

# CORNERSTONE COMMUNITY CHURCH

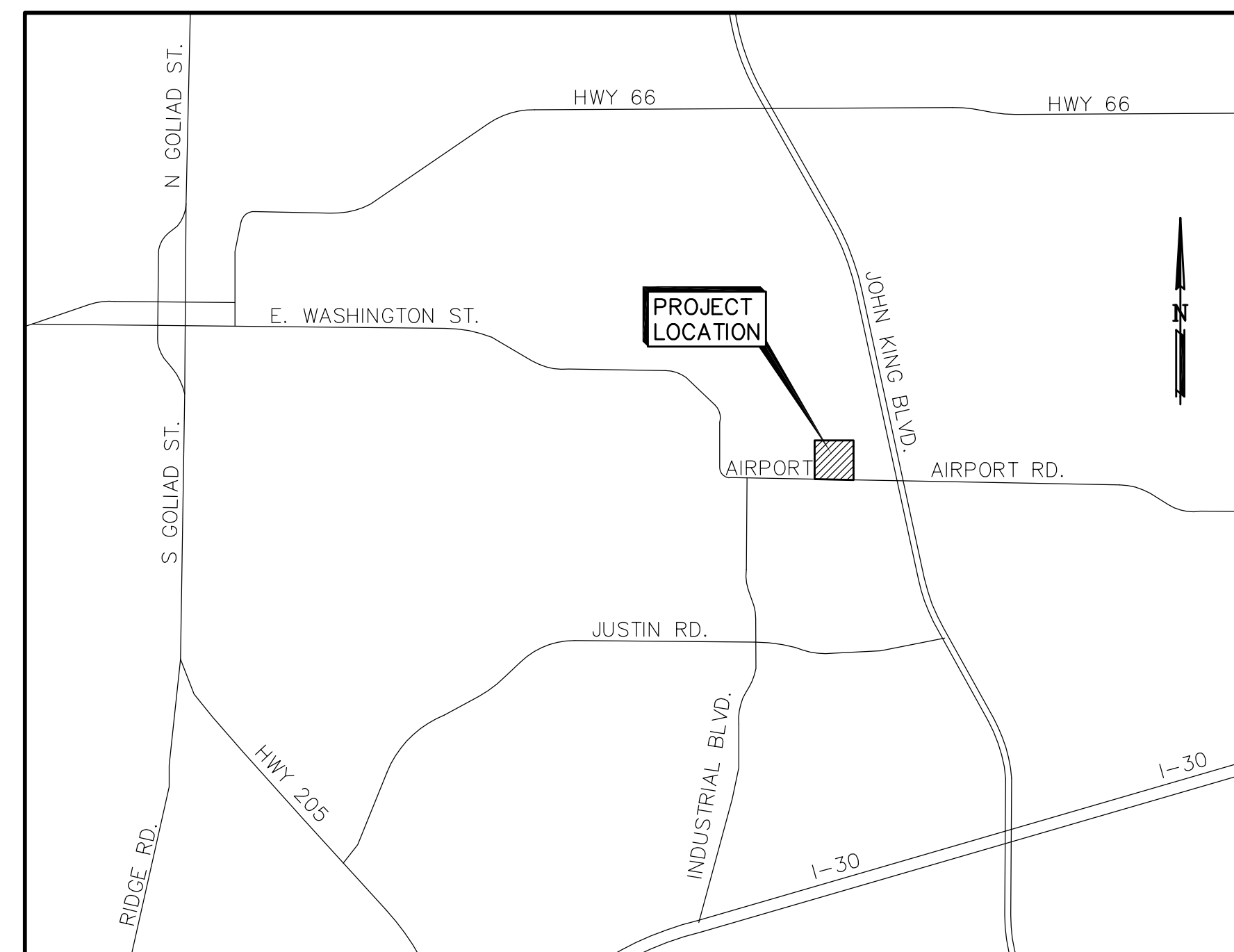
## CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A

1565 AIRPORT ROAD  
ROCKWALL, TEXAS 75087

### CONSTRUCTION PLANS FEBRUARY 2018

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S201	RETAINING WALL DETAILS (BY OTHERS)
A0	RETAINING WALL CONCRETE STAMPING (BY OTHERS)



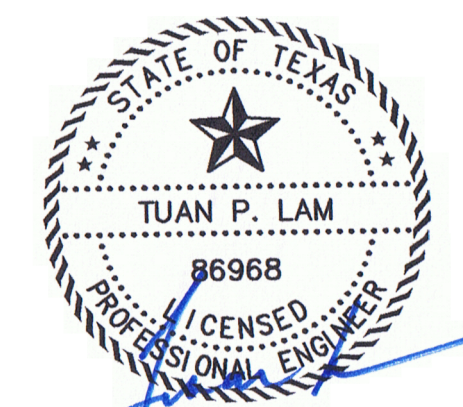
VICINITY MAP  
N.T.S.

USE DETAILS AS OUTLINED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.

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#### AS-BUILT PLANS

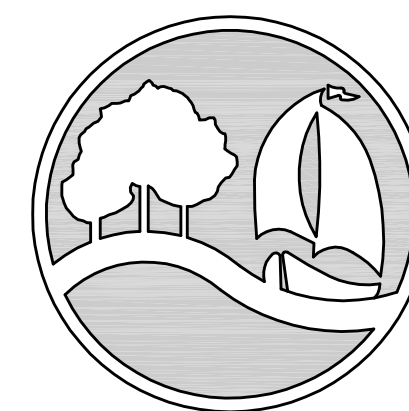
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4/3/2020



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NOTE:  
CITY OF ROCKWALL ENGINEERING DEPARTMENT LATEST STANDARD DETAILS AND NCTCOG 4TH EDITION SHALL BE USED FOR CONSTRUCTION OF THIS PROJECT UNLESS OTHERWISE NOTED WITHIN THESE PLANS. THE CONTRACTOR SHALL OBTAIN THE STANDARD DETAIL BOOK FROM THE CITY'S ENGINEERING DEPARTMENT.

CORNERSTONE COMMUNITY CHURCH  
1950 ALPHA DRIVE  
ROCKWALL, TEXAS 75087  
(214) 771-4140



City of Rockwall  
The New Horizon

PREPARED BY :

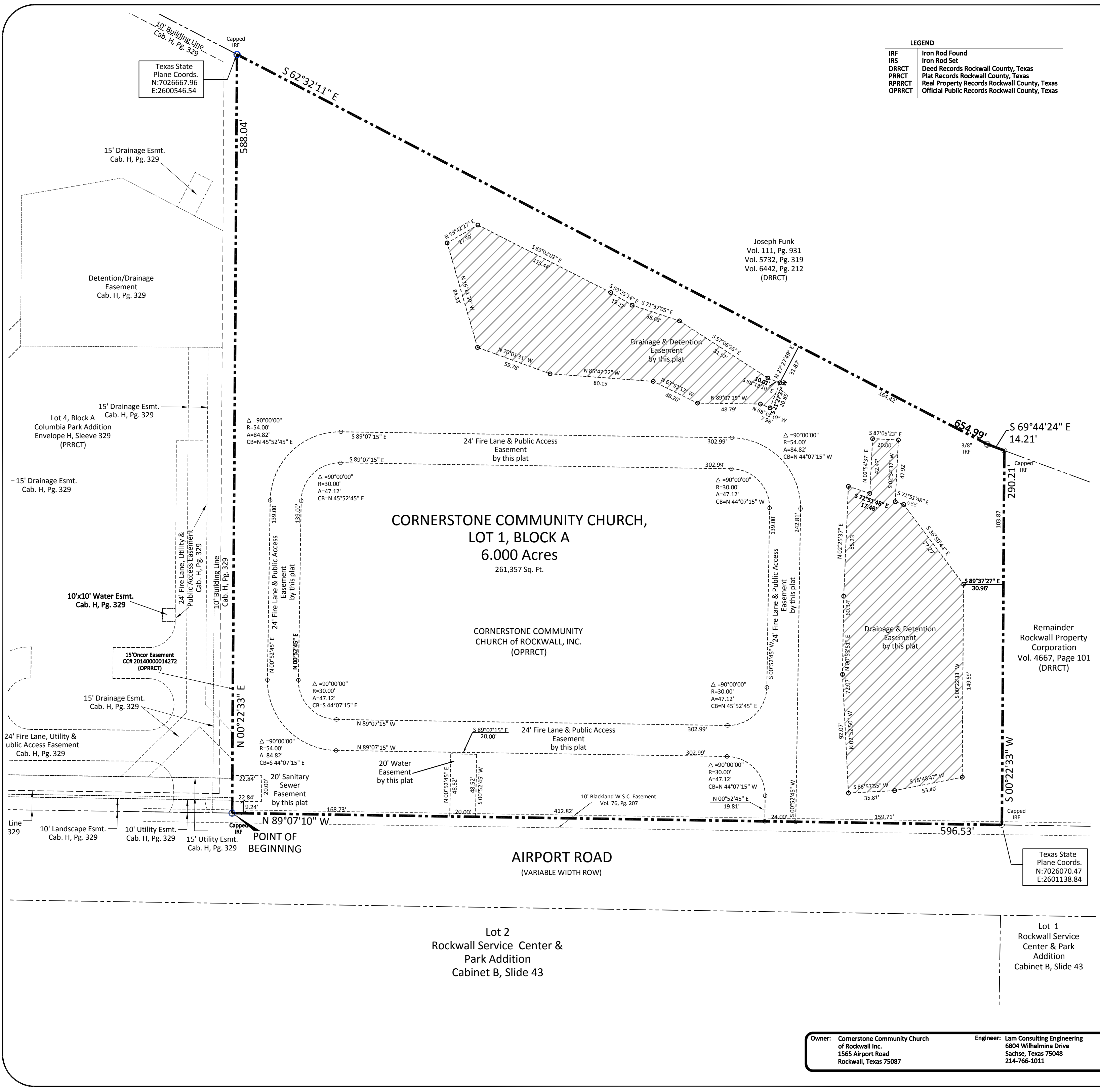
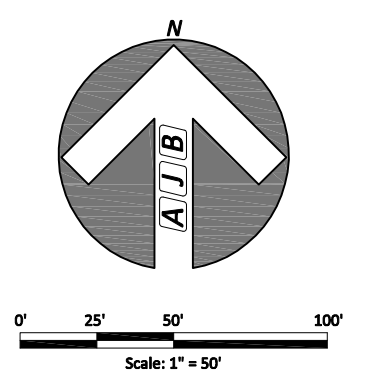
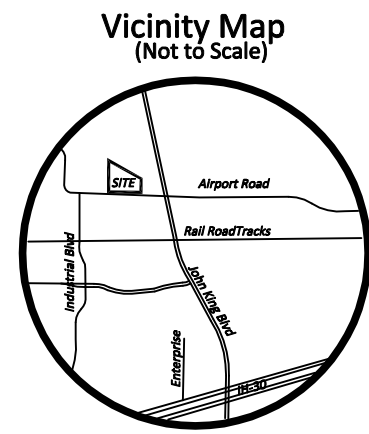
LAM CONSULTING ENGINEERING  
6804 WILHELMINA DRIVE  
SACHSE, TEXAS 75048  
(214) 766-1011  
www.lamcivil.com  
Firm# F-9763

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**LEGEND**

IRF	Iron Rod Found
IRS	Iron Rod Set
DRRCT	Deed Records Rockwall County, Texas
PRRCT	Plat Records Rockwall County, Texas
RPRRCT	Real Property Records Rockwall County, Texas
OPRCT	Official Public Records Rockwall County, Texas



CASE NO. P2018-017

**FINAL PLAT**  
**CORNERSTONE COMMUNITY CHURCH ADDITION**  
**LOT 1, BLOCK A**  
 BEING A 6.00-ACRE PARCEL OF LAND IDENTIFIED AS TRACT 4-07  
 OF THE N. BUTLER SURVEY, ABSTRACT NO. 20  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Scale: 1" = 50'	Checked By: A.J. Bedford
Date: June 8, 2018	P.C.: Cryer/Spradling
Technician: Spradling/Bedford	File: CHURCH PLAT 2018-06-08
Drawn By: Spradling/Bedford	Job No. 439-069
	GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087  
 (972) 722-0225 - www.ajbedfordgroup.com - ajb@ajbedfordgroup.com

**Owner:** Cornerstone Community Church of Rockwall Inc.  
 1565 Airport Road  
 Rockwall, Texas 75087

**Engineer:** Lam Consulting Engineering  
 6804 Wilhelmina Drive  
 Sachse, Texas 75048  
 214-766-1011

Sheet:  
 1  
 Of: 2



N:\ALL FILES\CROSS-439\ROCKWALL\CORNERSTONE CHURCH\2017\plating\CHURCH PLAT 2018-07-12.dwg, CHURCH FP, 7/12/2018 3:34:27 PM

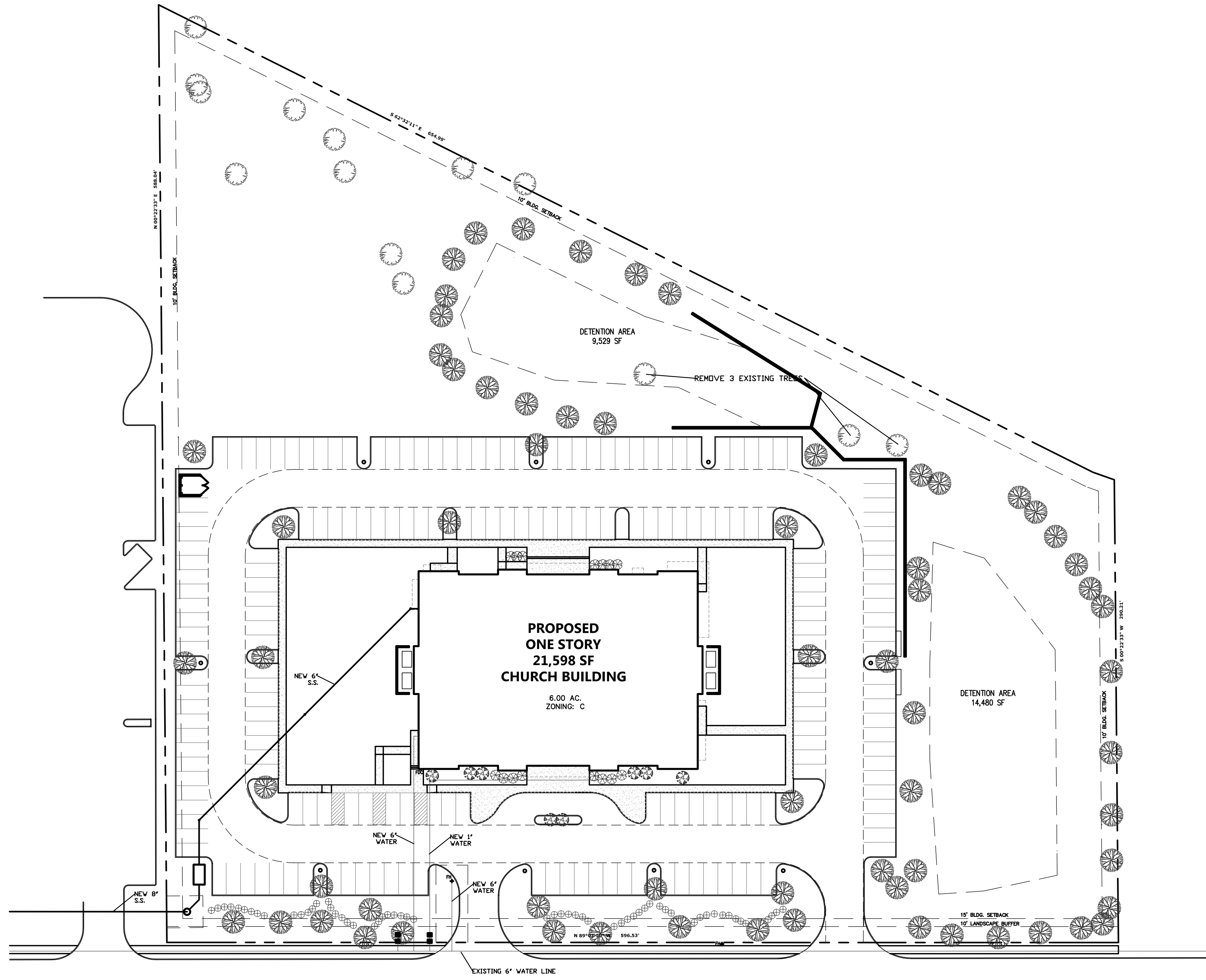




- EXISTING CEDAR AND HACKBERRY
  - LIVE OAKS (61)  
INSTALLED WITH A MIN. 4" CALIPER
  - RED BUD (2)  
4' HIGH @ INSTALLATION
  - INDIAN HAWTHORNE (23)  
PARKING SCREEN  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
  - BOXWOOD BUSH (58)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.
- IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
- CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
- TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.
- THERE IS NO TREE MITIGATION REQUIRED FOR THIS PROPERTY

