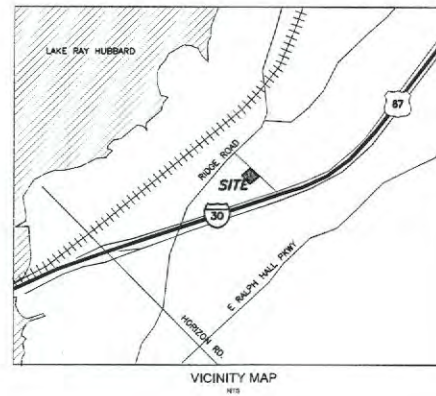


**NOT
AS-BUILT**

**SITE DEVELOPMENT PLANS FOR
PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH OF ROCKWALL
602 WHITE HILLS DR., ROCKWALL, TX 75087**

JULY, 2015

TSDE PROJECT NO. 201441



SHEET INDEX	
SHEET	SHEET DESCRIPTION
C-0.0	COVER SHEET
C-0.1	EXISTING CONDITION SURVEY
C-1.0	DEMOLITION PLAN
C-2.0	SITE PLAN
C-2.1	PAVING PLAN
C-3.0	DRAINAGE PLAN
C-3.1	GRADING & DETENTION PLAN
C-3.2	DETENTION CALCULATIONS
C-3.3	EROSION CONTROL PLAN
C-5.0	SITE DETAILS
C-5.1	EROSION CONTROL DETAILS

LEGAL DESCRIPTION

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

CITY _____

DATE _____

DEVELOPED BY

FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
602 WHITE HILLS DR., ROCKWALL, TX 75087
CONTACT: 972-771-5702

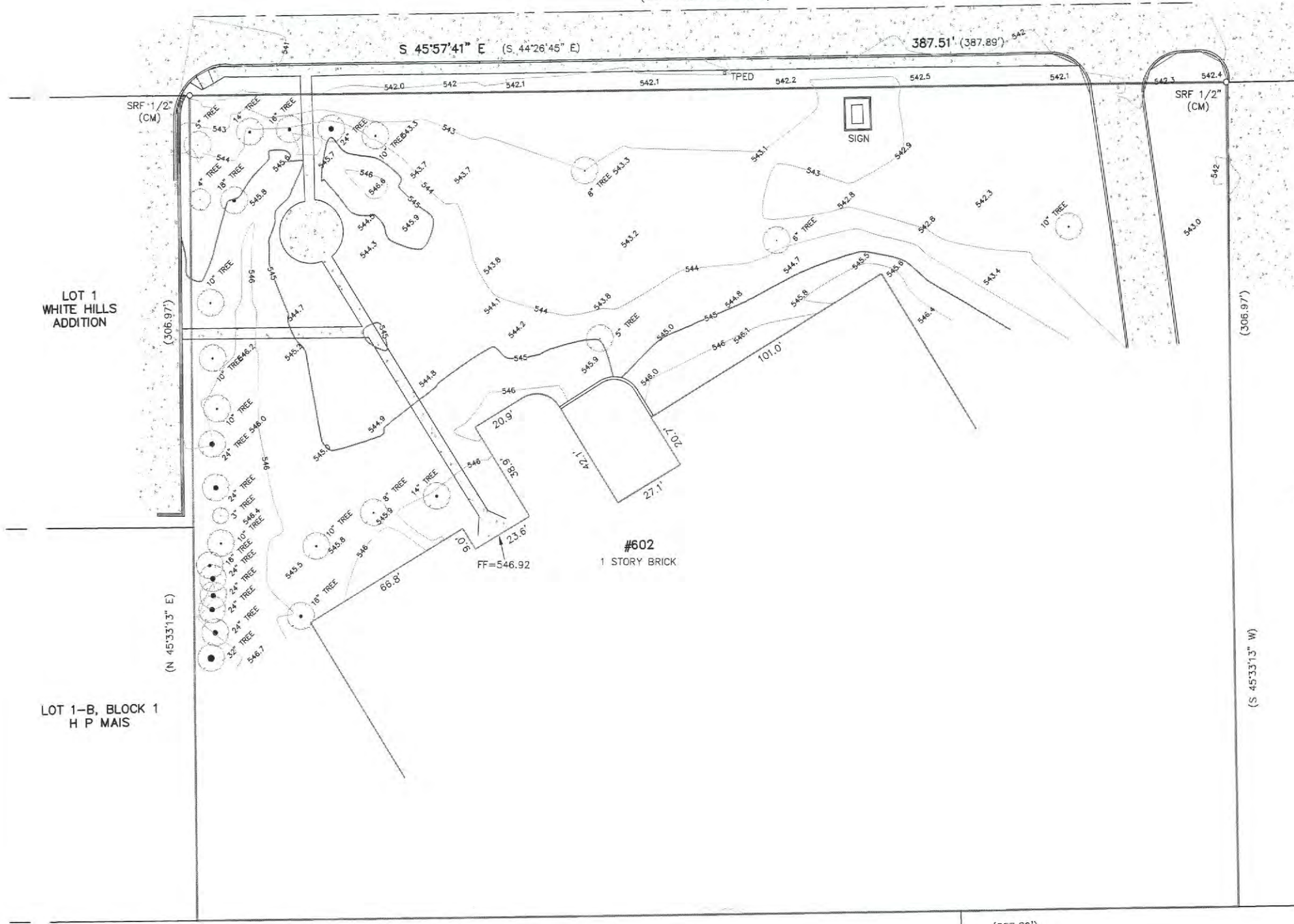
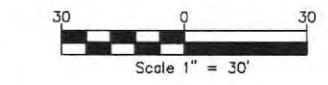


PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH OF ROCKWALL
602 WHITE HILLS DR., ROCKWALL, TX 75087

WHITE HILLS DRIVE

(60' RIGHT-OF-WAY)

LEGEND
 (CM).....CONTROLLING MONUMENT
 SRF.....STEEL ROD FOUND
 TPED.....TELEPHONE PEDESTAL
 (.).....PLAT CALLS



LOT 1
WHITE HILLS
ADDITION

LOT 1
ROSS MORRIS
SUBDIVISION

LOT 1-B, BLOCK 1
H P MAIS

LOT 9, BLOCK A
ROCKWALL TOWNE
CENTRE PH. 4

CITY OF ROCKWALL
DOC.#39452
D.R.R.C.T.

NOTES
 1. Bearings shown hereon are based on NAD83(CORS96, EPOCH 2002) tied to the Texas Coordinate System of 1983, North Central Zone (4202) using the Geosack "GeoNet" RTK GPS Network.
 2. This survey was performed without the benefit of a current title commitment and might not portray exceptions that a current title commitment might reveal.

FLOOD NOTE
 According to the F.I.R.M. #48397C0040L this property does lie in "Zone X" and does not lie within the 100-year flood zone.

I hereby certify that this plat represents the results of a survey made on the ground on the 14th day of October, 2014.
 Signed 15th day of October, 2014

Neil D. Culver

PARTIAL TOPOGRAPHIC SURVEY
 OF A
2.730 ACRES
TRACT OF LAND

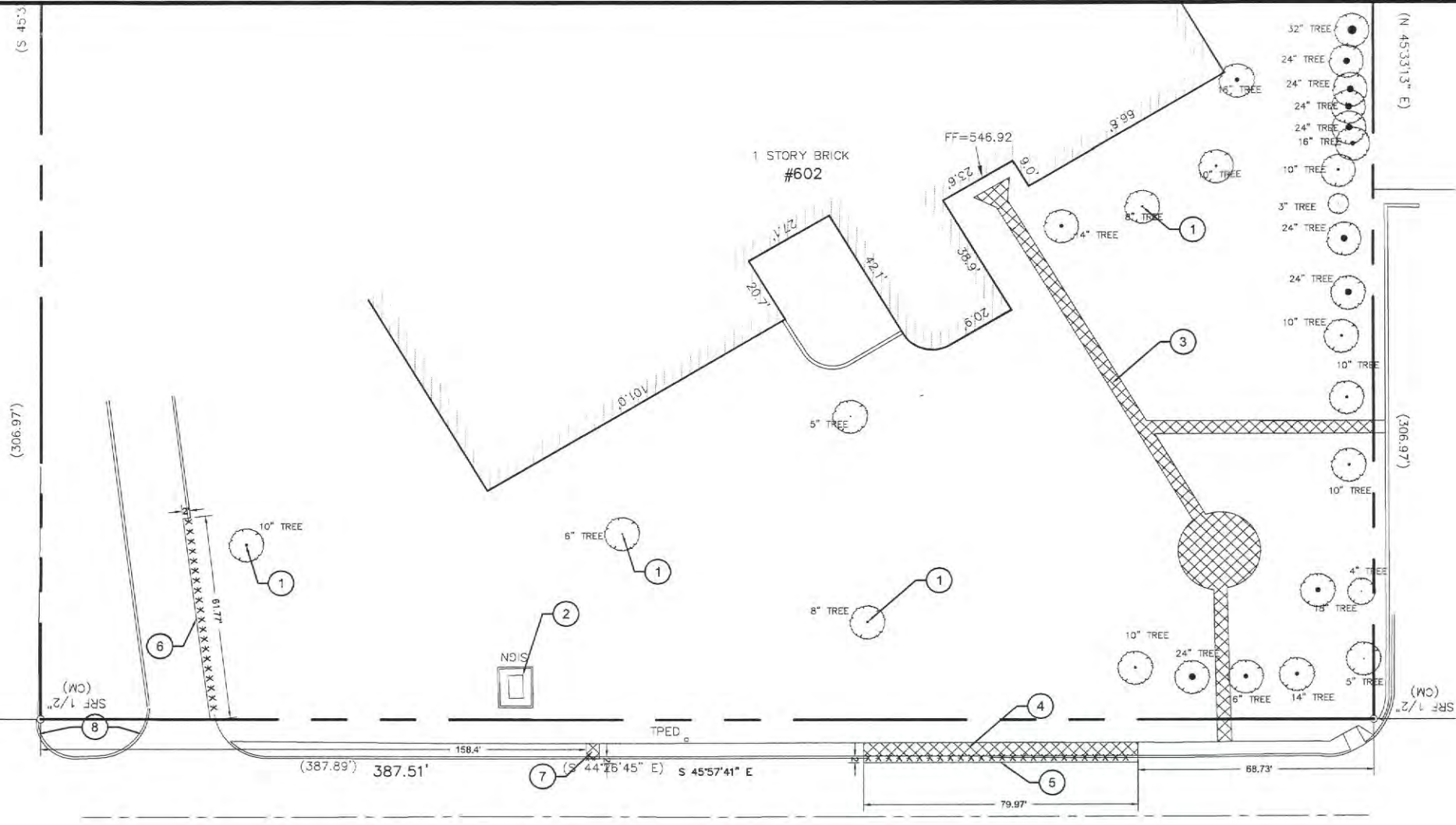
KNOWN AS
 602 WHITE HILLS DRIVE
 ROCKWALL, TX 75087
 AND BEING SITUATED IN THE
 E.P. GAINES CHISUM SURVEY, ABSTRACT No. 64
 ROCKWALL COUNTY, TEXAS

TerraCorp Associates LLC
 3960 Broadway Blvd. Ste 236
 Garland, TX 75043
 ph. 972-805-4526, fax 972-805-4526
 www.terraCorpSurvey.com TBPLS Reg No. 101858-00

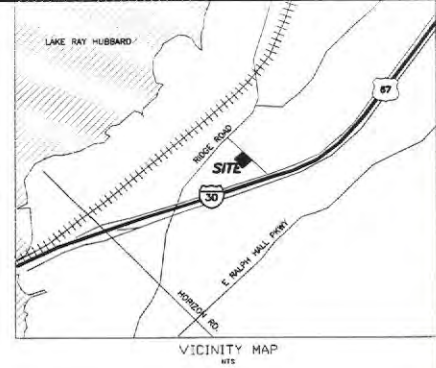
RELEASED FOR CONSTRUCTION
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 REMAINS WITH THE DESIGN ENGINEER. THE CITY
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 PLANS FOR CONSTRUCTION, ASSUMES NO
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 OF DESIGN.

 DATE

 CITY



LEGEND:
 ——— PROPERTY LINE
 - - - ADJOINED PROPERTY
 - - - BUILDING SETBACK LINE
 - - - EASEMENTS



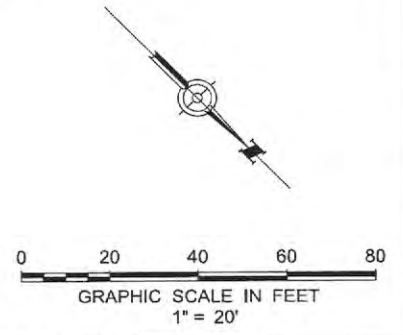
NOTES BY SYMBOL:

- ① REMOVE TREE.
- ② REMOVE EXIST. MONUMENT SIGNAGE
- ③ REMOVE APPROX. 1400 SF EXISTING SIDEWALK
- ④ REMOVE APPROX. 325 SF EXISTING SIDEWALK
- ⑤ REMOVE 80 LF OF CURB AND GUTTER. SAWCUT FULL DEPTH AT MIN. 2' WIDTH
- ⑥ REMOVE 62 LF OF CURB AND GUTTER. SAWCUT FULL DEPTH AT MIN. 2' WIDTH
- ⑦ REMOVE APPROX. 18 SF OF SIDEWALK AND 3.75 LF OF CURB AND GUTTER. SAWCUT FULL DEPTH.
- ⑧ DEMOLISH CURBS AS REQUIRED TO INSTALL ADA COMPLIANT RAMP

WHITE HILLS DRIVE
 (60' RIGHT-OF-WAY)

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 OF DESIGN.

CITY _____ DATE _____



GENERAL NOTES:

1. CONTRACTOR TO CONTACT ALL GOVERNING AGENCIES OF UTILITIES LOCATED WITHIN THE LIMITS OF DEMOLITION OPERATIONS PRIOR TO DEMOLITION.
2. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIAL OFFSITE IN ACCORDANCE WITH LOCAL, MUNICIPAL, STATE, AND FEDERAL REQUIREMENTS.
3. CONTRACTOR TO MARK AND PROTECT ALL EXISTING LANDSCAPING TO REMAIN TO INCLUDE TREES, SHRUBS, AND IRRIGATION DEVICES.
4. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL 811 PRIOR TO ANY EXCAVATION.
5. 811 CALL PARTICIPANTS REQUEST 48 HOURS NOTICE BEFORE YOU DIG.



DEMOLITION PLAN

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
 E.P. GAINES CHISUM SURVEY, ABS. NO. 64
 ACRES 2.730
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNER FIRST PRESBYTERIAN CHURCH OF ROCKWALL 602 WHITE HILLS DR., ROCKWALL, TX 75087 CONTACT: 972-771-5702	ENGINEER THOMAS SITE DEVELOPMENT ENGINEERING INC. 4804 BILL SIMMONS ROAD COLLEYSVILLE, TX 76034 ATTN: MATHEW THOMAS, PE PH: (214) 650-2728
---	--

THOMAS
 SITE DEVELOPMENT
 ENGINEERING INC.

REGISTRATION NO. F. 10289
 4804 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034
 EMAIL: MATHEW@THOMAS-ENG.COM

PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
 602 White Hills Dr., Rockwall, TX 75087

REVISION	DESCRIPTION	DATE

C-1.0

T:\DWG\1308 WORK FOLDER\201411 FIRST PRESBYTERIAN CHURCH DESIGN\SHEETS\C-1.0 DEMOLITION PLAN FP CHURCH ROCKWALL.DWG 1/29/2015 10:02:36 PM

(S 45°33'13" W)

(306.97')

(WC) SRF 1/2"

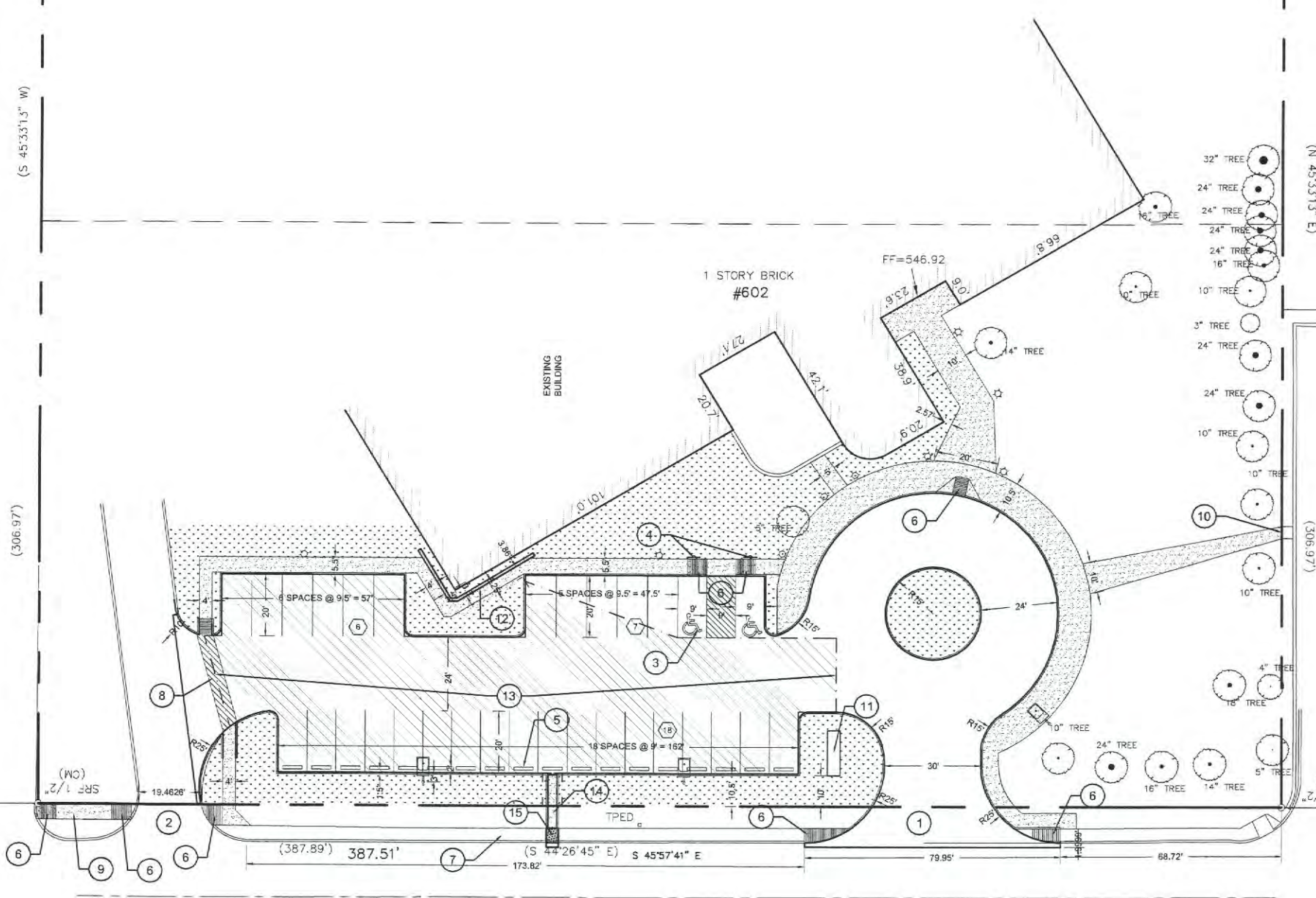
(387.89') 387.51'

