

FILE

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NOT AS-BUILT
PLANS.
ENGINEER
DIDN'T
PROVIDE
RECORD
DRAWINGS TO

HAIR MOTION SALON

HAIR MOTION SALON
HWY. 66 & FIRST STREET
ROCKWALL, TEXAS

HERALD E. MONK
CONSULTING ENGINEER

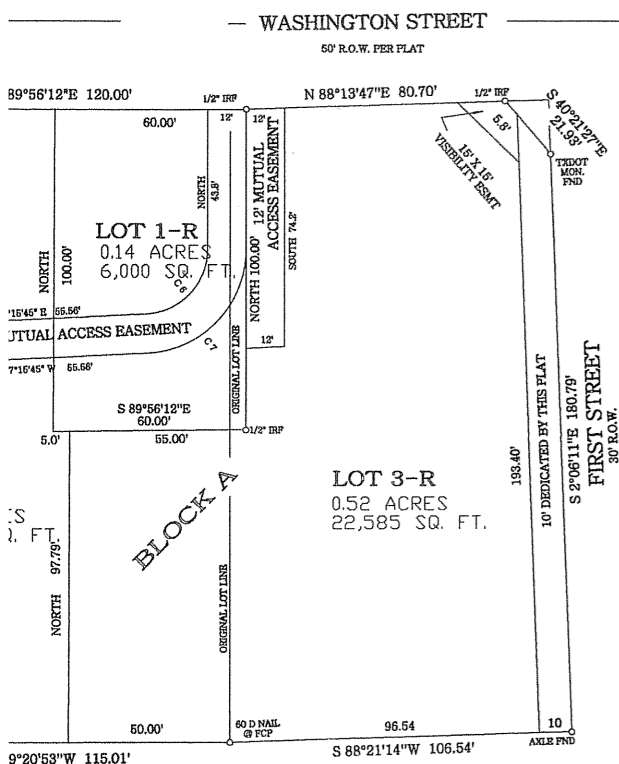
APPROVED FOR
CONSTRUCTION

AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer: GAT

HAIR MOTION SALON
HWY. 66 & FIRST STREET
ROCKWALL, TEXAS
JUNE 3, 2003
JULY 15, 2003 DRIVE REVISIONS
JULY 24, 2003 REVISIONS
JULY 29, 2003 REVISIONS
AUG. 1, 2003 REVISIONS

CURVE DATA	TANGENT	CHORD	BEARING	DELTA	DELTA
LENGTH	21.39	11.11	20.99	S 19°08'57"W	38°17'55"
	8.19	4.14	8.15	N 28°38'05"E	21°20'09"
	13.72	7.14	13.45	S 19°39'05"W	39°18'10"
	32.37	20.98	28.95	S 46°22'08"E	92°44'15"
	51.79	33.57	46.32	S 46°22'08"E	92°44'15"
	30.46	19.07	27.60	S 43°37'52"W	87°15'45"
	48.74	30.51	44.16	N 43°37'52"E	87°15'45"



STATE OF TEXAS
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE
(Public Dedication)

WHEREAS HAIR MOTION, INC. and LORRAINE BURNS, BEING THE OWNERS OF A TRACT OF Land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTON SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being Block 7, LDWE AND ALLEN ADDITION, an Addition to the City of Rockwall, Texas, according to the Map thereof recorded in Volume K, Page 242 of the Deed Records of Rockwall County, Texas, and being all of Lot 1-R and 2-R, of WASHINGTON PLACE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet E, Slide 209 of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:
BEGINNING at a 1/2" iron rod found for corner in the South right-of-way line of W. Washington Street (50' R.O.W.) said point being at the Northwest corner of said Lot 2-R; and being N. 89 deg. 56 min. 12 sec. E. along said right-of-way line, a distance of 120.00 feet to a 1/2" iron rod found for corner;
THENCE N. 88 deg. 13 min. 47 sec. E. a distance of 80.70 feet to a 1/2" iron rod found for corner at the intersection of said right-of-way line with the Northwest line of a right-of-way deed to the State of Texas, as recorded in Volume 1903, Page 66 of the Real Property Records of Rockwall County, Texas;
THENCE S. 89 deg. 56 min. 12 sec. E. along said right-of-way line, a distance of 120.00 feet to a 1/2" iron rod found for corner;
THENCE N. 88 deg. 13 min. 47 sec. E. a distance of 80.70 feet to a 1/2" iron rod found for corner at the intersection of said right-of-way line with the Northwest line of a right-of-way deed to the State of Texas, as recorded in Volume 1903, Page 66 of the Real Property Records of Rockwall County, Texas;
THENCE S. 40 deg. 21 min. 27 sec. E. along said right-of-way line, a distance of 21.93 feet to TXDOT monument found for corner in the West right-of-way line of First Street;
THENCE S. 02 deg. 06 min. 11 sec. E. along said right-of-way line, a distance of 180.79 feet to an axle rod found for corner at the Southeast corner of said Block 7;
THENCE S. 88 deg. 21 min. 14 sec. W. along the South line of Block 7, a distance of 106.54 feet to a 60d nail found for corner at the base of a fence corner post at the Southeast corner of tract of land as described in a Warranty deed to Lorraine Burns, as recorded in Volume 1947, Page 59 of the Real Property Records of Rockwall County, Texas;
THENCE S. 89 deg. 20 min. 53 sec. W. a distance of 115.01 feet to a 1/2" iron rod found at the Southwest corner of said Lot 2-R;
THENCE NORTH (Controlling bearing line) along the West line of said Lot 2-R, a distance of 199.79 feet to the POINT OF BEGINNING and containing 41,024 square feet or 0.94 acres of land.

