

CONSTRUCTION PLANS FOR EVERBROOK ACADEMY-ROCKWALL LOT 7, BLOCK A DALTON GOLIAD ADDITION 320 DALTON ROAD CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

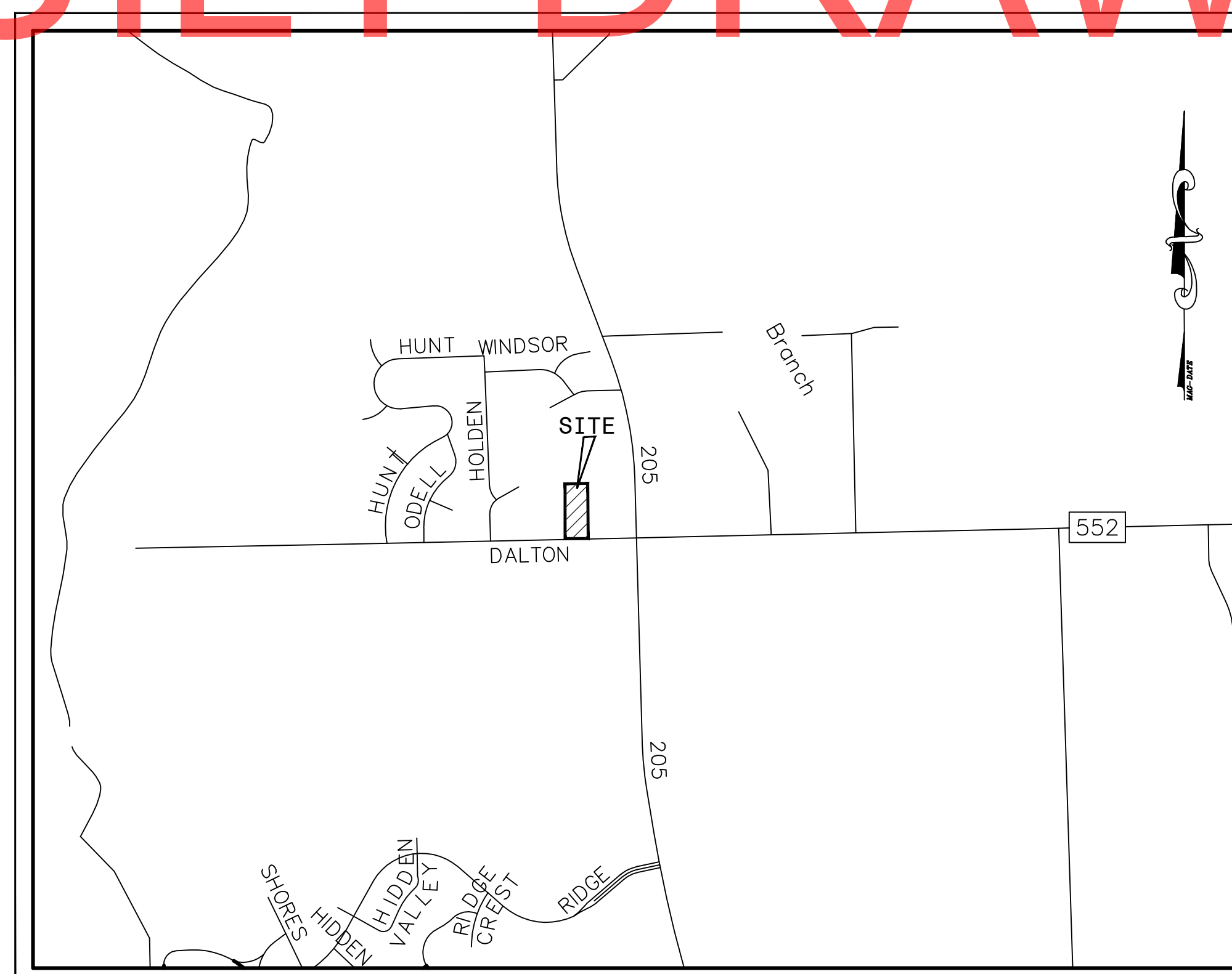
AS BUILT DRAWINGS

CONSTRUCTION START: JULY 2023

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MICHIGAN 48375
PHONE: 407-314-8432
CONTACT: WESLEY ARNOLD

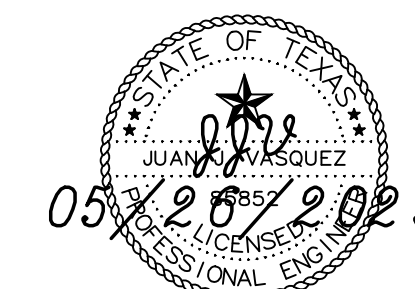
OWNER:
ROCKWALL 205-552 LLC
4622 MAPLE AVE., SUITE 200
DALLAS, TX 75219
PHONE: 214-393-3983
CONTACT: DONALD SILVERMAN

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.



LOCATION MAP
N.T.S.
MAPSCO 10C-Y

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JUAN J. VASQUEZ, P.E. 85852, ON 05/26/2023



SHEET INDEX

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FOR REFERENCE

C4.2	PROP DRAINAGE AREA MAP
C7	DRAINAGE AREA MAP

SUBMITTALS

NO	DATE	COMMENTS
1	03/29/2023	FIRST CITY SUBMITTAL
2	05/26/2023	SECOND CITY SUBMITTAL

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration #F-12266

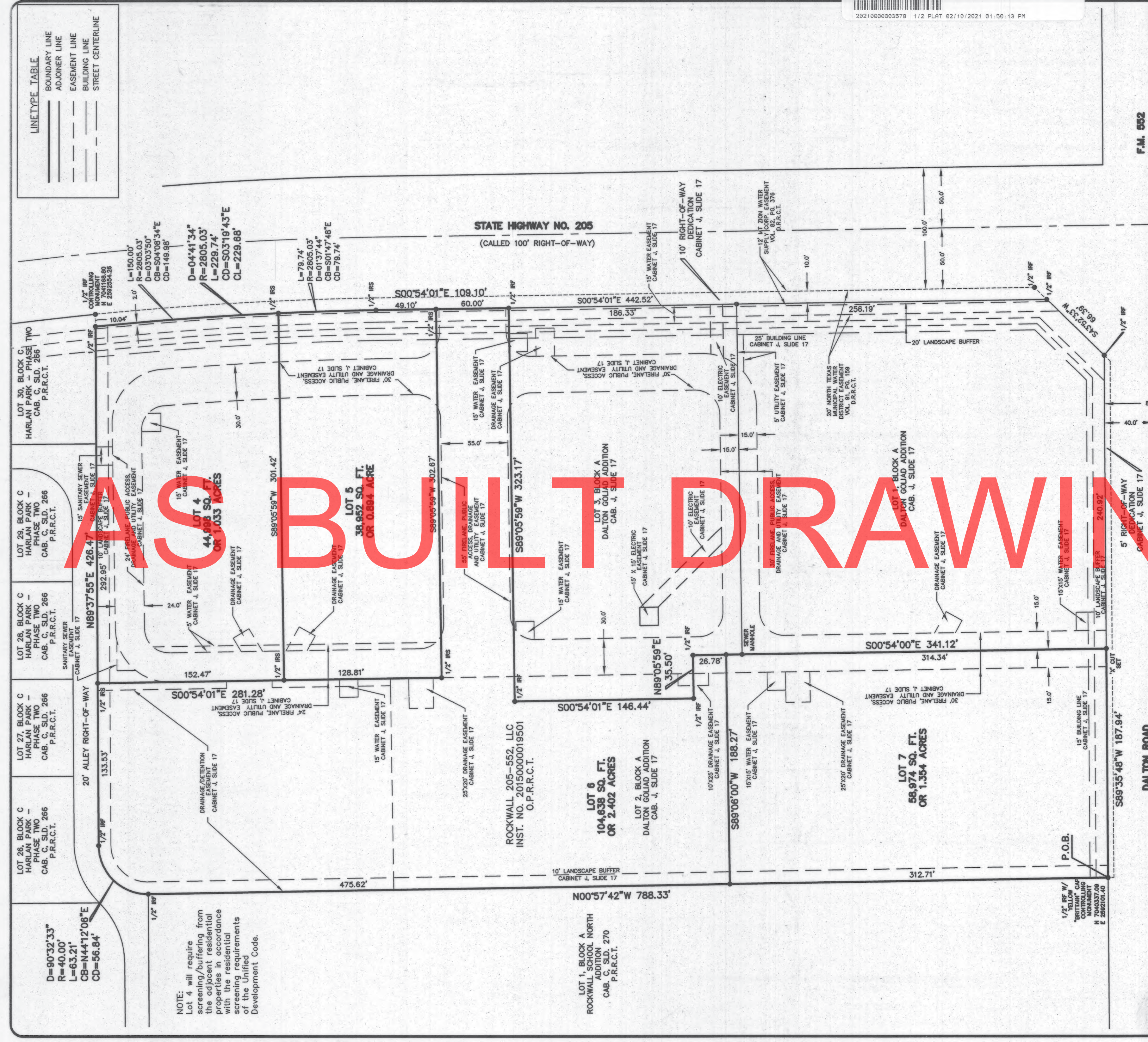


713-01 EVERBROOK ACADEMY-ROCKWALL, CITY OF ROCKWALL, TEXAS

LINE/TYPE TABLE

---	BOUNDARY LINE
---	ADJOINER LINE
---	EASEMENT LINE
---	BUILDING LINE
---	STREET CENTERLINE

20210000003879 1/2 PLAT 02/10/2021 01:50:13 PM



NOTE:
Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the screening requirements of the Unified Development Code.

LOT 1, BLOCK A
ROCKWALL SCHOOL NORTH
ADDITION
CAB. J. SLIDE 17
P.R.R.C.T. 270

ROCKWALL 205-552, LLC
INST. NO. 20150000019501
O.P.R.R.C.T.

LOT 6
104,638 SQ. FT.
OR 2.402 ACRES
DALTON GOLIAD ADDITION
CAB. J. SLIDE 17

LOT 7
58,974 SQ. FT.
OR 1.354 ACRES
DALTON GOLIAD ADDITION
CAB. J. SLIDE 17

LOT 4
44,993 SQ. FT.
OR 1.033 ACRES
DALTON GOLIAD ADDITION
CAB. J. SLIDE 17

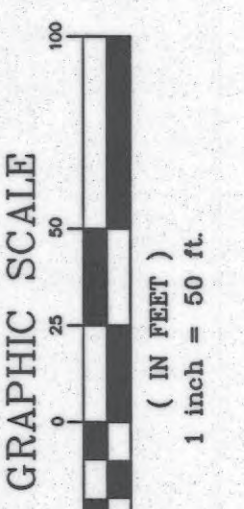
LOT 5
38,952 SQ. FT.
OR 0.894 ACRES
DALTON GOLIAD ADDITION
CAB. J. SLIDE 17

LOT 6, BLOCK A
DALTON GOLIAD ADDITION
CAB. J. SLIDE 17

LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CAB. J. SLIDE 17

FINAL PLAT
BEING A CONVEYANCE PLAT FOR
DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A
BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
T. R. BAILEY SURVEY, ABSTRACT NO. 30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

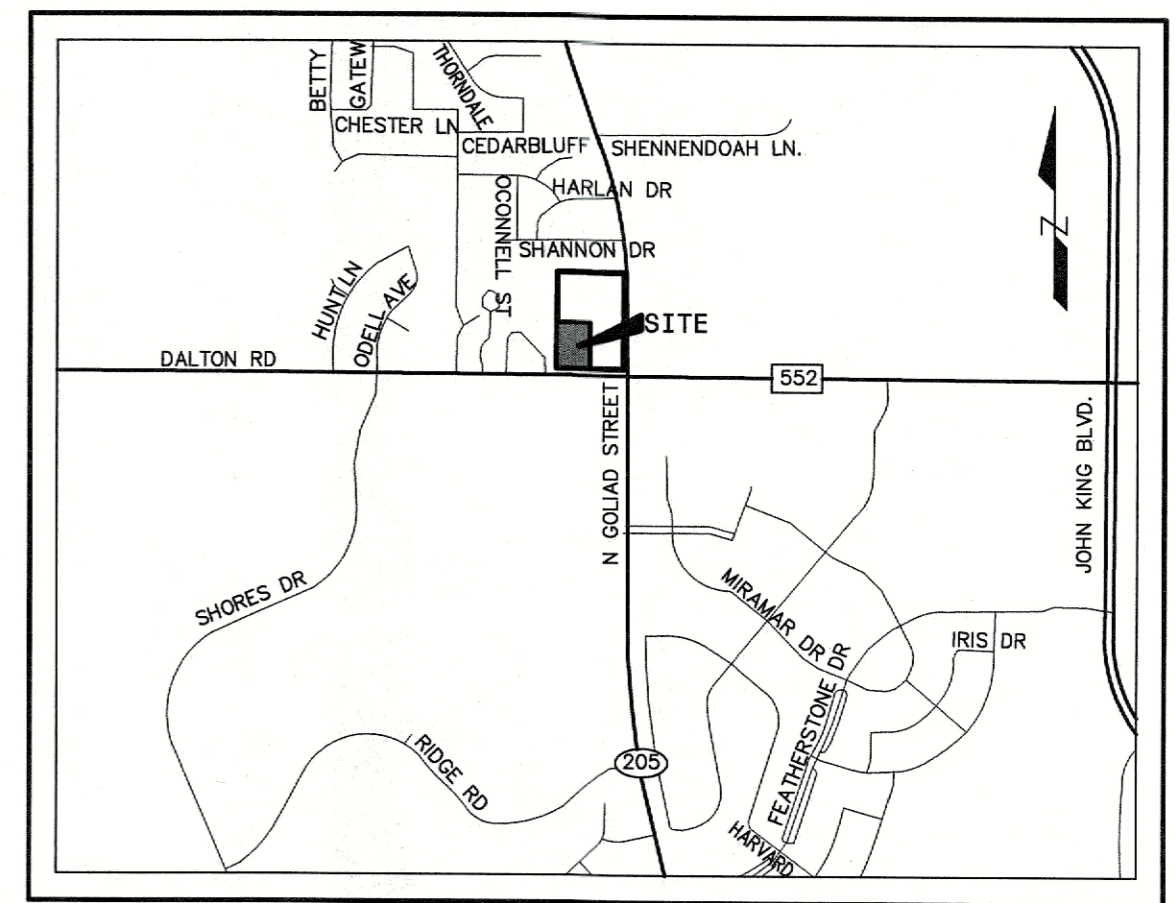
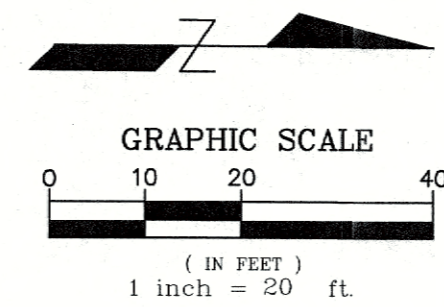
CASE NO. P2020-048
JOB NO.: 15-1216
DATE: 10/21/2020
DRAWN: J.E.W.
SCALE: 1" = 50'



PEISER & MANKIN SURVEYING, LLC
www.peisersurveying.com
COMMERCIAL BOUNDARIES TOPOGRAPHY MORTGAGE
1604 HART STREET
SUITE 100
ROCKWALL, TEXAS 76087
817-981-1806 (O)
FIRM No. 100999-00 Member Since 1977

SHEET 1 OF 2

- NOTES**
1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC., DATED 12/28/2022.
 2. REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE NOTED.
 4. ALL RADII NOT LISTED ARE 2' FACE OF CURB.
 5. SEE LANDSCAPE PLAN FOR SITE LANDSCAPING.



LOCATION MAP
N.T.S.

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
---	CENTER LINE	---
---	CONC WALK	---
---	PARKING COUNT	(19)
---	LANDSCAPE	LS
---	FENCE	---
---	WATER LINE	---
---	8"SS SANITARY SEWER	---
---	U.G. ELEC	---
---	O.H. ELEC	---
---	TELEPHONE LINE	---
---	GAS LINE	---
---	STORM SEWER	---
---	WATER VALVE	---
---	FIRE HYDRANT	---
---	WATER METER	---
---	SAN. SEWER MH	---
---	LIGHT POLE	---
---	POWER POLE	---
---	GAS METER	---

SITE SUMMARY TABLE

Site Address	320 DALTON ROAD
County	ROCKWALL
Project Name	LEARNING CARE CENTER
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	CHILD CARE CENTER
Site Area:	1.354 Acres 58,974 S.F.
Building Area	11,109 S.F.
Building Height:	1 Story
Lot Coverage:	11,109 / 58,974 = 18.83%
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83
Parking Required Building:	11,109 S.F.
Total Parking Required:	CHILD CARE CENTER (1 SPCS/300 SF) = 37 SPACES
Parking Provided:	REGULAR = 36 SPACES
	ACCESSIBLE = 2 SPACES
	TOTAL = 38 SPACES
Impervious Area:	45,695 S.F.
Impervious Area Ratio:	45,695 S.F. / 58,974 = 77.58%
Pervious Area Ratio:	13,279 S.F. / 58,974 = 22.42%

SITE PLAN
EVERBROOK ACADEMY—ROCKWALL
 LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 1.354 ACRES
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 FEBRUARY 10, 2023
 CASE #SP2023-003

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF February 2023.
 WITNESS OUR HANDS, THIS 14 DAY OF February 2023.
 [Signature] DIRECTOR OF PLANNING AND ZONING
 [Signature] PLANNING & ZONING COMMISSION, CHAIRMAN

OWNER:
 ROCKWALL 205-552 LLC
 4622 MAPLE AVE., SUITE 200
 DALLAS, TX 75219
 PHONE: 214-393-3983
 CONTACT: DONALD SILVERMAN

ENGINEER:
 VASQUEZ ENGINEERING, L.L.C.
 1919 S. SHILOH ROAD, SUITE 440
 GARLAND, TEXAS 75042
 PHONE: 972-272-4610
 CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:
 LEARNING CARE GROUP
 21333 HAGGERTY RD
 NOVI, MICHIGAN 48375
 PHONE: 407-314-8432
 CONTACT: WESLEY ARNOLD

Scale: 1" = 20'
 Designed by: JUV
 Drawn by: DRS
 Checked by: JUV
 713-010-0000@PEISERANDMANKIN.COM
 Date: 02/10/2023

SHEET
SP1

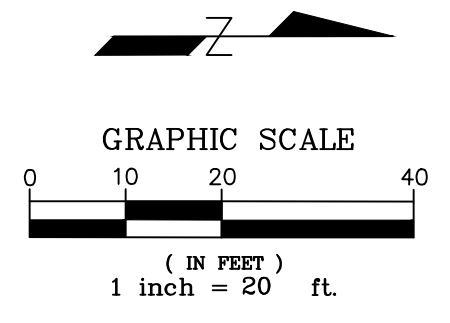
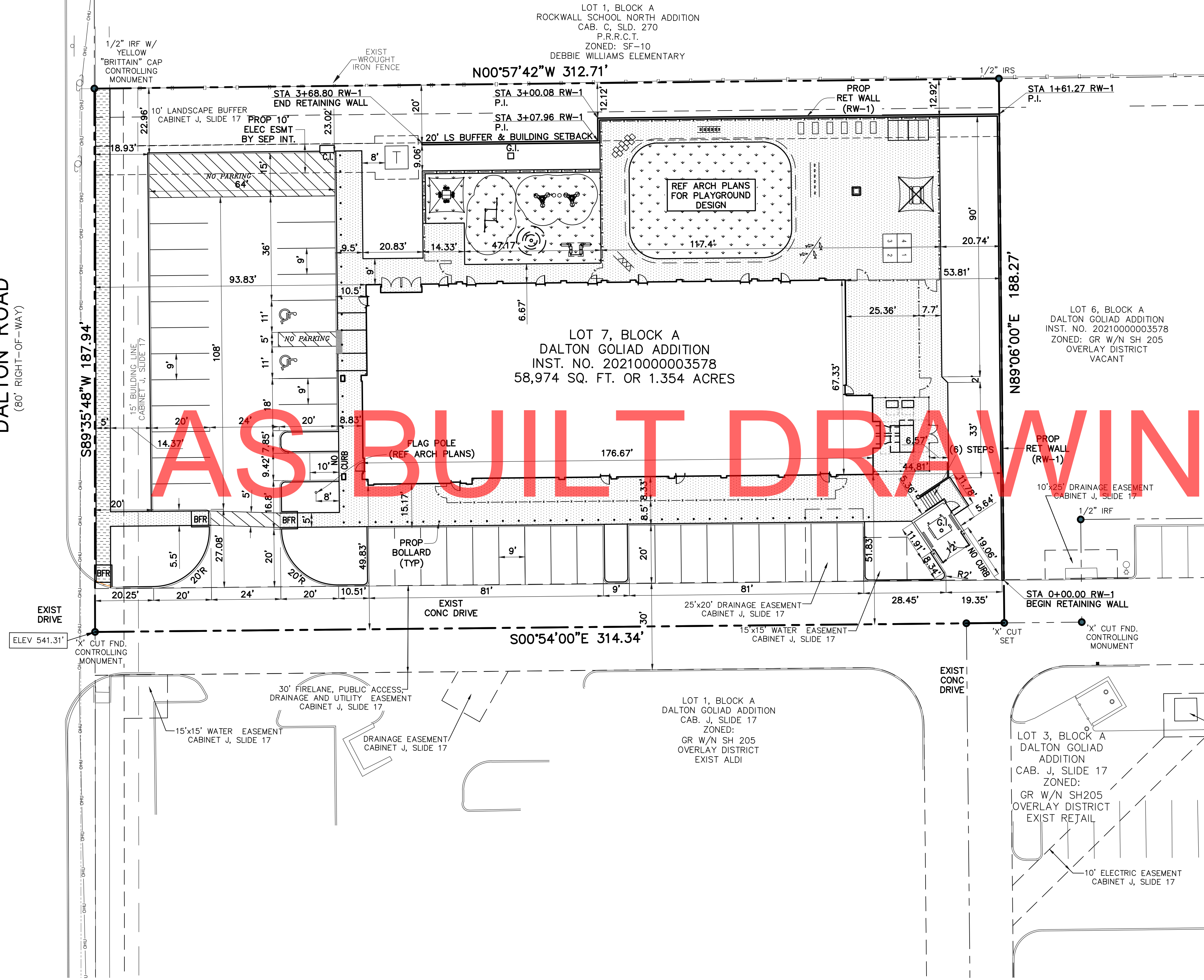
DEVELOPER:
 LEARNING CARE GROUP
 21333 HAGGERTY RD
 NOVI, MI 48375

SITE PLAN
 EVERBROOK ACADEMY - ROCKWALL
 LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TX.

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.
 JUAN J. VASQUEZ, P.E.
 DATED 02/10/2023
 VASQUEZ ENGINEERING, L.L.C.
 TX REG. #12266

VASQUEZ ENGINEERING, L.L.C.
 1919 S. Shiloh Road
 Suite 440, LB 44
 Garland, Texas 75042
 Ph: 972-278-2948
 TX Registration # F-12266

CENTER LINE ROW
DALTON ROAD
 (80' RIGHT-OF-WAY)



LEGEND

	PROPERTY LINE
	PROP EDGE OF CONC PAVMENT
	EXIST PAVEMENT
	PROP 4" CONC SIDEWALK (PRIVATE)
	PROP 4" CONC SIDEWALK (CITY)
	PROP FENCE
	PROP TRANSFORMER

- NOTES**
1. TOPOGRAPHIC SURVEY PREPARED BY PEISER & MANKIN SURVEYING LLC, DATED 12/28/2022.
 2. REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE NOTED.
 4. ALL RADII NOT LISTED ARE 2' FACE OF CURB.
 5. SEE SHEET C2 FOR PAVING PLAN.
 6. SEE SHEET C3.1 FOR GRADING PLAN.

BENCHMARKS

- 'X' CUT IN CONCRETE
 ELEVATIONS= 541.31'

LOT 1, BLOCK A
 ROCKWALL SCHOOL NORTH ADDITION
 CAB. C, SLD. 270
 P.R.R.C.T.
 ZONED: SF-10
 DEBBIE WILLIAMS ELEMENTARY

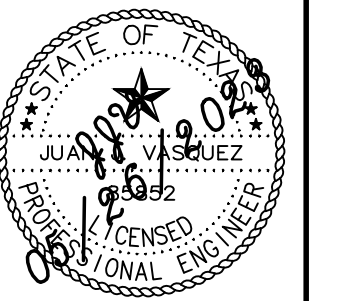
LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 INST. NO. 20210000003578
 58,974 SQ. FT. OR 1.354 ACRES

LOT 6, BLOCK A
 DALTON GOLIAD ADDITION
 INST. NO. 20210000003578
 ZONED: GR W/N SH 205
 OVERLAY DISTRICT
 VACANT

LOT 1, BLOCK A
 DALTON GOLIAD ADDITION
 CAB. J, SLIDE 17
 ZONED:
 GR W/N SH 205
 OVERLAY DISTRICT
 EXIST ALDI

LOT 3, BLOCK A
 DALTON GOLIAD
 ADDITION
 CAB. J, SLIDE 17
 ZONED:
 GR W/N SH205
 OVERLAY DISTRICT
 EXIST RETAIL

THE SEAL APPEARING ON THIS
 DRAWING IS THE PROPERTY OF
 JUAN J. VASQUEZ, P.E. #55822, ON
 05/26/2023



DEVELOPER
 LEARNING CARE GROUP
 21333 HAGGERTY RD
 NOVI, MI 48375

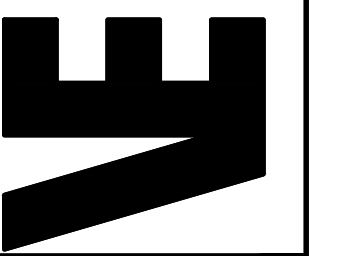
DIMENSIONAL CONTROL PLAN
 EVERBROOK ACADEMY-ROCKWALL
 LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TX

Scale: 1" = 20'
 Designed by: J.J.V.
 Drawn by: D.R.S.
 Checked by: J.J.V.
 Title: DIMENSIONAL CONTROL PLAN.dwg
 Date: 05/26/2023

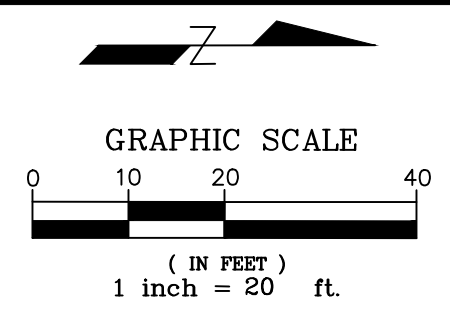
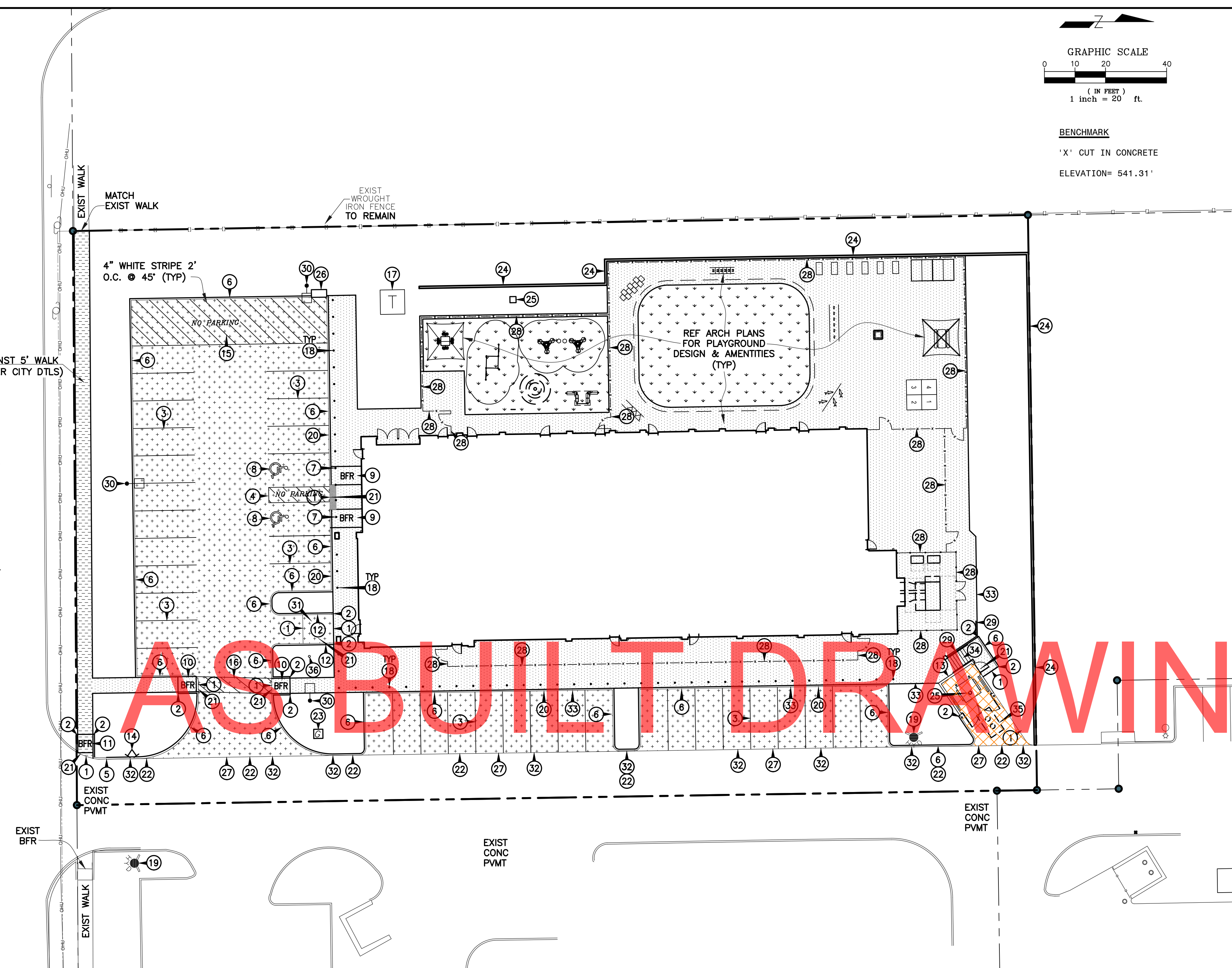
SHEET
C1

NO.	DATE	APP.

VASQUEZ ENGINEERING, L.L.C.
 1919 S. Shiloh Road
 Suite 440, LB 44
 Garland, Texas 75042
 Ph: 972-278-2948
 TX Registration # F-12286



DALTON ROAD
(80' RIGHT-OF-WAY)



BENCHMARK
'X' CUT IN CONCRETE
ELEVATION= 541.31'

LEGEND

	EXIST PROPERTY LINE
	EXIST CURB/PAVEMENT
	PROP 6" INTEGRAL CURB
	4" CONC SIDEWALK (REF DTL SHT C8)
	4" CONC SIDEWALK (PER CITY STNDS REF DTL SHT C9)
	5" CONC PAVEMENT (REF DTL SHT C8)
	7" CONC PAVEMENT (REF DTL SHT C8)
	TURF (REF ARCH PLANS)
	LIGHT POLE

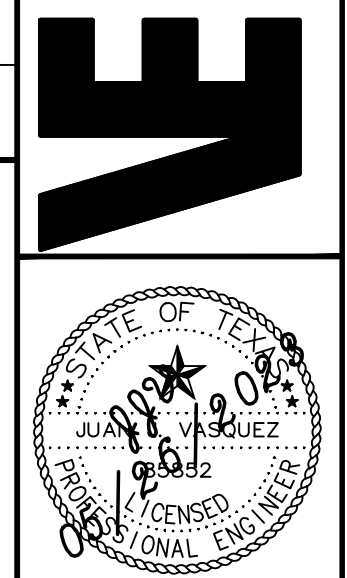
- NOTES**
1. TOPOGRAPHIC SURVEY PREPARED BY PEISER & MANKIN SURVEYING LLC, DATED 12/28/2022.
 2. SEE SHEET C1 FOR DIMENSION CONTROL PLAN.
 3. SEE SHEET C3.1 FOR GRADING PLAN.
 4. SEE SHEET C6.1 FOR STORM SEWER PLAN.
 5. SEE SHEET C7 FOR UTILITY PLAN.
 6. SEE SHEET C8 FOR GENERAL NOTES & DETAILS.
 7. SEE SHEETS C9-C10 FOR CITY DETAILS.

- PAVING NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING WATER AND SANITARY SEWER APPURTENANCES PER CITY STANDARDS.
 2. CONTRACTOR SHALL REMOVE EXCESS SOILS AND DEBRIS FROM SITE AND DISPOSE OF IN A LEGAL MANNER OFF SITE.
 3. SOIL SHALL BE IN A MOIST AND COMPACTED CONDITION PRIOR TO PLACEMENT OF THE CONCRETE.
 4. CONCRETE SHALL BE AS SHOWN ON THE PLANS. CONCRETE TO THE DEPTHS SHOWN ON THE PLANS. FLY ASH WILL NOT BE ALLOWED.
 5. REINFORCING STEEL SHALL BE SUPPORTED BY PLASTIC CHAIRS IN A MANNER TO PROVIDE A UNIFORM MESH CLEARANCE PER THE PROJECT DETAILS IN THE PLANS OR REQUIRED BY THE CITY. EQUIPMENT AND TRUCKS WILL NOT BE ALLOWED TO DRIVE OVER PREVIOUSLY PREPARED SUBGRADE OR ATOP THE REINFORCING STEEL.
 6. CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS REQUIRED.
 7. SURFACE FINISHING SHALL BE SKID RESISTANT AND A LIQUID CURING COMPOUND SHALL BE UNIFORMLY APPLIED ON THE CONCRETE IMMEDIATELY AFTER THE FINISHING OPERATION.
 8. EXPANSION JOINTS OR ISOLATION JOINTS SHALL BE USED TO ISOLATE FIXED OBJECTS ABUTTING OR WITHIN THE PAVED AREAS. THEY SHOULD CONTAIN PREMOLDED JOINT FILLER FOR THE FULL DEPTH OF THE PAVEMENT AND BE SEALED PRIOR TO ALLOWING TRAFFIC.
 9. EXPANSION JOINTS SHALL BE PLACED AS INDICATED ON THE PLANS. SAWED JOINTS SHALL BE PLACED AT 12' FOR 5" PAVEMENT AND AT 15' FOR 6" & 7" PAVEMENT AND CONSTRUCTION JOINTS SHALL BE LOCATED AT SAWED JOINTS OR EXPANSION JOINTS.
 10. CONSTRUCT LONGITUDINAL BUTT JOINT WHERE EXISTING PAVEMENT MEETS PROPOSED PAVEMENT REFERENCE DETAIL IN PLANS.