1:\VENDOR\CAD WORK FOLDER\2014\11 FIRST PRESBYTERIAN CHURCH DESIGN\0415\10 SITE PLAN (P) CHURCH ROCKWALL.DWG
1/29/2009 10:06:38 PM

LOT 1-B, BLOCK 1
H P MAIS

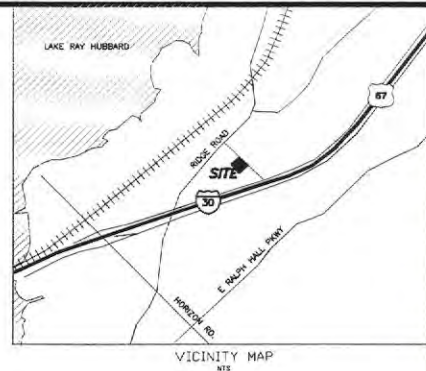
(N 45°33'13" E)

LOT 1
WHITE HILLS
ADDITION



LEGEND:

- PROPERTY LINE
- ADJOINED PROPERTY
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED CURB AND GUTTER
- PAINTED STRIPE (TRAFFIC WHITE)
- PAINTED WALKWAY (TRAFFIC WHITE)
- EXISTING ACCESS EASEMENT
- 4" THICK CONCRETE SIDEWALK
- INTERIOR LANDSCAPED AREA (RE: LANDSCAPE PLANS)
- ⊖ PARKING STALL COUNT
- ⊙ LIGHT STANDARD, REFER TO ARCHITECTURAL AND ELECTRICAL PLANS
- ☆ BOLLARD LIGHT, REFER TO ARCHITECTURAL AND ELECTRICAL PLANS



NOTES BY SYMBOL:

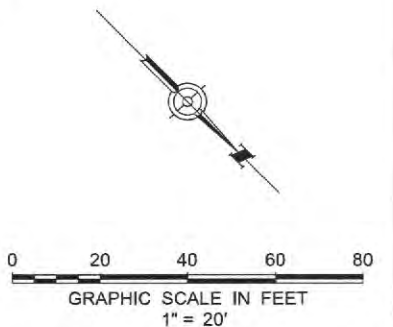
- 1 PROPOSED 30' DRIVEWAY PER CITY OF ROCKWALL STANDARDS
- 2 EXISTING 20' DRIVEWAY
- 3 HANDICAP ACCESSIBLE PARKING SPACE (TYP.)
- 4 ADA POLE SIGNAGE - 2 PLACES (1 - REGULAR, 1 VAN ACCESSIBLE). PROVIDE SIGNAGE AS REQUIRED
- 5 PROVIDE WHEELSTOP (TYP.)
- 6 ADA COMPLIANT BARRIER FREE RAMP, TRUNCATED DOME PLATES ONLY. USE BRICK RED OR COLONIAL RED.
- 7 EXISTING 4' SIDEWALK IN ROW.
- 8 ADA COMPLIANT ACCESSIBLE ROUTE
- 9 INSTALL 5' WIDE SIDEWALK IN ROW
- 10 CONNECT PROPOSED SIDEWALK TO EXISTING SIDEWALK
- 11 PROPOSED MONUMENT SIGNAGE LOCATION. ALL SIGNAGE TO BE APPROVED AND INSTALLED UNDER A SEPARATE SIGN PERMIT.
- 12 INSTALL VARIABLE HEIGHT RETAINING WALL (APPROX. 50 LF). REFER TO SHEET C-3.1 FOR MORE INFORMATION
- 13 PROPOSED STORM WATER DETENTION EASEMENT BY SEPARATE INSTRUMENT NO. 2015000010094 C.C.R.C.T.
- 14 INSTALL DRAINAGE FLUME PER DETAIL ON SHEET C-3.1
- 15 INSTALL SIDEWALK UNDERDRAIN PER DETAIL ON SHEET C-3.1

GENERAL NOTES:

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
3. ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
4. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

WHITE HILLS DRIVE
(60' RIGHT-OF-WAY)

RELEASED FOR CONSTRUCTION
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OF DESIGN.



CITY _____ DATE _____

SITE PLAN

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL
602 WHITE HILLS DR., ROCKWALL, TX 75087
CONTACT: 972-771-5702

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
4604 BILL SIMMONS ROAD
COLLEYVILLE, TX 76034
ATTN: MATHEW THOMAS, PE PH: (214) 680-2728

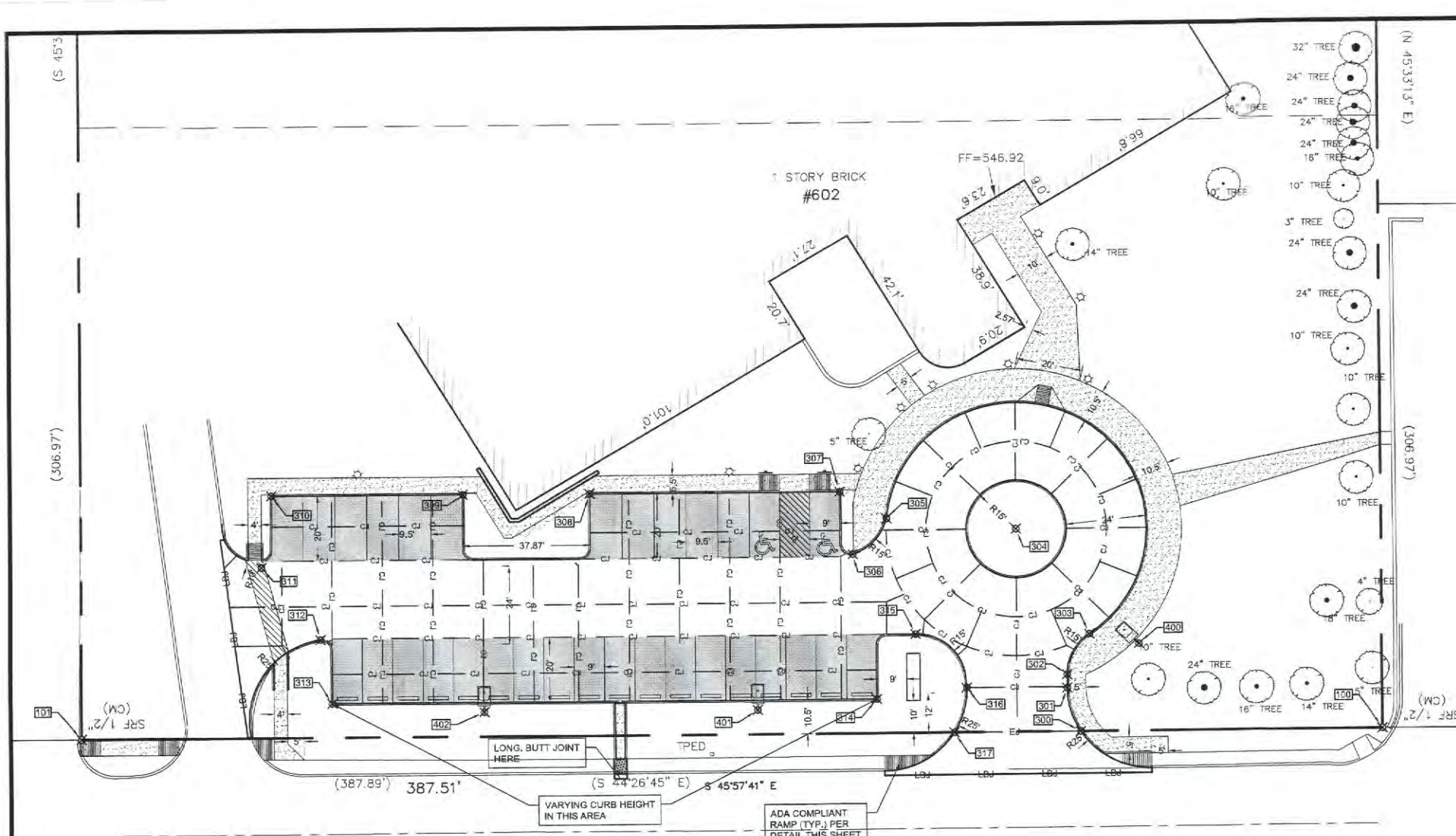
THOMAS SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. E-13029
8604 BILL SIMMONS ROAD, COLLEYVILLE, TX 76034
EMAIL: MATHEW@THOMAS-ENG.COM

PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
602 White Hills Dr., Rockwall, TX 75087

REVISION	DESCRIPTION	DATE

08-16-2011

C-2.0



WHITE HILLS DRIVE
(60' RIGHT-OF-WAY)

PAVEMENT NOTES

- SEE PAVING DETAILS AND NOTES FOR ADDITIONAL INFORMATION. PAVEMENT SUBGRADE PREPARATION SHOULD BE IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT. PAVEMENT SECTION THICKNESS AND COMPACTION RATINGS TO BE VERIFIED WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
- PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
- CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 3600 PSI (6.5 SACK MIN.) THE MAXIMUM WATER-TO-CEMENTITIOUS MATERIALS RATIO SHALL BE 0.50.
- CONCRETE SHALL HAVE A MINIMUM SEVEN DAY FLEXURAL STRENGTH OF 800 PSI.
- ALL CONCRETE SHALL BE AIR ENTRAINED AT MINIMUM 6% BY VOLUME. +/- 1.5%.
- CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
- THE NEW PAVEMENT SHALL BE FINISHED TO MATCH THE SURROUNDING PAVEMENT.
- THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE (TYP. ALL INTERSECTIONS).
- PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 15' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4" DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAWCUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAWCUTTING.
- PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINT. FILL JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
- PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
- ALL SAWCUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
- CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
- PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
- CONCRETE CURB SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE CONCRETE PAVEMENT.
- MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-96, WITH #3 REBAR @ 18" O.C. PER DETAIL ON SHEET C-5.0.
- MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
- MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR. THERE SHALL BE MIN. 3 INCH OF COVER BETWEEN BOTTOM (TOP OF BASE MATERIAL OR SUBGRADE) AND EDGE OF REINFORCEMENT.
- REINFORCING BARS SHALL BE CONTACT LAP SPICED UNLESS SHOWN OTHERWISE. LAP SPICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL IN NO CASE BE LESS THAN 40 BAR DIAMETERS LONG.
- NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
- THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1 1/2 INCH.
- ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
- NO SAND UNDER PAVEMENT

LEGEND:

- PROPERTY LINE
- - - ADJOINED PROPERTY
- - - BUILDING SETBACK LINE
- - - EXISTING EASEMENTS
- - - PROPOSED EASEMENTS
- EXISTING CURB
- PROPOSED CURB AND GUTTER
- PAINTED STRIPE (TRAFFIC WHITE)
- PAINTED WALKWAY (TRAFFIC WHITE)
- 6" THICK CONCRETE DRIVE AISLES
- 5" THICK CONCRETE PARKING STALLS
- 4" THICK CONCRETE SIDEWALK
- CJ — CONTROL JOINTS
- LBJ — LONGITUDINAL BUTT JOINTS

GENERAL NOTES:

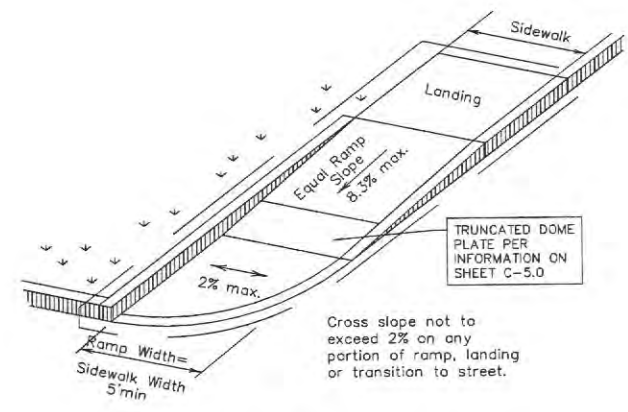
- REFER TO PAVEMENT DETAILS ON SHEET C-5.0.
- ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
- ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
- SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

PARKING AND TRAFFIC CONTROL NOTES

- HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) OF SEPTEMBER 15, 2010 CALLED "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN" UNLESS OTHERWISE NOTED.
- ACCESSIBLE PARKING SPACES DESIGNATED WITH A "VAN" SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. 4.1.2.5B.
- ALL PARKING LOT CURBING SHALL BE CAST IN PLACE CONCRETE, UNLESS NOTED OR DETAILED OTHERWISE.
- ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR DETAILED OTHERWISE.
- ALL STANDARD PARKING SPACES SHALL BE 9 FEET IN WIDTH BY 20 FEET IN LENGTH, WITH 24 FOOT AISLES UNLESS NOTED OR DETAILED OTHERWISE.
- ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATION AND DIMENSIONS OF EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- FOR PARKING LOT PAVEMENT SECTION SEE DETAIL SHEET IN THIS SET.
- WORK WITHIN THE RIGHT-OF-WAY SHALL BE PROHIBITED BETWEEN THE HOURS OF 7:00 AM TO 9:00 AM AND 4:00 PM TO 6:00 PM.

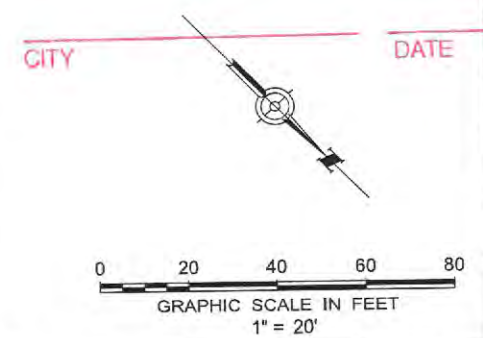
LAYOUT POINT TABLE

POINT #	NORTHING	EASTING	DESCRIPTION
100	7016942.7070	2593005.8040	PROPERTY CORNER
101	7016673.3310	2593284.4750	PROPERTY CORNER
300	7016880.2831	2593070.4587	GUTTER LINE
301	7016857.9076	2593063.9363	GUTTER LINE
302	7016864.9101	2593081.0377	GUTTER LINE
303	7016880.5785	2593047.5753	GUTTER LINE
304	7016822.2068	2593040.6089	CENTER
305	7016792.6157	2593066.0142	GUTTER LINE
306	7016793.3781	2593080.8876	GUTTER LINE
307	7016776.8830	2593070.2161	GUTTER LINE
308	7016725.2030	2593123.6602	GUTTER LINE
309	7016698.8807	2593150.8810	GUTTER LINE
310	7016659.2575	2593191.8567	GUTTER LINE
311	7016672.9873	2593209.3064	GUTTER LINE
312	7016701.2034	2593212.1834	GUTTER LINE
313	7016717.7779	2593223.4061	GUTTER LINE
314	7016830.3911	2593106.9490	GUTTER LINE
315	7016824.1876	2593084.5931	GUTTER LINE
316	7016846.8026	2593085.2658	GUTTER LINE
317	7016854.0375	2593097.6002	GUTTER LINE
400	7016873.1503	2593039.1313	LIGHT STANDARD
401	7016807.8304	2593134.4975	LIGHT STANDARD
402	7016751.2665	2593192.9843	LIGHT STANDARD



ADA COMPLIANT RAMP DETAIL IN R.O.W. MTS

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



PAVING & DIMENSION CONTROL PLAN

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

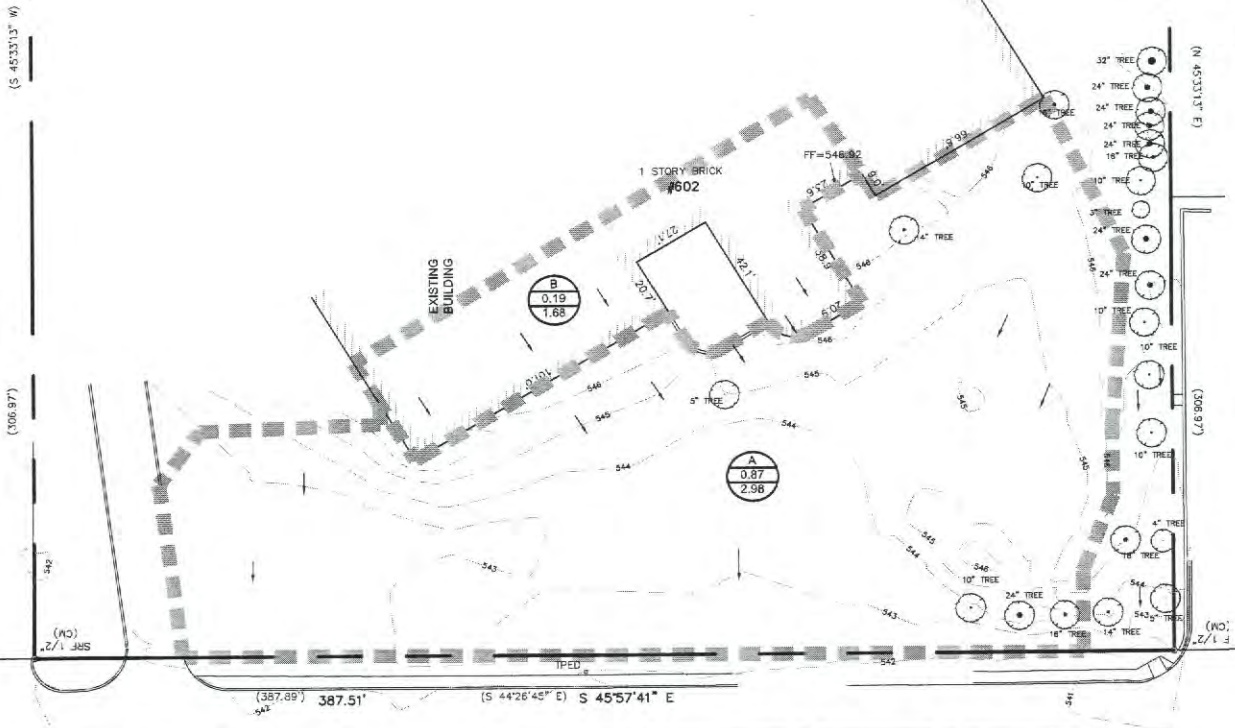
OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL, 602 WHITE HILLS DR., ROCKWALL, TX 75087, CONTACT: 972-771-5702
ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC., 4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034, ATTN: MATHEW THOMAS, PE, PH: (214) 680-2728

