

LOT 1  
BLOCK A  
HORIZON RIDGE ADDITION  
CAB. "E", S.L. 117, M.R.R.C.T.

LOT 2  
BLOCK A  
HORIZON RIDGE ADDITION  
CAB. "E", S.L. 117, M.R.R.C.T.

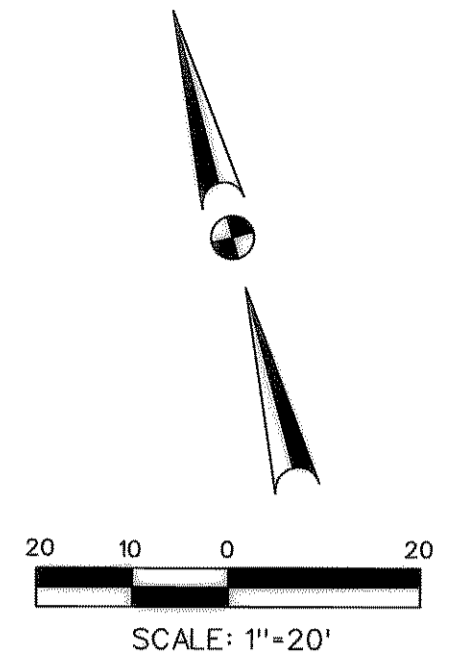
**CURVE DATA**  
 $\Delta = 19^\circ 23' 31''$   
 $R = 420.00'$   
 $A = 142.15'$   
 $CH = S 64^\circ 31' 35'' E 141.47'$

**BENCHMARK:**

SQUARE CUT ON THE NORTHEAST CORNER OF INLET ON THE EAST SIDE OF ARISTA ROAD,  
 APPROX. 200 FEET NORTH OF THE CENTERLINE OF RALPH HALL PARKWAY.  
 ELEV. 546.93'

**ARISTA ROAD**

(60' RIGHT-OF-WAY)



PROJECT B.M.  
 CUT "X" AT INLET CORNER  
 ELEV. 546.93

**GENERAL NOTES:**

- All construction shall be in accordance with these plans and the City of Rockwall standard construction details, ordinances and specifications, except as noted and approved otherwise.
- The locations of all utilities located on these plans are taken from available public records. The exact location and elevation of all public utilities shall be determined by the Contractor. It shall be the duty of the Contractor to determine whether any additional facilities other than those shown on these plans may be present prior to beginning construction. Any damage to existing public utilities due to Contractor's negligence shall be restored by the Contractor at no cost to the Owner.
- Contractor shall be responsible to secure all necessary permits from the City of Rockwall prior to beginning construction.
- Contractor shall notify electric, telephone, gas, the City of Rockwall Director of Utilities and other relevant agencies for on-site line location at least 48 hours prior to beginning construction.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- All dimensions are to face of curb unless indicated otherwise.
- Contractor shall verify elevations of existing storm sewer and other utilities present before commencing work.
- All fill to be compacted with sheep's foot roller.
- Contractor shall coordinate with Owner on wall type. Contractor shall submit wall design to City Engineer for review and approval prior to beginning construction.
- Refer to Geotechnical Report for requirements regarding fill compaction and moisture content.
- Unless otherwise noted, all fills to be compacted to a minimum of 95% standard proctor density within 3% of optimum moisture content. Fills to be placed in a maximum of 6" lifts.
- Sidewalks and accessible routes shall have a slope no greater than 5% and a cross-fall no greater than 2%. Grading of all handicapped spaces and routes to conform to state, local and federal guidelines. Barrier free ramps shall be constructed with grooves and fully colored to meet City requirements.
- A round manhole cover meeting City specifications shall be placed in all inlet tops. The manhole cover shall be placed near the outlet pipe.
- If required due to construction, power poles are to be placed or relocated at Contractor's expense.
- All work on civil plans including grassing shall be installed prior to P-5 (Building) approval.
- Prior to beginning construction of building 2 and 3, Contractor shall verify building location and dimension with Engineer and Architect to ensure compliance with codes.
- Contractor shall verify grade along existing concrete pavement prior to beginning construction and notify Engineer immediately of conflict.
- Mark fire lane to city specification. "NO PARKING FIRE LANE" every 25 feet, white 4-inch letters on a 6-inch red striped background.

**LEGEND:**

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**CAUTION!!!**  
 CONTACT:  
 GAS, TELEPHONE, ELECTRIC, TELECOM  
 AND OTHER RELEVANT AUTHORITIES  
 AT LEAST 48 HOURS PRIOR TO BEGINNING  
 CONSTRUCTION