ABSTRACT NO. 20 -N. BUTLER SURVEY

- ZONING: C -COMERCIAL
- PROPOSED USE: CHURCH
- PROPERTY AREA (GROSS): 261,357.0 SF 6.0 AC
- BUILDING AREA: 21,598 SF
- BUILDING HEIGHT: SINGLE STORY - 37'-0"
- LOT COVERAGE: 8.3% F.A.R. = 0.008:1
- PARKING REQUIRED: 3 SPACE/SEAT 592/3 = 197 SPACES REQUIRED
- HANDICAP REQUIRED 6 ACCESSIBLE IN 150-200 SPACES 6 ACCESSIBLE PROVIDED
- TOTAL PARKING PROVIDED: 198 SPACES
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 100,300 SF



		REQUIRED	PROVIDED
1.	STREET TREES 1 CANDOPY PER 50'	12	12
2.	SITE TREES - ONE TREE W/ A CALIPER OF AT LEAST 2" FOR EACH 20,000 SF OF PARKING. 1 PER EVERY TEN REQ. PARKING SPACES	20	20
3.	LANDSCAPE BUFFER	10'	10'
4.	SCREENING OF OFF STREET PARKING	YES	YES
5.	DETENTION AREA 25,742 SF / 750 SF	34	34
6.	TOTAL LANDSCAPE AREA 10% REQUIRED	39,204 SF	161,057 SF

**CORNERSTONE**  
BEING A 6.0 AC. TRACT OF LAND SITUATED IN THE N. BUTLER SURVEY, ABSTRACT NO. 20 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
ADDRESS 1565 AIRPORT ROAD

**OWNER  
CORNERSTONE CHURCH**  
1950 ALPHA DRIVE  
ROCKWALL, TEXAS 75087  
214-771-4140  
CASE # (SP2017-025)

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

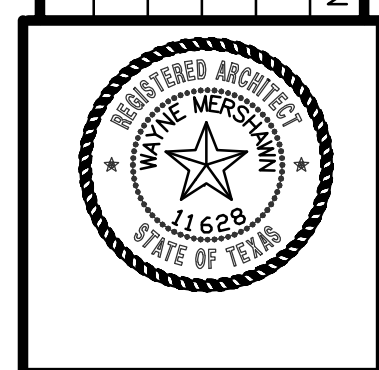
RESIDENTIAL RESTAURANTS  
INSTITUTIONAL  
**ARCHITECTS**

MEDICAL COMMERCIAL  
CHURCHES  
**MERSHAWN**

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302  
FAX: 972-249-2051

No.	Date	By	Revision



**CORNERSTONE COMMUNITY CHURCH**  
ROCKWALL, TEXAS

**LANDSCAPE PLAN**

Scale: 1" = 40'-0"

Date: 08/24/17

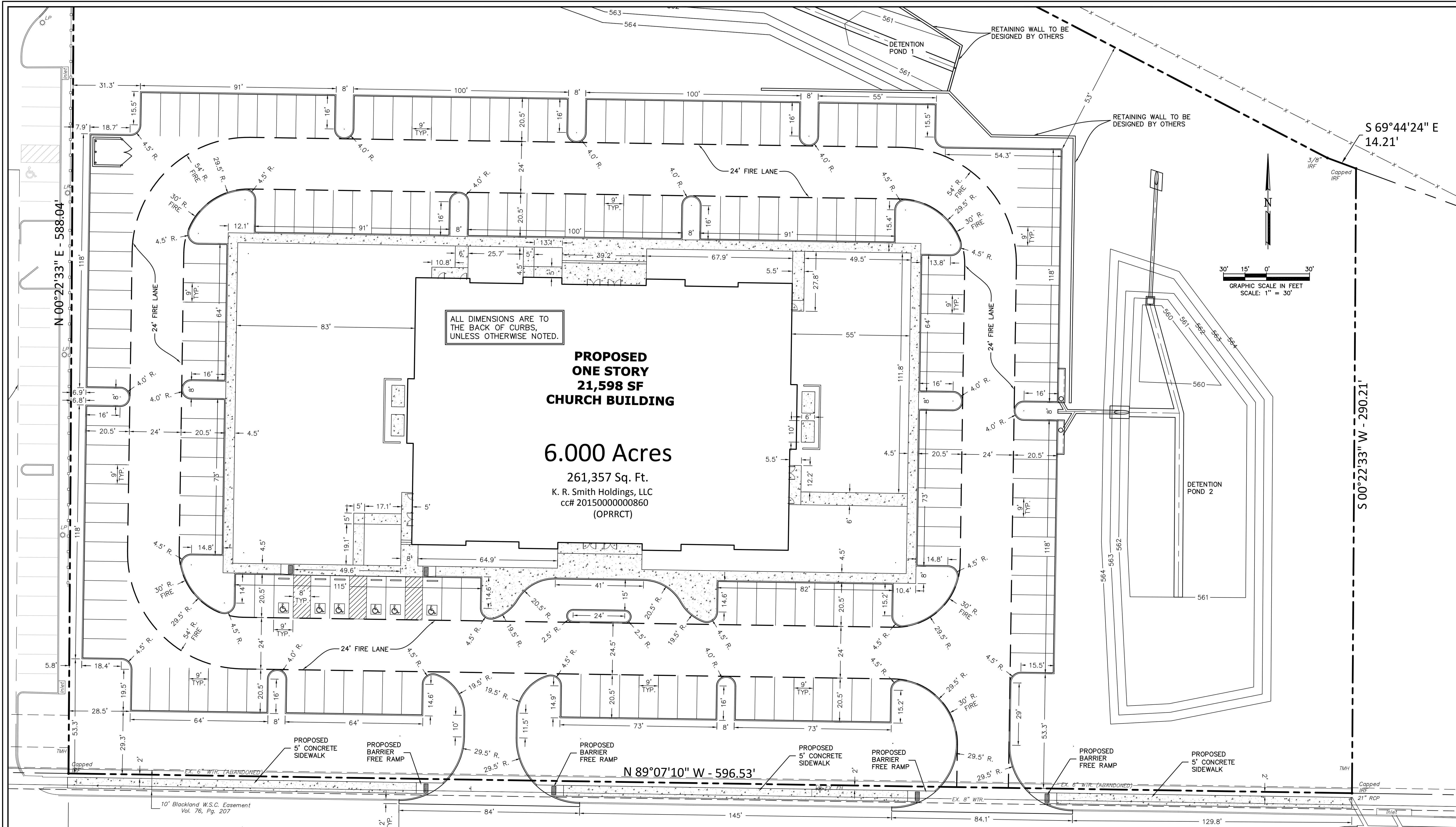
Project No.: 170201

Designed: GW

Drawn: GW

Checked: WM

SHEET  
**L1** OF  
**1**



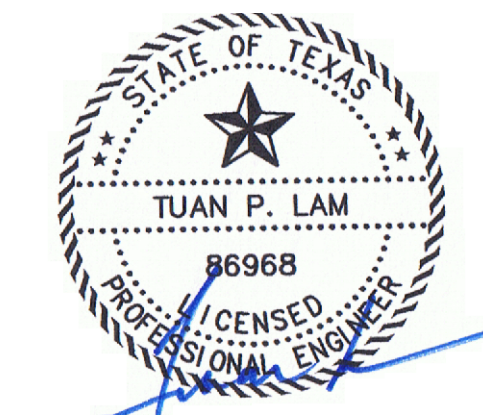
ALL DIMENSIONS ARE TO THE BACK OF CURBS, UNLESS OTHERWISE NOTED.

**PROPOSED ONE STORY CHURCH BUILDING**

**21,598 SF**  
**6.000 Acres**  
 261,357 Sq. Ft.  
 K. R. Smith Holdings, LLC  
 cc# 20150000000860 (OPRRCT)

**AIRPORT ROAD**  
 (VARIABLE WIDTH ROW)

**AS-BUILT PLANS**  
 TO THE BEST OF OUR KNOWLEDGE LAM CONSULTING ENGINEERING, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON THE OWNER SURVEYOR SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. 4/3/2020



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**DIMENSIONAL CONTROL PLAN**  
 CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A  
 CORNERSTONE COMMUNITY CHURCH  
 1565 AIRPORT ROAD  
 ROCKWALL, TEXAS 75087

**LAM CONSULTING ENGINEERING**  
 6804 WILHELMINA DRIVE  
 SACHSE, TEXAS 75048  
 Phone (214) 766-1011  
 www.lamcivil.com  
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17

2 of 10

**BENCH MARK:**  
CITY OF ROCKWALL, TEXAS CONTROL MONUMENTATION,  
MONUMENT R016 LOCATED SOUTH OF AIRPORT ROAD  
AT THE CITY SERVICE CENTER.  
ELEVATION = 558.719

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LOT AREA = 261,357 Sq. Ft. ~ 6.00 AC.  
DISTURBED AREA = 210,255 Sq. Ft. ~ 4.827 AC.

20' 10' 0' 20'  
GRAPHIC SCALE IN FEET  
SCALE: 1" = 20'

**GRADING NOTES:**

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S PLANS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN AND APPROVED BY THE CITY AND NCTCOG 4TH EDITION.
2. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
4. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
5. GEOTECH REPORT TO BE PROVIDED BY OTHERS. ALL RECOMMENDATIONS CONTAINED WITHIN GEOTECHNICAL REPORT SHALL BE FOLLOWED IN THE CONSTRUCTION OF THIS PROJECT. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
6. THE SUBGRADE IN AREAS TO BE FILLED SHOULD BE STRIPPED OF VEGETATION AND ANY MAJOR ROOT SYSTEMS. IT SHOULD THEN BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT PUMPING AREAS SHOULD BE UNDERCUT AND PROPERLY BACKFILLED. THE SUBGRADE SHOULD THEN BE SCARIFIED TO A MINIMUM +2 PERCENTAGE POINTS ABOVE THE SOIL'S OPTIMUM MOISTURE DETERMINED BY THAT TEST.
7. ALL BACKFILL SHALL BE COMPACTED TO 95% PROCTOR DENSITY. BACKFILL SHOULD BE STRIPPED OF VEGETATION AND ANY MAJOR ROOT SYSTEMS. IT SHOULD THEN BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT PUMPING AREAS SHOULD BE UNDERCUT AND PROPERLY BACKFILLED. THE BACKFILL SHOULD THEN BE SCARIFIED TO A MINIMUM +2 PERCENTAGE POINTS ABOVE THE SOIL'S OPTIMUM MOISTURE DETERMINED BY THAT TEST. THE FILL MATERIALS SHOULD THEN BE SPREAD IN LOOSE LIFTS, LESS THAN 8 INCHES THICK, AND UNIFORMLY COMPACTED TO THE SAME CRITERIA. IF FILLING IS SUSPENDED AND THE SUBGRADE BECOMES DESICCATED OR RUTTED, IT SHOULD BE REWORKED PRIOR TO PLACEMENT OF A SUBSEQUENT LIFT. ALL FILL TO BE COMPACTED USING A SHEEP FOOT ROLLER.
8. COMPACTION TEST SHALL BE DONE FOR EACH 8" OF FILL, BUT NOT LESS THAN ONE TEST FOR EVERY CUBIC YARDS, OR MORE FREQUENTLY IF REQUIRED BY THE SOILS ENGINEER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR THE INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE SOILS REPORT.
10. ALL PROPOSED SPOT SHOTS ARE TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
11. ALL DISTURBED AREAS SHALL BE STABILIZED WITH BROADCAST SEED AND FERTILIZER UPON COMPLETION OF GRADING AND PAVING. CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO ESTABLISH PERMANENT VEGETATION. 75%-80% OF ALL DISTURBED AREA TO HAVE 1" TALL ESTABLISHED GRASS PRIOR TO ENGINEERING ACCEPTANCE. ALL RIGHT-OF-WAYS TO BE SODDED.
12. DETENTION TO BE COMPLETELY INSTALLED AND FUNCTIONAL PRIOR TO ANY PAVING/CONCRETE BEING INSTALLED. BOTTOM AND SIDES ON DETENTION POND TO EITHER HAVE SOD OR ANCHORED CURLEX PRIOR TO ANY PAVING/ CONCRETE INSTALLATION.
13. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ALL EXISTING AND PROPOSED UTILITIES TO FINISHED GRADE.

**PROPOSED  
ONE STORY  
21,598 SF  
CHURCH BUILDING**

F.F.=572.50

**LEGEND**

- 450.00 FG FINISHED GRADE ELEVATION
- 450.00 TP TOP OF PAVING ELEVATION
- 450.00 TC TOP OF CURB ELEVATION
- 450.00 G GUTTER ELEVATION

**LEGEND**

- 485- EXISTING CONTOUR
- 485- PROPOSED CONTOUR
- HP PROPOSED GRADE HIGH POINT
- PROPOSED FLOW ARROW
- - - PROPOSED VALLEY GUTTER

**AS-BUILT PLANS**

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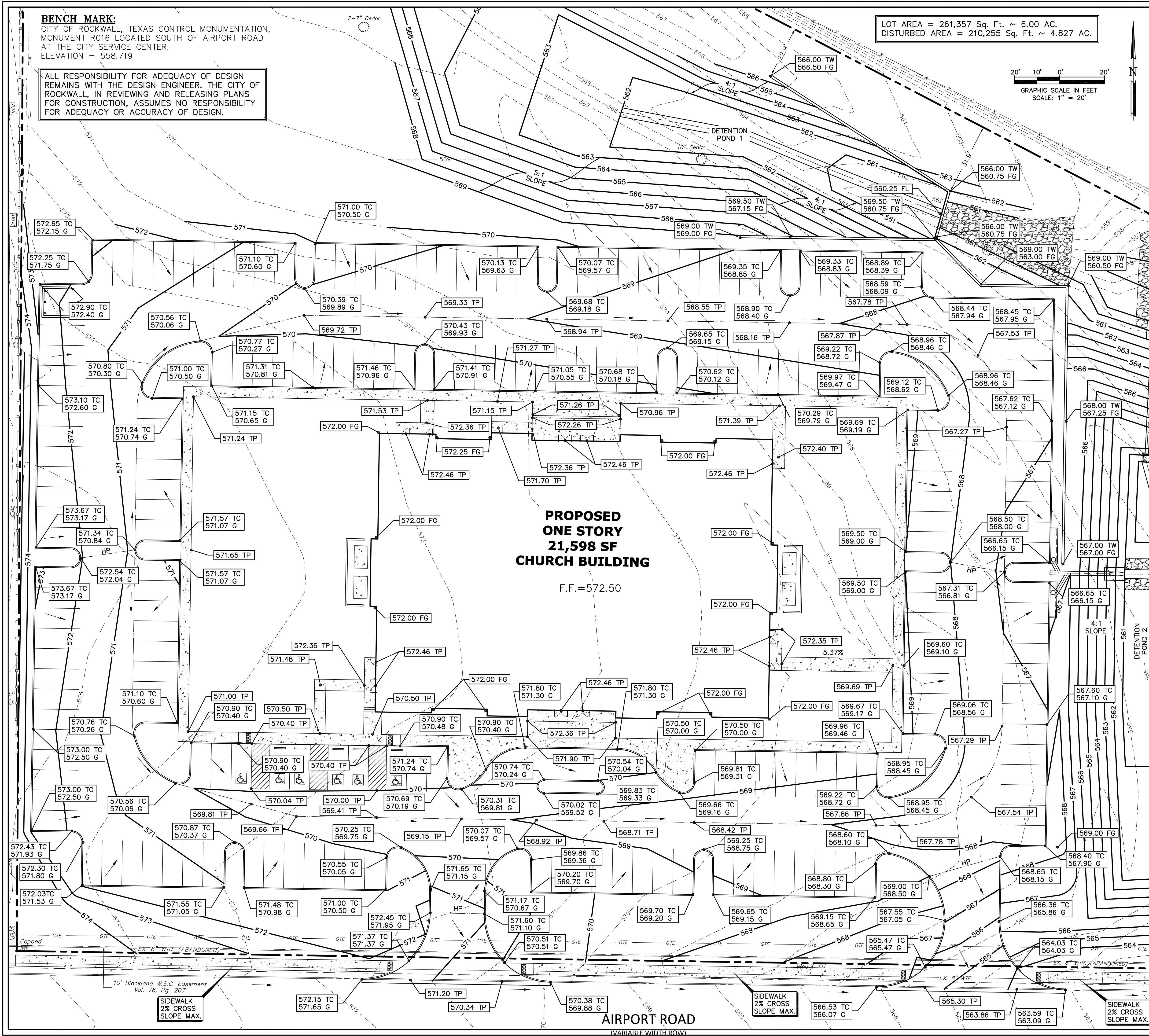
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**GRADING PLAN 1**