THOMAS SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. F-140289
4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034
EMAIL: TME@THOMAS-ENG.COM

PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
602 White Hills Dr., Rockwall, TX 75087

REVISION	DATE	DESCRIPTION

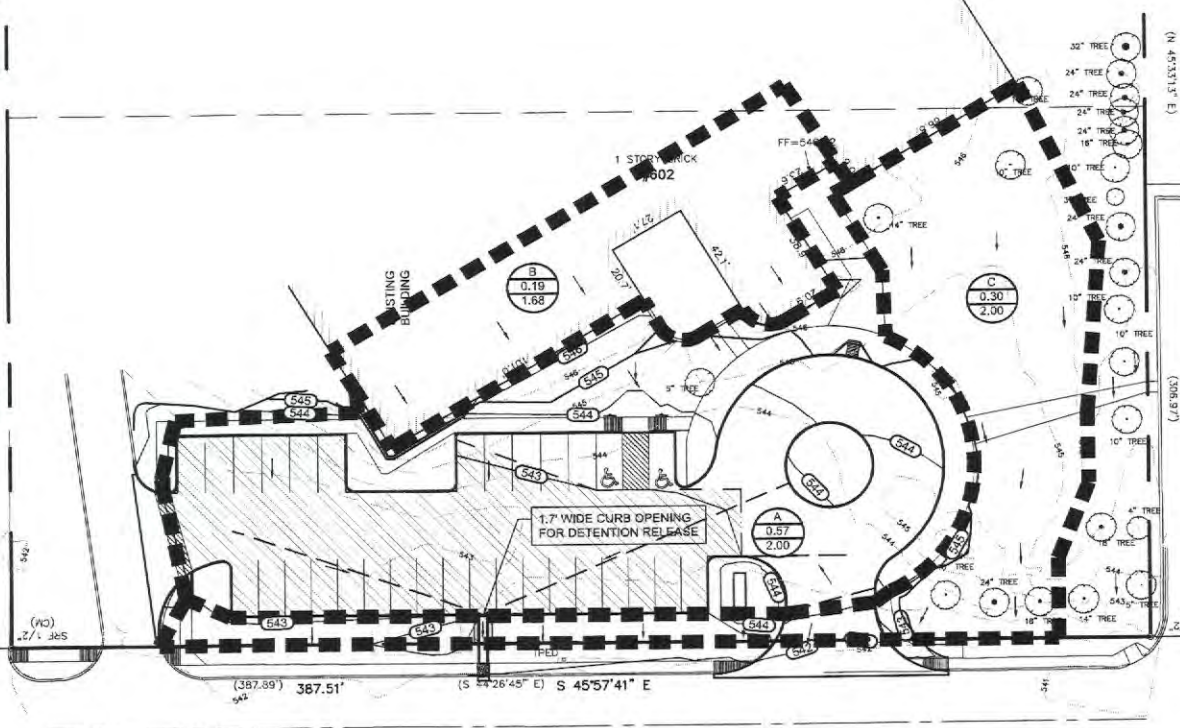
CONCRETE/CURB WORK FOLDER/2011-11-11 FIRST PRESBYTERIAN CHURCH DESIGN SHEETS/C-2.1 PAVING PLAN FOR CHURCH ROCKWALLING 7/2/2009 10:02:35 PM



WHITE HILLS DRIVE
(60' RIGHT-OF-WAY)

EXISTING CONDITIONS

DRAINAGE AREA CALCULATIONS - EXISTING CONDITIONS Tc = 10 MIN.											
DRAINAGE AREA	C	AREA (Ac.)	I5 (in/hr)	Q5 (cfs)	I10 (in/hr)	Q10 (cfs)	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	DESCRIPTION
A	0.35	0.870	6.1	1.86	7.1	2.16	8.3	2.53	9.8	2.98	SHEET FLOW TO WHITE HILLS DRIVE
B	0.90	0.190	6.1	1.04	7.1	1.21	8.3	1.42	9.8	1.68	SHEET FLOWS TO WHITE HILLS DRIVE



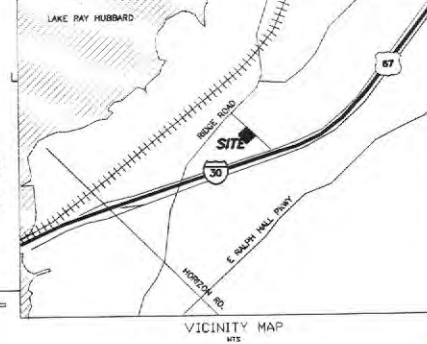
WHITE HILLS DRIVE
(60' RIGHT-OF-WAY)

PROPOSED CONDITIONS

DRAINAGE AREA CALCULATIONS - PROPOSED CONDITIONS Tc = 10 MIN.											
DRAINAGE AREA	C	AREA (Ac.)	I5 (in/hr)	Q5 (cfs)	I10 (in/hr)	Q10 (cfs)	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	DESCRIPTION
A	0.90	0.570	6.1	3.13	7.1	3.64	8.3	4.26	9.8	5.03	FLOWS THROUGH SURFACE DETENTION POND
B	0.90	0.190	6.1	1.04	7.1	1.21	8.3	1.42	9.8	1.68	BYPASS FLOWS THROUGH SURFACE DETENTION POND
C	0.35	0.300	6.1	0.64	7.1	0.75	8.3	0.87	9.8	1.03	SHEET FLOWS TO WHITE HILLS DRIVE

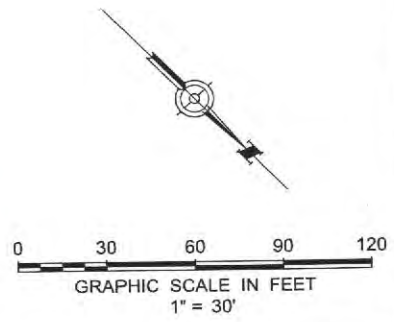
LEGEND:

- PROPERTY LINE
- - - ADJOINED PROPERTY
- - - BUILDING SETBACK LINE
- - - EXISTING EASEMENTS
- - - PROPOSED EASEMENTS
- - - EXISTING CURB
- - - PROPOSED CURB AND GUTTER
- 579 — EXISTING 1' CONTOUR
- 578 — PROPOSED 1' CONTOUR
- FLOW ARROW
- DRAINAGE DIVIDE (PROPOSED)
- DRAINAGE DIVIDE (EXISTING)
- A ○ DRAINAGE INFORMATION (AREA ID, AREA (ACRES), Q100 (CFS))



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

CITY _____ DATE _____



DRAINAGE PLAN

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL, 602 WHITE HILLS DR., ROCKWALL, TX 75087, CONTACT: 972-771-5702

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC., 4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034, ATTN: MATHEW THOMAS, PE, PH: (214) 680-2728

THOMAS
SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. F-10239
4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034
PHONE: (214) 680-2728
EMAIL: MATHEW@THOMAS-ENG.COM

**PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL**
602 White Hills Dr., Rockwall, TX 75087

REVISION	DESCRIPTION	DATE

08-16-2011

C-3.0

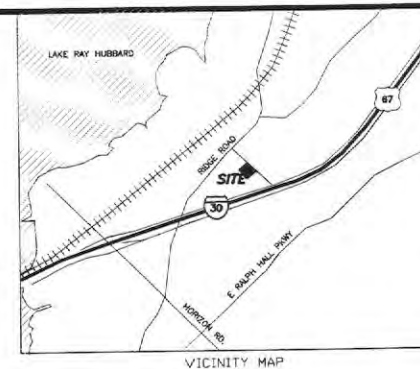
T:\UNDERGROUND WORK_FOLDERS\2011\FIRST PRESBYTERIAN CHURCH DESIGN\SHEETS\C-3.0 DRAINAGE PLAN.FP.CHURCH.ROCKWALL.DWG
1/20/2009 10:05:38 PM

GENERAL NOTES

1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
2. IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
3. ALL PIPE SHALL BE LAID STARTING AT THE OUTFALL AND LAID UPSTREAM FROM THAT POINT.
4. SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PROPOSED PAVEMENT AND/OR TOP OF FINISHED GRADE, UNLESS OTHERWISE NOTED. ADD 0.5 FEET FOR TOP OF CURB ELEVATIONS (UNLESS NOTED OTHERWISE). SPOT ELEVATIONS SHOWN IN LANDSCAPED AREAS ARE TO THE TOP OF SOD.
5. TOP OF ALL LANDSCAPED AREAS AT BUILDING SLAB TO BE A MIN. 6" BELOW FINISH FLOOR ELEVATION.
6. REFER TO THE GEOTECHNICAL REPORT FOR SOIL TREATMENT AND COMPACTION SPECIFICATIONS DURING THE GRADING OPERATIONS.
7. ADA COMPLIANT PARKING AREAS ARE NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
8. ADA COMPLIANT WALKWAYS AND SIDEWALKS ARE NOT TO EXCEED 5% IN THE DIRECTION OF TRAFFIC AND 2% CROSS SLOPE.
9. ALL FILL TO BE COMPACTED TO MIN. 95% STANDARD DENSITY USING SHEEP'S FOOT ROLLER.
10. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES (AS REQUIRED) TO PROPOSED GRADE PER CITY STANDARDS.

LEGEND:

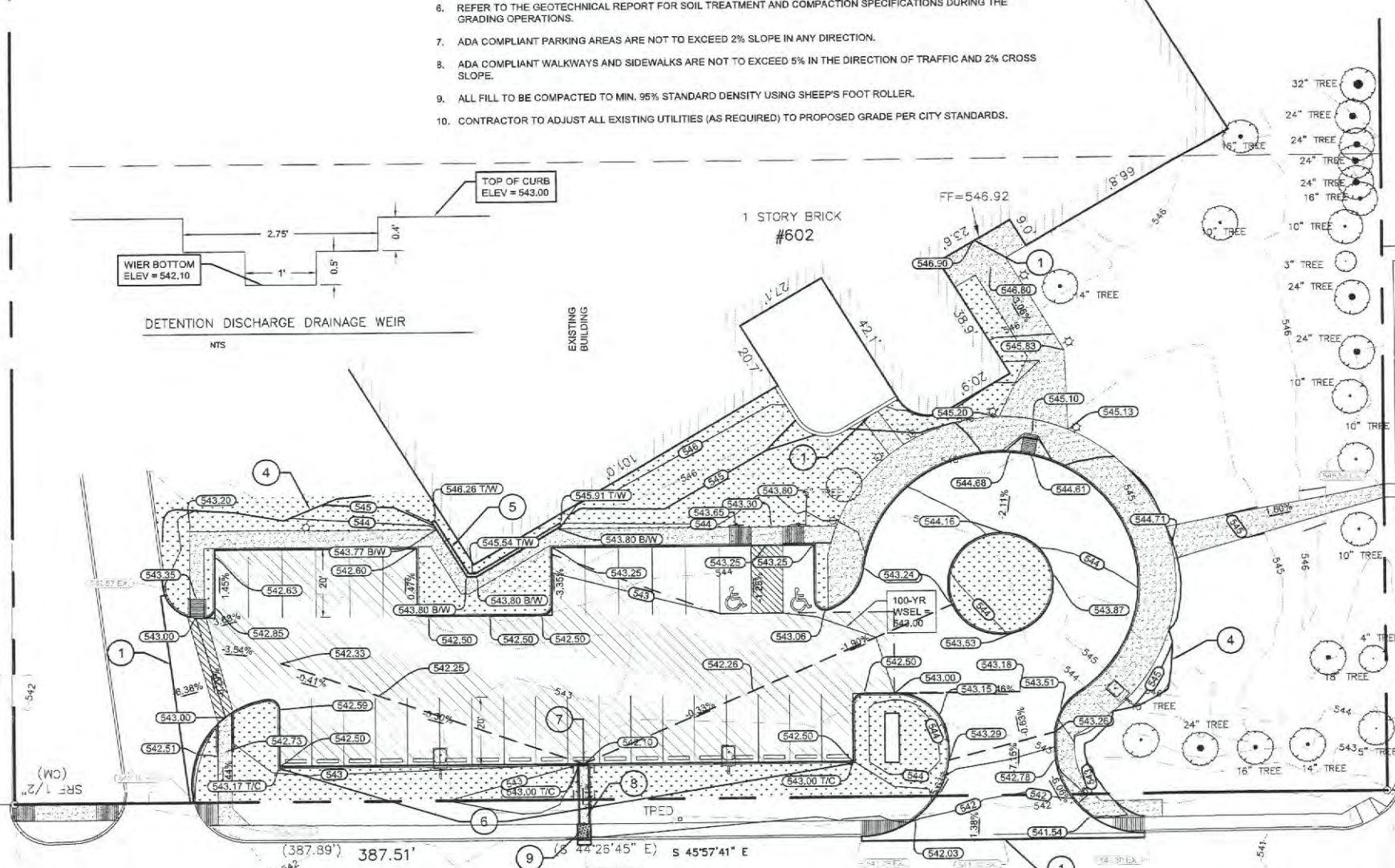
- PROPERTY LINE
- ADJOINED PROPERTY
- BUILDING SETBACK LINE
- EXISTING EASEMENTS
- PROPOSED EASEMENTS
- EXISTING CURB
- PROPOSED CURB AND GUTTER
- EXISTING 1' CONTOUR
- PROPOSED 1' CONTOUR
- FLOW ARROW
- HP HIGH POINT
- LP LOW POINT
- T/C TOP OF CURB
- T/W TOP OF RETAINING WALL
- B/W BOTTOM OF RETAINING WALL
- FINISHED GROUND
- EXISTING FINISHED GRADE
- DRAINAGE SWALE



THOMAS SITE DEVELOPMENT ENGINEERING INC.
 REGISTRATION NO. F-11099
 4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034
 PHONE: (214) 680-2728
 EMAIL: THOMAS@THOMAS-SDG.COM

PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
 602 White Hills Dr., Rockwall, TX 75087

DATE	DESCRIPTION

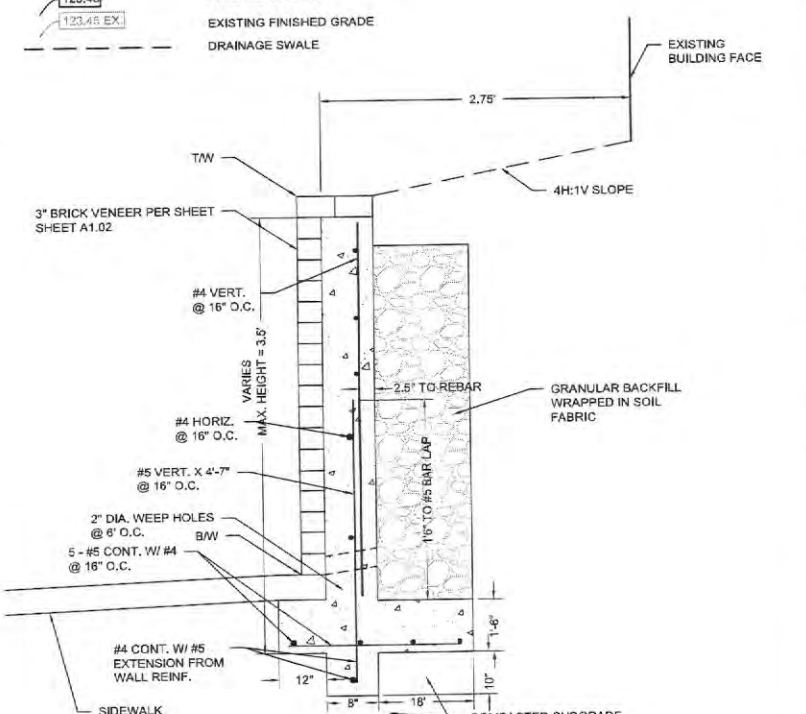


LOT 1-B, BLOCK 1
H P MAIS

(N 45°33'13" E)

LOT 1
WHITE HILLS
ADDITION

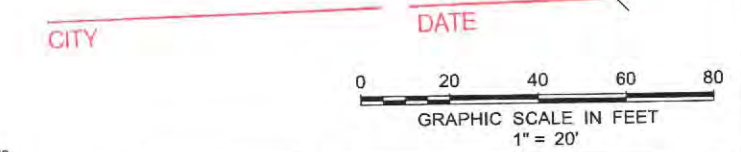
(S 45°57'41" E)



RETAINING WALL SECTION

NOTES:
 1. BLOCK RETAINING WALLS MAY BE INSTALLED IN LIEU OF CONCRETE WALL. ENGINEER SEALED DRAWINGS FROM INSTALLERS STRUCTURAL ENGINEER ARE REQUIRED BEFORE INSTALLATION.

