

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Quorum Horizon Ridge, L.P. is the owner of a tract of land situated in the E. TEAL SURVEY, Abstract No. 207, Rockwall County, Texas, and being all of Lot 7 & 8, Block A, of HORIZON RIDGE ADDITION, an addition to the City of Rockwall, Rockwall County, Texas, as recorded in Cabinet E, Slide 117, of the Map Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set for corner at the northerly end of a corner clip at the intersection of the southerly right-of-way line of HORIZON ROAD, (F.M. Road No. 3097, variable width right-of-way) and the northwesterly right-of-way line of RALPH HALL PARKWAY, (60 feet, right-of-way), said iron rod being the most northerly northeast corner of said Lot 7, Block A;

THENCE, along said corner clip, South 00°37'17" East, a distance of 28.28 feet, to an aluminum monument found for corner in said northwesterly right-of-way line of RALPH HALL PARKWAY, (60 feet, right-of-way), said monument being the most easterly northeast corner of said Lot 7, Block A;

THENCE, along said northwesterly right-of-way line of RALPH HALL PARKWAY, (60 feet, right-of-way), South 44°22'43" West, a distance of 716.02 feet, to a 5/8 inch iron rod set for corner and beginning of a curve to the left, said curve having a radius of 480.00 feet and a chord bearing South 36°22'41" West, a distance of 133.62 feet;

THENCE, along said curve to the left, through a central angle of 16°00'05" and an arc length of 134.05 feet, to an aluminum monument found for corner at the intersection of said northwesterly right-of-way line of RALPH HALL PARKWAY, (60 feet, right-of-way) and the northerly right-of-way line of ARISTA ROAD, (60 feet, right-of-way), said monument being the most southerly corner of said Lot 8, Block A, and being the beginning of a curve to the right, said curve having a radius of 420.00 feet and a chord bearing North 51°19'58" West, a distance of 151.23 feet;

THENCE, departing said northwesterly right-of-way line of RALPH HALL PARKWAY, (60 feet, right-of-way), along said northerly right-of-way line of ARISTA ROAD, (60 feet, right-of-way) and along said curve to the right, through a central angle of 20°44'39" and an arc length of 152.06 feet, to a 5/8 inch iron rod set for corner and beginning of a curve to the left, said curve having a radius of 480.00 feet and a chord bearing North 42°53'52" West, a distance of 32.45 feet;

THENCE, along said northerly right-of-way line of ARISTA ROAD, (60 feet, right-of-way), and along said curve to the left, through a central angle of 03°52'27" and an arc length of 32.45 feet, to a 5/8 inch iron rod set for corner, said iron rod being the most westerly southwest corner of said Lot 8, Block A, and being the most southerly corner of Lot 2, Block A, of said addition;

THENCE, departing said northerly right-of-way line of ARISTA ROAD, (60 feet, right-of-way), along the northwesterly line of said Lot 7 & 8, Block A, North 44°22'43" East, at 386.55 feet passing the most easterly corner of said Lot 2, Block A, and continuing in all for a total distance of 650.05 feet, to a 5/8 inch iron rod set for corner in the southwesterly line of said Lot 7, said iron rod being the most northerly corner of said Lot 8;

THENCE, along said southwest line of Lot 7, Block A, North 45°37'17" West, a distance of 43.00 feet, to a 5/8 inch iron rod set for corner, said iron rod being the most westerly corner of said Lot 7;

THENCE, along the northwest line of said Lot 7, Block A, North 44°22'43" East, at 101.80 feet, passing the most easterly corner of Lot 3, Block A, of said addition, and continuing for a total distance of 231.80 feet, to a 5/8 inch iron rod set for corner in said southerly right-of-way line of HORIZON ROAD, (F.M. Road No. 3097, variable width right-of-way), said iron rod being the most northerly corner of said Lot 7, and being the southeast corner of Lot 6, Block A, of said addition;

