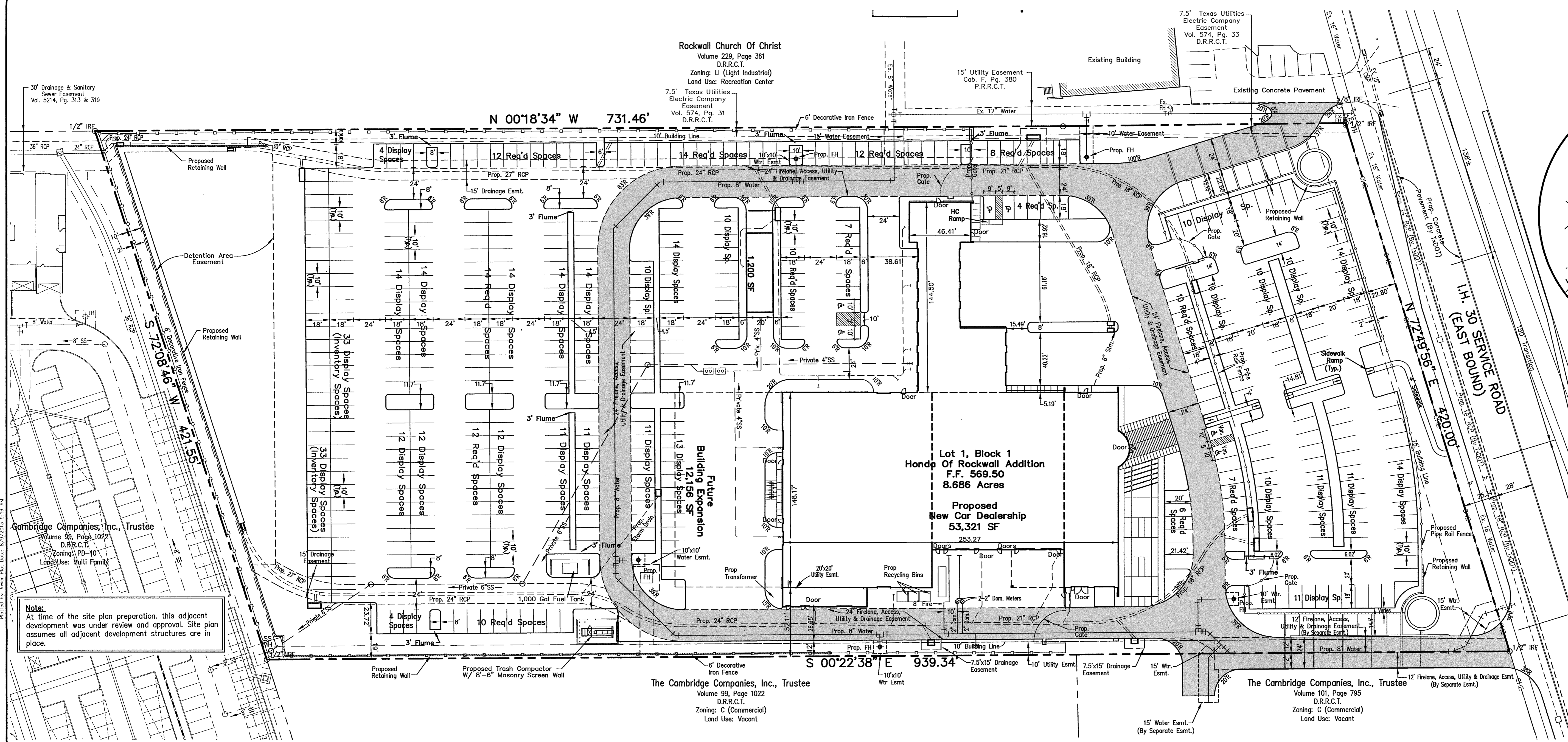


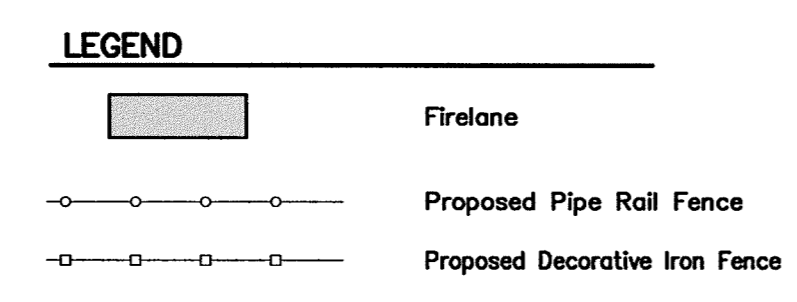
Vicinity Map

Note:
All work to be done within TxDOT Right-of-Way shall conform to TxDOT Standards and Specifications. Any existing utilities shall be relocated clear of the proposed turn lane pavement.



Note:
At time of the site plan preparation, this adjacent development was under review and approval. Site plan assumes all adjacent development structures are in place.

- VARIANCE REQUESTS FOR SPECIAL CONSIDERATION:**
- Request to allow four overhead doors perpendicular to I-30.
 - Request to allow two double loaded parking bays between main building and I-30.
 - Request alternative building materials.
 - Request vertical walls in detention pond.



SYNOPSIS

Lot 1, Block 1	
Zoning	C-Commercial, SUP 41
Use	Car Dealership
Lot Area	8,686 Ac. (378,352 S.F.)
Building Area	53,321 Sq. Ft.
Building Height	2-Story (36' Max.)
Lot Coverage	13.3% Of Site
Parking Required:	
4,745 s.f. Showroom @ 1 sp./250 s.f.	= 19 Sp.
16 Service Bays @ 2 sp./Bay	= 32 Sp.
24,350 s.f. Office @ 1 sp./300 s.f.	= 81 Sp.
Total Parking Required:	132 Sp.
Total Parking Provided:	169 Req'd Sp. (Incl. 6 HC)
	370 Display Sp.
	Total 539 Sp. (Incl. 6 HC)

Pervious Area: 98,273 s.f.
Imperious Area: 280,079 s.f.

- GENERAL NOTES**
- All materials and construction shall conform to City of Rockwall Stds. and Specifications and NCTCOG 3rd Edition.
 - Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth. Contractor shall provide a trench safety plan.
 - The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
 - It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
