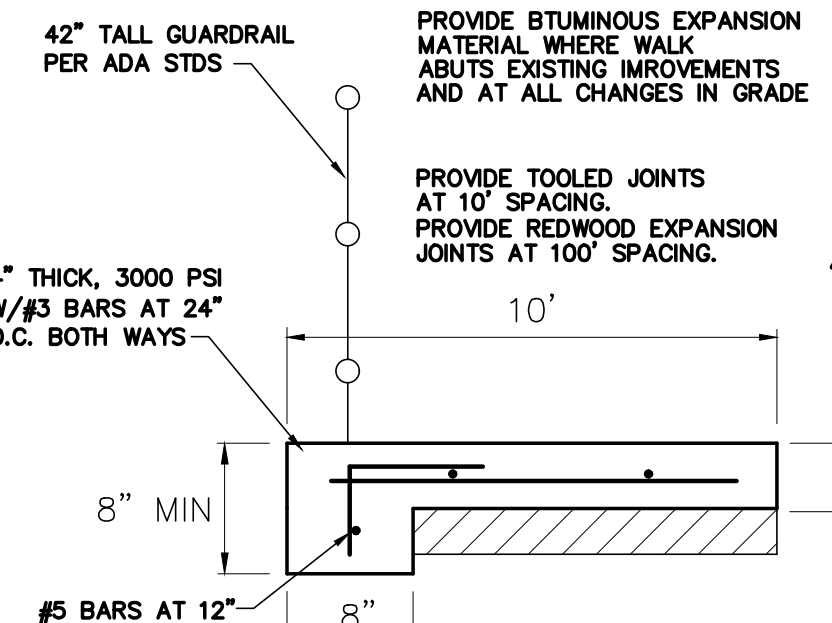
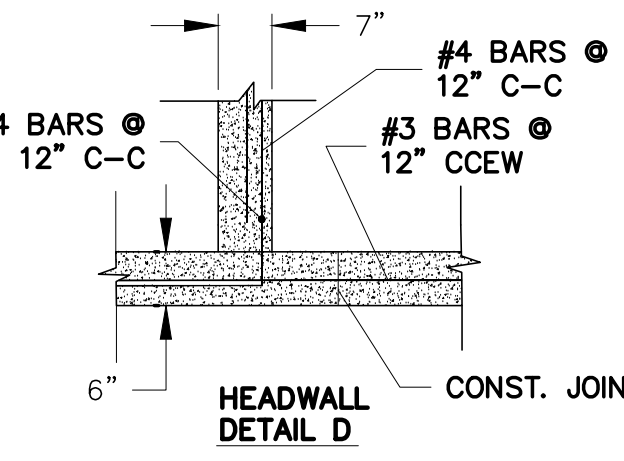
**VERTICAL WEIR HEADWALL
W/CONCRETE APRON**
N.T.S.



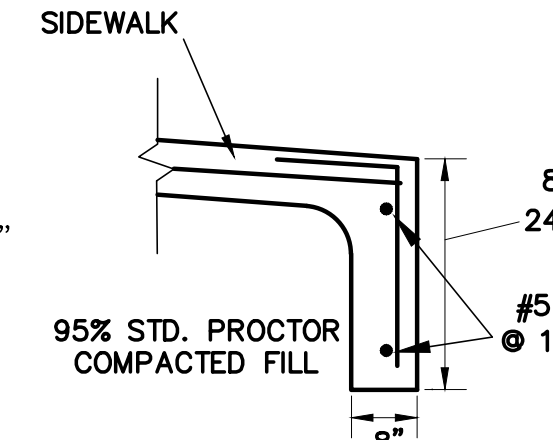
WEIR HEADWALL OUTFALL DETAIL
NOT TO SCALE



CONCRETE RUNNER DETAIL
NOT TO SCALE



**SIDEWALK
WITH HANDRAIL**
N.T.S.



STEM WALL
N.T.S.

John King Blvd.

