

CONSTRUCTION PLANS

for

EMERUS EMERGENCY HOSPITAL

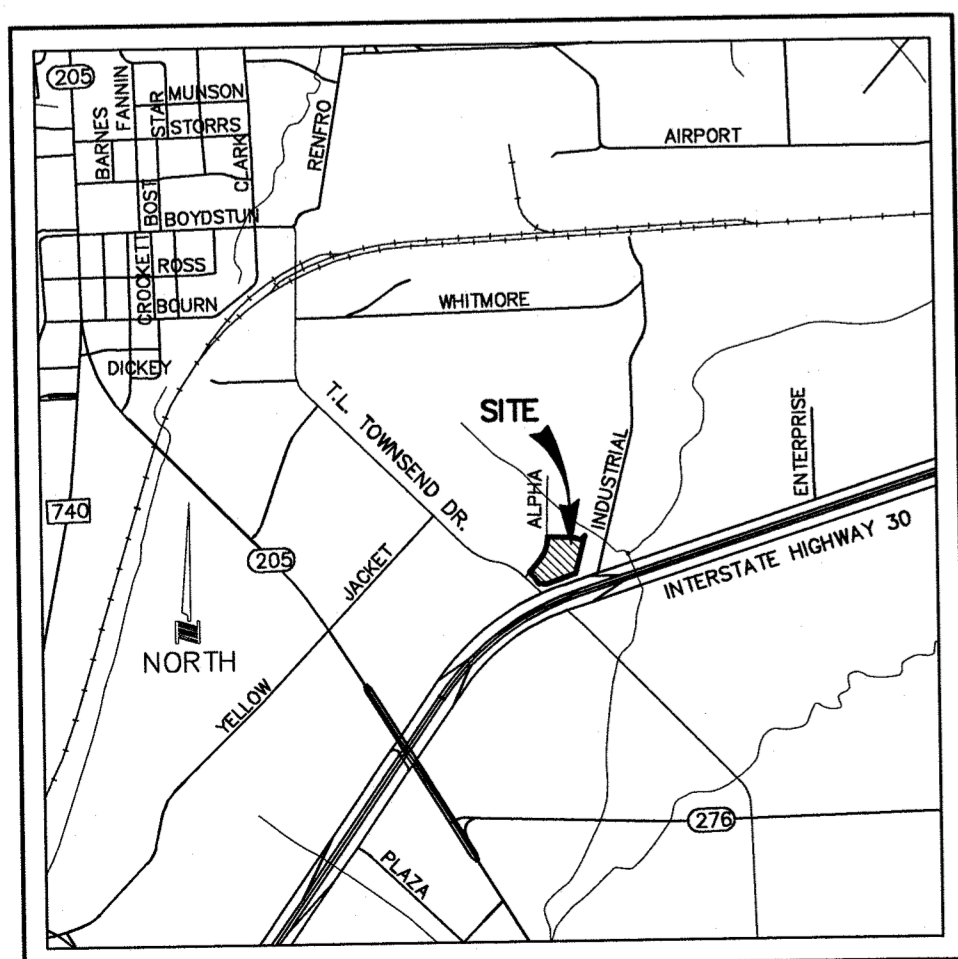
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JANUARY 30, 2013

RECORD DRAWINGS **JANUARY 20, 2014**
NOTE: THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THE IMPROVEMENTS ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF ROCKWALL. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED ON THE PLANS.

△ BASIS OF BEARING IS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF NORTH 56°58'19" EAST, 695.37'.

CONSTRUCTION DETAILS AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF ROCKWALL STANDARDS AND NCTCOG 4TH. EDITION.



LOCATION MAP
NOT TO SCALE

OWNER/DEVELOPER

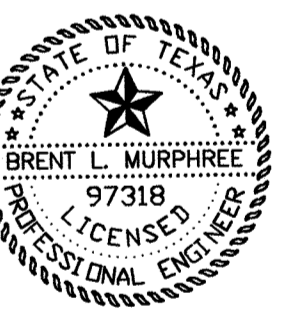
DUKE REALTY BEMC ROCKWALL DEVELOPMENT, LLC
14141 DALLAS PARKWAY, SUITE 1000
DALLAS, TEXAS 75254

ENGINEER

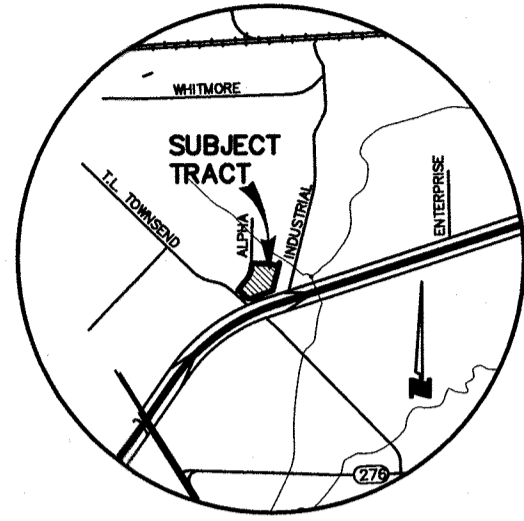
DOWDEY, ANDERSON & ASSOCIATES, INC.

STATE REGISTRATION NUMBER F-399
5225 VILLAGE CREEK DRIVE SUITE 200
972-931-0694 PLANO, TEXAS 75093

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF BRENT L. MURPHREE, LICENSED PROFESSIONAL ENGINEER NO. 97318.
Brent L. Murphree 1-20-14

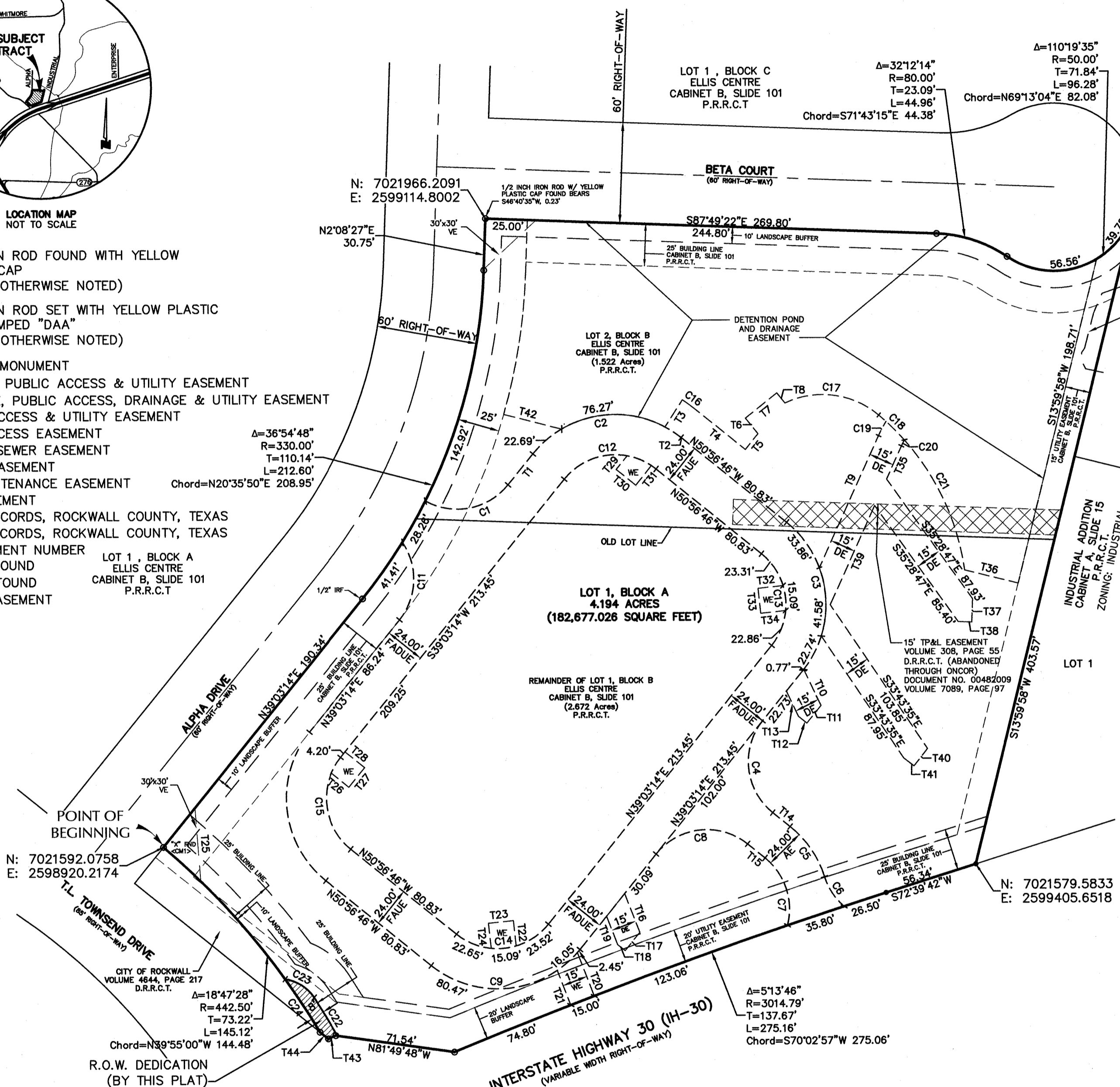


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LEGEND

- 1/2" IRON ROD FOUND WITH YELLOW PLASTIC CAP (UNLESS OTHERWISE NOTED)
 - 1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)
- <CM> = CONTROL MONUMENT
 FAUE = FIRELANE, PUBLIC ACCESS & UTILITY EASEMENT
 FADUE = FIRELANE, PUBLIC ACCESS, DRAINAGE & UTILITY EASEMENT
 PAUE = PUBLIC ACCESS & UTILITY EASEMENT
 PAE = PUBLIC ACCESS EASEMENT
 SSE = SANITARY SEWER EASEMENT
 DE = DRAINAGE EASEMENT
 WME = WALL MAINTENANCE EASEMENT
 WE = WATER EASEMENT
 DRRCT = DEED RECORDS, ROCKWALL COUNTY, TEXAS
 PRRCT = PLAT RECORDS, ROCKWALL COUNTY, TEXAS
 DOC NO. = DOCUMENT NUMBER
 IRF = IRON ROD FOUND
 IPF = IRON PIPE FOUND
 VE = VISIBILITY EASEMENT
 FND = FOUND



LINE TABLE

LINE	BEARING	LENGTH
T1	N39°03'14"E	23.63'
T2	N50°56'46"W	0.38'
T3	S33°02'46"W	19.17'
T4	N50°56'46"W	38.89'
T5	N39°03'14"E	12.07'
T6	S38°27'24"E	11.91'
T7	S51°32'36"W	24.00'
T8	N38°27'24"W	7.74'
T9	N24°31'13"E	86.48'
T10	S25°14'47"E	23.87'
T11	S39°03'14"W	13.53'
T12	N50°56'46"W	6.49'
T13	N25°14'47"W	16.66'

LINE TABLE

LINE	BEARING	LENGTH
T14	S50°56'46"E	13.32'
T15	N50°56'46"W	13.32'
T16	S20°56'46"E	24.83'
T17	S39°03'14"W	14.00'
T18	S50°56'46"E	5.75'
T19	N20°56'46"W	18.18'
T20	S21°00'31"E	27.78'
T21	N21°00'31"W	22.20'
T22	N5°56'46"W	15.17'
T23	S84°03'14"W	15.00'
T24	S5°56'46"E	15.00'
T25	N4°09'28"W	43.73'
T26	S50°56'46"E	13.47'

LINE TABLE

LINE	BEARING	LENGTH
T27	N39°03'14"E	15.00'
T28	N50°56'46"W	15.00'
T29	S39°03'14"W	10.50'
T30	S50°56'46"E	15.00'
T31	N39°03'14"E	15.00'
T32	S84°03'14"W	15.09'
T33	S5°56'46"E	15.00'
T34	N84°03'14"E	15.00'
T35	S24°31'13"W	21.69'
T36	S76°00'02"E	32.94'
T37	S2°09'56"W	14.01'
T38	N87°50'04"W	8.13'
T39	N24°31'13"E	64.90'

LINE TABLE

LINE	BEARING	LENGTH
T40	S38°04'32"W	13.19'
T41	N51°55'28"W	7.90'
T42	S75°33'03"E	35.46'
T43	S67°30'42"W	4.96'
T44	N50°57'04"W	6.44'

THE PURPOSE OF THIS AMENDING PLAT IS TO CORRECT A SCRIVENER'S ERROR ALONG THE FADUE

AMENDING PLAT
EMERUS EMERGENCY HOSPITAL
 LOT 1, BLOCK A
 BEING A RE-PLAT OF
 LOT 1 AND 2, BLOCK B
 ELLIS CENTRE
 BEING 4.194 ACRES
 ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 DECEMBER 2012 SCALE: 1" = 50'

DUKE REALTY BEMC
ROCKWALL DEVELOPMENT, LLC
 14141 DALLAS PARKWAY, SUITE 1000
 DALLAS, TEXAS 75254
 CONTACT: STEVEN WHEELER

APPLICANT/ENGINEER/SURVEYOR
DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
 STATE REGISTRATION NUMBER: F-399

- NOTES:**
- BASIS OF BEARINGS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF NORTH 56°58'19" EAST, 695.37'.
 - GPS COORDINATES ARE RECTIFIED TO NAD 83 STATE PLANE COORDINATE SYSTEM NORTH CENTRAL TEXAS ZONE 4204 (FEET).
 - SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS DESCRIPTION, WITHOUT A REPLAT BEING APPROVED BY THE CITY OF ROCKWALL, IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

NOTE:
 It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

REVISED: JANUARY 15, 2014

THIS PLAT FILED IN CABINET _____, SLIDE _____, DATE _____

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, DUKE REALTY BEMC ROCKWALL DEVELOPMENT, LLC, AN INDIANA LIMITED LIABILITY COMPANY, Being the owner of a tract of land situated in the ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99, City of Rockwall, Rockwall County, Texas and being part of Lot 1, Block B and all of Lot 2, Block B of ELLIS CENTRE, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 101, Plat Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at an "X" found in concrete for the intersection of the east line of Alpha Drive, a 80 foot right-of-way, with the northeasterly line of T.L. Townsend Drive, an 85 foot right-of-way;

THENCE Northeasterly, with said east line, the following three (3) courses and distances:

North 39 degrees 03 minutes 14 seconds East, a distance of 190.34 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the left having a central angle of 36 degrees 54 minutes 48 seconds, a radius of 330.00 feet and a chord bearing and distance of North 20 degrees 35 minutes 50 seconds East, 208.85 feet;

Northeasterly, with said curve to the left, passing at an arc distance of 57.67 feet a 1/2 inch iron rod with a yellow plastic cap found for the common northwest corner of the above mentioned Lot 1 and southwest corner of the above mentioned Lot 2, and continuing in all for a total arc distance of 212.60 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;

North 02 degrees 08 minutes 27 seconds East, a distance of 30.75 feet to a point for the intersection of said east line with the south line of Beta Court, a 60' right-of-way, from which point a 1/2 inch iron rod with a yellow plastic cap found bears South 46 degrees 40 minutes 35 seconds West, 0.23 feet;

THENCE Easterly, with said south line, the following three (3) courses and distances:

South 87 degrees 49 minutes 22 seconds East, leaving said east line, a distance of 269.80 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner at the beginning of a curve to the right having a central angle of 32 degrees 12 minutes 14 seconds, a radius 80.00 feet and a chord bearing and distance of South 71 degrees 43 minutes 15 seconds East, 44.38 feet;

Easterly, with said curve to the right, an arc distance of 44.96 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner at the beginning of a reverse curve to the left having a central angle of 110 degrees 19 minutes 35 seconds, a radius of 50.00 feet and a chord bearing and distance of North 69 degrees 13 minutes 04 seconds East, 82.08 feet;

Northeasterly, with said curve to the left, an arc distance of 96.28 feet to a 1/2 inch iron rod with a yellow plastic cap found for the northeast corner of the above mentioned Lot 2;

THENCE South 13 degrees 59 minutes 58 seconds West, leaving said south line and with the east line of said Lot 2, passing at a distance of 204.02 feet a 1/2 inch iron rod with a yellow plastic cap found for the common southeast corner of said Lot 2 and northeast corner of the above mentioned Lot 1, and continuing with the east line of said Lot 1 for a total distance of 403.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for the most easterly southeast corner of said Lot 1 in the north line of Interstate Highway No. 30, a variable width right-of-way;

THENCE South 72 degrees 39 minutes 42 seconds West, with the north line of said Interstate Highway No. 30, a distance of 56.34 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner at the beginning of a curve to the left having a central angle of 05 degrees 13 minutes 46 seconds, a radius of 3,014.79 feet and chord bearing and distance of South 70 degrees 02 minutes 57 seconds West, 275.06 feet;

THENCE Southwesterly, continuing with said north line and with said curve to the left, an arc distance of 275.16 feet to a 1/2 inch iron rod with a yellow plastic cap found for the intersection of said north line with the above mentioned northeasterly line of T.L. Townsend Drive;

THENCE Northeasterly, with said northeasterly line, the following four (4) courses and distances:

North 81 degrees 49 minutes 48 seconds West, leaving said north line, a distance of 71.54 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;

South 67 degrees 30 minutes 42 seconds West, a distance of 4.96 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;

North 50 degrees 57 minutes 04 seconds West, a distance of 6.44 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner at the beginning of a non-tangent curve to the left having a central angle of 18 degrees 47 minutes 28 seconds, a radius of 442.50 feet and a chord bearing and distance of North 39 degrees 55 minutes 00 seconds West, 144.48 feet;

Northwesterly, with said curve to the left, an arc distance of 145.12 feet to the POINT OF BEGINNING and containing 4.194 acres of land, more or less.

STATE OF TEXAS §
COUNTY OF ROCKWALL §

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the EMERUS EMERGENCY HOSPITAL subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parts, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the EMERUS EMERGENCY HOSPITAL subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the City's engineer and/or City administrator, computed on a private commercial rate basis, has been made with the City Secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the City to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City Secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the City Secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

WITNESS MY HAND THIS DAY OF 2014.

DUKE REALTY BEMC ROCKWALL DEVELOPMENT, LLC, an Indiana limited liability company

By: Duke Realty Limited Partnership, an Indiana limited partnership, its sole member

By: Duke Realty Corporation, an Indiana corporation, its general partner

By: Deenl Taylor, Executive Vice President

Notary Signature

Notary Signature

Notary Signature

Notary Signature

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Notary Signature

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NOTARY CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, a Notary Public in and for the said County and State, personally appeared Deenl Taylor, by me known to be the Executive Vice President of Duke Realty Corporation, an Indiana corporation, the general partner of Duke Realty Limited Partnership, an Indiana limited partnership, the sole member of Duke Realty BEMC Rockwall Development, LLC, an Indiana limited liability company, who acknowledged the execution of the foregoing on behalf of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this day of 2014.

Notary Signature

Notary Signature

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Table with 5 columns: CURVE, DELTA, RADIUS, TANGENT, LENGTH, CHORD. Contains 24 rows of curve data.