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CORNERSTONE COMMUNITY CHURCH  
1565 AIRPORT ROAD  
ROCKWALL, TEXAS 75087

**LAM CONSULTING ENGINEERING**  
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DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	3 of 10
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17	

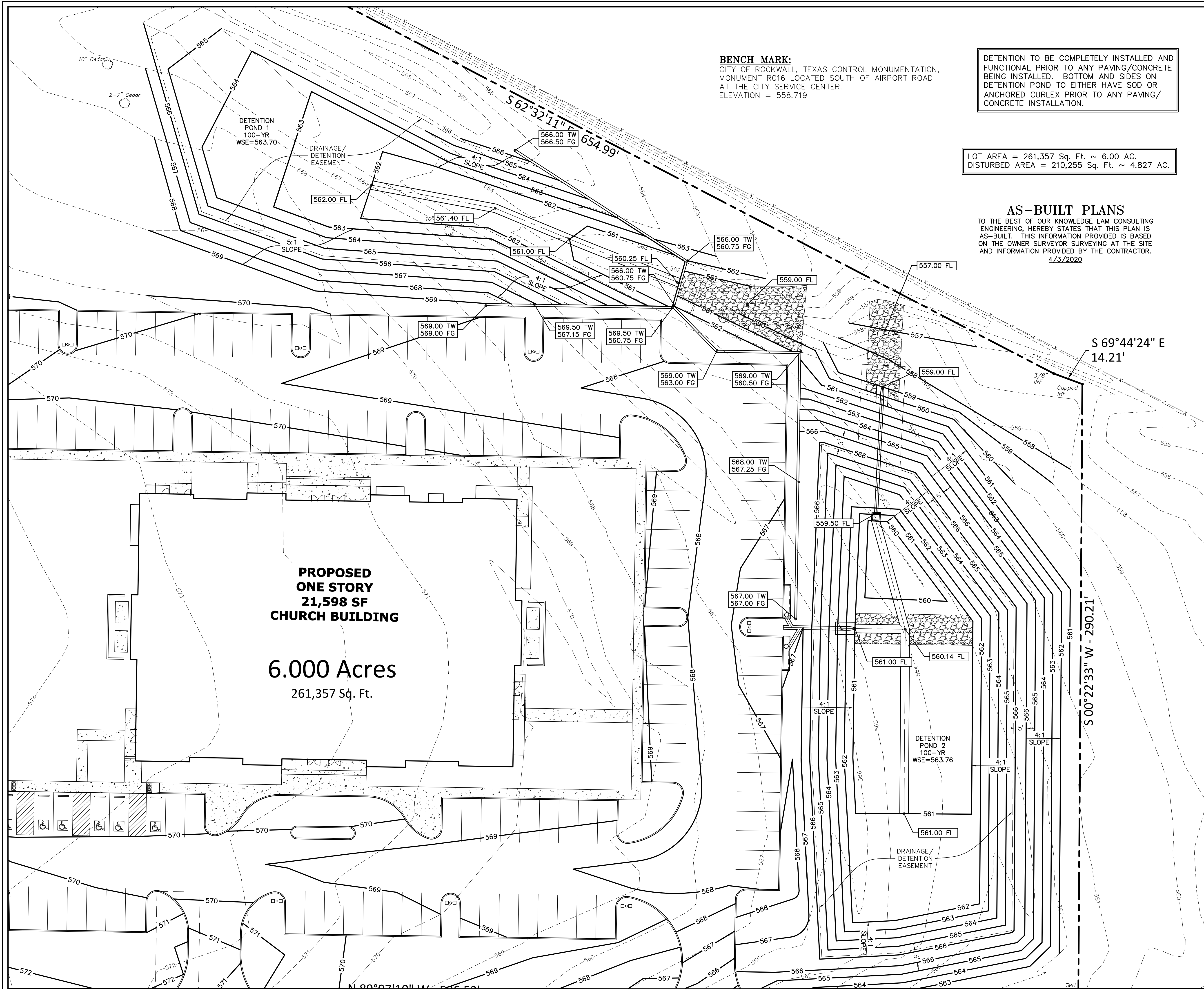


SIDEWALK  
2% CROSS  
SLOPE MAX.

SIDEWALK  
2% CROSS  
SLOPE MAX.

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SLOPE MAX.

AIRPORT ROAD  
(VARIABLE WIDTH ROW)

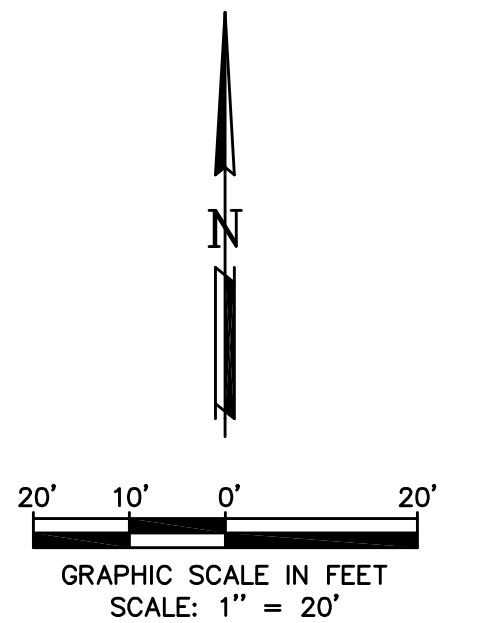


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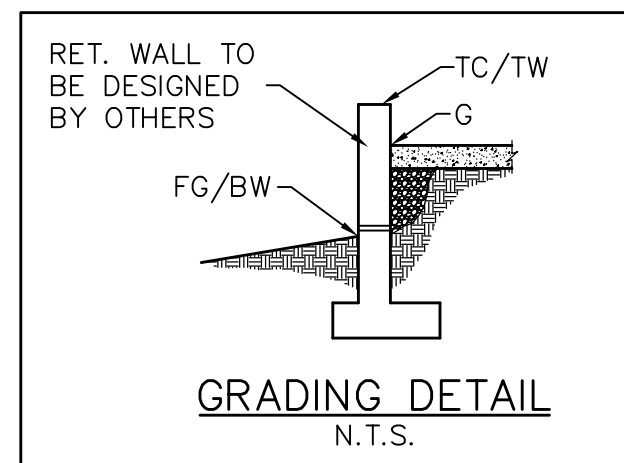
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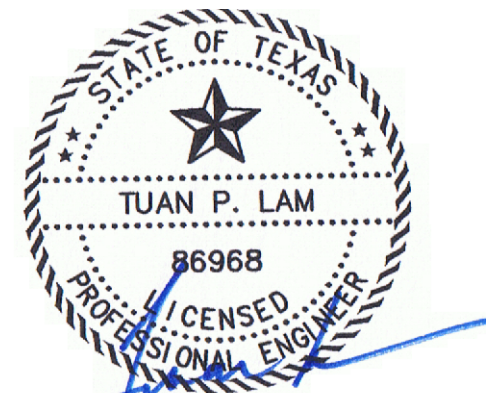
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**LEGEND**

- 450.00 FG FINISHED GRADE ELEVATION
- 450.00 TP TOP OF PAVING ELEVATION
- 450.00 TC TOP OF CURB ELEVATION
- 450.00 G GUTTER ELEVATION
- 485 EXISTING CONTOUR
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**GRADING PLAN 2**

**CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A**  
**CORNERSTONE COMMUNITY CHURCH**  
**1565 AIRPORT ROAD**  
**ROCKWALL, TEXAS 75087**

**LAM CONSULTING ENGINEERING**  
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 SACHSE, TEXAS 75048  
 Phone (214) 766-1011  
 www.lamcivil.com  
 Firm #F-9783

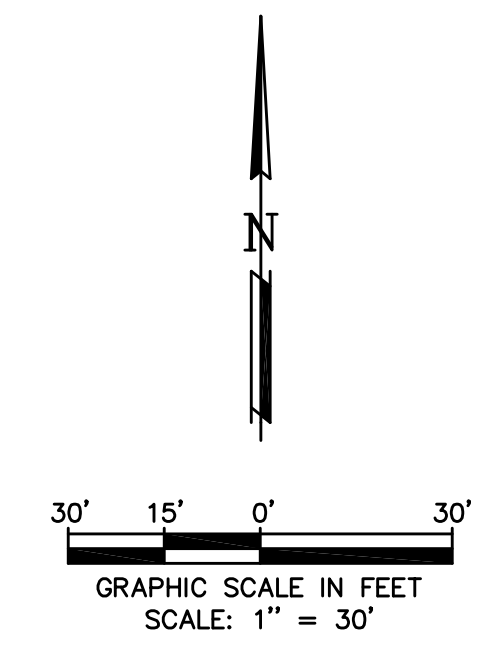
DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	4 of 10
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17	



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DRAINAGE AREA DESIGNATION  
 X  
 0.512  
 1.92  
 AREA (Acre)  
 RUN-OFF (cfs)



Joseph Funk  
 Vol. 111, Pg. 931  
 Vol. 5732, Pg. 319  
 Vol. 6442, Pg. 212  
 (DRRCT)

**DRAINAGE CALCULATION - EXISTING CONDITIONS**

AREA	ACRES	TIME	C	I	Q
A	3.645	15	0.35	9.00	11.48
B	0.847	15	0.35	9.00	2.67
C	1.308	15	0.35	9.00	4.12
D	0.201	15	0.35	9.00	0.63

CITY OF ROCKWALL "C"

	PARK/ OPEN AREA	.35
	RESIDENTIAL	.50
	DUPLEX	.70
	SCHOOL	.75
	APARTMENT	.80
	TOWNHOUSE	.80
	CHURCHES	.80
	INDUSTRIAL	.90
	COMMERCIAL	.90
	MERCANTILE	.90
	RETAIL	.90
	STREET	.90

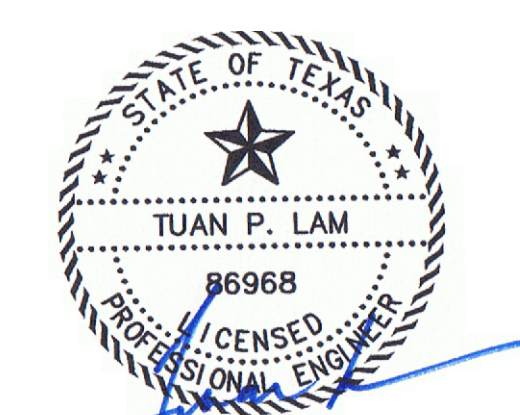
CITY OF ROCKWALL "I"

TIME	Q
10 MIN.	9.8
15 MIN.	9.0
20 MIN.	8.3
30 MIN.	6.9
40 MIN.	5.8
50 MIN.	5.0
60 MIN.	4.5
70 MIN.	4.0
80 MIN.	3.7
90 MIN.	3.5

**AS-BUILT PLANS**

TO THE BEST OF OUR KNOWLEDGE LAM CONSULTING ENGINEERING, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON THE OWNER SURVEYOR SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. 4/3/2020

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



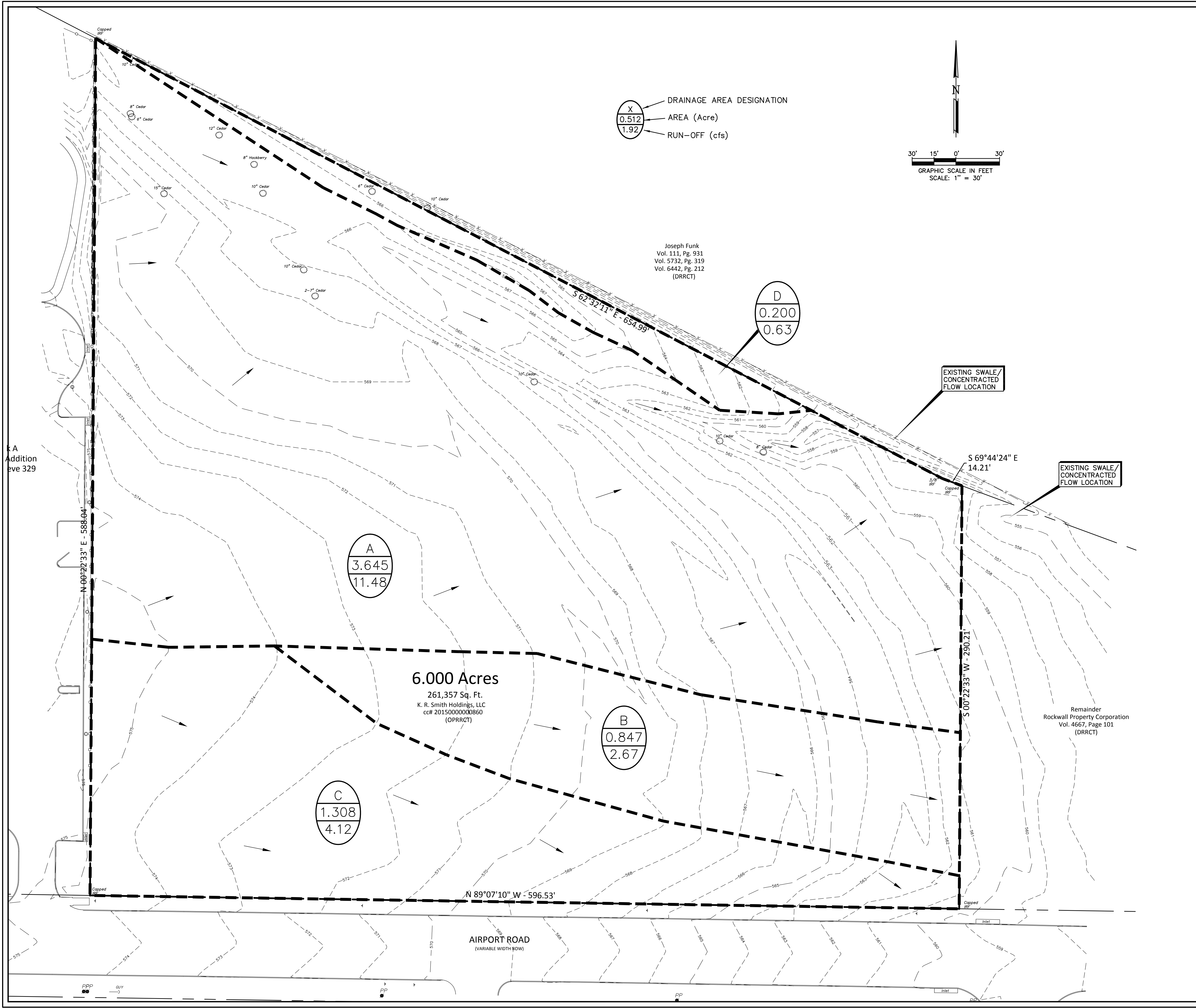
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**DRAINAGE AREA MAP - EXISTING**

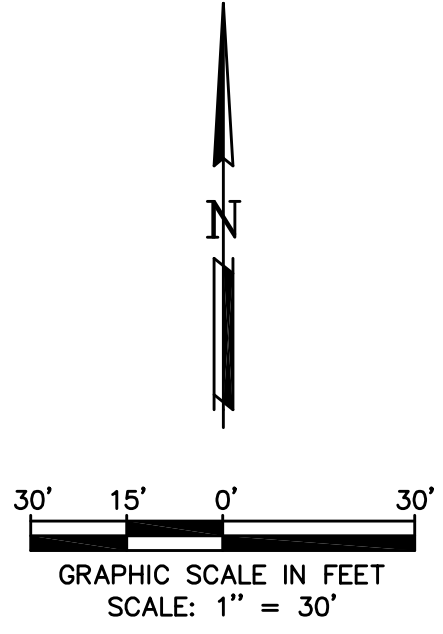
CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A  
 CORNERSTONE COMMUNITY CHURCH  
 1565 AIRPORT ROAD  
 ROCKWALL, TEXAS 75087

**LAM CONSULTING ENGINEERING**  
 6804 WILHELMINA DRIVE  
 SACHSE, TEXAS 75048  
 Phone (214) 766-1011  
 www.lamcivil.com  
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	5 of 10
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17	



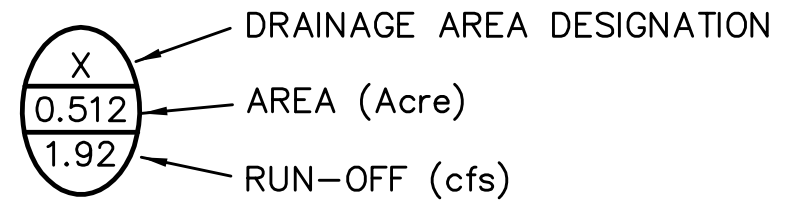
DETENTION TO BE COMPLETELY INSTALLED AND FUNCTIONAL PRIOR TO ANY PAVING/CONCRETE BEING INSTALLED. BOTTOM AND SIDES ON DETENTION POND TO EITHER HAVE SOD OR ANCHORED CURLEX PRIOR TO ANY PAVING/CONCRETE INSTALLATION.



