

7/21/99  
BY ANPH INC.

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**anph**

**ROCKWALL OFFICE/RETAIL**  
CITY OF ROCKWALL, TEXAS

JOB NO. 99339

DRAWN BY \_\_\_\_\_

CHECKED BY \_\_\_\_\_

ISSUE DATE 10-25-99

REVISIONS \_\_\_\_\_

SHEET NUMBER \_\_\_\_\_

**C2**

SHEET OF \_\_\_\_\_

HORIZON RD.

LOT 1, BLOCK A  
ECKERD ADDITION  
CAB. D, SL. 61-62

ISAAC BROWN'S LAND PARTITIONED TO HIS HEIRS  
VOL. 1, PG. 57 & CAB. A, SL. 57

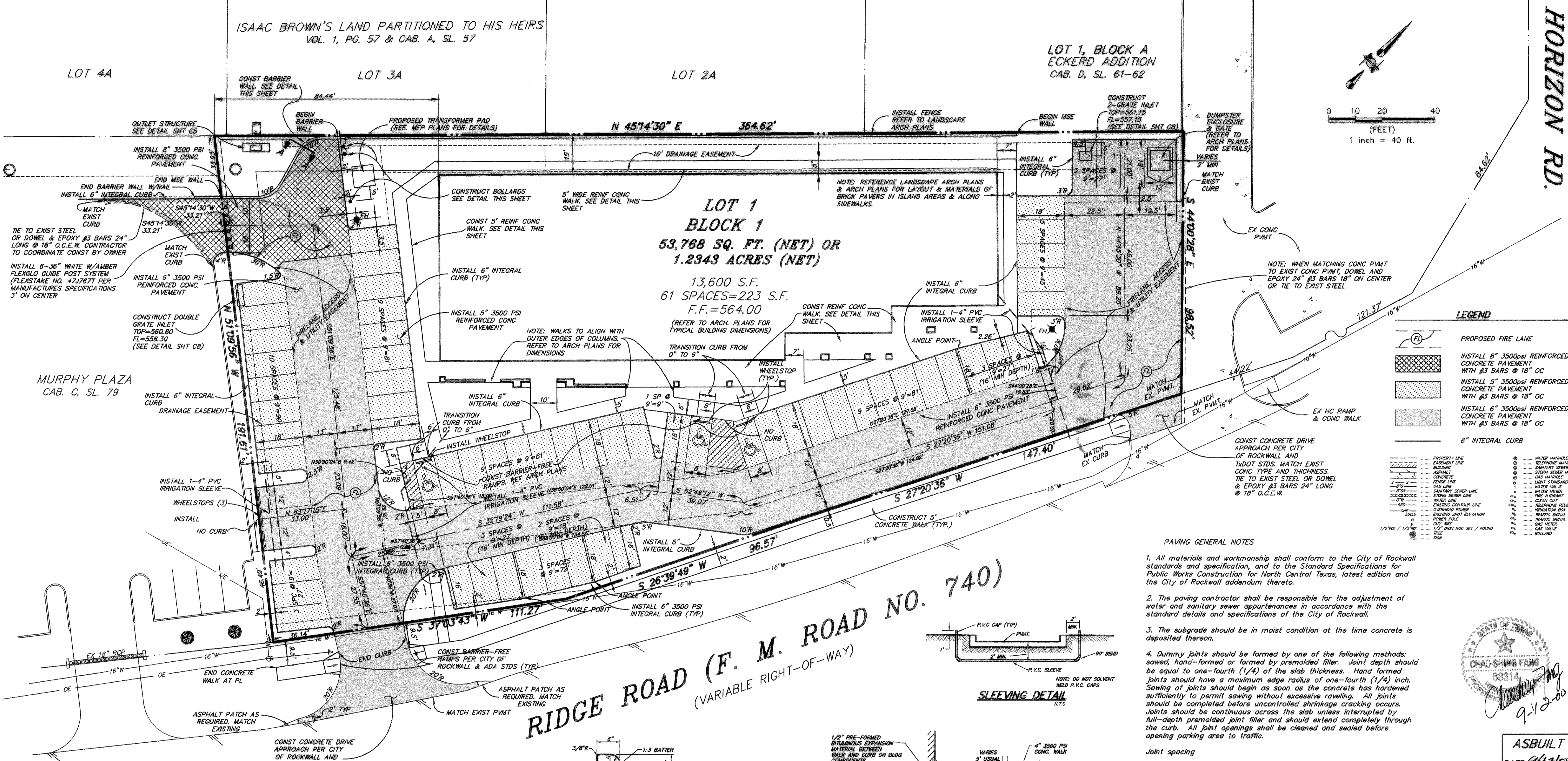
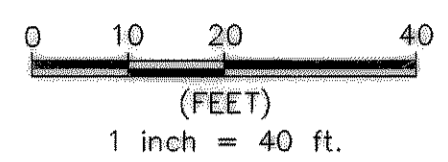
LOT 4A