APPROVED
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the day of 2014.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.
Said addition shall be subject to all requirements of the Subdivision Regulations of the City of Rockwall.
Director of Planning & Zoning City Engineer

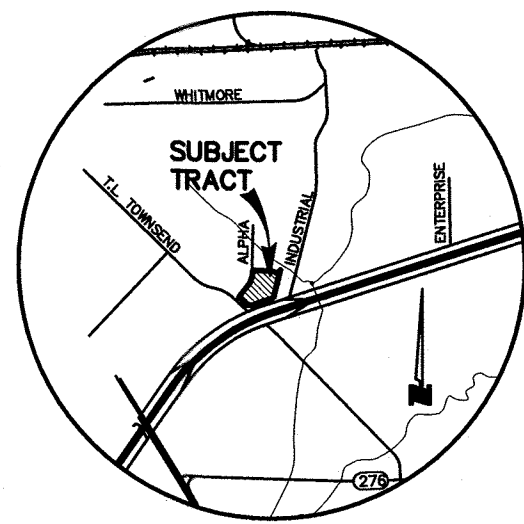
AMENDING PLAT
EMERUS EMERGENCY HOSPITAL
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BEING A RE-PLAT OF
LOT 1 AND 2, BLOCK B
ELLIS CENTRE
BEING 4.194 ACRES
ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
DECEMBER 2012 SCALE: 1" = 50'
OWNER
DUKE REALTY BEMC
ROCKWALL DEVELOPMENT, LLC
14141 DALLAS PARKWAY, SUITE 1000
DALLAS, TEXAS 75254
CONTACT: STEVEN WHEELER

APPLICANT/ENGINEER/SURVEYOR
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694
STATE REGISTRATION NUMBER: F-399

THIS PLAT FILED IN CABINET ,SLIDE , DATE 2 OF 2

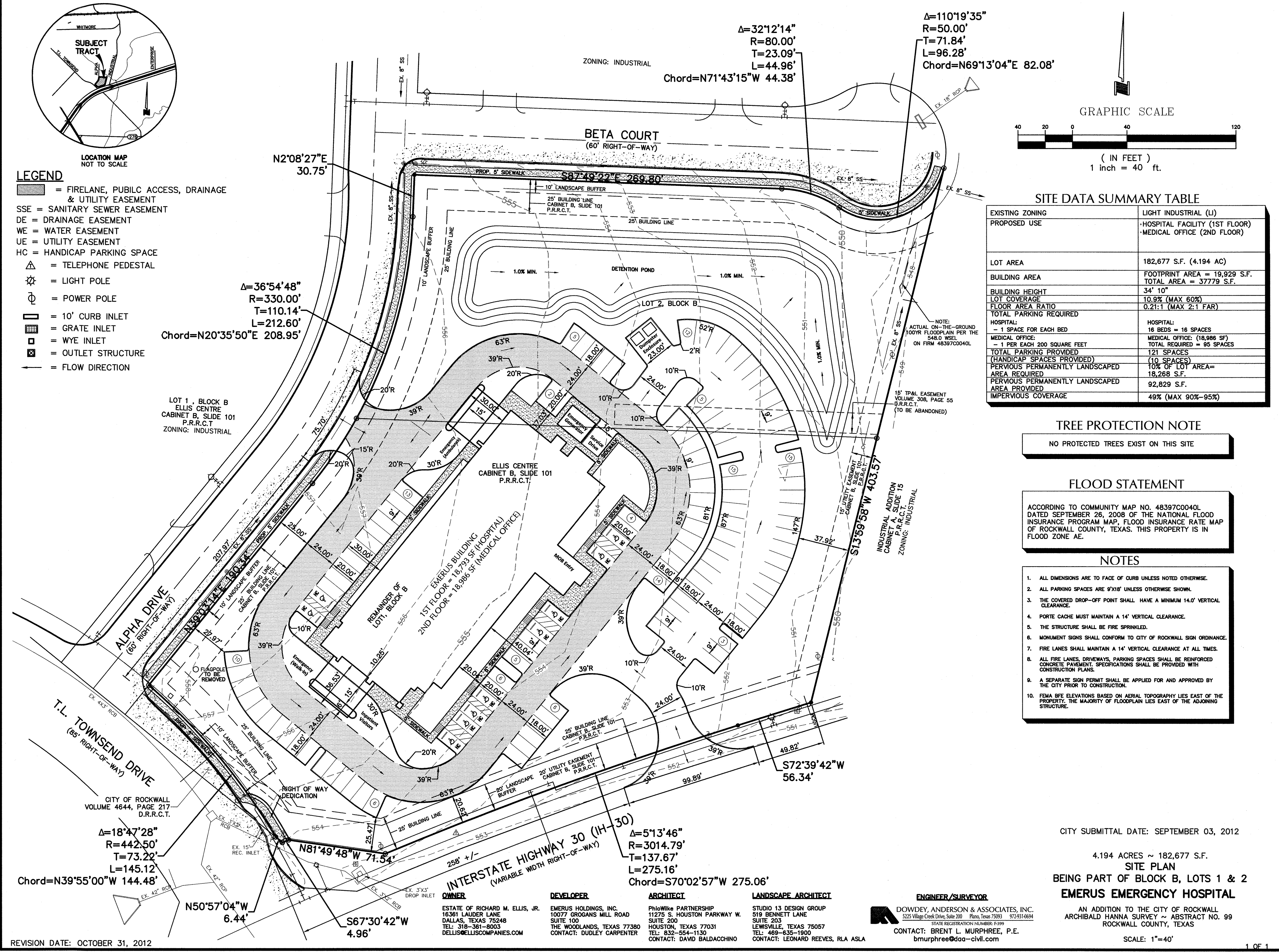
REVISED: JANUARY 15, 2014

Y:\12005\12005_FP.dwg, 8x24 (2), 1/15/2014 3:17:00 PM, Jiffie, Dowdey, Anderson & Associates, Inc., B.J.



LEGEND

- = FIRELANE, PUBLIC ACCESS, DRAINAGE & UTILITY EASEMENT
- SSE = SANITARY SEWER EASEMENT
- DE = DRAINAGE EASEMENT
- WE = WATER EASEMENT
- UE = UTILITY EASEMENT
- HC = HANDICAP PARKING SPACE
- = TELEPHONE PEDESTAL
- = LIGHT POLE
- = POWER POLE
- = 10' CURB INLET
- = GRATE INLET
- = WYE INLET
- = OUTLET STRUCTURE
- = FLOW DIRECTION



SITE DATA SUMMARY TABLE

EXISTING ZONING	LIGHT INDUSTRIAL (LI)
PROPOSED USE	HOSPITAL FACILITY (1ST FLOOR) MEDICAL OFFICE (2ND FLOOR)
LOT AREA	182,677 S.F. (4.194 AC)
BUILDING AREA	FOOTPRINT AREA = 19,829 S.F. TOTAL AREA = 37,779 S.F.
BUILDING HEIGHT	34' 10"
LOT COVERAGE	10.9% (MAX 60%)
FLOOR AREA RATIO	0.21:1 (MAX 2:1 FAR)
TOTAL PARKING REQUIRED	
HOSPITAL:	
- 1 SPACE FOR EACH BED	HOSPITAL: 16 BEDS = 16 SPACES
MEDICAL OFFICE:	MEDICAL OFFICE: (18,886 SF)
- 1 PER EACH 200 SQUARE FEET	TOTAL REQUIRED = 95 SPACES
TOTAL PARKING PROVIDED	121 SPACES
(HANDICAP SPACES PROVIDED)	(10 SPACES)
PERVIOUS PERMANENTLY LANDSCAPED AREA REQUIRED	18,268 S.F.
PERVIOUS PERMANENTLY LANDSCAPED AREA PROVIDED	92,829 S.F.
IMPERVIOUS COVERAGE	49% (MAX 90%-95%)

TREE PROTECTION NOTE

NO PROTECTED TREES EXIST ON THIS SITE

FLOOD STATEMENT

ACCORDING TO COMMUNITY MAP NO. 48397C0040L DATED SEPTEMBER 28, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS. THIS PROPERTY IS IN FLOOD ZONE AE.

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. ALL PARKING SPACES ARE 9'X18' UNLESS OTHERWISE SHOWN.
3. THE COVERED DROP-OFF POINT SHALL HAVE A MINIMUM 14.0' VERTICAL CLEARANCE.
4. PORTE CACHE MUST MAINTAIN A 14' VERTICAL CLEARANCE.
5. THE STRUCTURE SHALL BE FIRE SPRINKLED.
6. MONUMENT SIGNS SHALL CONFORM TO CITY OF ROCKWALL SIGN ORDINANCE.
7. FIRE LANES SHALL MAINTAIN A 14' VERTICAL CLEARANCE AT ALL TIMES.
8. ALL FIRE LANES, DRIVEWAYS, PARKING SPACES SHALL BE REINFORCED CONCRETE PAVEMENT. SPECIFICATIONS SHALL BE PROVIDED WITH CONSTRUCTION PLANS.
9. A SEPARATE SIGN PERMIT SHALL BE APPLIED FOR AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
10. FEMA BFE ELEVATIONS BASED ON AERIAL TOPOGRAPHY LIES EAST OF THE PROPERTY, THE MAJORITY OF FLOODPLAIN LIES EAST OF THE ADJOINING STRUCTURE.

CITY SUBMITTAL DATE: SEPTEMBER 03, 2012
 4.194 ACRES ~ 182,677 S.F.
SITE PLAN
 BEING PART OF BLOCK B, LOTS 1 & 2
EMERUS EMERGENCY HOSPITAL

AN ADDITION TO THE CITY OF ROCKWALL ARCHIBALD HANNA SURVEY ~ ABSTRACT NO. 99 ROCKWALL COUNTY, TEXAS

SCALE: 1"=40'

REVISION DATE: OCTOBER 31, 2012

OWNER: ESTATE OF RICHARD M. ELLIS, JR.
16361 LAUDER LANE
DALLAS, TEXAS 75248
TEL: 318-361-8003
DELUS@ELLISCOMPANIES.COM

DEVELOPER: EMERUS HOLDINGS, INC.
10077 GREGGANS MILL ROAD
SUITE 100
THE WOODLANDS, TEXAS 77380
CONTACT: DUDLEY CARPENTER

ARCHITECT: PhiloWike PARTNERSHIP
11272 S. HOUSTON PARKWAY W.
SUITE 203
HOUSTON, TEXAS 77031
TEL: 832-654-1130
CONTACT: DAVID BALDACCINO

LANDSCAPE ARCHITECT: STUDIO 13 DESIGN GROUP
519 BENNETT LANE
SUITE 203
LEWISVILLE, TEXAS 75057
TEL: 469-635-1900
CONTACT: LEONARD REEVES, RLA ASLA

ENGINEER/SURVEYOR: DOWDNEY, ANDERSON & ASSOCIATES, INC.
3225 Village Creek Drive, Suite 300 Plano, Texas 75093 972-931-6664
STATE REGISTRATION NUMBERS FURNISHED UPON REQUEST
CONTACT: BRENT L. MURPHREE, P.E.
bmrphree@daa-civil.com

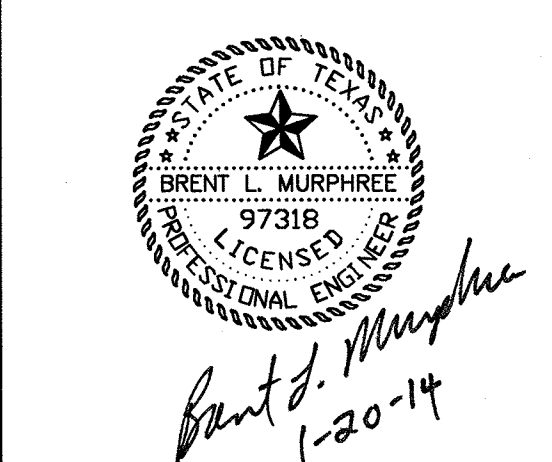
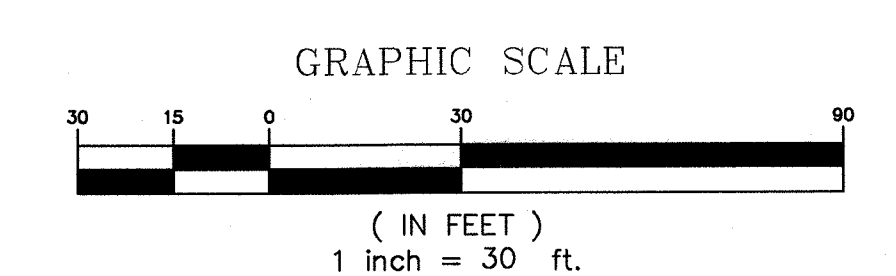
POINT #	NORTHING	EASTING
LP1	7021809.91	2599124.59
LP2	7021840.71	2599152.87
LP3	7021813.05	2599263.77
LP4	7021851.30	2599303.24
LP5	7021829.37	2599371.49
LP6	7021756.00	2599403.01
LP7	7021674.41	2599391.48
LP8	7021622.61	2599356.16
LP9	7021602.68	2599316.81
LP10	7021564.44	2599224.03
LP11	7021527.76	2599171.08
LP12	7021493.46	2599082.83
LP13	7021529.50	2599034.82
LP14	7021567.12	2598991.28
LP15	7021635.20	2598991.80
LP16	7021679.52	2599018.85
LP17	7021729.45	2599059.36
LP18	7021733.81	2599120.85
LP19	7021807.86	2599194.26
LP20	7021747.57	2599263.79
LP21	7021705.06	2599242.82
LP22	7021744.94	2599337.38
LP23	7021647.60	2599290.85
LP24	7021649.40	2599197.66
LP25	7021597.37	2599155.45
LP26	7021570.17	2599094.66

$\Delta=36^{\circ}54'48''$
 $R=330.00'$
 $T=110.14'$
 $L=212.60'$
 Chord= $N20^{\circ}35'50''E$ 208.95'

$\Delta=110^{\circ}19'35''$
 $R=50.00'$
 $T=71.84'$
 $L=96.28'$
 Chord= $N69^{\circ}13'04''E$ 82.08'

$\Delta=51^{\circ}3'46''$
 $R=3014.79'$
 $T=137.67'$
 $L=275.16'$
 Chord= $S70^{\circ}02'57''W$ 275.06'

$\Delta=18^{\circ}47'28''$
 $R=442.50'$
 $T=73.22'$
 $L=145.12'$
 Chord= $N39^{\circ}55'00''W$ 144.48'



- Consultants:
- MEP Engineering: **Telios Corporation**
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478
 - Structural Engineering: **ASA Dally Structural Engineers**
9800 Richmond Ave., Suite 460 Houston, Texas 77042
 - Landscape Architect: **Studio 13 Design Group**
519 Bennett Lane, Suite 203 Lewisville, TX 75057
 - Civil Engineering: **DOWDEY, ANDERSON & ASSOCIATES, INC.**
5225 Village Creek Drive, Suite 200 Plano, Texas 75099
Phone: 972.931.0694 Fax: 972.931.6538
STATE REGISTRATION NUMBER: F399

No.	Date	Description
1	8/28/2012	ISSUED FOR REVIEW
2	10/31/2012	ISSUED FOR REVIEW
3	11/13/2012	ISSUED FOR REVIEW
4	11/16/2012	ISSUED FOR REVIEW
5	09/20/2013	PR. 01
6	06/25/2013	PR. 05
7	01/20/2014	RECORD DRAWINGS

Emerus Emergency Hospital - Rockwall



Interstate Highway 30 and T.L. Townsend Drive
 Rockwall, TX 75087

Dimensional Control Plan

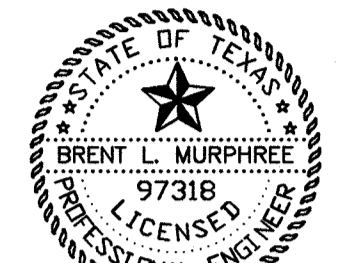
RECORD DRAWINGS JANUARY 20, 2014
 NOTE: THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THE IMPROVEMENTS ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF ROCKWALL. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED ON THE PLANS.

LEGEND
 FADUE = FIRELANE, ACCESS & UTILITY EASEMENT
 = PROP. FIRELANE, PUBLIC ACCESS AND UTILITY EASEMENT

- NOTES:**
- ALL DIMENSIONS SHOWN ARE BACK OF CURB TO BACK OF CURB UNLESS NOTED OTHERWISE.
 - RADIUS DIMENSIONS ARE BACK OF CURB.

BASIS OF BEARING IS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF NORTH 56°58'19" EAST, 695.37'.

BENCHMARKS:
 CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 8D NAIL WITH SHINER IN POWER POLE.
 ELEVATION = 529.23' (FIELD) HOLD* 529.23' (RECORD)
 CITY OF ROCKWALL MONUMENT R005: BRASS DISK IN CONCRETE IN GRASS MEDIAN AT INTERSECTION OF FARM TO MARKET ROAD NO. 740 (RIDGE ROAD) AND SUMMIT RIDGE DRIVE, APPROXIMATELY 14' NORTHWEST OF A FIRE HYDRANT AND APPROXIMATELY 10' WEST OF A STREET SIGN.
 ELEVATION = 578.71'(RECORD) 578.63' (FIELD)



Brent L. Murphree
1-20-14

- MEP Engineering
Telios Corporation
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478
- Structural Engineering
ASA Dally Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042
- Landscape Architect
Studio 13 Design Group
519 Bennett Lane, Suite 203 Lewisville, TX 75057
- DOWDEY, ANDERSON & ASSOCIATES, INC.**
5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972.931.0694 Fax 972.931.6538
STATE REGISTRATION NUMBER: F-399

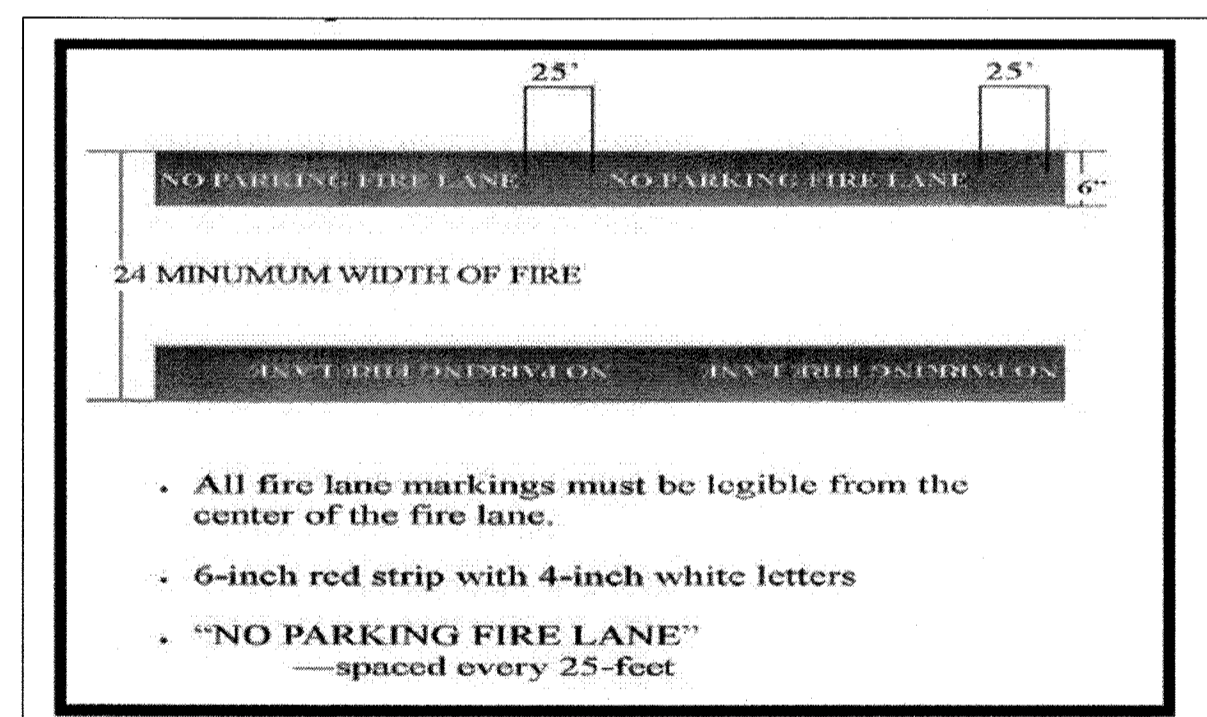
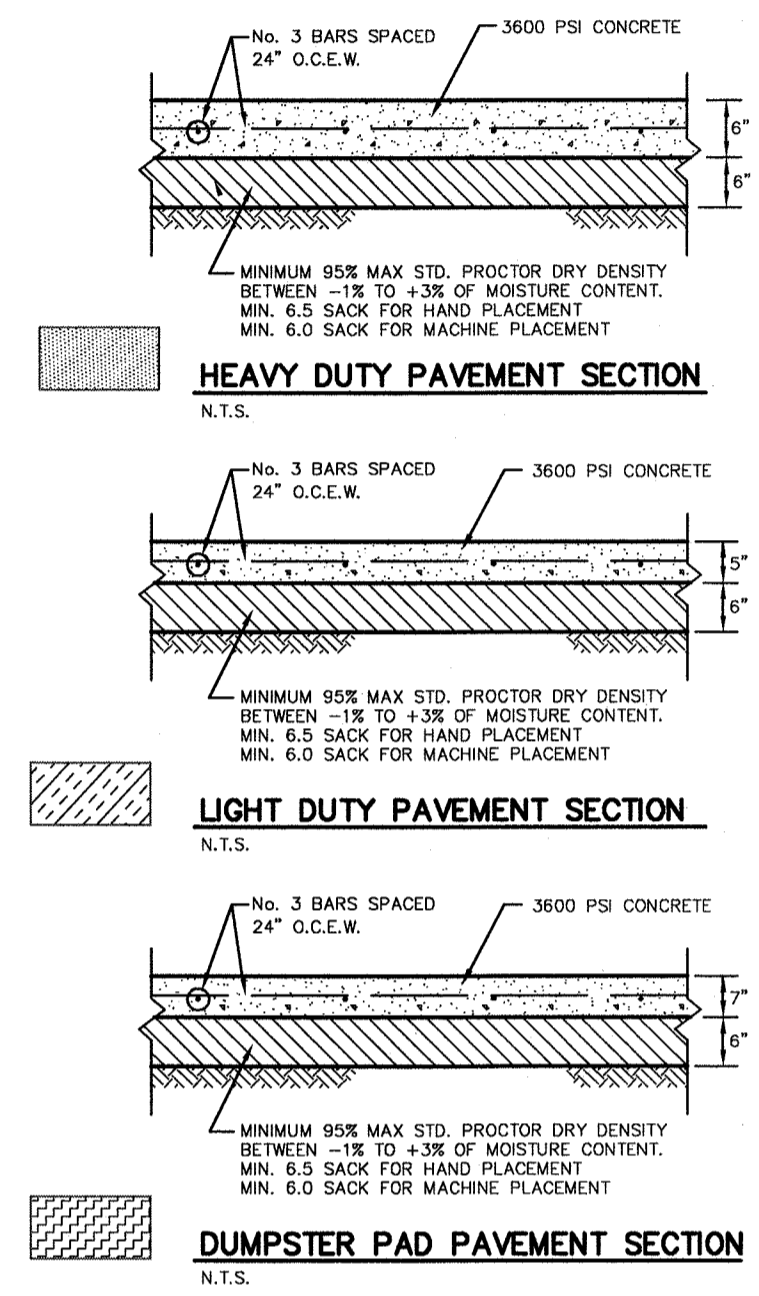
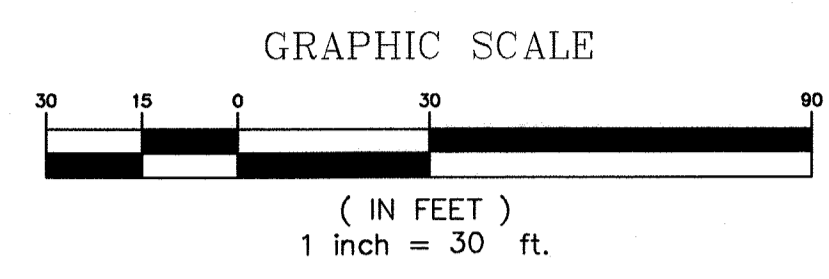
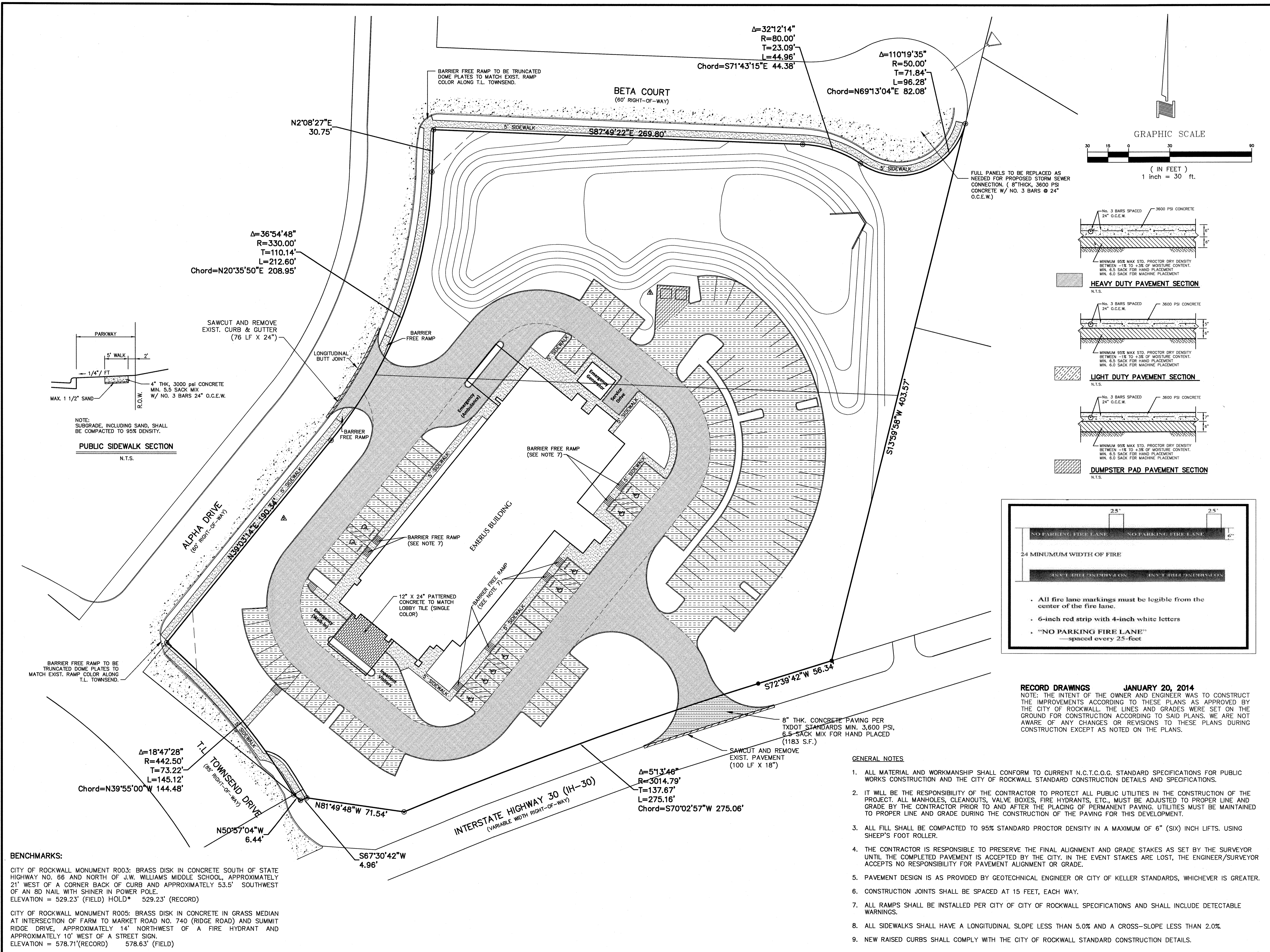
No.	Date	Description
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2	10/31/2012	ISSUED FOR REVIEW
3	11/13/2012	ISSUED FOR REVIEW
4	11/16/2012	ISSUED FOR REVIEW
5	01/30/2013	PR. CL.
6	01/20/2014	RECORD DRAWINGS