 - All dimensions are to the face of curb or edge of building.
 - See Architectural Plans for exact building and related sidewalk dimensions.
 - All parking spaces are 10'x18' unless noted otherwise.
 - All paving and earthwork operations shall conform to the recommendations in the Geotechnical Investigation Report
 - Contractor shall install handicap signage adjacent to back of curb at all handicap parking spaces.
 - Fire lanes shall be striped in accordance with the City of Rockwall Standards.
 - Contractor shall install traffic control for any work within city R.O.W. traffic control shall conform to part VI of the "Texas Manual on Uniform Traffic Control Devices".

RECORD DRAWINGS

NOTE:
To the best of our knowledge Spiars Engineering, Inc. hereby states that this plan is a Record Drawing. The information provided is based on field surveying at the site and information provided by the contractor.

SHEET 1 OF 1
SITE PLAN
OF
HONDA OF ROCKWALL ADDITION
LOT 1, BLOCK A
8.686 ACRES
situated in the
J. LOCKHART SURVEY ~ ABSTRACT 134
J.M. ALLEN SURVEY ~ ABSTRACT 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner
Glocal Development L.L.C.
5901 Warner Ave. Suite 200
Huntington Beach, CA 99264
Contact: Mr. John Troll
Telephone (949) 797-1005

Owner Representative
The Ratliff Group, LLC
8925 Sterling Street, Suite 270
Irving, Texas
Telephone (972) 915-0000
Contact: Bennett Ratliff

Engineer/Surveyor
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
Telephone (972) 422-0077
Contact: Kevin Wier

Drawn: 8/2011, 08/25/11-12 sheets of Rockwall-111-112-SITE-Plan, Sheet No. 8/2/2011, 7:59:46 AM
 Checked By: John Ratliff, Date: 8/2/2011 8:14 AM