**Sag Inlet Capacity**

$$Q = 2.3(L + 1.8W) * y^{1.5}$$

L (length of Inlet) Ft.	15
y (depth of flow) Ft.	0.5
W (2 STD) (3 RECS)	2



SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

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TOTAL ALLOWABLE DISCHARGE (Area A & D) 12.11

Bypass (Area G, H)	-4.07
Detention Pond 1	-2.28
Detention Pond 2	-5.80
Sum should equal to zero	0.0

**DETENTION 1 CALCULATION:**

Based on 100-yr storm requirements

Present Conditions (Open land)	
Q (cfs)	4.47
C	0.35
I	9.00
A	1.419
Tc	15

Q (Allowed Discharge) 2.28

Present Conditions (Open land)			
Area (Ac.)	1.419		
Time	I	Q(cfs)	Vol (cf) Req.
15	9.00	10.22	7485
20	8.30	9.42	9255
30	6.90	7.83	11363
40	5.80	6.58	12382
50	5.00	5.68	12924
60	4.50	5.11	13602
70	4.00	4.54	13599
80	3.70	4.20	14005
90	3.50	3.97	14615
100	3.40	3.86	15634
110	3.20	3.63	15767

DETENTION POND VOLUME

ELEV	AREA	VOL. (CF)
561.00	1042.08	2409.21
562.00	3776.34	5427.47
563.00	7078.59	5812.75
563.70	9529.27	5812.75
TOTAL		13649.43

**Future Conditions (Church)**

Q (cfs)	11.12
C	0.80
I	9.00
A	1.419
Tc	10

Q (Allowed Discharge) 5.80

Present Conditions (Open land)			
Area (Ac.)	3.611		
Time	I	Q(cfs)	Vol (cf) Req.
15	9.00	26.00	19049
20	8.30	23.98	23552
30	6.90	19.93	28919
40	5.80	16.76	31512
50	5.00	14.44	32892
60	4.50	13.00	34619
70	4.00	11.56	34612
80	3.70	10.69	35645
90	3.50	10.11	37198
100	3.40	9.82	39792
110	3.20	9.24	40131

DETENTION POND VOLUME

ELEV	AREA	VOL. (CF)
560.00	866.59	8745.39
561.00	6880.49	3773.54
562.00	10810.28	8745.39
563.00	12798.87	11804.57
563.70	14479.79	10365.89
TOTAL		34689.39

**DETENTION 2 CALCULATION:**

Based on 100-yr storm requirements

Present Conditions (Open land)	
Q (cfs)	11.37
C	0.35
I	9.00
A	3.611
Tc	15

Q (Allowed Discharge) 5.80

Present Conditions (Open land)			
Area (Ac.)	3.611		
Time	I	Q(cfs)	Vol (cf) Req.
15	9.00	26.00	19049
20	8.30	23.98	23552
30	6.90	19.93	28919
40	5.80	16.76	31512
50	5.00	14.44	32892
60	4.50	13.00	34619
70	4.00	11.56	34612
80	3.70	10.69	35645
90	3.50	10.11	37198
100	3.40	9.82	39792
110	3.20	9.24	40131

DETENTION POND VOLUME

ELEV	AREA	VOL. (CF)
560.00	866.59	8745.39
561.00	6880.49	3773.54
562.00	10810.28	8745.39
563.00	12798.87	11804.57
563.70	14479.79	10365.89
TOTAL		34689.39

**Future Conditions (Church)**

Q (cfs)	28.31
C	0.80
I	9.00
A	3.611
Tc	10

Q (Allowed Discharge) 5.80

Present Conditions (Open land)			
Area (Ac.)	3.611		
Time	I	Q(cfs)	Vol (cf) Req.
15	9.00	26.00	19049
20	8.30	23.98	23552
30	6.90	19.93	28919
40	5.80	16.76	31512
50	5.00	14.44	32892
60	4.50	13.00	34619
70	4.00	11.56	34612
80	3.70	10.69	35645
90	3.50	10.11	37198
100	3.40	9.82	39792
110	3.20	9.24	40131

DETENTION POND VOLUME

ELEV	AREA	VOL. (CF)
560.00	866.59	8745.39
561.00	6880.49	3773.54
562.00	10810.28	8745.39
563.00	12798.87	11804.57
563.70	14479.79	10365.89
TOTAL		34689.39

**DRAINAGE CALCULATION - PRE-DEVELOPMENT**

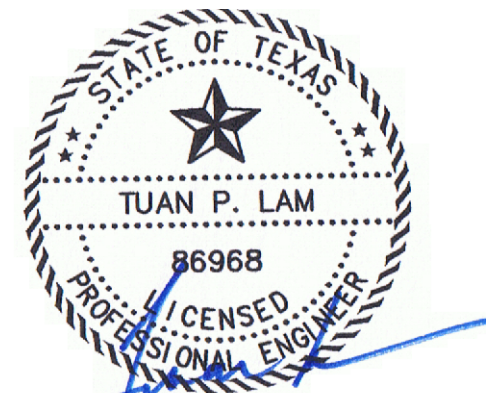
AREA	ACRES	TIME	C	I	Q
A	1.512	15	0.35	9.00	4.76
B	1.638	15	0.35	9.00	5.16
C	0.515	15	0.35	9.00	1.62
D	1.419	15	0.35	9.00	4.47
E	0.110	15	0.35	9.00	0.35
F	0.286	15	0.35	9.00	0.90
G	0.196	15	0.35	9.00	0.62
H	0.323	15	0.35	9.00	1.02

**DRAINAGE CALCULATION - POST-DEVELOPMENT**

AREA	ACRES	TIME	C	I	Q	COMMENT
A	1.512	10	0.80	9.80	11.85	DRAIN TO DETENTION POND
B	1.638	10	0.80	9.80	12.84	DRAIN TO DETENTION POND
C	0.515	10	0.80	9.80	4.03	DETENTION POND
D	1.419	10	0.80	9.80	11.12	DETENTION POND
E	0.110	10	0.80	9.80	0.86	DRAIN TO EAST PROPERTY LINE
F	0.286	10	0.80	9.80	2.24	DRAIN TO AIRPORT ROAD
G	0.196	10	0.80	9.80	1.53	DRAIN TO NORTH PROPERTY LINE
H	0.323	10	0.80	9.80	2.54	DRAIN TO NORTH PROPERTY LINE

**AS-BUILT PLANS**

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**CITY OF ROCKWALL "C"**

PARK / OPEN AREA	.35
RESIDENTIAL	.50
DUPLEX	
SCHOOL	.70
APARTMENT	.75
TOWNHOUSE	.80
CHURCHES	.80
INDUSTRIAL	.90
COMMERCIAL	.90
MERCANTILE	.90
RETAIL	.90
STREET	.90

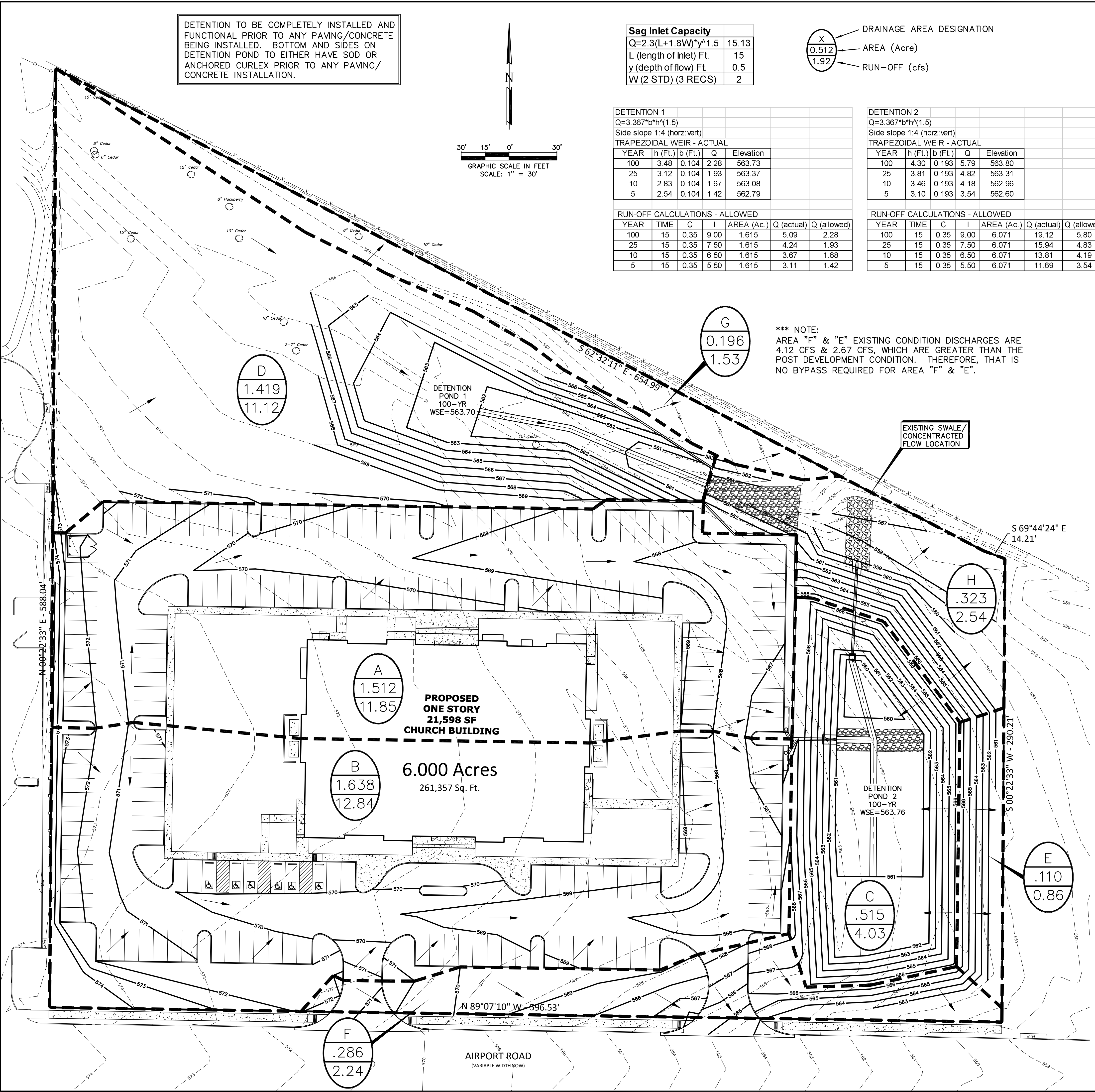
**CITY OF ROCKWALL "I"**

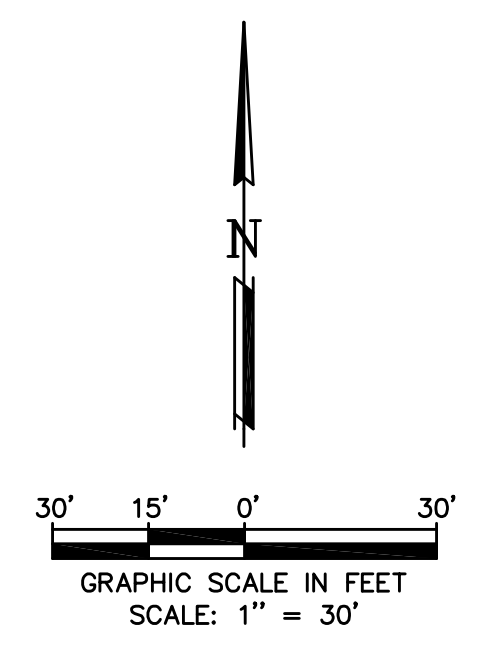
10 MIN.	9.8
15 MIN.	9.0
20 MIN.	8.3
30 MIN.	6.9
40 MIN.	5.8
50 MIN.	5.0
60 MIN.	4.5
70 MIN.	4.0
80 MIN.	3.7
90 MIN.	3.5

**DRAINAGE AREA MAP**

CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A  
**CORNERSTONE COMMUNITY CHURCH**  
 1565 AIRPORT ROAD  
 ROCKWALL, TEXAS 75087

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15' Drainage Easement Envelope H, Sleeve 329