Emerus Emergency Hospital - Rockwall



Interstate Highway 30 and T.L. Townsend Drive
Rockwall, TX 75087

Paving Plan



RECORD DRAWINGS JANUARY 20, 2014
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- GENERAL NOTES**
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO CURRENT N.C.T.C.O.G. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THE PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
 - ALL FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN A MAXIMUM OF 6" (SIX) INCH LIFTS. USING SHEEP'S FOOT ROLLER.
 - THE CONTRACTOR IS RESPONSIBLE TO PRESERVE THE FINAL ALIGNMENT AND GRADE STAKES AS SET BY THE SURVEYOR UNTIL THE COMPLETED PAVEMENT IS ACCEPTED BY THE CITY. IN THE EVENT STAKES ARE LOST, THE ENGINEER/SURVEYOR ACCEPTS NO RESPONSIBILITY FOR PAVEMENT ALIGNMENT OR GRADE.
 - PAVEMENT DESIGN IS AS PROVIDED BY GEOTECHNICAL ENGINEER OR CITY OF KELLER STANDARDS, WHICHEVER IS GREATER.
 - CONSTRUCTION JOINTS SHALL BE SPACED AT 15 FEET, EACH WAY.
 - ALL RAMPS SHALL BE INSTALLED PER CITY OF CITY OF ROCKWALL SPECIFICATIONS AND SHALL INCLUDE DETECTABLE WARNINGS.
 - ALL SIDEWALKS SHALL HAVE A LONGITUDINAL SLOPE LESS THAN 5.0% AND A CROSS-SLOPE LESS THAN 2.0%.
 - NEW RAISED CURBS SHALL COMPLY WITH THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.

BENCHMARKS:
CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 8D NAIL WITH SHINER IN POWER POLE.
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ELEVATION = 578.71'(RECORD) 578.63' (FIELD)

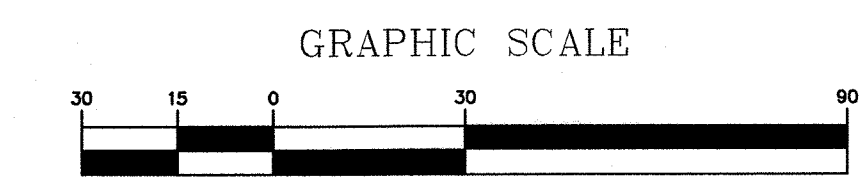


MEP Engineering
Telios Corporation
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478

Structural Engineering
ASA Dally Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042

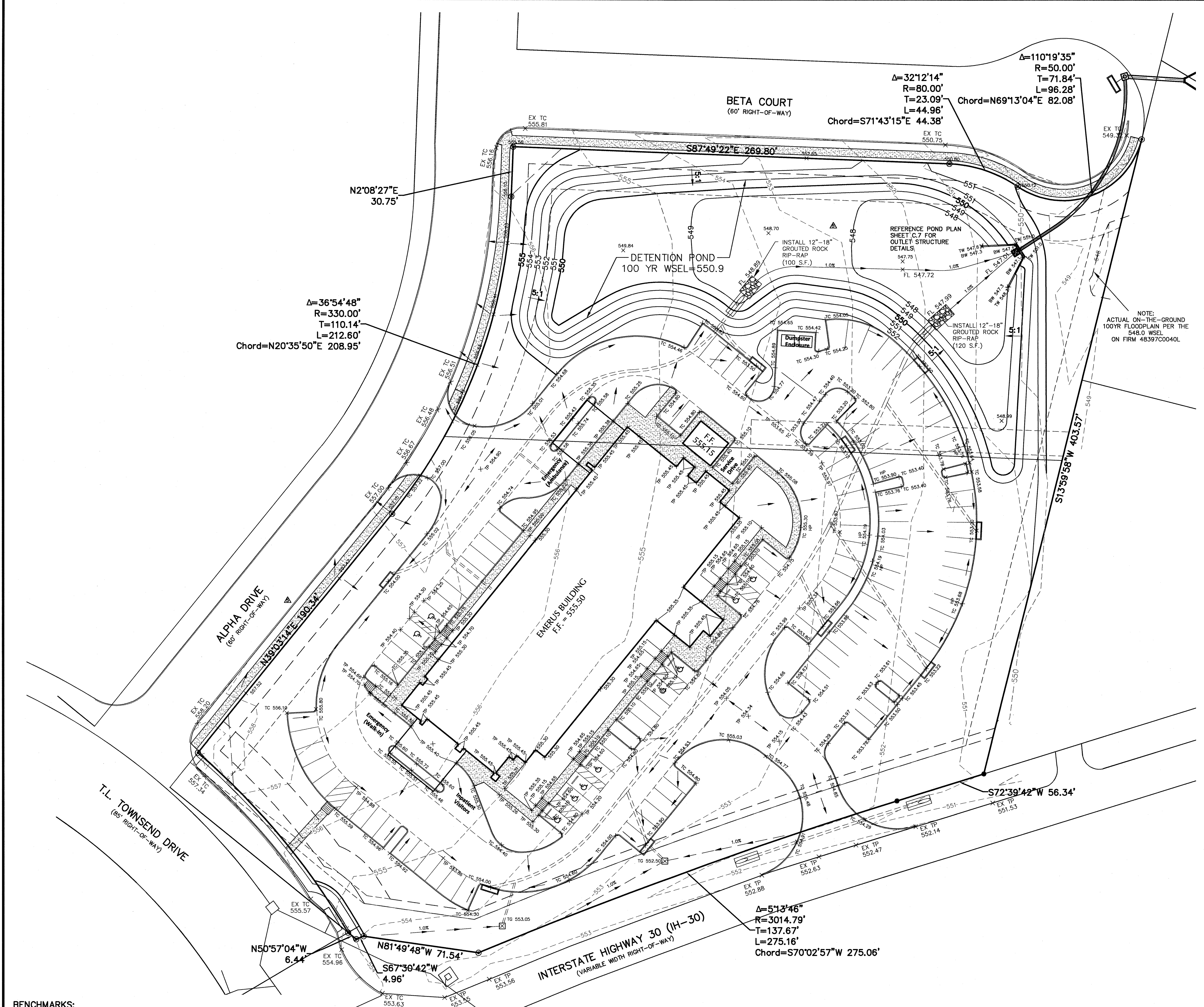
Landscape Architect
Studio 13 Design Group
519 Bennett Lane, Suite 209 Lewisville, TX 75057

Civil Engineering
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972.931.4694 Fax 972.931.9538
STATE REGISTRATION NUMBER: F-399



LEGEND

636.45	Spot Grade
TC 637.95	Top of Curb Grade
EX TC 637.95	Existing Top of Curb Grade
TP 637.95	Top of Pavement Grade
FP 637.95	Finish Pad Elevation
→	Flow Arrow
-635-	Existing Contour
FF 592.30	Finish Floor Elevation



BENCHMARKS:

CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 8D NAIL WITH SHINER IN POWER POLE.
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ELEVATION = 578.71'(RECORD) 578.63' (FIELD)

- NOTES:**
- All workmanship and materials shall conform to the standard specifications for public works construction for North Central Texas, Latest Edition, and the City of Rockwall, Texas
 - All existing dimensions and grades shown on the plans shall be field verified by the contractors prior to construction. Contractor shall notify engineer if any discrepancies exist prior to proceeding with construction for necessary plan or grade changes. No extra compensation shall be paid to the contractor for work having to be redone due to dimensions or grades shown incorrectly if such notification has not been given.
 - Prior to starting construction, the contractor shall be responsible to make sure all required permits and approvals have been obtained. No construction or fabrication shall begin until the contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
 - During construction of these improvements, any interpretation of the standard specifications for public works construction for North Central Texas and conflicts, errors, or omissions in the plans should be brought to the attention of the engineer before bid or construction.
 - All disturbed areas shall be seeded or sodded.
 - The contractor shall notify the City and any utility companies 48 hours (2 working days) prior to the start of grading, trenching or paving operations.
 - The contractor is responsible for keeping streets and sidewalks adjacent to the project free of mud and debris from the construction.
 - All fill shall be placed in 6" lifts and compacted to 95% Proctor density.
 - All sidewalks to have a maximum cross slope of 2%. All sidewalks to have a maximum longitudinal slope of 5% unless otherwise noted.
 - All handicap parking spaces and loading zones shall be a maximum of 2% cross-slope and 2% longitudinal slope.
 - Reference geotechnical report for preparation of soil under building foundation.
 - A 2.0% cross slope shall be maintained within City R.O.W./Parkway along all streets.
 - All Right of Ways shall be sodded.
 - Pond must be completely installed with either sod or anchored curlex (or approved equal) on the sides and bottom prior to paving
 - All fill to be compacted using a sheep's foot roller

RECORD DRAWINGS **JANUARY 20, 2014**

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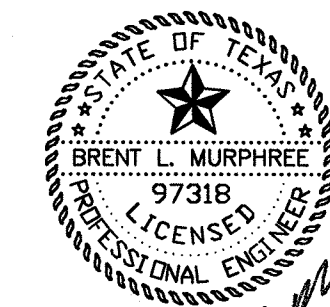
No.	Date	Description
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2	10/15/2012	ISSUED FOR REVIEW
3	11/13/2012	ISSUED FOR REVIEW
4	11/16/2012	ISSUED FOR REVIEW
5	01/20/2013	PR 01
6	06/25/2013	PR 05
7	01/20/2014	RECORD DRAWINGS

Emerus Emergency Hospital - Rockwall



Interstate Highway 30 and T.L. Townsend Drive
Rockwall, TX 75087

Grading Plan



Brent L. Murphree
1-20-14

MEP Engineering
Telios Corporation
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478

Structural Engineering
ASA Daily Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042

Landscape Architect
Studio 13 Design Group
519 Bennett Lane, Suite 203 Lewisville, TX 75057

Civil Engineering
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972.931.0694 Fax 972.931.9538
STATE REGISTRATION NUMBER: F-399

No.	Date	ISSUED FOR REVIEW	Description
1	9/28/2012	ISSUED FOR REVIEW	
2	10/31/2012	ISSUED FOR REVIEW	
3	11/13/2012	ISSUED FOR REVIEW	
4	11/16/2012	ISSUED FOR REVIEW	
5	01/20/2013	PR. 01	
6	01/20/2014	RECORD DRAWINGS	

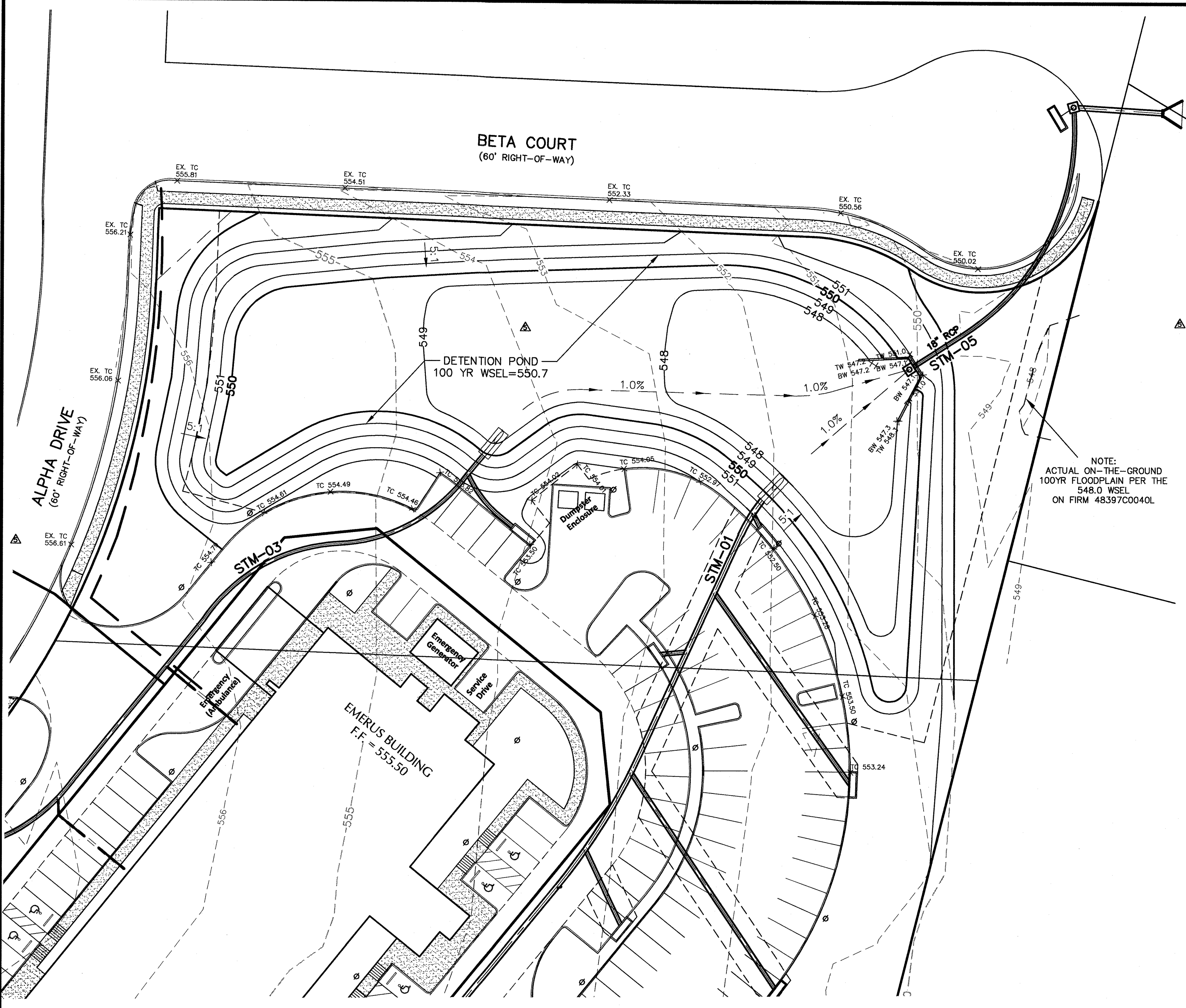
Emerus Emergency Hospital - Rockwall



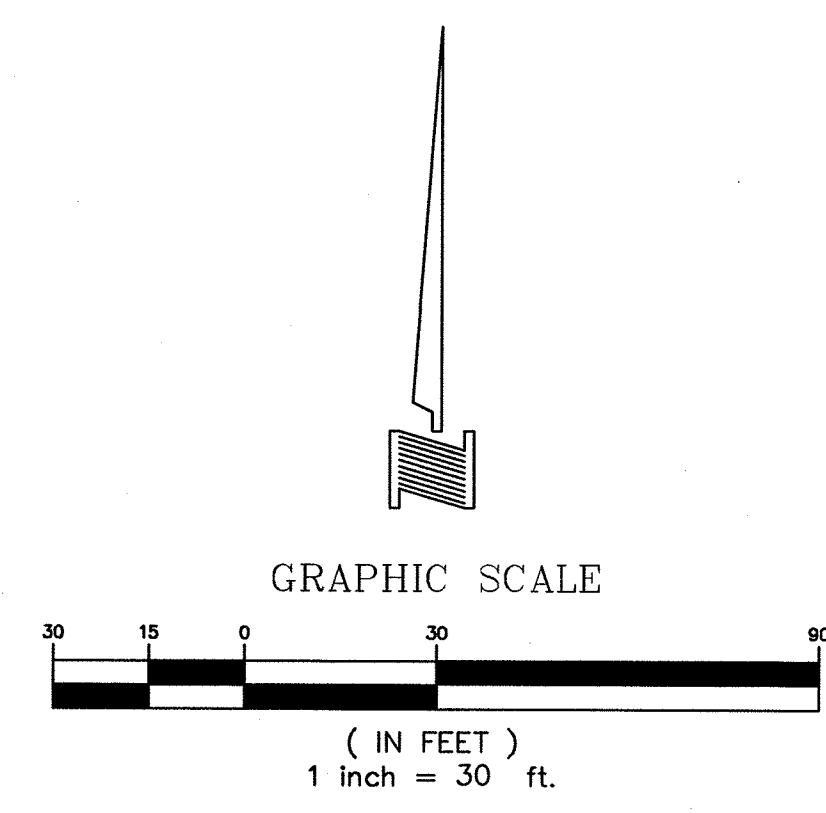
Interstate Highway 30 and T.L. Townsend Drive
Rockwall, TX 75087