- 1 NO CURB
- 2 END CURB
- 3 4" WIDE WHITE STRIPE (REF DTL SHT C8)
- 4 STRIPED AISLE (REF DTL SHT C8)
- 5 MATCH EXIST CURB
- 6 6" INTEGRAL CURB (REF DTL SHT C8)
- 7 ACCESSIBLE SIGN ON BOLLARD (REF DTL SHT C8)
- 8 INTERNATIONAL ACCESSIBLE SYMBOL (TYP.)
- 9 BARRIER FREE RAMP TYPE I (REF DTL SHT C8)
- 10 BARRIER FREE RAMP TYPE II (REF DTL SHT C8)
- 11 BARRIER FREE RAMP (PER CITY DETAIL SHT C9)
- 12 VARIABLE HEIGHT CURB (REF SHT C3)
- 13 DUMPSTER ENCLOSURE (REF ARCH PLANS)
- 14 REMOTE FDC (REF FIRE PROTECTION PLANS)
- 15 NO PARKING STRIPING
- 16 CROSSWALK STRIPING (REF DTL SHT C8)
- 17 TRANSFORMER PAD (REF SHT C7)
- 18 BOLLARD (REF ARCH PLANS)
- 19 EXIST FIRE HYDRANT
- 20 SIDEWALK/CURB DETAIL (REF DTL SHT C8)
- 21 SIDEWALK/PAVEMENT DETAIL (REF DTL SHT C8)
- 22 LONG-BUTT JOINT (REF CITY DTL SHT C9)
- 23 GAS METER (REF SHT C7)
- 24 RETAINING WALL W/GUARDRAIL (REF SHTS C3.1, C3.2, & C8)
- 25 GRATE INLET (REF SHT C6.1)
- 26 CURB INLET (REF SHT C6.1)
- 27 MATCH EXIST PAVEMENT
- 28 FENCE (REF ARCH PLANS)
- 29 GUARDRAIL (REF DTL SHT C8)
- 30 LIGHT POLE (REF MEP)
- 31 STROLLER ACCESS (REF SHT C3.1 & ARCH PLANS)
- 32 FIRE LANE STRIPING (PER FIRE DEPT STDS)
- 33 SIDEWALK W/TURN DOWN BEAM (REF SHT C3.1)
- 34 (6) CONCRETE STEPS W/HANDRAIL (REF SHT C3.1)
- 35 OIL/WATER SEPARATOR (REF SHT C6.1)
- 36 FLAG POLE (REF ARCH PLANS)

THE SEAL APPEARING ON THIS DRAWING IS THE PROPERTY OF
JUAN J. VASQUEZ, P.E. #55822, ON
05/26/2023

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1919 S. Shiloh Road
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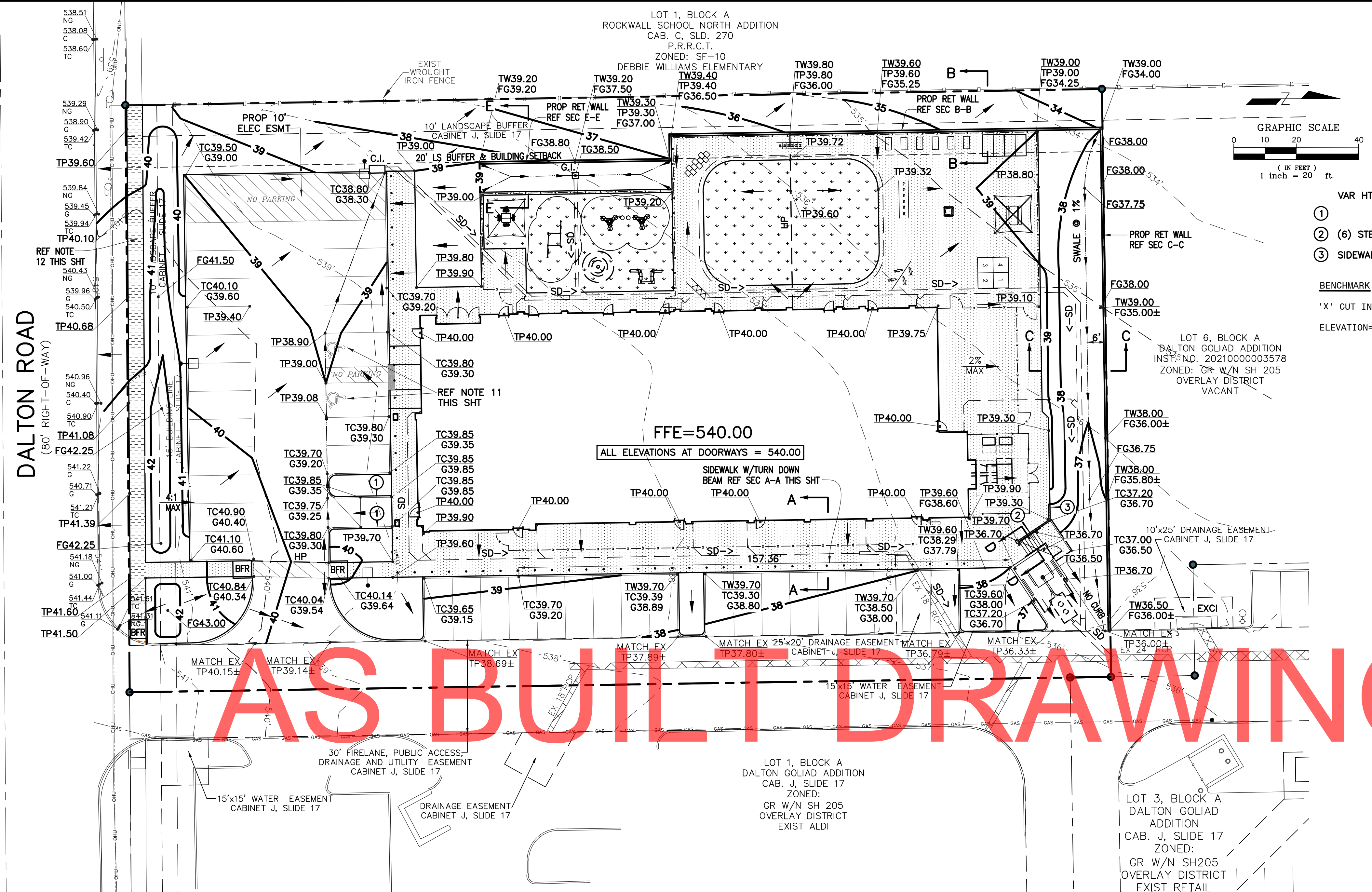


DEVELOPER
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

PAVING PLAN
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON COLLIAD ADDITION
CITY OF ROCKWALL, TX

Scale: 1" = 20'
Designed by: J.J.V.
Drawn by: D.R.S.
Checked by: J.J.V.
Date: 05/26/2023

SHEET
C2



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
---	CONTOUR	40
---	STORM SEWER	SD
MATCH EX. TP36.79	TOP OF PVMT ELEV	TP40.00
	TOP OF PVMT ELEV GUTTER ELEV	TC39.65 G39.15
	TOP OF WALL ELEV FINISH GRADE	TW39.70 FG39.20
	FINISH GRADE	FG77.00
	TOP OF GRATE	TG36.50
	RIDGE	HP
	SWALE	---
	FLOW ARROW	---
	RET WALL	---
	LIGHT POLE	---
	OIL/WATER SEP	---
	GRATE INLET	G.I.
	CURB INLET	C.I.

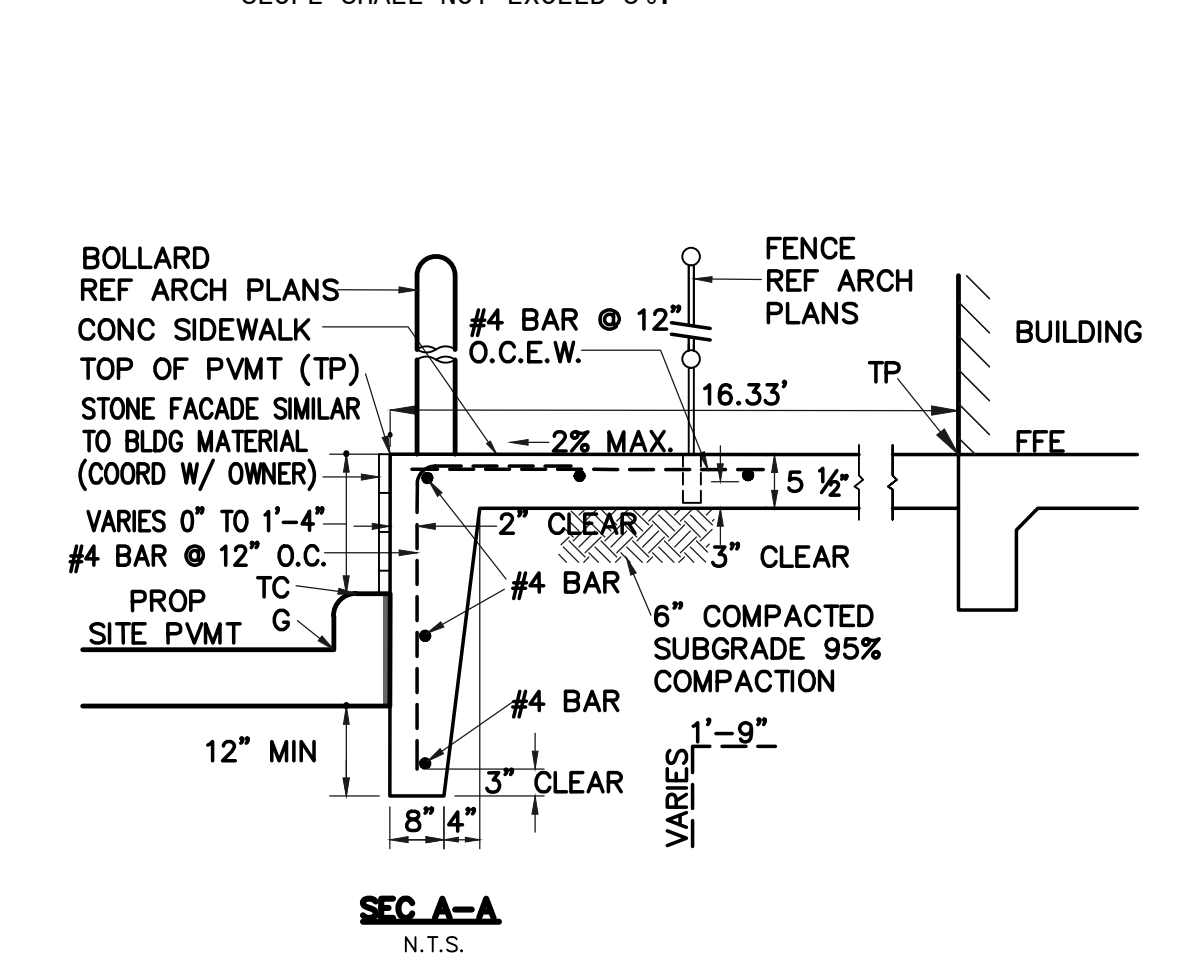
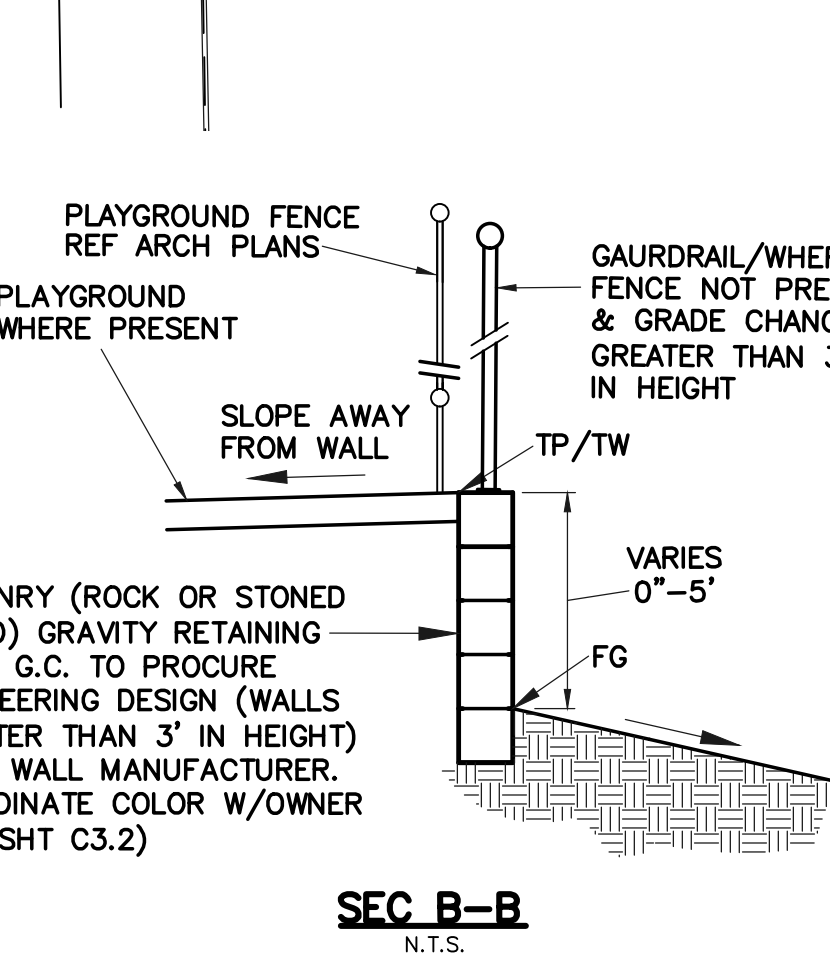
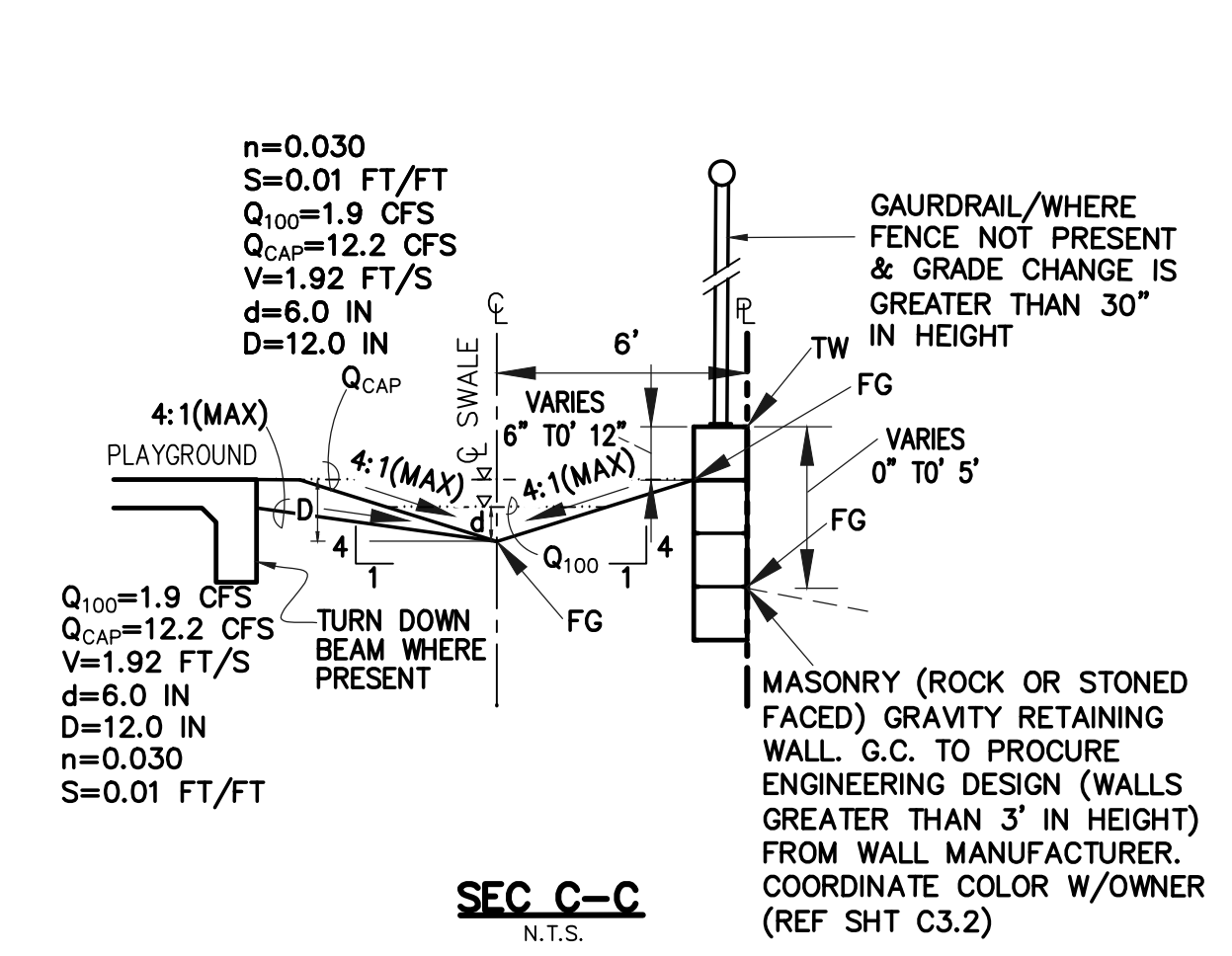
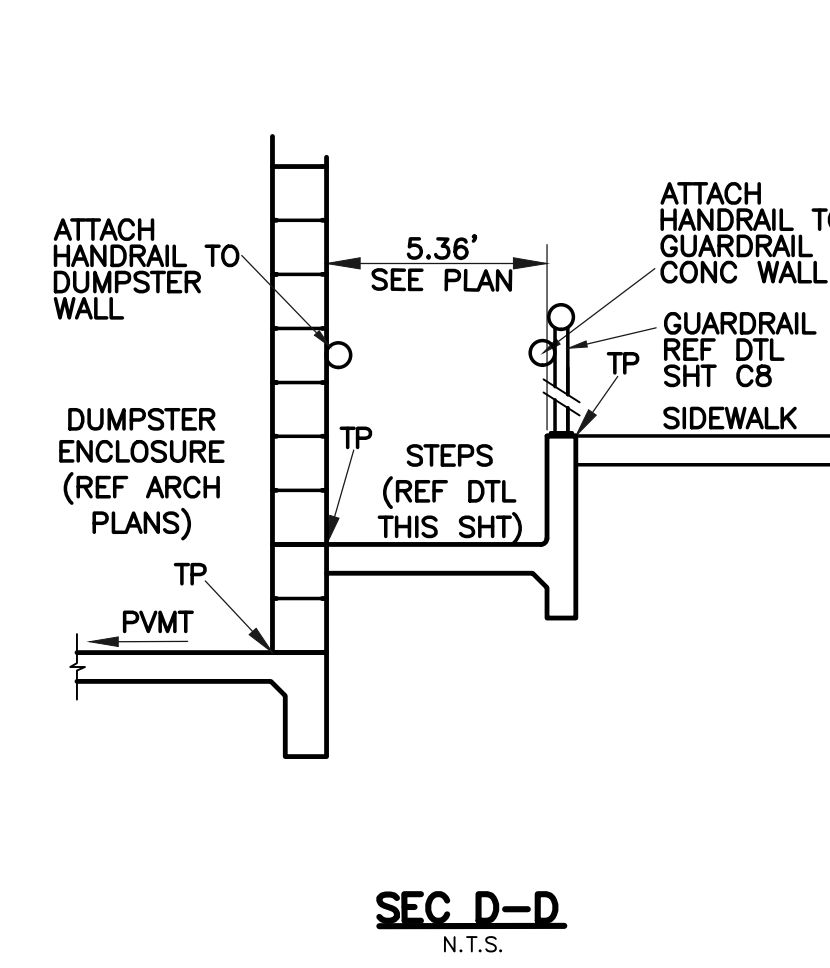
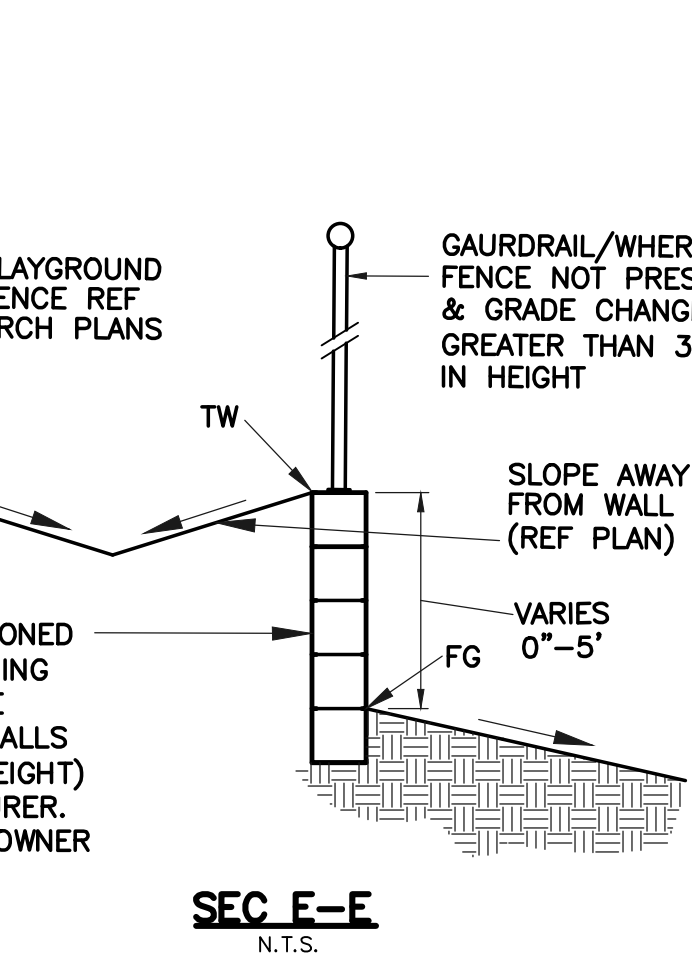
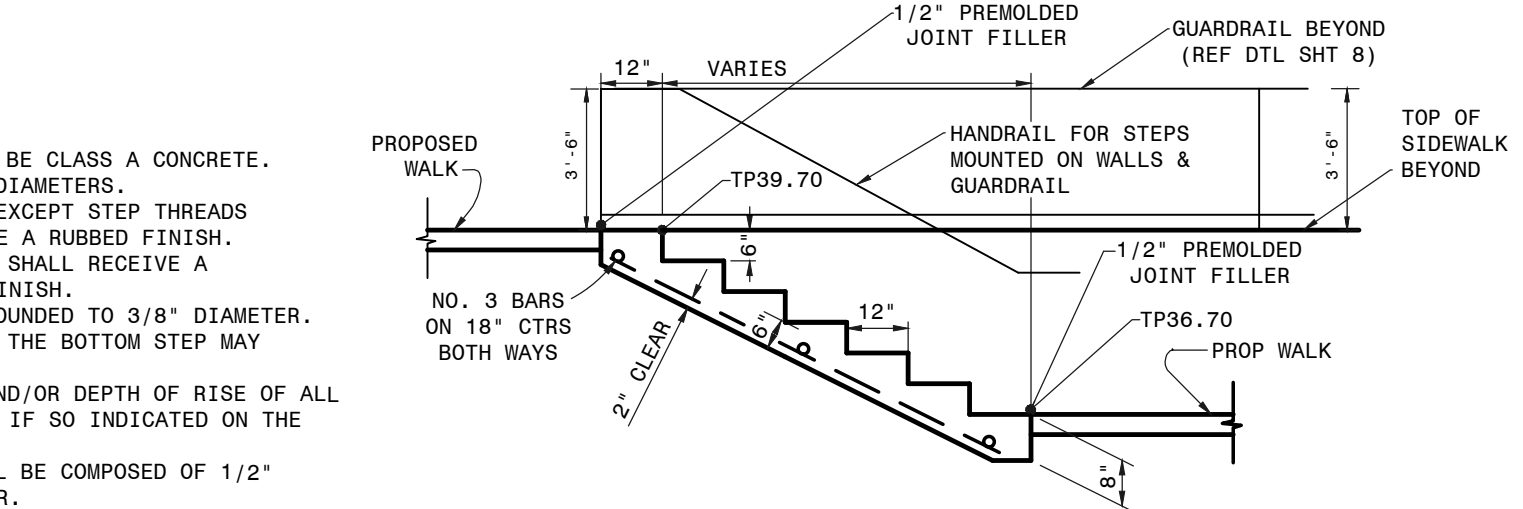
GRAPHIC SCALE
1 inch = 20 ft.

VAR HT CURB FROM 0" TO 6"

①
② (6) STEPS REF DTL THIS SHT
③ SIDEWALK W/TURN DOWN BEAM

BENCHMARK
'X' CUT IN CONCRETE
ELEVATION = 541.31'

- NOTES**
- BOUNDARY AND TOPOGRAPHIC BASED ON SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC. DATED DECEMBER 28, 2022.
 - SEE SHEET C2 FOR PAVING PLAN.
 - SEE SHEET C3.2 FOR RETAINING WALL PROFILE.
 - SEE SHEETS C4.1-C4.2 FOR DRAINAGE AREA MAPS.
 - SEE SHEET C5 FOR EROSION CONTROL PLAN.
 - SEE SHEETS C6.1-C6.2 FOR STORM SEWER DESIGN.
- GRADING NOTES**
- REFERENCE GENERAL NOTES ON THE PAVING PLAN FOR ADDITIONAL SPECIFICATIONS.
 - ALL CONSTRUCTION SHALL BE PER CITY STANDARDS FOR CONSTRUCTION.
 - AREAS TO RECEIVE PAVING SHALL BE STRIPPED TO A MINIMUM DEPTH AS RECOMMENDED IN THE GEOTECHNICAL REPORT REMOVE ALL VEGETATION, TOP SOIL, AND DEBRIS IF PRESENT. EXCESS MATERIALS AND DEBRIS SHALL BE DISPOSED OF OFF SITE IN A LEGAL MANNER. TOP SOIL SHALL BE DISPOSED OF OFF SITE IN A LEGAL MANNER. TOP SOIL SHALL BE STOCKPILED FOR USE IN FINAL GRADING.
 - CONTRACTOR SHALL ESTABLISH INTERIOR SWALES TO ROUTE RAINFALL THROUGH THE SITE. WATER MUST NOT BE ALLOWED TO POND IN TREE CRUB HOLES. THE SITE SHOULD BE GRADED SUCH THAT POSITIVE SURFACE DRAINAGE AWAY FROM THE WORK AREAS IS ESTABLISHED AND MAINTAINED AT ALL TIMES. WATER MUST NOT BE ALLOWED TO POND ON THE SURFACE DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE FOR SEDIMENT AND EROSION CONTROL AS REQUIRED BY THE CITY THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE FILTER FABRIC NETS WILL BE PLACED AT THE TOE OF SLOPE OR IN THE FLOW LINE OF DITCHES AND ALONG PERIMETER OF THE PROJECT. EROSION CONTROL SHALL BE USED UNTIL LANDSCAPING IS COMPLETE AND GROUND COVER IS ESTABLISHED.
 - ALL AREAS THAT WILL RECEIVE FILL SHALL BE PROOF-ROLLED TO IDENTIFY WEAK ZONES. ALL WEAK ZONES MUST BE REMOVED AND REPLACED PRIOR TO FILL PLACEMENT.
 - FILL MATERIALS SHOULD BE PLACED IN LOOSE LIFTS, NO GREATER THAN 8 INCHES THICK, AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. EACH LIFT SHOULD BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEERING TECHNICIAN, SUPERVISED BY A GEOTECHNICAL ENGINEER BEFORE ANOTHER LIFT IS ADDED.
 - TESTING IS REQUIRED, AND SHALL BE PERFORMED BY A LABORATORY APPROVED BY THE OWNER AND PAID FOR BY THE OWNER.
 - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF FINAL GRADING OR PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF PAVING FOR THIS PROJECT.
 - MULCHING AND VEGETATION WILL BE PER THE LANDSCAPE PLAN.
 - GRADING IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
 - CROSS SLOPE OF SIDEWALKS SHALL NOT EXCEED 2% AND RUNNING SLOPE SHALL NOT EXCEED 5%.



AS BUILT DRAWING

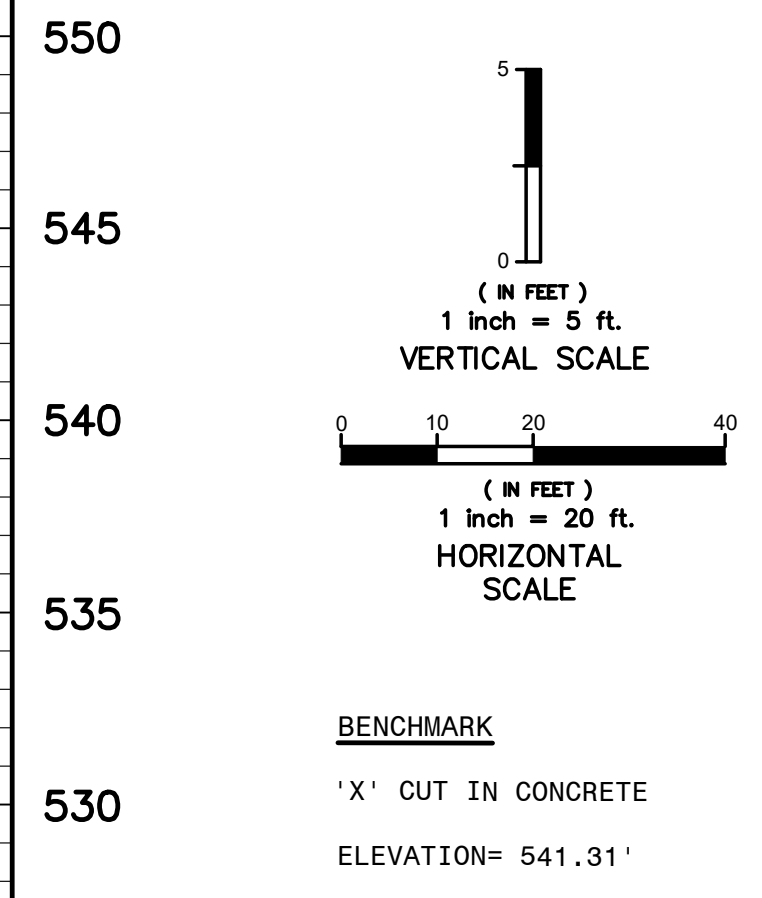
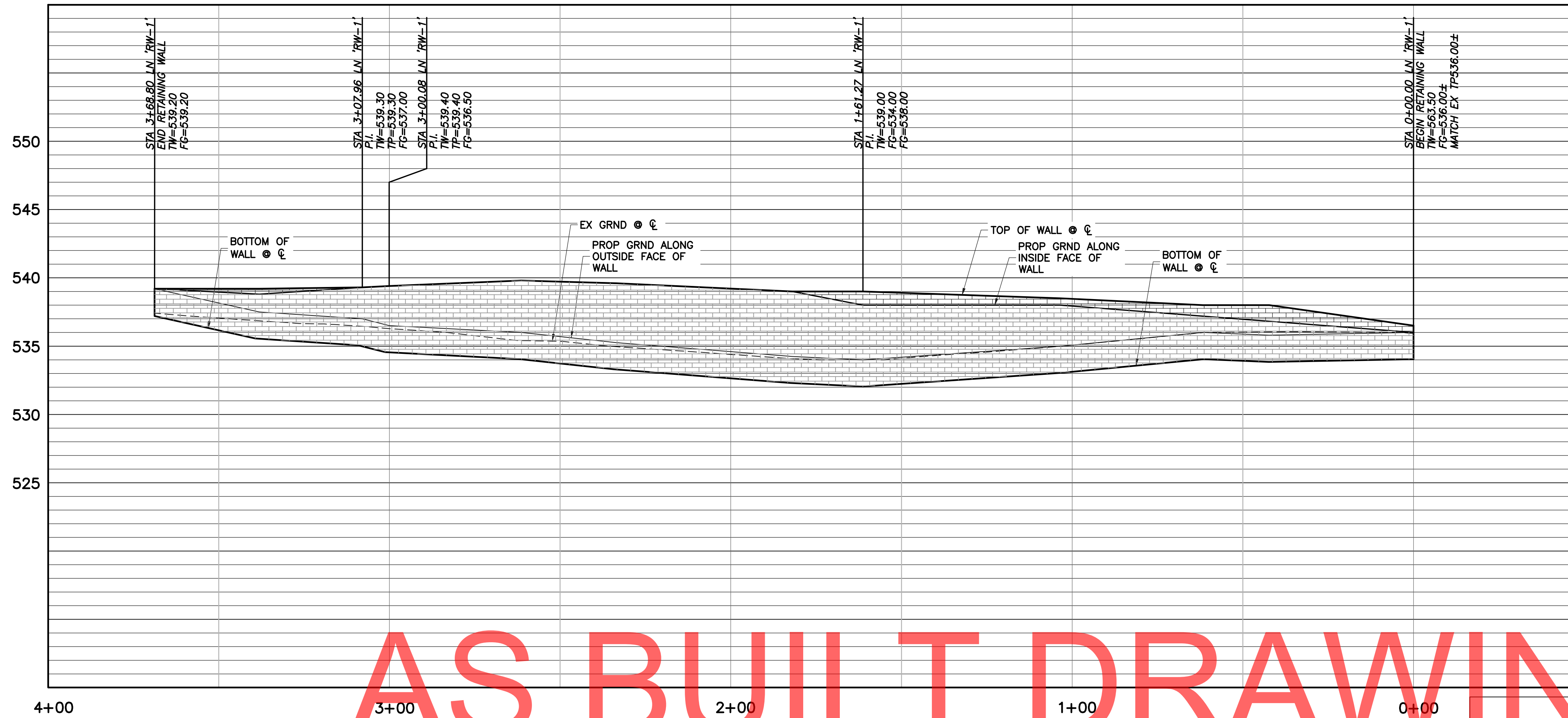
VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2048
TX Registration # F-12286