LOT 3A

LOT 2A

N 45°14'30" E 364.62'

**LOT 1  
BLOCK 1**  
53,768 SQ. FT. (NET) OR  
1.2343 ACRES (NET)  
13,600 S.F.  
61 SPACES=223 S.F.  
F.F.=564.00  
(REFER TO ARCH. PLANS FOR  
TYPICAL BUILDING DIMENSIONS)

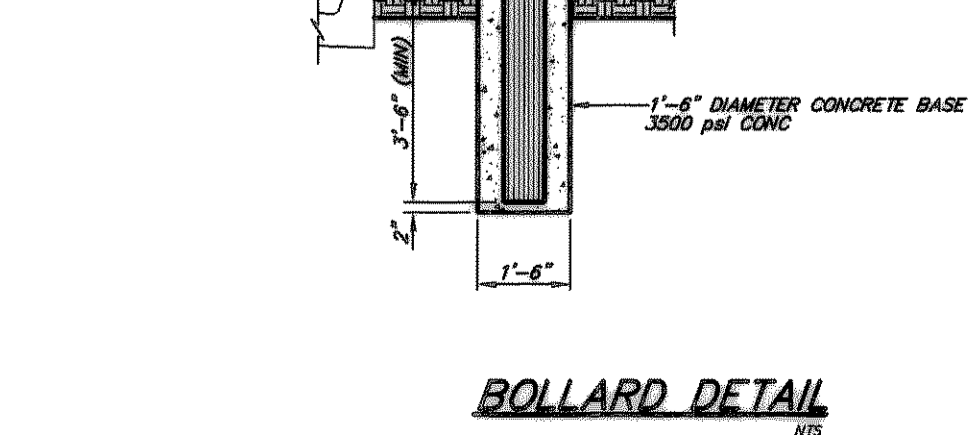
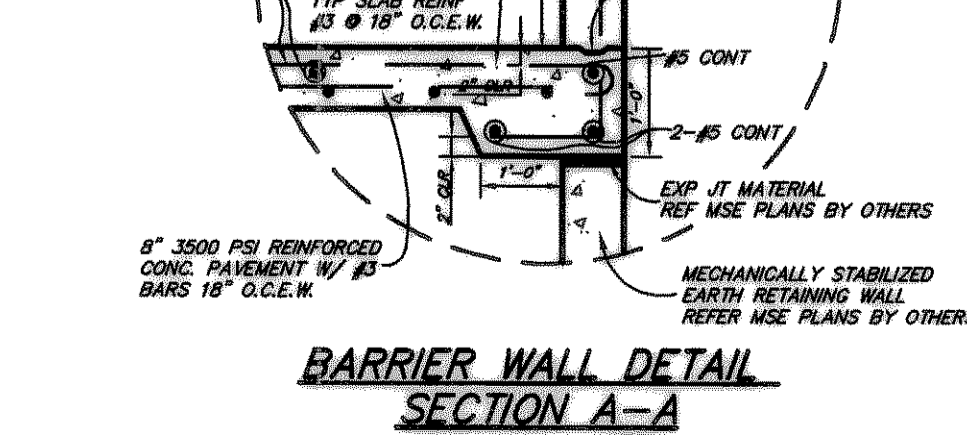
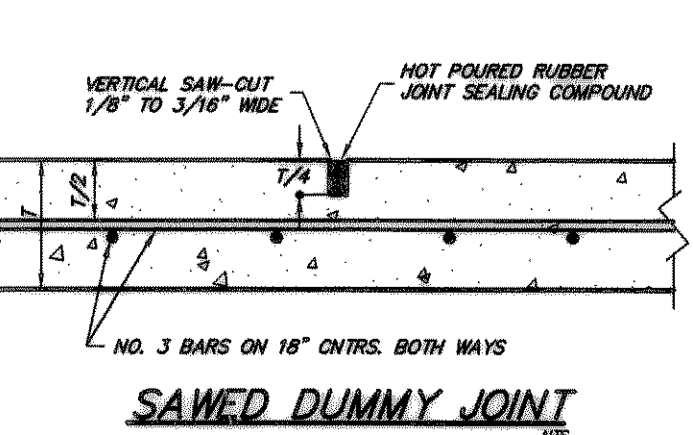
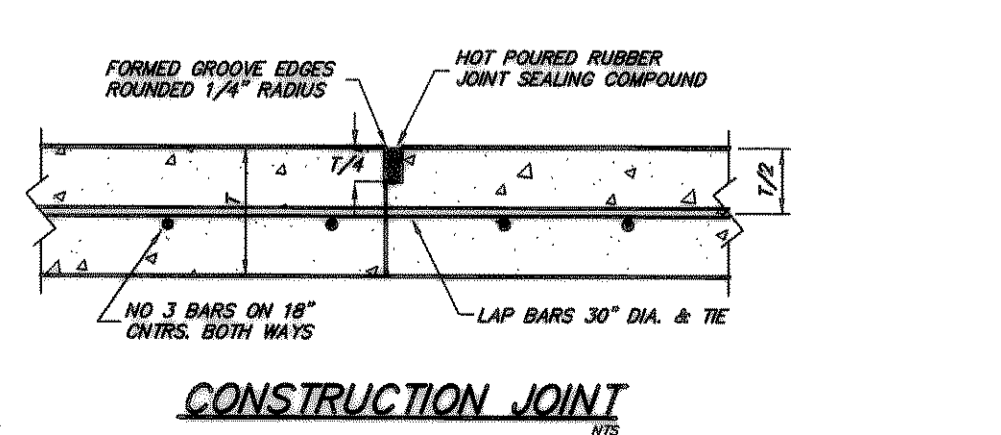