Pond Plan & Calculations

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NOTE:
ACTUAL ON-THE-GROUND
100YR FLOODPLAIN PER THE
548.0 WSEL
ON FIRM 48397C0040L



Emerus Rockwall Detention Pond DAA Job No. 12005 Rockwall, Texas

100 Year Modified Rational Detention Calculations

Calculations for Proposed Detention Area K (100 year) = 1

T _r (min)	I ₅₀ (in/hr)	Weighted C	A (ac.)	*Q ₅₀ (cfs)
20	8.30	0.35	4.19	8.4

*12.2 cfs minus 3.8 cfs (0.43ac) of bypass flow equals 8.4 cfs allowable release

T _r (min)	I ₅₀ (in/hr)	A (ac.)	Q ₅₀ (cfs)	
10	9.80	0.9	3.76	33.2

Check Various Storm Durations

Time (min)	I ₅₀ (in/hr)	C	A (ac.)	Q ₅₀ (cfs)
10	9.80	0.9	3.76	33.2
15	8.00	0.9	3.76	30.5
20	6.30	0.9	3.76	28.1
30	4.60	0.9	3.76	23.3
40	3.95	0.9	3.76	19.6
50	3.50	0.9	3.76	16.9
60	3.20	0.9	3.76	15.2
70	3.00	0.9	3.76	13.5
80	2.90	0.9	3.76	12.5
90	2.80	0.9	3.76	11.8
100	2.70	0.9	3.76	11.5
120	2.40	0.9	3.76	9.1
150	2.35	0.9	3.76	8.0
180	2.00	0.9	3.76	6.8
210	1.80	0.9	3.76	6.1

Emerus Rockwall Detention Pond DAA Job No. 12005 Rockwall, Texas

25 Year Modified Rational Detention Calculations

Calculations for Proposed Detention Area K (25 year) = 1

T _r (min)	I ₅₀ (in/hr)	Weighted C	A (ac.)	*Q ₂₅ (cfs)
20	5.72	0.35	4.19	5.5

*9.4 cfs minus 2.9 cfs (0.43ac) of bypass flow equals 6.5 cfs allowable release

T _r (min)	I ₅₀ (in/hr)	A (ac.)	Q ₂₅ (cfs)	
10	7.59	0.9	3.76	25.7

Check Various Storm Durations

Time (min)	I ₅₀ (in/hr)	C	A (ac.)	Q ₂₅ (cfs)
10	7.59	0.9	3.76	25.7
15	6.51	0.9	3.76	22.0
20	5.72	0.9	3.76	19.4
30	4.65	0.9	3.76	15.7
40	3.95	0.9	3.76	13.4
50	3.45	0.9	3.76	11.7
60	3.08	0.9	3.76	10.4
70	2.94	0.9	3.76	9.4
80	2.85	0.9	3.76	8.6
90	2.80	0.9	3.76	8.0
100	2.75	0.9	3.76	7.4
120	2.40	0.9	3.76	6.5
150	2.35	0.9	3.76	5.6
180	2.00	0.9	3.76	4.9
210	1.80	0.9	3.76	4.4

Emerus Rockwall Detention Pond DAA Job No. 12005 Rockwall, Texas

10 Year Modified Rational Detention Calculations

Calculations for Proposed Detention Area K (10 year) = 1

T _r (min)	I ₅₀ (in/hr)	Weighted C	A (ac.)	*Q ₁₀ (cfs)
20	4.92	0.35	4.19	4.7

*7.2 cfs minus 2.5 cfs (0.43ac) of bypass flow equals 4.7 cfs allowable release

T _r (min)	I ₅₀ (in/hr)	A (ac.)	Q ₁₀ (cfs)	
10	6.56	0.9	3.76	22.2

Check Various Storm Durations

Time (min)	I ₅₀ (in/hr)	C	A (ac.)	Q ₁₀ (cfs)
10	6.56	0.9	3.76	22.2
15	5.61	0.9	3.76	19.0
20	4.92	0.9	3.76	16.7
30	3.99	0.9	3.76	13.5
40	3.38	0.9	3.76	11.4
50	2.94	0.9	3.76	10.0
60	2.62	0.9	3.76	8.9
70	2.54	0.9	3.76	8.0
80	2.46	0.9	3.76	7.3
90	2.40	0.9	3.76	6.7
100	2.35	0.9	3.76	6.3
120	2.00	0.9	3.76	5.5
150	1.98	0.9	3.76	4.7
180	1.21	0.9	3.76	4.1
210	1.08	0.9	3.76	3.6

Emerus Rockwall Detention Pond DAA Job No. 12005 Rockwall, Texas

5 Year Modified Rational Detention Calculations

Calculations for Proposed Detention Area K (5 year) = 1

T _r (min)	I ₅₀ (in/hr)	Weighted C	A (ac.)	*Q ₅ (cfs)
20	4.34	0.35	4.19	4.1

*6.4 cfs minus 2.3 cfs (0.43ac) of bypass flow equals 4.1 cfs allowable release

T _r (min)	I ₅₀ (in/hr)	A (ac.)	Q ₅ (cfs)	
10	5.85	0.9	3.76	19.8

Check Various Storm Durations

Time (min)	I ₅₀ (in/hr)	C	A (ac.)	Q ₅ (cfs)
10	5.85	0.9	3.76	19.8
15	4.97	0.9	3.76	16.8
20	4.34	0.9	3.76	14.7
30	3.49	0.9	3.76	11.8
40	2.94	0.9	3.76	10.0
50	2.58	0.9	3.76	8.6
60	2.27	0.9	3.76	7.7
70	2.04	0.9	3.76	6.9
80	1.86	0.9	3.76	6.3
90	1.72	0.9	3.76	5.8
100	1.59	0.9	3.76	5.4
120	1.40	0.9	3.76	4.7
150	1.19	0.9	3.76	4.0
180	1.03	0.9	3.76	3.5
210	0.92	0.9	3.76	3.1

Inflow = Storm Duration x Respective Peak Q x 60 sec/min
Outflow = 1/2 inflow duration x Control released discharge x 60 sec/min

Storm (min)	Inflow	Volume (ft ³)
10	Inflow = 10 x 25.7 x 60	15401
	Outflow = 0.5 x 20 x 8.4 x 60	3274
	Storage = 12126	
15	Inflow = 15 x 22 x 60	19813
	Outflow = 0.5 x 25 x 8.4 x 60	4922
	Storage = 14891	
20	Inflow = 20 x 19.4 x 60	23626
	Outflow = 0.5 x 30 x 8.4 x 60	4910
	Storage = 18716	
30	Inflow = 30 x 15.7 x 60	29347
	Outflow = 0.5 x 40 x 8.4 x 60	6647
	Storage = 22700	
40	Inflow = 40 x 13.4 x 60	32103
	Outflow = 0.5 x 50 x 8.4 x 60	8184
	Storage = 23919	
50	Inflow = 50 x 11.7 x 60	35063
	Outflow = 0.5 x 60 x 8.4 x 60	9521
	Storage = 25542	
60	Inflow = 60 x 10.4 x 60	37804
	Outflow = 0.5 x 70 x 8.4 x 60	11468
	Storage = 26336	
70	Inflow = 70 x 9.4 x 60	39682
	Outflow = 0.5 x 80 x 8.4 x 60	13094
	Storage = 26588	
80	Inflow = 80 x 8.6 x 60	41392
	Outflow = 0.5 x 90 x 8.4 x 60	14731
	Storage = 26661	
90	Inflow = 90 x 8 x 60	42987
	Outflow = 0.5 x 100 x 8.4 x 60	16398
	Storage = 26589	
100	Inflow = 100 x 7.4 x 60	44449
	Outflow = 0.5 x 110 x 8.4 x 60	18019
	Storage = 26430	
120	Inflow = 120 x 6.5 x 60	46577
	Outflow = 0.5 x 130 x 8.4 x 60	21278
	Storage = 25300	
150	Inflow = 150 x 5.6 x 60	49577
	Outflow = 0.5 x 150 x 8.4 x 60	25278
	Storage = 24300	
180	Inflow = 180 x 4.9 x 60	52449
	Outflow = 0.5 x 170 x 8.4 x 60	29998
	Storage = 22451	
210	Inflow = 210 x 4.4 x 60	55181
	Outflow = 0.5 x 190 x 8.4 x 60	35498
	Storage = 19683	

Maximum Volume Required: 41382
ACRE-FT REQUIRED: 0.9

Inflow = Storm Duration x Respective Peak Q x 60 sec/min
Outflow = 1/2 inflow duration x Control released discharge x 60 sec/min

Storm (min)	Inflow	Volume (ft ³)
10	Inflow = 10 x 22.2 x 60	13324
	Outflow = 0.5 x 20 x 4.7 x 60	2829
	Storage = 10495	
15	Inflow = 15 x 19 x 60	17390
	Outflow = 0.5 x 25 x 4.7 x 60	3511
	Storage = 13879	
20	Inflow = 20 x 16.7 x 60	19995
	Outflow = 0.5 x 30 x 4.7 x 60	4213
	Storage = 15782	
30	Inflow = 30 x 13.5 x 60	24296
	Outflow = 0.5 x 40 x 4.7 x 60	5617
	Storage = 18679	
40	Inflow = 40 x 11.4 x 60	27430
	Outflow = 0.5 x 50 x 4.7 x 60	7022
	Storage = 20408	
50	Inflow = 50 x 10 x 60	29883
	Outflow = 0.5 x 60 x 4.7 x 60	8426
	Storage = 21457	
60	Inflow = 60 x 8.9 x 60	31893
	Outflow = 0.5 x 70 x 4.7 x 60	9831
	Storage = 22062	
70	Inflow = 70 x 8 x 60	33568
	Outflow = 0.5 x 80 x 4.7 x 60	11235
	Storage = 22333	
80	Inflow = 80 x 7.3 x 60	35072
	Outflow = 0.5 x 90 x 4.7 x 60	12639
	Storage = 22433	
90	Inflow = 90 x 6.7 x 60	36377
	Outflow = 0.5 x 100 x 4.7 x 60	14044
	Storage = 22333	
100	Inflow = 100 x 6.3 x 60	37546
	Outflow = 0.5 x 110 x 4.7 x 60	15448
	Storage = 22098	
120	Inflow = 120 x 5.5 x 60	39577
	Outflow = 0.5 x 130 x 4.7 x 60	18257
	Storage = 21320	
150	Inflow = 150 x 4.7 x 60	42449
	Outflow = 0.5 x 150 x 4.7 x 60	21320
	Storage = 21129	
180	Inflow = 180 x 4.1 x 60	45181
	Outflow = 0.5 x 170 x 4.7 x 60	24679
	Storage = 20502	
210	Inflow = 210 x 3.6 x 60	47813
	Outflow = 0.5 x 190 x 4.7 x 60	28338
	Storage = 19475	

Maximum Volume Required: 22433
ACRE-FT REQUIRED: 0.5

Inflow = Storm Duration x Respective Peak Q x 60 sec/min
Outflow = 1/2 inflow duration x Control released discharge x 60 sec/min

Storm (min)	Inflow	Volume (ft ³)
10	Inflow = 10 x 19.8 x 60	11880
	Outflow = 0.5 x 20 x 4.1 x 60	2428
	Storage = 9452	
15	Inflow = 15 x 16.8 x 60	15130
	Outflow = 0.5 x 25 x 4.1 x 60	3072
	Storage = 12058	
20	Inflow = 20 x 14.7 x 60	17616
	Outflow = 0.5 x 30 x 4.1 x 60	3687
	Storage = 13929	
30	Inflow = 30 x 11.8 x 60	21258
	Outflow = 0.5 x 40 x 4.1 x 60	4816
	Storage = 16442	
40	Inflow = 40 x 10 x 60	23840
	Outflow = 0.5 x 50 x 4.1 x 60	6144
	Storage = 17696	
50	Inflow = 50 x 8.6 x 60	25947
	Outflow = 0.5 x 60 x 4.1 x 60	7373
	Storage = 18574	
60	Inflow = 60 x 7.7 x 60	27627
	Outflow = 0.5 x 70 x 4.1 x 60	8502
	Storage = 19125	
70	Inflow = 70 x 6.9 x 60	29047
	Outflow = 0.5 x 80 x 4.1 x 60	9631
	Storage = 19476	
80	Inflow = 80 x 6.3 x 60	30272
	Outflow = 0.5 x 90 x 4.1 x 60	10760
	Storage = 19727	
90	Inflow = 90 x 5.8 x 60	31364
	Outflow = 0.5 x 100 x 4.1 x 60	11889
	Storage = 19875	
100	Inflow = 100 x 5.4 x 60	32337
	Outflow = 0.5 x 110 x 4.1 x 60	12918
	Storage = 19875	
120	Inflow = 120 x 4.7 x 60	34025
	Outflow = 0.5 x 130 x 4.1 x 60	15679
	Storage = 18346	
150	Inflow = 150 x 4.1 x 60	36813
	Outflow = 0.5 x 150 x 4.1 x 60	18500
	Storage = 17313	
180	Inflow = 180 x 3.6 x 60	39545
	Outflow = 0.5 x 170 x 4.1 x 60	21480
	Storage = 16065	
210	Inflow = 210 x 3.1 x 60	42234
	Outflow = 0.5 x 190 x 4.1 x 60	24621
	Storage = 14613	

Maximum Volume Required: 19217
ACRE-FT REQUIRED: 0.4

Inflow = Storm Duration x Respective Peak Q x 60 sec/min
Outflow = 1/2 inflow duration x Control released discharge x 60 sec/min

Storm (min)	Inflow	Volume (ft ³)
10	Inflow = 10 x 33.2 x 60	19920
	Outflow = 0.5 x 20 x 8.4 x 60	5028
	Storage = 14892	
15	Inflow = 15 x 30.5 x 60	27410



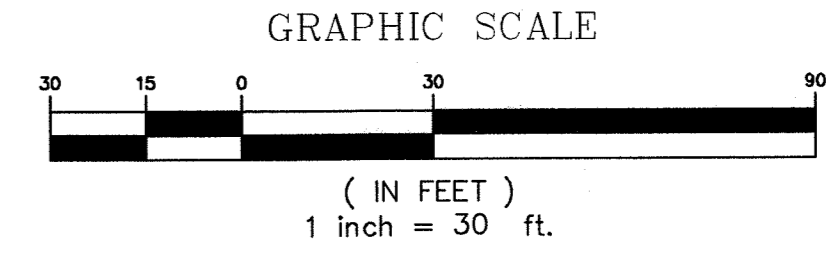
MEP Engineering
Telios Corporation
12946 Dalry Ashford, Suite 130 Sugar Land, Texas 77478

Structural Engineering
ASA Dally Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042

Landscape Architect
Studio 13 Design Group
513 Bennett Lane, Suite 203 Lewisville, TX 75057

Civil Engineering
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972-931-0694 Fax 972-931-9538
STATE REGISTRATION NUMBER: 15399

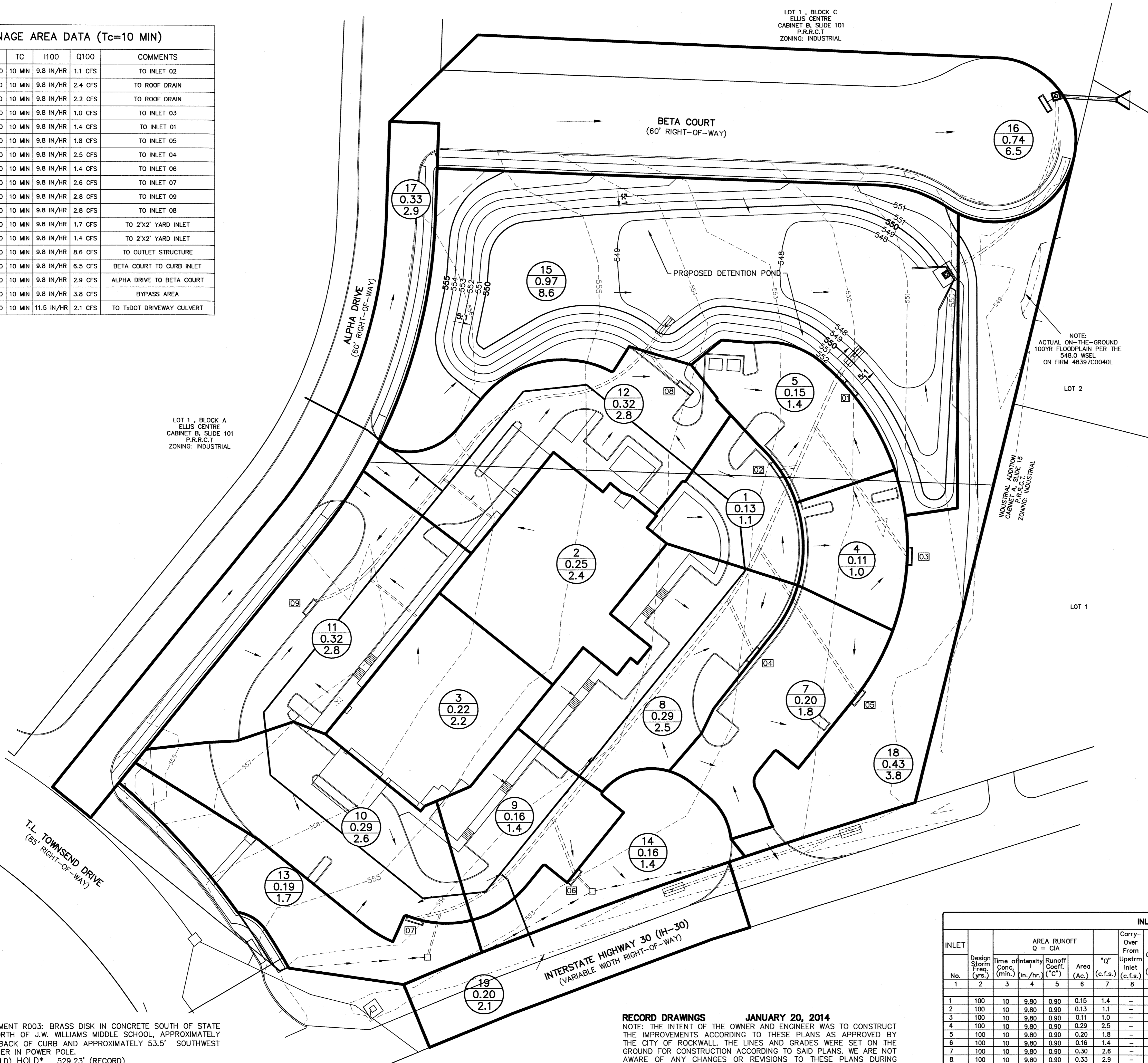
AREA #	AREA	C	TC	I100	Q100	COMMENTS
1	0.13 AC	0.90	10 MIN	9.8 IN/HR	1.1 CFS	TO INLET 02
2	0.25 AC	1.00	10 MIN	9.8 IN/HR	2.4 CFS	TO ROOF DRAIN
3	0.22 AC	1.00	10 MIN	9.8 IN/HR	2.2 CFS	TO ROOF DRAIN
4	0.11 AC	0.90	10 MIN	9.8 IN/HR	1.0 CFS	TO INLET 03
5	0.15 AC	0.90	10 MIN	9.8 IN/HR	1.4 CFS	TO INLET 01
7	0.20 AC	0.90	10 MIN	9.8 IN/HR	1.8 CFS	TO INLET 05
8	0.29 AC	0.90	10 MIN	9.8 IN/HR	2.5 CFS	TO INLET 04
9	0.16 AC	0.90	10 MIN	9.8 IN/HR	1.4 CFS	TO INLET 06
10	0.29 AC	0.90	10 MIN	9.8 IN/HR	2.6 CFS	TO INLET 07
11	0.32 AC	0.90	10 MIN	9.8 IN/HR	2.8 CFS	TO INLET 09
12	0.32 AC	0.90	10 MIN	9.8 IN/HR	2.8 CFS	TO INLET 08
13	0.19 AC	0.90	10 MIN	9.8 IN/HR	1.7 CFS	TO 2'X2' YARD INLET
14	0.16 AC	0.90	10 MIN	9.8 IN/HR	1.4 CFS	TO 2'X2' YARD INLET
15	0.97 AC	0.90	10 MIN	9.8 IN/HR	8.6 CFS	TO OUTLET STRUCTURE
16	0.74 AC	0.90	10 MIN	9.8 IN/HR	6.5 CFS	BETA COURT TO CURB INLET
17	0.33 AC	0.90	10 MIN	9.8 IN/HR	2.9 CFS	ALPHA DRIVE TO BETA COURT
18	0.43 AC	0.90	10 MIN	9.8 IN/HR	3.8 CFS	BYPASS AREA
19	0.20 AC	0.90	10 MIN	11.5 IN/HR	2.1 CFS	TO TxDOT DRIVEWAY CULVERT



LOT 1, BLOCK A
ELLIS CENTRE
CABINET B, SLIDE 101
P.R.R.C.T.
ZONING: INDUSTRIAL

LOT 1, BLOCK C
ELLIS CENTRE
CABINET B, SLIDE 101
P.R.R.C.T.
ZONING: INDUSTRIAL

INDUSTRIAL ADDITION
CABINET B, SLIDE 15
P.R.R.C.T.
ZONING: INDUSTRIAL



NOTE:
ACTUAL ON-THE-GROUND
100YR FLOODPLAIN PER THE
548.0 WSEL
ON FIRM 48397C0040L

- NOTES:
- PER THE ELLIS CENTRE DRAINAGE AREA MAP PREPARED BY HAROLD L. EVANS CONSULTING ENGINEERS, THE EXISTING STORM SEWER IN BETA COURT WAS DESIGNED FOR 1.81 ACRES. THIS EQUATES TO 16.0 CFS USING CURRENT RUNOFF COEFFICIENT AND INTENSITY.
 - PROPOSED DESIGN IS TO ALLOW 7.7 CFS DIRECT RUNOFF INTO THE EXISTING STORM SEWER IN BETA COURT AND DRAIN DOWN TO 8.3 CFS IN THE DETENTION POND FOR A MAXIMUM RELEASE RATE OF 16.0 CFS.