RECOMMENDED FOR FINAL APPROVAL
Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of REPLAT WASHINGTON PLACE, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2003.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this ____ day of _____, 2003.

Mayor, City of Rockwall _____ City Secretary City of Rockwall

City Engineer _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as REPLAT WASHINGTON PLACE, A Replat of Part of Block 7 of LDWE & ALLEN ADDITION, an Addition to the City of Rockwall, Texas, and whose names are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

TESTED AND SIGNED For HAIR MOTION, INC. Lorraine Burns

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this ____ day of _____, 2003.

Notary Public in and for the State of Texas _____ My Commission Expires _____
STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this ____ day of _____, 2003.

Notary Public in and for the State of Texas _____ My Commission Expires _____

APPROVED FOR CONSTRUCTION

AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer: _____

OWNERS:
LORRAINE BURNS &
HAIR MOTION, INC.
c/o DEE HERRING
PO BOX 1482
ROCKWALL, TEXAS 75087
972-722-8040

REPLAT
WASHINGTON PLACE
LOT 1-R, 2-R AND 3-R, BLOCK A
A REPLAT OF BLOCK 7
LOWE & ALLEN ADDITION
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

RSC LAND SURVEYING
308 E. WASHINGTON, SUITE C ROCKWALL, TEXAS 75087 PHONE (972) 772-5434 FAX (972) 772-5443

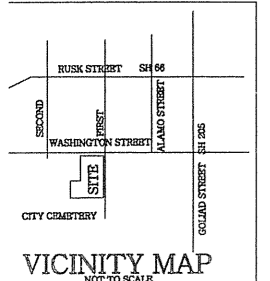
NOT AS-BUILT PLANS. ENGINEER DIDN'T PROVIDE RECORD DRAWINGS TO

CITY OF ROCKWALL
SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat and accurate survey of the land and that the corner monuments shown thereon placed under my personal supervision.

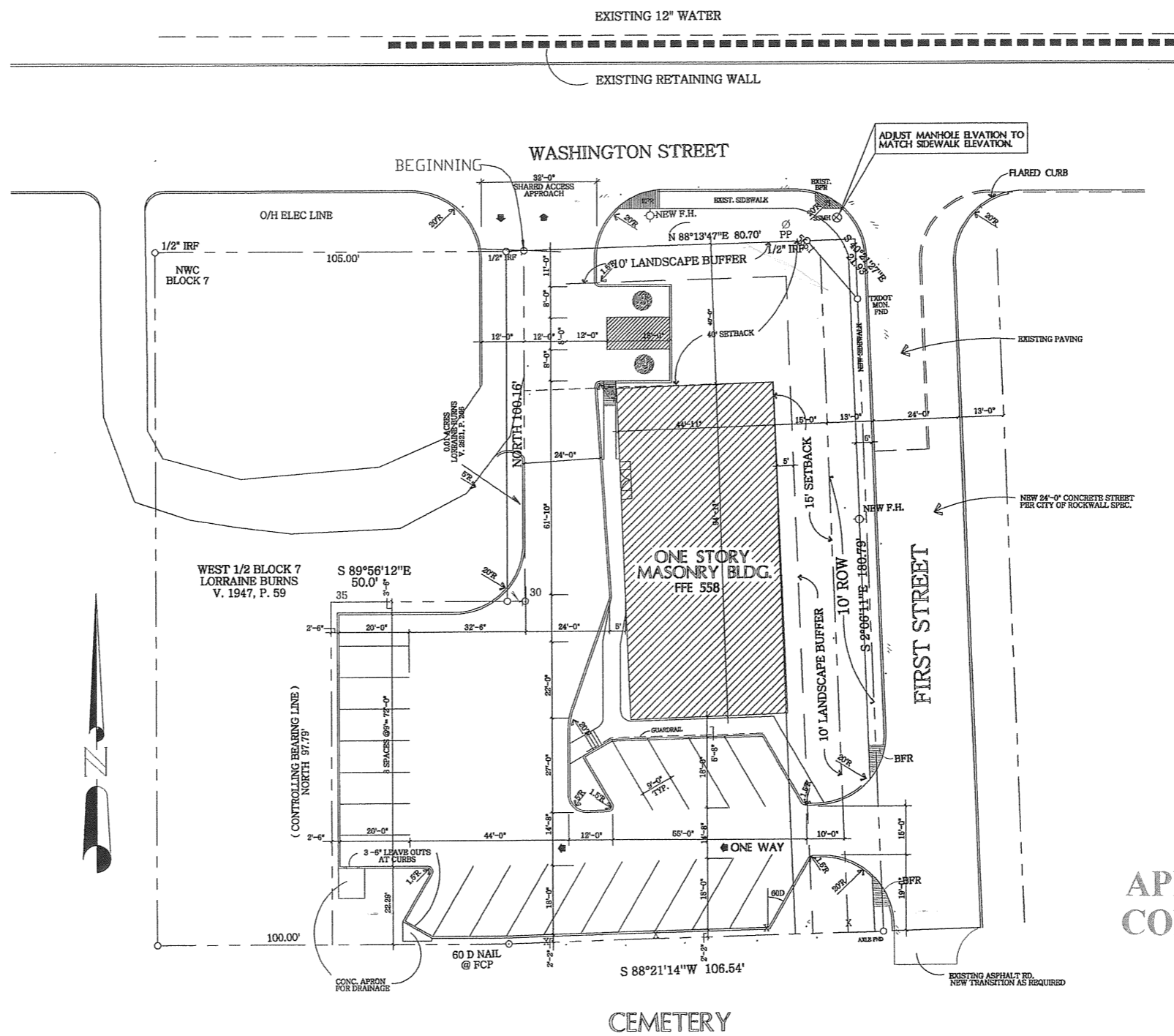
Professional Land Surveyor No. 5034



NOTES
F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated 12/2/82, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
ALL CORNERS ARE CAPPED WITH YELLOW PLASTIC CAPS *R.S.C.I. RPLS 5034.*

It is the policy of the City of Rockwall to withhold issuing building permits until sewer and storm drainage systems have been accepted by the City. The plat by the City does not constitute any representation, assurance or guarantee and within such plat shall be approved, authorized or permit therefore issued, approval constitute any representation, assurance or guarantee by the City of Rockwall. This plat is for personal use and fire protection within such plat, under Ordinance 83-54.

