

0 20 40  
SCALE IN FEET

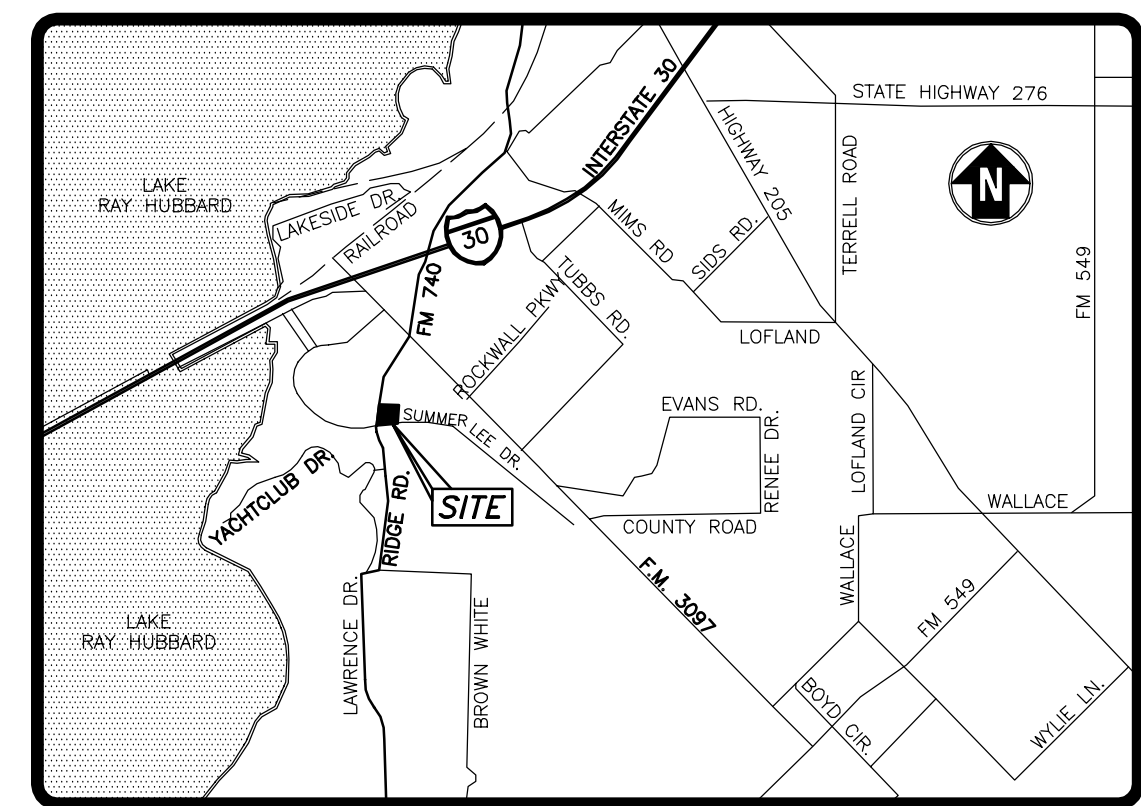
LOT 1 - BLOCK A  
ROCKWALL ASSISTED LIVING ADDITION  
CAB. "D", PG. 88

RIDGE ROAD  
80' ROW

LOT 13  
BLOCK A  
HORIZON RIDGE ADDITION  
CABINET E, SLIDE 325 PRRCT

SUMMER LEE DR.  
65' ROW

LOT 1  
BLOCK A  
RIDGE/SUMMER LEE ADDITION  
CABINET H, SLIDE 231 PRRCT



VICINITY MAP  
NO SCALE

**\*\*CAUTION-NOTICE TO CONTRACTOR\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY TWO WORKING DAYS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**NOTE:**

ALL SIGNS (MONUMENT AND CIRCULATION) WILL BE PERMITTED SEPARATELY.

**PARKING REQUIRED**

1 SPACE PER 250 SF FLOOR SPACE

DUNKIN DONUTS = 2094 SF/250 SF = 8.38 SPACES  
OTHER RETAIL = 4993 SF/250 SF = 19.97 SPACES

**PARKING PROVIDED**

ON-SITE PARKING = 40 SPACES

**SITE DATA**

TOTAL SITE SIZE = 40,696 SF OR 0.9343 ACRES

TOTAL IMPERVIOUS AREA = 31,423 SF OR 0.721 ACRES

TOTAL LANDSCAPE / OPEN AREA = 9273 SF OR 0.213 ACRES

PERCENT IMPERVIOUS = 77.21%

PERCENT LANDSCAPE / OPEN AREA = 22.79%

**LANDSCAPE**

TOTAL REQUIRED IS 15%

TOTAL PROVIDED IS ±23%

REQUIRED LANDSCAPE BUFFER = 20' WIDE ON RIDGE ROAD

REQUIRED LANDSCAPE BUFFER = 10' WIDE ON SUMMER LEE DR.

**LEGEND**

- PROPERTY BOUNDARY
- FL-FL-FL- FIRE LANE
- TL-TL-TL- TEMPORARY FIRE LANE
- [Hatched Box] LANDSCAPE BUFFER
- [Hatched Box] CROSSWALK
- [Dashed Box] TYPICAL SIDEWALK
- [Numbered Box] PARKING COUNT

**RECORD DRAWINGS**  
AUGUST 27, 2014

*TO THE BEST OF OUR KNOWLEDGE, CARNEY ENGINEERING, PLLC, HEREBY, STATES THAT THESE PLANS ARE AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.*

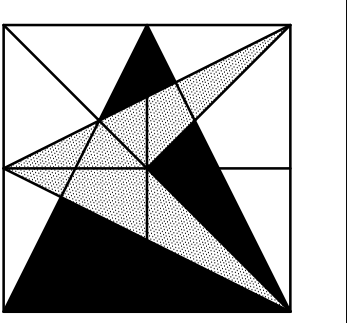
**Note:**  
Install per the Manufacturer's Specifications - Section 02834 (32 32 23) - Modular Concrete Retaining Wall.  
Final Design of Retaining Wall with Guide Rail to be provided by Others

REVISIONS

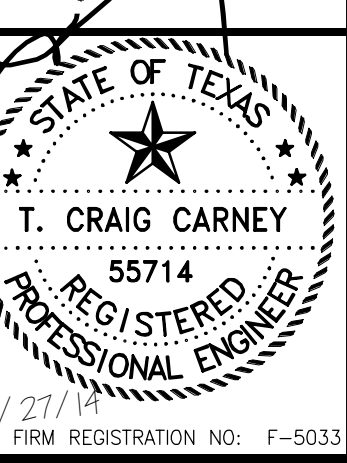
R1	10/21/13	REVISIONS PER CITY COMMENTS
R2	01/10/14	REVISION TO DETENTION SYSTEM
R3	06/23/14	FLUSH CURB ADDED
R4	07/21/14	REVISED PAVED AREA FOR JESSE WALES
R5	08/27/14	RECORD AS-BUILT DRAWINGS

**DUNKIN' DONUTS & RETAIL SPACE**  
**RIDGE ROAD & SUMMER LEE DR.**  
**ROCKWALL, TEXAS**

**SITE PLAN**



**CARNEY ENGINEERING COMPANY**  
4608 Hinton Dr.  
Plano, Texas 75024  
PH (469) 443-0861  
FAX (469) 443-0863



08/27/14  
TCEP FIRM REGISTRATION NO. F-5033

DRAWN BY: GWM  
CHECKED BY: T.C.G.  
START DATE: MAY 2013  
SCALE: AS SHOWN  
PROJECT NO. 24437-1015

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