BENCHMARKS:

CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 8D NAIL WITH SHINER IN POWER POLE.
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CITY OF ROCKWALL MONUMENT R005: BRASS DISK IN CONCRETE IN GRASS MEDIAN AT INTERSECTION OF FARM TO MARKET ROAD NO. 740 (RIDGE ROAD) AND SUMMIT RIDGE DRIVE, APPROXIMATELY 14' NORTHWEST OF A FIRE HYDRANT AND APPROXIMATELY 10' WEST OF A STREET SIGN.
ELEVATION = 578.71'(RECORD) 578.63' (FIELD)

RECORD DRAWINGS **JANUARY 20, 2014**

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INLET No.	Design Storm Freq. (yrs.)	AREA RUNOFF Q = CIA			"q" (c.f.s./Ac.)	Carry-Over From Upstrm Inlet (c.f.s.)	Total Gutter Flow (c.f.s.)	Gutter Capacity (c.f.s.)	Slope (ft./100 ft.)	Crown Type	SELECTED INLET Length "L" (Feet)	Type	Carry-Over To Downstrm Inlet (c.f.s.)	Inlet Capacity (c.f.s.)
		Time of Intensity (min.)	Intensity (in./hr.)	Runoff Coeff. ("C")										
1	100	10	9.80	0.90	0.15	1.4	1.4	SAG	10'	STD	21.2	21.2		
2	100	10	9.80	0.90	0.13	1.1	1.1	SAG	10'	STD	21.2	21.2		
3	100	10	9.80	0.90	0.11	1.0	1.0	SAG	10'	STD	21.2	21.2		
4	100	10	9.80	0.90	0.29	2.5	2.5	SAG	10'	STD	21.2	21.2		
5	100	10	9.80	0.90	0.20	1.8	1.8	SAG	10'	STD	21.2	21.2		
6	100	10	9.80	0.90	0.16	1.4	1.4	SAG	10'	STD	21.2	21.2		
7	100	10	9.80	0.90	0.30	2.6	2.6	SAG	10'	STD	21.2	21.2		
8	100	10	9.80	0.90	0.33	2.9	2.9	SAG	10'	STD	21.2	21.2		
9	100	10	9.80	0.90	0.48	4.2	4.2	SAG	10'	STD	21.2	21.2		

Emerus Emergency Hospital - Rockwall



Interstate Highway 30 and T.L. Townsend Drive
Rockwall, TX 75087

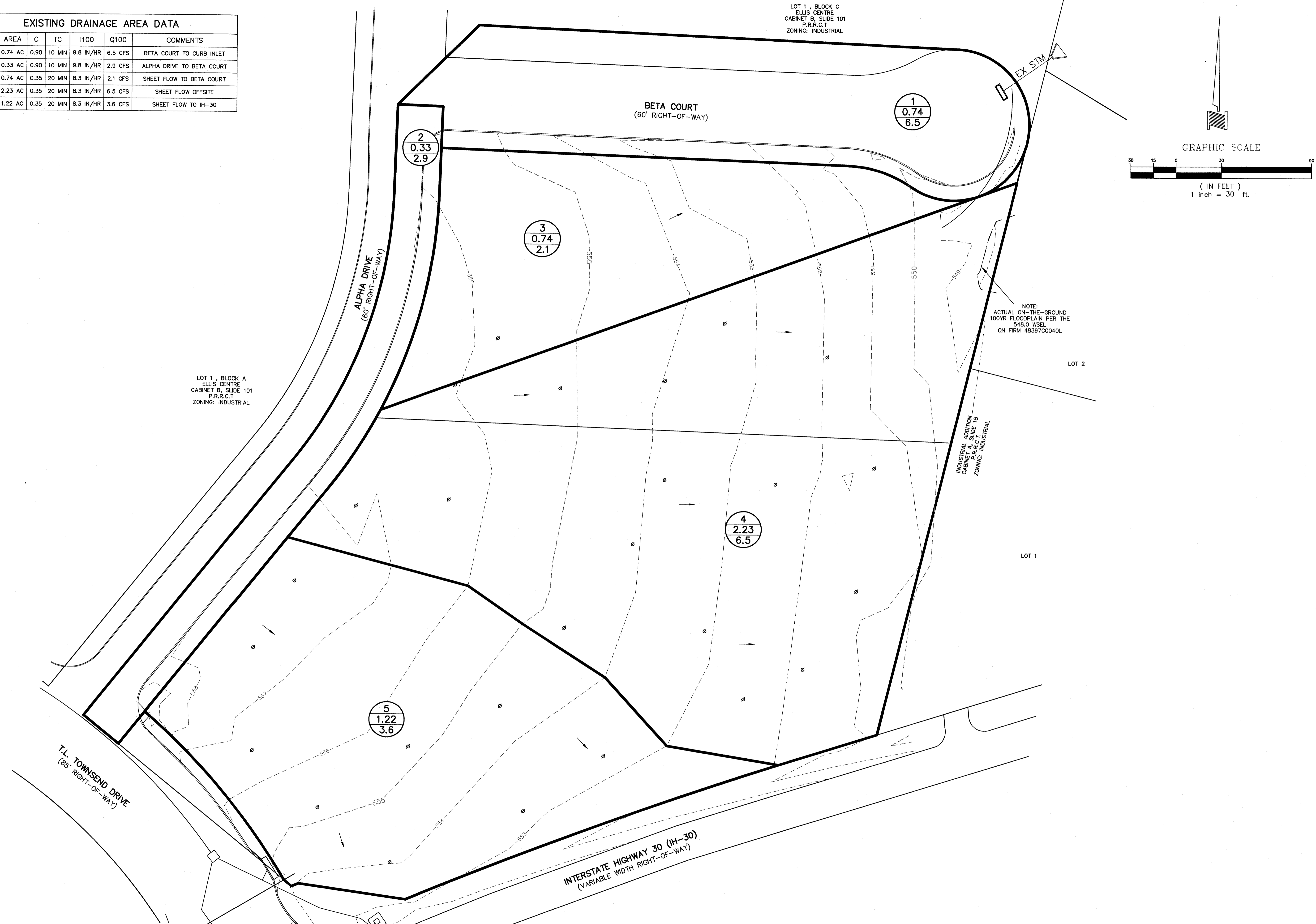
Drainage Area Map

EXISTING DRAINAGE AREA DATA						
AREA #	AREA	C	TC	I100	Q100	COMMENTS
1	0.74 AC	0.90	10 MIN	9.8 IN/HR	6.5 CFS	BETA COURT TO CURB INLET
2	0.33 AC	0.90	10 MIN	9.8 IN/HR	2.9 CFS	ALPHA DRIVE TO BETA COURT
3	0.74 AC	0.35	20 MIN	8.3 IN/HR	2.1 CFS	SHEET FLOW TO BETA COURT
4	2.23 AC	0.35	20 MIN	8.3 IN/HR	6.5 CFS	SHEET FLOW OFFSITE
5	1.22 AC	0.35	20 MIN	8.3 IN/HR	3.6 CFS	SHEET FLOW TO IH-30

LOT 1, BLOCK C
ELLIS CENTRE
CABINET B, SLIDE 101
P.R.R.C.T.
ZONING: INDUSTRIAL

LOT 1, BLOCK A
ELLIS CENTRE
CABINET B, SLIDE 101
P.R.R.C.T.
ZONING: INDUSTRIAL

INDUSTRIAL ADDITION
CABINET A
P.R.R.C.T.
ZONING: INDUSTRIAL



NOTE:
ACTUAL ON-THE-GROUND
100YR FLOODPLAIN PER THE
548.0 WSEL
ON FIRM 483970040L

BENCHMARKS:
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RECORD DRAWINGS **JANUARY 20, 2014**
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Philo Wilke
Partnership
11275 S. Sam Houston Parkway W.
Suite 200
Houston, Texas 77031
(832) 554-1130
www.pwarch.com



- Consultants
- MEP Engineering
Telios Corporation
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478
 - Structural Engineering
ASA Dally Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042
 - Landscape Architect
Studio 13 Design Group
519 Bennett Lane, Suite 203 Lewisville, TX 75057
 - Civil Engineering
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972.931.0604 Fax 972.931.0538
STATE REGISTRATION NUMBER: F-399

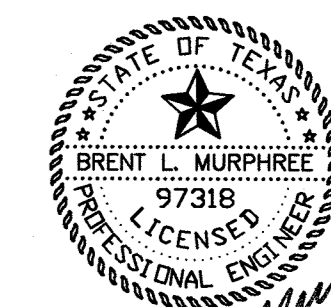
No.	Date	Description
1	10/13/2012	ISSUED FOR REVIEW
2	11/13/2012	ISSUED FOR REVIEW
3	11/16/2012	ISSUED FOR REVIEW
4	01/20/2013	PR. 01
5	01/20/2014	RECORD DRAWINGS

Emerus Emergency Hospital - Rockwall

EMERUS
ADVANCED EMERGENCY CARE

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Existing Drainage Area Map



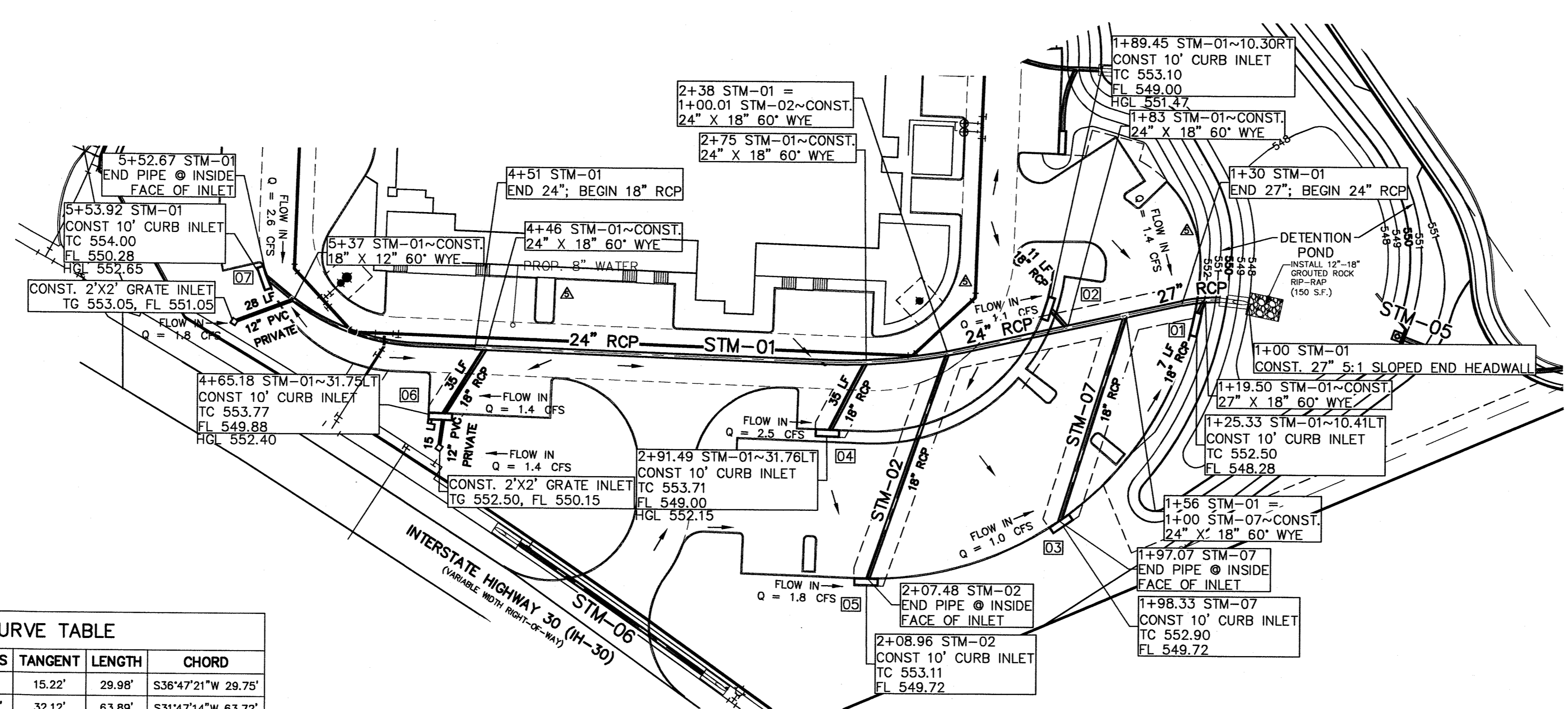
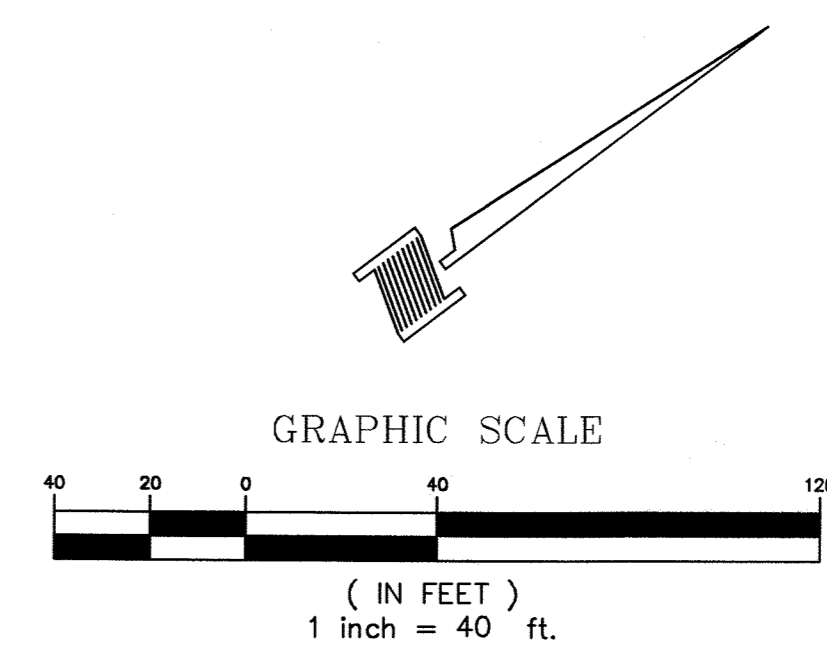
Brent L. Murphree
1-20-14

MEP Engineering
Telios Corporation
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478

Structural Engineering
ASA Dally Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042