**NOT AS-BUILT
PLANS.
ENGINEER
DIDN'T
PROVIDE
RECORD
DRAWINGS TO**



**APPROVED FOR
CONSTRUCTION**

AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer: _____

SITE PLAN
SCALE 1"=20'-0"

NOTE: DIMENSIONS ARE FACE OF CURB TO FACE OF CURB

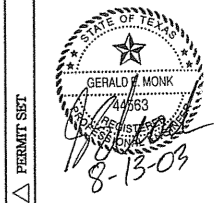
PROJECT TABULATION

SITE AREA	19,602 SF
ZONING	GENERAL REATIL
BUILDING AREA COVERAGE	4275 SF 21.8 %
PARKING REQUIRED	22
PARKING PROVIDED	25
BUILDING HEIGHT	28'

HAIR MOTION
SH 66 & FIRST STREET
ROCKWALL, TEXAS
TRACT 1
B.F. BOYSTUD SURVEY
ABSTRACT NO.14
LOWE & ALLEN ADDITION
ROCKWALL, TEXAS
PREPARED BY
GERALD MONK
CONSULTING ENGINEER
972-864-8028

GERALD E. MONK
CONSULTING ENGINEER
2488 PATRICIA SUITE C, GARLAND, TX 75040
972-864-8028

HAIR MOTION SALON
SH 66 & FIRST STREET
ROCKWALL, TEXAS



6-2-03 CITY COMMENTS
6-15-03 REVISED DRIVE
7-28-03 FINAL CITY COMMENTS
Date Issued 5-16-03
Project No. 2003-15
Sheet Title SITE PLAN
Sheet Number C101
Sequence of

END

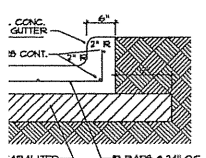
- CONSTRUCTION JOINT
- EXPANSION JOINT
- C = CONCRETE
- W = ON CENTER EACH WAY
- NEW PAVING
- BFR = BARRIER FREE RAMP
- W/ = WITH
- STD = STANDARD
- L/S = FOUND
- S/Y = SQUARE YARDS
- EXISTING PAVING

STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS,
STORM DRAINAGE FACILITIES, IN PUBLIC
WORK SHALL BE CONSTRUCTED IN CONFORMANCE WITH
CITY STANDARD CONSTRUCTION DETAILS OR
CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.

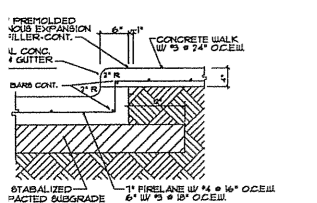
CONSTRUCTION SPECIFICATIONS

CONCRETE
CONCRETE: ALL CONCRETE TO BE 3000 PSI CONCRETE @ 28 DAYS MINIMUM COMPRESSIVE STRENGTH. REINFORCING TO BE A MIN. OF #3 BARS @ 18 INCHES ON CENTER EACH WAY. FIRST STREET 3600 PSI SACK MACHINE @ 6 1/2" SACK BY HAND ON 6% LIME SUBGRADE. MINIMUM 4 INCH SAND CUSHION SHALL BE PLACED ON A SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY. FORMS SHALL BE SET TRUE TO LINE AND GRADE SHALL BE A MIN. OF 6-12 INCHES DEEP. FORMS TO BE SET SO THAT NO CONCRETE SHALL FLOW UNDER THEM. ASPHALT COAT OR DOWEL SLEEVE THROUGH SECOND FOUR. EXPANSION JOINTS AT 25'-0" MAX. SPACING. REDWOOD EXPANSION MATERIAL (1/2" MIN) ON CONSTRUCTION JOINTS (1/2" X 1") OR TOOLED JOINTS AT 5'-0" ON CENTER MAXIMUM.

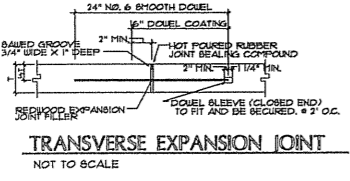
PAVING
PAVING TO BE 3000 PSI CONCRETE @ 28 DAYS MIN. COMPRESSIVE STRENGTH. REINFORCING TO BE #3 BARS AT 16 INCH CENTERS MINIMUM. BARS TO ASTM GRADE 60. SUBGRADE TO BE ADEQUATELY COMPACTED PER SOIL REPORT AND ALL GRADES TO PROVIDE POSITIVE DRAINAGE. EXPANSION JOINT MATERIAL SHALL BE A MIN. OF 3/4" X THICKNESS OF PAVING. DOWELLS AT ALL EXPANSION JOINTS OF A DIAMETER OF 1/2". EXPANSION JOINTS AT A MAX DIATANCE OF 40 FEET. CONSTRUCTION JOINTS OR SAWED JOINTS AT 20 FEET ON CENTER.