DEVELOPER
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

GRADING PLAN
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

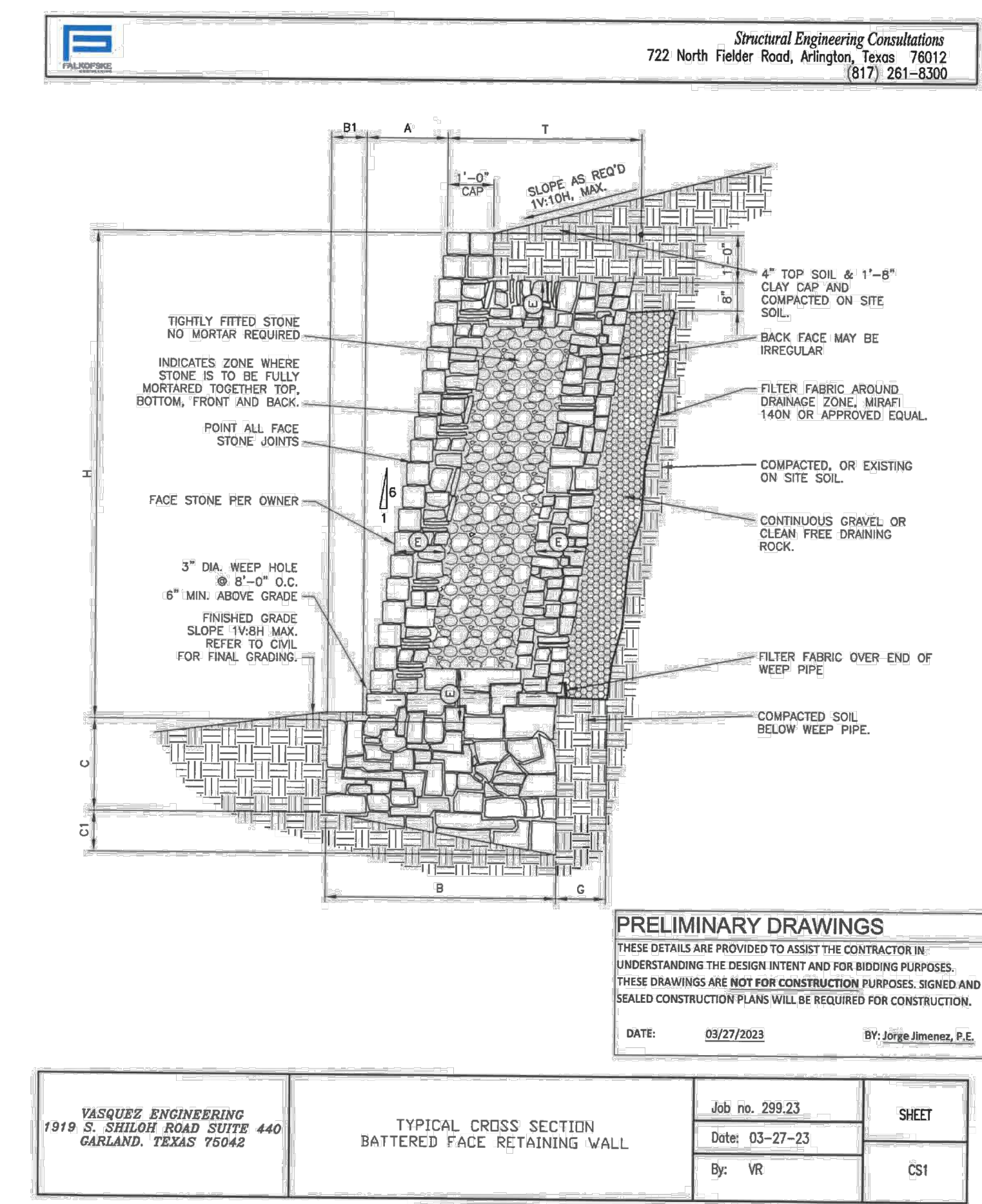
Scale: 1" = 20'
Designed by: J.J.V.
Drawn by: D.R.S.
Checked by: J.J.V.
Date: 05/26/2023

SHEET
C3.1

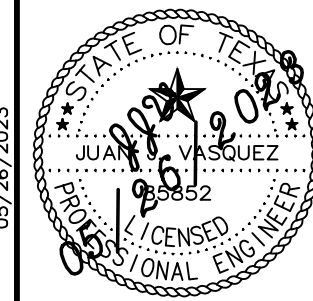
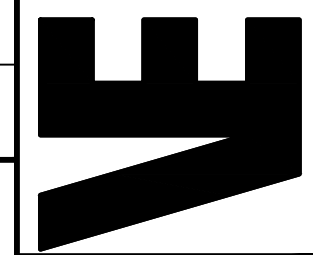


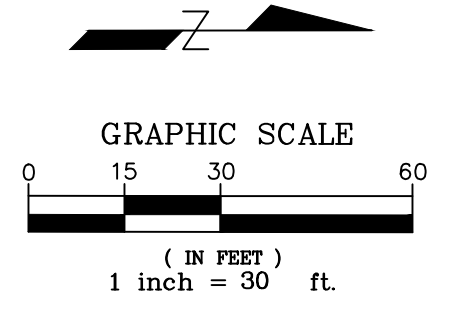
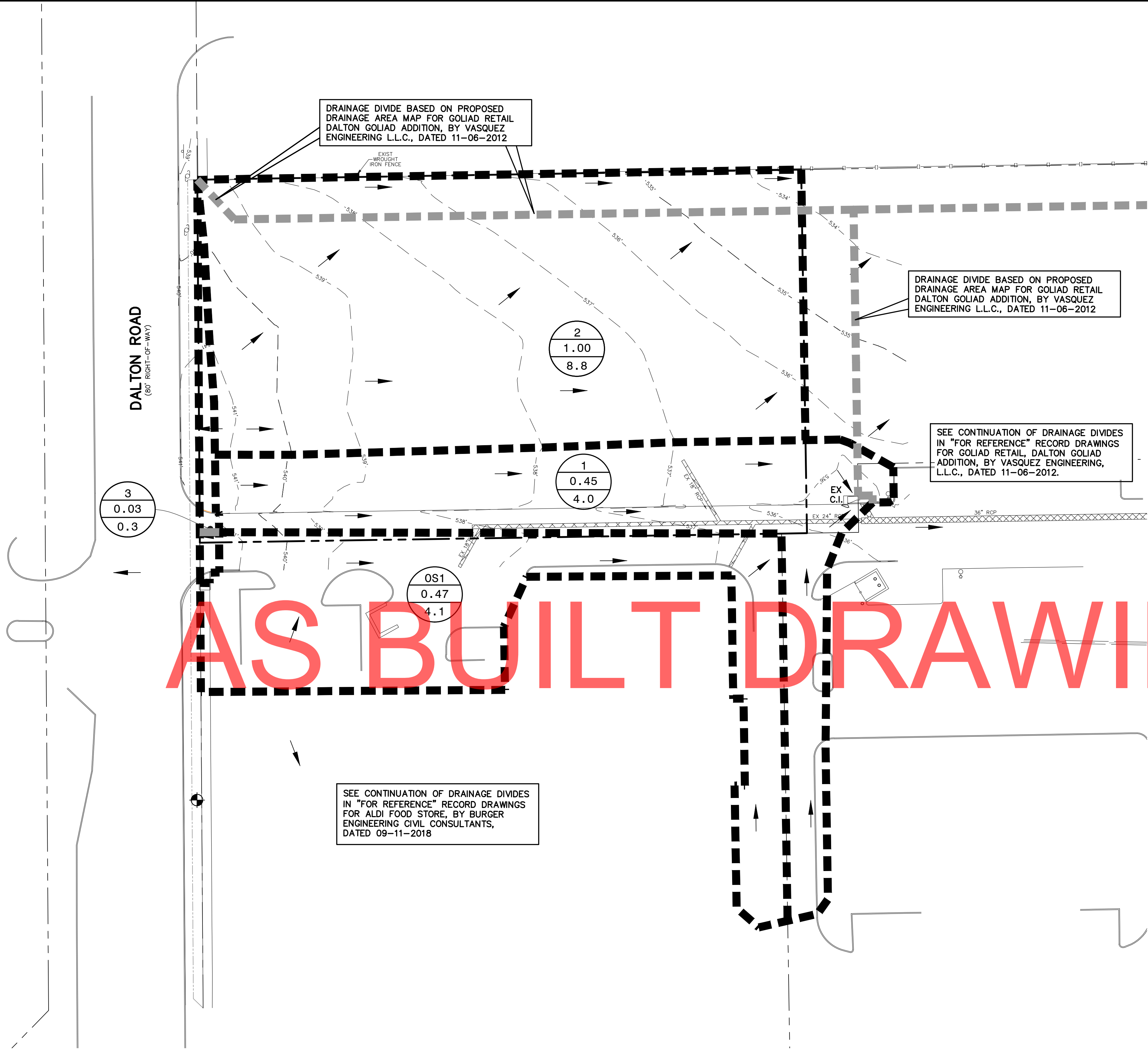
AS BUILT DRAWINGS

RETAINING WALL PROFILE



YASQUEZ ENGINEERING 1919 S. SHILOH ROAD SUITE 440 GARLAND, TEXAS 75042	TYPICAL CROSS SECTION BATTERED FACE RETAINING WALL	Job no. 299.23 Date: 03-27-23 By: VR	SHEET CS1
--	---	--	--------------

THE SEAL REFERENCE ON THIS DOCUMENT WAS AUTHORIZED BY JUAN J. VASQUEZ, P.E., 88852, ON									
									
VASQUEZ ENGINEERING, L.L.C. 1919 S. Shiloh Road Suite 440, LB 44 Garland, Texas 75042 Ph: 972-279-2948 TX Registration # F-12286									
									
DEVELOPER LEARNING CARE GROUP 21333 HAGGERTY RD NOVI, MI 48375									
RETAINING WALL PROFILE EVERBROOK ACADEMY-ROCKWALL LOT 7, BLOCK A DALTON GOLJAD ADDITION CITY OF ROCKWALL, TX									
Scale: 1" = 20' Designed by: J.J.V. Drawn by: D.R.S. Checked by: J.J.V. TJS-01/Ver/C3/CRADING/BLM/dmg Date: 05/26/2023									
PRELIMINARY DRAWINGS THESE DETAILS ARE PROVIDED TO ASSIST THE CONTRACTOR IN UNDERSTANDING THE DESIGN INTENT AND FOR BIDDING PURPOSES. THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES. SIGNED AND SEALED CONSTRUCTION PLANS WILL BE REQUIRED FOR CONSTRUCTION. DATE: 03/27/2023 BY: Jorge Jimenez, P.E.									
SHEET C3.2									



LEGEND

---	EXISTING
---	PROPERTY LINE
---	PAVEMENT
---	CONTOUR
---	STORM SEWER
---	DRAINAGE AREA
---	FLOW
---	DRAINAGE DIVIDE
---	ACREAGE
---	FLOW (CFS)

- NOTES
1. TOPOGRAPHIC SURVEY PREPARED BY PEISER & MANKINN SURVEYING DATED 12/28/2022.
 2. SEE SHEET C4.2 FOR DRAINAGE AREA MAP (POST-DEVELOPED).
 3. SEE "FOR REFERENCE" SHEETS W/THIS PLAN SET.
- BENCHMARK
'X' CUT IN CONCRETE
ELEVATION= 541.31'

AS BUILT DRAWINGS

STORM WATER RUNOFF DATA (PRE-DEVELOPED CONDITIONS)

DRAINAGE AREA	AREA (Acres)	C	Tc (Min)	I100 ¹ (in/hr)	Q100 (cfs)	COMMENT
1	0.45	0.90	10	9.80	4.0	TO EXIST CURB INLET/EXIST DETENTION POND
2	1.00	0.90	10	9.80	8.8	TO NORTHWEST
3	0.03	0.90	10	9.80	0.3	TO DALTON ROAD
OS1	0.47	0.90	10	9.80	4.1	TO AREA 1/EXIST INLET/EXIST DETENTION POND

NO.	DATE	APP.

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration # F-12286

THE SEAL APPEARING ON THIS DRAWING IS THE PROPERTY OF VASQUEZ ENGINEERING, L.L.C. AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF VASQUEZ ENGINEERING, L.L.C. 05/26/2023

STATE OF TEXAS
JUAN J. VASQUEZ, P.E. 85852, ON
LICENSED PROFESSIONAL ENGINEER

DEVELOPER
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

DRAINAGE AREA MAP (PRE-DEVELOPED)
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

Scale: 1" = 30'
Designed by: J.J.V.
Drawn by: D.R.S.
Checked by: J.J.V.
7/3-20/2023 (C4.1)-DRAINAGE AREA MAP.dwg
Date: 05/26/2023

SHEET
C4.1

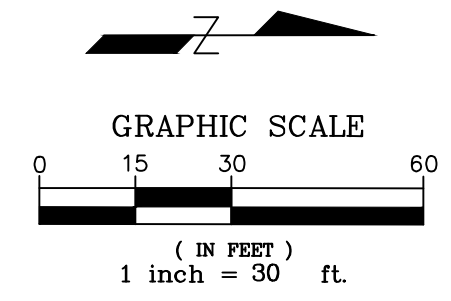
DRAINAGE DIVIDE BASED ON PROPOSED DRAINAGE AREA MAP FOR GOLIAD RETAIL DALTON GOLIAD ADDITION, BY VASQUEZ ENGINEERING L.L.C., DATED 11-06-2012

DRAINAGE DIVIDE BASED ON PROPOSED DRAINAGE AREA MAP FOR GOLIAD RETAIL DALTON GOLIAD ADDITION, BY VASQUEZ ENGINEERING L.L.C., DATED 11-06-2012

DRAINAGE DIVIDE BASED ON PROPOSED DRAINAGE AREA MAP FOR GOLIAD RETAIL DALTON GOLIAD ADDITION, BY VASQUEZ ENGINEERING L.L.C., DATED 11-06-2012

SEE CONTINUATION OF DRAINAGE DIVIDES IN "FOR REFERENCE" RECORD DRAWINGS FOR GOLIAD RETAIL, DALTON GOLIAD ADDITION, BY VASQUEZ ENGINEERING, L.L.C., DATED 11-06-2012.

SEE CONTINUATION OF DRAINAGE DIVIDES IN "FOR REFERENCE" RECORD DRAWINGS FOR ALDI FOOD STORE, BY BURGER ENGINEERING CIVIL CONSULTANTS, DATED 09-11-2018



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
-5.36-	CONTOUR	-4.0-
---	DRAINAGE AREA	SD
---	STORM SEWER	OR
---	FLOW	---
---	DRAINAGE DIVIDE	1.A
---	ACREAGE	0.45
---	FLOW (CFS)	4.0

NOTES

1. TOPOGRAPHIC SURVEY PREPARED PEISER & MANKIN SURVEYING L.L.C., DATED 12/28/2023.
2. SEE SHEET C3.1 FOR GRADING PLAN.
3. SEE SHEET C4.1 FOR DRAINAGE AREA MAP (PRE-DEVELOPED).
4. SEE SHEET C6.1 FOR STORM SEWER PLAN.
5. SEE "FOR REFERENCE" SHEETS W/THIS PLAN SET.

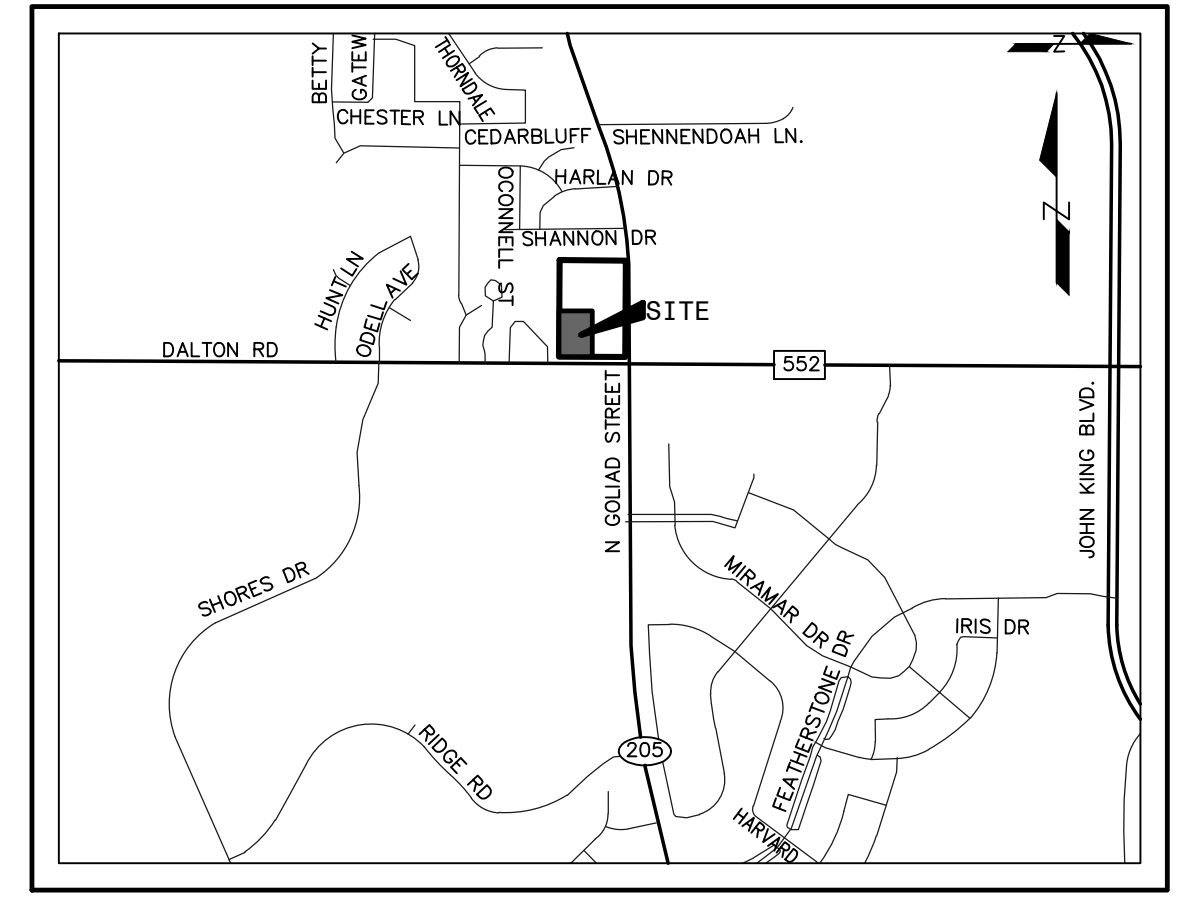
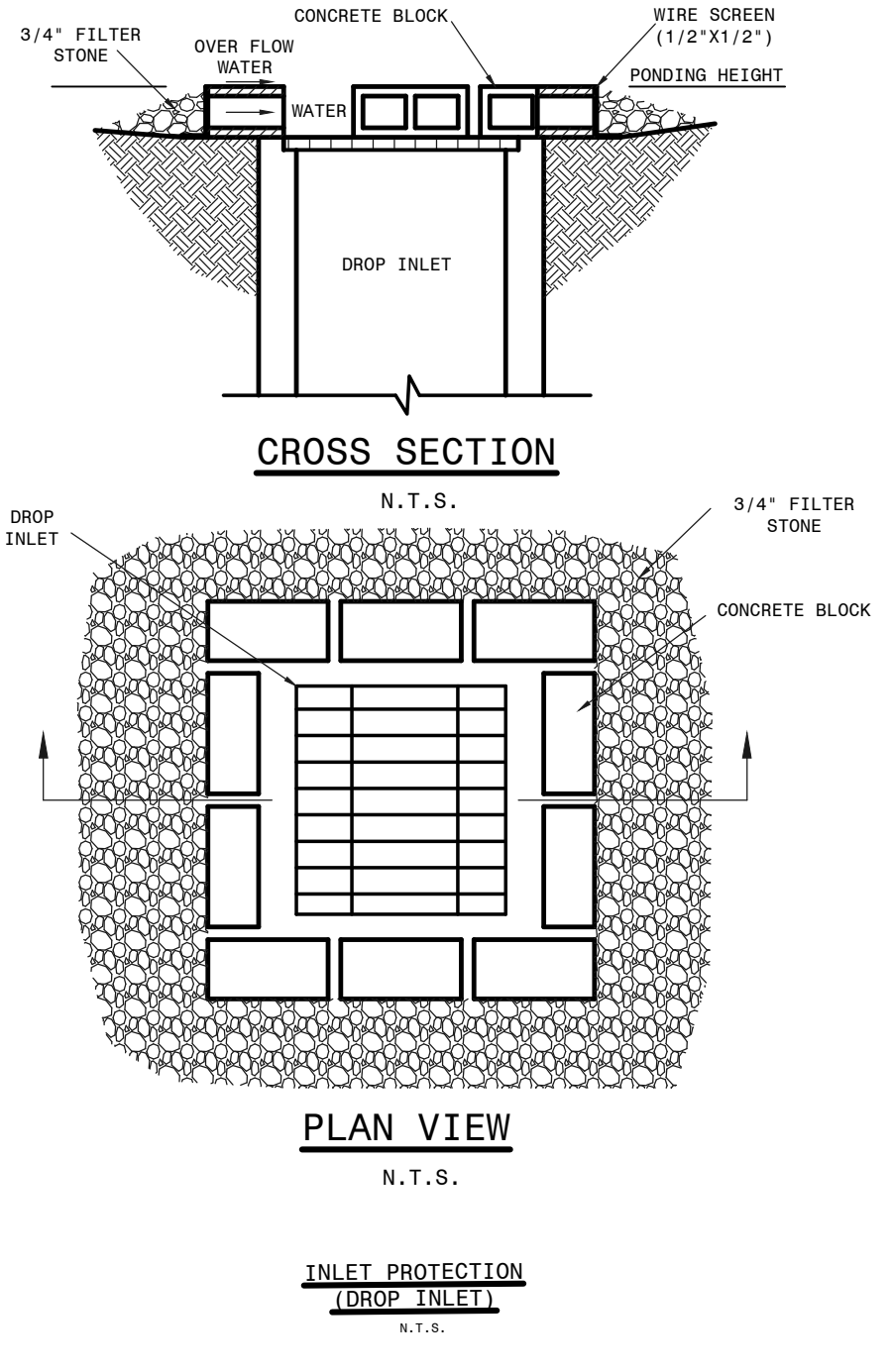
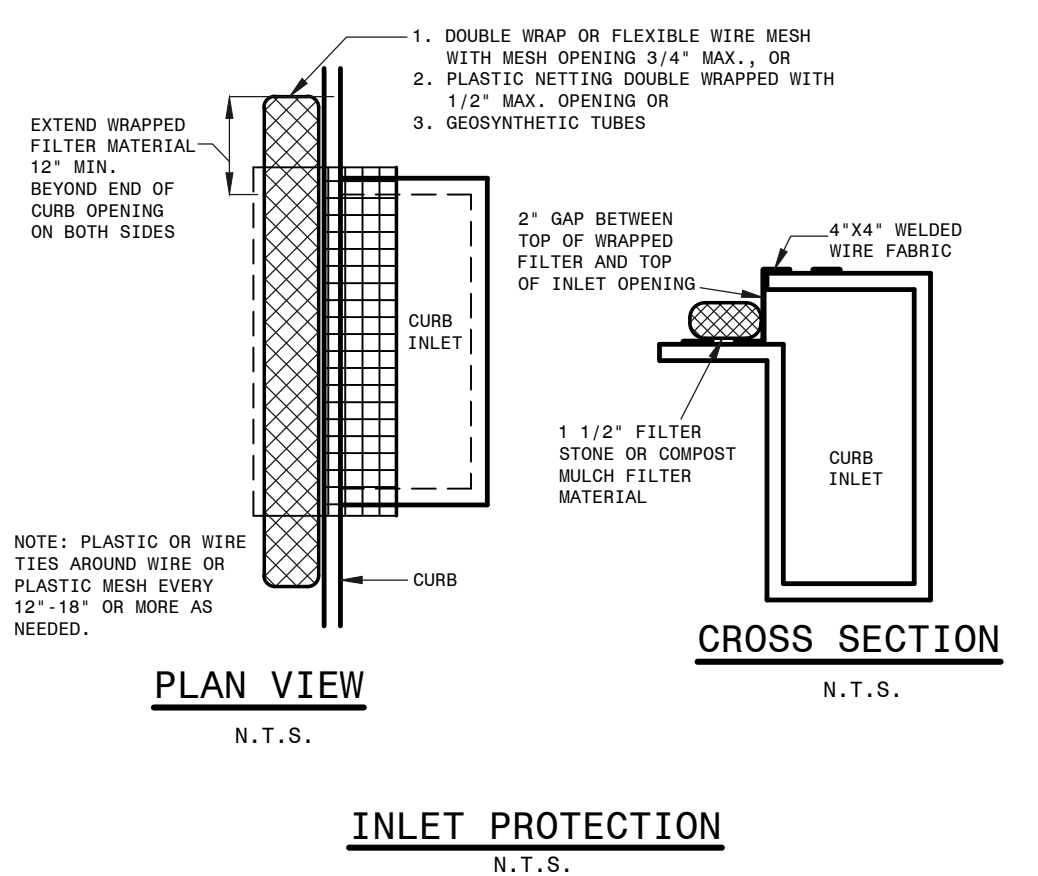
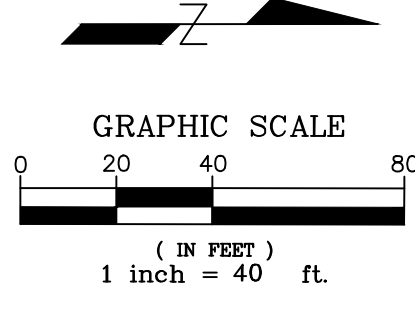
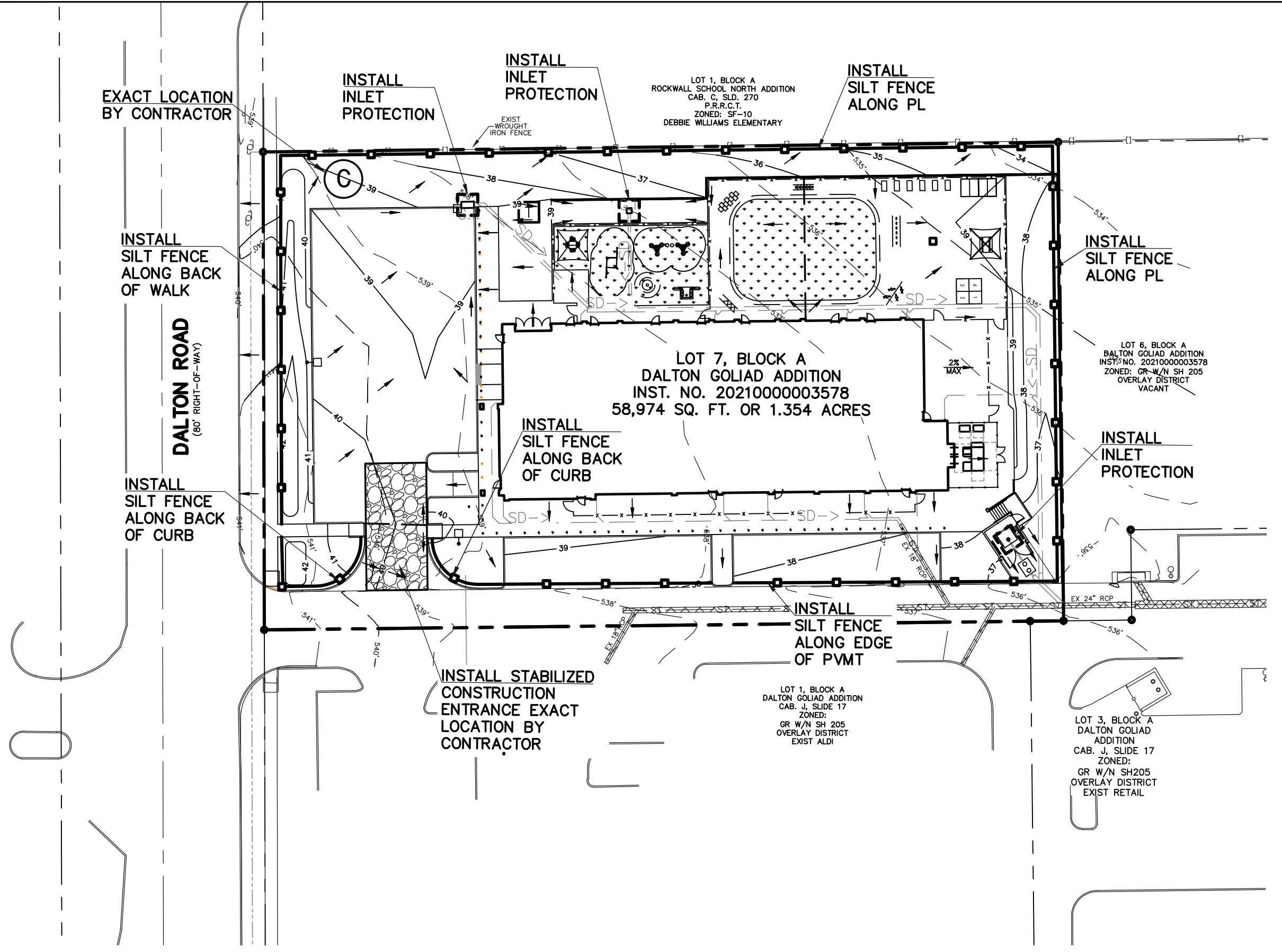
BENCHMARK

'X' CUT IN CONCRETE
ELEVATION= 541.31'

AS BUILT DRAWINGS

STORM WATER RUNOFF DATA (POST-DEVELOPED CONDITIONS)						
DRAINAGE AREA	AREA (Acres)	C	Tc (Min)	I(100) ¹ (in/hr)	Q100 (cfs)	COMMENT
1.A	0.45	0.90	10	9.80	4.0	TO EXIST CURB INLET/EXIST DETENTION POND
1.B	0.22	0.90	10	9.80	1.9	TO EXIST CURB INLET/EXIST DETENTION POND
2	0.01	0.90	10	9.80	0.1	TO INLET/EXIST DETENTION POND
3	0.26	0.90	10	9.80	2.3	TO ROOF DRAINS/EXIST DETENTION POND
4	0.12	0.90	10	9.80	1.1	TO INLET/EXIST DETENTION POND
5	0.25	0.90	10	9.80	2.2	TO INLET/EXIST DETENTION POND
6	0.12	0.90	10	9.80	1.1	TO NORTHWEST
7	0.05	0.90	10	9.80	0.4	TO DALTON ROAD
OS1	0.47	0.90	10	9.80	4.1	TO AREA 1/EXIST INLET/EXIST DETENTION POND
					TOTAL Q100 (cfs) =	172

<p>VASQUEZ ENGINEERING, L.L.C. 1919 S. Shiloh Road Suite 440, LB 44 Garland, Texas 75042 Ph: 972-278-2948 TX Registration # F-12286</p>	
<p>THE SEAL APPEARING ON THIS DRAWING IS THE PROPERTY OF JUAN J. VASQUEZ, P.E. #55852, ON 05/26/2023</p>	<p>DATE</p>
<p>NO.</p>	<p>APP.</p>
<p>DEVELOPER LEARNING CARE GROUP 21333 HAGGERTY RD NOVI, MI 48375</p>	
<p>DRAINAGE AREA MAP (POST-DEVELOPED) EVERBROOK ACADEMY-ROCKWALL LOT 7, BLOCK A DALTON GOLIAD ADDITION CITY OF ROCKWALL, TX</p>	
<p>Scale: 1" = 30'</p>	<p>Designed by: J.J.V.</p>
<p>Drawn by: D.R.S.</p>	<p>Checked by: J.J.V.</p>
<p>7/3-20/2023 (C4.2) DRAINAGE AREA MAP.dwg</p>	<p>Date: 05/26/2023</p>
<p>SHEET C4.2</p>	