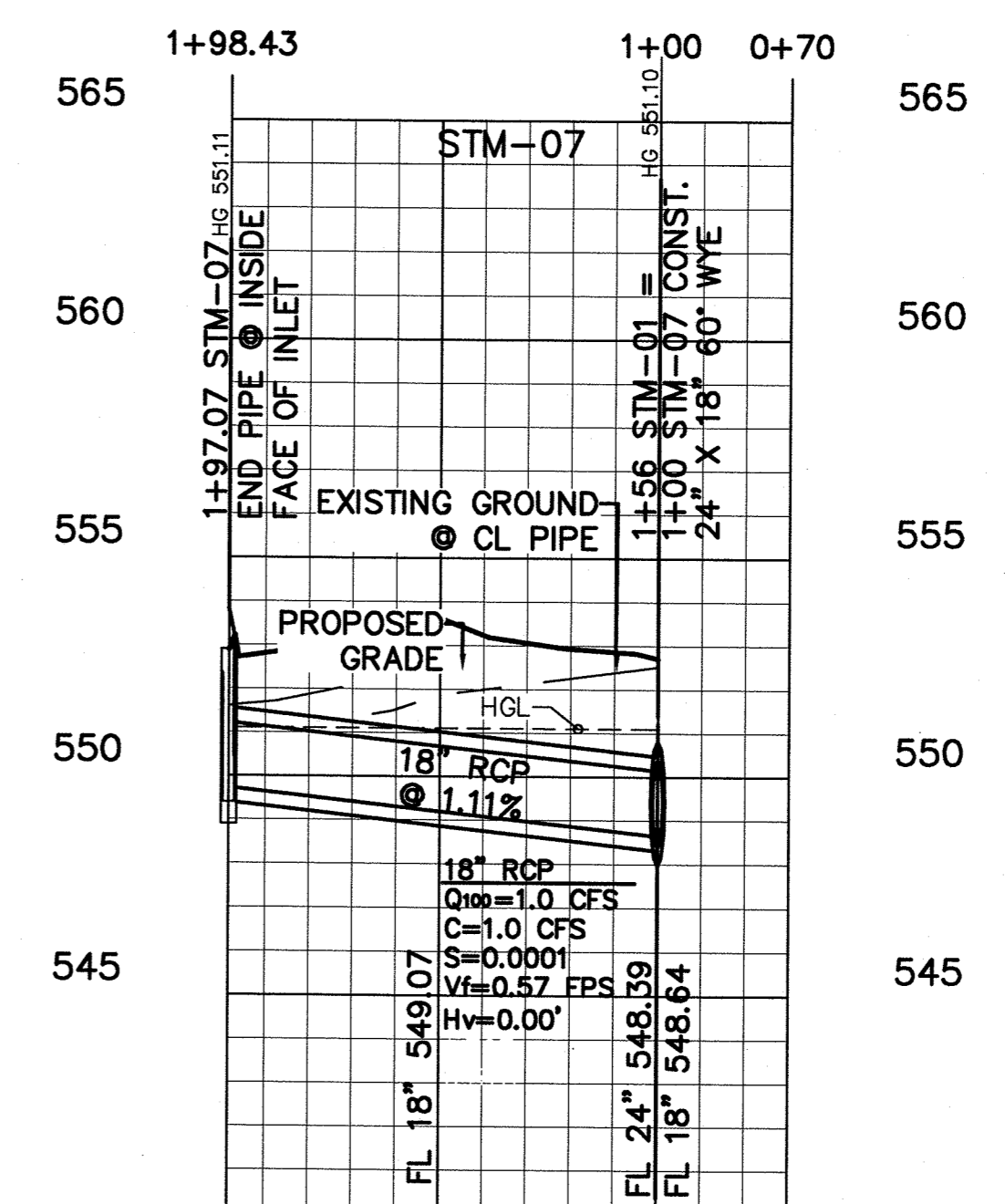
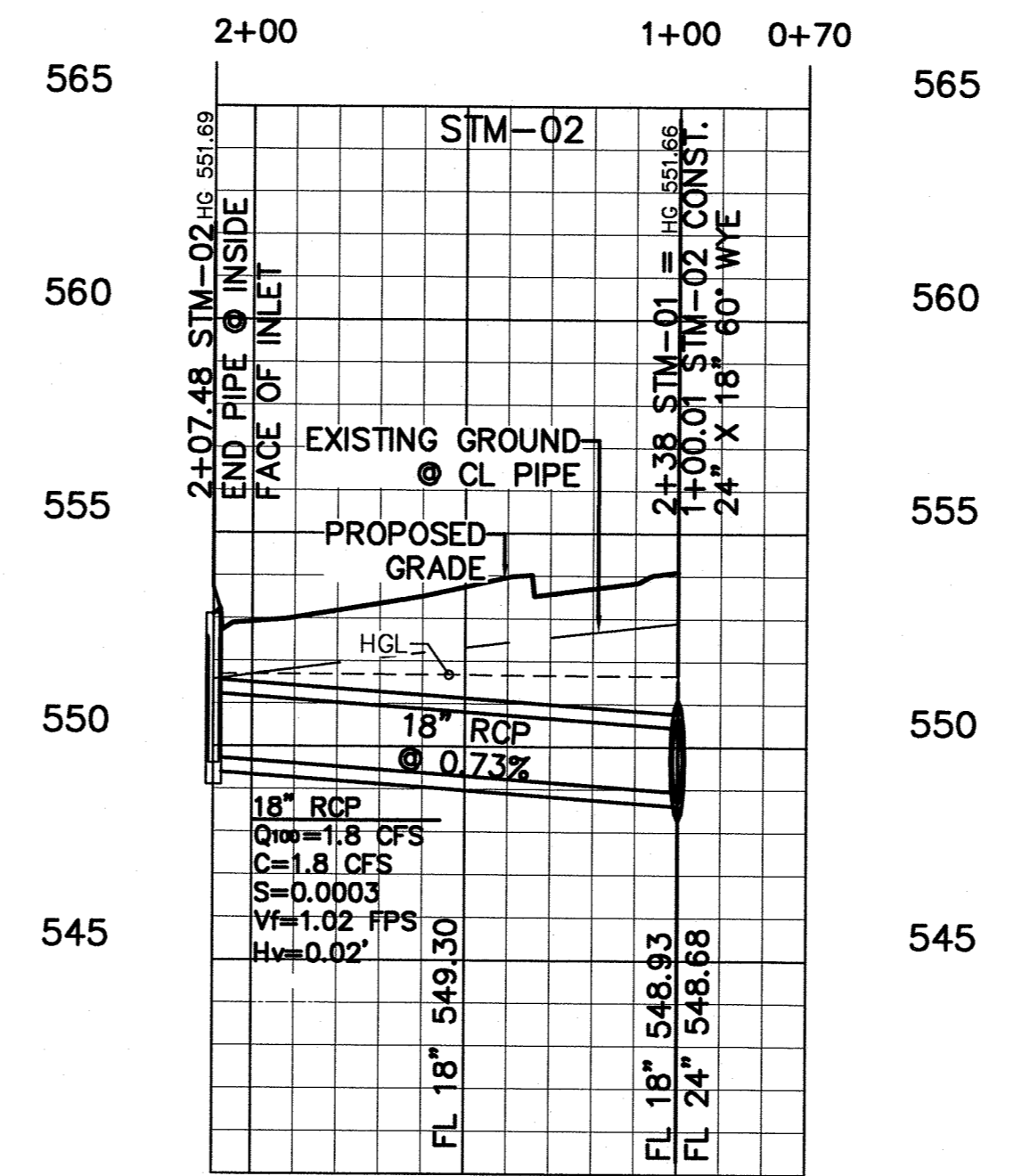
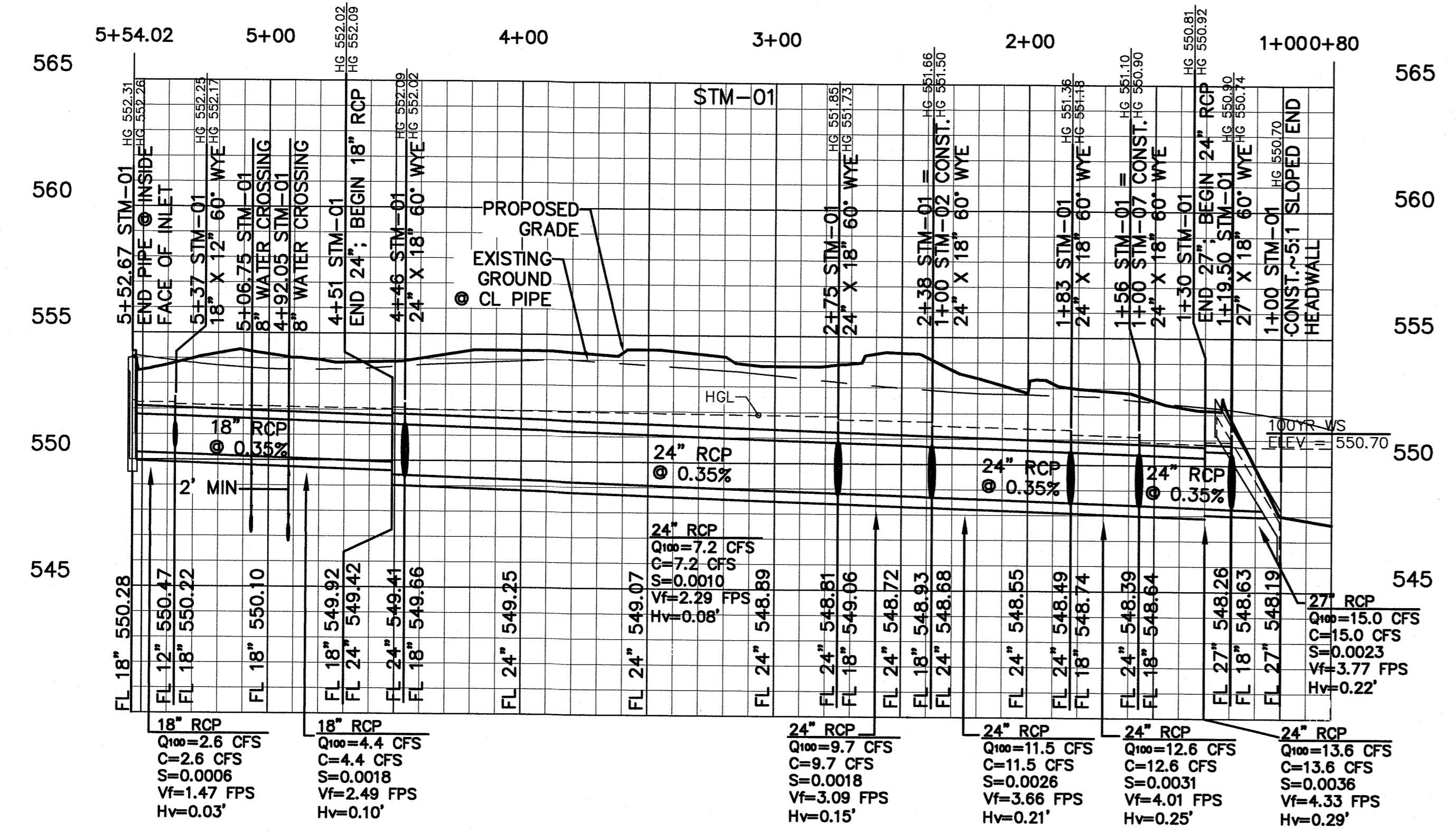
Landscape Architect
Studio 13 Design Group
519 Bennett Lane, Suite 203 Lewisville, TX 75057

Civil Engineering
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972.931.0694 Fax 972.931.9518
STATE REGISTRATION NUMBER: F-399



CURVE TABLE				
CURVE	DELTA	RADIUS	TANGENT	CHORD
C1	24°32'18"	70.00'	15.22'	29.98'
C2	14°32'01"	251.88'	32.12'	63.89'
C3	38°17'33"	100.00'	34.72'	66.83'

NOTE:
PRIVATE STORM TO BE MAINTAINED BY PROPERTY OWNER.



BENCHMARKS:
CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 8D NAIL WITH SHINER IN POWER POLE.
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ELEVATION = 578.71'(RECORD) 578.63' (FIELD)

No.	Date	Description
1	8/28/2012	ISSUED FOR REVIEW
2	10/31/2012	ISSUED FOR REVIEW
3	11/13/2012	ISSUED FOR REVIEW
4	11/16/2012	ISSUED FOR REVIEW
5	01/30/2013	PR. 01
6	01/20/2014	RECORD DRAWINGS

Emerus Emergency Hospital - Rockwall

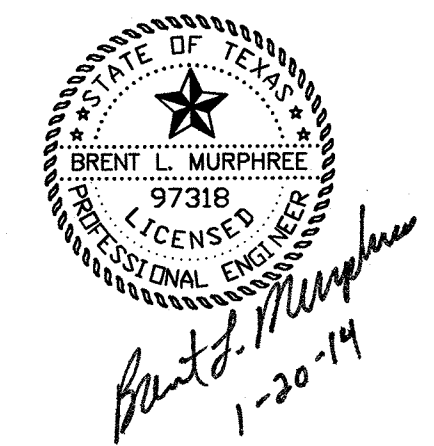


Interstate Highway 30 and T.L. Townsend Drive
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STM-01, STM-02 & STM-07 Storm Sewer Plan & Profiles