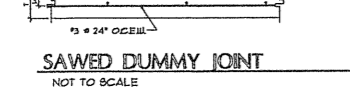
CONCRETE CURB
NOT TO SCALE



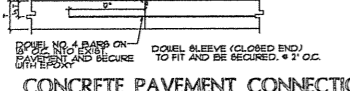
CONCRETE SIDEWALK
NOT TO SCALE



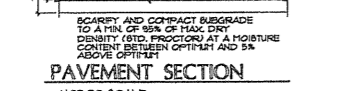
TRANSVERSE EXPANSION JOINT
NOT TO SCALE



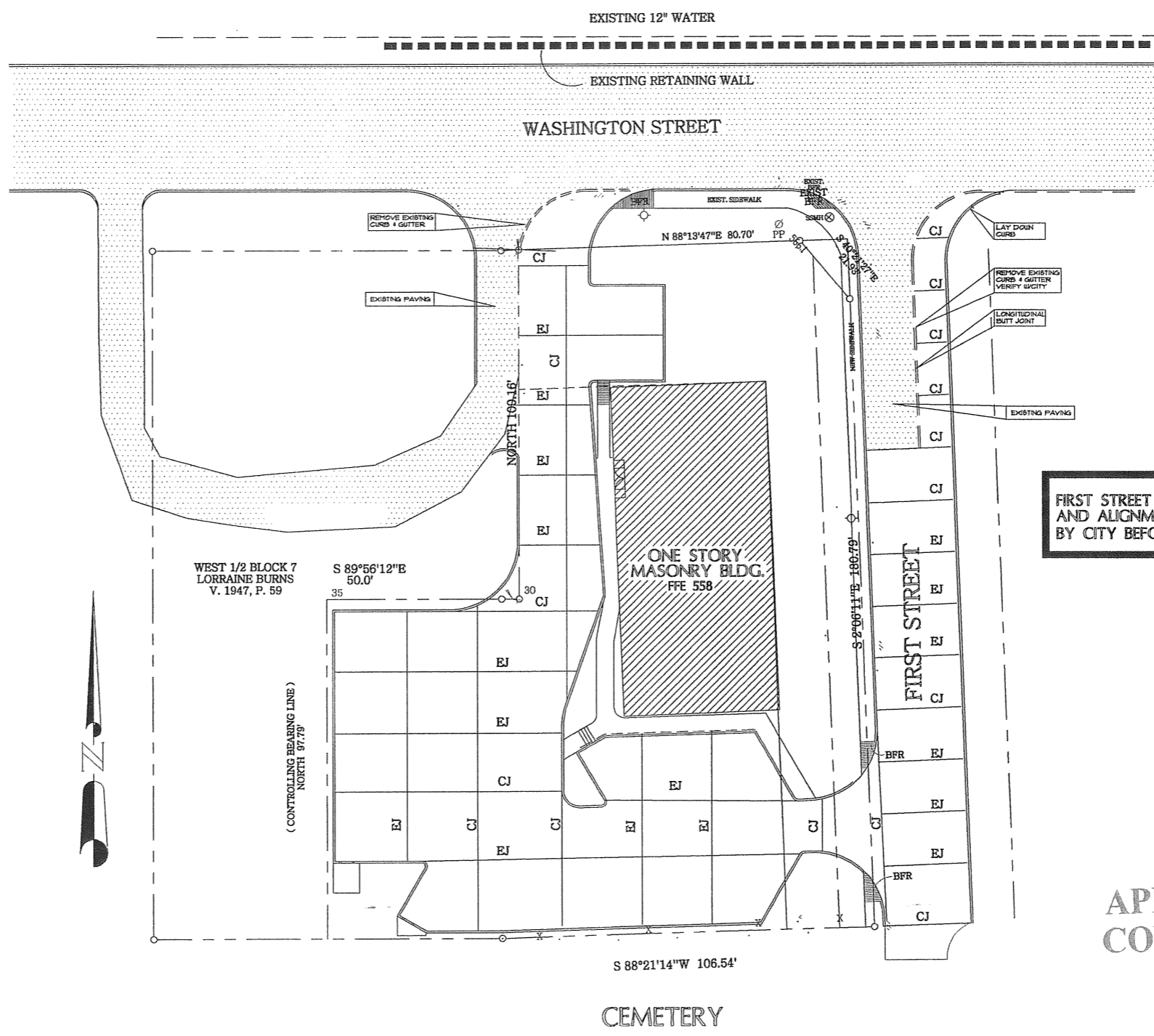
SAWED DUMMY JOINT
NOT TO SCALE



CONCRETE PAVEMENT CONNECTION
NOT TO SCALE



PAVEMENT SECTION
NOT TO SCALE



FIRST STREET TO BE STACKED AND ALIGNMENT APPROVED BY CITY BEFORE CONSTRUCTION

APPROVED FOR CONSTRUCTION

AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer: _____

PAVING PLAN
SCALE 1"=20'-0"

NOT AS-BUILT PLANS. ENGINEER DIDN'T PROVIDE RECORD DRAWINGS TO

HAIR MOTION
SH 66 & FIRST STREET
ROCKWALL, TEXAS
TRACT 1
B.F. BOYSTUD SURVEY
ABSTRACT NO.14
LOWE & ALLEN ADDITION
ROCKWALL, TEXAS
PREPARED BY
GERALD MONK
CONSULTING ENGINEER
972-864-8028