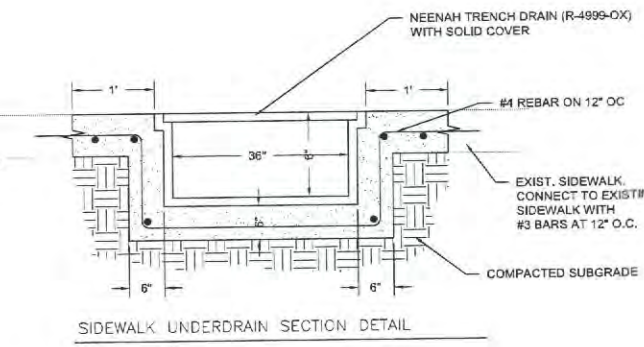
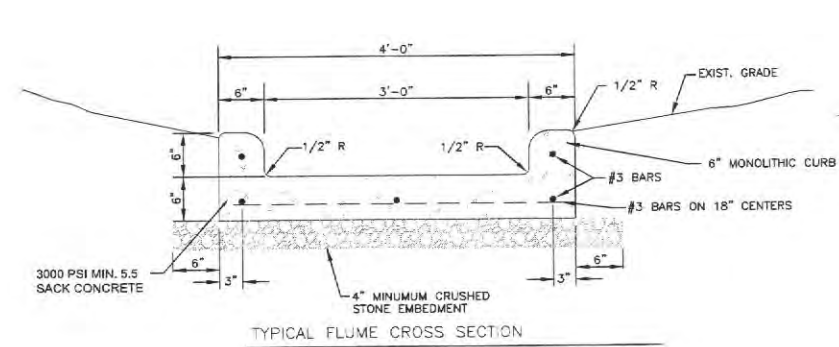
RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



WHITE HILLS DRIVE
(60' RIGHT-OF-WAY)

NOTES BY SYMBOL:

- 1 MATCH EXISTING ELEVATION
- 2 CROSS SLOPE NOT TO EXCEED 2% (IN ANY DIRECTION) IN THIS AREA
- 3 STORM WATER DETENTION EASEMENT
- 4 GRADING LIMITS
- 5 RETAINING WALL
- 6 INSTALL VARIABLE HEIGHT CURB ALONG THIS EDGE
- 7 INSTALL CURB OPENING TO FORM DISCHARGE WEIR AT THE LOCATION PER DETAIL ON THIS SHEET
- 8 INSTALL 3" WIDE FLUME FOR STORM DRAINAGE DISCHARGE
- 9 INSTALL SIDEWALK UNDERDRAIN PER DETAIL ON THIS SHEET



GRADING PLAN
 FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
 E.P. GAINES CHISUM SURVEY, ABS. NO. 64
 ACRES 2.730
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL, 602 WHITE HILLS DR., ROCKWALL, TX 75087, CONTACT: 972-771-5702

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC., 4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034, ATTN: MATHEW THOMAS, PE PH: (214) 680-2728



T:\WORK\2010\141 FIRST PRESBYTERIAN CHURCH (25) SHEETS\3-1 GRADING PLAN TP CHURCH ROCKWALLING
 1/28/2009 10:03:38 PM

Modified Rational Method Detention Pond Design
Project Description: FIRST PRESBYTERIAN CHURCH, ROCKWALL, TX By: Mathew Thomas, PE
Date: 28-May-15

Step	Condition	K	C	Tc (min)	I5 (in/hr)	A (acres)	Q5 peak (cfs)
1	Existing	1	0.35	20.00	4.90	0.57	0.58
2	Proposed	1	0.90	10.00	8.10	0.57	3.13
3	BYPASS		0.90	10.00	8.10	0.19	1.04

Time Step	Td Duration (min)	K	C (post-dev)	I5 (in/hr)	A(acres)	Q peak (cfs)	Inflow (cf)	Outflow (cf)	Req Storage (cf)	Req Storage (ac-ft)
1	15	1	0.90	5.50	0.57	2.82	2539.35	733.16	1806.19	0.54
2	20	1	0.90	4.90	0.57	2.51	3016.44	879.80	2136.65	0.55
3	30	1	0.90	4.10	0.57	2.10	3766.94	1173.06	2593.88	0.56
4	40	1	0.90	3.40	0.57	1.74	4485.08	1466.33	2719.76	0.06
5	50	1	0.90	2.90	0.57	1.49	4463.10	1759.69	2703.51	0.06
6	60	1	0.50	2.80	0.57	1.33	4801.69	2032.85	2748.83	0.06
7	70	1	0.50	2.50	0.57	1.28	5368.50	2346.12	3040.38	0.07
8	80	1	0.50	2.30	0.57	1.18	5663.52	2639.39	3024.14	0.07
9	90	1	0.50	2.10	0.57	1.08	5817.42	2932.65	2884.77	0.07

Required Storage 5-YR (CU. FT.) = 3040.33 0.07

Modified Rational Method Detention Pond Design
Project Description: FIRST PRESBYTERIAN CHURCH, ROCKWALL, TX By: Mathew Thomas, PE
Date: 28-May-15

Step	Condition	K	C	Tc (min)	I10 (in/hr)	A (acres)	Q10 peak (cfs)
1	Existing	1	0.35	20.00	5.80	0.57	1.16
2	Proposed	1	0.90	10.00	7.10	0.57	3.64
3	BYPASS		0.90	10.00	7.10	0.19	1.21

Time Step	Td Duration (min)	K	C (post-dev)	I10 (in/hr)	A(acres)	Q peak (cfs)	Inflow (cf)	Outflow (cf)	Req Storage (cf)	Req Storage (ac-ft)
1	15	1	0.90	6.50	0.57	3.33	3001.05	967.83	2133.23	0.05
2	20	1	0.90	5.90	0.57	2.98	3570.48	1041.59	2529.09	0.06
3	30	1	0.90	4.70	0.57	2.41	4339.98	1393.52	2951.48	0.07
4	40	1	0.90	4.00	0.57	2.05	4924.80	1735.68	3189.15	0.07
5	50	1	0.90	3.40	0.57	1.74	5232.50	2082.78	3149.82	0.07
6	60	1	0.90	3.00	0.57	1.54	5540.40	2420.91	3110.49	0.07
7	70	1	0.90	2.80	0.57	1.44	6032.88	2777.04	3255.84	0.07
8	80	1	0.90	2.70	0.57	1.39	6648.48	3124.17	3524.31	0.08
9	90	1	0.90	2.50	0.67	1.29	6926.50	3471.30	3484.20	0.08

Required Storage 10-YR (CU. FT.) = 3524.31 0.08

Modified Rational Method Detention Pond Design
Project Description: FIRST PRESBYTERIAN CHURCH, ROCKWALL, TX By: Mathew Thomas, PE
Date: 29-May-15

Step	Condition	K	C	Tc (min)	I25 (in/hr)	A (acres)	Q25 peak (cfs)
1	Existing	1	0.35	20.00	6.60	0.57	1.32
2	Proposed	1	0.90	10.00	8.20	0.57	4.21
3	BYPASS		0.90	10.00	8.20	0.19	1.40

Time Step	Td Duration (min)	K	C (post-dev)	I25 (in/hr)	A(acres)	Q peak (cfs)	Inflow (cf)	Outflow (cf)	Req Storage (cf)	Req Storage (ac-ft)
1	15	1	0.90	7.40	0.57	3.50	3416.58	987.53	2428.06	0.06
2	20	1	0.90	6.60	0.57	3.39	4062.96	1185.03	2877.93	0.07
3	30	1	0.90	5.50	0.57	2.92	5076.70	1580.04	3496.66	0.08
4	40	1	0.90	4.80	0.57	2.36	5663.52	1975.05	3688.47	0.08
5	50	1	0.90	4.00	0.57	2.05	6156.00	2370.06	3785.94	0.09
6	60	1	0.90	3.80	0.57	1.85	6648.48	2765.07	3863.41	0.09
7	70	1	0.90	3.30	0.57	1.69	7110.18	3160.08	3950.10	0.09
8	80	1	0.90	3.00	0.57	1.54	7397.20	3555.09	3932.11	0.09
9	90	1	0.90	2.70	0.57	1.39	7479.54	3950.10	3529.44	0.08

Required Storage 25-YR (CU. FT.) = 3950.10 0.08

Modified Rational Method Detention Pond Design
Project Description: FIRST PRESBYTERIAN CHURCH, ROCKWALL, TX By: Mathew Thomas, PE
Date: 29-May-15

Step	Condition	K	C	Tc (min)	I100 (in/hr)	A (acres)	Q100 peak (cfs)
1	Existing	1	0.35	20.00	8.30	0.57	1.68
2	Proposed	1	0.90	10.00	9.80	0.57	5.03
3	BYPASS		0.90	10.00	9.80	0.19	1.68

Time Step	Td Duration (min)	K	C (post-dev)	I100 (in/hr)	A(acres)	Q peak (cfs)	Inflow (cf)	Outflow (cf)	Req Storage (cf)	Req Storage (ac-ft)
1	15	1	0.90	9.00	0.57	4.62	4155.30	1241.89	2913.41	0.07
2	20	1	0.90	8.30	0.57	4.26	5159.48	1490.27	3669.22	0.08
3	30	1	0.90	6.90	0.57	3.54	6371.46	1987.02	4384.44	0.10
4	40	1	0.90	5.80	0.57	2.98	7140.96	2483.78	4657.19	0.11
5	50	1	0.90	5.00	0.57	2.57	7695.00	2980.53	4714.47	0.11
6	60	1	0.90	4.50	0.57	2.31	8310.00	3477.29	4833.32	0.11
7	70	1	0.90	4.00	0.57	2.05	8616.40	3974.04	4844.36	0.11
8	80	1	0.90	3.70	0.57	1.90	9110.88	4470.80	4640.09	0.11
9	90	1	0.90	3.50	0.57	1.80	9695.70	4967.55	4728.15	0.11

Required Storage 100-YR (CU. FT.) = 4833.32 0.11

STAGE STORAGE TABLE

Storm Event	Volume Required (cf)	Volume Provided (cf)	Discharge Allowable (cfs)	Discharge (cfs)	Elevation	Depth at Outlet
5-yr	3040.38	3087.45	2.02	2.00	542.80	0.7
10-yr	3524.31	3569.11	2.37	2.35	542.88	0.75
25-yr	3950.10	4024.89	2.72	2.72	542.91	0.81
100-yr	4833.32	4852.71	3.33	3.33	543.00	0.9

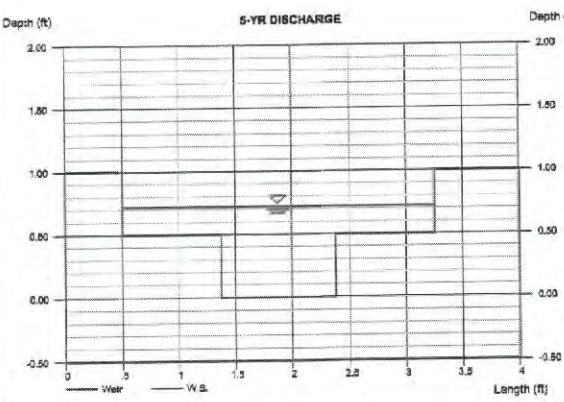
Weir Report
Hydroflow Express Extension for Autodesk AutoCAD Civil 3D by Autodesk, Inc. Friday, May 29 2015

5-YR DISCHARGE

Compound Weir
Crest = Broad
Bottom Length (ft) = 2.75
Total Depth (ft) = 1.00
Length, x (ft) = 1.00
Depth, a (ft) = 0.50

Highlighted
Depth (ft) = 0.72
Q (cfs) = 2.020
Area (sqft) = 1.10
Velocity (ft/s) = 1.83
Top Width (ft) = 2.75

Calculations
Weir Coeff. Cw = 2.60
Compute by: Known Q
Known Q (cfs) = 2.02



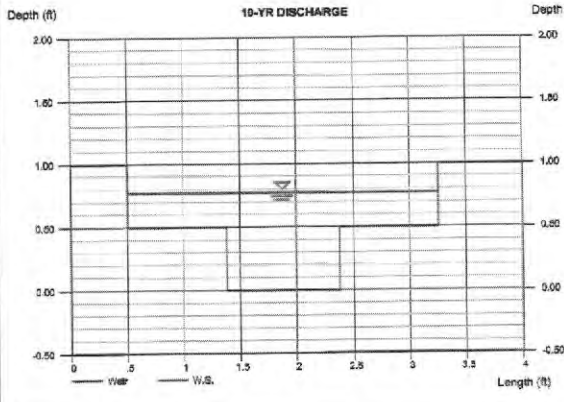
Weir Report
Hydroflow Express Extension for Autodesk AutoCAD Civil 3D by Autodesk, Inc. Friday, May 29 2015

10-YR DISCHARGE

Compound Weir
Crest = Broad
Bottom Length (ft) = 2.75
Total Depth (ft) = 1.00
Length, x (ft) = 1.00
Depth, a (ft) = 0.50

Highlighted
Depth (ft) = 0.77
Q (cfs) = 2.970
Area (sqft) = 1.24
Velocity (ft/s) = 1.91
Top Width (ft) = 2.75

Calculations
Weir Coeff. Cw = 2.60
Compute by: Known Q
Known Q (cfs) = 2.97



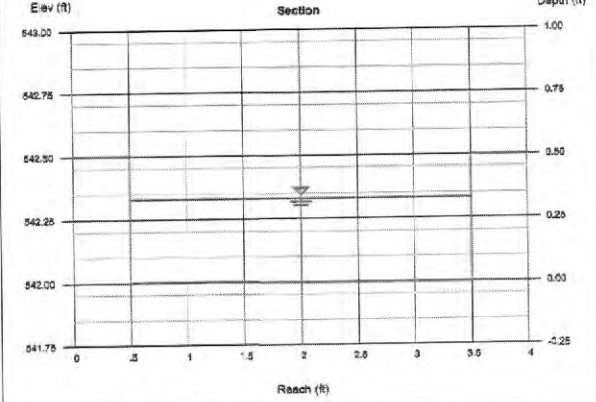
Channel Report
Hydroflow Express Extension for Autodesk AutoCAD Civil 3D by Autodesk, Inc. Friday, May 29 2015

FLUME CAPACITY CALCULATION

Rectangular
Bottom Width (ft) = 3.00
Total Depth (ft) = 0.50

Highlighted
Depth (ft) = 0.53
Q (cfs) = 3.330
Area (sqft) = 0.99
Velocity (ft/s) = 3.38
Wetted Perim (ft) = 3.34
Crest Depth, Yc (ft) = 3.00
Top Width (ft) = 3.00
EGL (ft) = 0.51

Calculations
Compute by: Known Q
Known Q (cfs) = 3.33



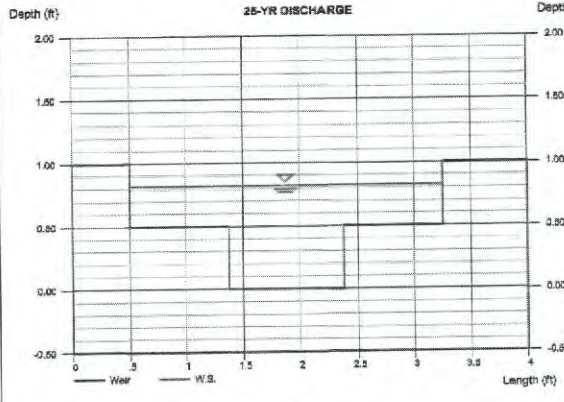
Weir Report
Hydroflow Express Extension for Autodesk AutoCAD Civil 3D by Autodesk, Inc. Friday, May 29 2015

25-YR DISCHARGE

Compound Weir
Crest = Broad
Bottom Length (ft) = 2.75
Total Depth (ft) = 1.00
Length, x (ft) = 1.00
Depth, a (ft) = 0.50

Highlighted
Depth (ft) = 0.82
Q (cfs) = 2.720
Area (sqft) = 1.38
Velocity (ft/s) = 1.97
Top Width (ft) = 2.75

Calculations
Weir Coeff. Cw = 2.60
Compute by: Known Q
Known Q (cfs) = 2.72



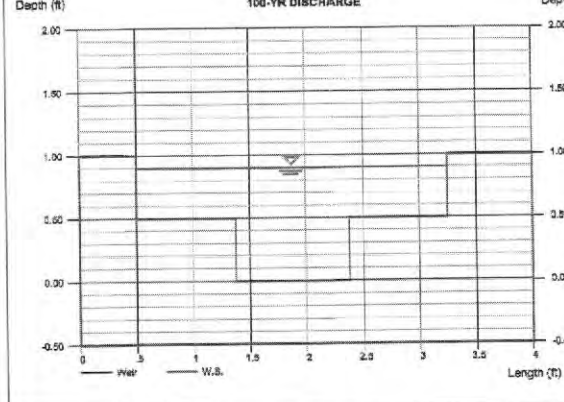
Weir Report
Hydroflow Express Extension for Autodesk AutoCAD Civil 3D by Autodesk, Inc. Friday, May 29 2015

100-YR DISCHARGE

Compound Weir
Crest = Broad
Bottom Length (ft) = 2.75
Total Depth (ft) = 1.00
Length, x (ft) = 1.00
Depth, a (ft) = 0.50

Highlighted
Depth (ft) = 0.90
Q (cfs) = 3.330
Area (sqft) = 1.50
Velocity (ft/s) = 2.38
Top Width (ft) = 2.75

Calculations
Weir Coeff. Cw = 2.60
Compute by: Known Q
Known Q (cfs) = 3.33



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

CITY _____ DATE _____

DETENTION CALCULATIONS

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL
4604 BILL SIMMONS ROAD, ROCKWALL, TX 75087
CONTACT: 972-771-5702

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034
ATTN: MATH-THOMAS, PE PH: (214) 680-2728



THOMAS SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. F-02839
4604 BILL SIMMONS ROAD, COLLEYSVILLE, TX 76034
PHONE: (214) 680-2728
EMAIL: MATH@THOMASINC.COM

PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
602 White Hills Dr., Rockwall, TX 75087

REVISION	DESCRIPTION	DATE

08-16-2011

(S 45°33'13" W)

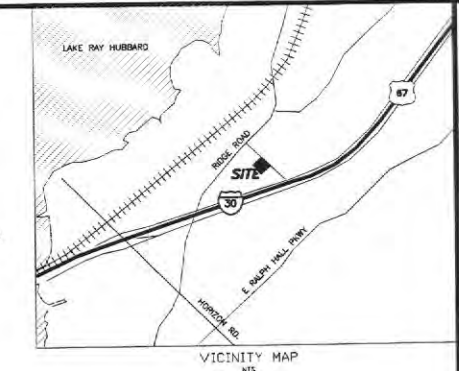
(306.97')

(S 45°33'13" W)

(306.97')