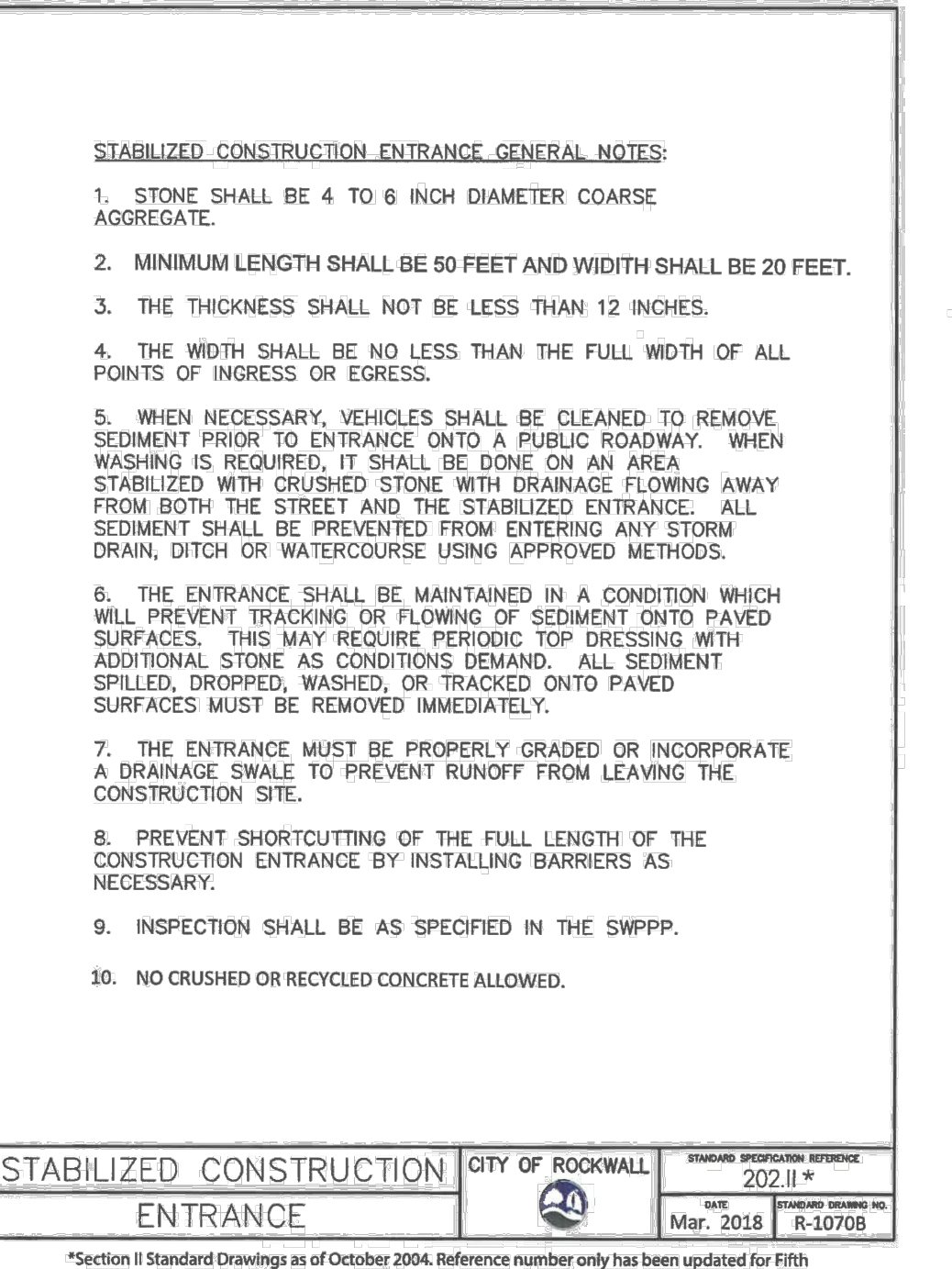
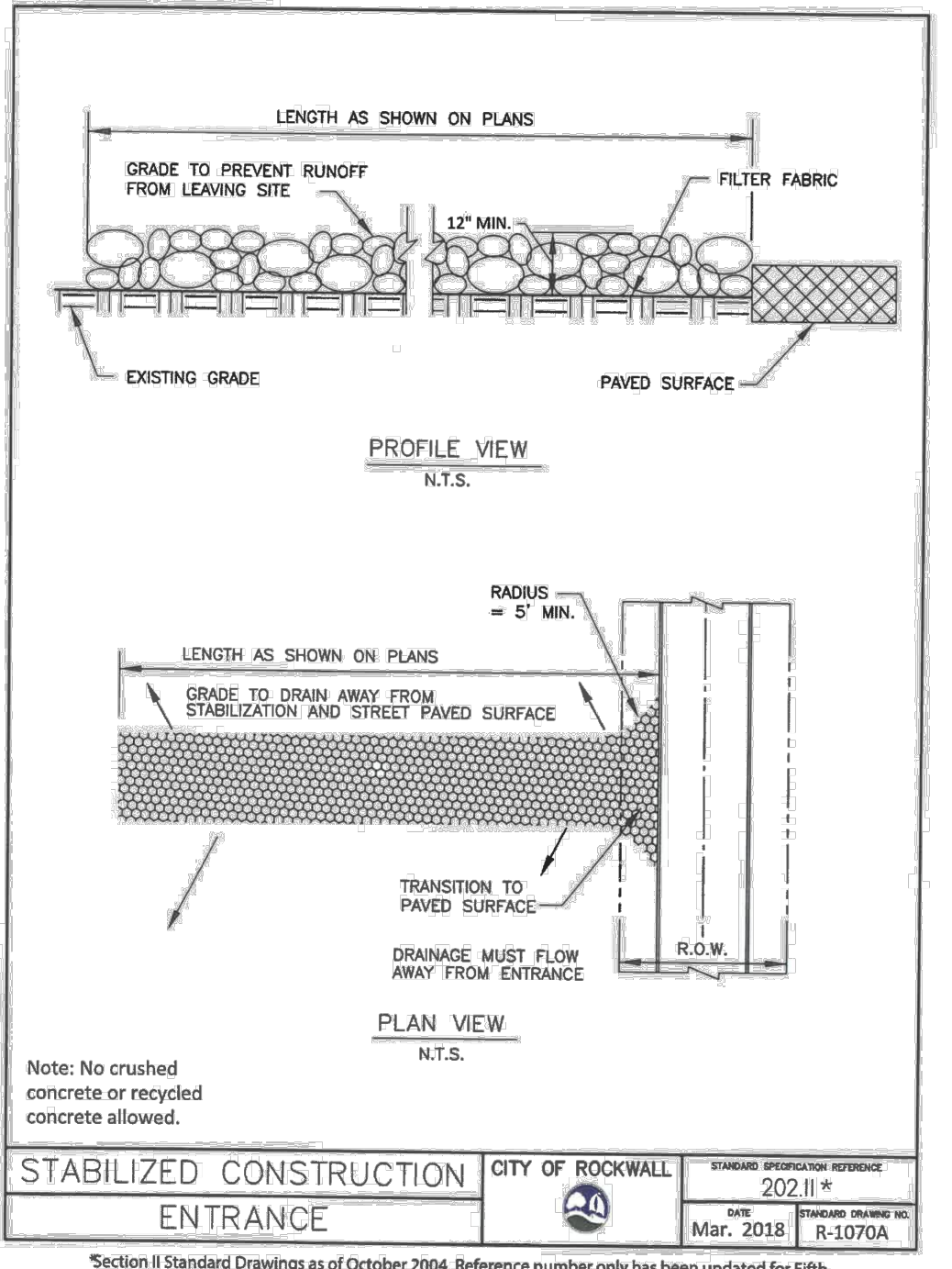
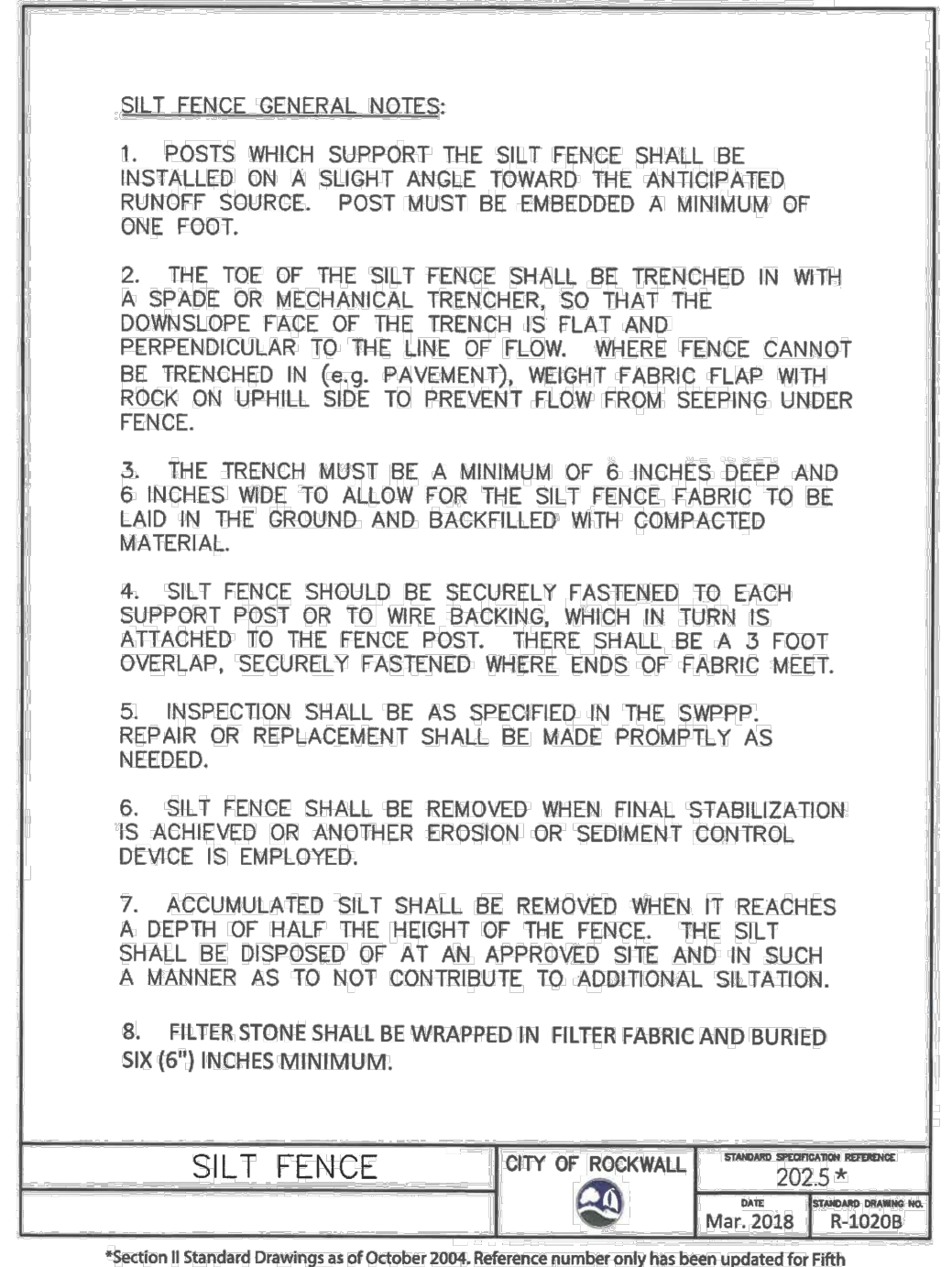
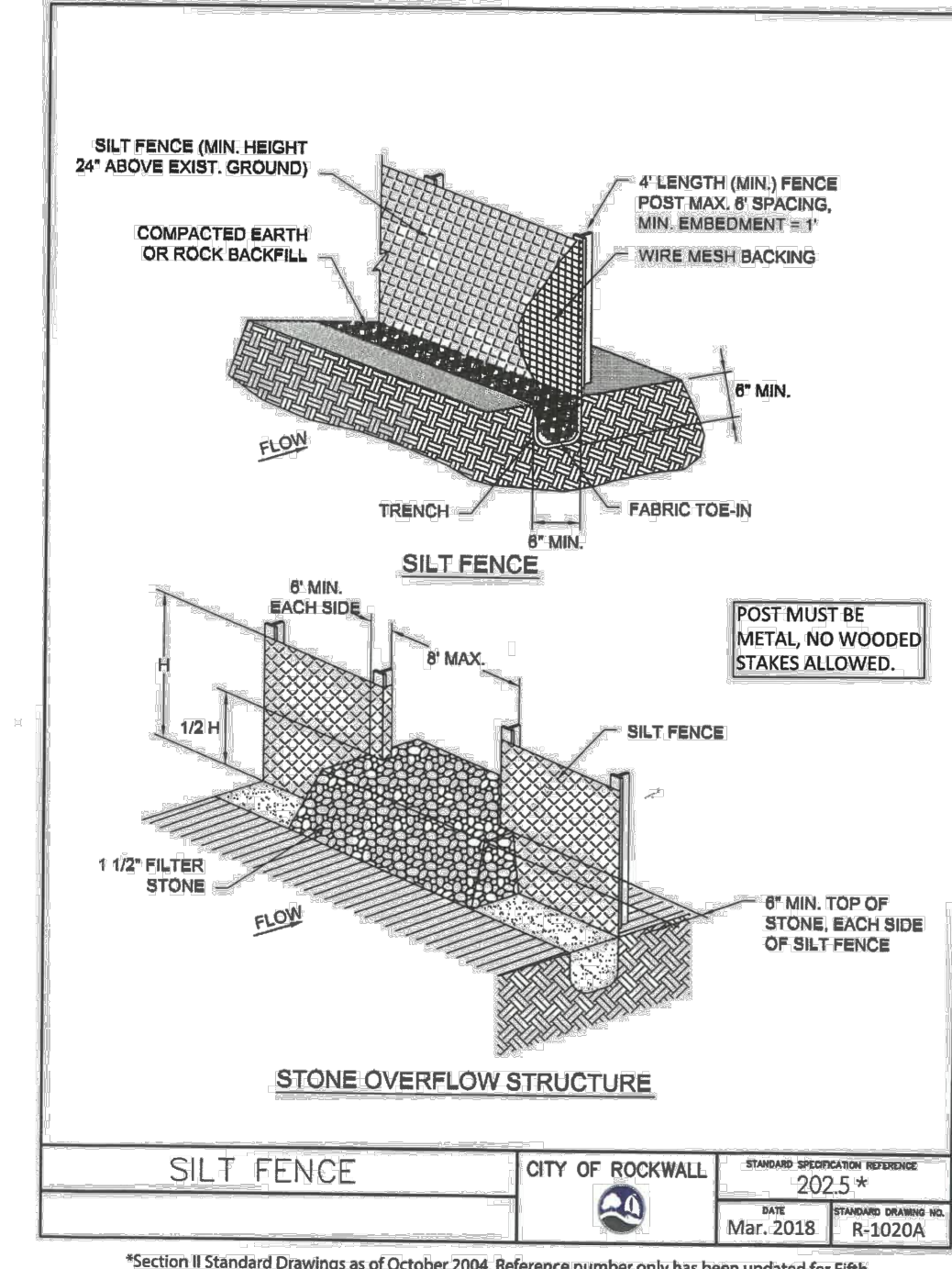
EROSION CONTROL NOTES

- THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED ON THE PLANS. PLANT MATERIALS MUST BE SUITABLE FOR USE UNDER LOCAL CLIMATE AND SOIL CONDITIONS. IN GENERAL, HYDROSEEDING OR SODDING BERMUDDA GRASS IS ACCEPTABLE DURING THE SUMMER MONTHS (MAY 1, TO AUGUST 30). WINTER RYE OR FESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN THE SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PLANTING CAN BE MADE.
- PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED AT THE LOCATION(S) SHOWN.
- AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
- AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED IN ACCORDANCE WITH THE PLANS.
- SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
- DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEDED OR RESODDED, IF NECESSARY.

EROSION PROTECTION DURING CONSTRUCTION

- CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL TECHNIQUES AND METHODS TO STOP EROSION OF ONSITE SOILS AND PROTECT ADJACENT PROPERTIES FROM POTENTIAL SILT MIGRATION. SILT FENCING SHALL BE INSTALLED AT THE LOCATIONS SHOWN PRIOR TO THE START OF CONSTRUCTION AND SITE GRADING.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PER CITY AND TCEQ REQUIREMENTS. ALL APPLICABLE FEES AND SUBMITTALS SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.
- SINCE DISTURBED AREA IS MORE THAN 1.0 ACRE A SWPPP WILL BE REQUIRED.

AS BUILT DRAWINGS



OWNER:
ROCKWALL 205-552 LLC
4622 MAPLE AVE., SUITE 200
DALLAS, TX 75219
PHONE: 214-393-3983
CONTACT: DONALD SILVERMAN

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MICHIGAN 48375
PHONE: 407-314-8432
CONTACT: WESLEY ARNOLD

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12286

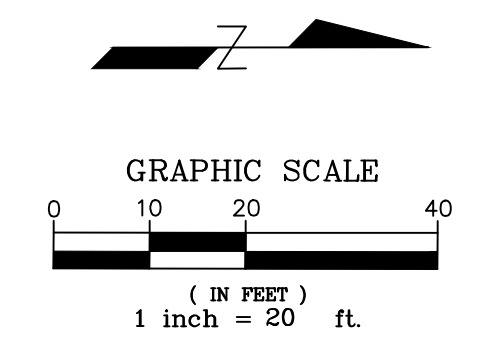
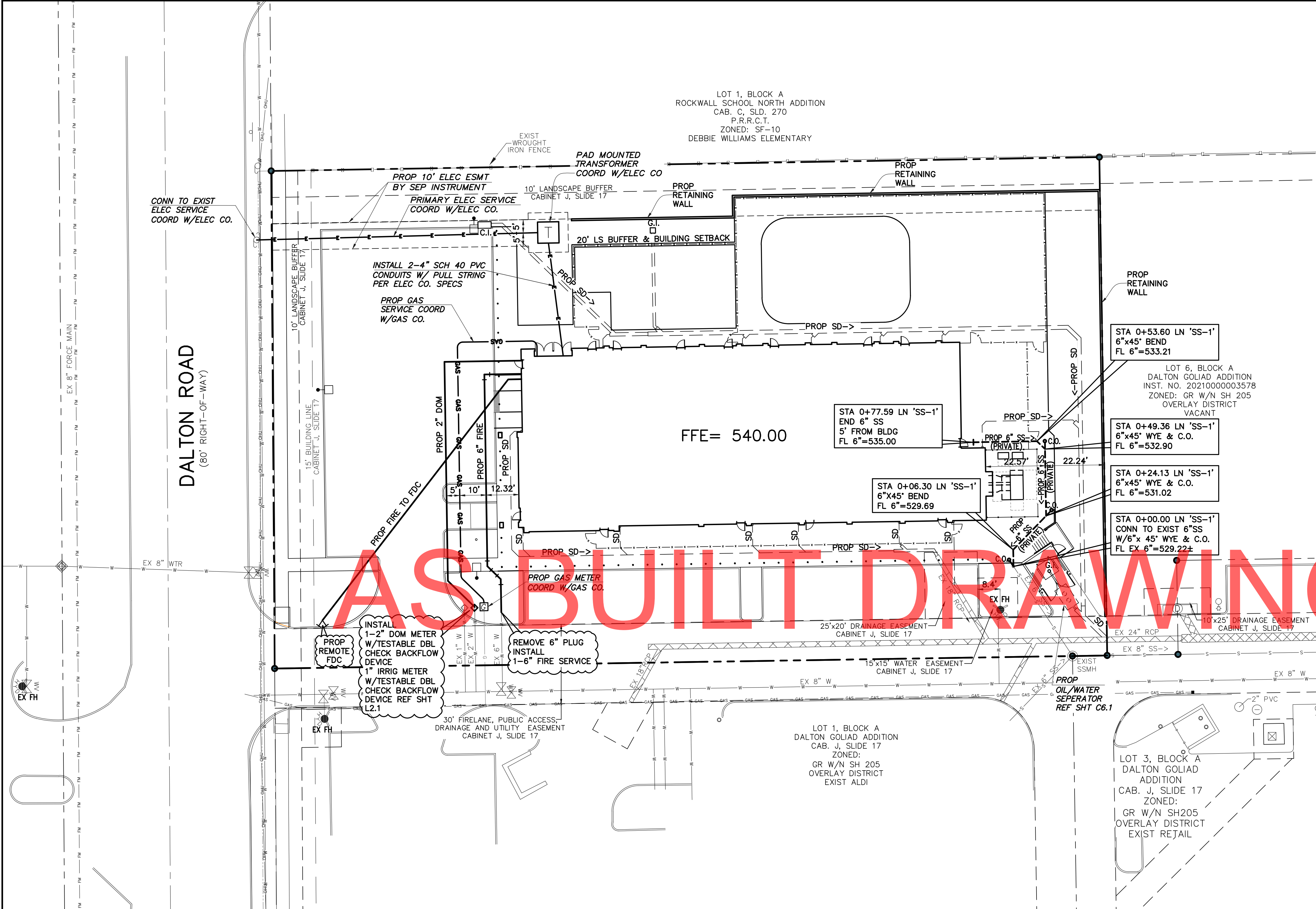
DEVELOPER
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

EROSION CONTROL PLAN

EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

Scale: 1" = 40'
Designed by: J.J.V.
Drawn by: D.R.S.
Checked by: J.J.V.
Date: 05/26/2023

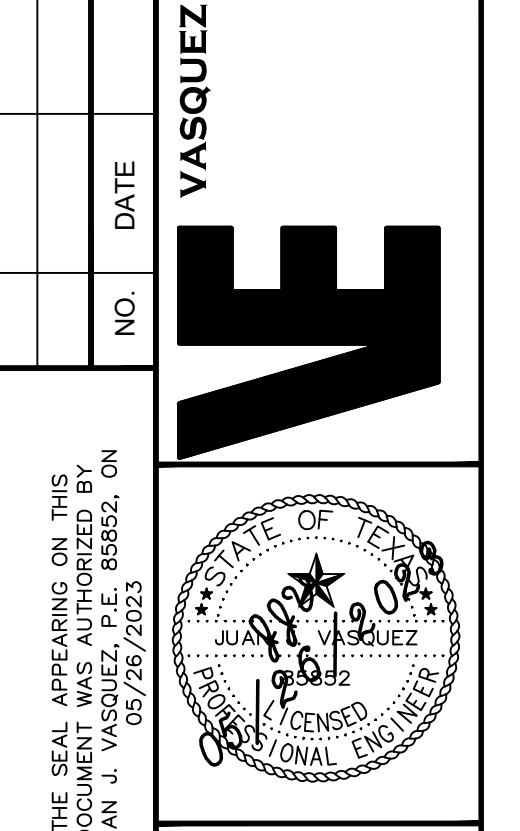
SHEET
C5



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
W EX8"W W	WATER LINE	--- PROP 6" FIRE
S EX8"SS S	SANITARY SEWER	--- PROP 6" SS -->
FM FM	FORCE MAIN	---
---	GAS	---
OHU	ELECTRIC	---
XXXXXX	STORM SEWER	---
⊙	SAN SEWER M.H.	---
⊙	STM SEWER M.H.	---
⊙	FIRE HYDRANT	---
⊙	WATER VALVE	---
⊙	WATER METER	---
⊙	FDC	---
⊙	LIGHT POLE	---
⊙	POWER POLE	---
⊙	VAULT	---
⊙	SANI SEWER C.O.	⊙ CO
⊙	INLET	⊙ C.I.D.G.I.

- UTILITY NOTES**
- 6" WATER PIPE WILL BE C900 PVC WATER PIPE.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE ALL CONNECTIONS TO PUBLIC MAINS WITH THE CITY.
 - ALL TRENCHING SHALL BE IN ACCORDANCE WITH LATEST OSHA STANDARDS AND SPECIFICATIONS.
 - BUILDING FIRE MAIN, FIRE RISER, AND FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR IN THE STATE OF TEXAS. SEPARATE PERMIT REQUIRED.
 - CONTRACTOR SHALL CALL FOR UTILITY LOCATES AT LEAST 48 HRS PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL ADJUST ALL UTILITY APPURTENANCES TO FINAL GRADE.
 - WATER AND SEWER CROSSINGS SHALL BE PER THE LATEST TCEQ REQUIREMENTS.
 - REFERENCE MEP PLANS FOR EXACT BUILDING ENTRY POINTS FOR UTILITY SERVICES.
 - CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UTILITY CONFLICTS AS SOON AS POSSIBLE.
 - CONTRACTOR SHALL COORDINATE ALL INSPECTIONS AND TESTING WITH THE CITY.
 - ALL WASTEWATER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.
- NOTES**
- TOPOGRAPHIC SURVEY PREPARED BY PEISER & MANKIN SURVEYING LLC. DATED 12/28/2022.
 - SEE SHEET C3.1 FOR GRADING PLAN.
 - SEE SHEET C6.1 FOR STORM SEWER PLAN.
 - SEE SHEET C8 FOR GENERAL NOTES & DETAILS.
- BENCHMARK**
- 'X' CUT IN CONCRETE
- ELEVATION= 541.31'

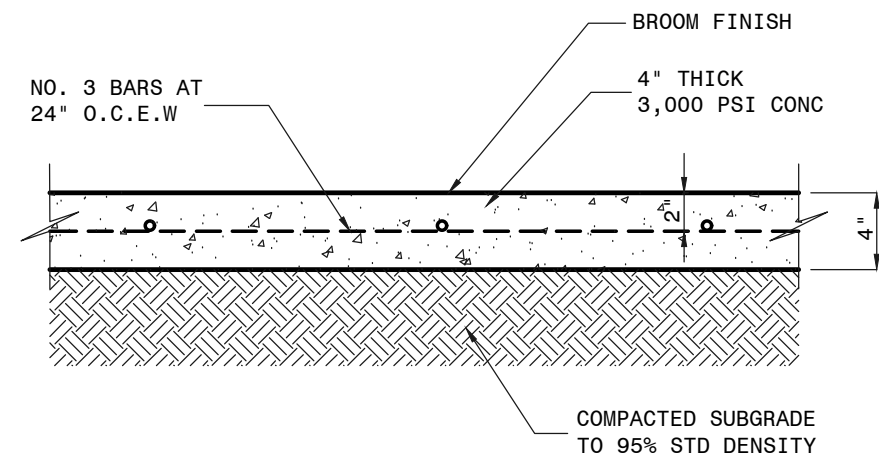
VASQUEZ ENGINEERING, L.L.C.
 1919 S. Shiloh Road
 Suite 440, LB 44
 Garland, Texas 75042
 Ph: 972-278-2948
 TX Registration # F-12286



DEVELOPER
 LEARNING CARE GROUP
 21333 HAGGERTY RD
 NOVI, MI 48375

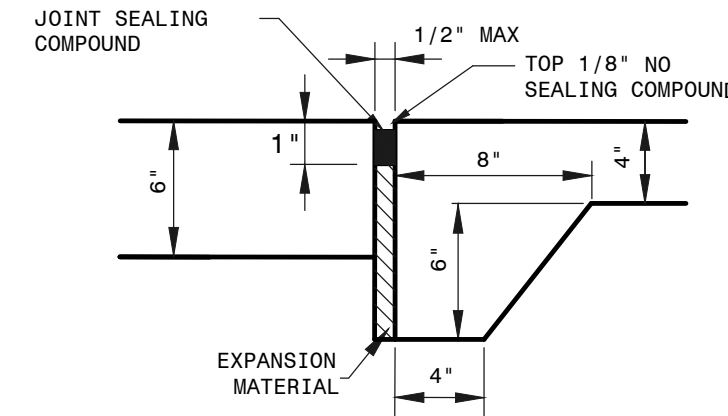
UTILITY PLAN
 EVERBROOK ACADEMY-ROCKWALL
 LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TX

Scale: 1" = 20'
 Designed by: J.J.V.
 Drawn by: M.A.G.
 Checked by: J.J.V.
 Date: 05/26/2023

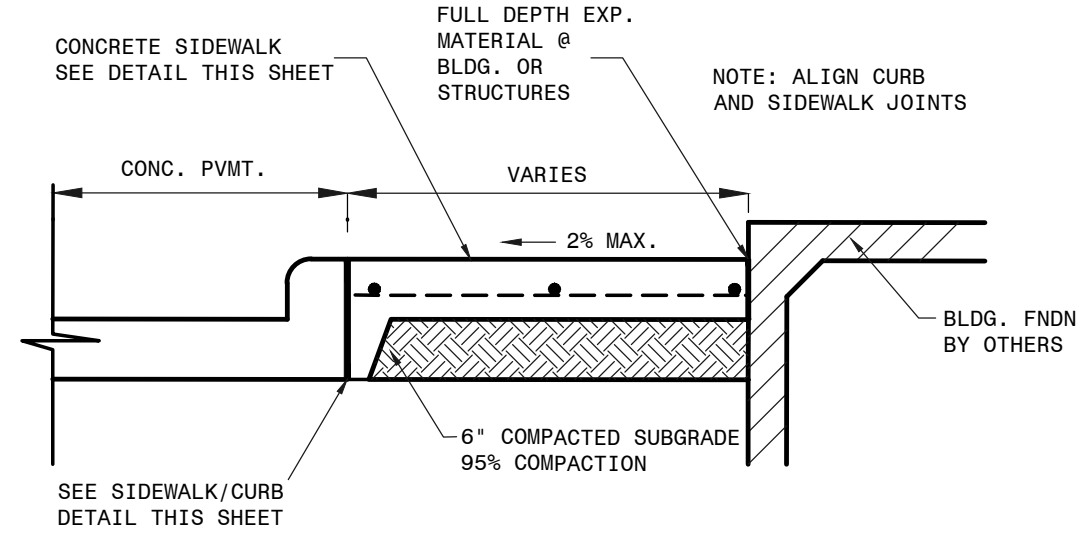


- NOTES:
1. TOOLED JOINTS AT 5' MAXIMUM SPACING.
 2. EXPANSION JOINTS AT 90° MAXIMUM SPACING.
 3. 2% MAXIMUM CROSS SLOPE.

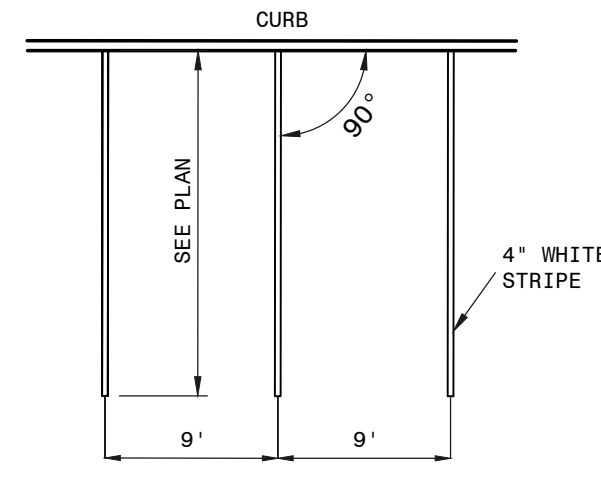
ON-SITE SIDEWALK DETAIL
NTS



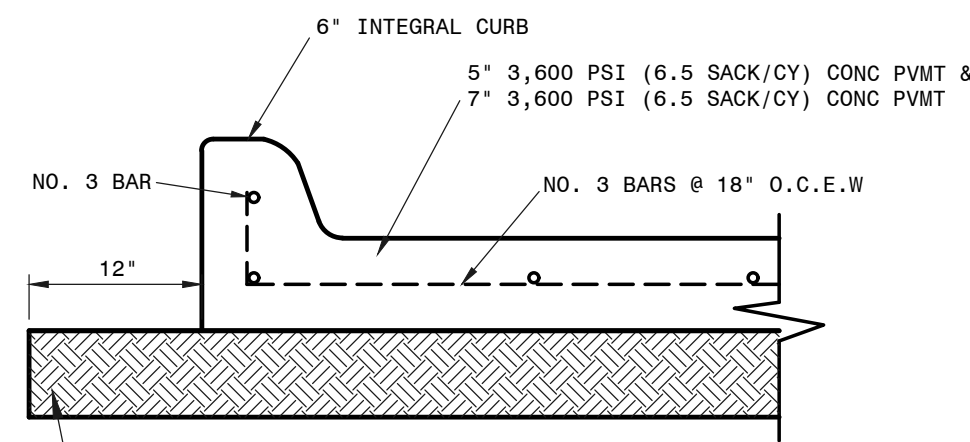
SIDEWALK/PAVEMENT DETAIL
NTS



SIDEWALK ADJACENT TO CURB DETAIL
NTS



STANDARD PARKING STALL DETAIL
NTS

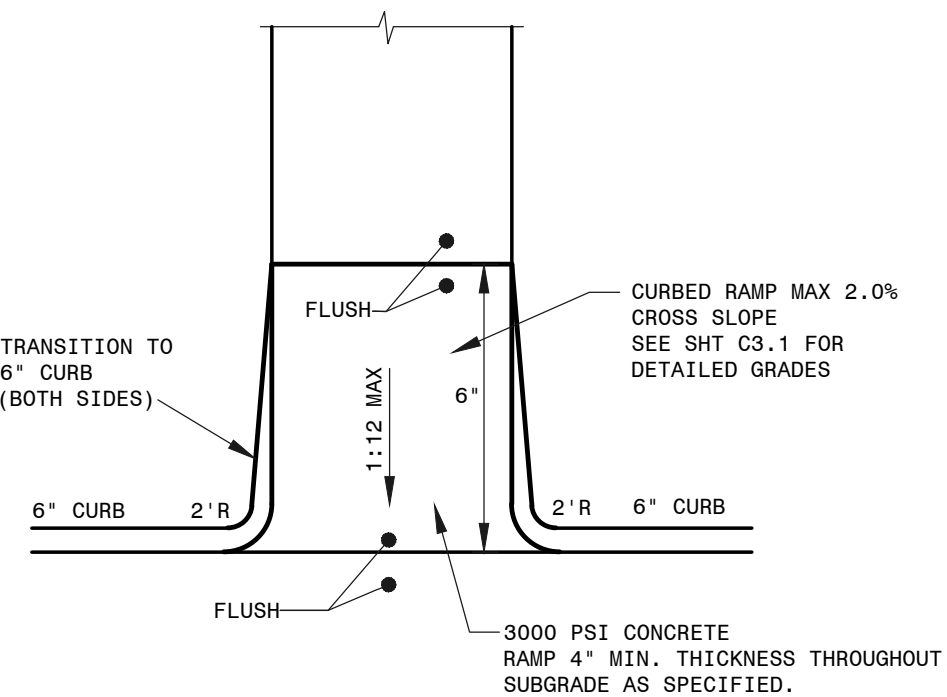


8" LIME SUBGRADE, APPROXIMATELY 4 TO 6% HYDRATED LIME COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR (ASTM D698) WITH THE MOISTURE CONTENT BETWEEN OPTIMUM AND -2% & +4% ABOVE OPTIMUM. IN LIEU OF LIME, W/ADDITIONAL 1" INCH PAVEMENT, 6" SCARIFIED SUBGRADE COMPACTED TO 95% AND 100% OF MAXIMUM DRY DENSITY STANDARD PROCTOR (ASTM D698), AT A MOISTURE CONTENT BETWEEN OPTIMUM AND 4% ABOVE OPTIMUM.