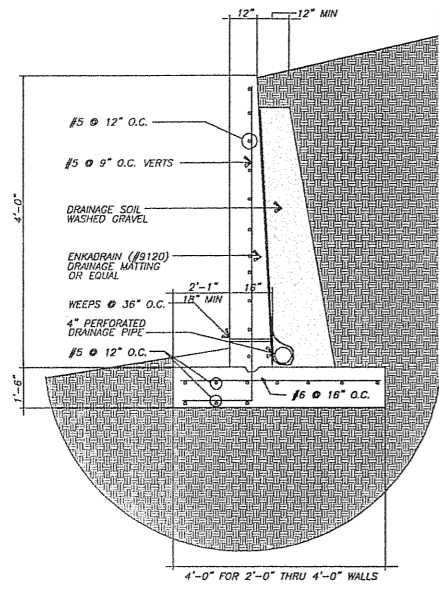
PERMIT SET
 6-2-03 CITY COMMENTS
 7-15-03 REVISED DRIVE
 7-28-03 FINAL CITY COMMENTS
 8-01-03 CITY COMMENTS

GERALD E. MONK
 CONSULTING ENGINEER
 2488 PATRICIA SUITE C, GARLAND, TX 75040
 972-864-8028

HAIR MOTION SALON
 SH 66 & FIRST STREET
 ROCKWALL, TEXAS

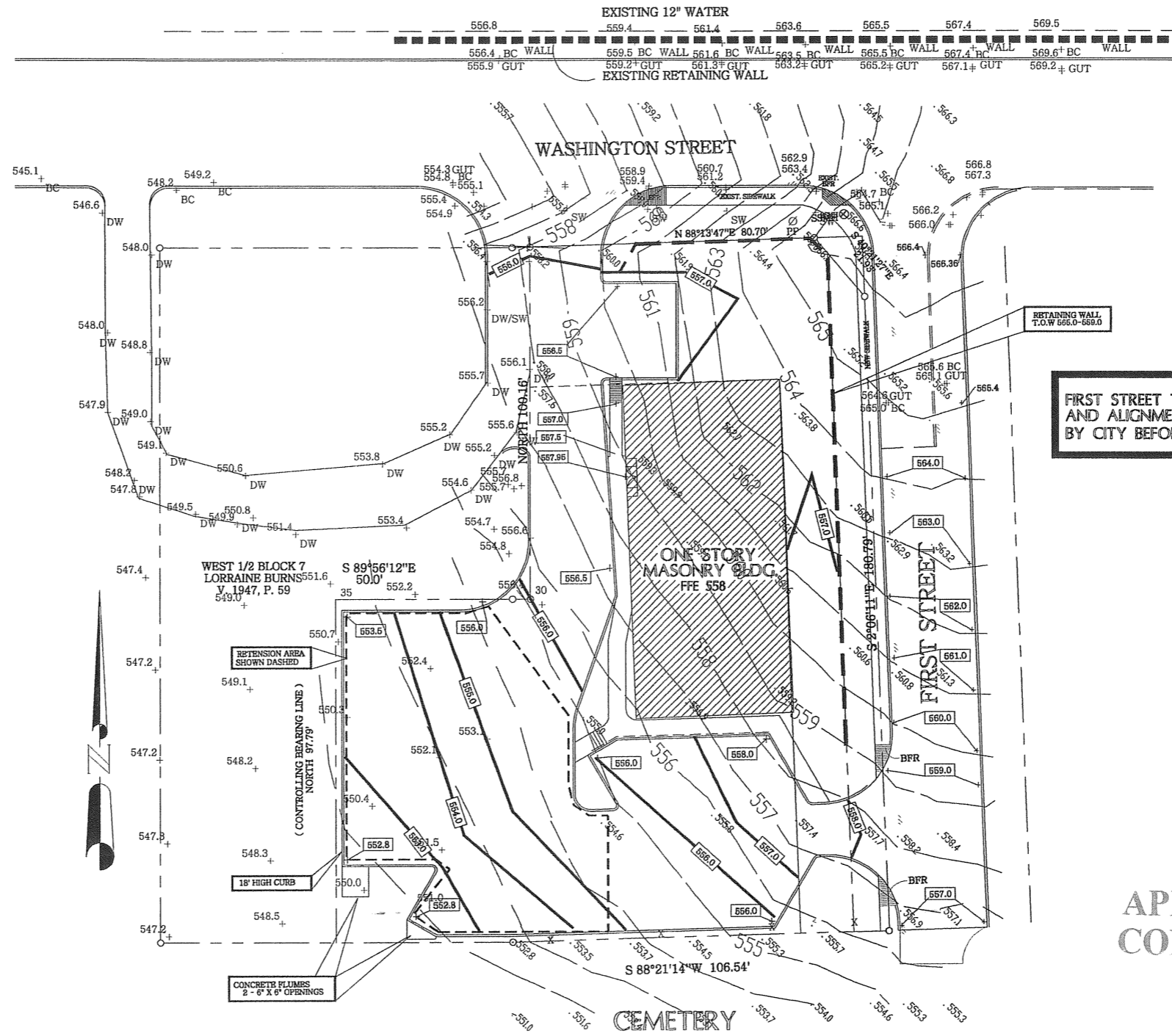
STATE OF TEXAS
 GERALD E. MONK
 ENGINEER
 41563
 8-13-03

Date Issued 5-16-03
 Project No. 2003-15
 Sheet Title PAVING PLAN
 Sheet Number C102
 Sequence of



1 6'-0" RETAINING WALL
NO SCALE

**NOT AS-BUILT
PLANS.
ENGINEER
DIDN'T
PROVIDE
RECORD
DRAWINGS TO**



GRADING PLAN
SCALE 1"=20'-0"

LEGEND

- EXISTING GRADE — 555 —
- EXISTING SPOT GRADE — 553.3 —
- NEW GRADE — 633.0 —
- NEW SPOT GRADE — 633.0 —

APPROVED FOR
CONSTRUCTION

AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer. _____

HAIR MOTION
SH 66 & FIRST STREET
ROCKWALL, TEXAS
TRACT 1
B.F. BOYSTUD SURVEY
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GERALD MONK
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972-864-8028