RECORD DRAWINGS JANUARY 20, 2014
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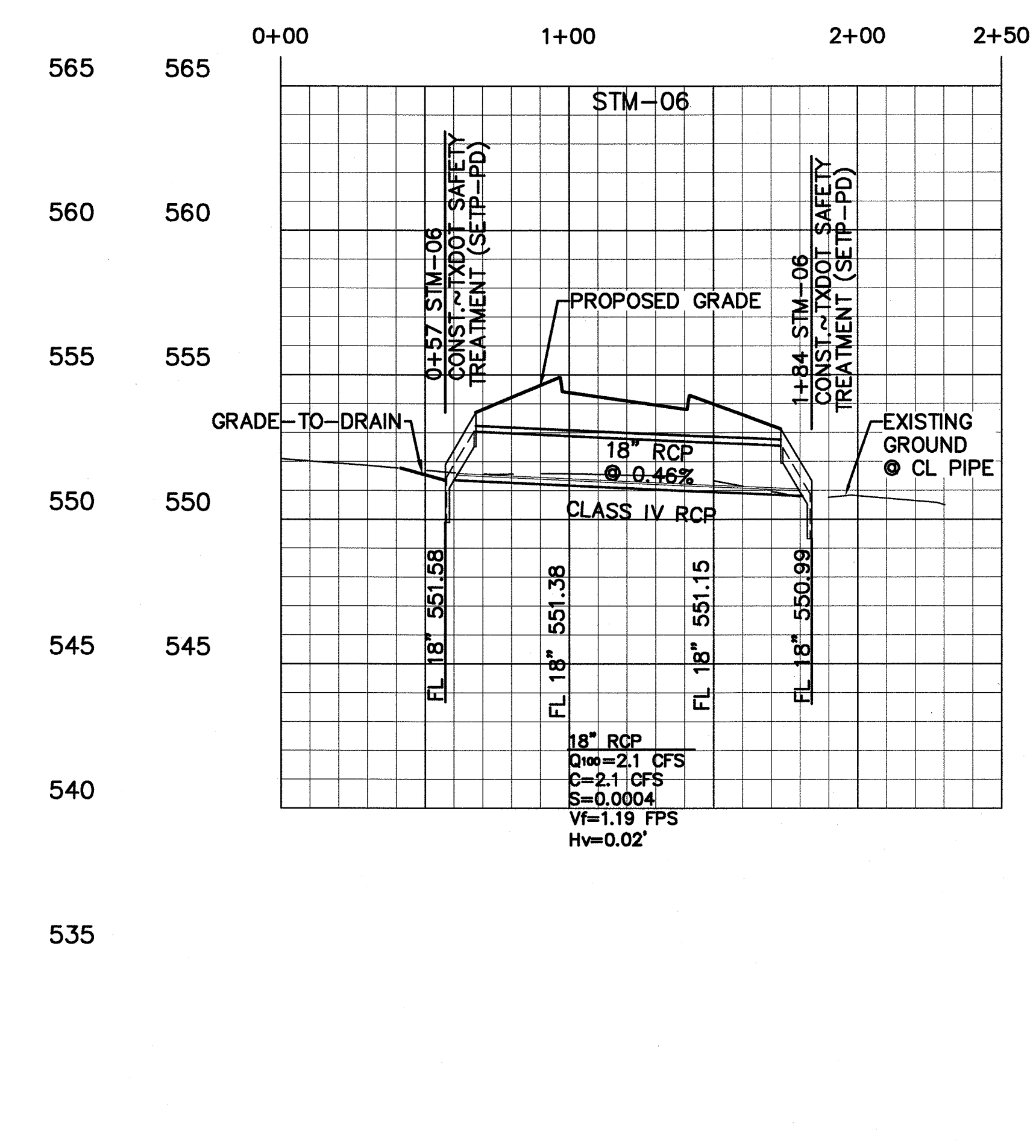
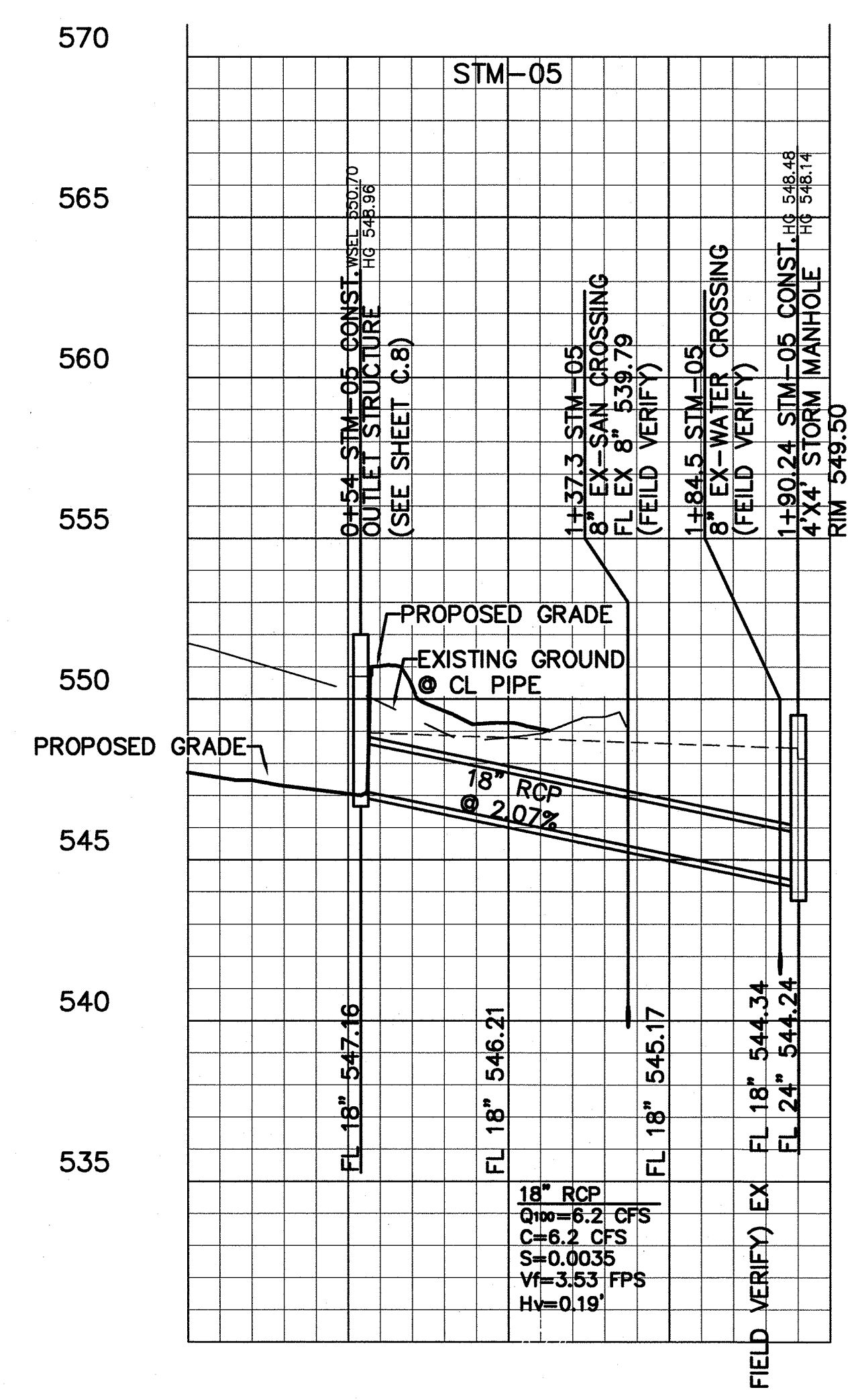
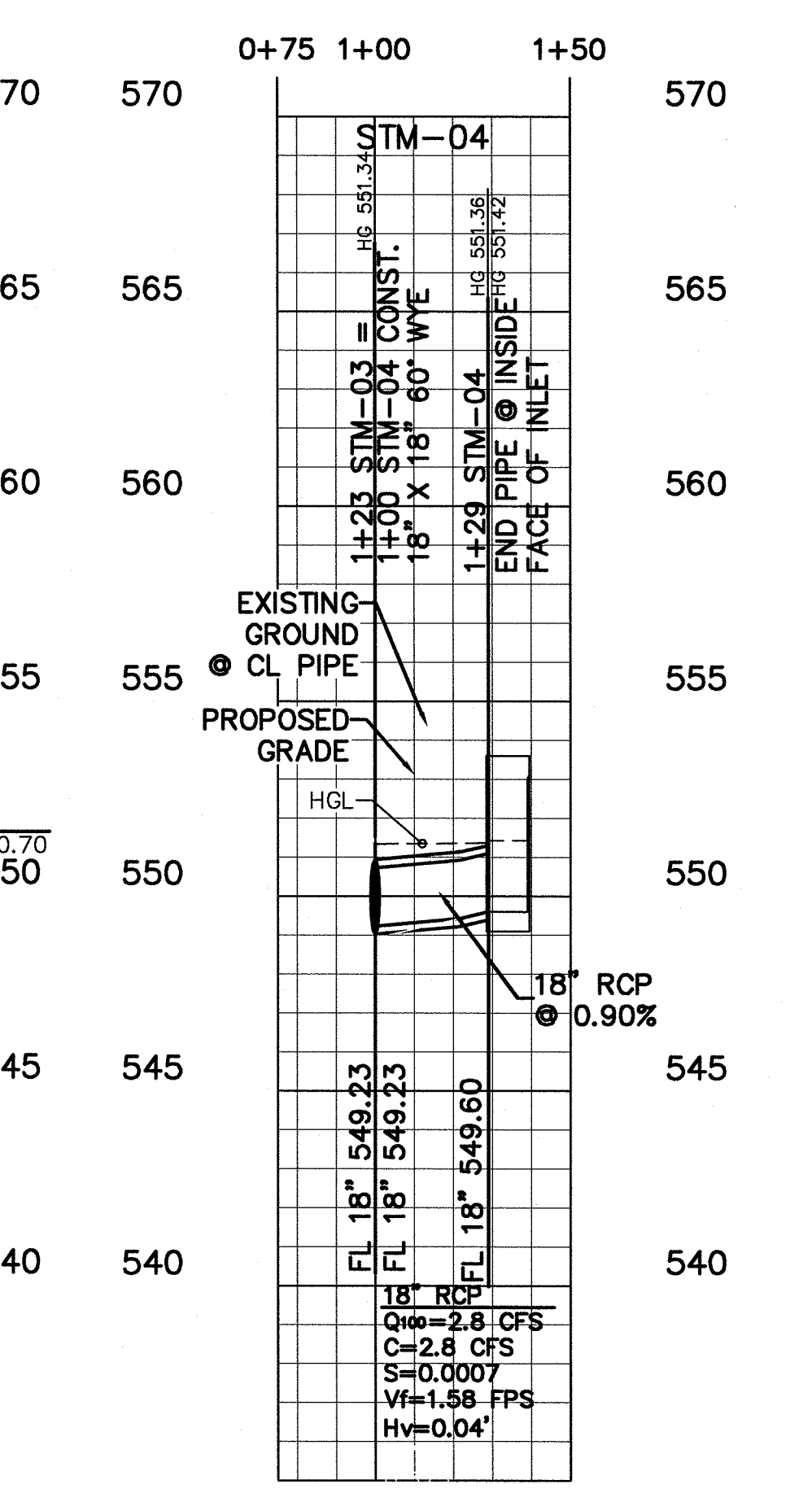
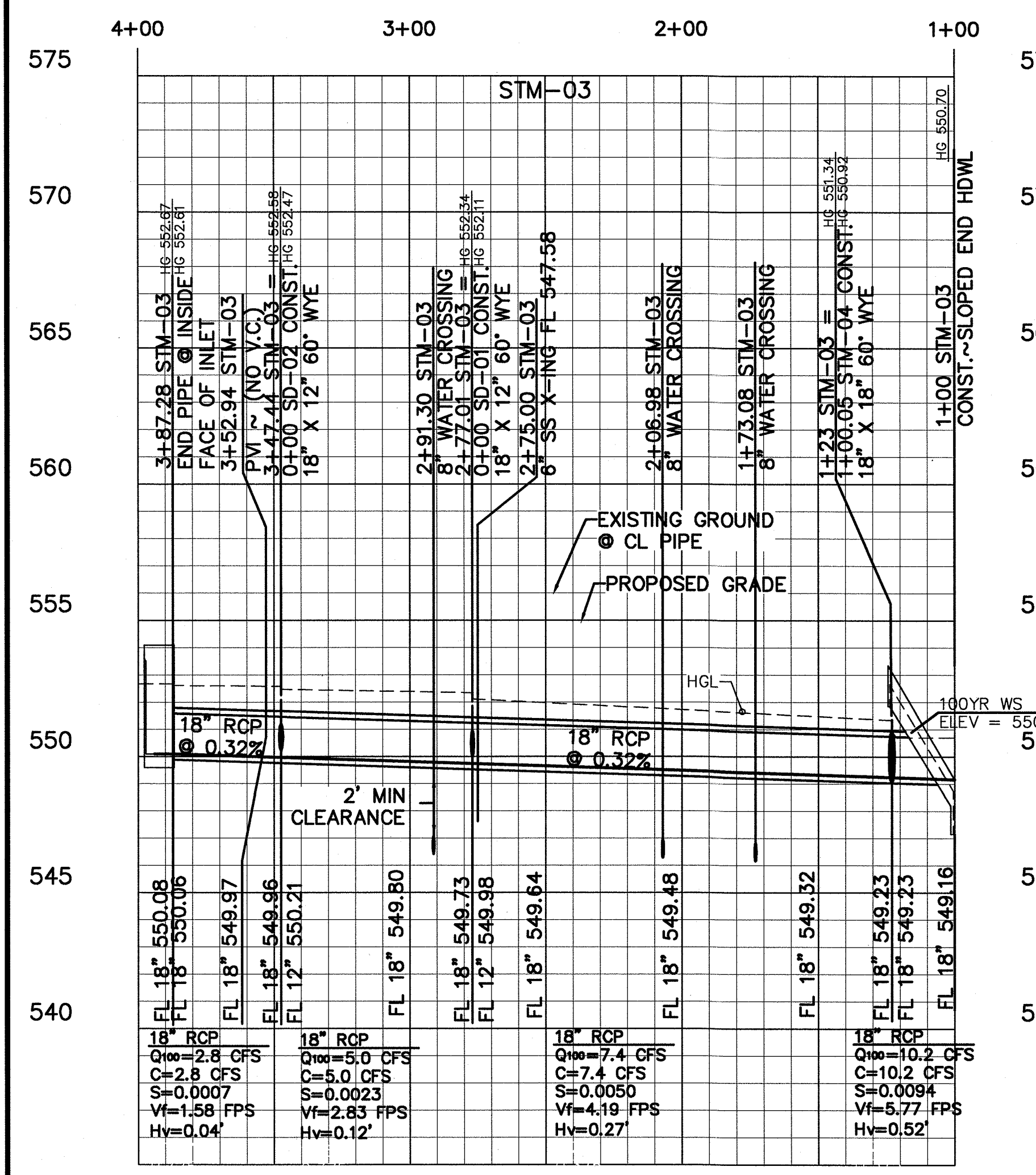
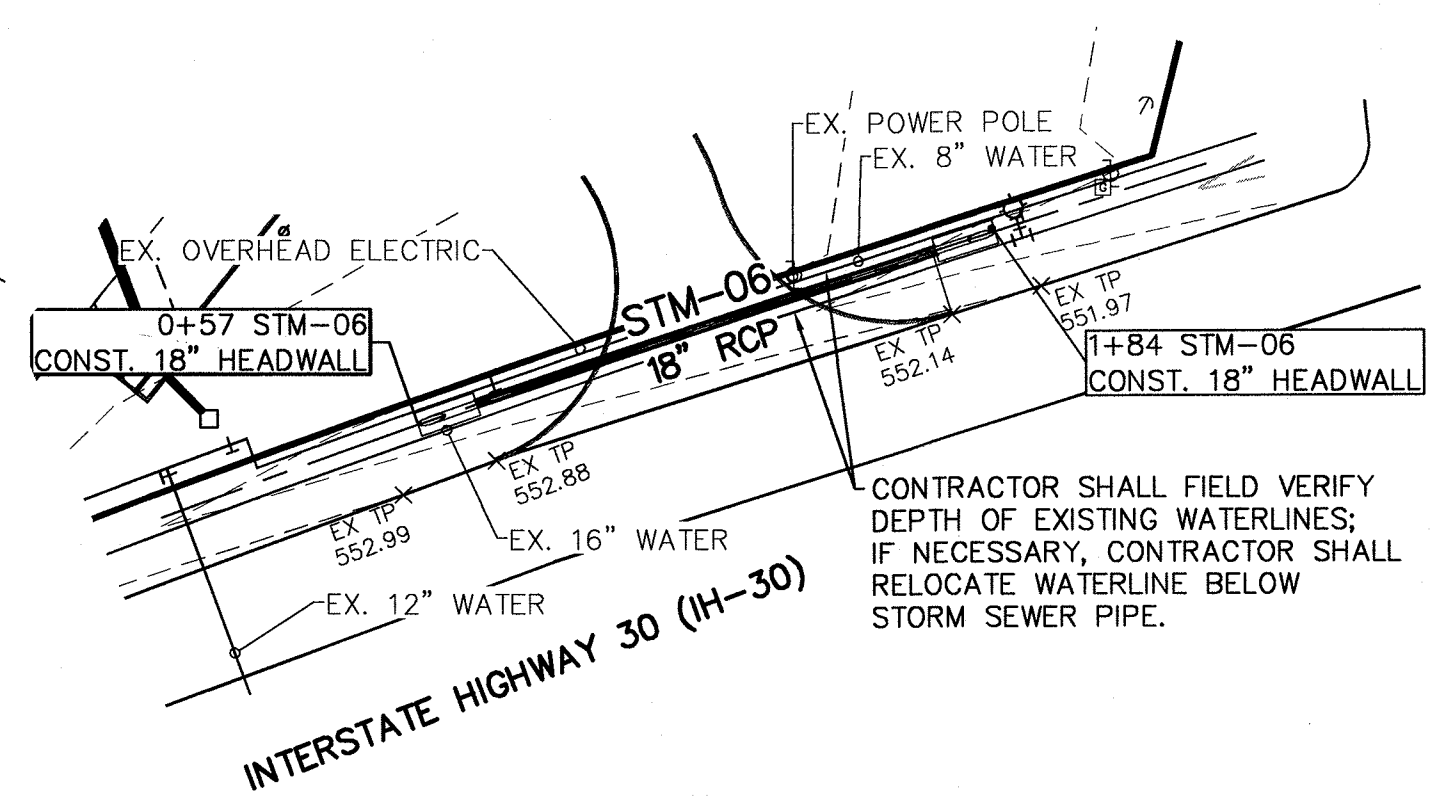
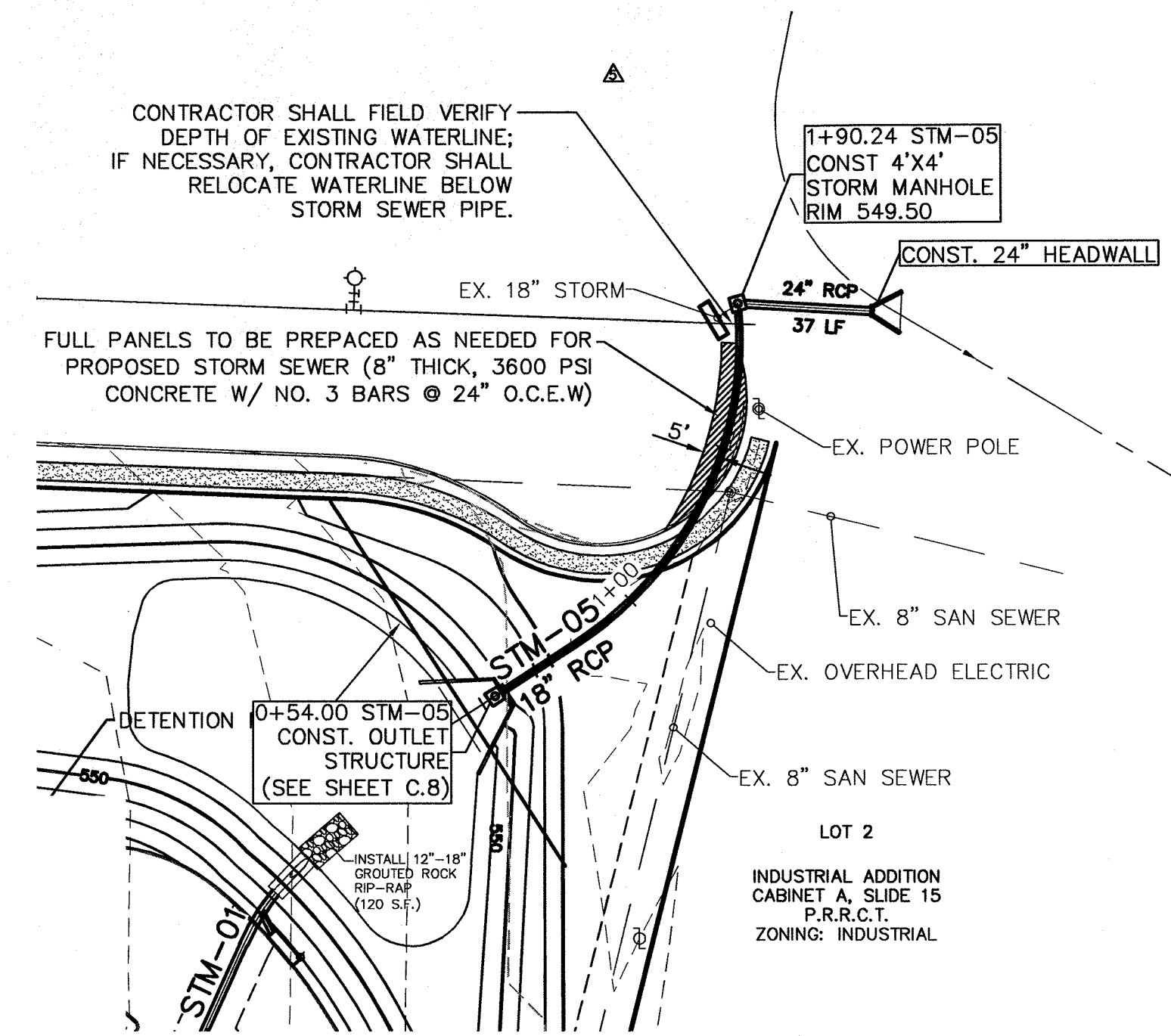
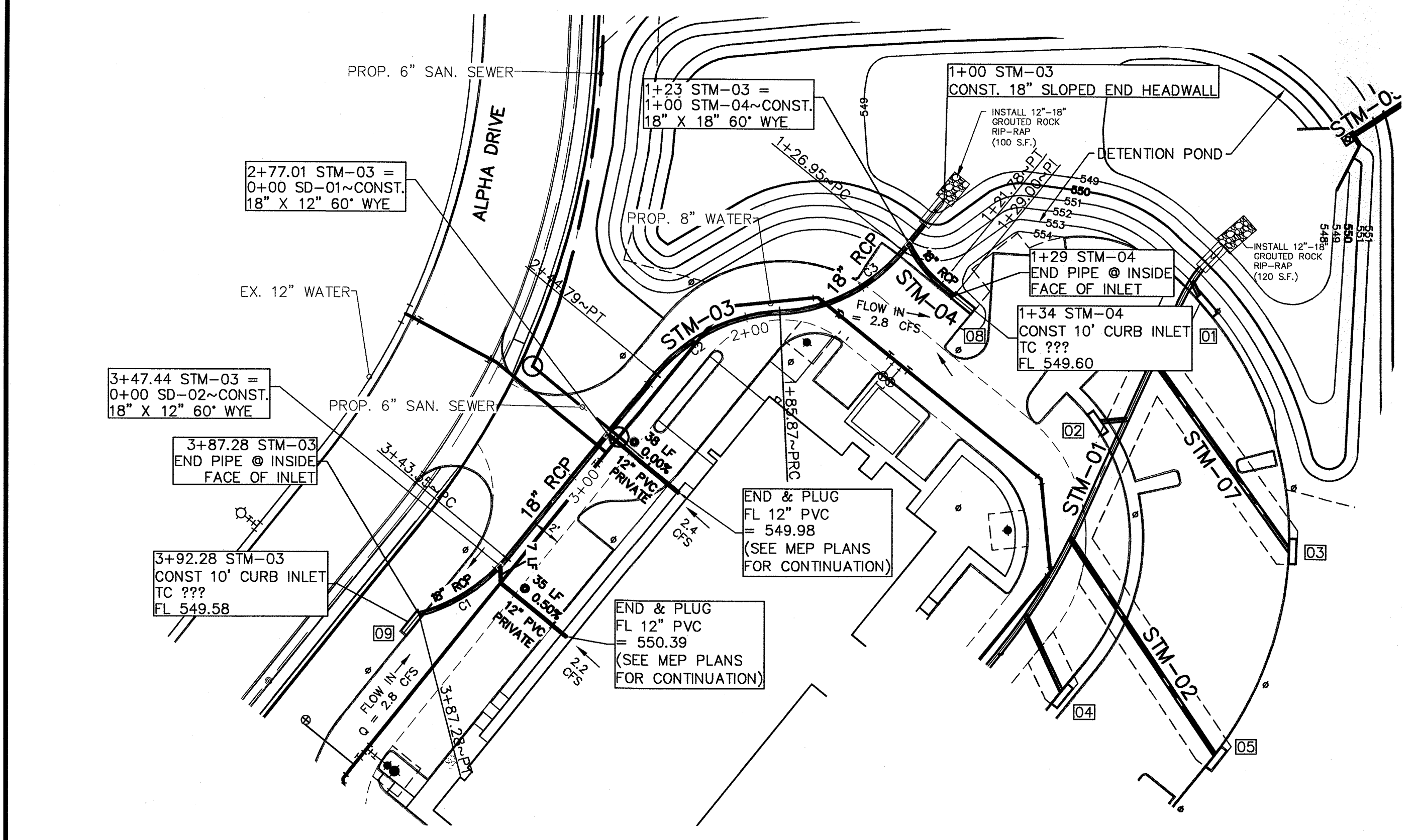
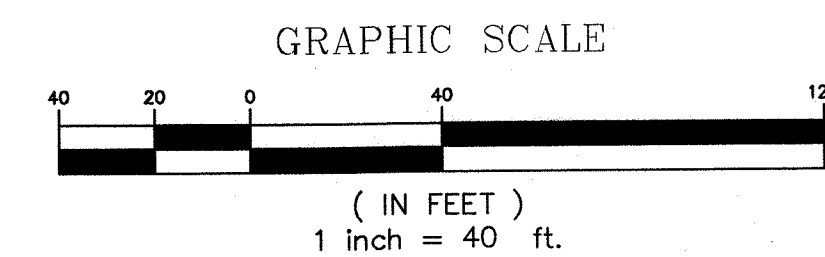
MEP Engineering
Tellos Corporation
12946 Dairy Ashford, Suite 130 Sugar Land, Texas 77478

Structural Engineering
ASA Dally Structural Engineers
9800 Richmond Ave., Suite 460 Houston, Texas 77042

Landscape Architect
Studio 13 Design Group
519 Bennett Lane, Suite 203 Lewisville, TX 75057

Civil Engineering
DOWDEY, ANDERSON & ASSOCIATES, INC.
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Phone 972.931.0694 Fax 972.931.8538
STATE REGISTRATION NUMBER: F-399

CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	35°56'11"	70.03'	22.71'	43.92'	S57°32'55"W 43.21'
C2	48°13'40"	70.00'	31.33'	58.92'	S63°10'04"W 57.20'
C3	48°13'40"	70.00'	31.33'	58.92'	S63°10'04"W 57.20'



BENCHMARKS:

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RECORD DRAWINGS JANUARY 20, 2014

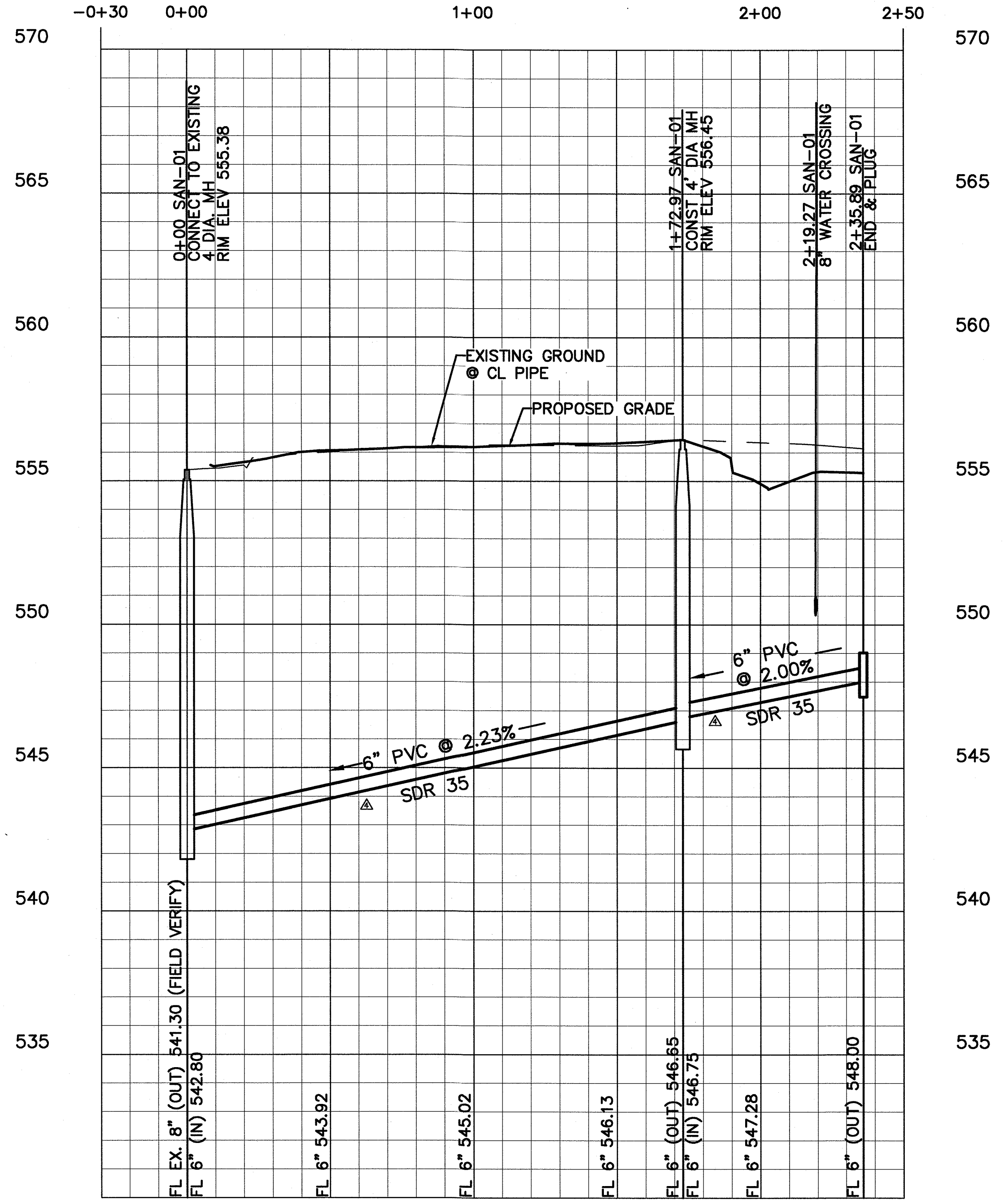
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- Civil Engineering
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5225 Village Creek Drive, Suite 200 Plano, Texas 75093
Phone 972.931.6894 Fax 972.931.9538
STATE REGISTRATION NUMBER: F-399

No.	Date	Description
1	10/31/2012	ISSUED FOR REVIEW
2	11/13/2012	ISSUED FOR REVIEW
3	11/16/2012	ISSUED FOR REVIEW
4	01/30/2013	PR 01
5	01/20/2014	RECORD DRAWINGS

PRIVATE SAN-01



NOTE:
PRIVATE SANITARY SEWER LINE TO BE MAINTAINED BY PROPERTY OWNER.