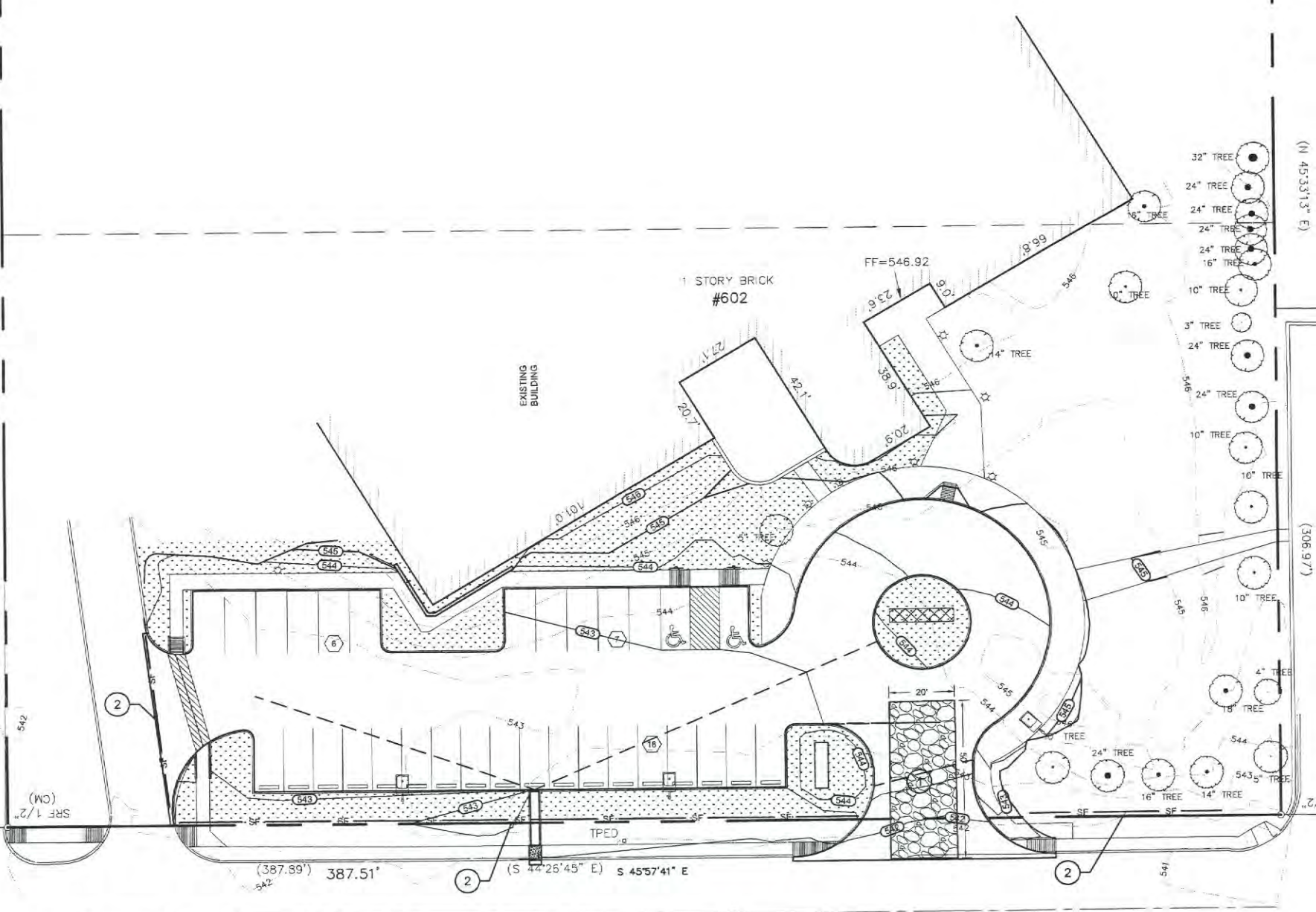
LEGEND :

- 445 --- EXISTING 1' CONTOUR
- 447 --- PROPOSED 1' CONTOUR
- FLOW ARROW
- SF — STANDARD SILT FENCE
- [Symbol] CONSTRUCTION ENTRANCE
- [Symbol] SOD PLACEMENT AREAS
- [Symbol] RECOMMENDED CONSTRUCTION DUMPSTER LOCATION



NOTES BY SYMBOL:

- 1 INSTALL CONSTRUCTION ENTRANCE
- 2 INSTALL APPROX. 310 LF (TOTAL) OF REINFORCED SILT FENCE



WHITE HILLS DRIVE
(60' RIGHT-OF-WAY)

TOTAL DISTURBED AREA: 0.75 Ac.
INITIAL "C" FACTOR = 0.35
FINAL "C" FACTOR = 0.90

TO PREVENT SITE CONTAMINATIONS FROM WASHING DOWNSTREAM, THE FOLLOWING BMPs WILL BE IMPLEMENTED:

- SILT FENCING AND STRAW BALE BARRIERS WILL BE PLACED ALONG THE PERIMETER OF THE AREA TO BE CLEARED AND GRADED BEFORE ANY CLEARING OR GRADING TAKES PLACE. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENT.
- a) THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED AS REQUIRED TO REMOVE EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE.
- b) ALL VEHICLES ON SITE WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
- c) PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
- d) SPILL KITS WILL BE INCLUDED WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES AS APPLICABLE.
- e) DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULON OR OTHER SUITABLE COVERING MATERIAL TO PREVENT MATERIAL FROM BEING DISPERSED ALONG THE HAUL ROUTE.
- f) ALL RUTS CAUSED BY EQUIPMENT WILL BE GRADED.

- WITHIN FOURTEEN (14) DAYS AFTER CLEARING AND GRADING, APPLY GROUND AGRICULTURAL LIMESTONE AND 10-10-10 FERTILIZER OR INSTALL SOD AS REQUIRED BY THE LANDSCAPING PLAN ON ALL AREAS NOT TO BE IMPACTED BY CONSTRUCTION.
- a) FERTILIZERS TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURERS.
- b) FERTILIZERS TO BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER.
- c) FERTILIZERS TO BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS WILL BE TRANSFERRED TO A SEALABLE BIN TO AVOID SPILLS.
- AFTER FERTILIZING, ALL AREAS WHICH WILL NOT BE IMPACTED BY CONSTRUCTION OF THE BUILDING WILL BE SEEDED IF SOD IS NOT THE STABILIZATION METHOD.
- IF WATERING RESTRICTIONS ARE IN EFFECT, SEEDING OR SODDING MAY NOT BE AN OPTION. IN THIS CASE OTHER METHODS OF TEMPORARY STABILIZATION MAY BE NEEDED. CONTACT THE CITY OF ROCKWALL FOR DIRECTION TO DEAL WITH THIS SITUATION.
- TOP SOIL STOCK PILES WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN FOURTEEN DAYS FROM THE LAST CONSTRUCTION ACTIVITIES IN THAT AREA. THE TEMPORARY SEED SHALL BE RYE (GRAIN) APPLIED AT THE RATE OF 120 POUNDS PER ACRE. IF WATERING RESTRICTIONS ARE IN EFFECT, OTHER METHODS OF STABILIZATION ARE TO BE USED.
- A COVERED DUMPSTER WILL BE USED FOR ALL WASTE MATERIALS RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY LOCATED OR LICENSED TO DO BUSINESS IN THE CITY OF ROCKWALL, TEXAS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED WHEN FULL AND AS FREQUENTLY AS REQUIRED TO PREVENT TRASH OVERFLOW AND THE TRASH WILL BE HAULED TO AN APPROVED LANDFILL.
- SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF ONCE A WEEK OR AS NEEDED TO AVOID OVERFILLING.
- ALL PAINT CONTAINERS AND CURING COMPOUNDS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SYSTEM, BUT WILL BE PROPERLY DISPOSED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE TEMPORARY MATERIAL STORAGE TRAILER ONSITE. EQUIPMENT WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAW DUST AND PLASTIC AND METAL TRASH CONTAINERS.
- SPRAY GUNS WILL BE CLEANED ON A REMOVABLE TARP.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORM SYSTEM WILL BE REPORTED TO THE NATIONAL RESPONSE CENTER AT 1-800-424-8802.
- CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.
- WHEN TESTING/CLEANING OF WATER SUPPLY LINES, THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND CONVEYED TO A COMPLETED STORM WATER PIPE SYSTEM FOR ULTIMATE DISCHARGE INTO THE DETENTION POND.

GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE STORM WATER CONTAMINATION FROM PETROLEUM PRODUCTS, FERTILIZERS, PAINTS, AND CONCRETE.

GENERAL NOTES:

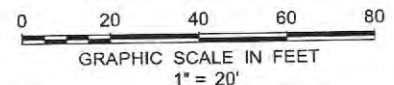
1. CONTRACTOR TO UTILIZE ONLY CITY OF KELLER APPROVED BMPs FOR STORM WATER POLLUTION AND PREVENTION MEASURES ONSITE.
2. RE-SEED ALL DISTURBED, PVIOUS AREAS UPON COMPLETION OF FINAL GRADING PER MANUFACTURER'S RECOMMENDATION.
3. CONTRACTOR TO MAINTAIN SILT FENCING AND INLET PROTECTION DURING CONSTRUCTION AND INSPECT AFTER EACH RAINSTORM.
4. SOD ALL UNPAVED AREAS NOT RECEIVING OTHER LANDSCAPING TREATMENT PER LANDSCAPING PLANS.
5. INSTALL ENVIRONMENTAL BLANKET WITH LANDSCAPE STAKES ON ALL 4:1 SLOPES OR GREATER FOR STABILIZATION PER MANUFACTURER'S RECOMMENDATION.
6. ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH CITY STANDARD EROSION CONTROL DETAILS.
7. CONTRACTOR SHALL INSPECT SITE DAILY AND KEEP SITE FREE OF TRASH AND CONSTRUCTION DEBRIS.

SEQUENCE OF CONSTRUCTION

1. DESIGNATE TRUCK TIRE WASH LOCATION.
2. INSTALL SILT FENCE AS NECESSARY.
3. STRIP TOPSOIL AND OTHER ORGANIC MATERIALS. ALL SUCH TOPSOIL REMOVED SHALL BE STOCKPILED FOR LATER USE. ALL STOCKPILES SHALL BE SEEDED AND MULCHED TO PREVENT LOSS DUE TO EROSION, AND ENCLOSED WITH SEDIMENT FENCE.
4. COORDINATE WITH OWNER FOR EMPLOYEE PARKING AND CONSTRUCTION STAGING AREAS.
5. GRADE REMAINDER OF SITE TO BRING PARKING AREAS TO FINISHED GRADE.
6. CONSTRUCT PAVED AREAS.
7. FINISH GRADING OF ALL AREAS.
8. COMPLETE PERMANENT SEEDING AND MULCHING OF ALL DISTURBED AREAS. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL A FULL VEGETATIVE COVER HAS BEEN ESTABLISHED.
9. 75% - 80% OF ALL DISTURBED AREAS TO HAVE A MIN. 1" STAND OF GRASS PRIOR TO ENGINEERING ACCEPTANCE AND CERTIFICATE OF OCCUPANCY.

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____



EROSION CONTROL PLAN

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER FIRST PRESBYTERIAN CHURCH OF ROCKWALL 602 WHITE HILLS DR., ROCKWALL, TX 75087 CONTACT: 972-771-5702	ENGINEER THOMAS SITE DEVELOPMENT ENGINEERING INC. 4604 BILL SIMMONS ROAD COLLEYVILLE, TX 76034 ATTN: MATHEW THOMAS, PE PH: (214) 680-2728
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THOMAS
SITE DEVELOPMENT ENGINEERING INC.
REGISTRATION NO. F-10289
4604 BILL SIMMONS ROAD, COLLEYVILLE, TX 76034
PHONE: (214) 680-2728
EMAIL: MATHEW@THOMAS-ENG.COM

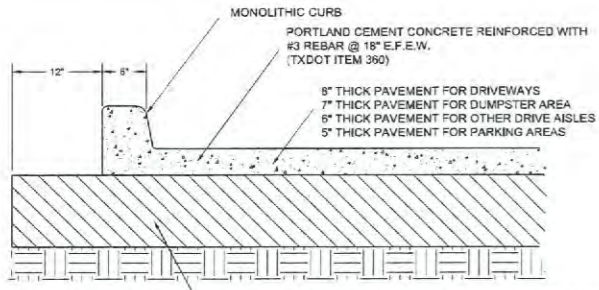
PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH OF ROCKWALL
602 White Hills Dr., Rockwall, TX 75087

REVISION	DATE	DESCRIPTION

08-16-2011

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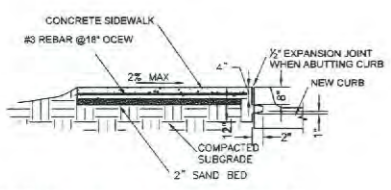


NOTE: CONCRETE SHALL MEET TXDOT ITEM 360 AND HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 3,800 PSI MIN. (6.5 SACK MIX.) WITH 4-6% AIR ENTRAINMENT.
 * FOR DRIVEWAYS IN CITY ROW, CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI MIN. (7.5 SACK MIX.)

CONCRETE STRENGTH NOTES:

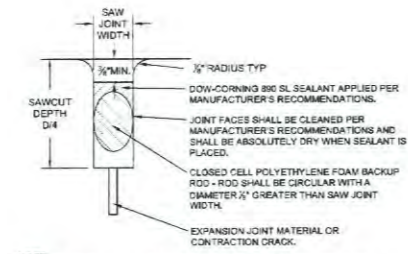
CONCRETE PAVEMENT SECTION

NTS



TYPICAL SIDEWALK AGAINST NEW CURB

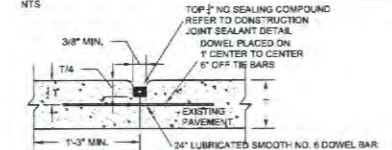
- NOTE:
1. MIN. CONCRETE STRENGTH 3000 PSI, 5.5 SACK MIX.
 2. ALL HOMECOMB IN THE BACK OF CURB TO BE TROWEL PLASTERED BEFORE POURING SIDEWALK.
 3. LUG MAY BE FORMED BY SHAPING SUBGRADE TO THE APPROXIMATE DIMENSIONS SHOWN.
 4. ALL SIDEWALK SUBGRADE TO BE LIME STABILIZED SUBGRADE OR SELECT FILL WITH PI BETWEEN 10 - 18.
 5. SUBGRADE TO BE COMPACTED TO ASTM D 968 TO ±3% OF OMC.
 6. EXPANSION JOINTS TO BE PROVIDED AT STREET JOINTS AT A MAXIMUM OF 40' DISTANCE.



NOTE: WHEN PLACING SEALANT IN EXPANSION JOINTS, POLYETHYLENE BOND BREAKER TAPE SHALL BE ON TOP OF THE FORMED EXPANSION JOINT IN LIEU OF BACKUP ROD.

CONSTRUCTION JOINT AT SEALANT CONDITION

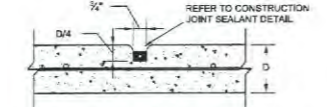
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LONGITUDINAL BUTT JOINT

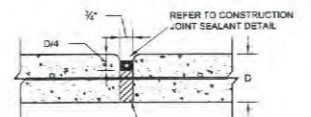
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- NOTES:
1. T = PAVEMENT THICKNESS
 2. LONGITUDINAL BUTT JOINT MAY BE USED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
 3. DOWEL BARS TO BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL DRILL. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.



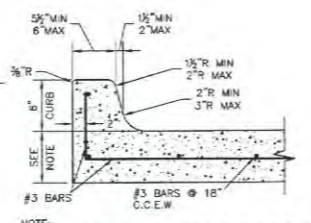
LONGITUDINAL CONSTRUCTION JOINT AND TRANSVERSE CONTRACTION JOINT

NTS



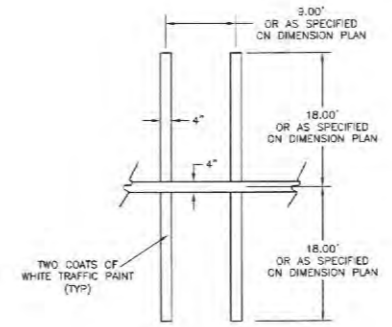
EXPANSION JOINT

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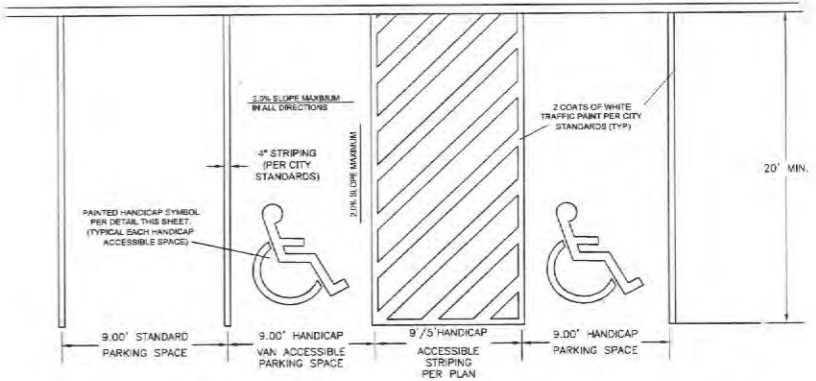
PAVEMENT SECTION - MONOLITHIC CURB

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PAVEMENT STRIPING DETAIL

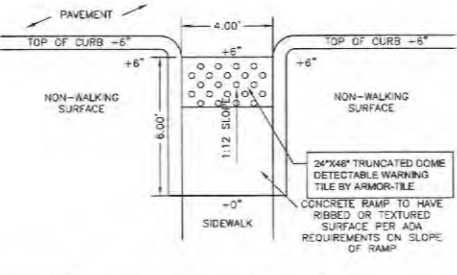
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HANDICAPPED PAVEMENT STRIPING

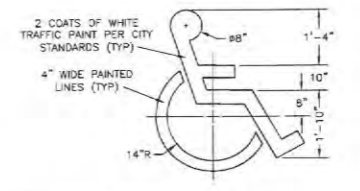
NOT TO SCALE

NOTE: SEE SITE DEVELOPMENT PLAN FOR PARKING DIMENSIONS. DIMENSIONS SHOWN ARE MINIMUM REQUIRED.