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA		By-Pass Acreage	New Acreage
A=	2.36	0.040	2.32
C=	0.35		
Tc=	20.00		
I100=	8.30		
Q100=	6.86		

Future Conditions

A=	2.36	Offsite Condition	-	ByPass	0.040	Q Allow	
A (adj)	2.32						
C=	0.90	0.500		0.90			
Tc	10.00	20		10.00			
I100=	9.80	8.30		9.80			
Q100=	20.46	-		0.35	6.50	CFS	

Flow for Storm Duration

Time	I	(Developed)	C	Q (cfs)	Flow for Storm Durations (Offsite)	Time	I	C	Q (cfs)
10 min	9.80	0.90	20.462	0.35	10 min	9.80	0.35	-	-
15 min	9.00	0.90	18.792	0.35	15 min	9.00	0.35	-	-
20 min	8.30	0.90	17.330	0.35	20 min	8.30	0.35	-	-
30 min	6.90	0.90	14.407	0.35	30 min	6.90	0.35	-	-
40 min	5.80	0.90	12.110	0.35	40 min	5.80	0.35	-	-
50 min	5.00	0.90	10.440	0.35	50 min	5.00	0.35	-	-
60 min	4.50	0.90	9.396	0.35	60 min	4.50	0.35	-	-
70 min	4.00	0.90	8.352	0.35	70 min	4.00	0.35	-	-
80 min	3.70	0.90	7.726	0.35	80 min	3.70	0.35	-	-
90 min	3.50	0.90	7.308	0.35	90 min	3.50	0.35	-	-
100 min	3.40	0.90	7.099	0.35	100 min	3.40	0.35	-	-
110 min	3.20	0.90	6.682	0.35	110 min	3.20	0.35	-	-

Storage Claculations

<u>10 min</u>			CF
Inflow	12,277	Storage	8,376
Outflow	3,902		
<u>15 min</u>			
Inflow	16,913	Storage	12,036
Outflow	4,877		
<u>20 min</u>			
Inflow	20,796	Storage	14,944
Outflow	5,853		
<u>30 min</u>			
Inflow	25,933	Storage	18,129
Outflow	7,804		
<u>40 min</u>			
Inflow	29,065	Storage	19,310
Outflow	9,755		
<u>50 min</u>			
Inflow	31,320	Storage	19,615
Outflow	11,705		
<u>60 min</u>			
Inflow	33,826	Storage	20,169
Outflow	13,656		
<u>70 min</u>			
Inflow	35,078	Storage	19,471
Outflow	15,607		
<u>80 min</u>			
Inflow	37,083	Storage	19,525
Outflow	17,558		
<u>90 min</u>			
Inflow	39,463	Storage	19,954
Outflow	19,509		
<u>100 min</u>			
Inflow	42,595	Storage	21,135
Outflow	21,460		
<u>110 min</u>			
Inflow	40,090	Storage	16,679
Outflow	23,411		

Summary Detention Pond B Calculations

	Volume	Elevation
Qallow 100	6.50 cfs	21,135 cf
Qallow 25	5.15 cfs	17,240 cf
Qallow 10	4.62 cfs	14,828 cf
Qallow 5	3.83 cfs	12,716 cf
		575.30

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA		By-Pass Acreage	New Acreage
A=	2.36	0.040	2.32
C=	0.35		
Tc=	20.00		
I25	6.60		
Q25	5.45		

Future Conditions

A=	2.36	Offsite Condition	-	ByPass	0.04	Q Allow	
A (adj)	2.32						
C=	0.90	0.500		0.90			
Tc	10.00	20		10.00			
I25	8.30	8.30		8.30			
Q25	17.63	-		0.30	5.15	cfs	

Flow for Storm Duration

Time	I	(Developed)	C	Q (cfs)	Flow for Storm Durations (Offsite)	Time	I	C	Q (cfs)
10 min	8.30	0.90	17.330	0.35	10 min	8.30	0.35	-	-
15 min	7.50	0.90	15.660	0.35	15 min	7.50	0.35	-	-
20 min	6.60	0.90	13.781	0.35	20 min	6.60	0.35	-	-
30 min	5.50	0.90	11.484	0.35	30 min	5.50	0.35	-	-
40 min	4.60	0.90	9.605	0.35	40 min	4.60	0.35	-	-
50 min	4.00	0.90	8.352	0.35	50 min	4.00	0.35	-	-
60 min	3.50	0.90	7.308	0.35	60 min	3.50	0.35	-	-
70 min	3.30	0.90	6.890	0.35	70 min	3.30	0.35	-	-
80 min	3.10	0.90	6.473	0.35	80 min	3.10	0.35	-	-
90 min	2.90	0.90	6.055	0.35	90 min	2.90	0.35	-	-
100 min	2.70	0.90	5.638	0.35	100 min	2.70	0.35	-	-
110 min	2.50	0.90	5.220	0.35	110 min	2.50	0.35	-	-