BENCHMARKS:
CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 8D NAIL WITH SHINER IN POWER POLE.
ELEVATION = 529.23' (FIELD) HOLD* 529.23' (RECORD)
CITY OF ROCKWALL MONUMENT R005: BRASS DISK IN CONCRETE IN GRASS MEDIAN AT INTERSECTION OF FARM TO MARKET ROAD NO. 740 (RIDGE ROAD) AND SUMMIT RIDGE DRIVE, APPROXIMATELY 14' NORTHWEST OF A FIRE HYDRANT AND APPROXIMATELY 10' WEST OF A STREET SIGN.
ELEVATION = 578.71'(RECORD) 578.63' (FIELD)

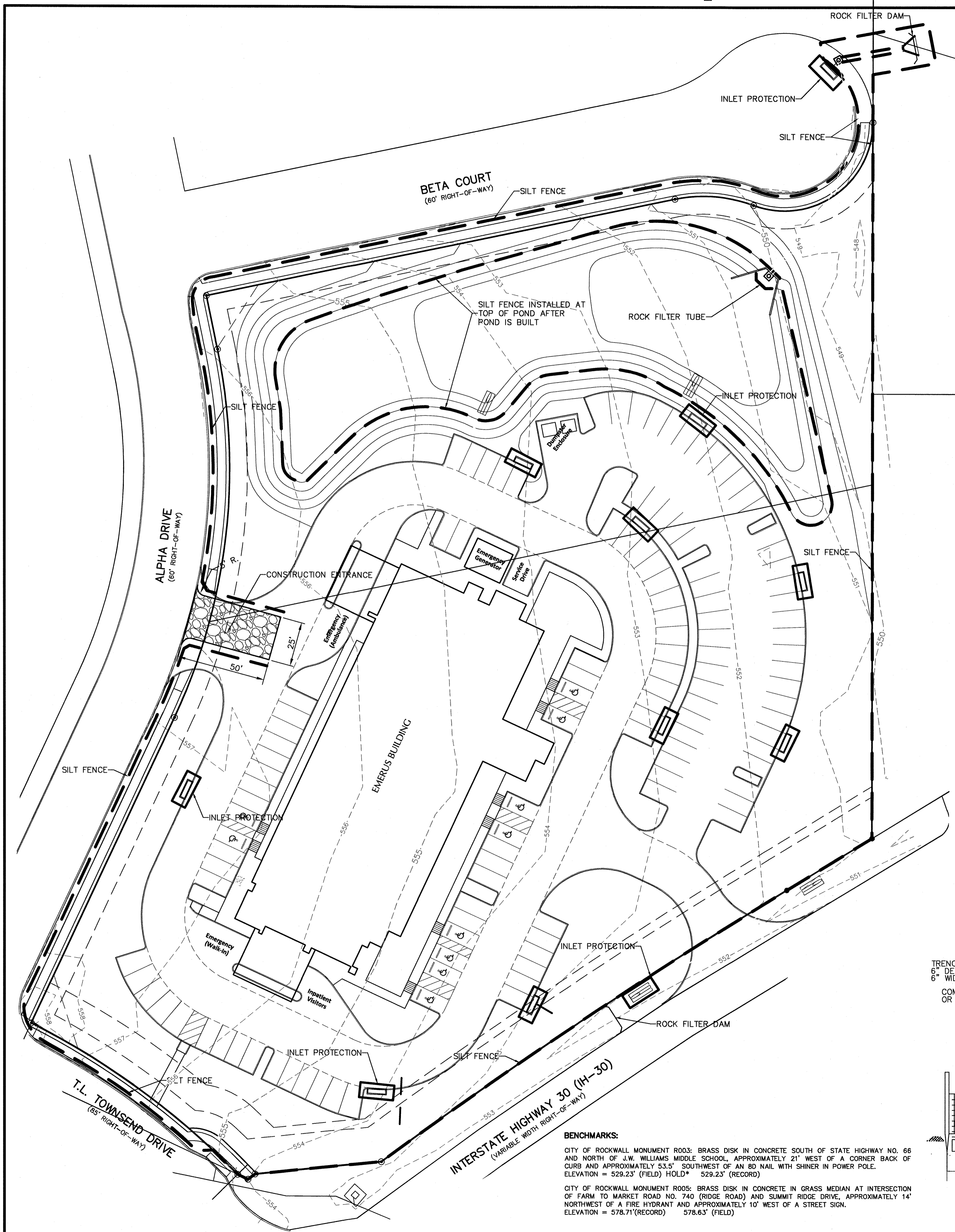
RECORD DRAWINGS JANUARY 20, 2014
NOTE: THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THE IMPROVEMENTS ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF ROCKWALL. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED ON THE PLANS.

Emerus Emergency Hospital - Rockwall

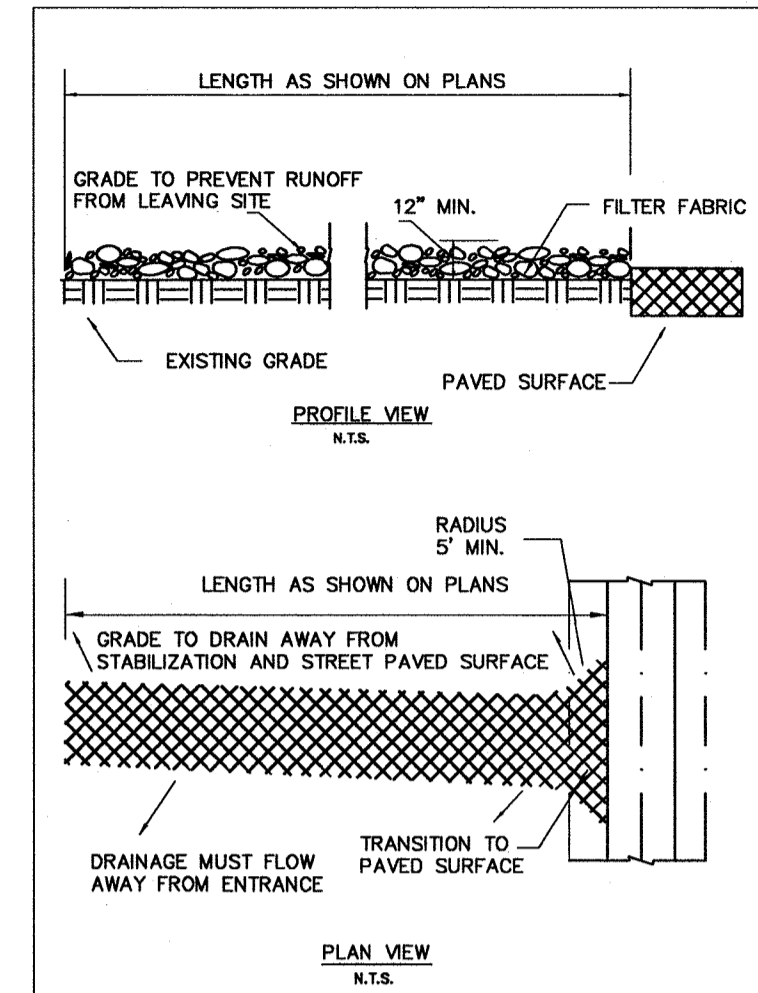
EMERUS
ADVANCED EMERGENCY CARE

Interstate Highway 30 and T.L. Townsend Drive
Rockwall, TX 75087

Sanitary Sewer Profile



RECORD DRAWINGS **JANUARY 20, 2014**
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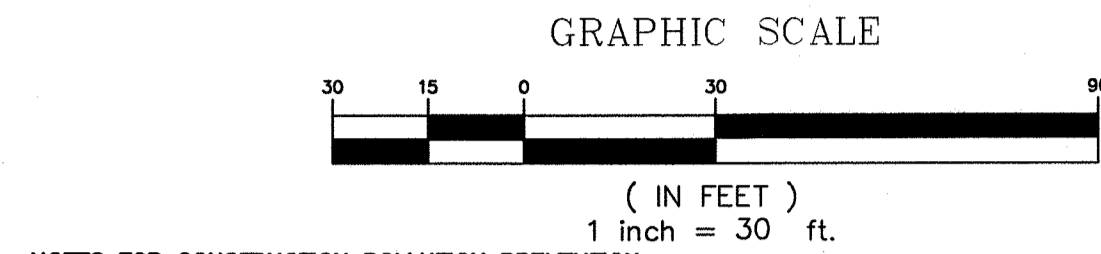
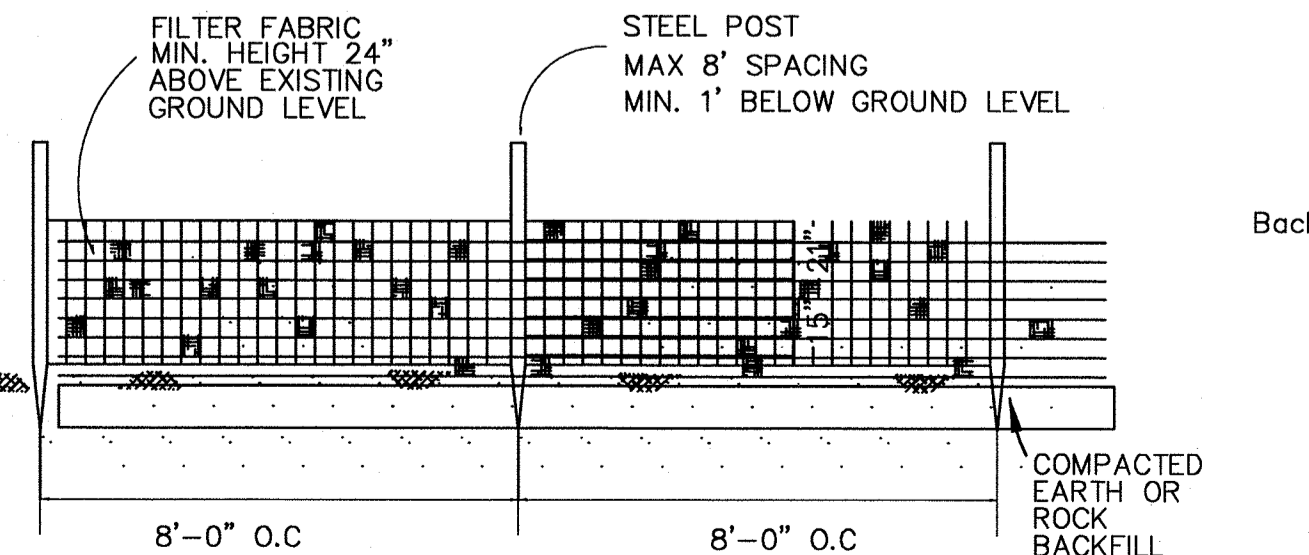
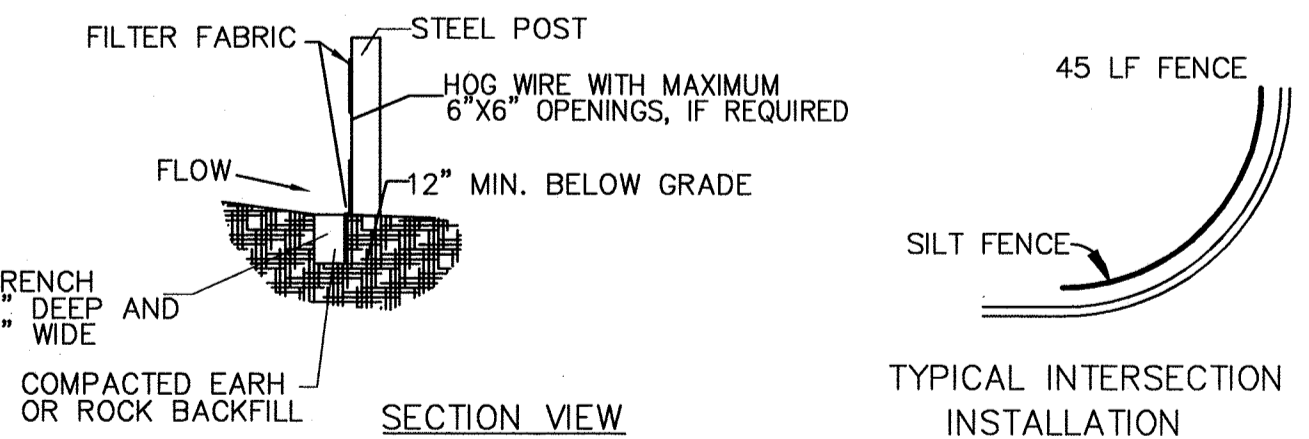
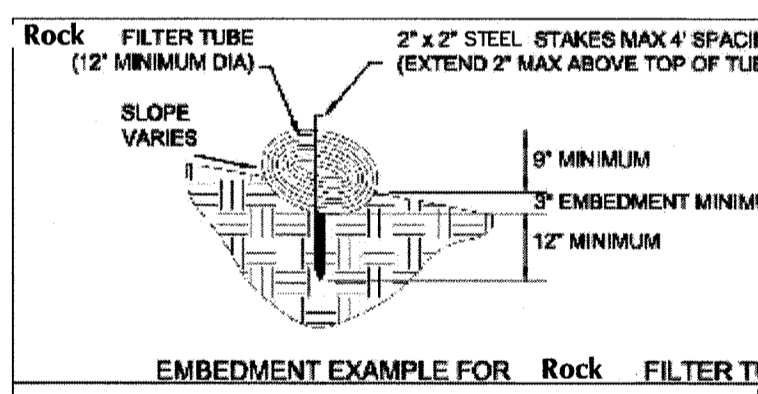
STABILIZED CONSTRUCTION	02270.0
ENTRANCE	DEC. 02 2070 A

STABILIZED CONSTRUCTION ENTRANCE

GENERAL NOTES

- STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK. NO CRUSHED CONCRETE ALLOWED.
- LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
- THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
- THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

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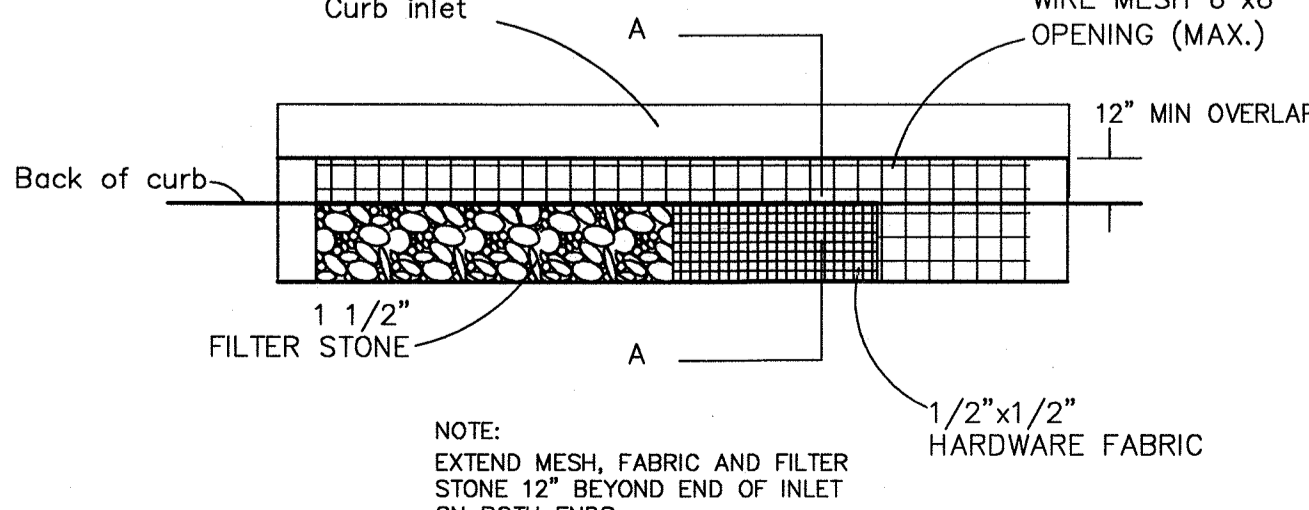
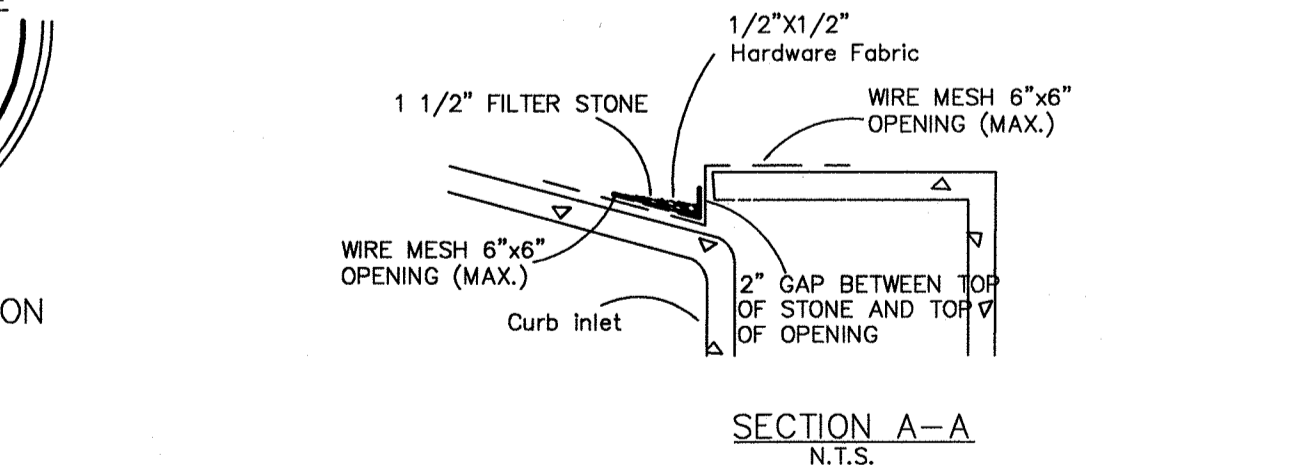


NOTES FOR CONSTRUCTION POLLUTION PREVENTION PLAN

- Type of construction will be installation of water, sanitary sewer & storm sewer, excavation of streets, excavation to build of building pad. Construction of concrete streets.
- Sequence of construction First - excavation of streets, Second installation of water, sanitary sewer & storm sewer, Third - street paving.
- Total site area = 4.194 Acres; Approximate area disturbed is 100% or 4.194 Acres. Runoff coefficient = 0.90
- No information of quality of storm water discharge. Storm water drains to Unamed Creek via City of Rockwall storm sewer facilities.
- During Utility Construction silt fence to be placed around inlets until paving of inlet tops is complete. Equivalent measures can be taken to avoid siltation into inlets and storm sewer system as approved by engineer.
- The site will be reviewed by owner or owner representative on a weekly basis and after any storm which generated 0.5" of precipitation. Any adjustments to erosion control plan will be made if needed.
- Stabilization practices may include: temporary seeding, permanent seeding, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, preservation of mature vegetation, and other appropriate measure.
- All construction to meet the requirements imposed by the Environmental Protection Agency in compliance with the Clean Water Act.
- Solid non-hazardous construction waste shall be disposed of in trash dumpsters or approved equal, in a location approved by the Operator. Potentially soluble or leachable solid waste shall be stored off the ground and in covered leak-proof containers. Site shall be policed daily for litter and debris disposal. Solid waste shall be properly disposed of off-site on a regular basis.
- Bottom and sides of pond to be either sodded or have anchored curbs prior to paving. Pond to be completely in prior to paving.
- 75-80% of all disturbed areas to have a min. 1" tall grass prior to City acceptance.
- Hazardous waste shall be segregated from non-hazardous construction site debris. Liquid or semi-liquid hazardous waste shall be stored in appropriate containers (closed drums or similar) and shall be kept under cover. Granular, soluble or leachable hazardous waste materials shall be stored off the ground and in covered leak-proof containers. Hazardous waste storage area locations shall be properly approved of by the Operator. Hazardous waste shall be properly disposed of off-site on a regular basis by a reputable, licensed hazardous waste hauler. Note: It is not the intent of this Erosion Control Plan to supersede or replace normal site assessment and remediation procedures concerning hazardous materials. Significant spills and/or contamination warrant immediate response by trained professionals. Suspected job-site contamination should be immediately reported to regulatory authorities and protective actions taken.
- Fresh concrete waste and concrete equipment washdowns shall be contained in an area approved by the Operator. Contractor shall ensure that adequate vegetative buffer is present around concrete disposal areas.
- All waste materials shall be stored away from drainage ditches, swales and drainage structures. Where appropriate, containment beams shall be placed around waste storage areas.
- Contractor shall take appropriate measures to control dust generated during construction activities.
- Contractor shall construct appropriate entryway to prohibit the tracking of dirt and debris off-site.
- A centrally located port-a-pot shall be placed and maintained on the project site at all times during construction activities.
- Equipment maintenance, repair and washdowns shall be performed off-site or in locations approved by Operator.

ALLOWABLE NON-STORM WATER DISCHARGES

- Discharges from fire fighting activities.
- Fire hydrant flushings.
- Water used to wash vehicles or control dust.
- Potable water sources (including waterline flushings).
- Uncontaminated ground water (including dewatering groundwater infiltration).
- Foundation of footing drains where flows are not contaminated with process materials such as solvents.
- Springs, Riparian Habitats, wetlands and uncontaminated groundwater.
- Irrigation water.
- Exterior building wash down without detergents.
- Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spill material has been removed) and where detergents are not used.
- Air conditioning condensate.



NOTE: EXTEND MESH, FABRIC AND FILTER STONE 12" BEYOND END OF INLET ON BOTH ENDS.

INLET EROSION PROTECTION
PLAN VIEW
 N.T.S.

BENCHMARKS:
 CITY OF ROCKWALL MONUMENT R003: BRASS DISK IN CONCRETE SOUTH OF STATE HIGHWAY NO. 66 AND NORTH OF J.W. WILLIAMS MIDDLE SCHOOL, APPROXIMATELY 21' WEST OF A CORNER BACK OF CURB AND APPROXIMATELY 53.5' SOUTHWEST OF AN 80 NAIL WITH SHINER IN POWER POLE. ELEVATION = 529.23' (FIELD) 529.23' (RECORD)
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Telios Corporation
 12946 Daly Ashford, Suite 130 Sugar Land, Texas 77478
Structural Engineering
ASA Dally Structural Engineers
 9800 Richmond Ave., Suite 460 Houston, Texas 77042
Landscape Architect
Studio 13 Design Group
 519 Bennett Lane, Suite 203 Lewisville, TX 75057
Civil Engineering

DOWDEY, ANDERSON & ASSOCIATES, INC.
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093
 Phone 972.931.0694 Fax 972.931.9538
 STATE REGISTRATION NUMBER: F-399

No.	Date	Description
1	9/28/2012	ISSUED FOR REVIEW
2	10/31/2012	ISSUED FOR REVIEW
3	11/13/2012	ISSUED FOR REVIEW
4	11/16/2012	ISSUED FOR REVIEW
5	01/30/2013	PR 01
6	01/20/2014	RECORD DRAWING

Emerus Emergency Hospital - Rockwall



Interstate Highway 30 and T.L. Townsend Drive
 Rockwall, TX 75087

Erosion Control Plan

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