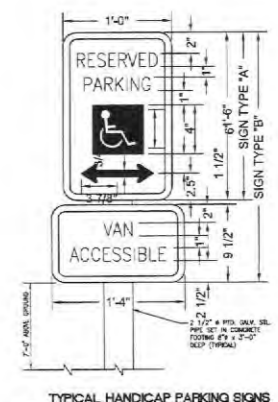
BARRIER FREE RETURNED CURB A.D.A. RAMP

NTS (PER FEDERAL A.D.A. STANDARD 4.7.5 AND FIGURE 12(b))



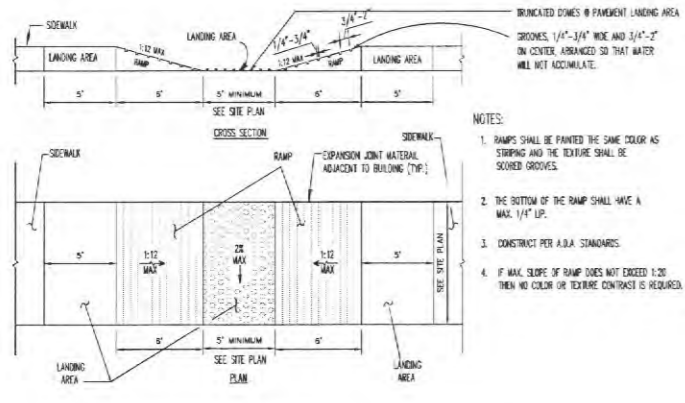
HANDICAPPED PAINTED SYMBOL

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TYPICAL HANDICAP PARKING SIGNS

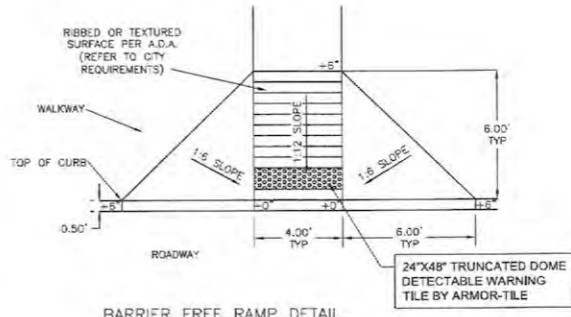
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ADA COMPLIANT CURN RAMP

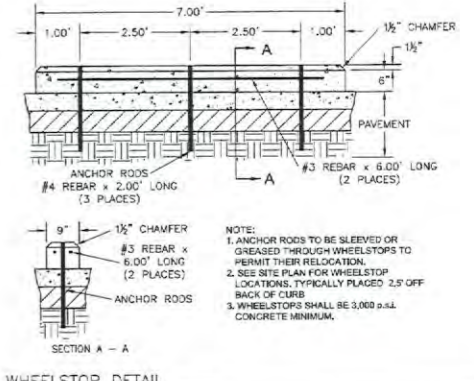
NTS

- NOTES:
1. RAMPS SHALL BE PAINTED THE SAME COLOR AS STRIPING AND THE TEXTURE SHALL BE SCORED GROOVES.
 2. THE BOTTOM OF THE RAMP SHALL HAVE A MAX. 1/4\"/>



BARRIER FREE RAMP DETAIL

NTS



WHEELSTOP DETAIL

NTS

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____

THOMAS
 SITE DEVELOPMENT ENGINEERING INC.
 REGISTRATION NO. F-02829
 4604 BILL SIMMONS ROAD, COLLETTVILLE, TX 76034
 PHONE: (214) 860-2728
 EMAIL: INTHEWIT@THOMAS-ENG.COM

PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL
602 White Hills Dr., Rockwall, TX 75087

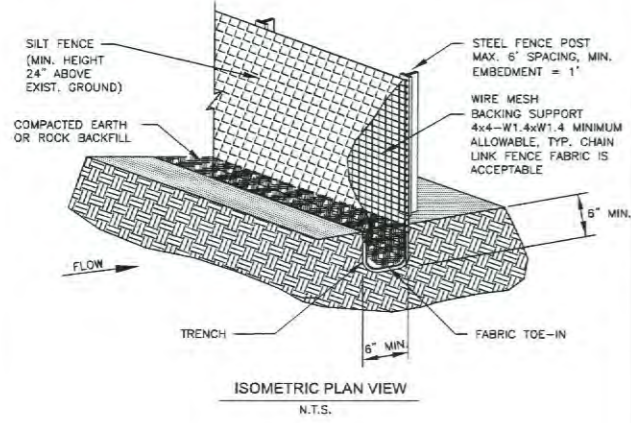
DATE	REVISION	DESCRIPTION
08-18-2011		

SITE DETAILS
FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL, 602 WHITE HILLS DR., ROCKWALL, TX 75087
 ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC., 4604 BILL SIMMONS ROAD, COLLETTVILLE, TX 76034
 CONTACT: 972-771-5702 ATTN: MATTHEW THOMAS, PE. PH: (214) 680-2728

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08/18/2011 10:08 AM C:\WORK\PROJECTS\2011\01\FIRST PRESBYTERIAN CHURCH (DESIGN) SHEETS\C-5.0 SITE DETAILS PP.CHURCH ROCKWALL.DWG
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SILT FENCE

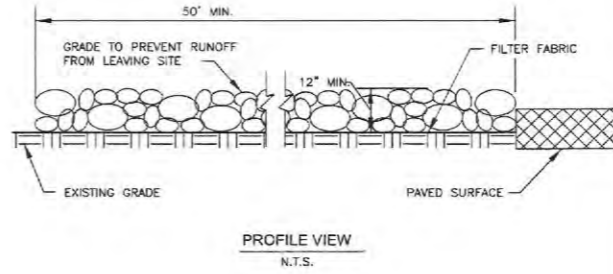
North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: JAN. '98 STANDARD DRAWING NO.: 1020A

SILT FENCE GENERAL NOTES:

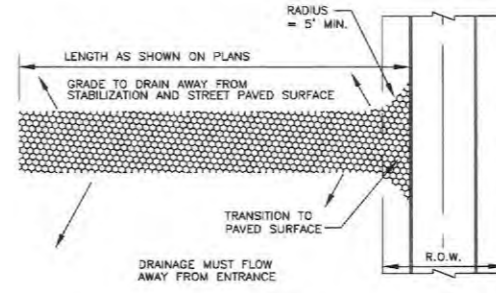
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

SILT FENCE

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: JAN. '98 STANDARD DRAWING NO.: 1020B



PROFILE VIEW
N.T.S.



PLAN VIEW
N.T.S.

STABILIZED CONSTRUCTION
ENTRANCE

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: JAN. '98 STANDARD DRAWING NO.: 1070A

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES :

1. STONE SHALL BE 4 TO 6 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

STABILIZED CONSTRUCTION
ENTRANCE

North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
	DATE: JAN. '98 STANDARD DRAWING NO.: 1070B

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

CITY _____ DATE _____

THESE NCTCOG
STANDARDS HAVE BEEN
REVIEWED BY MATHEW
THOMAS PE AND
APPROVED FOR USE ON
THIS PROJECT

EROSION CONTROL DETAILS

FIRST UNION PRESBYTERIAN CHURCH OF ROCKWALL
E.P. GAINES CHISUM SURVEY, ABS. NO. 64
ACRES 2.730
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER: FIRST PRESBYTERIAN CHURCH OF ROCKWALL
602 WHITE HILLS DR., ROCKWALL, TX 75087
CONTACT: 972-771-5702

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
4604 BILL SIMMONS ROAD
COLLEYSVILLE, TX 76034
ATTN: MATHEW THOMAS, PE PH: (214) 680-2728



**PARKING LOT EXPANSION
FIRST PRESBYTERIAN CHURCH
OF ROCKWALL**
602 White Hills Dr., Rockwall, TX 75087

REVISION	DESCRIPTION	DATE

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T:\NCTCOG\CAD WORK\T0487\01441 FIRST PRESBYTERIAN CHURCH DESIGN\SHEETS\C-5.1 EC DETAILS PP CHURCH ROCKWALL.DWG
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Sec. 9.1. Tree protection.
 A. Prior to any construction or land development, the developer shall mark, with an aluminum tag, which indicates its reference to the tree's plan and clearly flag with bright fluorescent red vinyl tape all protected trees. The red tape should be wrapped around the main trunk of the protected tree to a height of approximately five feet so that the tape is clearly visible during construction. In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required. The protective fence must be maintained during all construction phases until the project is finished.
 B. Property owner shall be responsible for protecting feature trees including the use of an arborist, as necessary.

Sec. 9.2. Material and equipment storage. The developer or contractor shall not store any material or equipment under the canopy of any protected tree. During the construction stage of the development, the storage of equipment or material shall be allowed within the drip line of a protected tree. These materials include, but are not limited to, oils, solvents, mortar, asphalt and concrete.

Sec. 9.3. Signs. No signs, wire or other attachments shall be attached to the protected trees.

Sec. 9.4. Traffic. No vehicular traffic, construction equipment traffic or parking shall take place within the drip line of a protected tree other than an existing street pavement. This restriction does not apply to single incident access for purposes of clearing underbrush, establishing the building pad and associated lot grading, vehicular traffic necessary for routine utility maintenance or emergency restoration of utility service or routine mowing operations.

Sec. 9.5. Grade. No grade changes in excess of two inches shall be allowed within the drip line of any protected tree unless adequate construction methods are approved beforehand. If approved, major grade changes (i.e., two inches or greater) within the critical root zone of a protected tree will require additional measures to maintain proper oxygen and water exchange with the roots. Most pruning will be required when drainage will result in soil exposure.

Sec. 9.6. Tree flagging. At the time of substantial of the site, all protected trees shall be marked with an aluminum tag which indicates its relationship to the site's plan and clearly flagged with bright fluorescent red vinyl tape. The red tape should be wrapped around the main trunk of the protected tree at a height of approximately four feet so that the tape is clearly visible.

Sec. 9.7. Borings. Boring of utilities under protected trees shall be required in those circumstances where it is not possible to trench around the critical root zone of a protected tree. When required, the length of the bore shall be the width of the critical root zone plus two feet on either side of the critical root zone and shall be at a minimum depth of 48 inches.

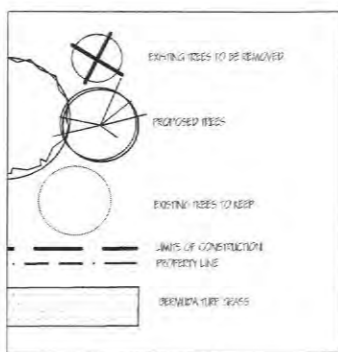
Sec. 9.8. Damage. Any physical damage to a tree preserved for credit that is considered to place the survival of the tree in doubt shall be eliminated as a credited tree and will require additional trees to be planted in its place at the original ratio. A certified arborist shall be contacted to determine whether physical damage to a tree places the survival of the tree in doubt.

Common Name	Botanical Name	Tree	Native	Size	Qty	Notes
Bald Cypress	<i>Taxodium distichum</i>	Tree	Yes	4" cal	3	4" cal, & 6' min height at planting
Cedar Elm	<i>Ulmus crinitifolius</i>	Tree	Yes	4" cal	3	4" cal, & 6' min height at planting
Crepe Myrtle, Country Red	<i>Lagerstroemia indica 'Country Red'</i>	Small tree	No	15 gal	8	6' min height at planting
Eastern Red Cedar	<i>Juniperus virginiana</i>	Tree	Yes	3" cal	3	3" cal, & 6' min height at planting

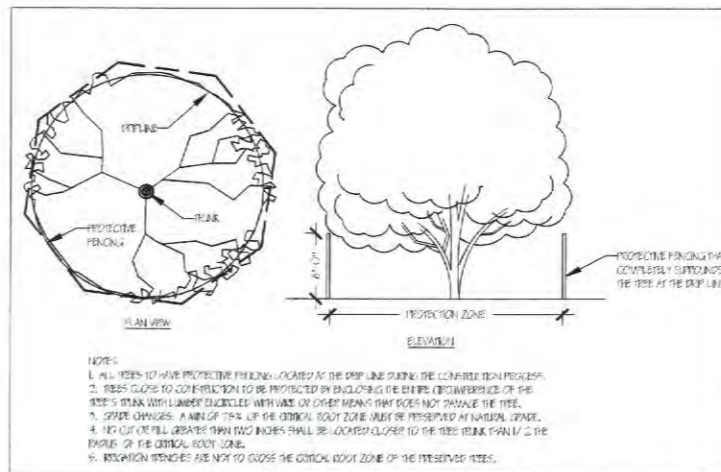
PROPOSED MITIGATION TREES

Tree No.	Species	Caliper size	Remove / Keep	Protected	Mitigation req'd	Tree Credit
101	Oak	10"	Remove	Protected	10	
102	Oak	6"	Remove	Protected	6	
103	Tree	8"	Remove	Protected	8	
104	Red Oak	5"	Transplant	Protected		
105	Crepe Myrtle	3"	Transplant	Not Protected		
106	Live Oak	14"	Keep	Protected		
107	Live Oak	8"	Remove	Protected	8	
108	Live Oak	10"	Keep	Protected		
109	Live Oak	16"	Keep	Protected		
110	Tree	32"	Keep			
111	Tree	24"	Keep			
112	Tree	24"	Keep			
113	Tree	24"	Keep			
114	Tree	24"	Keep			
115	Tree	16"	Keep			
116	Hackberry	10"	Keep	Not Protected		
117	Bald Cypress	3"	Keep	Not Protected		
118	Red Oak	24"	Keep	Protected		1
119	Red Oak	24"	Keep	Protected		1
120	Bald Cypress	10"	Keep	Protected		
121	Bald Cypress	10"	Keep	Protected		
122	Bald Cypress	10"	Keep	Protected		
123	Live Oak	18"	Keep	Protected		
124	Bald Cypress	4"	Keep	Protected		
125	Live Oak	5"	Keep	Protected		
126	Live Oak	14"	Keep	Protected		
127	Live Oak	16"	Keep	Protected		
128	Live Oak	24"	Keep	Protected		1
129	Live Oak	10"	Keep	Protected		
Totals					32	3
Total Mitigation inches required					29	

EXISTING TREE LIST



DRAWING KEY



TREE PROTECTION DETAIL

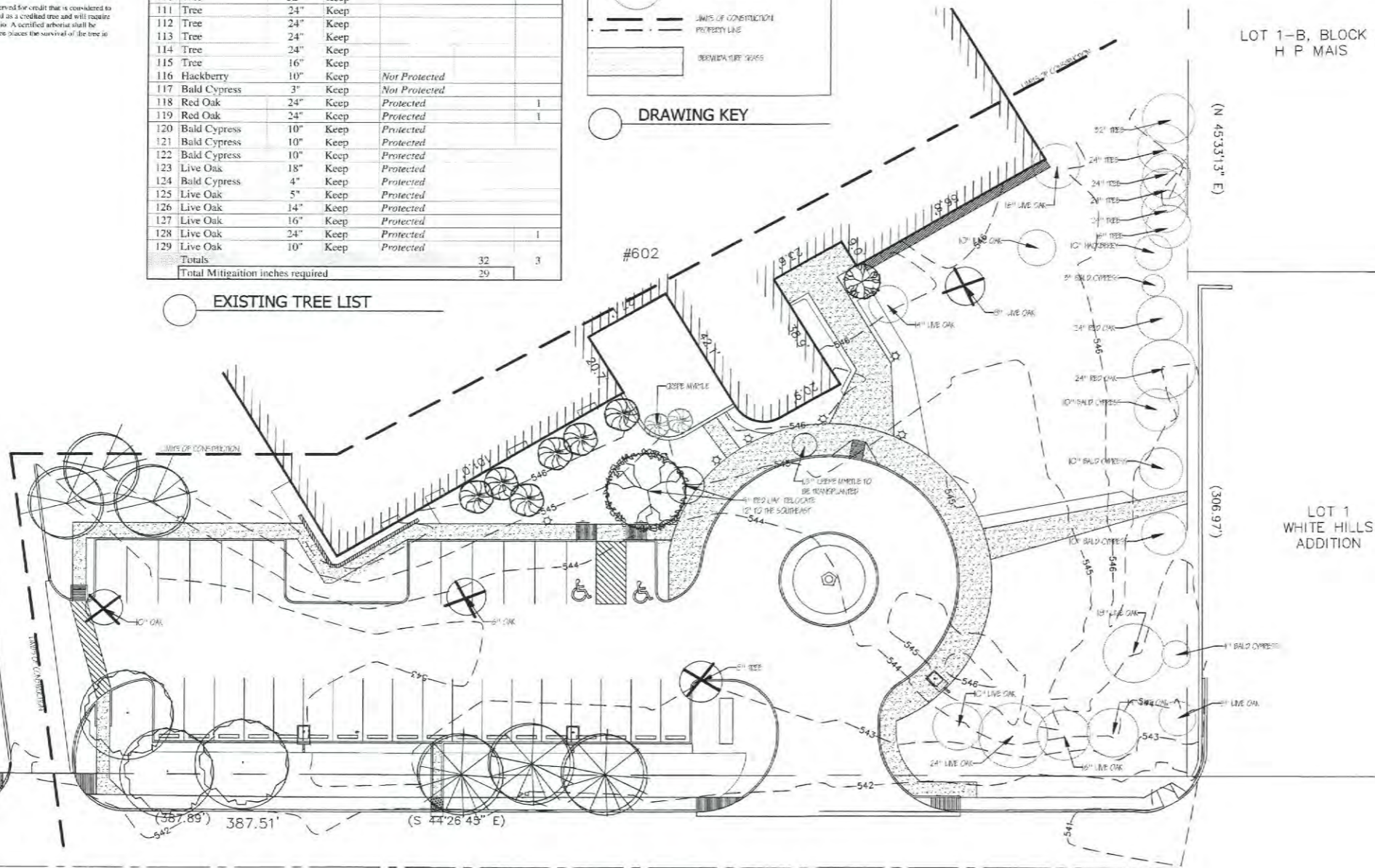
1/8" = 1'

- NOTES:
 1. ALL TREES TO HAVE PROTECTIVE FENCING LOCATED AT THE Drip LINE DURING THE CONSTRUCTION PHASES.
 2. TREES CLOSE TO CONSTRUCTION TO BE PROTECTED BY ENCLOSED BY THE ENTIRE PERIMETER OF THE TREE'S TRUNK WITH LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE.
 3. OTHER CHANGES: A MINOR TREE UP THE CRITICAL ROOT ZONE MUST BE RESEVED AT MINIMAL GRADE.
 4. 1/2" CUT OR FILL GREATER THAN TWO INCHES SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2" THE PERIMETER OF THE CRITICAL ROOT ZONE.
 5. RESERVATION BOUNDARIES ARE NOT TO CROSS THE CRITICAL ROOT ZONE OF THE PRESERVED TREES.

ROSS MORRIS SUBDIVISION LOT 1

(S 45°33'13" W)

(306.97')



LOT 1-B, BLOCK 1
H.P. MAIS

(N 45°33'13" E)

(306.97')

LOT 1
WHITE HILLS
ADDITION

WHITE HILLS DRIVE

PLANTING PLAN

Scale: 1" = 20'

Jurisdiction of Project

REGULATORY AUTHORITIES:
 CITY OF ROCKWALL PLANNING & ZONING
 985 S. GOLLAD ST.
 ROCKWALL, TEXAS 75087
 972.771.7745

TEXAS DEPARTMENT OF LICENSING AND REGULATION
 ELIMINATION OF ARCHITECTURAL BARRIERS
 E.O. THOMPSON STATE OFFICE BUILDING
 920 COLORADO
 AUSTIN, TEXAS 78701
 (512) 463-3211
 (512) 475-2886 (FAX)

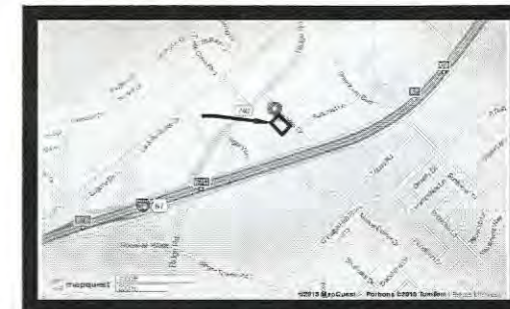
Tree Preservation Requirements

CITY OF ROCKWALL TREE PRESERVATION LANDSCAPE ORDINANCE
 ARTICLE IX

12. NO PERSON, DIRECTLY OR INDIRECTLY, SHALL CUT DOWN, DESTROY, REMOVE OR MOVE OR EFFECTIVELY DESTROY THROUGH DAMAGING, ANY PROTECTED OR FEATURE TREE SITUATED ON A PROPERTY REGULATED BY THIS ORDINANCE WITHOUT FIRST SUBMITTING AND RECEIVING APPROVAL OF A TREESCAPE PLAN UNLESS OTHERWISE SPECIFIED IN THIS ORDINANCE.