Storage Claculations

<u>10 min</u>			CF
Inflow	10,398	Storage	7,307
Outflow	3,092		
<u>15 min</u>			
Inflow	14,094	Storage	10,229
Outflow	3,865		
<u>20 min</u>			
Inflow	16,537	Storage	11,899
Outflow	4,638		
<u>30 min</u>			
Inflow	20,671	Storage	14,488
Outflow	6,183		
<u>40 min</u>			
Inflow	23,052	Storage	15,322
Outflow	7,729		
<u>50 min</u>			
Inflow	25,056	Storage	15,781
Outflow	9,275		
<u>60 min</u>			
Inflow	26,309	Storage	15,488
Outflow	10,821		
<u>70 min</u>			
Inflow	28,940	Storage	16,573
Outflow	12,367		
<u>80 min</u>			
Inflow	31,069	Storage	17,157
Outflow	13,913		
<u>90 min</u>			
Inflow	32,698	Storage	17,240
Outflow	15,458		
<u>100 min</u>			
Inflow	33,826	Storage	16,821
Outflow	17,004		
<u>110 min</u>			
Inflow	31,320	Storage	12,770
Outflow	18,550		

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA		By-Pass Acreage	New Acreage
A=	2.36	0.040	2.32
C=	0.35		
Tc=	20.00		
I10	5.90		
Q10=	4.87		

Future Conditions

A=	2.36	Offsite Condition	-	ByPass	0.04	Q Allow	
A (adj)	2.32						
C=	0.90	0.500		0.90			
Tc	10.00	20		10.00			
I10	7.10	8.30		7.10			
Q10=	15.08	-		0.26	4.62	cfs	

Flow for Storm Duration

Time	I	(Developed)	C	Q (cfs)	Flow for Storm Durations (Offsite)	Time	I	C	Q (cfs)
10 min	7.10	0.90	14.825	0.35	10 min	7.10	0.35	-	-
15 min	6.50	0.90	13.572	0.35	15 min	6.50	0.35	-	-
20 min	5.90	0.90	12.319	0.35	20 min	5.90	0.35	-	-
30 min	4.80	0.90	10.022	0.35	30 min	4.80	0.35	-	-
40 min	4.00	0.90	8.352	0.35	40 min	4.00	0.35	-	-
50 min	3.50	0.90	7.308	0.35	50 min	3.50	0.35	-	-
60 min	3.00	0.90	6.264	0.35	60 min	3.00	0.35	-	-
70 min	2.80	0.90	5.846	0.35	70 min	2.80	0.35	-	-
80 min	2.60	0.90	5.429	0.35	80 min	2.60	0.35	-	-
90 min	2.50	0.90	5.220	0.35	90 min	2.50	0.35	-	-
100 min	2.40	0.90	5.011	0.35	100 min	2.40	0.35	-	-
110 min	2.30	0.90	4.802	0.35	110 min	2.30	0.35	-	-

Storage Claculations

<u>10 min</u>			CF
Inflow	8,895	Storage	6,124
Outflow	2,771		
<u>15 min</u>			
Inflow	12,215	Storage	8,751
Outflow	3,463		
<u>20 min</u>			
Inflow	14,783	Storage	10,627
Outflow	4,156		
<u>30 min</u>			
Inflow	18,040	Storage	12,499
Outflow	5,541		
<u>40 min</u>			
Inflow	20,045	Storage	13,118
Outflow	6,927		
<u>50 min</u>			
Inflow	21,924	Storage	13,612
Outflow	8,312		
<u>60 min</u>			
Inflow	22,550	Storage	12,853
Outflow	9,697		
<u>70 min</u>			
Inflow	24,555	Storage	13,472
Outflow	11,083		
<u>80 min</u>			
Inflow	26,058	Storage	13,590
Outflow	12,468		
<u>90 min</u>			
Inflow	28,188	Storage	14,335
Outflow	13,853		
<u>100 min</u>			
Inflow	30,067	Storage	14,828
Outflow	15,239		
<u>110 min</u>			
Inflow	28,814	Storage	12,190
Outflow	16,624		