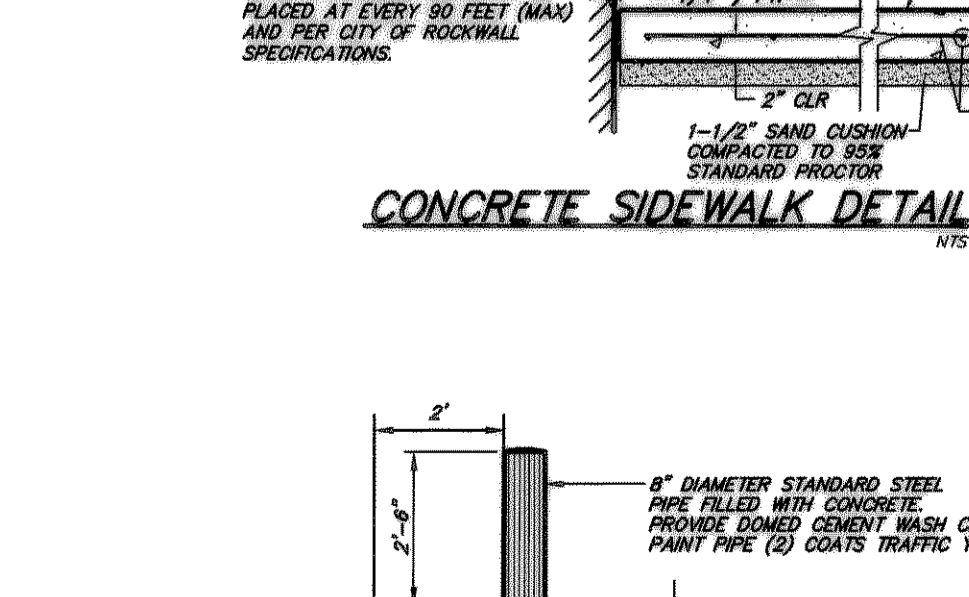
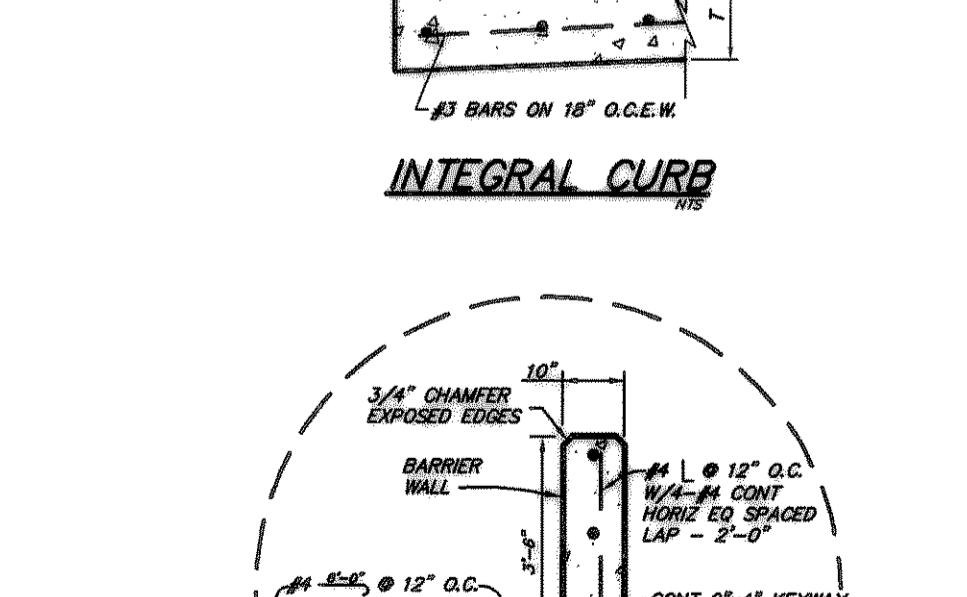
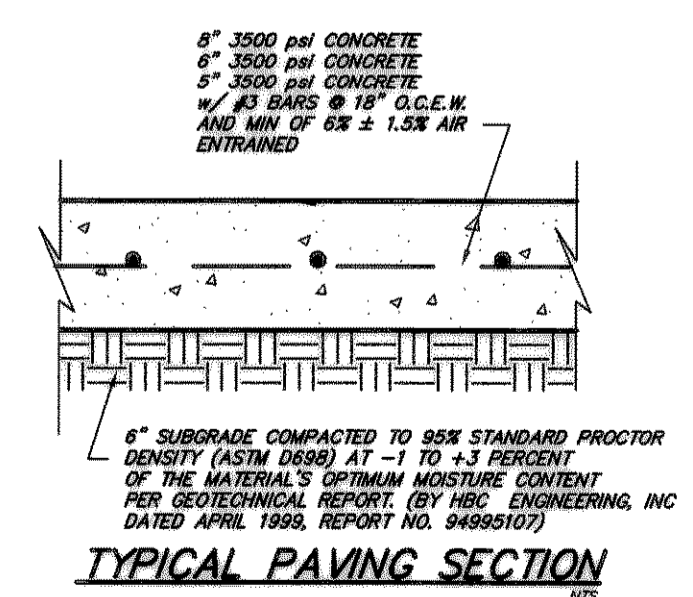
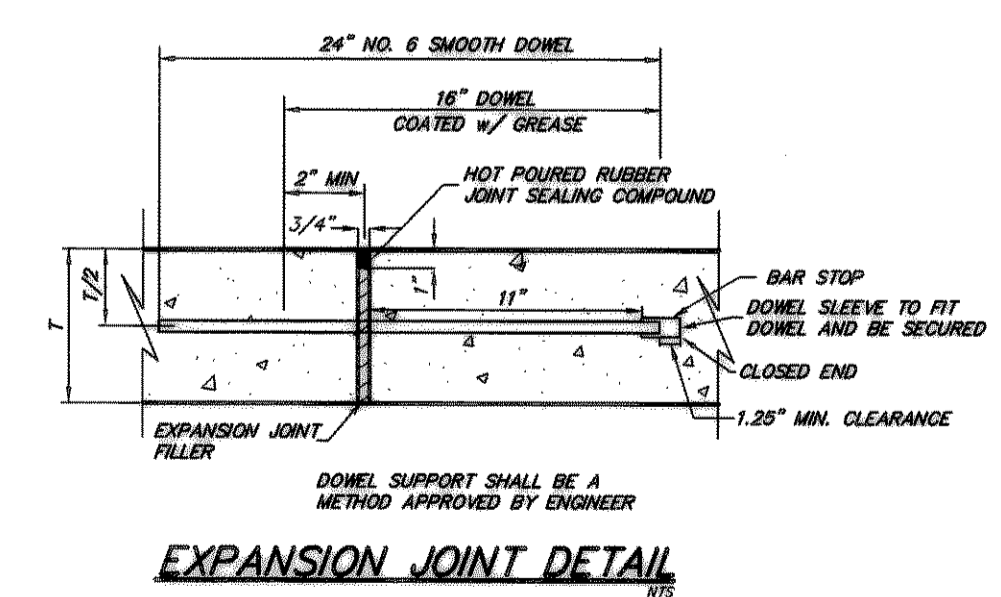