13. ALL BUILDERS/CONTRACTORS SHOULD VERIFY IF THERE IS A TREESCAPE PLAN APPROVED ON A PARCEL OF LAND BEFORE WORK BEGINS. ALL BUILDERS/CONTRACTORS WHO HAVE NOT SUBMITTED A REQUEST FOR A BUILDING PERMIT AS OF THE EFFECTIVE DATE OF THE ORDINANCE ARE SUBJECT TO THE REQUIREMENTS WITHIN.

Site Location



Owner & Professionals Information

DEVELOPED BY:
 FIRST PRESBYTERIAN CHURCH OF ROCKWALL
 602 WHITE HILLS DR.
 ROCKWALL, TX
 CONTACT: 972-771-5702

LANDSCAPE ARCHITECT
 CAROL FELDMAN
 FELDMAN DESIGN STUDIOS
 P.O. BOX 832346
 RICHARDSON, TEXAS 75083
 972.980.1730

Planner



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NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	7/26/15
2.	REVISED TO EPC COMMENTS	7/29/15
3.	REVISED TO CITY COMMENTS	8/14/15
4.	REISSUED FOR SOME REASON???	8/25/15
5.		
6.		
7.		

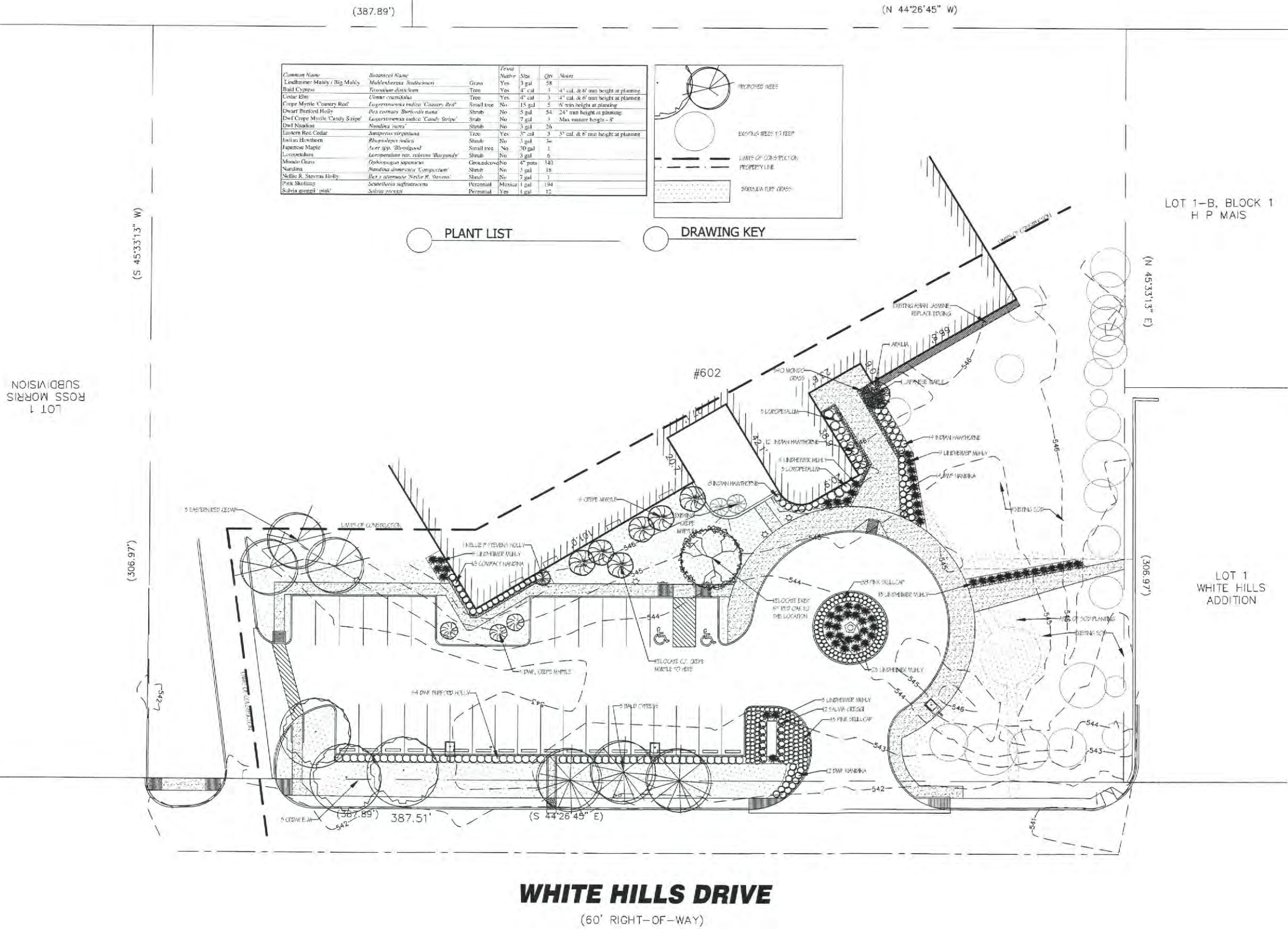


These plans have been prepared under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator #20245.

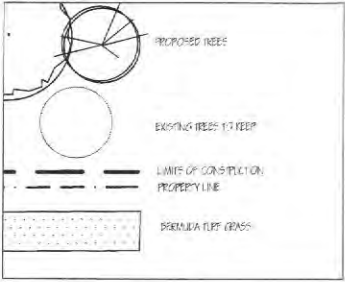
LANDSCAPE PLAN
FIRST PRESBYTERIAN CHURCH
 602 WHITE HILLS DR.
 ROCKWALL, TEXAS 75087

SHEET NO.
L1.01

TREESCAPE PLAN



Common Name	Botanical Name	Tree	Shrub	Grass	Perennial	Other
Lindheimer Mahoe / Big Mahoe	<i>Muhlenbergia floridensis</i>	Grass	Yes	3 gal	58	
Bald Cypress	<i>Taxodium distichum</i>	Tree	Yes	4" cal	3	4" cal, 8' min height at planting
Cedar Elm	<i>Ulmus crinitifolia</i>	Tree	Yes	4" cal	3	4" cal, 8' min height at planting
Cape Myrtle / Country Rose	<i>Lagerströmia indica 'Cassara Red'</i>	Small tree	No	15 gal	5	6' min height at planting
Dwarf Bradford Holly	<i>Ilex cornuta 'Bridal Veil'</i>	Shrub	No	5 gal	54	24" min height at planting
Dwarf Cape Myrtle / Candy Stripe	<i>Lagerströmia indica 'Candy Stripe'</i>	Shrub	No	7 gal	3	Max mature height - 8'
Dwarf Nandina	<i>Nandina 'Tum'</i>	Shrub	No	3 gal	26	
Eastern Red Cedar	<i>Juniperus virginiana</i>	Tree	Yes	3" cal	3	3" cal, 8' min height at planting
Italian Hawthorn	<i>Rhamnus alata</i>	Shrub	No	3 gal	34	
Japanese Maple	<i>Acer spp. 'Bloodgood'</i>	Small tree	No	30 gal	1	
Lantana	<i>Lantana var. 'Yellow Gold'</i>	Shrub	No	3 gal	6	
Muhlenberg Grass	<i>Ophiopogon japonicus</i>	Grass	No	4" pots	140	
Nandina	<i>Nandina domestica 'Compacta'</i>	Shrub	No	3 gal	18	
Nellie R. Stevens Holly	<i>Ilex x cuneata 'Nellie R. Stevens'</i>	Shrub	No	7 gal	1	
Pink Shrub	<i>Scaevola taccada</i>	Perennial	Mexican	1 gal	184	
Salvia 'maui'	<i>Salvia roemeriana</i>	Perennial	Yes	1 gal	12	



PLANT LIST

DRAWING KEY

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF ROCKWALL PLANNING & ZONING
385 S. GOLIAD ST.
ROCKWALL, TEXAS 75087
972.771.7745

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
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Landscaping Requirements

- CITY OF ROCKWALL TREE PRESERVATION LANDSCAPE ORDINANCE
ARTICLE VIII LANDSCAPE STANDARDS
- 3.1 LANDSCAPE BUFFER STRIP — 16 BUFFER STRIP PROVIDED
 - 3.2 SCREENING OF OFF-STREET LOADING DOCKS — N/A
 - 3.7 STREET LANDSCAPING — 10' LANDSCAPE BUFFER WITH 1 TREE PER 50 FT OF STREET FRONTAGE
WHITE HILLS DRIVE (97.5 LIN FT) - 8 TREES PROVIDED
REQUIRED 8 TREES
PROVIDED 4 EXISTING TREES 16 NEW TREES
 - 3.9 PARKING LOT LANDSCAPING
A. MIN LANDSCAPING — N/A
B. PARKING LOT TREES FOR SPACES EXCEEDING 20,000 SF — N/A
 - 3.11 REQUIRED LANDSCAPING
A. AMOUNT OF LANDSCAPING
25% OF TOTAL SITE - RESIDENTIAL-OFFICE
PROVIDED
B. 50% OF LANDSCAPING REQUIREMENTS TO BE LOCATED IN FRONT (STREET SIDE)
PROVIDED

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.
SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCRQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF.
THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Site Location



Owner & Professionals Information

DEVELOPED BY:
FIRST PRESBYTERIAN CHURCH OF ROCKWALL
602 WHITE HILLS DR.
ROCKWALL, TX
CONTACT: 972-771-5702

LANDSCAPE ARCHITECT
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PLANNING APPROVAL
AUG 03 2015

Planner

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6.		
7.		



These plans have been prepared under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

LANDSCAPE PLAN
FIRST PRESBYTERIAN CHURCH
602 WHITE HILLS DR.
ROCKWALL, TEXAS 75087

SHEET NO.
L1.02

LANDSCAPE PLANTING PLAN

Sec. 9.1. Tree protection.
 A. Prior to any construction or land development, the developer shall mark with an aluminum tag which indicates its relationship to the tree. The tag shall be wrapped around the main trunk of the protected tree at a height of approximately five feet so that the tag is clearly visible during construction. In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required. The protective fence must be maintained during all construction phases until the project is finished.
 B. Property owner shall be responsible for protecting feature trees including the use of an arborist, as necessary.

Sec. 9.2. Material and equipment storage. The developer or contractor shall not store any material or equipment under the canopy of any protected tree. During the construction stage of the development no clearing or storage of equipment or material shall be allowed within the drip line of a protected tree. These materials include, but are not limited to, oils, solvents, mortar, asphalt and concrete.

Sec. 9.3. Signs. No signs, wire or other attachments shall be attached to the protected trees.

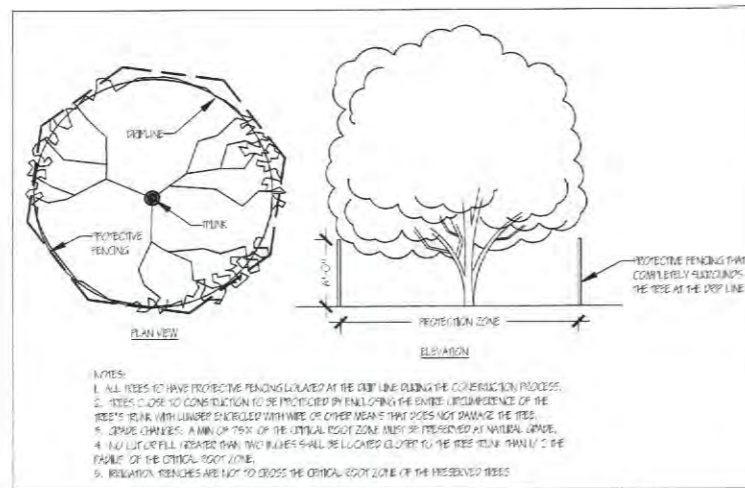
Sec. 9.4. Traffic. No vehicular traffic, construction equipment traffic or parking shall take place within the drip line of a protected tree other than on an existing street pavement. This restriction does not apply in single-lane access for purposes of clearing, construction, establishing the building pad and associated lot grading, vehicular traffic necessary for routine utility maintenance or emergency restoration of utility service or routine mowing operations.

Sec. 9.5. Grade. No grade change in excess of two inches shall be allowed within the drip line of any protected tree unless adequate construction methods are approved beforehand. If approved, minor grade changes (i.e., two inches or greater) within the critical root zone of a protected tree will require additional measures to maintain proper oxygen and water exchange with the roots. Root pruning will be required when disturbances will result in root exposure.

Sec. 9.6. Tree flagging. At the time of submittal of the tree schedule plan all protected trees shall be marked with an aluminum tag which indicates its relationship to the tree schedule plan and clearly flagged with bright fluorescent red vinyl tape. The red tape should be wrapped around the main trunk of the protected tree at a height of approximately four feet so that the tag is clearly visible.

Sec. 9.7. Boring. Boring of utilities under protected trees shall be required in those circumstances where it is not possible to trench around the critical root zone of a protected tree. When required, the length of the bore shall be the width of the critical root zone plus two feet on either side of the critical root zone and shall be at a minimum depth of 48 inches.

Sec. 9.8. Damage. Any physical damage to a tree preserved for credit that is considered to place the survival of the tree in doubt shall be eliminated as a credited tree and will require additional trees to be planted in its place at the required ratio. A certified arborist shall be consulted to determine whether physical damage to a tree places the survival of the tree in doubt.



TREE PROTECTION DETAIL
 1/8" = 1'

SECTION 02910 - SOIL PREPARATION

- PART 1 - GENERAL**
 A. DESCRIPTION
 1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
 B. EXAMINATION
 1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
 2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED PREPARATION WORK.
 C. APPROVALS
 1. ALL 'APPROVED EQUAL' MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.

- PART 2 - PRODUCTS**
 A. MATERIALS
 1. COMPOST:
 1.1. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX, OR CLEAR FARM MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
 2. FERTILIZERS AND SUPPLEMENTS:
 2.1. A 8-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
 3. MULCH:
 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.

- PART 3 - EXECUTION**
 A. BED PREPARATION AND PREPARATION FOR SOIL INSTALLATION
 1. GENERAL
 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
 2. SHRUB BEDS:
 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 8 INCHES.
 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
 3. SOIL AND SEED AREAS
 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

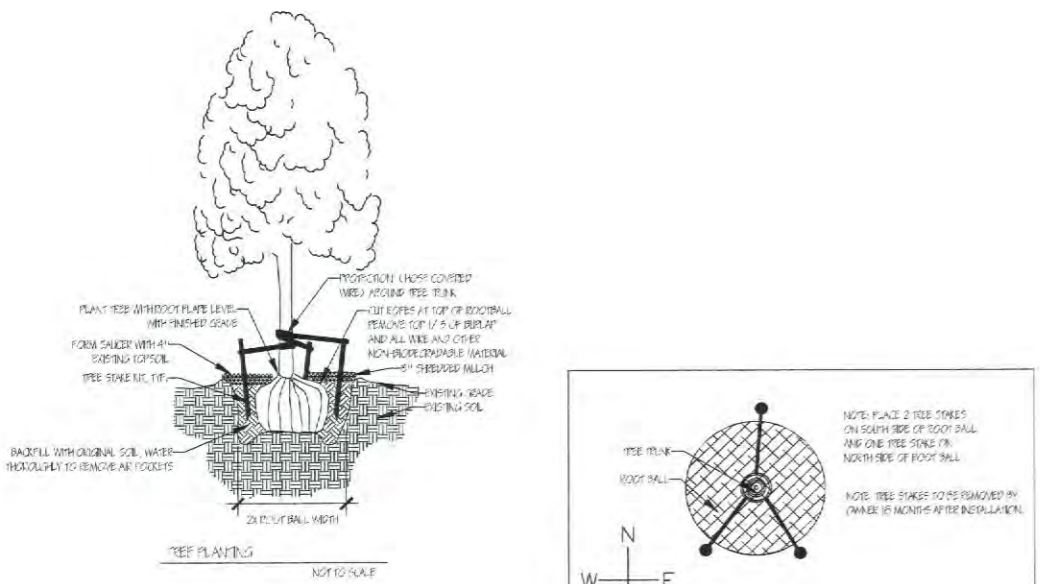
- END OF SECTION 02910**
 NOTES
 GENERAL LANDSCAPE
 1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
 2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
 3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
 4. ALL CANOPY AND ORNAMENTAL TREES TO BE STAKED (SEE DETAIL).
 5. TRANSPLANT TREES TO THE DIRECTION OF THE OWNERS.
 6. ALL LAWN AND LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