Overall Detention Pond Modified Rational

Present Conditions

Q=CIA		By-Pass Acreage	New Acreage
A=	2.36	0.040	2.32
C=	0.35		
Tc=	20.00		
I5	4.90		
Q5=	4.05		

Future Conditions

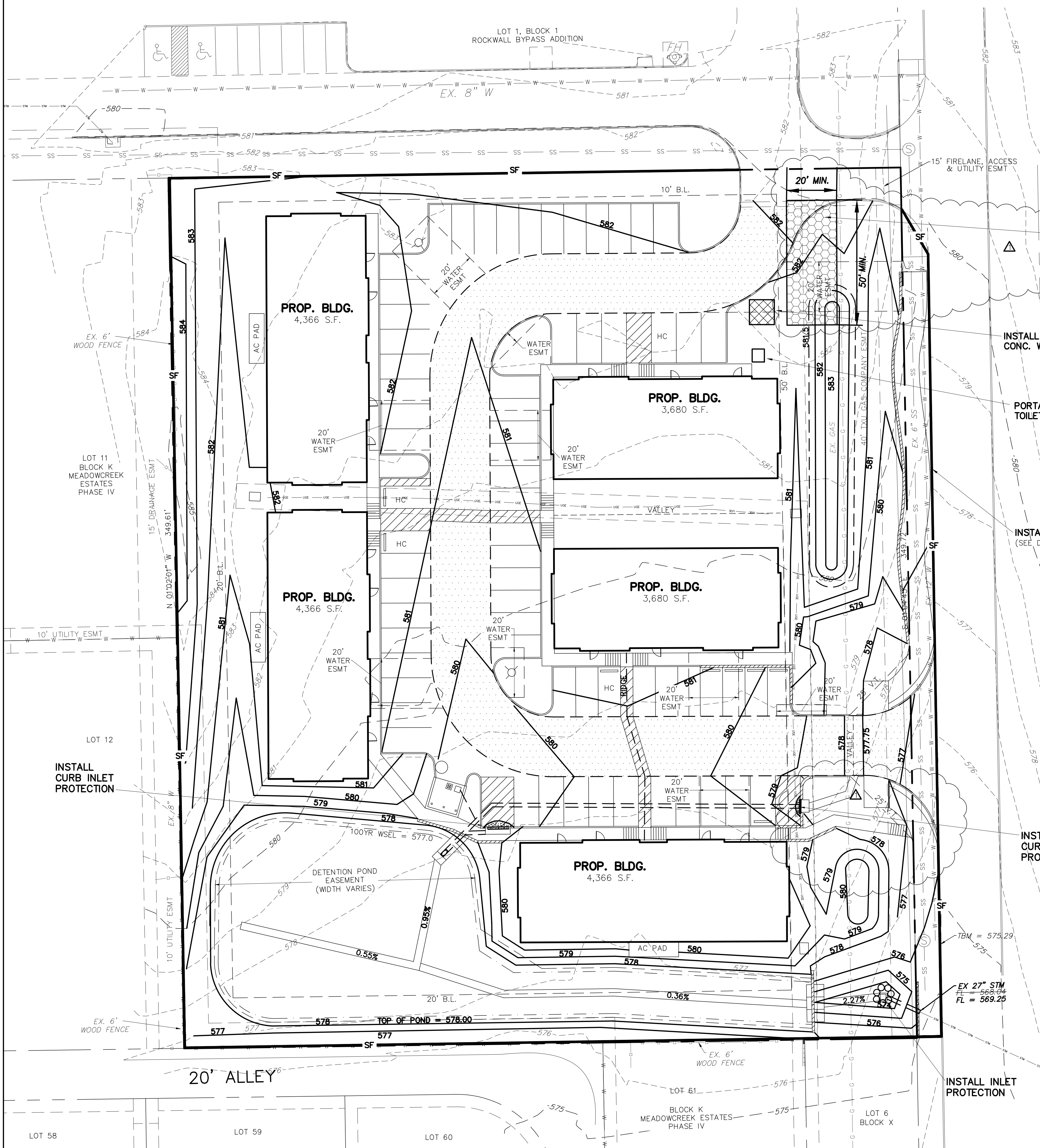
A=	2.36	Offsite Condition	-	ByPass	0.04	Q Allow	
A (adj)	2.32						
C=	0.90	0.500		0.90			
Tc	10.00	20		10.00			
I5	6.10	8.30		6.10			
Q5=	12.96	-		0.22	3.83	cfs	