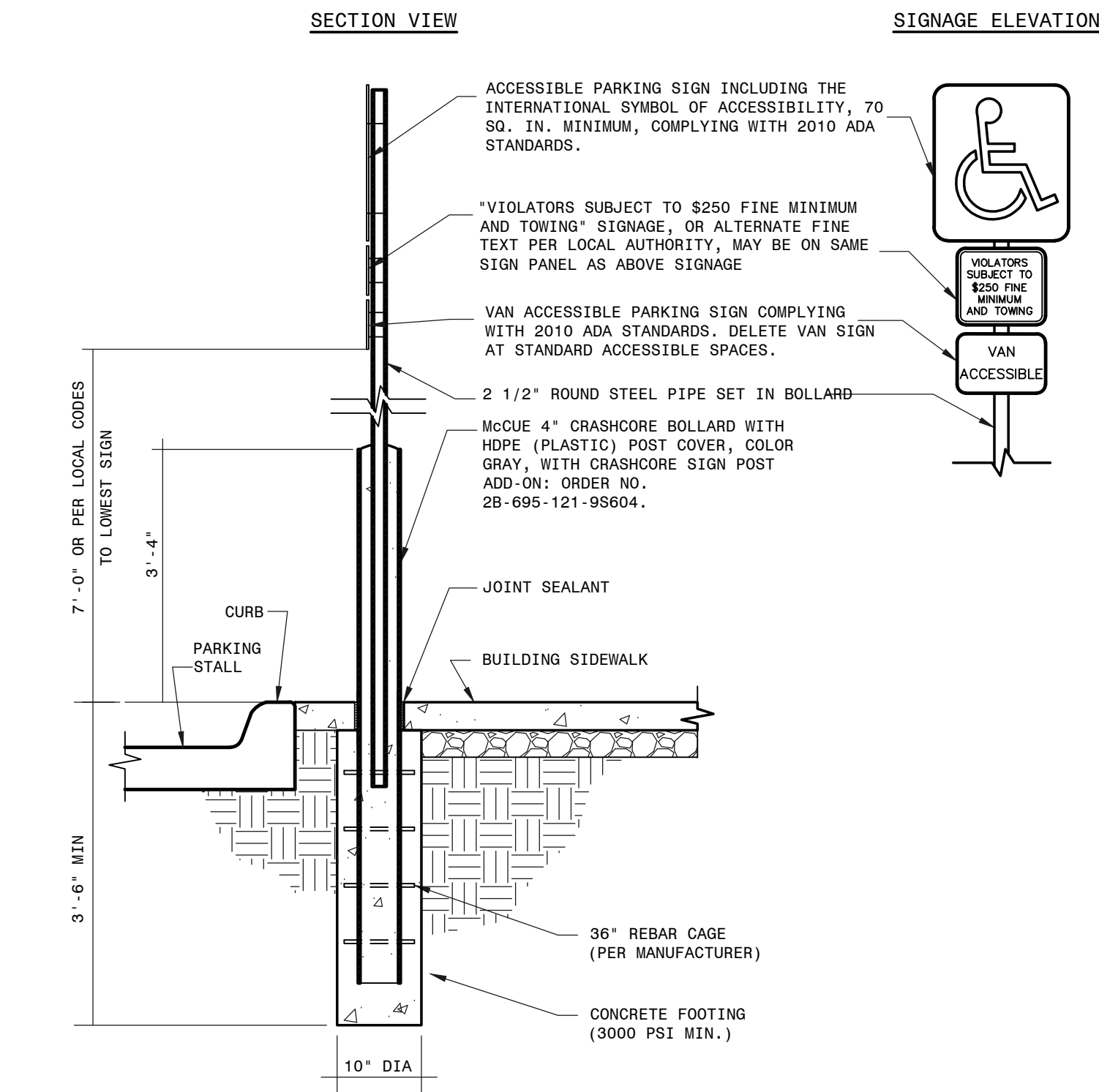
- NOTES:
1. PAVEMENT AND SUBGRADE RECOMMENDATIONS PER GEOTECHNICAL REPORT PREPARED BY PSI, INC. PROJECT NO. 03422522, DATED 01/18/2023.
 2. CONCRETE PAVEMENT TO BE DESIGNED WITH 5% TO 1% ENTRAINED AIR.
 3. THE EXACT AMOUNT OF LIME TO BE DETERMINED BY LIME SERIES TEST IN A LABORATORY REFER TO GEOTECHNICAL REPORT.
 4. IN LIEU OF LIME STABILIZATION THE PAVEMENT MAYBE INCREASED BY 1" INCH (OR CITY STDS) REFER TO GEOTECHNICAL REPORT.
 5. SAW JOINTS TO BE 12" FOR 5" PAVEMENT AND AT 15" MAX FOR PAVEMENT 6" AND GREATER.
 6. EXPANSION JOINTS TO BE AS NOTED ON PLAN.
 7. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

ON-SITE CONCRETE PVMT SECTION
NTS

CROSSWALK STRIPING DETAIL
NTS

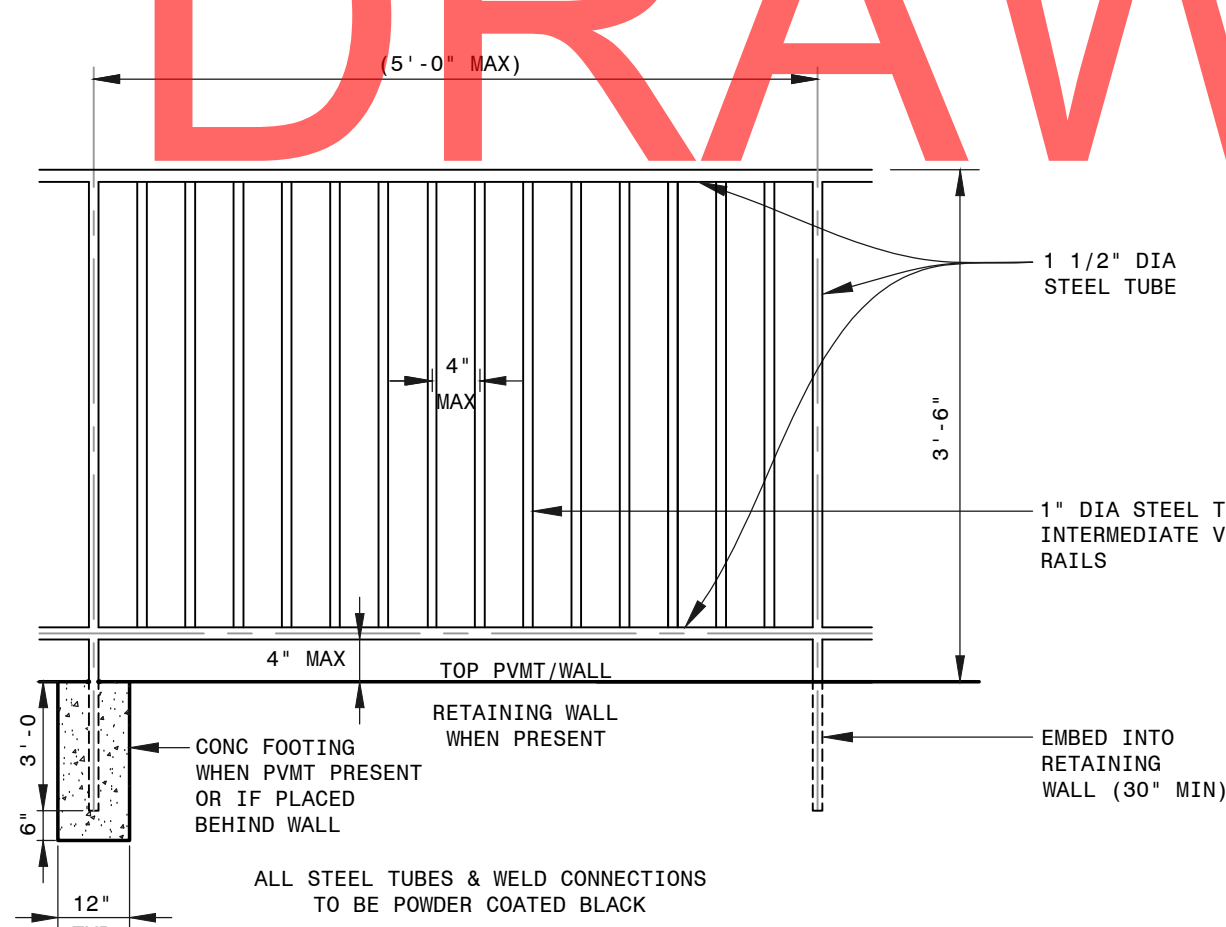


SIDEWALK/CURB DETAIL
NTS

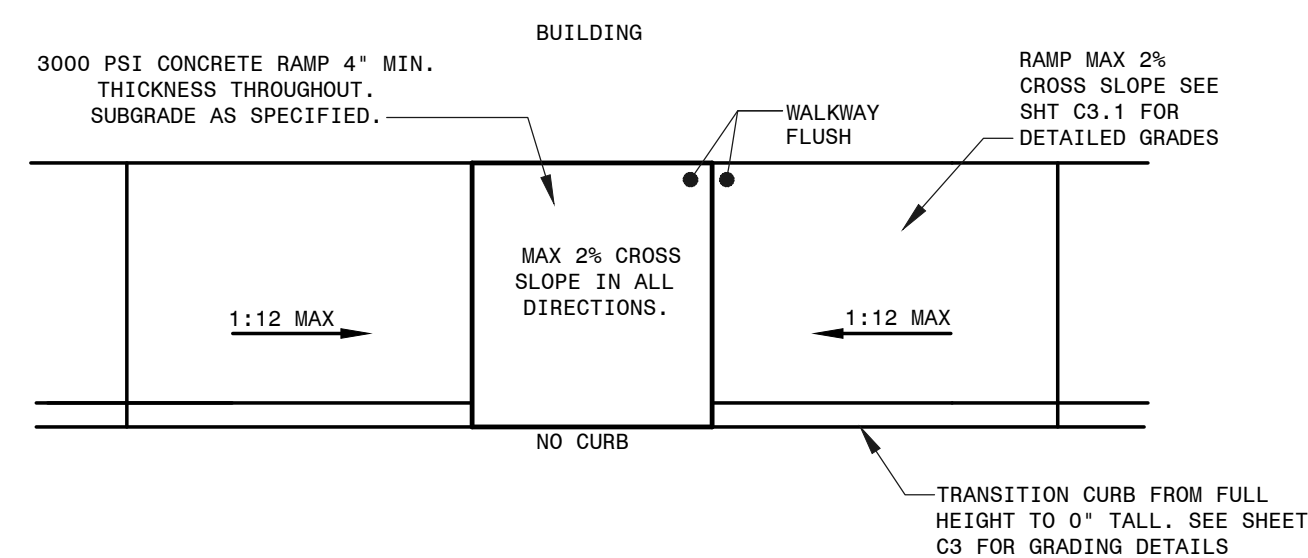


ACCESSIBLE SIGN DETAIL
NTS

REF CITY DETAILS FOR CONCRETE JOINT DETAILS SHIT C9



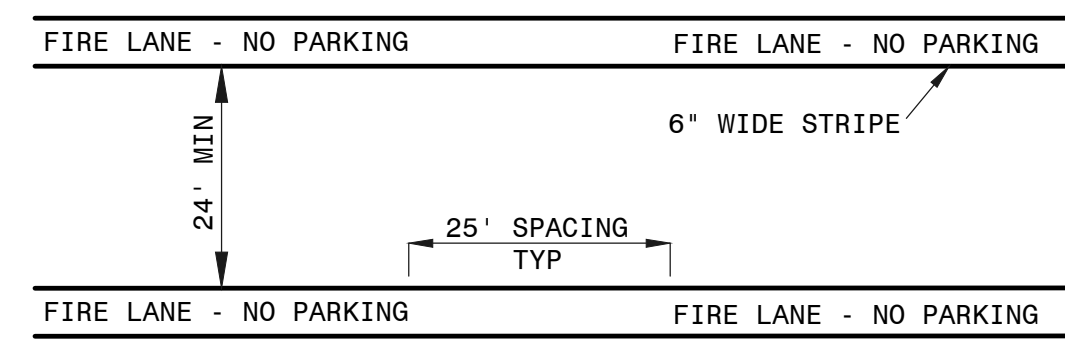
GUARDRAIL DETAIL
NTS



(PRIVATE) BARRIER FREE RAMP TYPE I
NTS

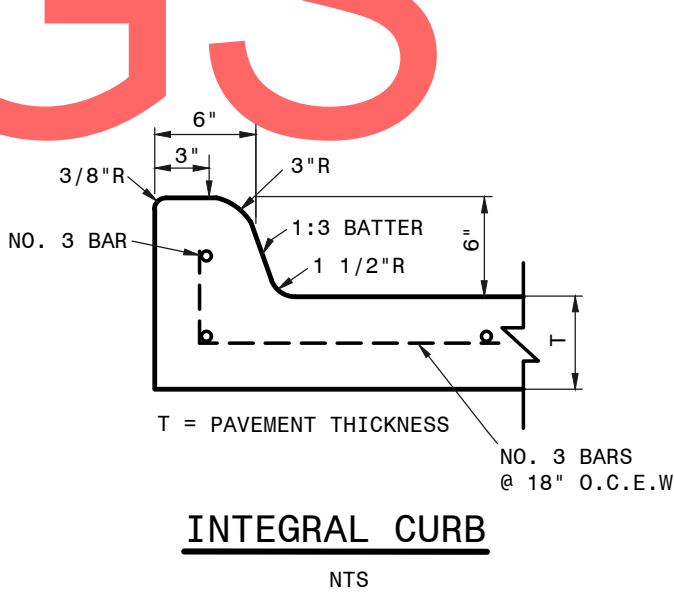
(PRIVATE) BARRIER FREE RAMP TYPE II
NTS

- GENERAL NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE PLANS AND SPECIFICATIONS FOR THIS PROJECT, THE PROJECT AREA, AND ALL CODES, REGULATIONS OR LAWS APPLICABLE TO THE PROJECT.
 2. ALL CONSTRUCTION SHALL BE PER CITY OF ROCKWALL (CITY) STANDARDS FOR CONSTRUCTION.
 3. OWNER SHALL DESIGNATE A STAGING AREA FOR THE CONTRACTOR. NO STORAGE OF EQUIPMENT OR MATERIALS SHALL BE PERMITTED WITHOUT PERMISSION OF THE OWNER.
 4. CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT AND ORDERLY FASHION AND DISPOSE OF EXCESS MATERIALS AND DEBRIS BY LEGAL MEANS OFF SITE. NO DEBRIS SHALL BE BURIED ON SITE.
 5. WORK IN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TRAFFIC FLOW IN A SAFE MANNER IN ACCORDANCE WITH CITY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROPRIATE PERMITS AND FOR PROVIDING ALL NECESSARY WARNING AND SAFETY DEVICES AS REQUIRED BY THE CITY OR TxDOT.
 6. UTILITIES SHOWN ARE AT APPROXIMATE LOCATIONS BASED ON AVAILABLE PLANS AND NOT ALL UTILITIES MAY BE SHOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE CITY AND ENGINEER OF POTENTIAL CONFLICTS WITH THE PLANS PRIOR TO CONSTRUCTION.
 7. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES AND SITE FEATURES DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGED UTILITIES OR SITE FEATURES TO A LIKE NEW CONDITION AT CONTRACTORS EXPENSE PRIOR TO FINAL APPROVAL OF THE CONSTRUCTION BY OWNER.

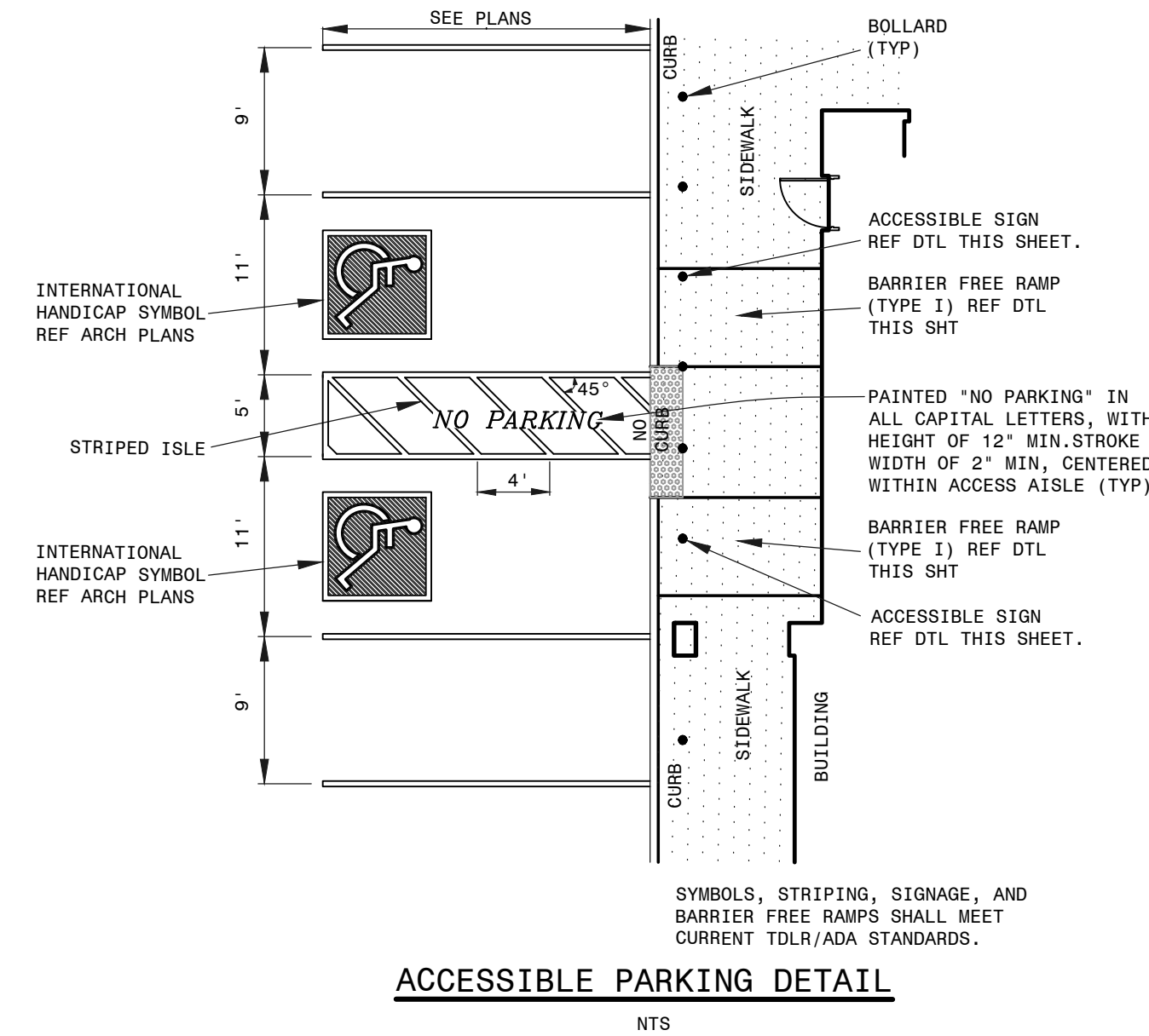


- FIRE LANE NOTES:
1. STRIPE SHALL BE SIX(6) INCHES WIDE PAINTED "TRAFFIC RED". PAINT TO BE PER CITY SPECIFICATIONS.
 2. LETTERS SHALL BE FOUR(4) INCHES HIGH PAINTED "TRAFFIC WHITE". PAINT TO BE PER CITY SPECIFICATIONS.
 3. STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
 4. LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.
 5. WHERE IS AVAILABLE, THE STRIPPING SHALL BE ON BOTH THE VERTICAL AND HORIZONTAL FACES OF THE CURB.
 6. COORDINATE WITH CITY FIRE DEPARTMENT PRIOR TO STRIPING.