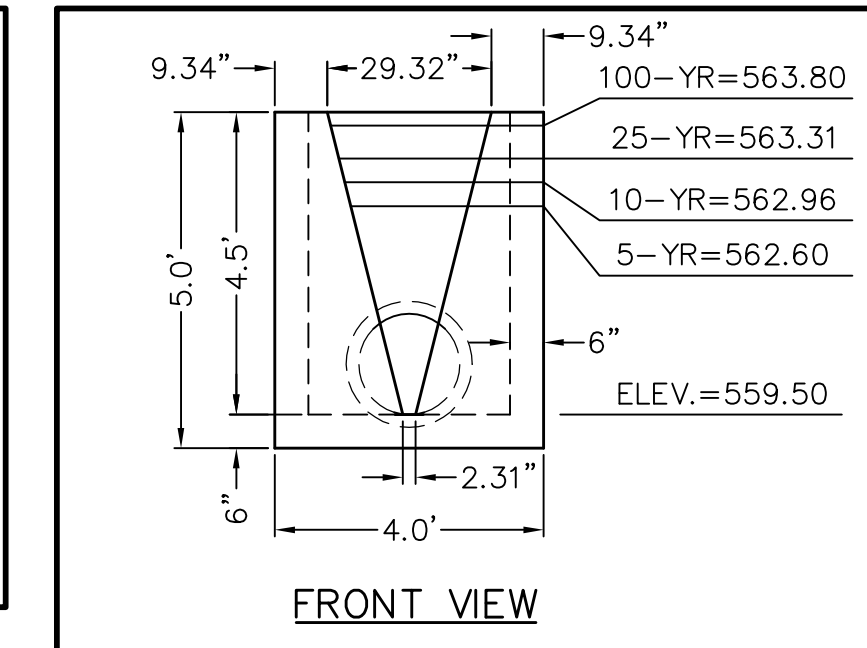
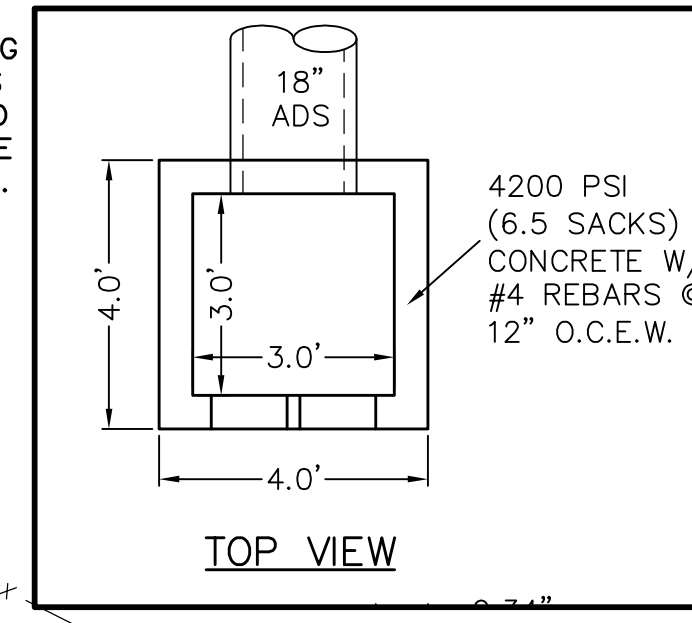
Detention/Drainage Easement Envelope H, Sleeve 329

18" ADS PIPE									
Q (cfs)	Pipe Slope	Diameter Inch	R (Ft)	Ci (n=0.013)	Area Ft <sup>2</sup>	Capacity	Velocity (ft/sec)	Slope %	
5.80	0.85%	18	0.375	104.990	1.766	9.68	3.28	0.31%	

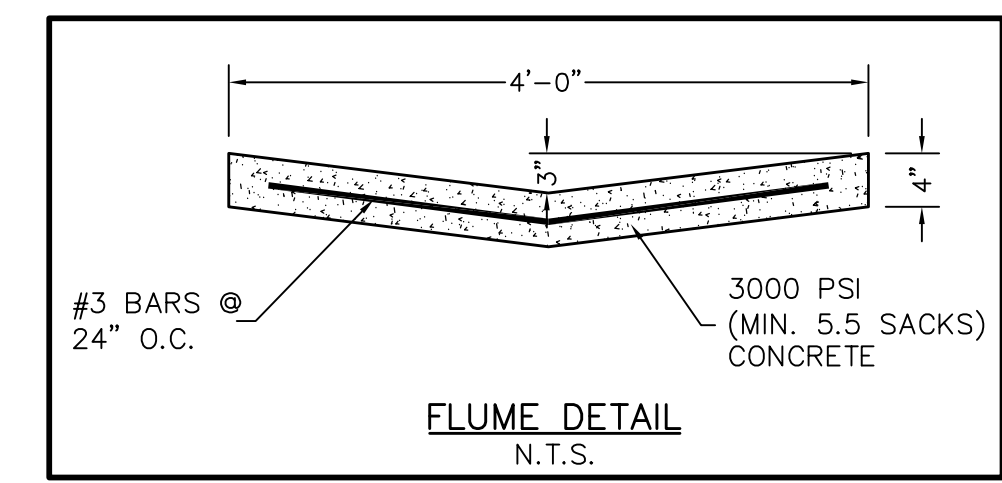
24" ADS PIPE									
Q (cfs)	Pipe Slope	Diameter Inch	R (Ft)	Ci (n=0.013)	Area Ft <sup>2</sup>	Capacity	Velocity (ft/sec)	Slope %	
24.69	3.76%	24	0.500	226.109	3.140	43.84	7.86	1.19%	

**AS-BUILT PLANS**

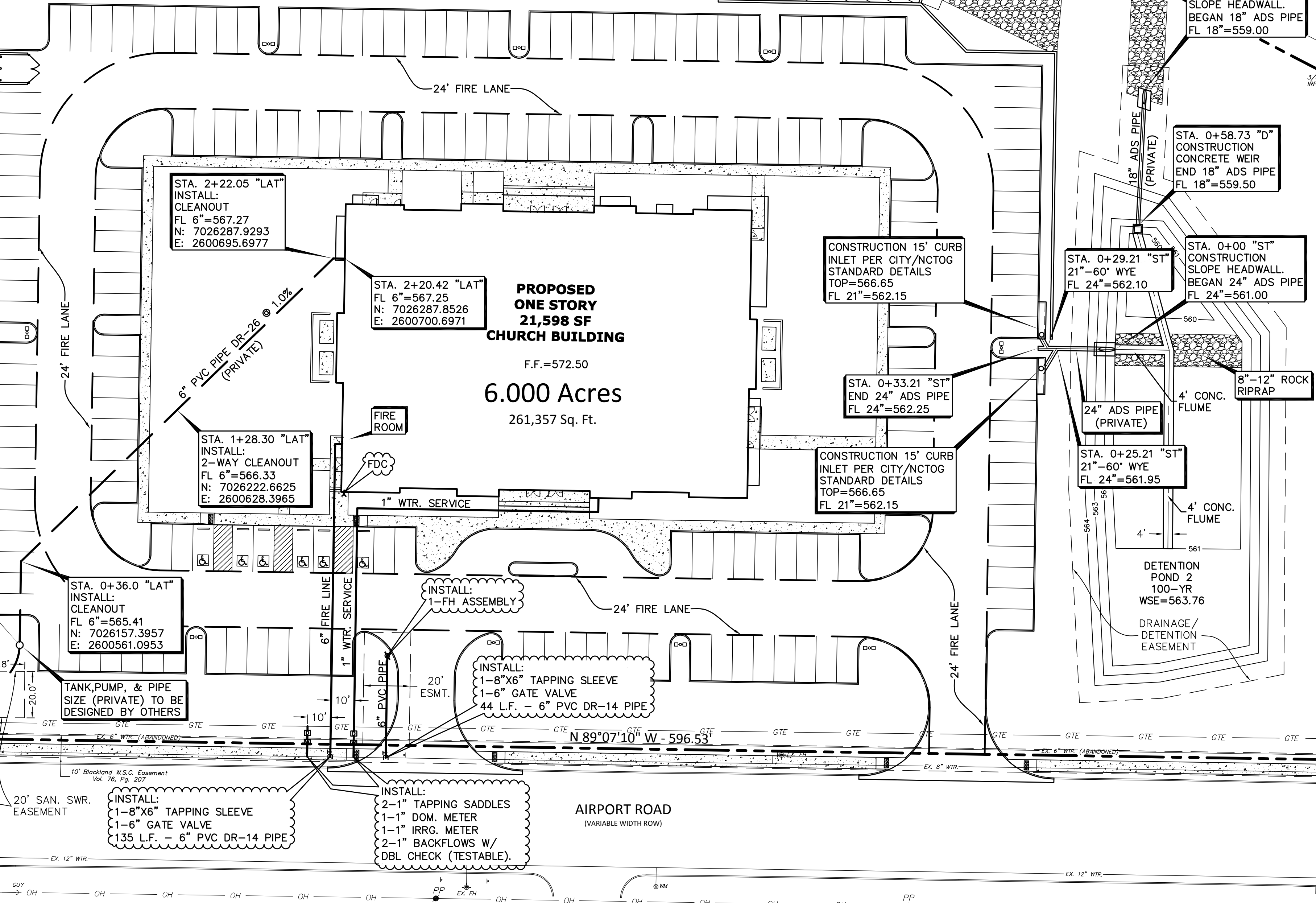
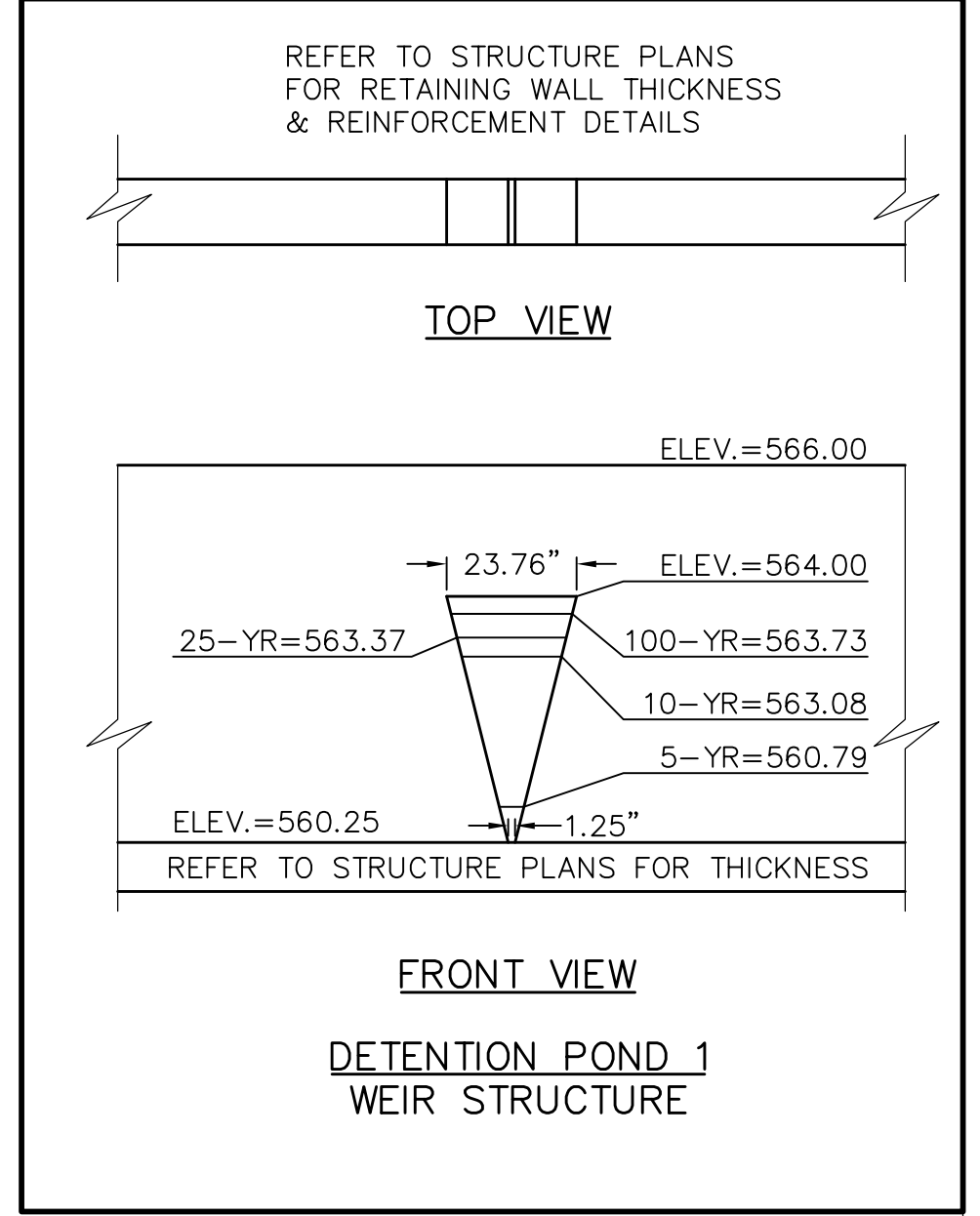
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**BENCH MARK:**  
CITY OF ROCKWALL, TEXAS CONTROL MONUMENTATION, MONUMENT R016 LOCATED SOUTH OF AIRPORT ROAD AT THE CITY SERVICE CENTER. ELEVATION = 558.719

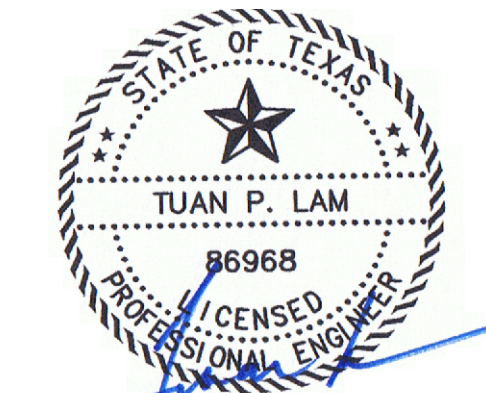


USE DETAILS AS OUTLINED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.



- WATER & SANITARY SEWER NOTES:**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
  3. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
  4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC INFRASTRUCTURE IN THE CONSTRUCTION OF THIS PROJECT.
  5. ANY UTILITY INSTALLED OUTSIDE OF AN EASEMENT SHALL BE INSTALLED BY A PLUMBER AND INSPECTED BY BUILDING DEPT.
  6. BACKFILL FOR UTILITY LINES SHOULD BE CAREFULLY PLACED SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6" SHOULD BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHOULD BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
  7. IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE BACKFILLED ONLY WITH QUALITY TOPSOIL.
  8. ALL WATER MAINS SHALL MEET AWWA C-900, PVC DR-14 CLASS 200. ALL FITTINGS SHALL MEET ASTM F477 SPECIFICATIONS.
  9. ALL DUCTILE IRON FITTINGS SHALL BE OF THE MECHANICAL JOINT TYPE OR SLIP JOINT AND SHALL BE CLASS D, OR CLASS 250 ON SIZES 12" AND SMALLER IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C-110-64 AND C-111-64.
  10. EMBEDMENT FOR PVC WATER MAIN SHALL COMPLY WITH THE CITY STANDARDS AND SPECIFICATIONS.
  11. ALL WATER METERS TO BE PLACED IN A NON-TRAFFIC AREA.
  12. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42", OR SUFFICIENT COVER TO CLEAR OTHER UTILITIES AS MEASURED FROM TOP OF PIPE TO EXISTING GROUND LEVEL OR FINISHED GRADE, WHICHEVER IS GREATER.
  13. ALL WATER AND SANITARY SEWER MAINS AND SERVICES SHALL HAVE A 10' MIN. LATERAL SEPARATION DISTANCE.
  14. ALL SANITARY SEWER PIPES AND FITTINGS SHALL MEET ASTM D 3034, PVC SEWER PIPE SDR35. PIPE OVER 10' IN DEPTH, USE ASTM D 2241, PVC PIPE, SDR 26 (160).
  15. ALL WATER AND SANITARY SEWER TESTINGS SHALL BE ACCOMPLISHED BY A TESTING LAB APPROVED BY THE CITY AND PAID BY CONTRACTOR.
  16. REFER TO MECHANICAL PLANS FOR EXACT WATER AND SEWER SERVICE LOCATIONS.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS



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ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.

A SEPARATE PERMIT FROM THE FIRE DEPARTMENT IS NEEDED FOR THE FIRE SPRINKLER LINE. FIRE LINE MUST BE A MINIMUM OF 10-FOOT SEPARATION DISTANCE FROM ALL OTHER UTILITIES.

CONTRACTOR SHALL PAY ALL PERMIT FEES AND WILL SETUP PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK.