SECTION 02915 - LANDSCAPE PLANTING

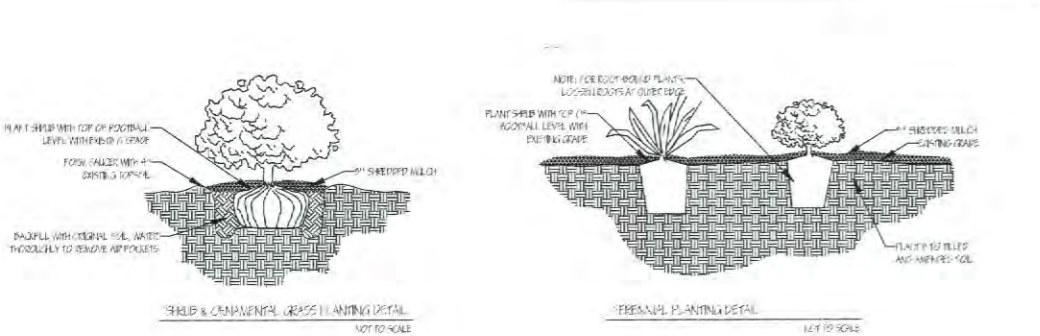
- PART 1 - GENERAL**
 A. SPECIAL CONDITIONS
 1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
 2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
 3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
 4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
 B. REFERENCE STANDARDS
 1. AMERICAN STANDARD FOR NURSERY STOCK, APPROVED NOV. 6, 1996 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
 2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
 3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.
 C. PREPARATION
 4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
 5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
 6. COORDINATION WITH IRRIGATION SYSTEM:
 6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.
 D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES:
 1. CONTAINER GROWN PLANTS SHALL HAVE BEEN STEPPED-UP AS NECESSARY TO PREVENT ROOT GIRDLING.
 2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
 3. THE 'ROOT FLARE' OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.
 E. THE FOLLOWING TREE CARE PROCEDURES SHALL BE ADHERED TO:
 1. DO NOT MAKE FLUSH CUTS OR LEAVE STUBS WHEN PRUNING. LEAVE THE BRANCH COLLAR INTACT.
 2. DO NOT USE ANY TYPE OF PRUNING POINT ON WOUNDS.
 3. DO NOT USE ANY TYPE OF TREE WRAP EXCEPT TRUNKS MAY BE WRAPPED WITH BURLAP DURING PLANTING OPERATIONS ONLY.
 4. DO NOT STAKE OR GUY ANY TREES. IN SPECIAL CASES, TREE STAKING MAY BE NECESSARY TO PRESERVE A TREE THAT CONTINUES TO BLOW OVER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY TREES THAT NEED STAKING FOR A PERIOD OF ONE YEAR.
 5. DO NOT HANDLE ANY TREE BY ITS TRUNK. ANY TREE HANDLED IN SUCH A MANNER SHOULD BE REJECTED.
 F. WARRANTY
 1. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHERWISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
 2. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL, OR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

- PART 3 - EXECUTION**
 A. PREPARATION FOR PLANT MATERIAL INSTALLATION
 1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED. VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
 B. TIME OF PLANTING
 1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
 C. TREE PLANTING
 1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
 2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
 3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL. PLUM AND VERTICAL AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
 4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
 5. BACK-FILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
 6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
 7. COVER ALL TREE BALLS WITH A MINIMUM OF 3 OF SPECIFIED MULCH. EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
 8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER.
 D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING
 1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
 2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE POT-BOUND PRIOR TO INSTALLATION.
 3. COVER PLANTING BEDS WITH A MINIMUM 3 LAYER OF SPECIFIED MULCH. SOIL PLANTING
 1. LAY SOIL IN AN ORDERLY MANNER TO COVER ALL BARE SOIL AREAS.
 2. WATER ALL AREAS OF THE SOIL UNTIL THOROUGHLY WET.
 3. ROLL SOIL WITH A SOIL ROLLER AFTER 24 HOURS AFTER LAYING AND WATERING SOIL TO OBTAIN A UNIFORM, SMOOTH FINISH.
 4. FILL JOINTS WITH COMPOST IF NECESSARY TO FORM A UNIFORM GRASS LAYER.
 5. KEEP SOIL ADEQUATELY WATERED UNTIL SOIL MAKES A FIRM CONNECTION TO THE SOIL.
 F. SEED PLANTING
 1. AREAS SHALL BE RAKED TO A DEPTH OF 1/2", SMOOTH AND FREE OF STONES AND DEBRIS.
 2. APPLY SEED EVENLY AT THE RATE RECOMMENDED.
 3. RAKE AND WATER TO ESTABLISH A FIRM CONNECTION OF THE SEED TO THE SOIL.
 4. KEEP SEED AREA MOIST (NOT WET) UNTIL SEED GERMINATES AND GRASS IS APPROX. 1/2" IN HEIGHT.
 5. KEEP AREA ADEQUATELY WATERED UNTIL A STAND OF THE GRASS IS ESTABLISHED.
 6. RE-SEED TO ESTABLISH A THICK STAND OF GRASS IF NECESSARY.

END OF SECTION 02915
 Planner
 AUG 03 2015



TREE PLANTING
 NOT TO SCALE



SHRUB & PERENNIAL GRASS PLANTING DETAIL
 NOT TO SCALE

DATE: 1/26/15
 2/9/15
 6/4/15
 6/25/15

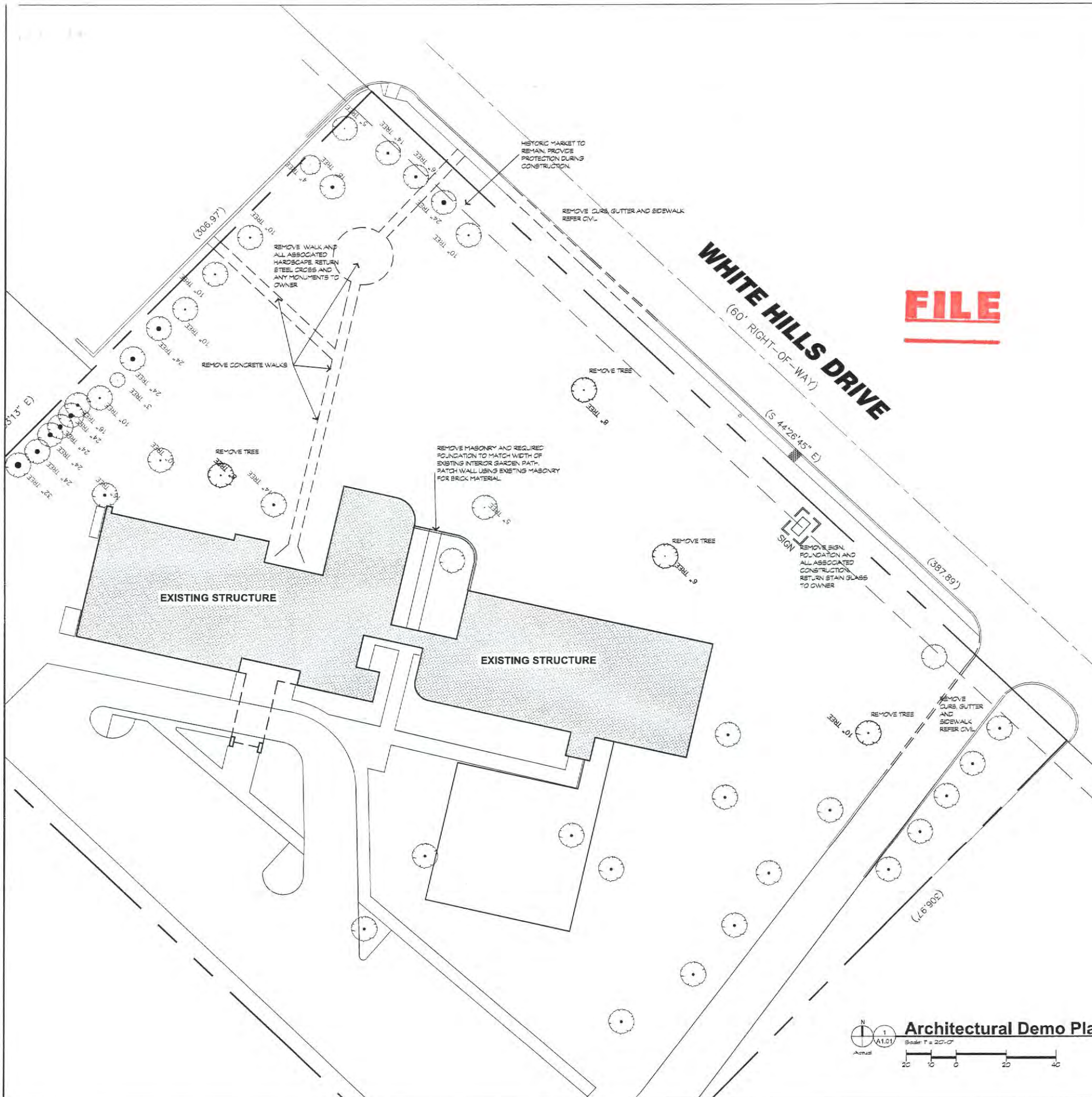
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4.	REISSUED FOR SOME REASON???
5.	
6.	
7.	



Carol Feldman

LANDSCAPE PLAN
FIRST PRESBYTERIAN CHURCH
 602 WHITE HILLS DR.
 ROCKWALL, TEXAS 75087

SHEET NO.
L1.03



FILE

Owner

First Presbyterian Church of Rockwall
 802 White Hills Dr.
 Rockwall, Texas 75087
 972.777.5102

Jurisdiction of Project

REGULATORY AUTHORITIES:
 City of Rockwall, Texas
 385 Baum Street
 Rockwall, Texas 75087
 (972) 771-7000

Texas Department of Licensing and Regulation
 Director of Architectural Barriers
 920 Commerce
 Austin, Texas 78701
 (512) 463-507
 (512) 475-2686 (FAX)

BUILDING DESIGN CODE:
 2009 INTERNATIONAL BUILDING CODE
 2009 INTERNATIONAL MECHANICAL CODE
 2009 INTERNATIONAL PLUMBING CODE
 2009 INTERNATIONAL FIRE CODE
 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 2009 NATIONAL ELECTRIC CODE

Property Information

Address:
 802 White Hills Dr.
 Rockwall, Texas 75087

LEGAL DESCRIPTION:
 First Presbyterian Church of Rockwall
 E.P. Gates Chalmers Survey, Aka No 84
 Area 2.730
 City of Rockwall
 Rockwall County, Texas

LOT AREA:
 2.730 Acres

ZONING: C - Commercial

LAND USE:
 Church House of Worship

Parking Requirements

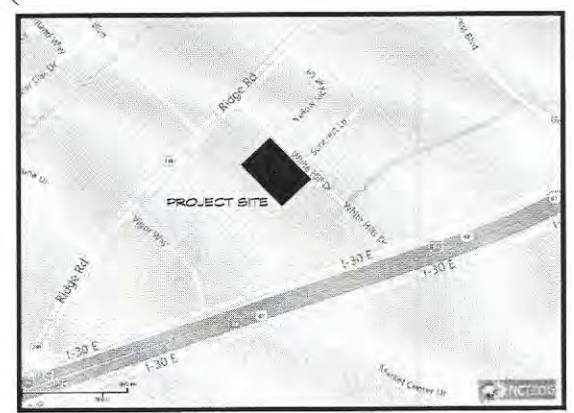
LAND USE:
 CHURCH HOUSE OF WORSHIP
 REQUIREMENT: 1 FOR EACH 4 SEATS IN THE SANCTUARY OR AUDITORIUM

Site Notes

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, GRADES, UTILITY LOCATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. EXACT LOCATIONS OF EXISTING UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR. ROUTINGS TO NEW CONSTRUCTION SHALL ALLOW FOR THE MOST ECONOMICAL INSTALLATION. ALL LOCATIONS SHALL BE VERIFIED BY THE OWNER.
3. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY.
4. DIMENSIONS SHOWN ARE TO THE FACE OF WALL, FACE OF PAVING, CURB, AND/OR PROPERTY LINES.

Drawing Index (Bid Set)

	SHEET ISSUED	DATE ISSUED	LATEST REVISION NUMBER
01/01/00	XX		
2/2/15	2	A1.01	ARCHITECTURAL DEMOLITION PLAN
2/2/15	2	A1.02	ARCHITECTURAL SITE PLAN
1/28/15		C-0.0	CIVIL COVER SHEET
1/28/15		C-0.1	CIVIL SURVEY
1/28/15	2	C-1.0	CIVIL DEMOLITION PLAN
1/28/15	3	C-2.0	SITE PLAN
1/28/15	3	C-2.1	PAVING & DIMENSION CONTROL PLAN
1/28/15	3	C-3.0	DRAINAGE PLAN
1/28/15	3	C-3.1	GRADING PLAN
1/28/15	2	C-3.2	EROSION CONTROL PLAN
1/28/15	2	C-3.2.1	DETENTION CALCULATIONS
1/28/15	1	C-3.0	SITE DETAILS
1/28/15	1	C-3.1	EROSION CONTROL DETAILS
2/9/15	2	L1.01	TREESCAPES PLAN
2/9/15	2	L1.02	LANDSCAPE PLANTING PLAN
2/9/15		L1.03	LANDSCAPE DETAILS
2/9/15		L1.04	IRRIGATION PLAN
2/11/15	R1	E1	ELECTRICAL SITE PLAN
2/11/15		E2	ELECTRICAL DETAILS
2/11/15		E3	ELECTRICAL NOTES
2/11/15	R1	E4	SITE PHOTOMETRIC PLAN



Architectural Demo Plan
 Scale: 1" = 20'-0"
 Actual

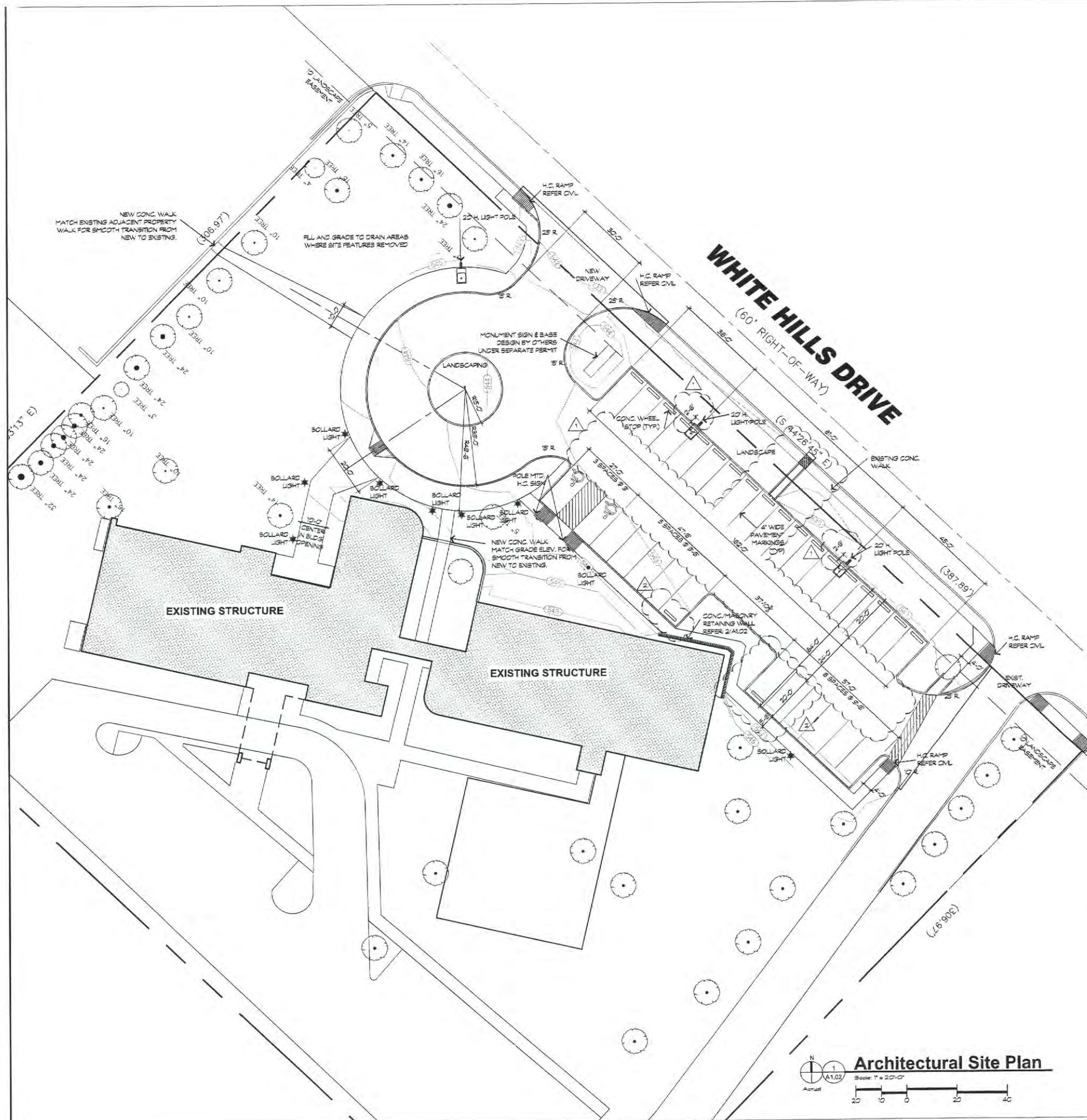
Vicinity Map
 No Scale

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
 REMAINS WITH THE DESIGN ENGINEER. THE CITY
 OF ROCKWALL, IN REVIEWING AND RELEASING
 PLANS FOR CONSTRUCTION, ASSUMES NO
 RESPONSIBILITY FOR ADEQUACY OR ACCURACY
 OF DESIGN.

[Signature]
 CITY

7-25-15
 DATE



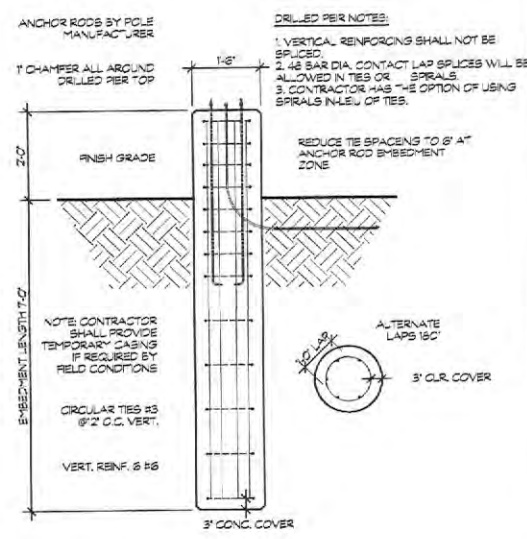
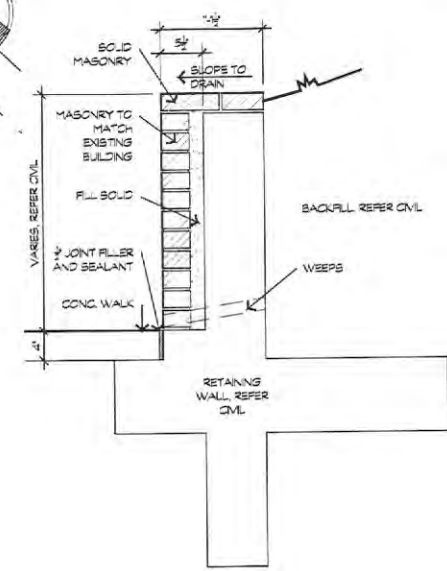


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CITY _____ DATE _____

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1 Architectural Site Plan
 Scale: 1" = 20'-0"
 Actual

2 Retaining Wall Detail
 Scale: 1" = 1'-0"

3 Light Pole Base
 Scale: 1/2" = 1'-0"



Sheet #	A1.02
Project #	14-015
Date	12 February 2015
Revisions	4 June 2015 24 June 2015 City contract response
Sheet	