**LEGEND**

[Symbol]	PROPOSED FIRE LANE
[Symbol]	INSTALL 8" 3500psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" OC
[Symbol]	INSTALL 5" 3500psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" OC
[Symbol]	INSTALL 6" 3500psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" OC
[Symbol]	6" INTEGRAL CURB
[Symbol]	PROPERTY LINE
[Symbol]	EASEMENT LINE
[Symbol]	BOUNDARY
[Symbol]	ASPHALT
[Symbol]	CONCRETE
[Symbol]	FINISH LINE
[Symbol]	STONE SERVICE LINE
[Symbol]	WATER SERVICE LINE
[Symbol]	SEWER SERVICE LINE
[Symbol]	OVERHEAD POWER
[Symbol]	COVERING POLE ELEVATION
[Symbol]	CITY TREE
[Symbol]	TIME
[Symbol]	SOIL
[Symbol]	WATER MANHOLE
[Symbol]	TELEPHONE MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	STORM SEWER MANHOLE
[Symbol]	4" GAS VALVE
[Symbol]	1" GAS VALVE
[Symbol]	WATER METER
[Symbol]	FIRE WORKS
[Symbol]	CLEAN OUT
[Symbol]	TELEPHONE PEDestal
[Symbol]	IRIGATION BOX
[Symbol]	TRAFFIC SIGNAL BOX
[Symbol]	TRAFFIC SIGNAL BOX
[Symbol]	4" GAS VALVE
[Symbol]	4" GAS VALVE
[Symbol]	4" GAS VALVE

**PAVING GENERAL NOTES**

- All materials and workmanship shall conform to the City of Rockwall standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas, latest edition and the City of Rockwall addendum thereto.
  - The paving contractor shall be responsible for the adjustment of water and sanitary sewer manholes in accordance with the standard details and specifications of the City of Rockwall.
  - The subgrade should be in moist condition at the time concrete is deposited thereon.
  - Dummy joints should be formed by one of the following methods: sawed, hand-formed or formed by pre-molded filler. Joint depth should be equal to one-fourth (1/4) of the slab thickness. Hand formed joints should have a maximum edge radius of one-fourth (1/4) inch. Sawing of joints should begin as soon as the concrete has hardened sufficiently to permit sawing without excessive raveling. All joints should be completed before uncontrolled shrinkage cracking occurs. Joints should be continuous across the slab unless interrupted by full-depth pre-molded joint filler and should extend completely through the curb. All joint openings shall be cleaned and sealed before opening parking area to traffic.
- Joint spacing
- |                  |                     |
|------------------|---------------------|
| Expansion joints | 90' max             |
| Sawed Joints     | 17' for 8" pavement |
| Sawed Joints     | 15' for 6" pavement |
| Sawed Joints     | 12' for 4" pavement |
- Construction Joints Located at sawed joints or Expansion joints.



- Expansion joints or isolation joints shall be used to isolate fixed objects abutting or within the paved area. They should contain pre-molded joint filler for the full depth of the slab and should be sealed prior to opening to traffic.
- All dimensions are to face of curb unless otherwise noted.
- All concrete shall be Class C concrete with a min. Compressive strength of 3500 psi at 28 days, and a minimum of 6% +/- 1.5% air entrained. (5.5 sack min machine pour, 6 sack min hand pour).
- Contractor shall obtain and pay for any permits required.
- Contractor shall remove all surplus dirt, debris, etc., from site and dispose of legally offsite. All work areas shall be cleaned up at the completion of the work.
- Surface finishing shall be skid resistant, a liquid curing compound shall be uniformly sprayed on the concrete immediately after the finishing operation.
- Contractor shall provide all safety devices for the protection of the public.
- All parking stalls to be marked by a 4" wide painted white stripe as indicated on the drawings.
- The use of fly ash in concrete will not be allowed.

**BENCHMARK #1**  
Top of sanitary sewer manhole at the northwest corner of Horizon Road and Ridge Road; 36 feet west of the point of reverse curvature on Horizon Road and 21 feet north of the back of curb. Elev. - 562.26

**BENCHMARK #2**  
60d nail in power pole at the southwest corner of Ridge Road and Horizon Road, on Horizon Road 5 feet +/- or - off of back of curb. Elev. - 561.29

**BENCHMARK #3**  
1" in top center of 10 foot inlet on the south side of Horizon Road and 357 feet +/- or - west of right-of-way of F.M. 740. Elev. - 557.32

**RLG**  
RAYMOND L. GOODSON JR., INC.  
CONSULTING ENGINEERS  
SUITE 300, 5445 LA SIERRA DRIVE  
DALLAS, TEXAS 75231 214/739-8100  
RLG # 99339

**PAVING & DIMENSIONAL CONTROL PLAN**  
SCALE: 1"=20'

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