GERALD E. MONK
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2488 PATRICIA SUITE C, GARLAND, TX 75040
972-864-8028

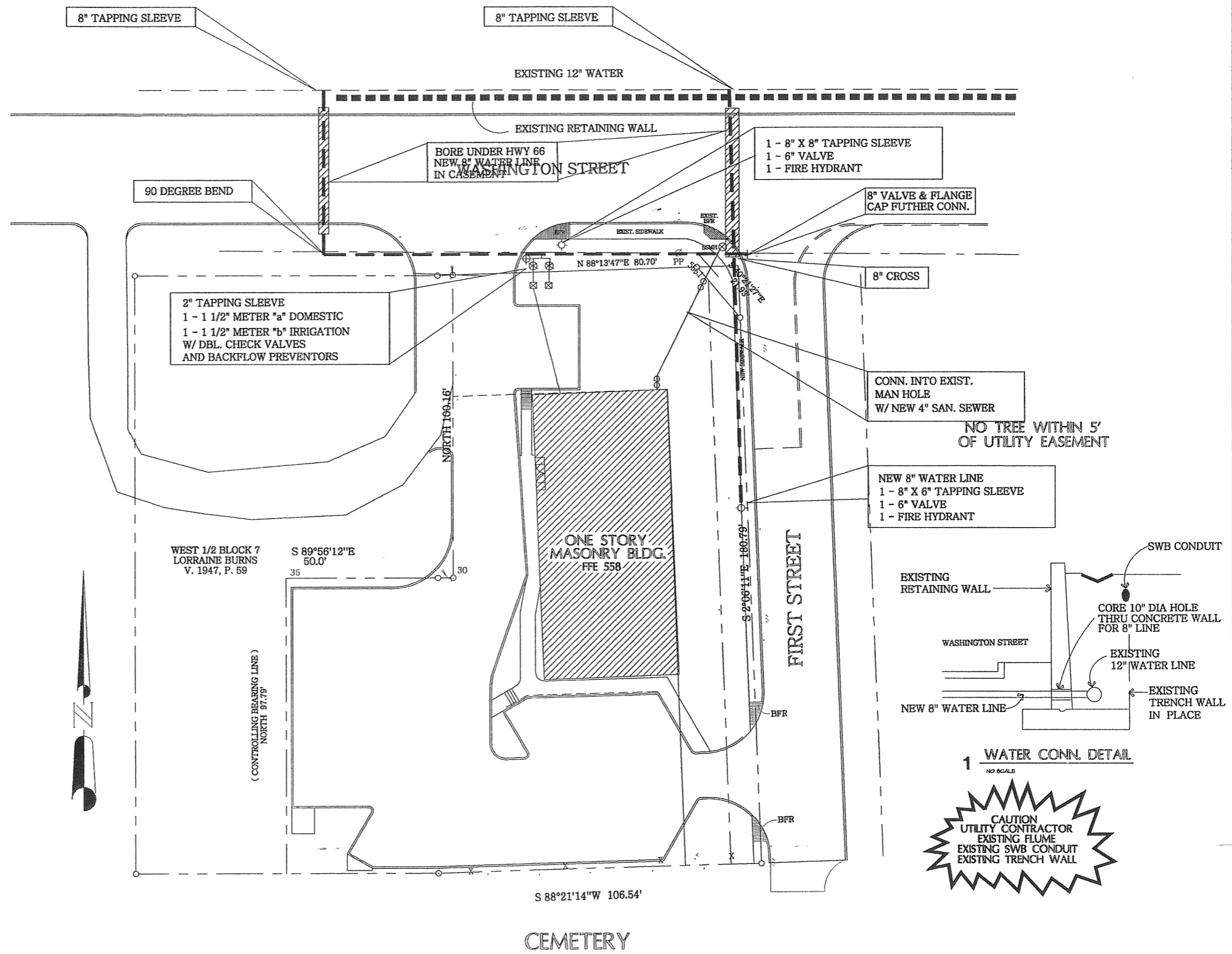
HAIR MOTION SALON
SH 66 & FIRST STREET
ROCKWALL, TEXAS



Date Issued 5-16-08
Project No. 2003-15
Sheet Title GRADING PLAN
Sheet Number C103
Sequence of _____

8-01-08 CITY COMMENTS
7-28-08 FINAL CITY COMMENTS
7-15-08 REVISED DRIVE
6-2-08 CITY COMMENTS

**NOT AS-BUILT
PLANS.
ENGINEER
DIDN'T
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RECORD
DRAWINGS TO**



UTILITY PLAN
SCALE 1"=20'-0"

APPROVED FOR
CONSTRUCTION

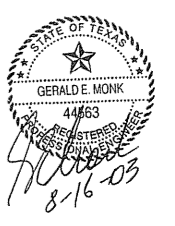
AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer: _____

HAIR MOTION
SH 66 & FIRST STREET
ROCKWALL, TEXAS
TRACT 1
B.F. BOYSTUD SURVEY
ABSTRACT NO.14
LOWE & ALLEN ADDITION
ROCKWALL, TEXAS
PREPARED BY
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972-864-8028