FIRE LANE STRIPING DETAIL
NTS



INTEGRAL CURB
NTS



ACCESSIBLE PARKING DETAIL
NTS

THE SEAL APPEARING ON THIS DRAWING IS THE PROPERTY OF
JUAN J. VASQUEZ, P.E. #58852, ON
05/26/2023

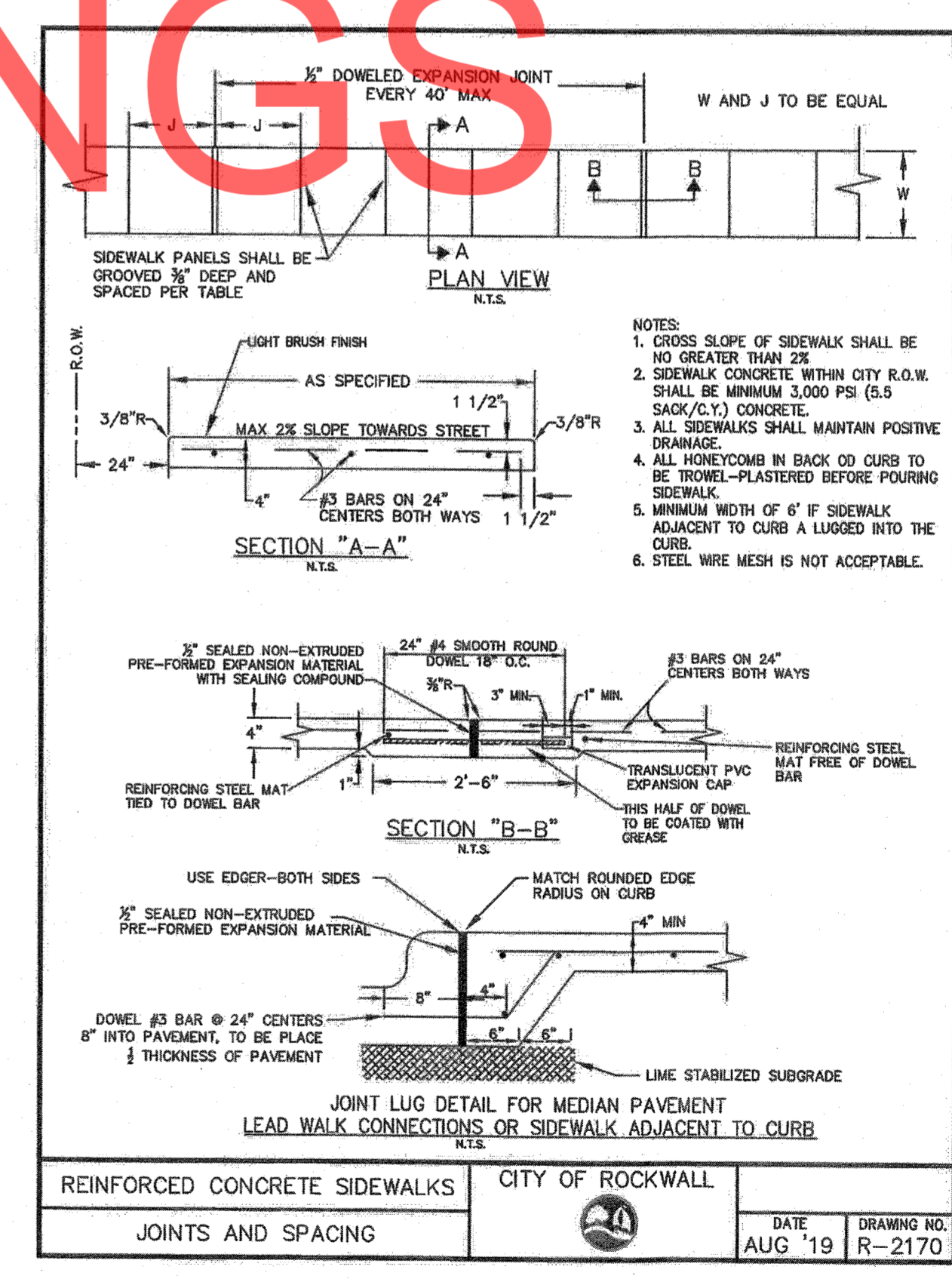
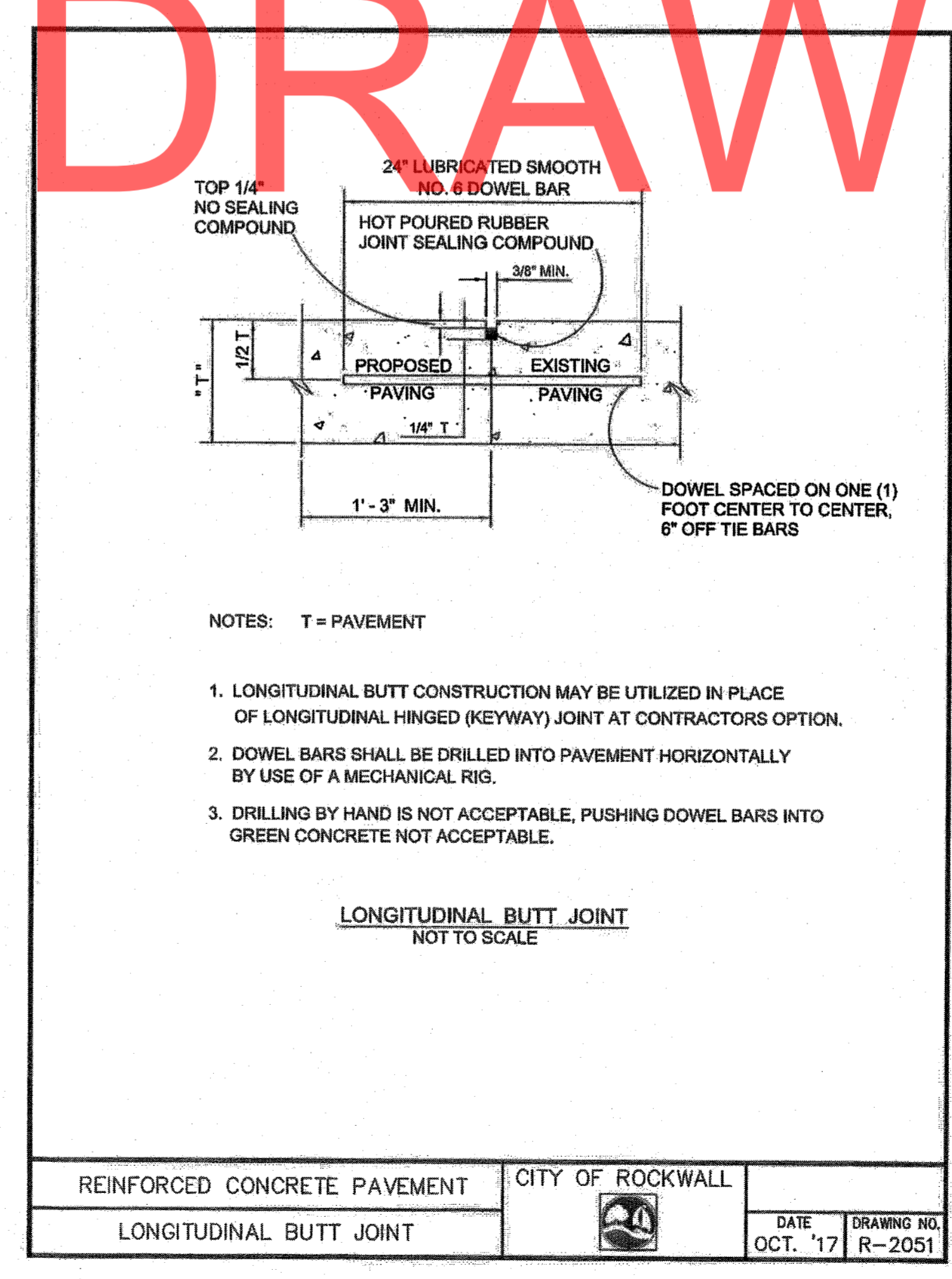
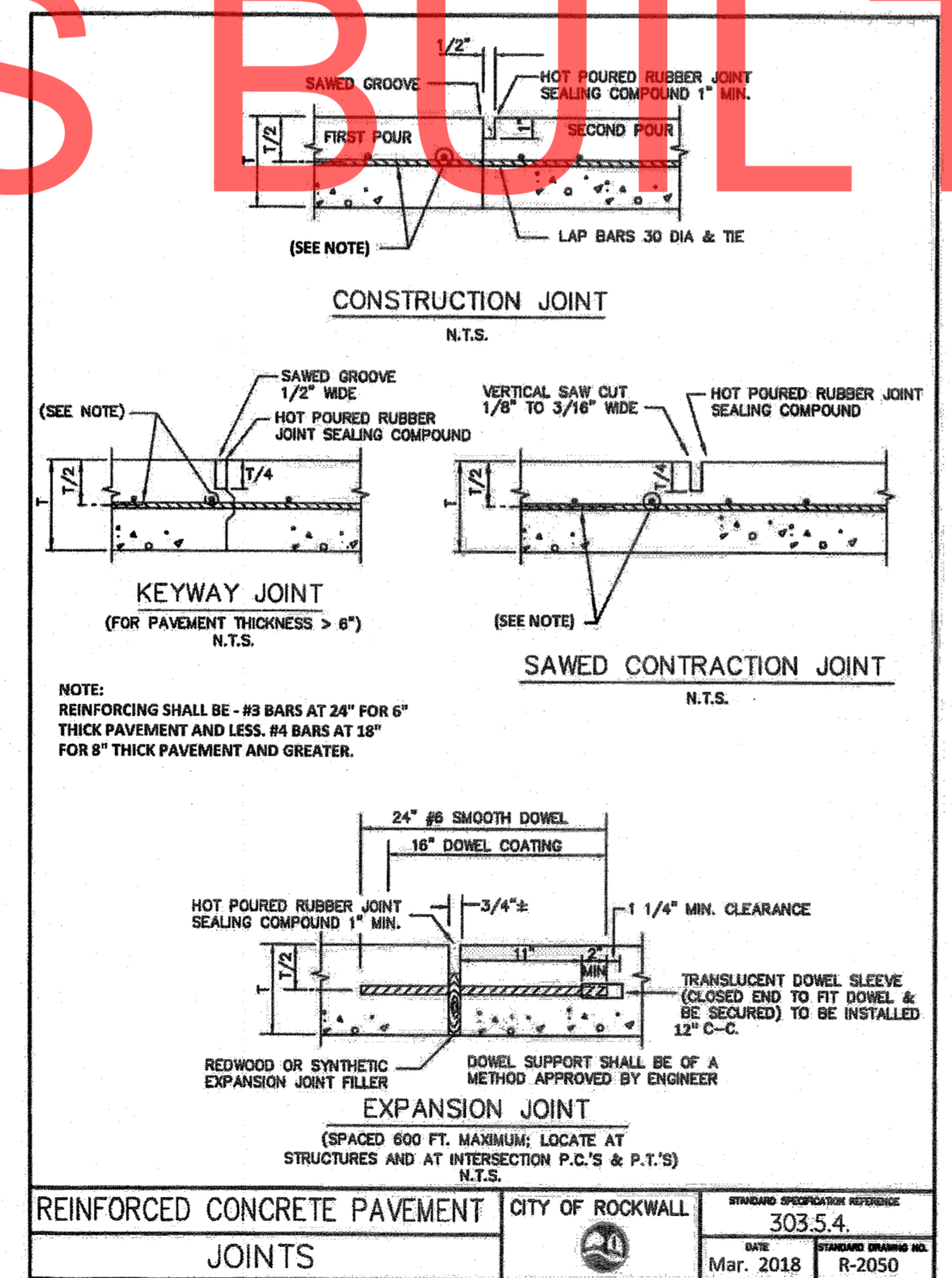
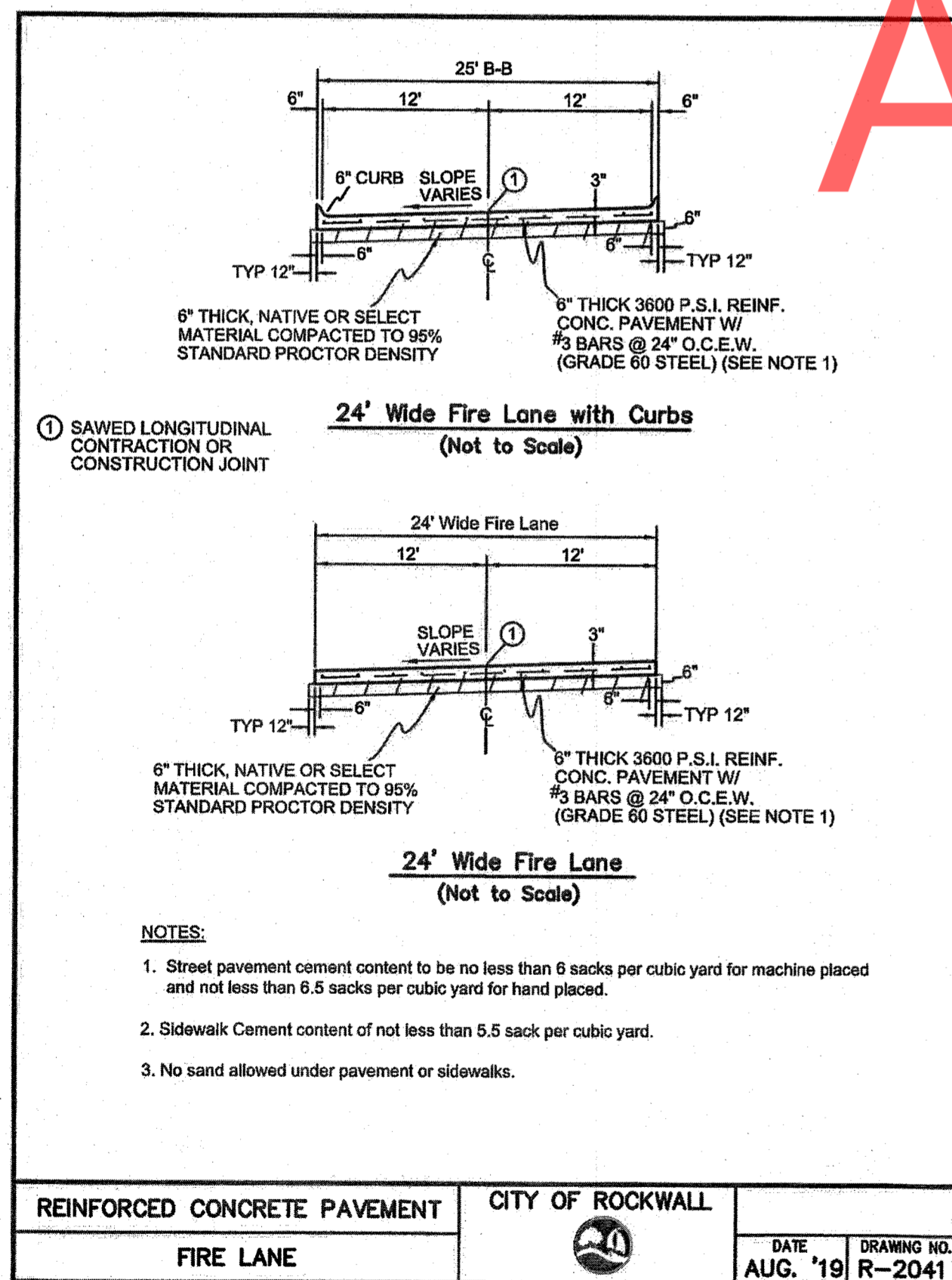
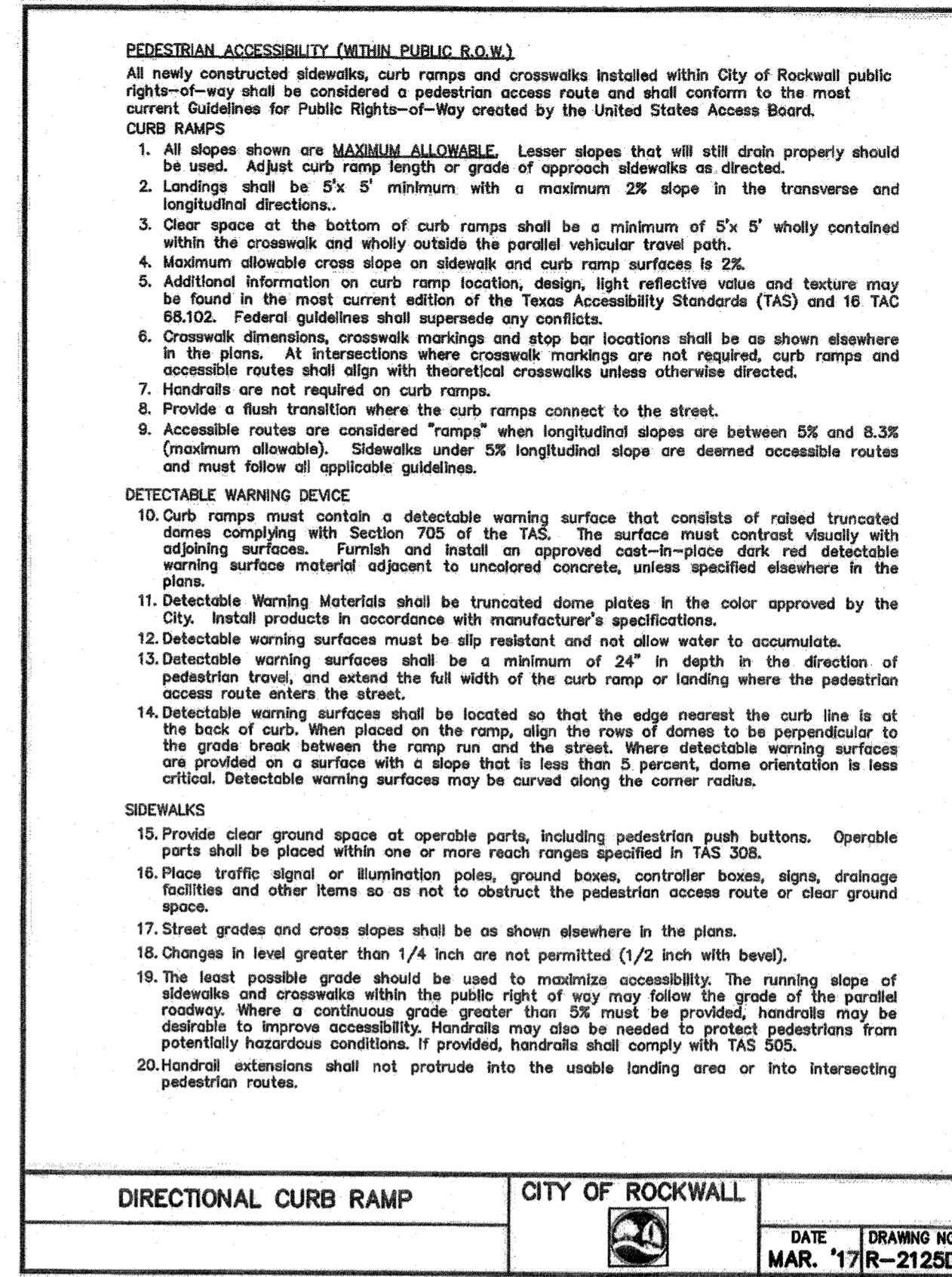
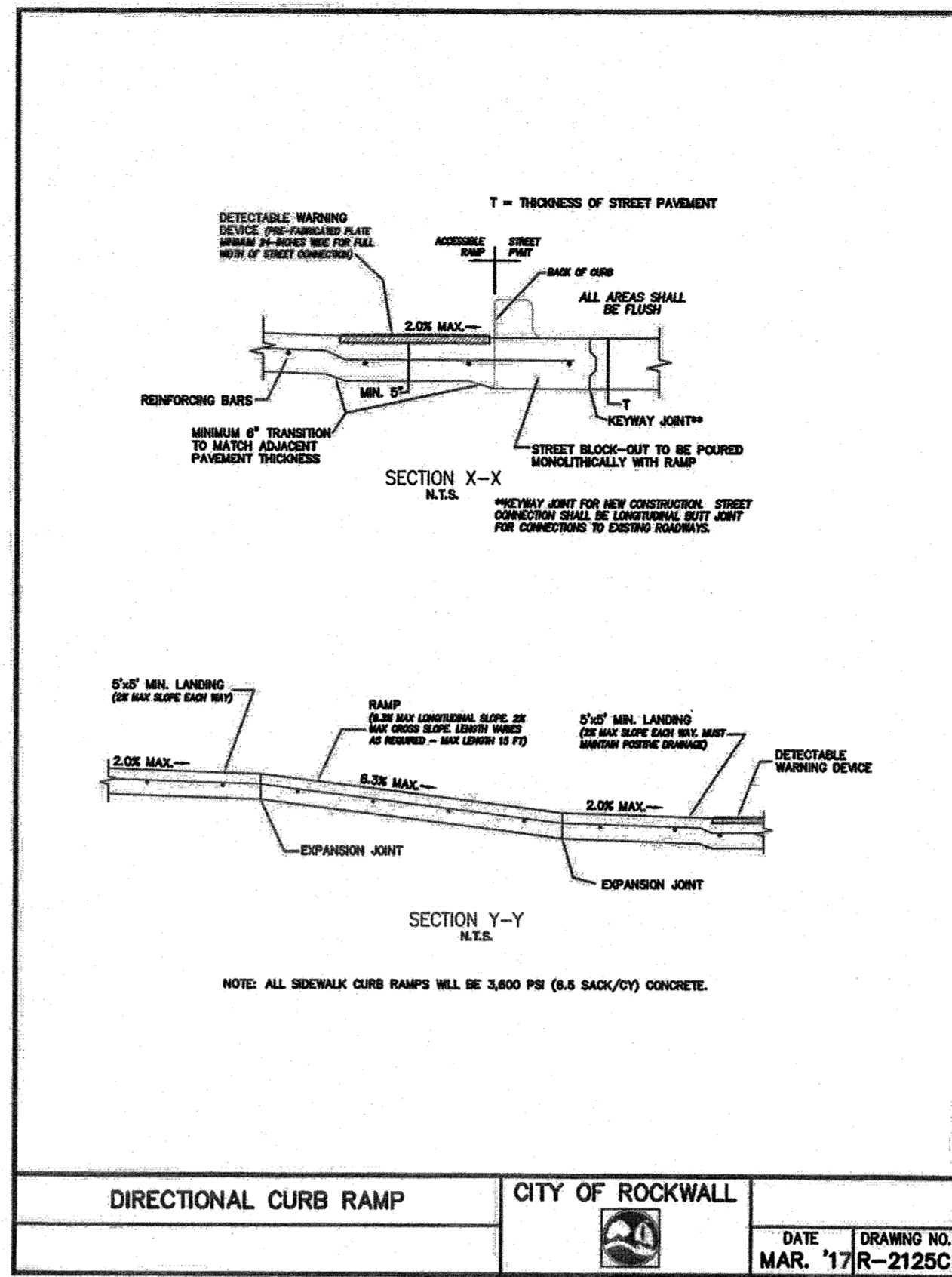
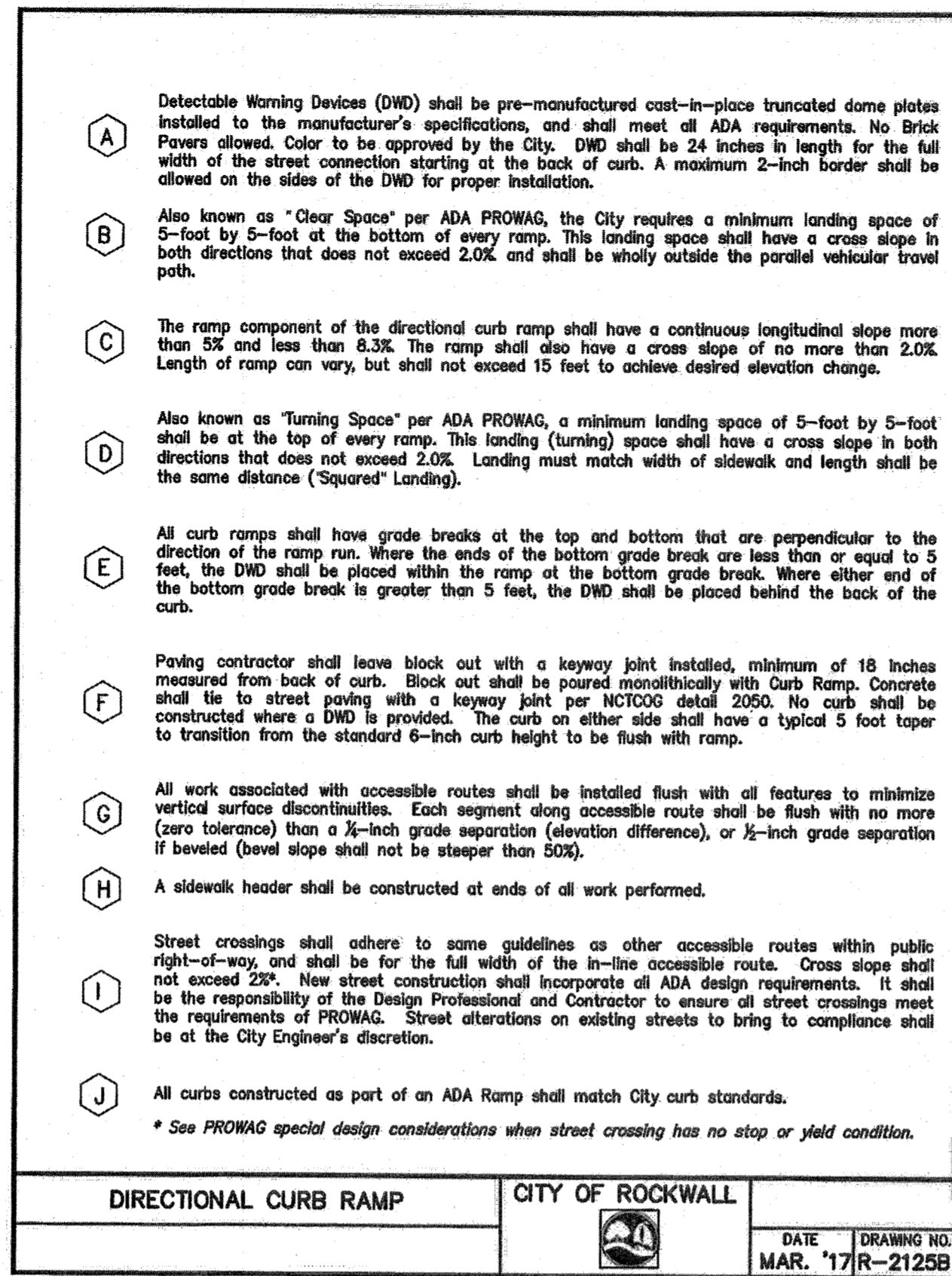
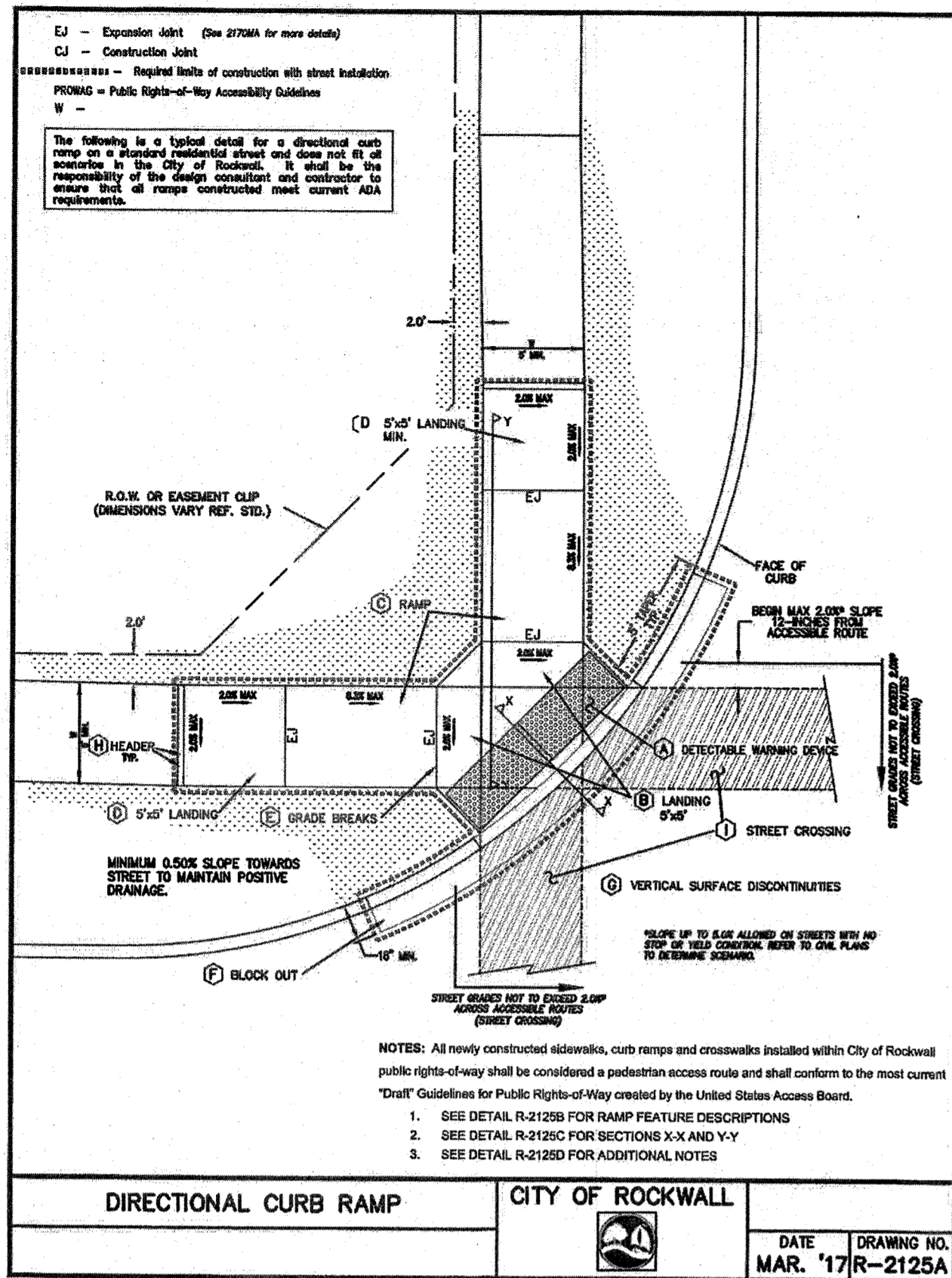
VASQUEZ ENGINEERING L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration # F-12266

DEVELOPER
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

GENERAL NOTES & DETAILS
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLLAD ADDITION
CITY OF ROCKWALL, TX

Scale: AS NOTED
Designed by: J.J.V.
Drawn by: D.R.S.
Checked by: J.J.V.
Date: 05/26/2023

SHEET
C8



AS BUILT DRAWINGS

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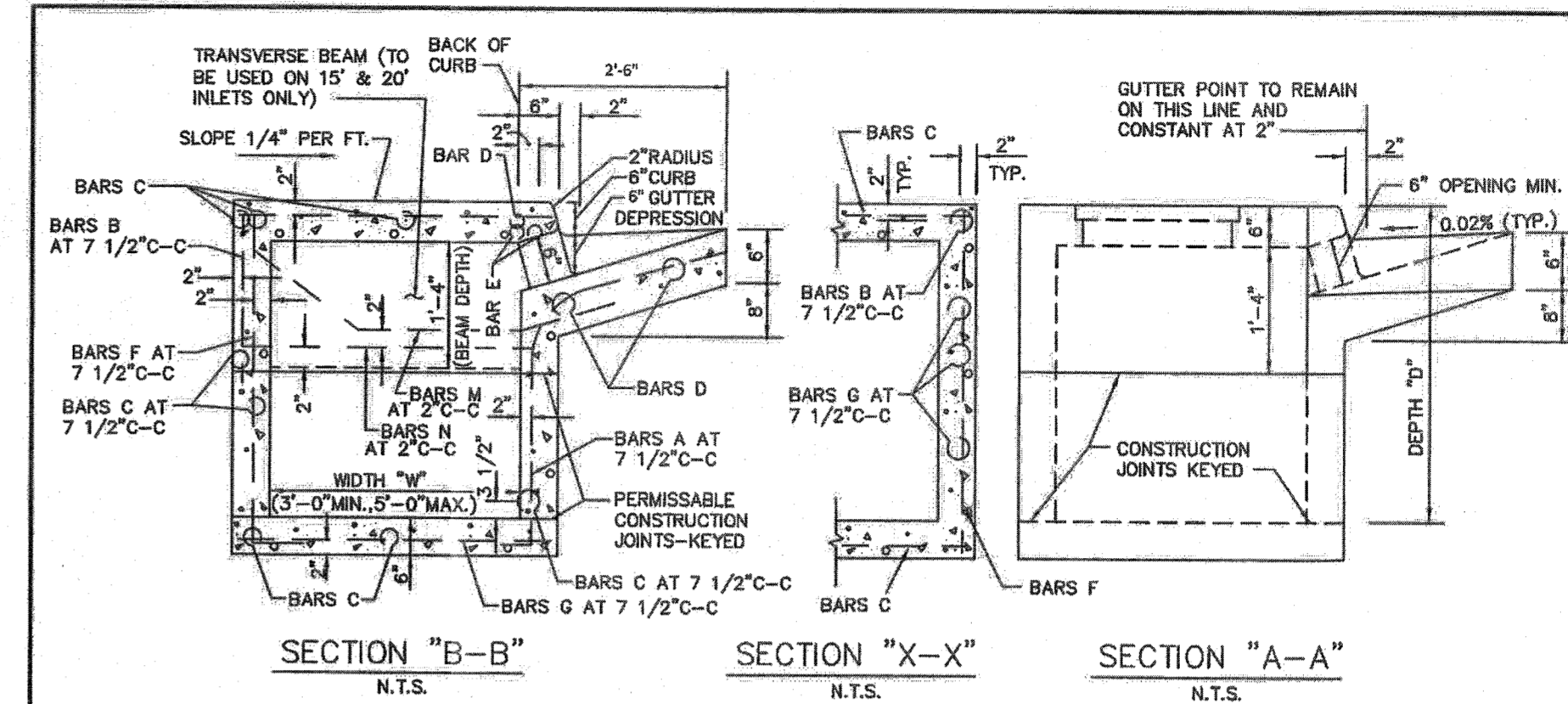
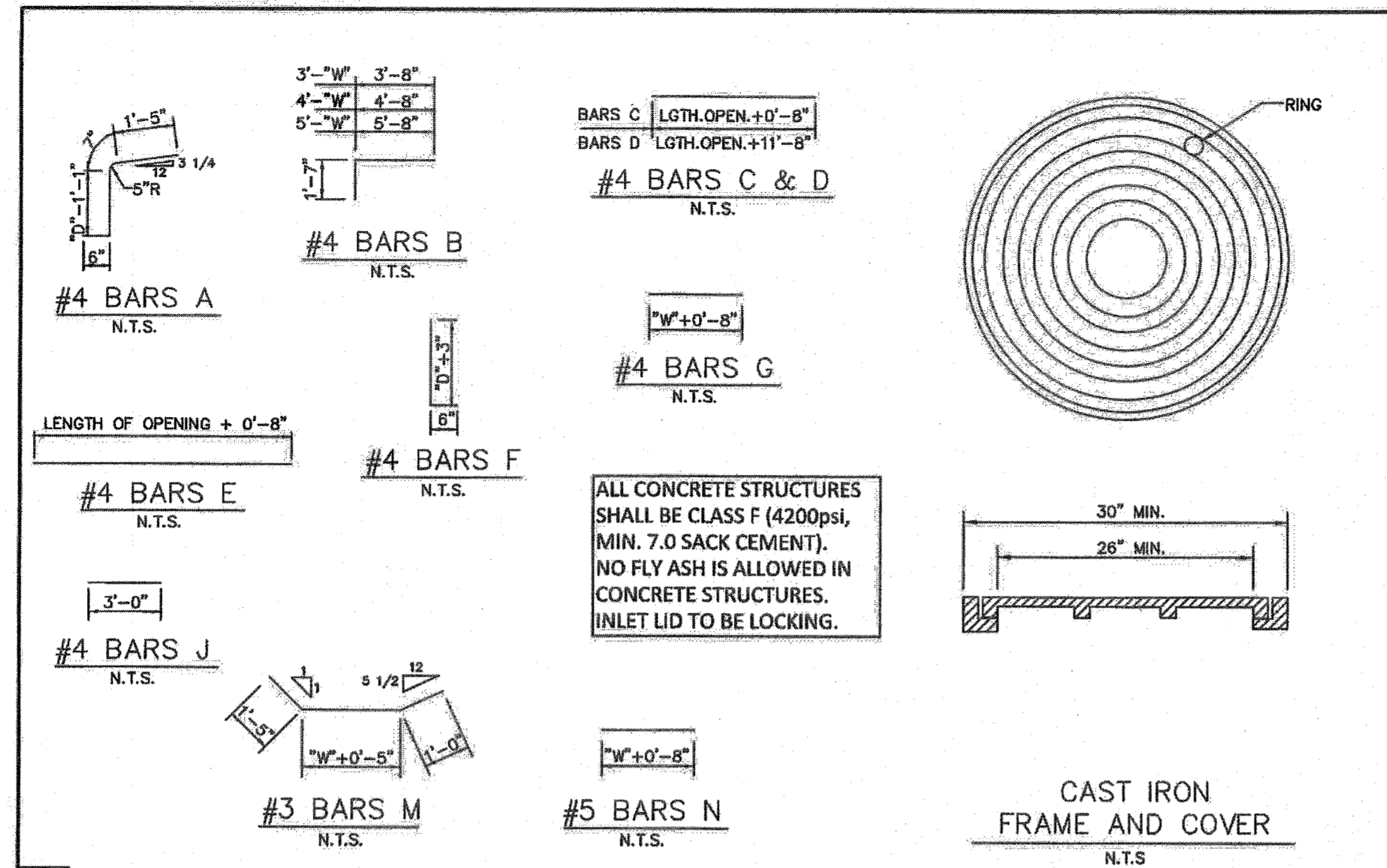
CITY DETAILS
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

Scale: AS NOTED
Designed by: J.J.V.
Drawn by: D.R.S.
Checked by: J.J.V.
Date: 03/29/2023

SHEET
C9

GENERAL NOTES:

- REINFORCED CONCRETE PAVEMENT:
 - ALL CURBS SHALL BE PLACED INTEGRAL WITH PAVEMENT UNLESS OTHERWISE APPROVED BY THE OWNER.
 - CURBS SHALL MEET THE SAME COMPRESSIVE STRENGTH AS SPECIFIED FOR THE PAVEMENT.
 - BAR LAPS SHALL BE 30 DIAMETERS.
 - REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS OR OTHER DEVICES APPROVED BY THE OWNER.
- SUBGRADE: (UNLESS OTHERWISE SPECIFIED BY OWNER)
 - SUBGRADE UNDER ALL PAVEMENTS SHALL BE STABILIZED TO A MINIMUM DEPTH OF SIX (6) INCHES WITH HYDRATED LIME CEMENT. LABORATORY TESTS WILL BE PERFORMED TO DETERMINE THE AMOUNT OF LIME OR CEMENT TO USE.



PAVEMENT SYSTEMS CITY OF ROCKWALL STANDARD SPECIFICATION REFERENCE: 302.303

GENERAL NOTES DATE: Mar. 2018 STANDARD DRAWING NO: R-2190

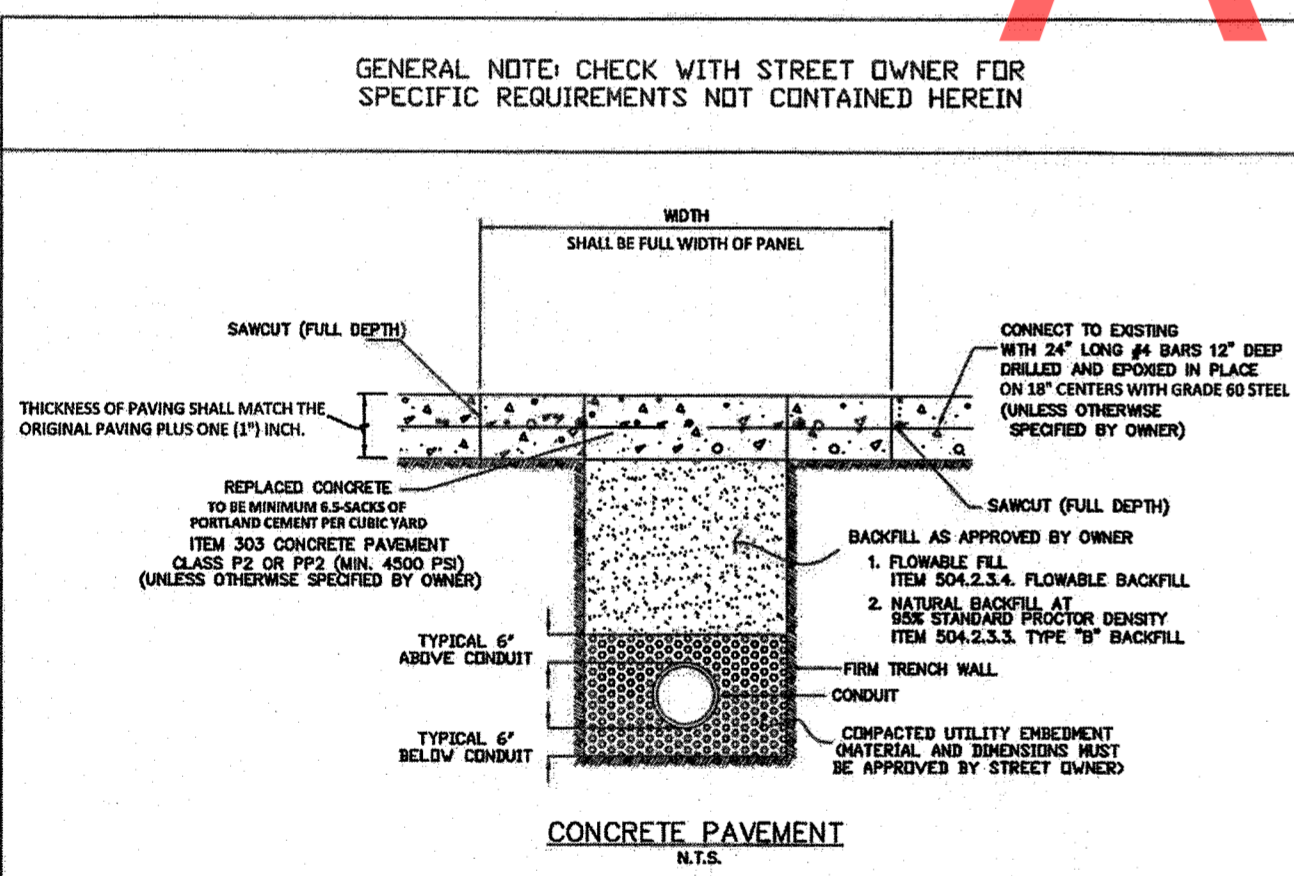
CURB INLET CITY OF ROCKWALL STANDARD SPECIFICATION REFERENCE: 702

REBAR & M.H. FRAME & COVER DATE: Mar. 2018 STANDARD DRAWING NO: R-6020C

CURB INLET CITY OF ROCKWALL STANDARD SPECIFICATION REFERENCE: 702

CROSS SECTION & INLET THROAT DATE: AUG. 2019 STANDARD DRAWING NO: R-6020B

AS BUILT DRAWINGS



BILL OF REINFORCING STEEL

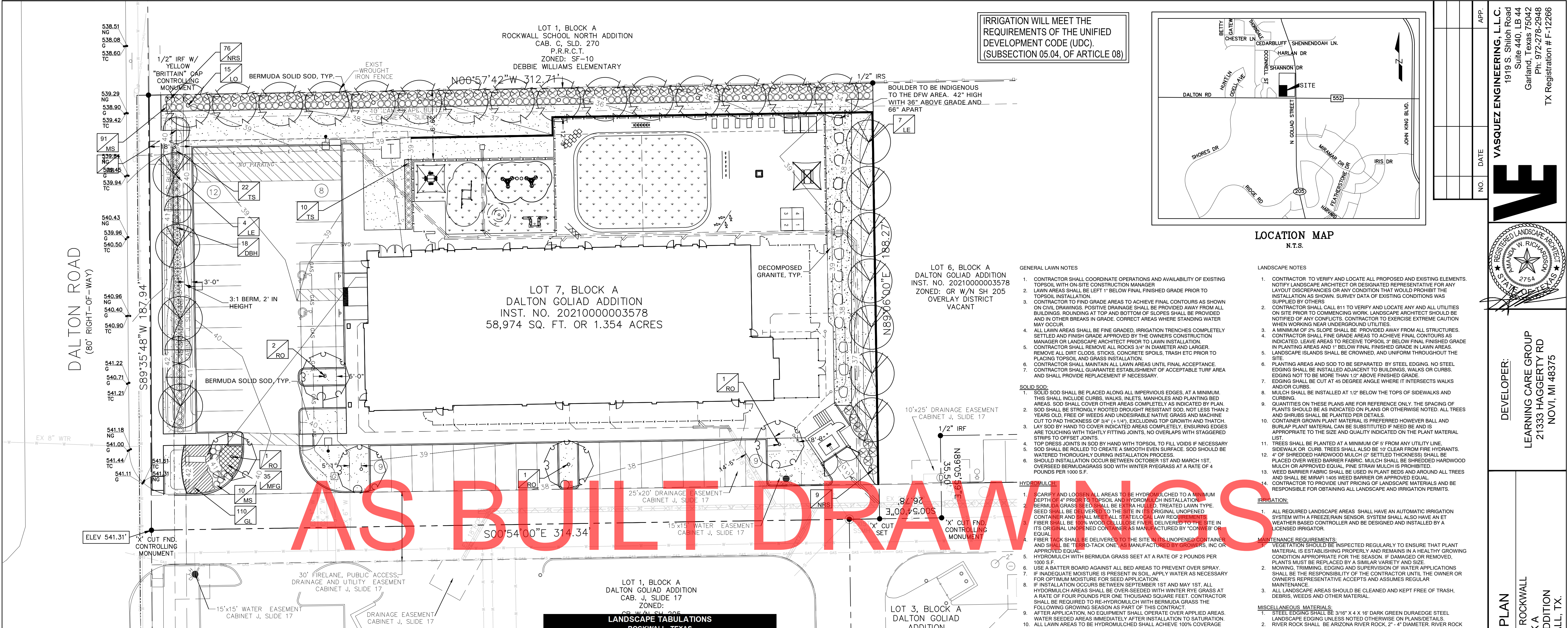
DEPTH "D"	OPENING LENGTH "L" = 5 ft					OPENING LENGTH "L" = 10 ft					OPENING LENGTH "L" = 15 ft					OPENING LENGTH "L" = 20 ft								
	Widths "W"					Widths "W"					Widths "W"					Widths "W"								
	3ft	4ft	5ft	6ft	8ft	3ft	4ft	5ft	6ft	8ft	3ft	4ft	5ft	6ft	8ft	3ft	4ft	5ft	6ft	8ft				
3'-6"	17	3	2	4	20	24	28	10	20	28	32	36	18	18	28	36	40	44	48	52	34	44	2	2
3'-9"	18	3	2	4	20	24	28	10	20	28	32	36	18	18	28	36	40	44	48	52	34	44	2	2
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4'-6"	21	3	2	4	20	24	28	10	20	28	32	36	18	18	28	36	40	44	48	52	34	44	2	2
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CURB INLET CITY OF ROCKWALL STANDARD SPECIFICATION REFERENCE: 702