Flow for Storm Duration

Time	I	(Developed)	C	Q (cfs)	Flow for Storm Durations (Offsite)	Time	I	C	Q (cfs)
10 min	6.10	0.90	12.737	0.35	10 min	9.80	0.35	-	-
15 min	5.50	0.90	11.484	0.35	15 min	9.00	0.35	-	-
20 min	4.90	0.90	10.231	0.35	20 min	8.30	0.35	-	-
30 min	4.10	0.90	8.561	0.35	30 min	6.90	0.35	-	-
40 min	3.40	0.90	7.099	0.35	40 min	5.80	0.35	-	-
50 min	2.80	0.90	5.846	0.35	50 min	5.00	0.35	-	-
60 min	2.60	0.90	5.429	0.35	60 min	4.50	0.35	-	-
70 min	2.40	0.90	5.011	0.35	70 min	4.00	0.35	-	-
80 min	2.30	0.90	4.802	0.35	80 min	3.70	0.35	-	-
90 min	2.10	0.90	4.385	0.35	90 min	3.50	0.35	-	-
100 min	1.90	0.90	3.967	0.35	100 min	3.40	0.35	-	-
110 min	1.80	0.90	3.758	0.35	110 min	3.20	0.35	-	-

Storage Claculations

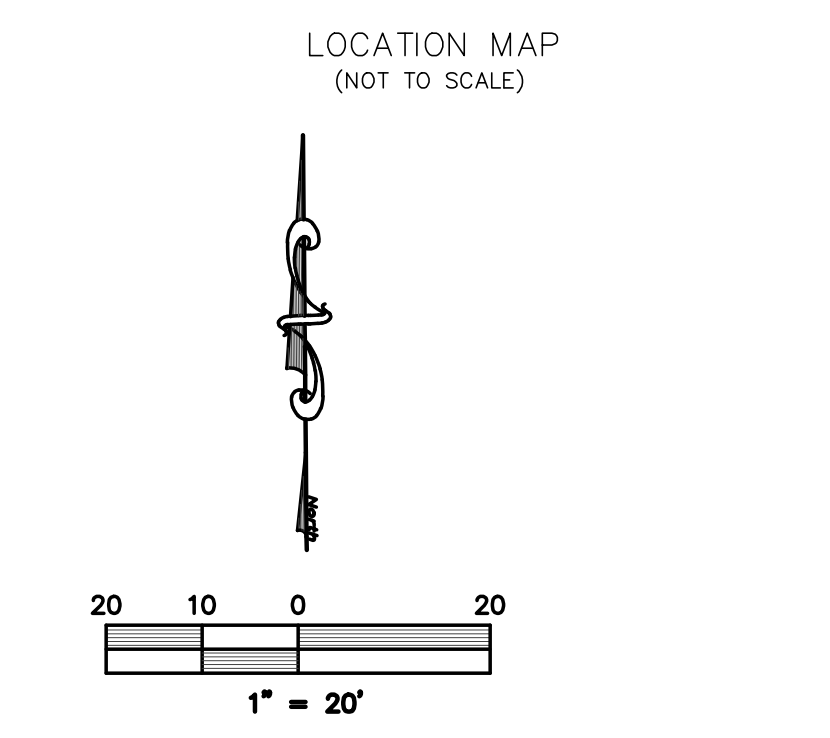
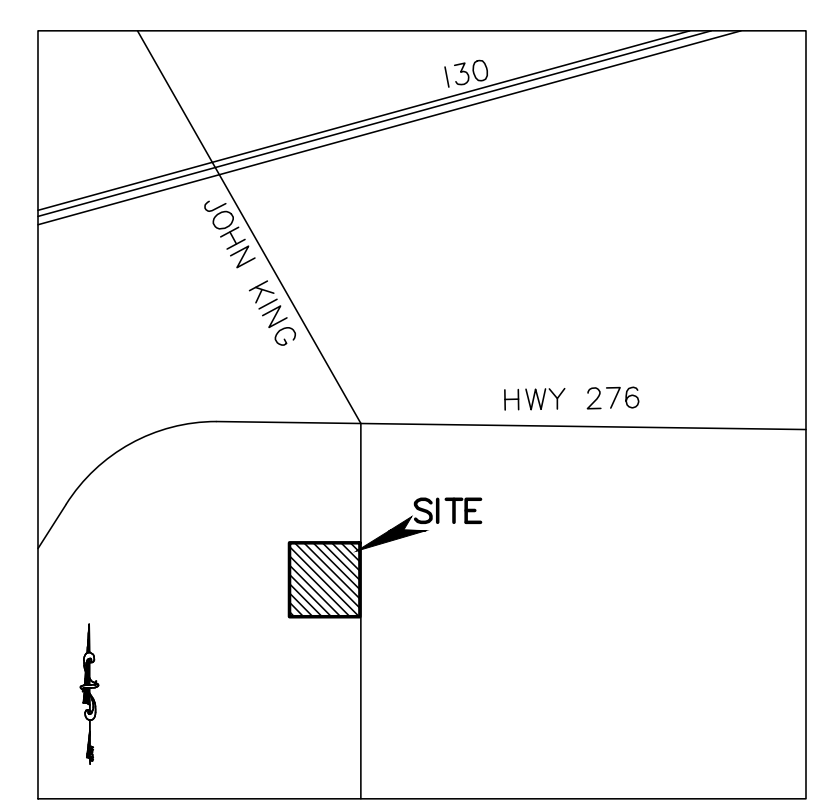
<u>10 min</u>			CF
Inflow	7,642	Storage	5,345
Outflow	2,297		
<u>15 min</u>			
Inflow	10,336	Storage	7,465
Outflow	2,871		
<u>20 min</u>			
Inflow	12,277	Storage	8,832
Outflow	3,445		
<u>30 min</u>			
Inflow	15,409	Storage	10,816
Outflow	4,593		
<u>40 min</u>			
Inflow	17,038	Storage	11,296
Outflow	5,742		
<u>50 min</u>			
Inflow	17,539	Storage	10,649
Outflow	6,890		
<u>60 min</u>			
Inflow	19,544	Storage	11,505
Outflow	8,038		
<u>70 min</u>			
Inflow	21,047	Storage	11,860
Outflow	9,187		
<u>80 min</u>			
Inflow	23,052	Storage	12,716
Outflow	10,335		
<u>90 min</u>			
Inflow	23,678	Storage	12,195
Outflow	11,483		
<u>100 min</u>			
Inflow	23,803	Storage	11,171
Outflow	12,632		
<u>110 min</u>			
Inflow	22,550	Storage	8,770
Outflow	13,780		



NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **TEXAS HERITAGE SURVEYING, LLC OF DALLAS, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL CURB INLETS MUST BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING STORM SYSTEM.
 - 6) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION
 - 7) THERE ARE NO ONSITE OR ADJACENT SURFACE WATERS OR WETLANDS
 - 8) 75-80% OF ALL DISTURBED AREA TO HAVE A MIN. 1" TALL GRASS ESTABLISHED PRIOR TO ENGINEERING ACCEPTANCE.
 - 9) ALL CITY R.O.W. MUST BE SODDED IF DISTURBED.



LEGEND

---	= PROPERTY LINE
SS	= EXISTING SANITARY SEWER LINE
---	= EXISTING WATER LINE
---	= EXISTING GAS LINE
FH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
T	= EX. WATER VALVE
S	= EXISTING SEWER MANHOLE
G	= EXISTING GAS METER
B-B	= BACK OF CURB TO BACK OF CURB
EXIST. or EX.	= EXISTING
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
○	= PROPOSED FIRE HYDRANT
[]	= PROPOSED FIRELANE

RECORD DRAWING 2-11-25
TO THE BEST OF OUR KNOWLEDGE, MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



CASE #: SP2022-040

EROSION CONTROL PLAN

JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER:
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

prepared by:
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date:	scale:	sheet:
5/24/23	1" = 20'	C106

revised date:
1/4/24 Relocated ADA walk, and added construction entrance

TEMPORARY BENCHMARK:
"X" CUT IN CONCRETE CURB
IN FRONT OF EXISTING MANHOLE
ELEVATION = 575.29'