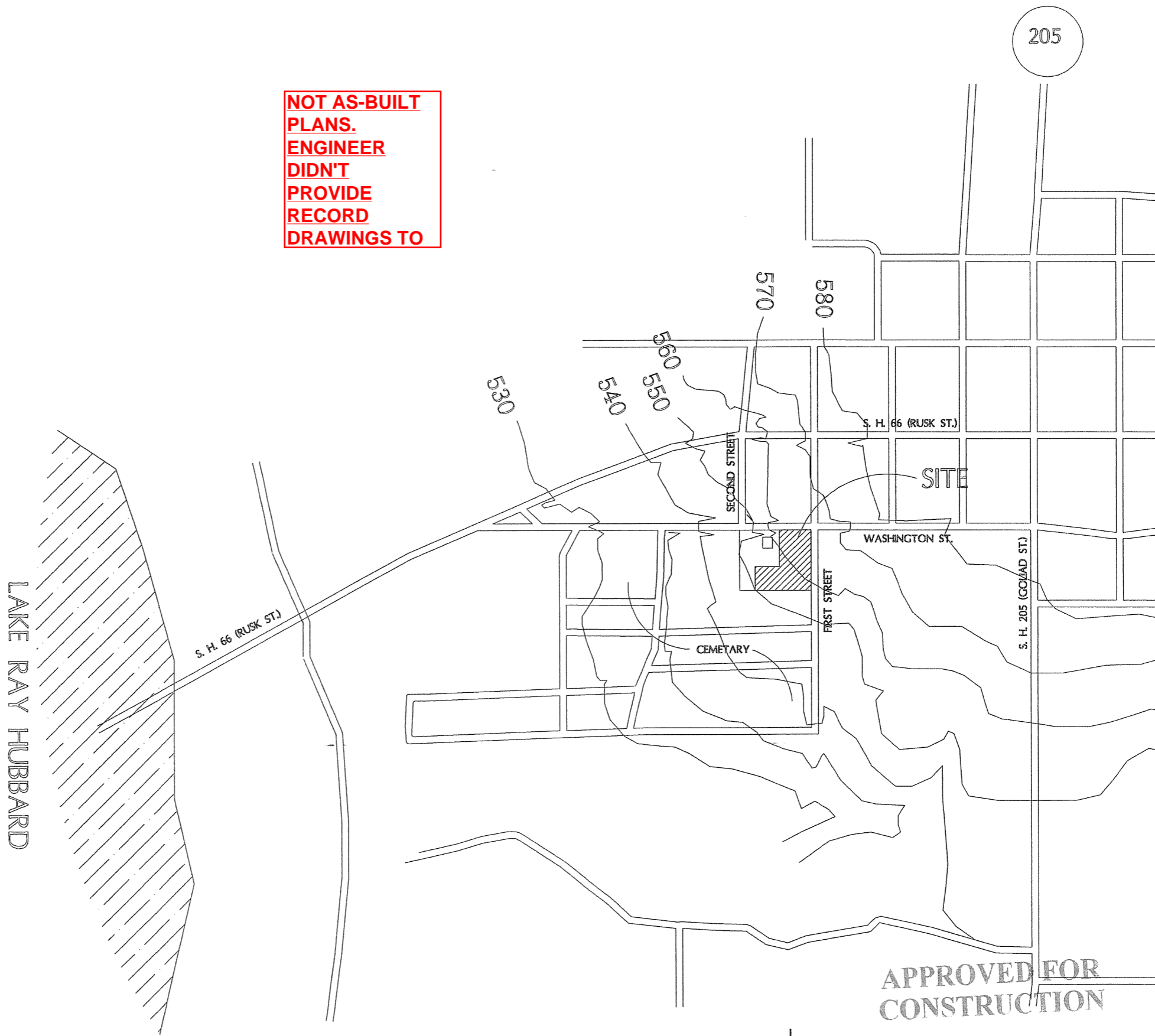
GERALD E. MONK
CONSULTING ENGINEER
2488 PATRICIA SUITE C, GARLAND, TX 75040
972-864-8028

HAIR MOTION SALON
SH 66 & FIRST STREET
ROCKWALL, TEXAS



6-2-03 CITY COMMENTS
7-15-03 REVISED DRIVE
7-28-03 FINAL CITY COMMENTS
8-01-03 CITY COMMENTS
8-08-03 CITY COMMENTS
PERMIT SET
Date Issued 6-16-03
Project No. 2003-15
Sheet Title UTILITY PLAN
Sheet Number C104
Sequence _____ of _____

**NOT AS-BUILT
PLANS.
ENGINEER
DIDN'T
PROVIDE
RECORD
DRAWINGS TO**



AREA DRAINAGE MAP
SCALE 1"=200'