THENCE, along said southerly right-of-way line of HORIZON ROAD, (F.M. Road No. 3097, variable width right-of-way), South 45°37'17" East, a distance of 187.30 feet, to the POINT OF BEGINNING;

CONTAINING within these metes and bounds, 3.571 acres of land, more or less. Bearings shown hereon are based upon the northerly right-of-way line of RALPH HALL PARKWAY, (60 feet, right-of-way), as per Final Plat of HORIZON RIDGE ADDITION, an addition to the City of Rockwall, Rockwall County, Texas, as recorded in Cabinet E, Slide 117, of the Map Records of Rockwall County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the HORIZON RIDGE subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and parties who have a mortgage or lien interest in the HORIZON RIDGE subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspection, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the city be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the same time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

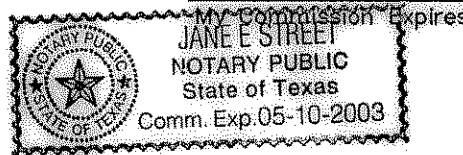
Jeff Johnston
QUORUM HORIZON RIDGE L.P.
JEFF JOHNSTON

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Jeff Johnston known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 30 Day of March, 2003.

Jane E. Street
Notary Public in and for the State of Texas



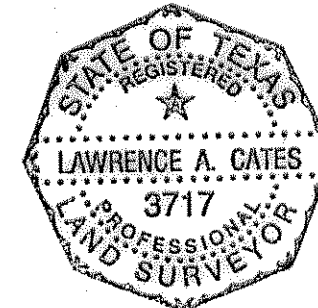
NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water, for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, LAWRENCE A. CATES, do hereby certify that I prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown hereon were properly placed under my personal supervision.

L.A. Cates
Registered Professional Land Surveyor
Texas Registration No. 3717

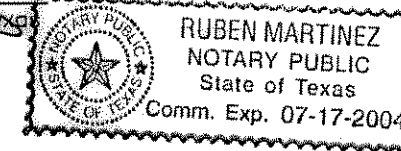


STATE OF TEXAS
COUNTY OF DALLAS

This instrument was acknowledged before me on the 20th day of MARCH, 2003.

By Ruben Martinez

Ruben Martinez
Notary Public in and for the State of Texas



My Commission Expires 7-17-04

RECOMMENDED FOR FINAL APPROVAL

Paul Thompson
Planning and Zoning Commission

27 Mar 03
Date

APPROVED

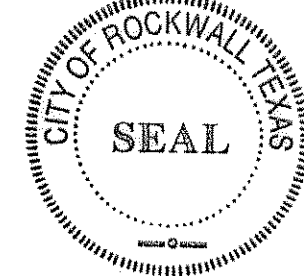
I hereby certify that the above and foregoing plat, with addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 11th day of March, 2003.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred twenty (120) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this 21st day of March, 2003.

Jeff Johnston
Mayor, City of Rockwall



Strothy Brooks
City Secretary City of Rockwall

Chuck Adell 3-26-03
City Engineer

AS BUILT
DATE 03-03-04

FILED FOR RECORD
ROCKWALL CO., TEXAS
03 MAR 27 PM 2:33
PAULETTE BURKS
CO. CLERK
BY: CA DEPUTY

OWNER
QUORUM HORIZON RIDGE L.P.
17400 DALLAS PARKWAY, SUITE 211
DALLAS, TEXAS 75287
CONTACT: JEFF JOHNSTON
(972) 380-1919

ENGINEER/SURVEYOR:
LAWRENCE A. CATES & ASSOC., INC.
14200 MIDWAY RD., STE. 122
DALLAS, TEXAS 75244
CONTACT: LAWRENCE A. CATES, P.E.
(972) 385-2272
FAX (972) 980-1627

E-278
REPLAT OF LOT 7 & 8, BLOCK A
HORIZON RIDGE ADDITION
AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING OUT OF THE
E. TEAL SURVEY- ABST. NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
FEBRUARY 4, 2003

03-13