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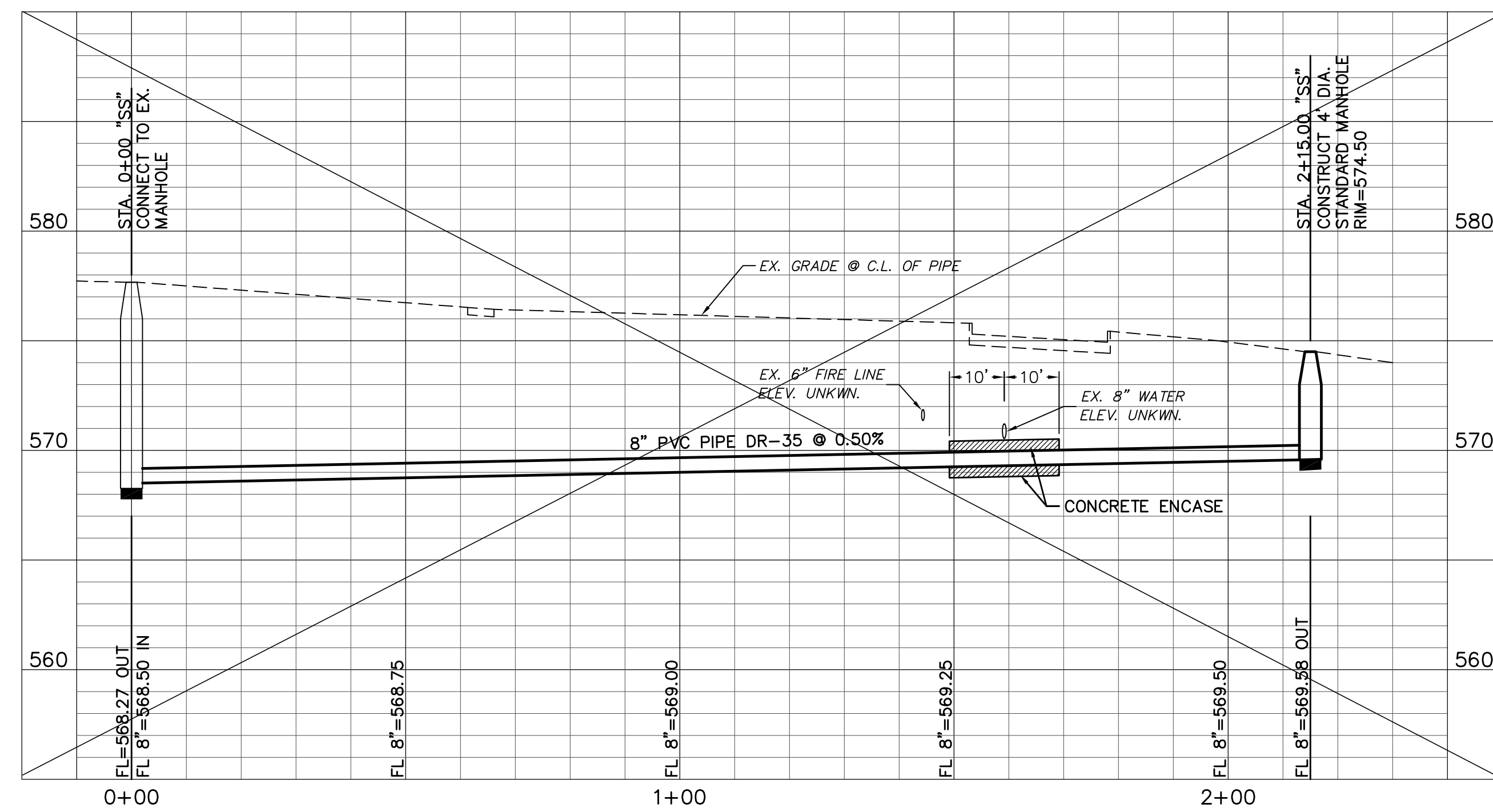
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**UTILITY PLAN**

**CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A**  
**CORNERSTONE COMMUNITY CHURCH**  
**1565 AIRPORT ROAD**  
**ROCKWALL, TEXAS 75087**

**LAM CONSULTING ENGINEERING**  
6804 WILHELMINA DRIVE  
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Phone (214) 766-1011  
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DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	7 of 10
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17	



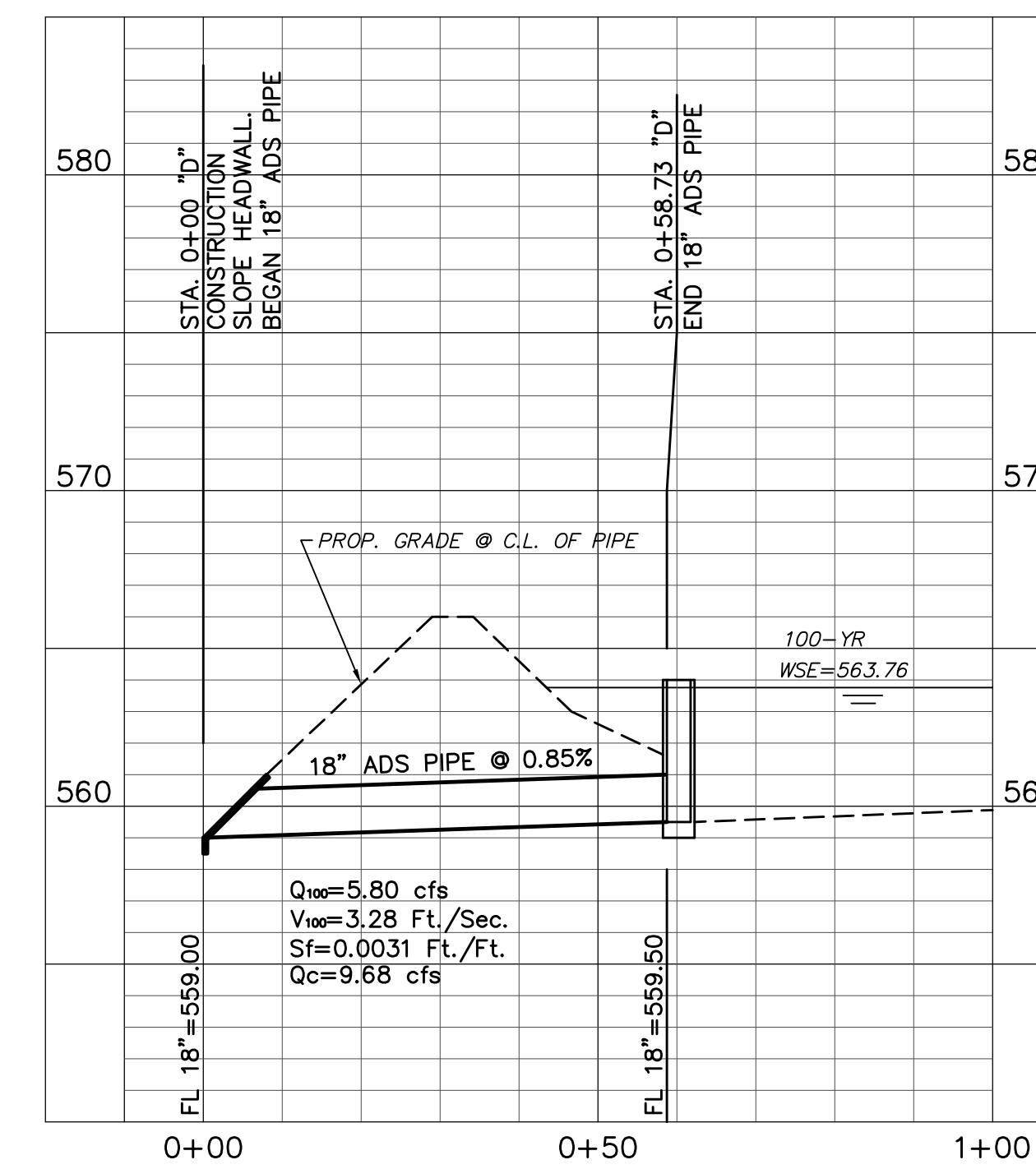
PROPOSED SANITARY SEWER LINE "SS"  
H=20' V=5'

OWNER DECIDED TO  
INSTALL A LIFT STATION  
(DESIGNED BY OTHERS)

USE DETAILS AS OUTLINED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.

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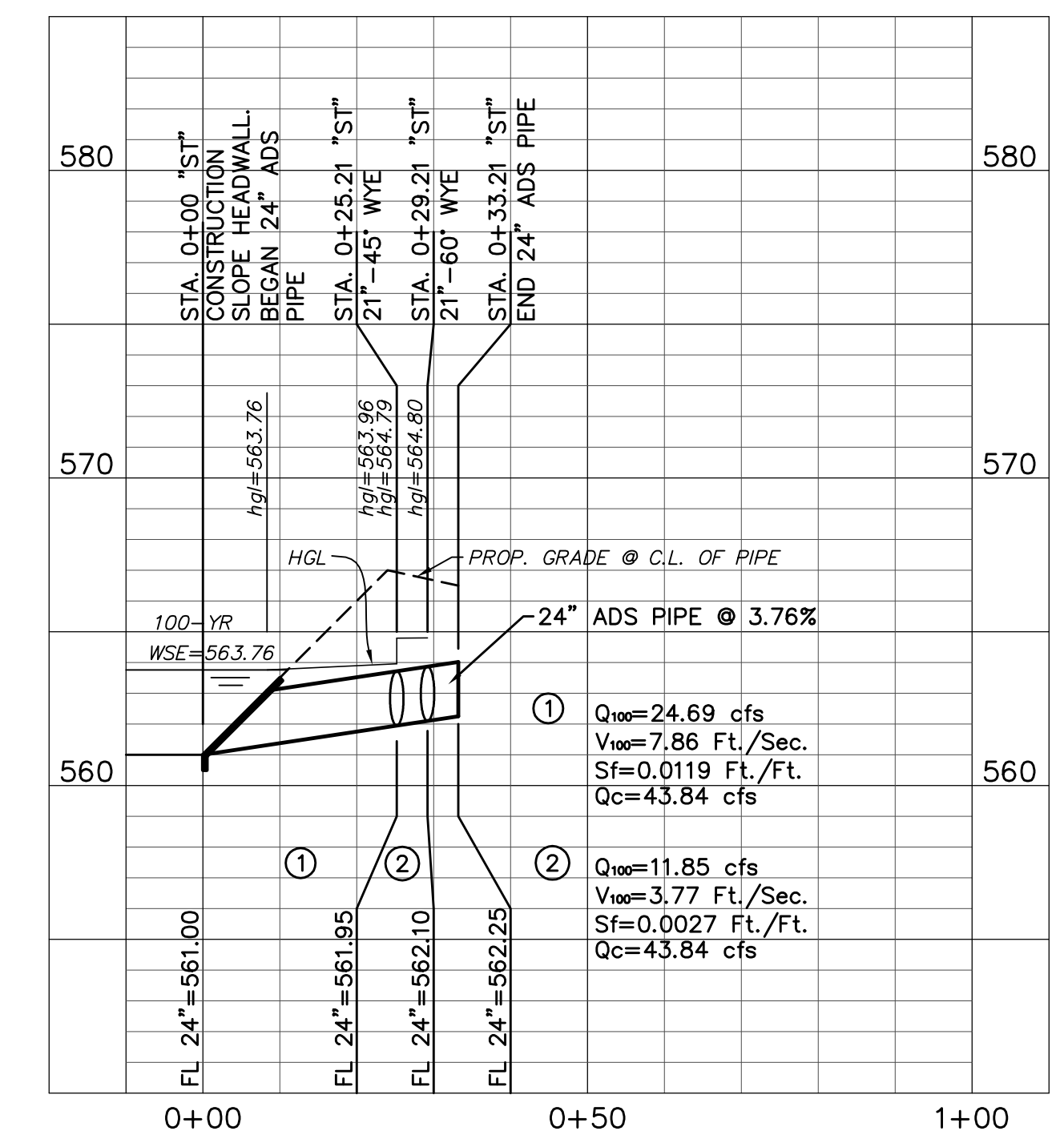
ALL UTILITY TAPS AND CONNECTIONS IN PUBLIC ROW AND EASEMENTS WILL BE DONE IN ACCORDANCE TO THE CITY'S GENERAL DESIGN STANDARDS AND STANDARD DETAILS AND INSPECTED BY CITY.



PROPOSED STORM LINE "D"  
H=20' V=5'

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PROPOSED STORM LINE "ST"  
H=20' V=5'

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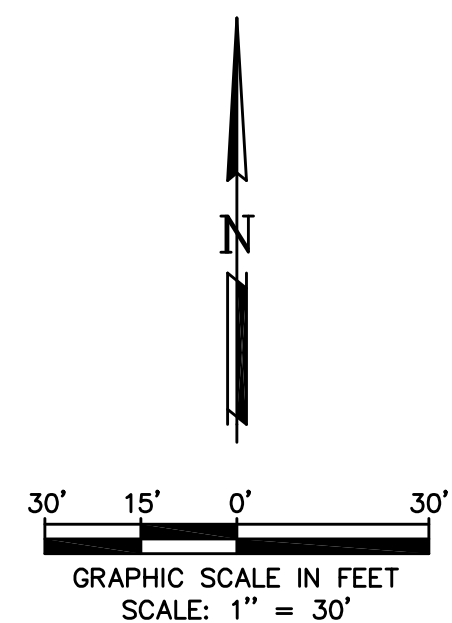
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UTILITY PROFILES			
CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A			
CORNERSTONE COMMUNITY CHURCH			
1565 AIRPORT ROAD			
ROCKWALL, TEXAS 75087			
<b>LAM CONSULTING ENGINEERING</b>		8 of 10	
6804 WILHELMINA DRIVE		SCALE: AS NOTED	
SACHSE, TEXAS 75048		DATE: NOVEMBER 2017	
Phone (214) 766-1011		PROJECT: 619-17	
www.lamcivil.com			
Firm #F-9763			
DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	8 of 10
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Joseph Funk  
Vol. 111, Pg. 931  
Vol. 5732, Pg. 319  
Vol. 6442, Pg. 212  
(DRRCT)

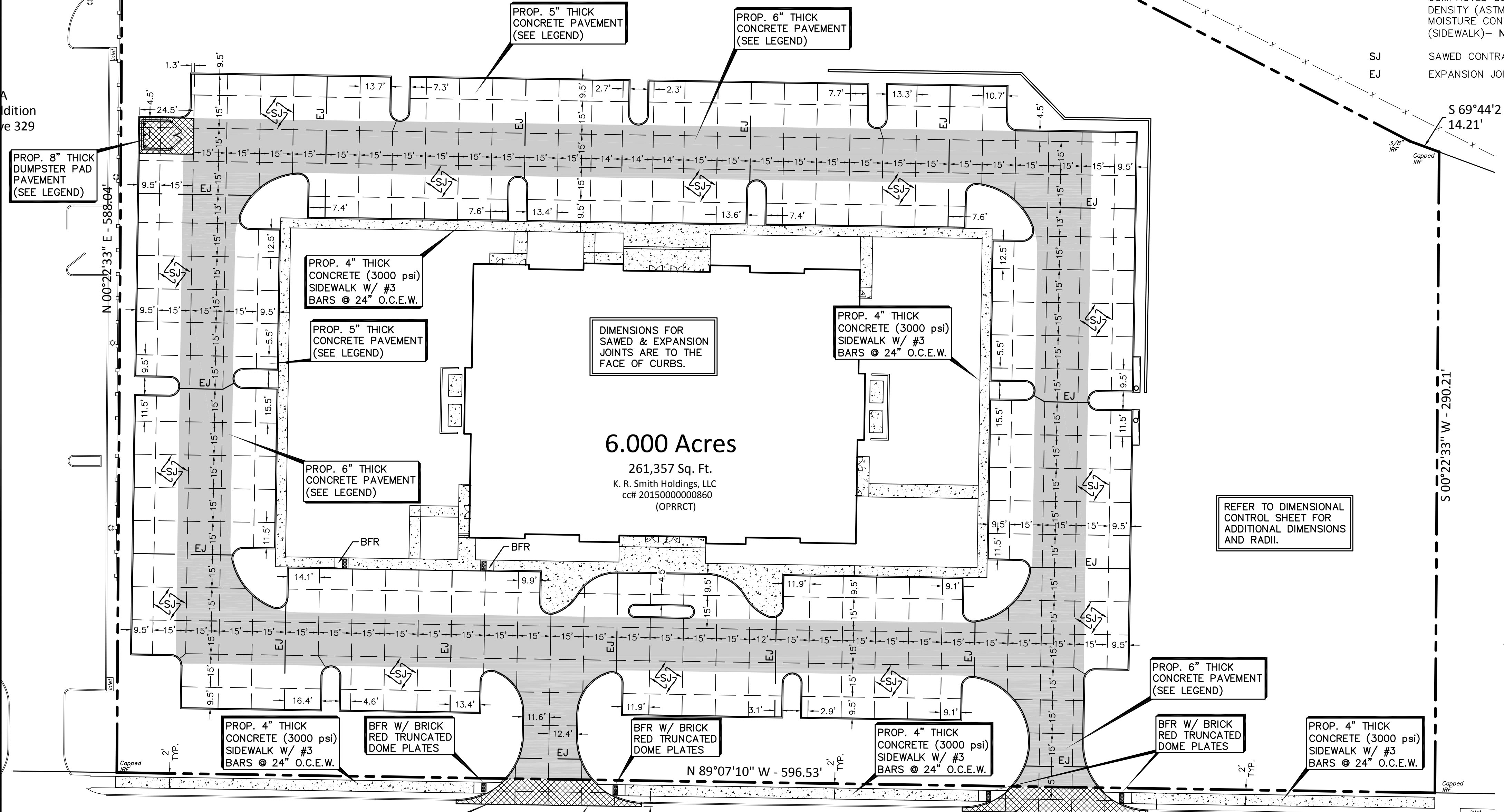


**LEGEND**

- 8" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #3 BARS @ 24" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (DUMPSTER) - NO SAND CUSHION UNDER PAVING
- 6" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #3 BARS @ 24" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (DRIVE) - NO SAND CUSHION UNDER PAVING
- 5" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #3 BARS @ 24" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (PARKING)- NO SAND CUSHION UNDER PAVING
- 4" REINF. CONC. SIDEWALK (5.5 SACK-3000 psi) W/ #3 BARS @ 24" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (SIDEWALK)- NO SAND CUSHION UNDER SIDEWALK
- SAWED CONTRACTION JOINT
- EXPANSION JOINT