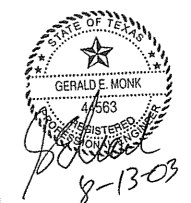
**APPROVED FOR
CONSTRUCTION**

AUG - 8 2003

City of Rockwall Engineering Dept.
City Engineer: _____

GERALD E. MONK
CONSULTING ENGINEER
2426 BROOKCREST PL. GARLAND, TX 75040
972-864-8028

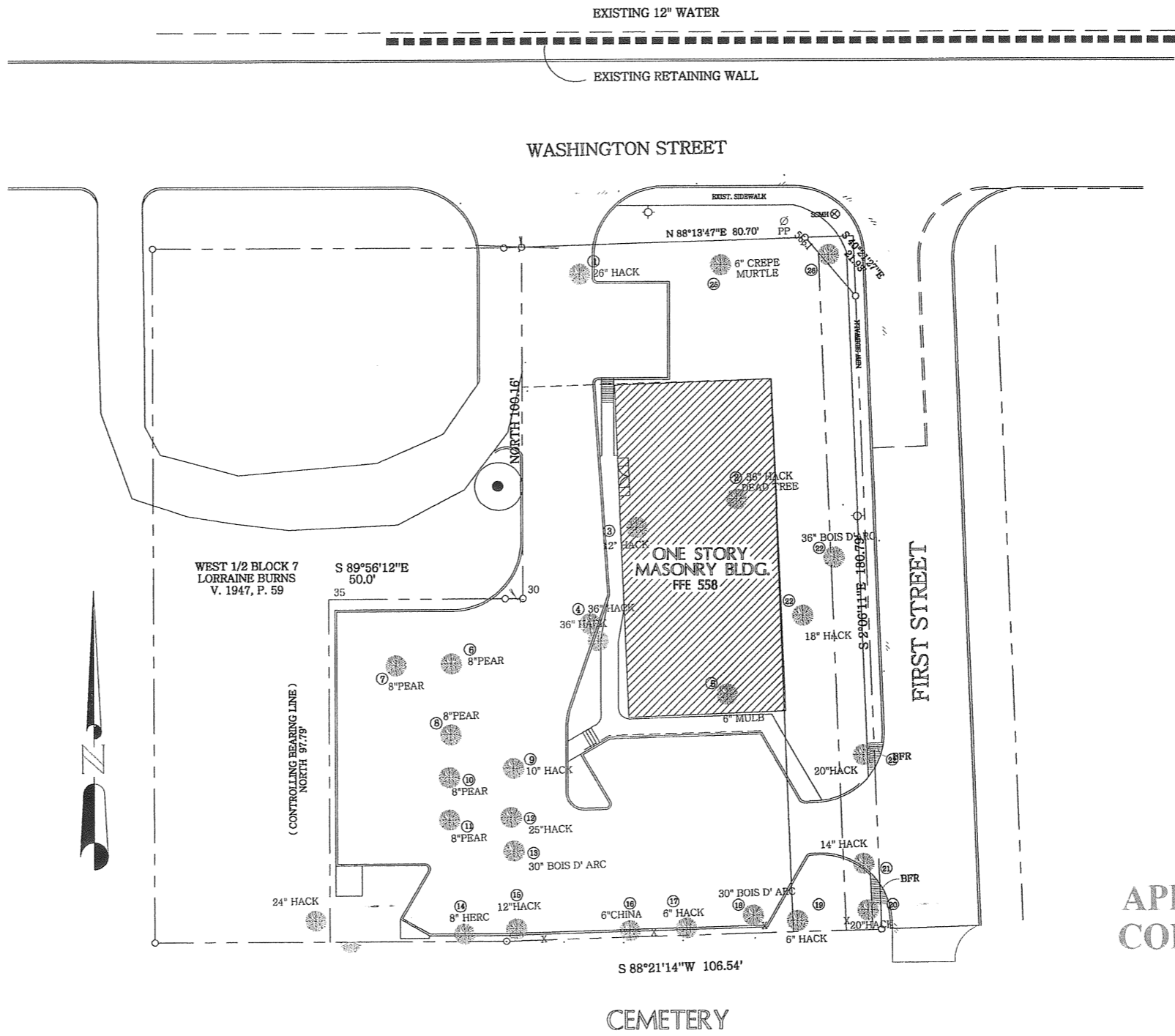
HAIR MOTION SALON
SH 66 & FIRST STREET
ROCKWALL, TEXAS



Date Issued	12JULY02
Project No.	2002-24
Sheet Title	AREA DRAINAGE MAP
Sheet Number	C106

EXISTING TREE LIST

TREE LIST	DETERMINATION	MIGATED	
1	26" HACK	VISIBILITY TRIANGLE NOT REPLACED	0"
2	36" HACK	DEAD TREE	0"
3	12" HACK	MITGATED @ 75%	9"
4	36" HACK	TO REMAIN	0"
5	6" MULB		6"
6	8" PEAR		8"
7	8" PEAR		8"
8	8" PEAR		8"
9	10" HACK	MITGATED @ 75%	7.5"
10	8" PEAR		8"
11	8" PEAR		8"
12	25" HACK	MITGATED @ 75%	6"
13	30" BOIS D' ARC	MITGATED @ 75%	22.5"
14	8" HERC		8"
15	12" HACK	MITGATED @ 75%	9"
16	6" CHINA		6"
17	6" HACK		6"
18	30" BOIS D' ARC	MITGATED @ 75%	22.5"
19	6" HACK	TO REMAIN	0"
20	20" HACK	TO REMAIN	0"
21	14" HACK	TO REMAIN	0"
22	20" HACK	TO REMAIN	0"
23	18" HACK	TO REMAIN	0"
24	30" BOIS D' ARC	TO REMAIN	0"
25	6" CREPE MYRTLE	TO REMAIN	0"
26	6" HACK	VISIBILITY TRIANGLE	
TOTAL TREES TO BE MIGATED			142.5"
NEW TREE'S ON LANDSCAPE PLAN			60"
TREES TO BE MIGATED			82.5"



TREESCAPE PLAN
SCALE 1"=20'-0"

**NOT AS-BUILT
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ENGINEER
DIDN'T
PROVIDE
RECORD
DRAWINGS TO**

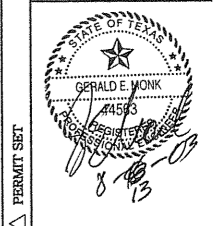
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City Engineer: _____

HAIR MOTION
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B.F. BOYSTUD SURVEY
ABSTRACT NO.14
LOWE & ALLEN ADDITION
ROCKWALL, TEXAS
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972-864-8028

GERALD E. MONK
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2488 PATRICIA SUITE C, GARLAND, TX 75040
972-864-8028

HAIR MOTION SALON
SH 66 & FIRST STREET
ROCKWALL, TEXAS



Date Issued 5-16-08
Project No. 2003-15
Sheet Title TREESCAPE PLAN
Sheet Number
TS101
Sequence of

6-2-03 CITY COMMENTS
7-15-03 REVISED DRIVE
7-28-03 FINAL CITY COMMENTS