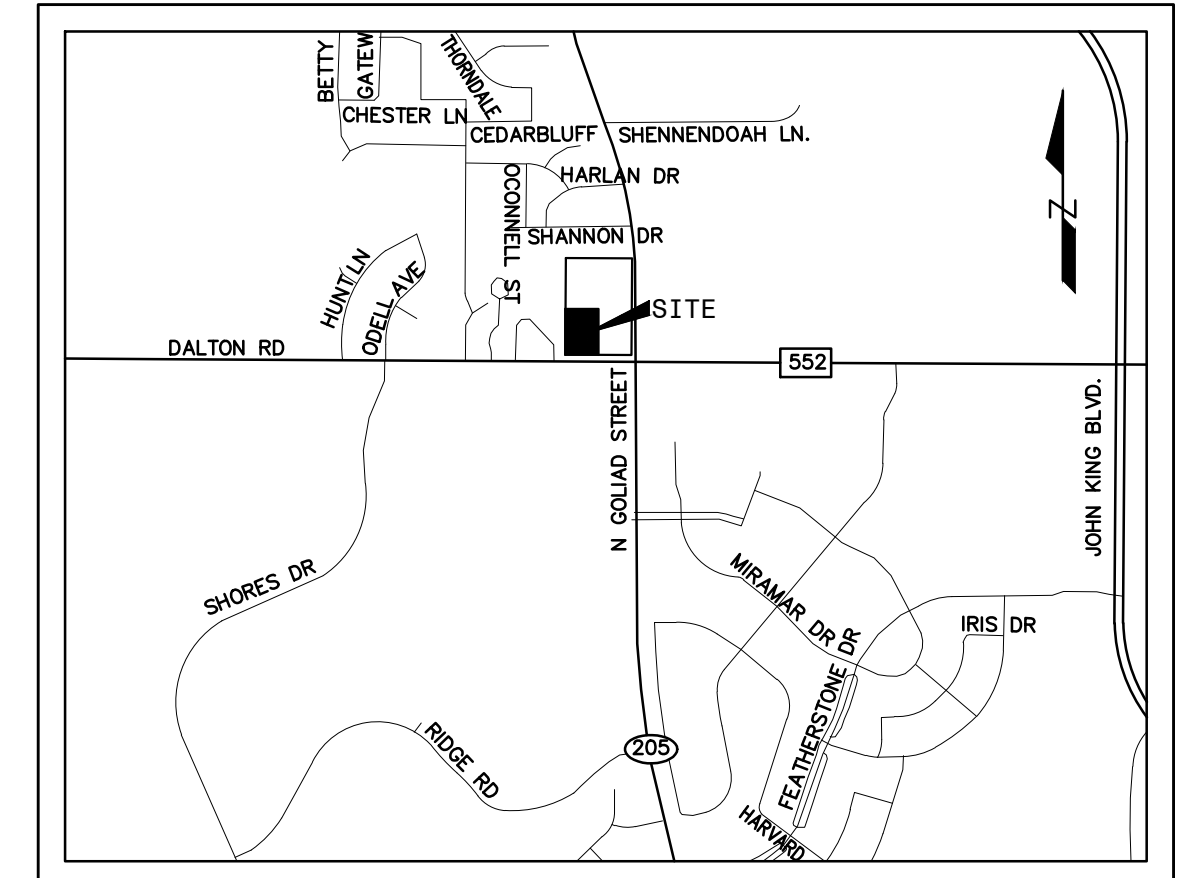
BILL OF REINFORCING STEEL DATE: Mar. 2018 STANDARD DRAWING NO: R-6020D

SUMMARY OF QUANTITIES FOR CURB INLETS

DEPTH "D"	5'-0" OPENING					10'-0" OPENING					15'-0" OPENING					20'-0" OPENING								
	WIDTH 3'-0"					WIDTH 4'-0"					WIDTH 5'-0"					WIDTH 6'-0"								
	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL	CONC	STEEL
3'-6"	2.62	3.06	2.95	3.32	3.28	3.73	4.12	4.79	6.64	5.21	5.20	5.84	5.69	6.67	6.40	7.21	7.10	7.75	7.20	8.46	8.11	9.09	5.03	5.78
3'-9"	2.70	3.09	3.04	3.41	3.39	3.73	4.25	4.94	6.78	5.36	5.34	5.79	5.87	6.58	7.41	7.30	7.96	7.42	8.74	8.34	9.37	5.27	6.01	6.01
4'-0"	2.78	3.28	3.14	3.64	3.49	3.99	4.38	5.18	6.92	5.85	5.49	6.10	6.05	7.18	6.77	7.76	7.49	8.35	7.64	9.08	8.58	9.78	5.51	6.48
4'-3"	2.87	3.34	3.23	3.70	3.59	4.06	4.51	5.26	7.06	5.64	6.19	6.22	7.29	6.95	7.87	7.88	8.41	8.07	9.23	8.81	10.43	9.99	11.15	6.01
4'-6"	2.95	3.56	3.32	3.94	3.69	4.31	4.64	5.58	7.20	6.07	5.79	6.56	6.40	7.70	7.14	8.30	7.88	8.41	8.09	9.73	9.04	10.43	9.99	11.15
4'-9"	3.03	3.61	3.41	4.10	3.79	4.38	4.77	5.66	7.34	6.16	5.84	6.65	6.57	7.80	7.32	8.41	8.07	9.03	8.31	9.86	9.27	10.56	10.23	11.29
5'-0"	3.12	3.67	3.51	4.16	3.90	4.45	4.90	5.74	7.42	6.24	6.09	6.74	6.75	7.91	7.51	8.53	8.27	9.15	8.53	9.99	9.50	10.70	10.47	11.44
5'-3"	3.20	3.83	3.60	4.24	4.00	4.65	5.03	6.00	7.61	6.52	6.23	7.04	6.93	8.27	7.89	8.90	8.46	9.55	8.76	10.44	9.73	11.18	10.71	11.94
5'-6"	3.28	3.89	3.69	4.30	4.10	4.72	5.16	6.09	7.75	6.61	6.38	7.13	7.11	8.37	7.88	9.01	8.66	9.67	8.98	10.57	9.97	11.31	10.95	12.08
5'-9"	3.37	4.05	3.78	4.51	4.20	4.95	5.29	6.35	8.00	6.90	6.53	7.44	7.28	8.74	8.07	9.40	8.85	10.07	9.20	11.02	10.20	11.78	11.19	12.58
6'-0"	3.45	4.15	3.88	4.60	4.30	5.04	5.42	6.46	8.13	7.02	6.68	7.57	7.45	8.88	8.25	9.54	9.05	10.22	9.42	11.19	10.43	11.96	11.43	12.76
6'-3"	3.53	4.25	3.97	4.70	4.41	5.15	5.59	6.61	8.17	7.18	6.83	7.73	7.63	9.08	8.44	9.74	9.24	10.44	9.64	11.47	10.66	12.23	11.67	13.05
6'-6"	3.62	4.37	4.08	4.85	4.51	5.32	5.69	6.81	8.31	7.29	6.97	7.87	7.61	9.35	8.62	10.05	9.43	10.77	9.87	11.78	10.89	12.58	11.92	13.40
6'-9"	3.70	4.41	4.15	4.90	4.61	5.37	5.81	6.98	8.45	7.47	7.12	8.06	7.96	9.45	8.81	10.15	9.53	10.86	10.09	11.91	11.12	12.72	12.15	13.55
7'-0"	3.78	4.60	4.25	5.10	4.71	5.60	5.94	7.16	8.59	7.77	7.27	8.37	8.16	9.81	8.99	10.53	9.82	11.28	10.31	12.37	11.35	13.19	12.40	14.04
7'-3"	3.88	4.65	4.34	5.16	4.81	5.67	6.07	7.24	8.72	7.85	7.42	8.46	8.33	9.92	9.18	10.65	10.02	11.53	10.53	12.48	11.59	13.33	12.64	14.18
7'-6"	3.95	4.77	4.43	5.29	4.91	5.70	6.20	7.42	8.86	8.04	7.57	8.66	8.51	10.16	9.36	10.89	10.21	11.63	10.75	12.90	11.82	13.65	12.88	14.51
7'-9"	4.03	4.91	4.53	5.44	5.02	5.97	6.33	7.62	9.00	8.26	7.71	8.80	8.67	10.40	9.55	11.16	10.41	11.93	10.98	13.13	12.05	13.99	13.12	14.88
8'-0"	4.12	4.98	4.62	5.50	5.12	6.04	6.46	7.70	9.14	8.34	7.86	8.99	8.86	10.61	9.73	11.29	10.60	12.05	11.20	13.25	12.28	14.12	13.36	15.10
8'-3"	4.20	5.04	4.71	5.59	5.22	6.13	6.59	7.84	9.28	8.49	8.01	9.15	9.04	10.89	9.92	11.49	10.80							



IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (SUBSECTION 05.04, OF ARTICLE 08)



LOCATION MAP N.T.S.

- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOD:**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN. SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4), EXCLUDING TOP GROWTH AND THATCH. LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY. SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDA GRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- HYDROMULCH:**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
 - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE LOCAL LAW REQUIREMENTS.
 - FIBER SHALL BE 100% WOOD GULLULU FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONVEY' OR EQUAL.
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE THERMO-TACK ONE, AS MANUFACTURED BY GROVERS, INC OR APPROVED EQUAL.
 - HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
 - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
 - EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.
 - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
- IRRIGATION:**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE-RAN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.
- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/4" X 4 X 1/8" DARK GREEN DURADEGEE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
 - RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.
 - DECOMPOSED GRANITE SHALL CONSIDER OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.
 - BOULDERS SHALL BE ON AVERAGE 36" X 24" X 24" AND A MIN. OF 500LBS. BOULDER TO BE SET IN GROUND ON A 1" SAND SETTING BED, APPROXIMATELY 2" BELOW FINISH GRADE. BOULDER SHOULD HAVE A WEATHERED FINISH. EACH BOULDER HAS A NATURAL TOP AND BOTTOM. ENSURE THAT THE BOULDER IS POSITIONED CORRECTLY BEFORE INSTALLATION.

SITE SUMMARY TABLE

Site Address	DALTON ROAD
County	ROCKWALL
Project Name	LEARNING CARE CENTER
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	CHILD CARE CENTER
Site Area:	1.354 Acres 58,974 S.F.
Building Area	11,109 S.F.
Building Height:	1 Story
Lot Coverage:	11,109 / 58,974 = 18.83%
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83
Parking Required Building:	11,109 S.F.
	CHILD CARE CENTER (1 SPCS/300 SF) = 37 SPACES
Total Parking Required:	= 37 SPACES
Parking Provided:	REGULAR = 37 SPACES
	ACCESSIBLE = 2 SPACES
	TOTAL = 39 SPACES
Impervious Area:	45,750 S.F.
Impervious Area Ratio:	45,750 S.F. / 58,974 = 77.58%
Pervious Area Ratio:	13,224 S.F. / 58,974 = 22.42%

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20__

WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

LANDSCAPE TABULATIONS
ROCKWALL, TEXAS

- Perimeter Collector Street or Arterial Roadway**
- A minimum of 10' wide landscape buffer shall be required. Frontage shall contain berms and shrubbery to have a total minimum height of 30".
 - One canopy tree and one accent tree shall be incorporated every 50 l.f.
 - Headlight screening shall be provided where parking is adjacent to the street. A 2' tall berm with mature evergreen shrubs along the entire adjacency of the parking areas.
- Dalton Road = 187 l.f.

REQUIRED	PROVIDED
10' wide buffer	10' wide buffer
berm and/or shrubs	shrubs 36" ht.
4 canopy trees, 4" cal.	4 canopy trees, 4" cal.
4 accent trees, 4" ht.	4 accent trees, 4" ht.

REQUIRED	PROVIDED
shade trees every 20'	shade trees every 20'
large shrubs	large shrubs (Nellie R Stevens Holly)
smaller shrubs for layering	small shrubs (Muhly grass)

Landscape Requirements

- Commercial landscape requirements must total a minimum of 20% of the project site.
- 50% of the required landscape shall be located in the front yard.

REQUIRED	PROVIDED
11,795 s.f. (20%)	13,224 s.f. (22.4%)
5,897 s.f. (50%)	6036 s.f.

Parking Lot Landscape

- 5% of the parking lot area shall be landscape.
 - One large canopy tree shall be provided for every 10 spaces.
 - No parking space shall be located more than 80' from the trunk of a canopy tree.
- Parking spaces: 39

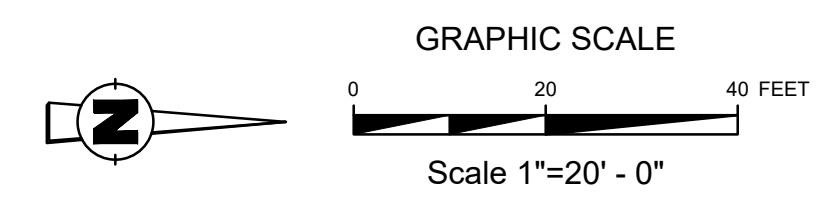
REQUIRED	PROVIDED
3109 s.f. (20%)	3201 s.f. (20%)
4 canopy trees, 4" cal.	4 canopy trees, 4" cal.

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
11	LE	Lacebark Elm	<i>Ulmus parvifolia 'Sempervirens'</i>	4" cal.	12' ht., 4' spread
15	LO	Live Oak	<i>Quercus virginiana</i>	4" cal.	12' ht., 4' spread, matching
5	RO	Texas Red Oak	<i>Quercus buckleyi</i>	4" cal.	12' ht., 5' spread
ORNAMENTAL TREES					
4	RB	Oklahoma Redbud	<i>Cercis reniformis 'Oklahoma'</i>	30 gal.	8' ht., 4' spread, 3 trunk min.
SHRUBS					
18	DBH	Dwarf Burford Holly	<i>Ilex comuta 'Burford Nana'</i>	3' ht for screening	full, 24" spread, 36" o.c.
101	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
85	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
32	TS	Texas Sage 'Green Cloud'	<i>Leucophyllum frutescens 'Green Cloud'</i>	3' ht for screening	full, 24" sprd, 36" o.c.
GROUND COVER/VINES/GRASS					
110	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
35	MFG	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal.	full, 18" o.c.
		Bermuda Solid Sod - TifTuf	<i>Cynodon dactylon 'TifTuf'</i>		Decomposed Granite

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

LANDSCAPE PLAN
EVERBROOK ACADEMY—ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
1.354 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
FEBRUARY 9, 2023
CASE #SP2023-003



OWNER:
ROCKWALL 205-552 LLC
4622 MAPLE AVE., SUITE 200
DALLAS, TX 75219
PHONE: 214-393-3983
CONTACT: DONALD SILVERMAN

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MICHIGAN 48375
PHONE: 407-314-8432
CONTACT: WESLEY ARNOLD

Scale: 1" = 20'

Designed by: JUV
Drawn by: DRS
Checked by: JUV
713-010-DWG-SP/LEARNING CARE-003

DATE: 02/09/2023

SHEET
L1.1

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

LANDSCAPE PLAN
EVERBROOK ACADEMY - ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

DATE
NO.
APP.

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12286

SECTION 32 8000 - LANDSCAPE
PART 1 - GENERAL

- 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.
 - A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING
- 1.2 REFERENCE DOCUMENTS
 - A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS
- 1.3 SCOPE OF WORK (DESCRIPTION OF WORK)
 - A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISORS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONNECTION WITH THE LANDSCAPING WORK SHOWN IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
 1. PLANTING (TREES, SHRUBS, GRASSES)
 2. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
 3. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.
- 1.4 REFERENCES
 - A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z90.1) - PLANT MATERIAL
 - B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION OF STANDARDIZED PLANT NAMES
 - C. TEXAS ASSOCIATION OF NURSERYMEN, GRASSES AND STANDARDS
- 1.5 SUBMITTALS
 - A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
 - B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
 - C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.
- 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
 - A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
 - B. ALL PLANTING BED AREA SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS UNDER GRADE OF WALKS, DRIVES AND CURBS, CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
 - C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.
- 1.7 SEQUENCING
 - A. INSTALL TREES, SHRUBS, AND LNER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNS/900.
 - B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERATICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PREPARED WITH AMENDED ORGANIC MATTER.
- 1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

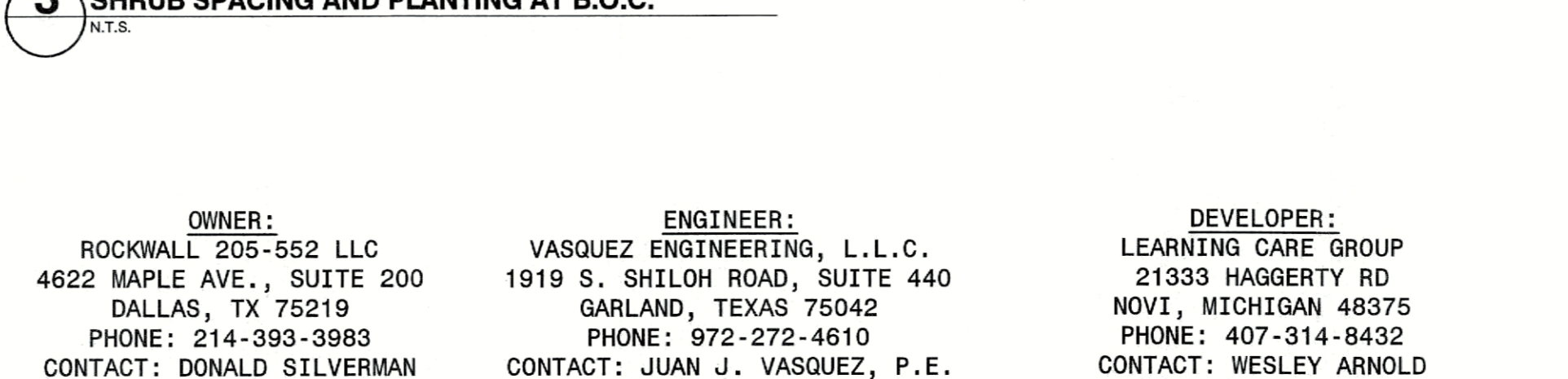
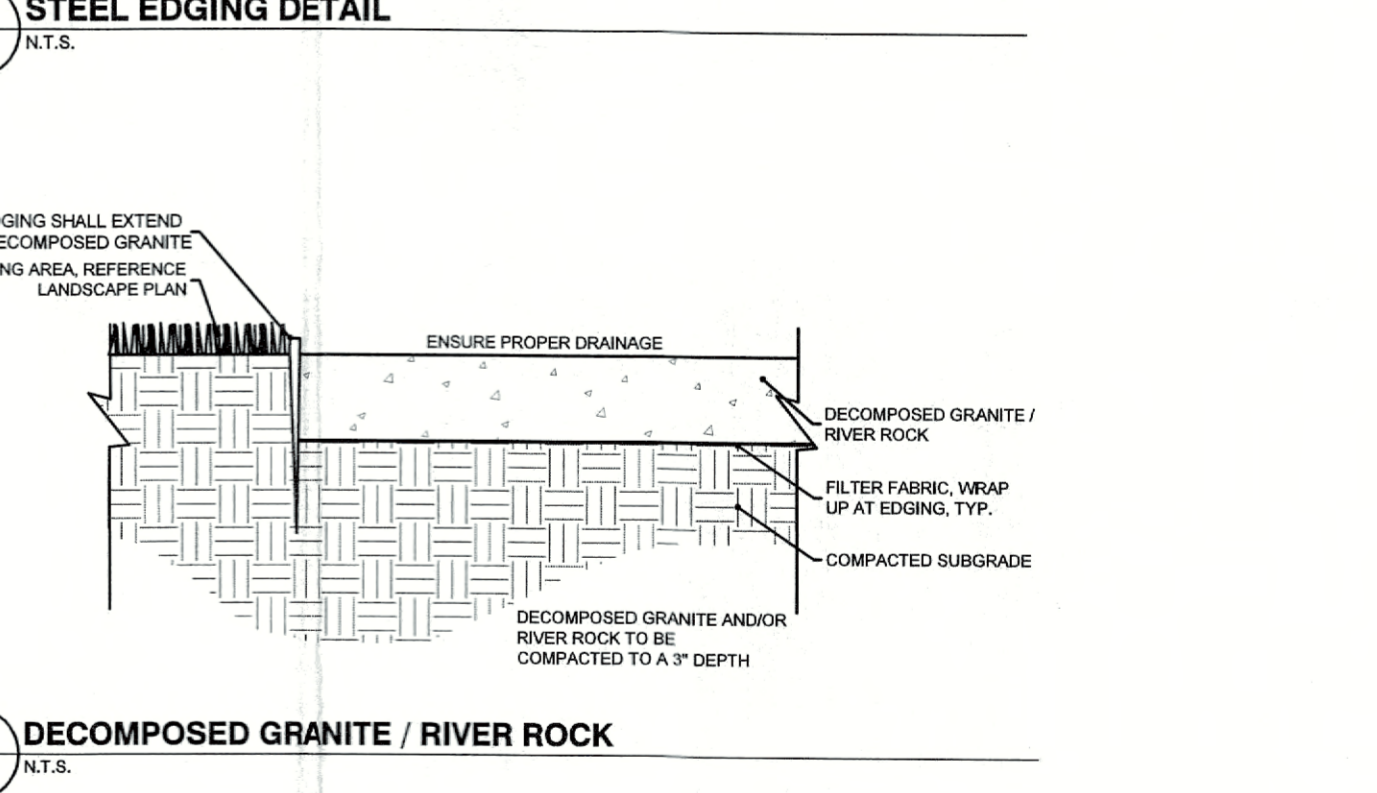
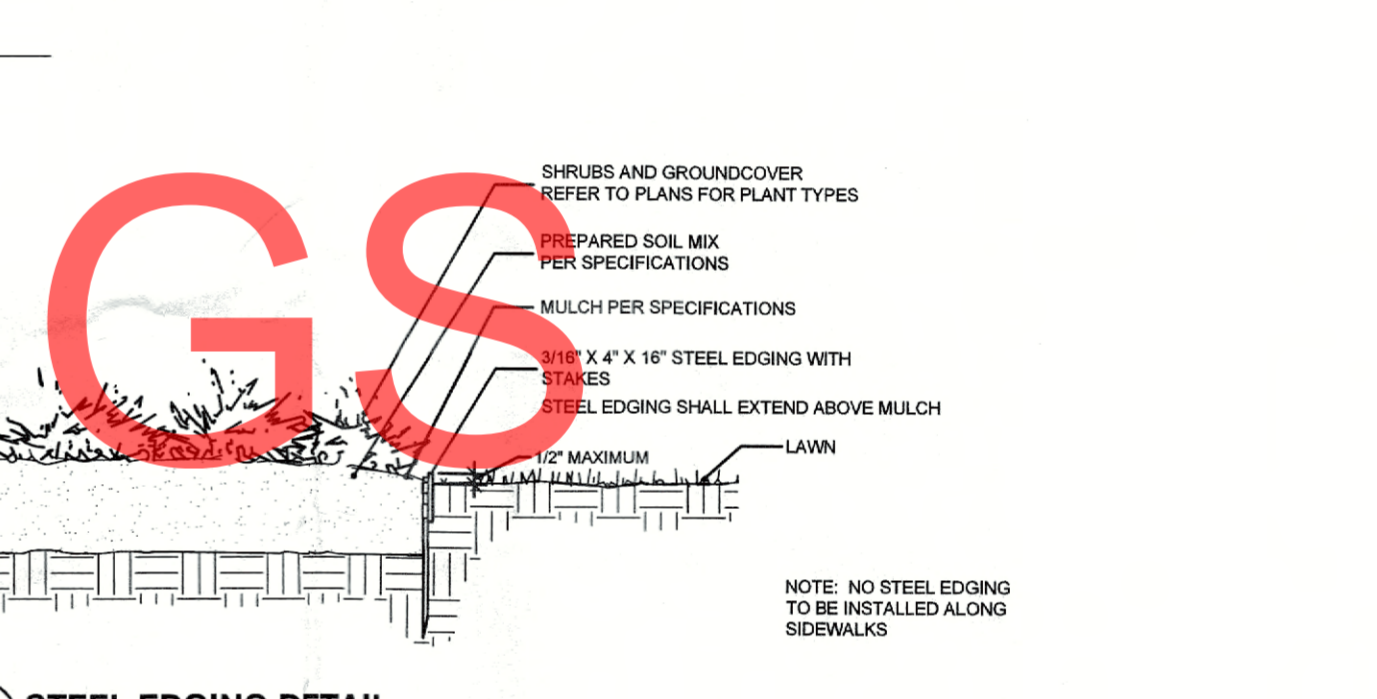
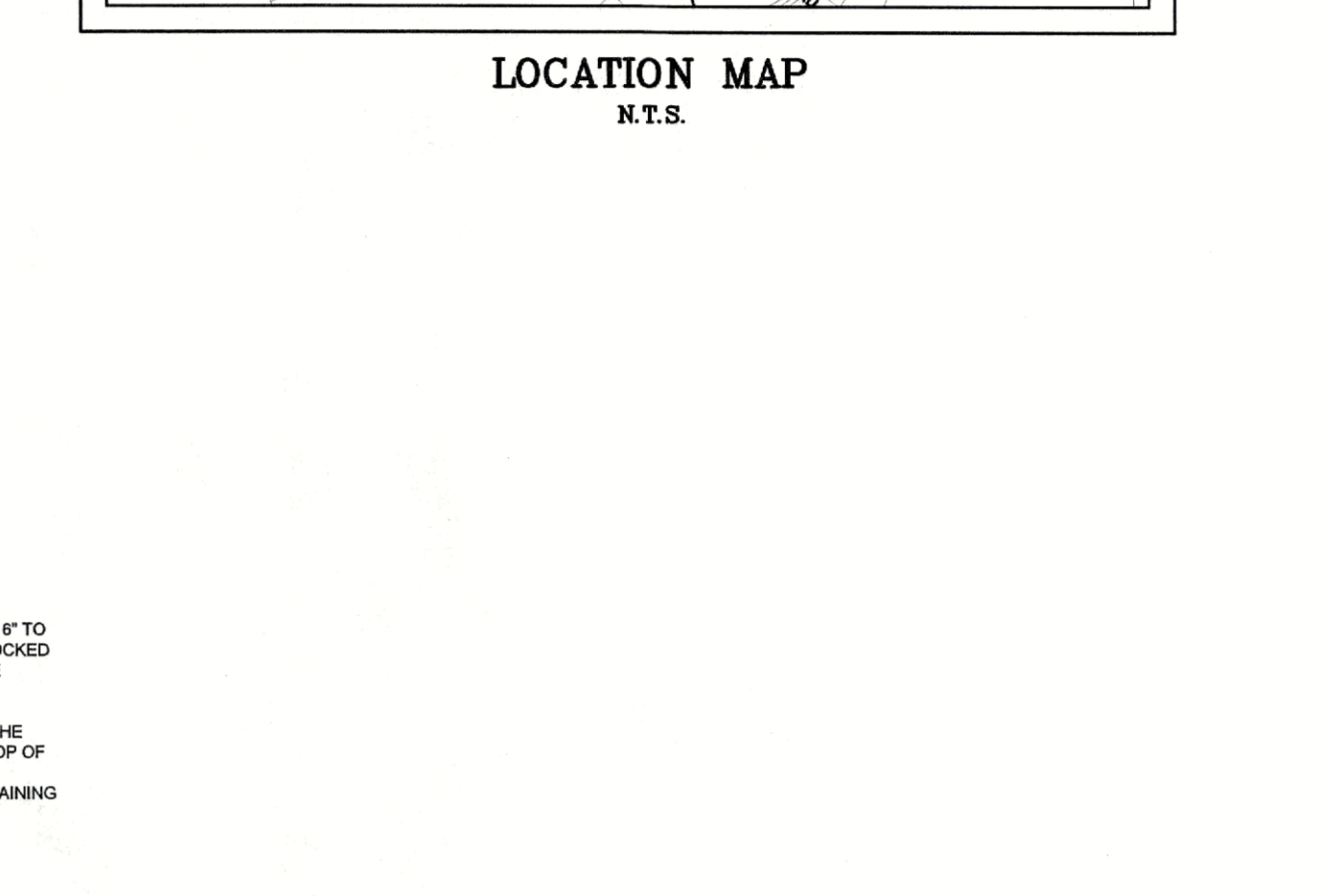
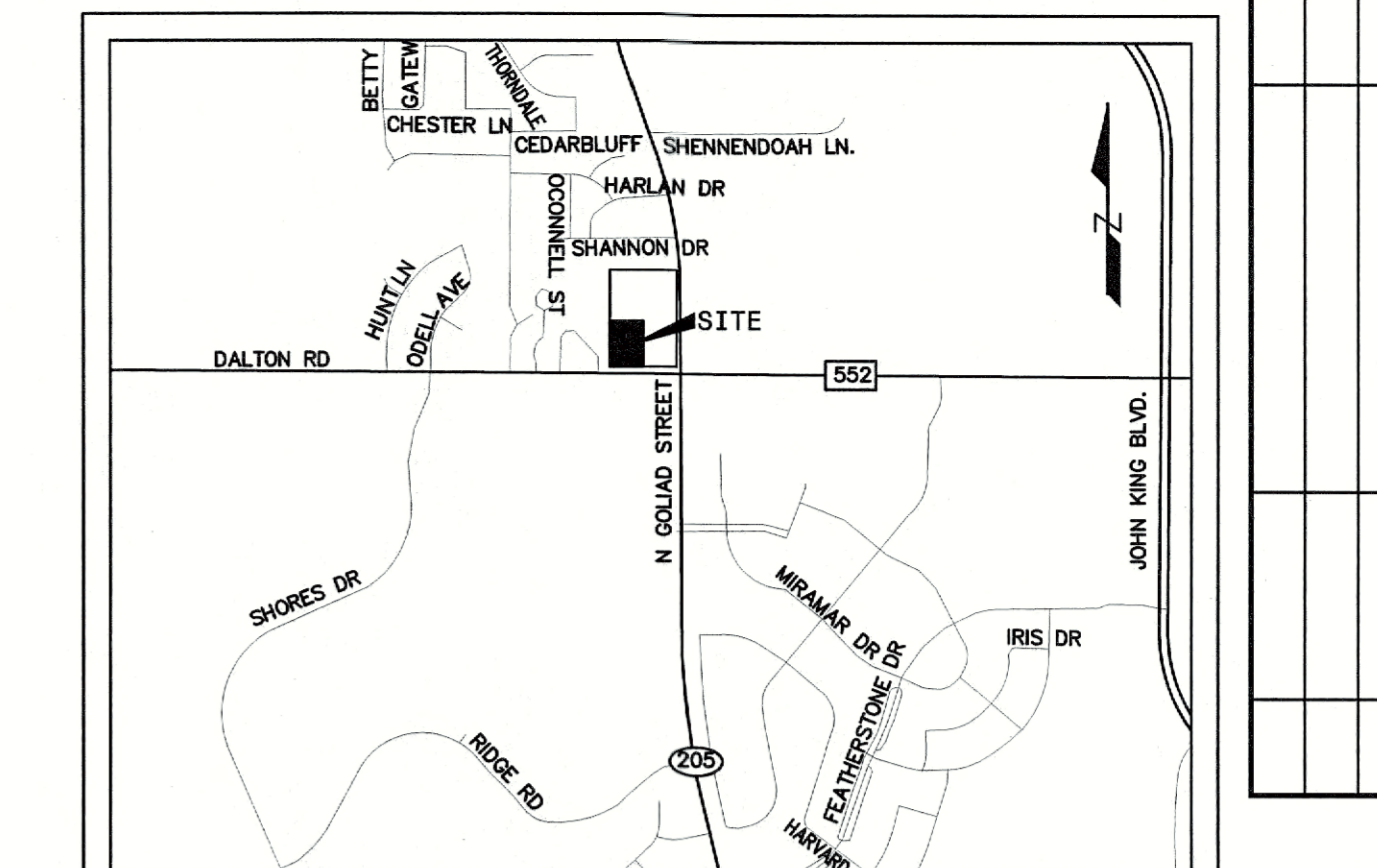
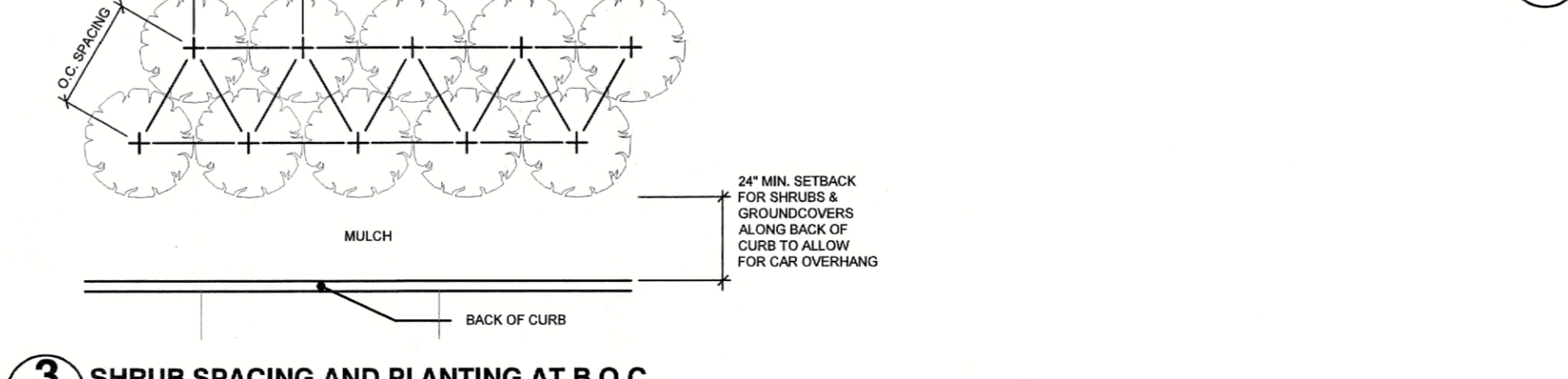
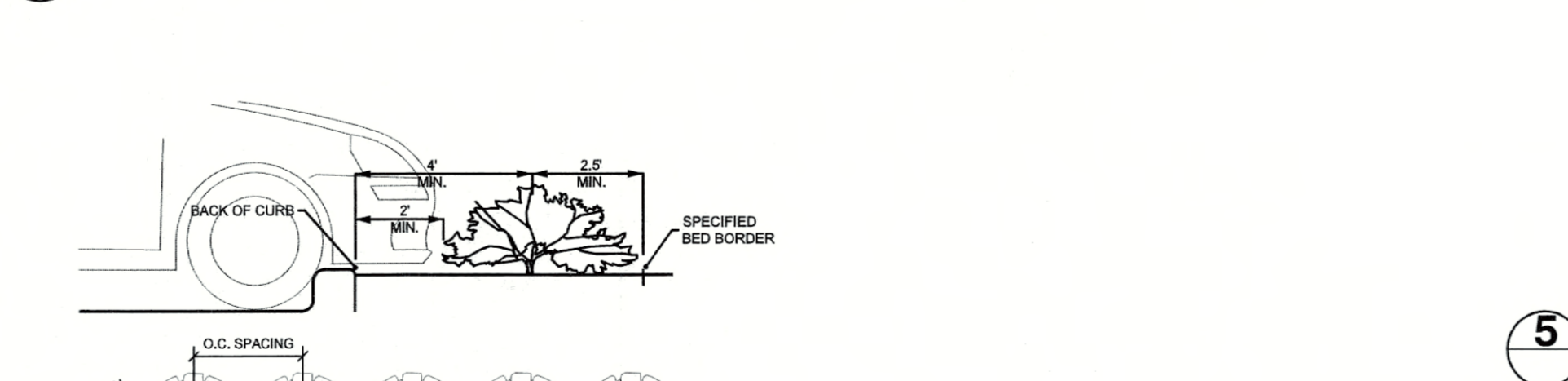
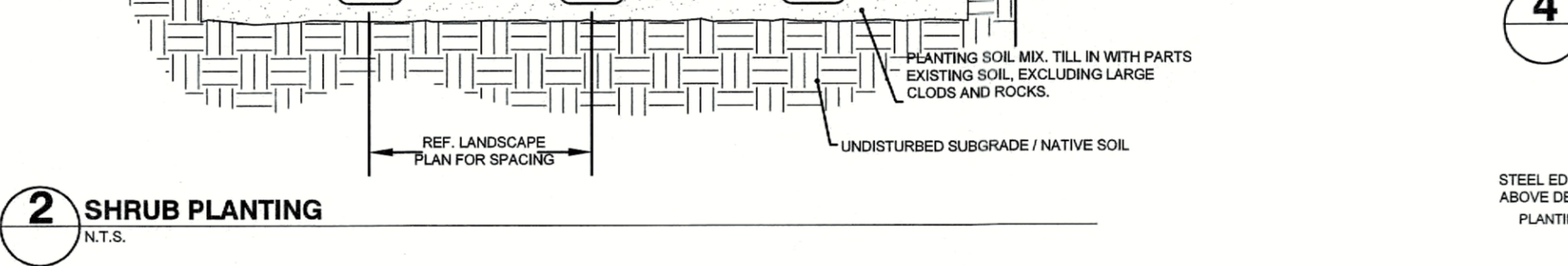
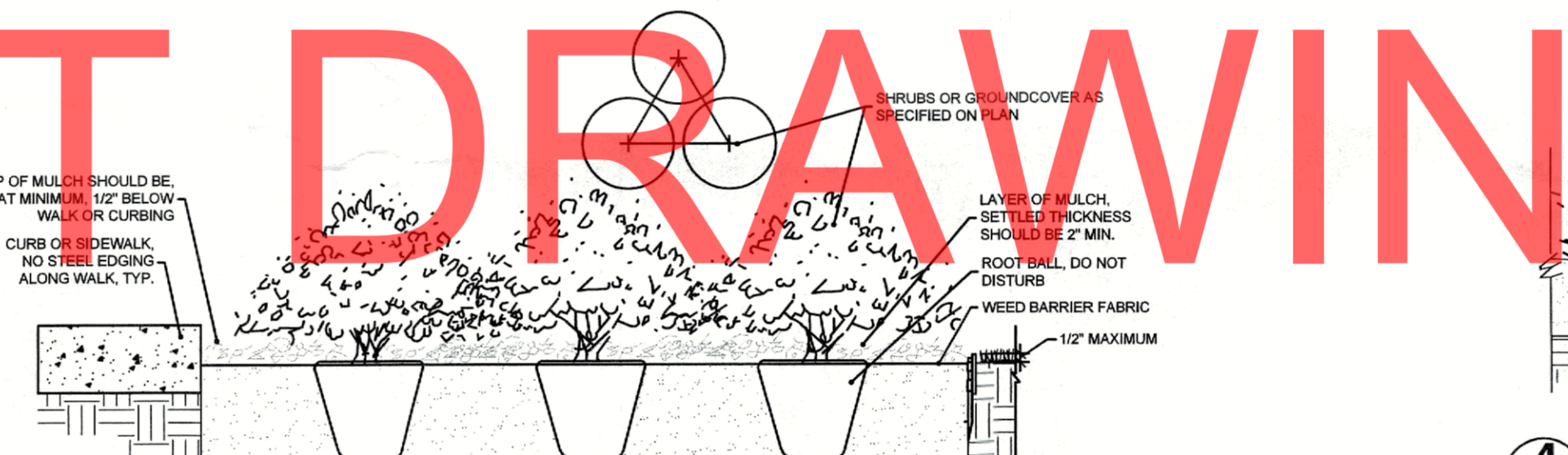
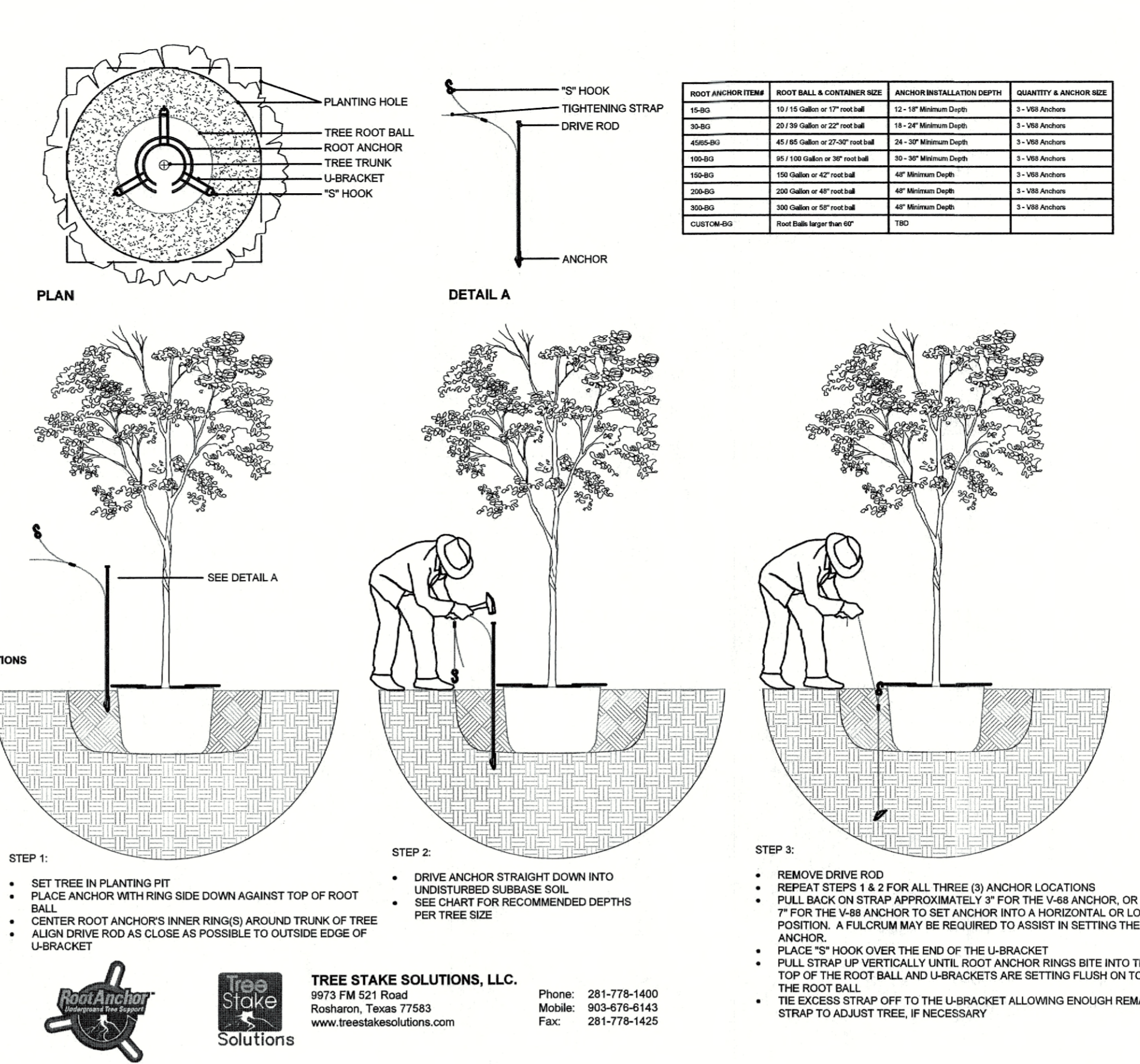
 - A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
 - B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
 - C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CLEANING UP WEED SPRAYING, AND FERTILIZING OF TREES, MOWING OF GRASS, CLIPPING AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
 - D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION, ON AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
 - E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
 - F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD
 - G. REMOVE GLUING AND STAKING MATERIALS AFTER ONE YEAR
 - H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWNEDEDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
 - I. REMOVE TRASH, DEBRIS, AND LITTER, WATER PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AS REQUIRED.
 - J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
 - K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE SPECIFICATIONS TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - L. REPLY MULCH TO BARE AND THIN AREAS.
 - M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 - N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL COLORANCE. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO ACCEPTANCE.
 - b. ALL HANDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING.
 - d. AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED AS APPROPRIATE PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