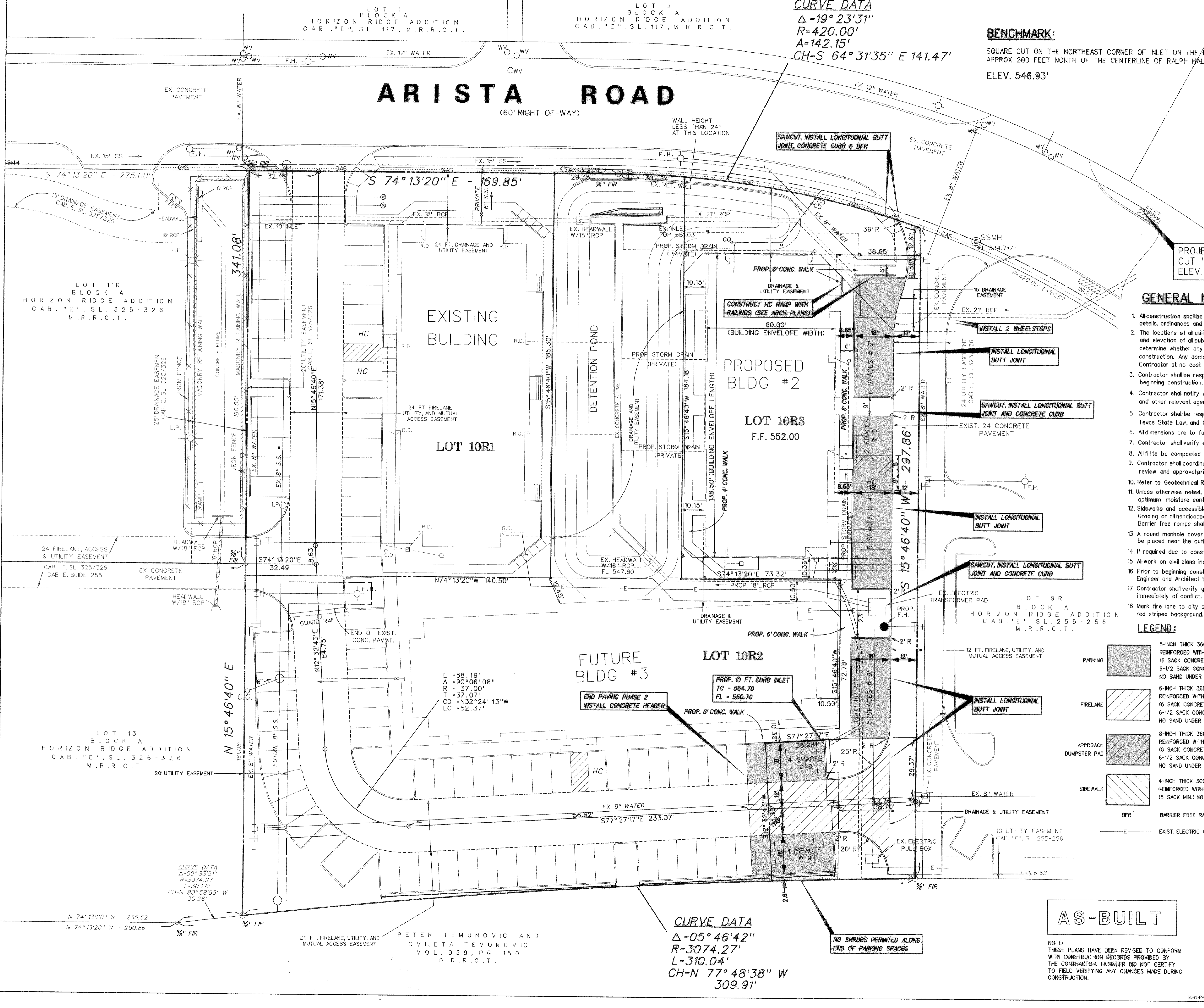


THE SEAL APPEARING ON THIS  
 DRAWING WAS AUTHORIZED BY  
 SIANG W. LIM, P.E. ON MAY 8, 2007

**AS-BUILT**

NOTE:  
 THESE PLANS HAVE BEEN REVISED TO CONFORM  
 WITH CONSTRUCTION RECORDS PROVIDED BY  
 THE CONTRACTOR. ENGINEER DID NOT CERTIFY  
 TO FIELD VERIFYING ANY CHANGES MADE DURING  
 CONSTRUCTION.

PAVING PLAN						
ROCKWALL OFFICE PARK - PHASE 2						
CITY OF ROCKWALL						
ROCKWALL COUNTY, TEXAS						
LIM & ASSOCIATES, inc.						
<small>engineering &amp; surveying consultants          1701 N. Market Street, Suite 405 / LB02          Dallas, Texas 75202          Tel. (214) 698-1888 • Fax (214) 698-9881</small>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LIM	LIM	MAY 2006	1"=20'			C5



**CURVE DATA**  
 $\Delta = 05^\circ 46' 42''$   
 $R = 3074.27'$   
 $L = 310.04'$   
 $CH = N 77^\circ 48' 38'' W 309.91'$

PETER TEMUNOVIC AND  
 CVIJETA TEMUNOVIC  
 VOL. 9.59, PG. 150  
 D.R.R.C.T.

**CURVE DATA**  
 $\Delta = 00^\circ 33' 51''$   
 $R = 3074.27'$   
 $L = 30.28'$   
 $CH = N 80^\circ 58' 55'' W 30.28'$