 - A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED IN WRITING FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
 - B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
 - C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING ROTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
 - D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION.
 - E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
 - F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
 - G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.
- 1.9 QUALITY ASSURANCE
 - A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.

- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FIREMAN.
 - C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
 - D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
 - E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
 - F. AT THE TIME BEDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
 - G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS WHICH FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.
- 1.10 PRODUCT DELIVERY, STORAGE AND HANDLING
- A. PREPARATION
 1. BALLED AND BURLAPPED B&B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FOLIAGE DEVELOPMENT.
 2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
 - B. DELIVERY
 1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETRIORATION AND DAMAGE.
 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
 3. PROTECT ROOT BALLS BY WRAP IN WITH SANDNET OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS.
 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES.
 5. KEEP PLANTS MOST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- PART 2 - PRODUCTS
- 2.1 PLANT MATERIALS
 - A. GENERAL: WELL FORMED, NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOP OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTR WIDTH OF THE PLANT NOT THE CUTTER LEAF TIPS. PLANTS SHALL BE NOMINALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
 - B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
 - C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, DISEASE, BROKEN BRANCHES, DISFURMENTS, INSECT EGGS AND ARE TO BE SPECIMEN QUALITY.
 - D. APPROVAL: ALL PLANTS SHAPED OR UNDERIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
 - E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE AND WITH SMALL CLIMATE CONDITIONS.
 - F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
 - G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
 - H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
 - I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS SHAPED ROOTS).
 - J. ALL TREES SHALL BE STANDED IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED, PRUNE ALL DAMAGED TWIGS AFTER SHAPING SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
 - K. TREES WITH DAMAGED OR BROKEN LEADERS, BARK ABRASIONS, BRUISES, SCALD, DISFURCING KNOTS, CRISPS, WOUNDS WILL BE REJECTED.
 - L. CALIPER MEASUREMENTS FOR STANDBY (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT NECK FOR TREES 12" AND INCLUDING FOUR INCHES IN CALIPER AND TWELVE INCHES ABOVE THE ROOT NECK FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - M. MULTI-TRUNK TREES SHALL BE MEASURED FROM THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
 - N. ANY TREE OR SHRUB SHOWN TO HAVE EXCESSIVE SOIL BASED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESSIVE SOIL BASED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - P. SOIL: PROVIDE WELL-AERATED SOIL OF THE VARIETY NOTED ON THE PLANS. SOIL SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLETT OF SOIL SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOIL.
 - 2.2 SOIL PREPARATION MATERIALS
 - A. SANDY LOAM:
 1. FRABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR NUTGRASS SHALL BE REJECTED.
 2. PHYSICAL PROPERTIES AS FOLLOWS:
 - a. CLAY - BETWEEN 7-27%
 - b. SILT - BETWEEN 15-25%
 - c. SAND - LESS THAN 52%
 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
 4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
 - B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
 - C. PREMIUM BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRC MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED LOCAL.
 - D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
 - E. MULCH: DOUBLE SHREDDED HARDWOOD, PARTIALLY DECOMPOSED, BARK BROWN.
 - F. ORGANIC FERTILIZER: FERTILIZED SUSTAIN, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
 - G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UP) WITH A MINIMUM 8% SULFUR AND 4% ROLN, PUSMICONTROLLED.
 - H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED FINE BARK OR OTHER APPROVED ORGANIC MATERIAL.
 - 2.3 MISCELLANEOUS MATERIALS
 - A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGINGS. DURHURSE STEEL OR APPROVED EQUAL.
 - B. TREE STAKES - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
 - C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (409-523-0444)
 - D. SAND - UNFORMALLY GRADED, WASHED, CLEAN, BANK RUN SAND.

- E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5"
 - F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1 1/2" IN DIAMETER COMPOSED OF SEVERAL STAGES OF DECOMPOSED BARTH BASE.
 - G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER.
 - H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDES THAT IS LABELED FOR THE SPECIFIC GRASSES AND/OR TURF ON WHICH IT WILL BE USED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.
- PART 3 - EXECUTION
- 3.1 PREPARATION
 - A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
 - B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
 1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURERS RECOMMENDATION. MIX SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH SETTLED THICKNESS.
 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALCIO, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
 - C. GRASS AREAS:
 1. BLOCKS OF SOIL SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOIL SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPED OPEN, THEN WATERED THOROUGHLY.
 - 3.2 INSTALLATION
 - A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.
 - B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS TRUNK TRAIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF 8" & 6" PLANTS SHALL BE KEPT UNDER COVER OR IN A PROTECTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
 - C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
 - D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
 - E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND UNGLAZED.
 - F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE FOUR BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAIL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
 - G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAKE PIPE PER TREE IF THE PERCOLATION TEST FAILS.
 - H. BACKFILL ONLY WITH 3 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS FULL OF SOIL, TAMP SOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING BALL. TO PREVENT AIR LOCKING, THE BURLAP FROM THE TOP 3/4" OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, SO FOLLOW STANDARD NURSERY PRACTICE OF ROOT SCORING.
 - I. DO NOT WRAP TREES.
 - J. DO NOT OVER PRUNE.
 - K. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
 - L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
 - M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
 - N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
 - O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
 - P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE SURFACE OF THE PIT.
 - 3.3 CLEANUP AND ACCEPTANCE
 - A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH DAY.
 - B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.
 - C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
 - D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - E. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
 - F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE CONTRACTOR HAS BEEN INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.



OWNER: ROCKWALL 205-552 LLC
4622 MAPLE AVE., SUITE 200
DALLAS, TX 75219
PHONE: 214-393-3983
CONTACT: DONALD SILVERMAN

ENGINEER: VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER: LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MICHIGAN 48375
PHONE: 407-314-8432
CONTACT: WESLEY ARNOLD

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF February 2023.

WITNESS OUT HANDS, THIS 14 DAY OF February 2023.

[Signature]
DIRECTOR OF PLANNING AND ZONING

LANDSCAPE SPECIFICATIONS AND DETAILS
EVERBROOK ACADEMY - ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

LANDSCAPE SPECIFICATIONS AND DETAILS
EVERBROOK ACADEMY - ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
1.354 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
FEBRUARY 9, 2023
CASE #SP2023-003

Scale: 1" = 20'
Designed by: JUV
Drawn by: DFS
Checked by: JUV
715-910-0100 / SP / LEARNING CARE / .img
Date: 02/09/2023

APP. NO. DATE

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-4610
TX Registration # F-12266

REGISTERED LANDSCAPE ARCHITECT
N. RICHARDSON
STATE OF TEXAS
2754

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

LANDSCAPE SPECIFICATIONS AND DETAILS
EVERBROOK ACADEMY - ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

SHEET
L1.2

PROPOSED STORM WATER RUNOFF DATA						
DRAINAGE AREA	AREA (Acres)	C	Tc (Min)	I100 (in/hr)	Q100 (cfs)	COMMENT
1	0.84	0.90	10	9.80	7.41	Detention Pond
2	1.27	0.90	10	9.80	11.20	10' Std Curb Inlet
3	0.38	0.90	10	9.80	3.35	To Detention Pond
4	0.23	0.90	10	9.80	2.03	Future Building
5	0.28	0.90	10	9.80	2.47	Future Building
6	0.29	0.90	10	9.80	2.56	10' Std Curb Inlet
7	1.05	0.90	10	9.80	9.26	10' Std Curb Inlet
8	0.43	0.90	10	9.80	3.79	10' Std Curb Inlet
9	0.28	0.90	10	9.80	2.47	Future Building
10	0.44	0.90	10	9.80	3.88	18" RCP Lateral
11	Not used					
12	0.28	0.90	10	9.80	2.47	To West to Nebbie Williams School
13	0.08	0.90	10	9.80	0.71	Dalton Road channel West
14	0.47	0.90	10	9.80	4.15	10' Std Curb Inlet
15	0.35	0.90	10	9.80	3.09	SH 205 North channel to Ex Inlet
16	Not used					
17	0.19	0.90	10	9.80	1.68	To Ex 15' Std Curb Inlet Via Alley
18	0.04	0.90	10	9.80	0.35	Future Building
19	0.23	0.90	10	9.80	2.03	Future Building
20	0.25	0.90	10	9.80	2.21	Future Building
21	0.16	0.90	10	9.80	1.41	10' Std Curb Inlet
22	0.85	0.90	10	9.80	7.50	Future Building
23	0.78	0.90	10	9.80	6.88	Future Building
OS1	1.44	0.75	10	9.80	10.58	To Exist 36" Culvert
OS2	0.80	0.75	10	9.80	5.9	To Exist Culvert Shannon Road
OS3	0.24	0.75	10	9.80	1.76	To Exist 15' Std Inlet

Reference "Ald Food Store" Plans, Sht C-7, Dated 5/2/2016 by Burger Engineering
 Reference "Nebbie Williams Elementary School" Plans, Sht C2-5, Dated 8/17/95 by Glenn Engineering

DRAINAGE NOTES:

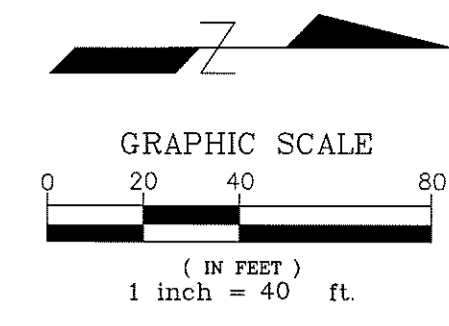
- PROPOSED AREA 12 FLOWS TO NEBBIE WILLIAMS SCHOOL TO THE WEST. THE DESIGN PLANS FOR NEBBIE WILLIAMS SHOW A DESIGN FOR RUNOFF OF 18.50 CFS FROM THIS TRACT. THE PROPOSED RUNOFF IS 2.5 CFS. REFERENCE SHEET C2.5 PREPARED BY SHW GROUP, INC DATED 08/17/1995.
- PROPOSED AREAS 20 AND 15 FLOW TO AN EXISTING 36" RCP. THE EXISTING FLOW TO THIS CULVERT IS 27.2 CFS AND THE PROPOSED FLOW IS 20.9 CFS. THE DESIGN FLOW FOR THE PIPE IS 35 CFS PER THE TxDOT DESIGN PLANS.

NOTES:

- TOPOGRAPHIC SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC, DATED 1/14/2016.
- SEE SHEET C1 FOR SITE LAYOUT
- SEE SHEET C4.4 FOR DETENTION CALCULATIONS.
- SEE SHEET C5.1 FOR STORM SEWER PLAN.
- SEE SHEET C8 FOR EROSION CONTROL.

NOTE:

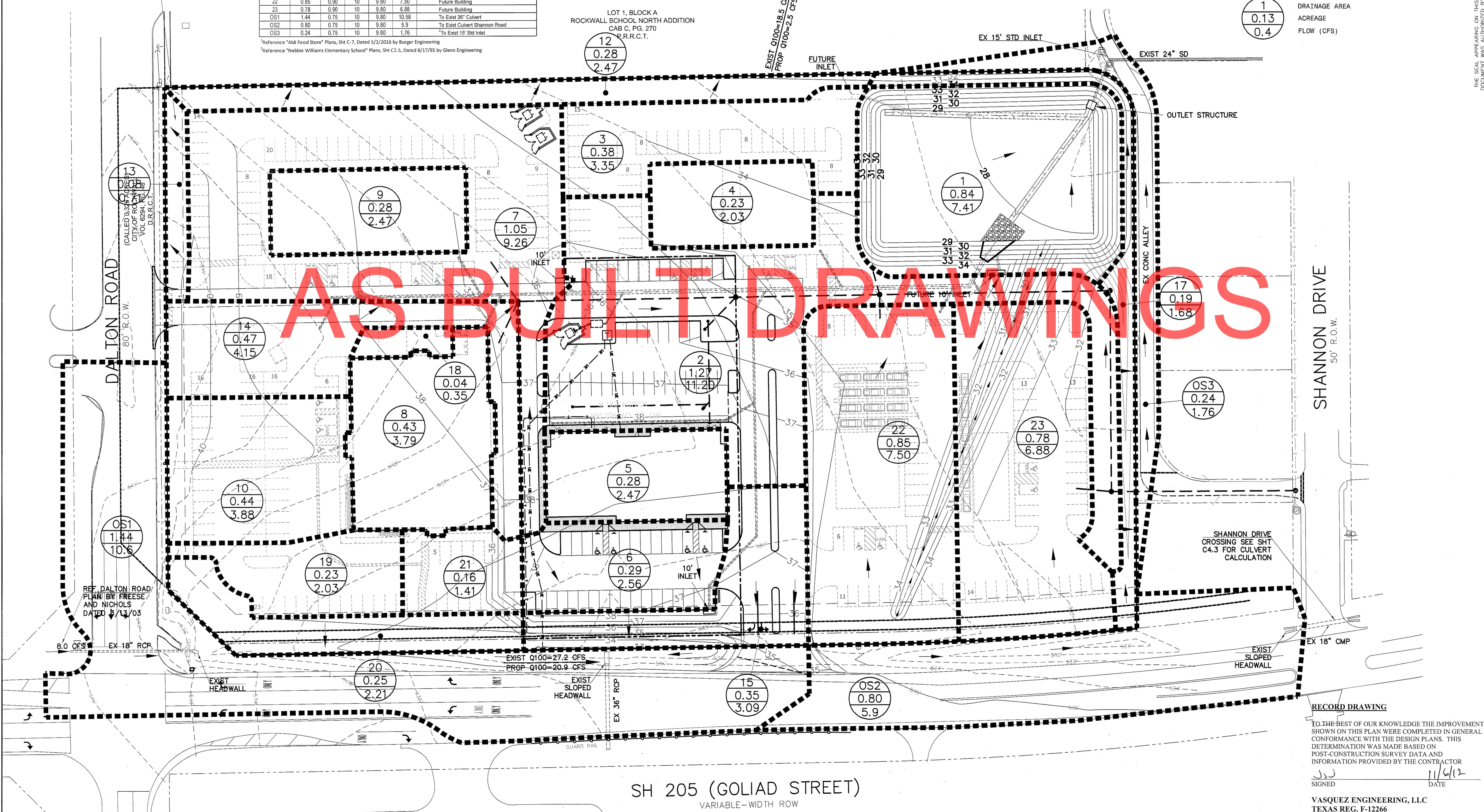
DISCHARGE FOR 100 YR STORM = 19.76 CFS PER HARLAN PARK PHASE TWO SHEETS 7 AND 8 OR 9, DATED 11/16/94. REFERENCE SHEETS C4.4 FOR FLOW CALCULATIONS.



LEGEND

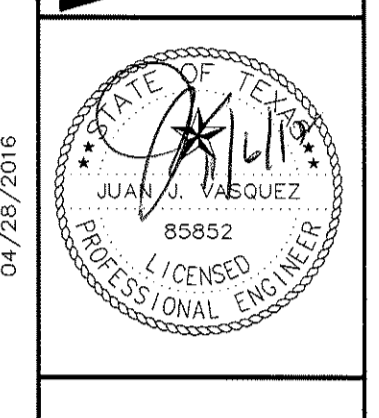
-----	PROPERTY LINE
-----	PAVEMENT CURB/GUTTER
-----	EXIST. CONTOUR
-----	PROP. CONTOUR
-----	FLOW ARROW
-----	DRAINAGE DIVIDE (PROP)
○	DRAINAGE AREA
○	ACREAGE
○	FLOW (CFS)

AREA 13 REMOVED FROM AREA A2 AND ADDED TO AREA A3 IN DESIGN BY FREESE AND NICHOLS PER DALTON ROAD RECONSTRUCTION PLANS, "DRAINAGE AREA MAP", SHEET 14, DATED 4/5/2002. DESIGN Q100 TO THE 15' SAG INLET IS 25.20 CFS AND INCREASES TO 25.91 CFS. THE INLET CAN ACCEPT 30 CFS AND IS ADEQUATE.



AS BUILT DRAWINGS

VASQUEZ ENGINEERING, L.L.C.
 1919 S. Shiloh Road
 Suite 440, LB 44
 Garland, Texas 75042
 Ph: 972-278-2948
 TX Registration # F-12266



DEVELOPER:
 ROCKWALL 205-652, LLC
 1408 QUORUM DRIVE
 SUITE 160
 Dallas, TX 75254

PROPOSED DRAINAGE AREA MAP
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TEXAS

Scale: 1" = 40'
 Designed by: JUV
 Drawn by: JUV
 Checked by: JUV
 6/13/2014 10:46:21 AM.dwg
 6/13/2014 10:46:21 AM

SHEET
C4.2

RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE THE IMPROVEMENTS SHOWN ON THIS PLAN WERE COMPLETED IN GENERAL CONFORMANCE WITH THE DESIGN PLANS. THIS DETERMINATION WAS MADE BASED ON POST-CONSTRUCTION SURVEY DATA AND INFORMATION PROVIDED BY THE CONTRACTOR

SIGNED: [Signature] DATE: 11/6/12
 VASQUEZ ENGINEERING, LLC
 TEXAS REG. F-12266

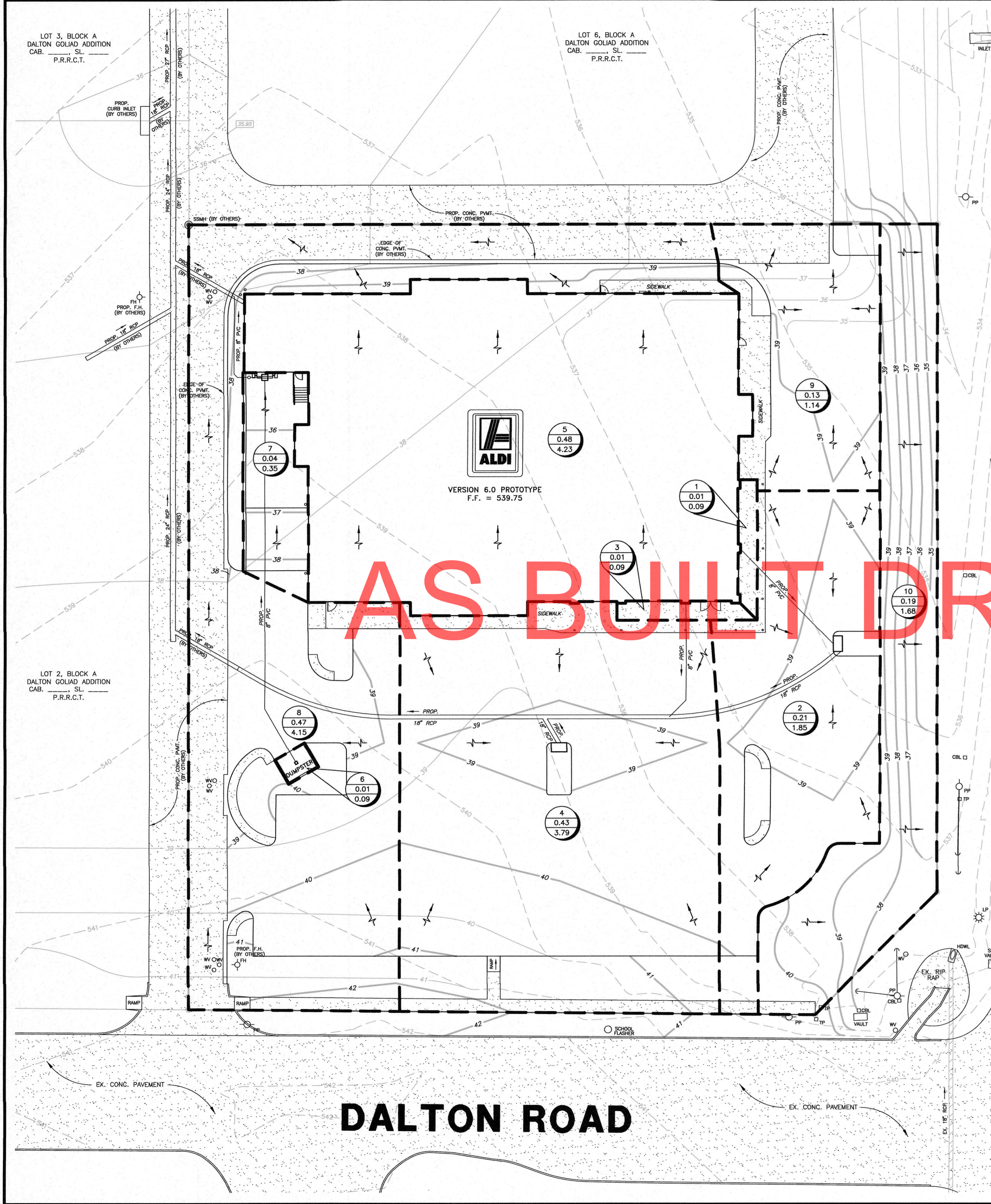
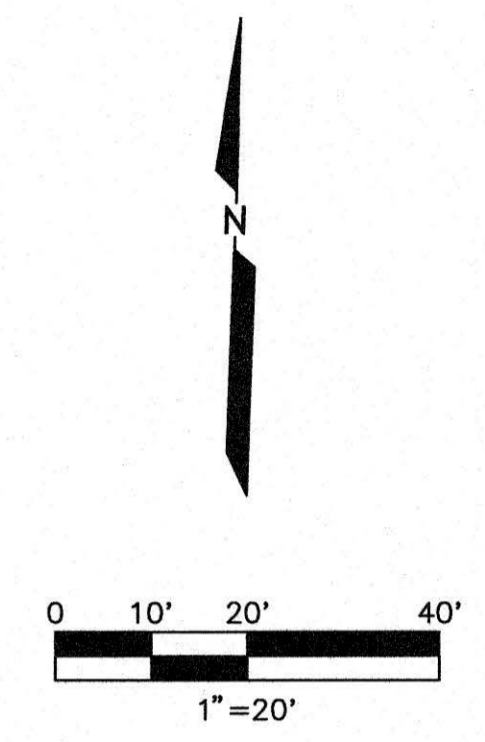
HYDRAULIC DATA

$Q = C \times I \times A$

D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	I _s (in/hr)	Q _s (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	REMARKS
1	0.01	10	0.90	6.20	0.06	7.30	0.07	8.30	0.08	9.80	0.09	CANOPY DRAINS (DETAINED IN REGIONAL POND)
2	0.21	10	0.90	6.20	1.17	7.30	1.38	8.30	1.57	9.80	1.85	SHEET FLOW TO 5' CURB INLET (DETAINED IN REGIONAL POND)
3	0.01	10	0.90	6.20	0.06	7.30	0.07	8.30	0.08	9.80	0.09	CANOPY DRAINS (DETAINED IN REGIONAL POND)
4	0.43	10	0.90	6.20	2.40	7.30	2.83	8.30	3.21	9.80	3.79	SHEET FLOW TO 5' CURB INLET (DETAINED IN REGIONAL POND)
5	0.48	10	0.90	6.20	2.68	7.30	3.15	8.30	3.59	9.80	4.23	ROOF DRAINS TO EX. 18" RCP (DETAINED IN REGIONAL POND)
6	0.01	10	0.90	6.20	0.06	7.30	0.07	8.30	0.08	9.80	0.09	DUMPSTER DRAIN (DETAINED IN REGIONAL POND)
7	0.04	10	0.90	6.20	0.22	7.30	0.26	8.30	0.30	9.80	0.35	DOCK DRAIN (DETAINED IN REGIONAL POND)
8	0.47	10	0.90	6.20	2.62	7.30	3.09	8.30	3.51	9.80	4.15	SHEET FLOW TO 10' CURB INLET (DETAINED IN REGIONAL POND)
9	0.13	10	0.90	6.20	0.73	7.30	0.85	8.30	0.97	9.80	1.14	SHEET FLOW TO OFFSITE 5' CURB INLET ON LOT 6 (DETAINED IN REGIONAL POND)
10	0.19	10	0.90	6.20	1.06	7.30	1.25	8.30	1.42	9.80	1.68	SHEET FLOW TO EXISTING INLET IN S.H. 205 (UNDETAINED)

LEGEND

- F.H. FIRE HYDRANT
- X SET CHISELED "X" SET
- F.R. IRON ROD FOUND (SIZE AS NOTED)
- F.I.R. IRON ROD FOUND (SIZE AS NOTED)
- S.I.R. IRON ROD SET (SIZE AS NOTED)
- U.P. OVERHEAD UTILITY POLE W/ GUY
- L.P. UNDERGROUND ELECTRIC OR TELEPHONE
- SSMH SANITARY SEWER MANHOLE
- C.O. SAN. SWR. CLEAN OUT
- G.V. GAS VALVE
- W.V. WATER VALVE
- 581 --- EXIST. CONTOUR
- 55 --- PROP. CONTOUR
- --- PROP. CONTOUR (BY OTHERS)
- # AC. CFS DRAINAGE AREA NUMBER ACRES Q100
- --- DRAINAGE DIVIDE
- --- FLOW ARROW



NORTH GOLIAD STREET (S.H. 205)

DALTON ROAD

As-Built: 9.11.18

NOTE:
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

BENCHMARK:
MONUMENT 179.7' WEST OF WEST EDGE OF SH 205 PAVEMENT AND 6.8' NORTH OF BACK OF CURB DALTON ROAD. ELEVATION = 541.57'

F.M. 552

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRYAN M. BURGER, P.E. 90880 ON 1-29-18



REV.	DATE	REMARKS
DRAINAGE AREA MAP		
ALDI FOOD STORE		
LOT 1, BLOCK A - DALTON GOLIAD ADDITION		
THE CITY OF ROCKWALL, TEXAS		
BURGER ENGINEERING		17103 Preston Road, Suite 180N Dallas, Texas 75248 Office: 972.630.3360 Fax: 972.630.3380 TBPE F-12997
DESIGN	DRAWN	DATE
BMB	JAC	3/16
SCALE	NOTES	FILE
1"=20'	D.P.	007-092 DAMAP
NO.	NO.	
C-7	C-7	