**PAVING NOTES**

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARDS AND SPECIFICATIONS AND NCTCOG 3RD EDITION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATIONS. DIG TESS (1-800-545-6005)
4. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE UTILITY CONTRACTOR TO INSURE ALL CONDUIT FOR IRRIGATION HAS BEEN INSTALLED PRIOR TO PLACEMENT OF PERMANENT PAVING.
5. ALL EARTHWORK OPERATIONS, PAVEMENT AND BUILDING SUBGRADE PREPARATION SHALL COMPLY WITH ALL RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT, PROVIDED BY OTHERS.
6. TRAFFIC BARRICADES WILL BE REQUIRED FOR PAVING AND UTILITY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN IN THE LATEST TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS CURRENTLY AMENDED BY THE TEXAS DEPARTMENT OF TRANSPORTATION. CONTACT CITY TRANSPORTATION DEPARTMENT PRIOR TO SETTING BARRICADES IN THE RIGHT OF WAY.
7. ALL DRIVE AREAS AND ISLANDS SHALL HAVE 6" CONCRETE CURB, UNLESS OTHERWISE NOTED ON PLANS.
8. CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS AS SHOWN IN THE DRAWINGS. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS. EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM SPACING OF 100' CENTER TO CENTER. ALL JOINTS SHALL BE SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.
9. CONTRACTOR SHALL INSTALL ALL CONDUITS PRIOR TO THE PLACEMENT OF PAVEMENT. ALL SLEEVES SHOWN ON PLANS SHALL BE SCHEDULE 40 PVC WITH PULLED WIRES & CAPPED. REFER TO LANDSCAPE & MECHANICAL PLANS FOR LOCATIONS AND SIZE OF CONDUITS.
10. FIRE LANE PAVEMENT MARKINGS SHALL BE PAINTED LINES OF RED TRAFFIC PAINT, 6" WIDE, TO SHOW THE EXACT BOUNDARY LINES OF THE FIRE LANE. THESE BOUNDARY LINES MAY BE ON THE CURB OR FLAT PAVEMENT. THE LINES SHALL BE MARKED BY PAINTED 4" HIGH LETTERING USING A 1" WIDE STROKE OF WHITE TRAFFIC PAINT ON THE CONTRASTING RED BACKGROUND STATING "NO PARKING - FIRE LANE". THIS MARKING SHALL BE PLACED AT 25' INTERVALS ALONG EACH BOUNDARY LINE -SEE DIMENSIONAL CONTROL PLAN FOR DETAILS AND LOCATION.



REFER TO DIMENSIONAL CONTROL SHEET FOR ADDITIONAL DIMENSIONS AND RADII.

**AS-BUILT PLANS**

TO THE BEST OF OUR KNOWLEDGE LAM CONSULTING ENGINEERING, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON THE OWNER SURVEYOR SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. 4/3/2020

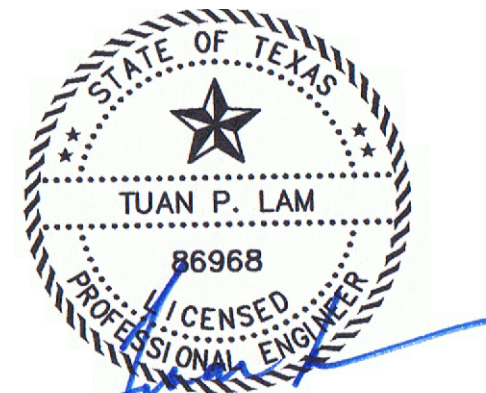
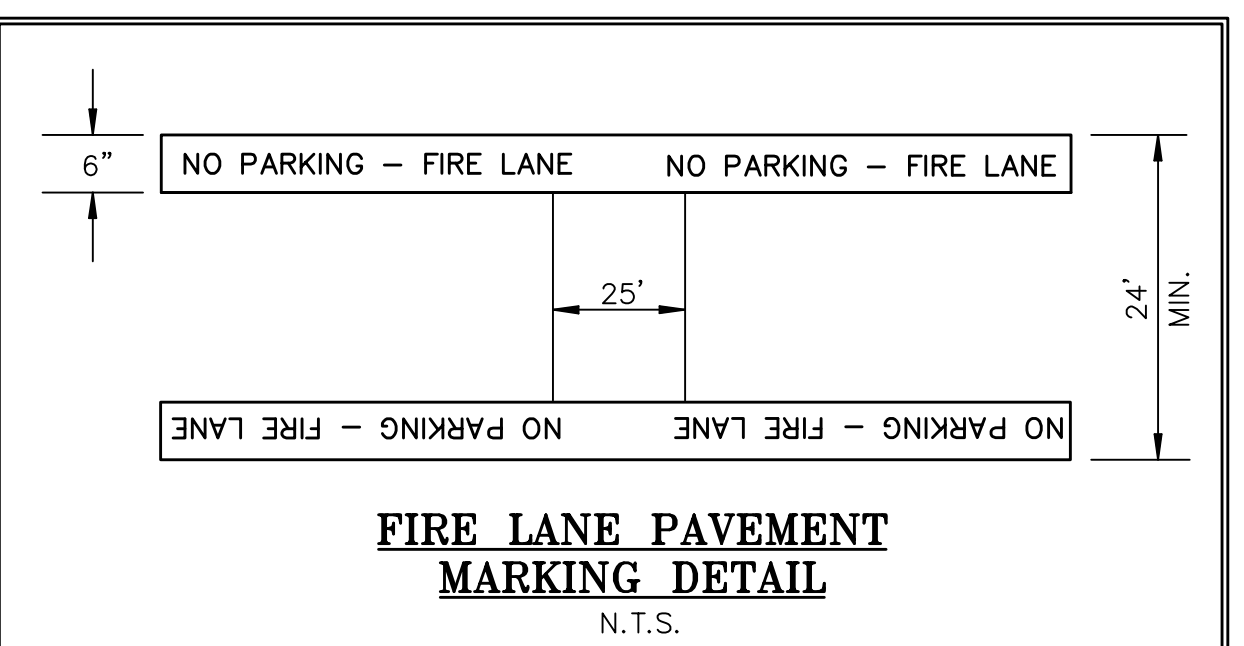
USE DETAILS AS OUTLINED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CONTRACTOR SHALL PAY ALL PERMIT FEES AND WILL SETUP PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK.

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS



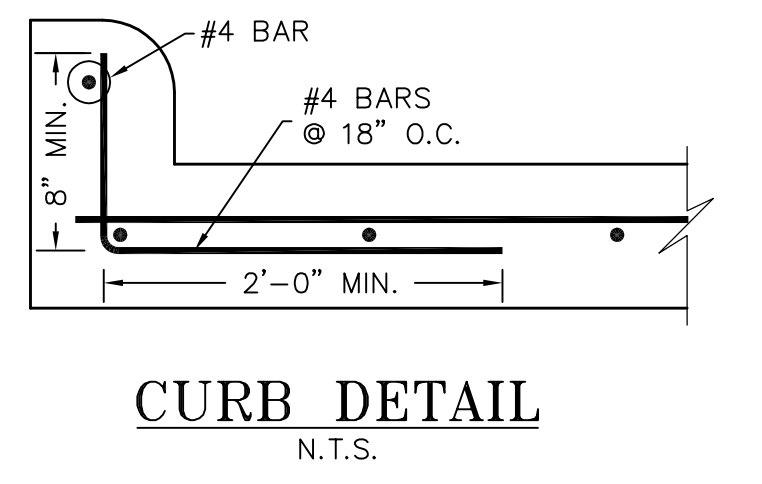
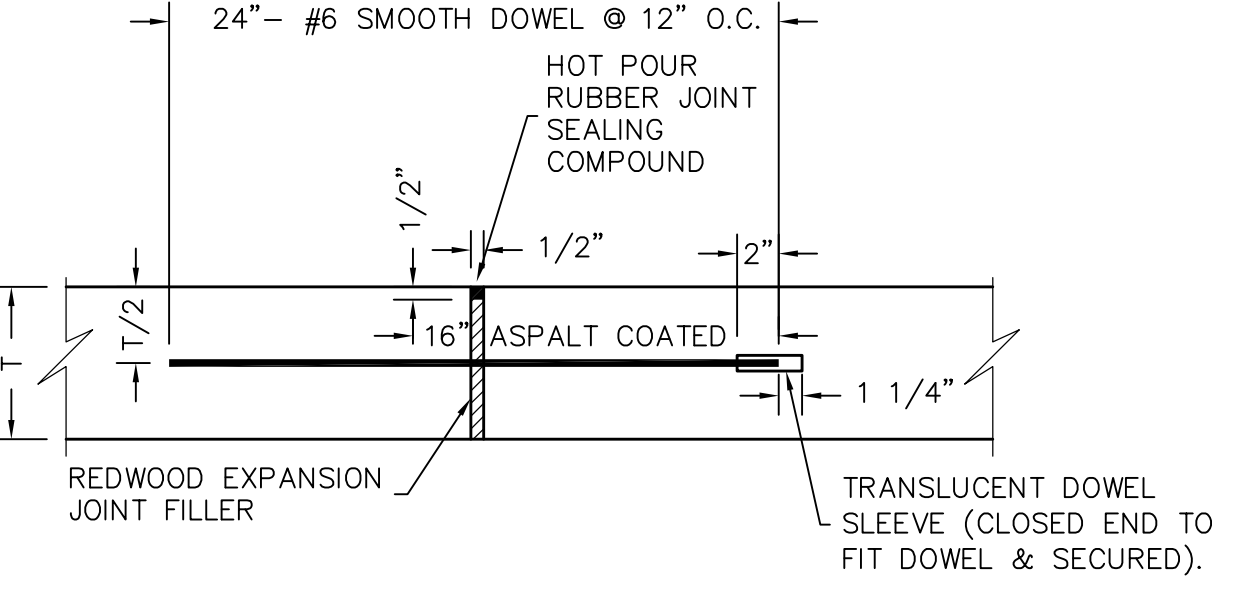
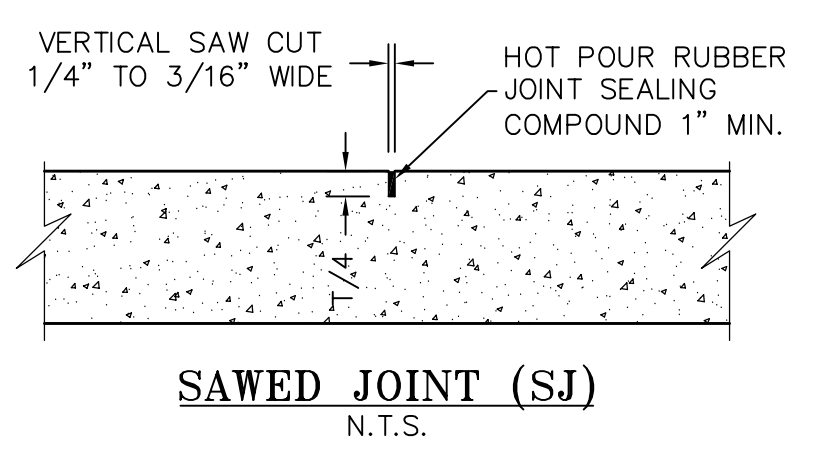
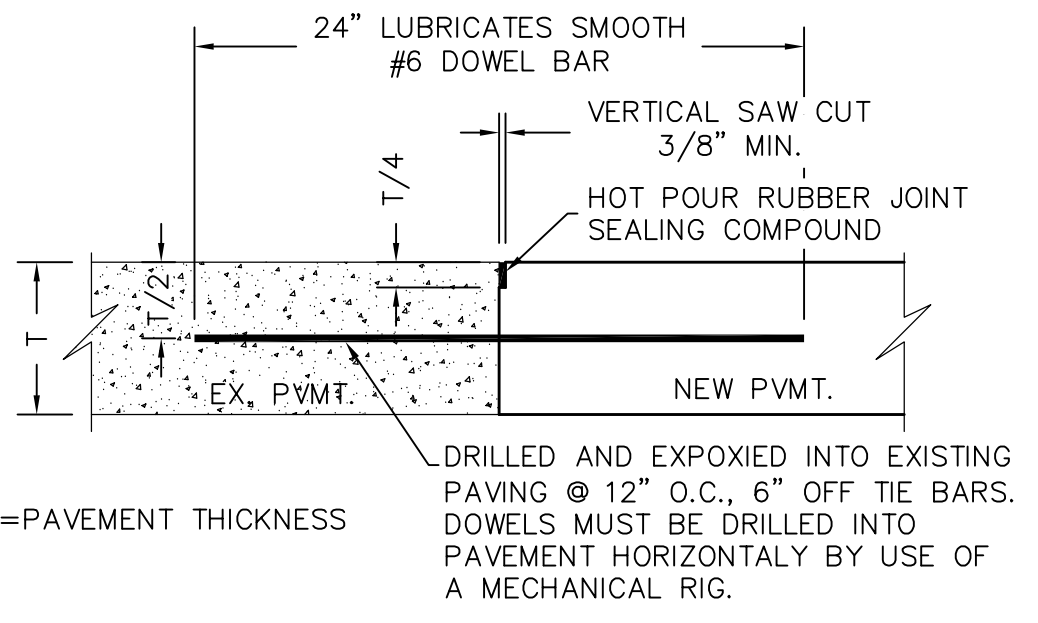
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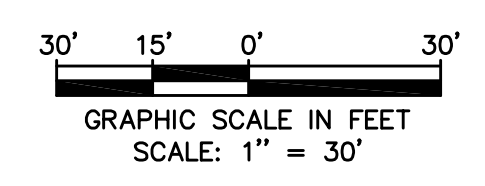
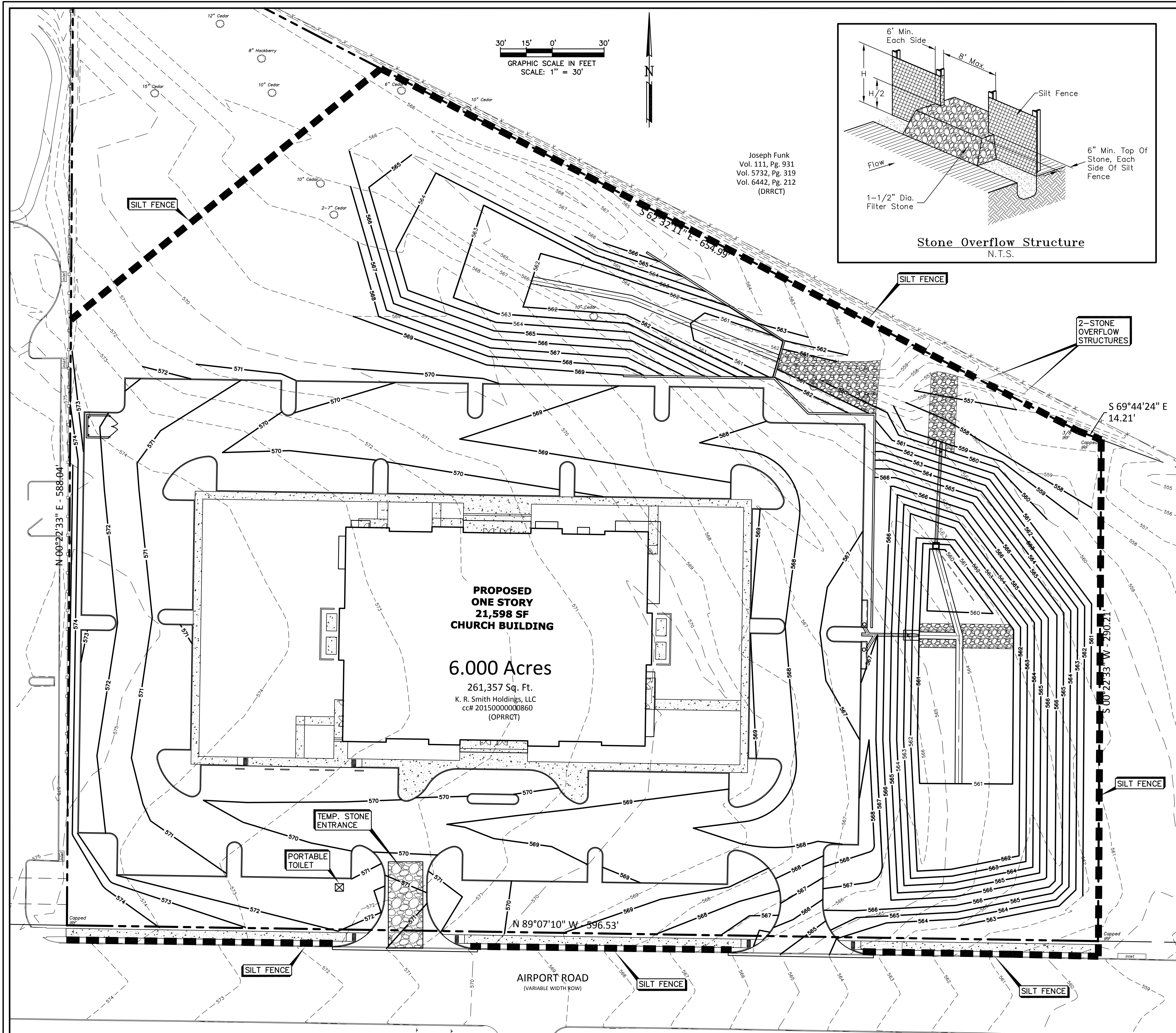
**PAVING PLAN**

CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A  
CORNERSTONE COMMUNITY CHURCH  
1565 AIRPORT ROAD  
ROCKWALL, TEXAS 75087

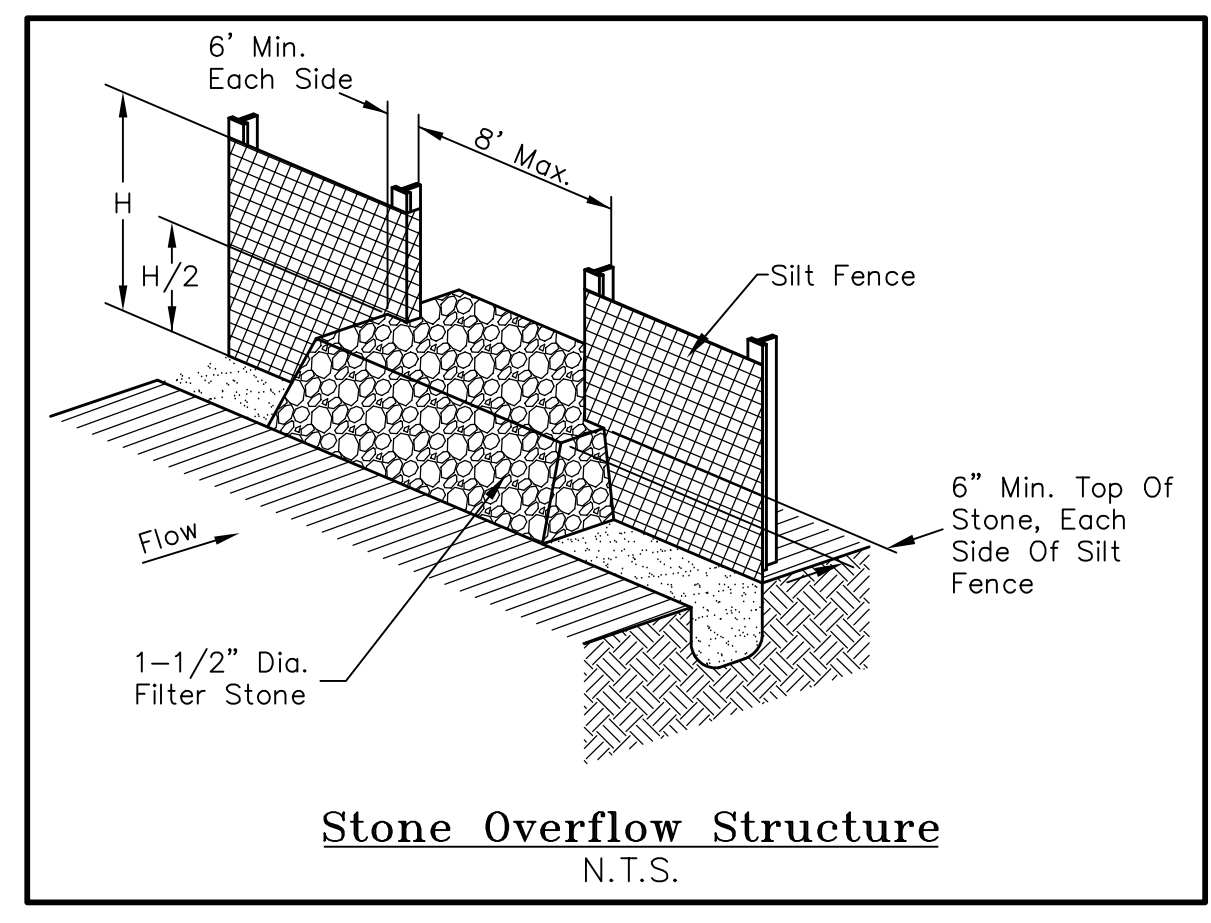
**LAM CONSULTING ENGINEERING**  
6804 WILHELMINA DRIVE  
SACHSE, TEXAS 75048  
Phone (214) 766-1011  
www.lamcivil.com  
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	9 of 10
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17	





Joseph Funk  
Vol. 111, Pg. 931  
Vol. 5732, Pg. 319  
Vol. 6442, Pg. 212  
(DRRCT)

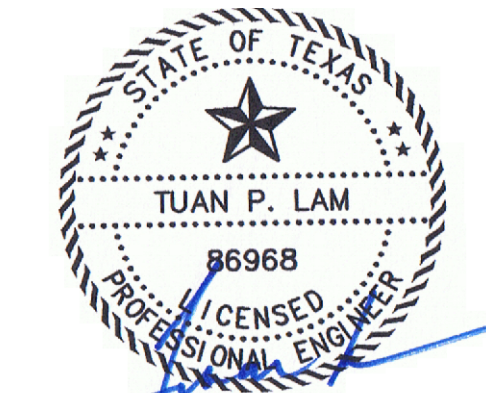


**GENERAL NOTES:**

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY ENGINEERING DIVISION.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE CITY'S EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.
6. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION
7. THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING OR OTHER APPROVED EROSION CONTROL PRODUCTS AS NEEDED. TEMPORARY EROSION CONTROL DEVICES INSTALLED BY THE CONTRACTOR ON THIS PROJECT SHALL ALSO BE REMOVED BY THE CONTRACTOR AT THE APPROPRIATE TIME AS INCIDENTAL TO THE RESPECTIVE EROSION CONTROL DEVICE ITEM.
8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE PROJECT ENGINEER DURING ON-SITE INSPECTIONS.
9. WETLANDS ARE NOT PRESENT ON-SITE NOR ADJACENT TO THIS PROJECT.
10. ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE CITY'S EROSION AND SEDIMENT CONTROL MANUAL.
11. CONTRACTOR SHALL ADD OR REMOVE EROSION CONTROL DEVICES AS NEEDED DURING THE CONSTRUCTION PHASES.

**AS-BUILT PLANS**

TO THE BEST OF OUR KNOWLEDGE LAM CONSULTING ENGINEERING, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON THE OWNER SURVEYOR SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. 4/3/2020



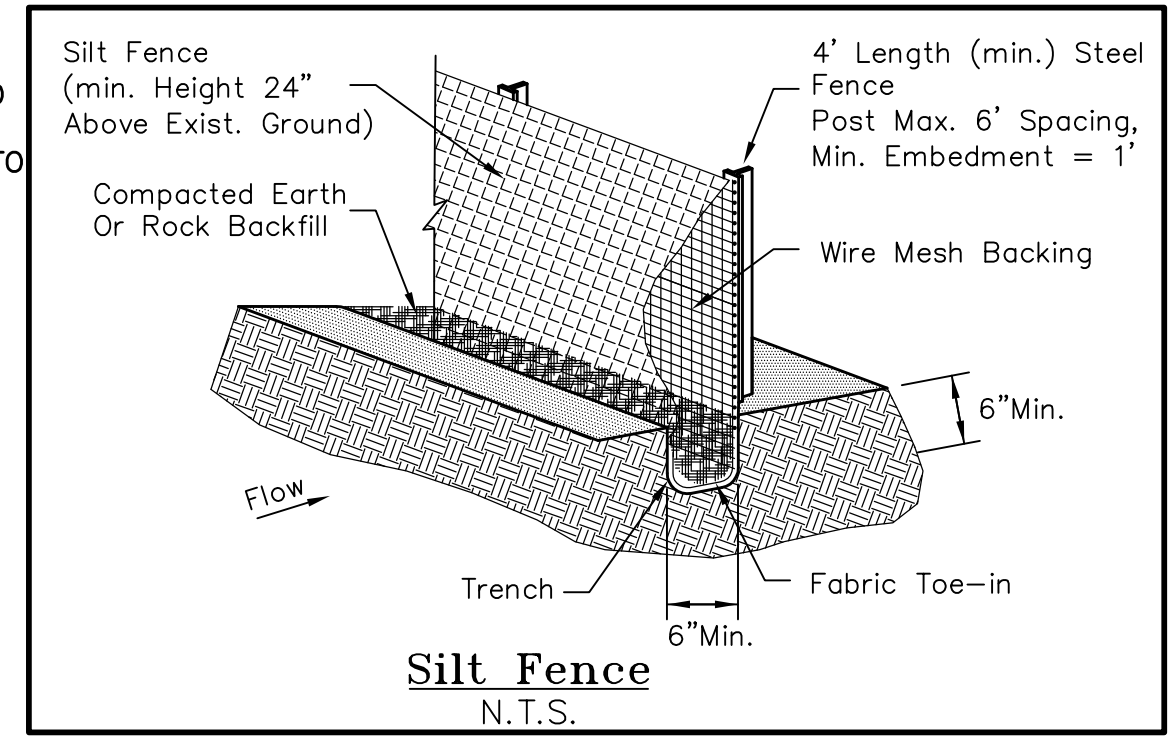
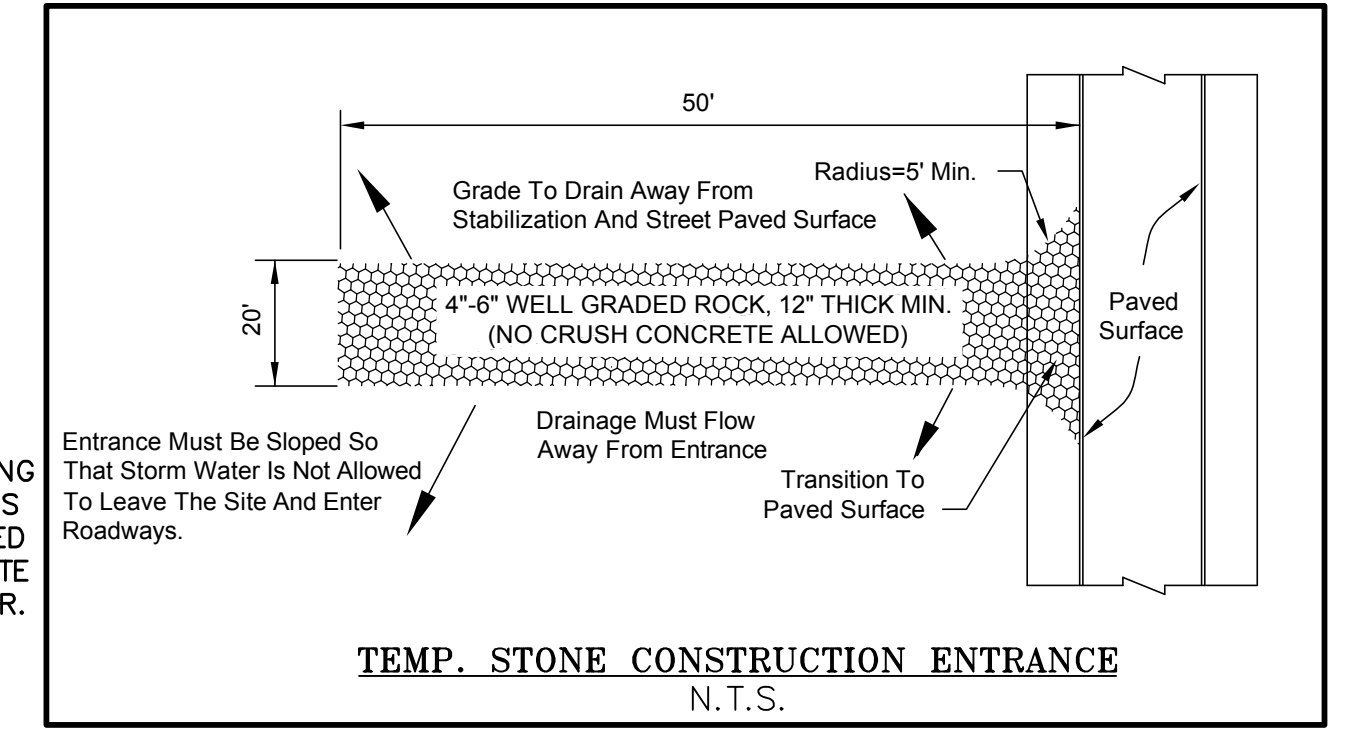
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**CONSTRUCTION SCHEDULE & PHASING**

- PHASE 1: INSTALL SILT FENCE AND STONE CONSTRUCTION ENTRANCE FOR ROUGH GRADING.
- PHASE 2: INSTALL UNDERGROUND UTILITIES
- PHASE 3: CONSTRUCT BUILDING FOUNDATION & PAVE PARKING LOT AND DRIVEWAY.
- PHASE 4: ESTABLISH GROUND COVER AND REMOVE EROSION CONTROL DEVICES

**B.M.P. MAINT. SCHED.**

BMP	MAINT. FREQ.	BY:



**LEGEND**

- SILT FENCE
- TEMP. STONE ENTRANCE

**NOTE:**  
CONTRACTOR SHALL PROVIDE CONSTRUCTION SITE NOTICE TO THE CITY PRIOR TO START OF CONSTRUCTION.

**CORNERSTONE COMMUNITY CHURCH**  
1950 ALPHA DRIVE  
ROCKWALL, TEXAS 75087  
(214) 771-4140

LOT AREA = 261,357 Sq. Ft. ~ 6.00 AC.  
DISTURBED AREA = 210,255 Sq. Ft. ~ 4.827 AC.

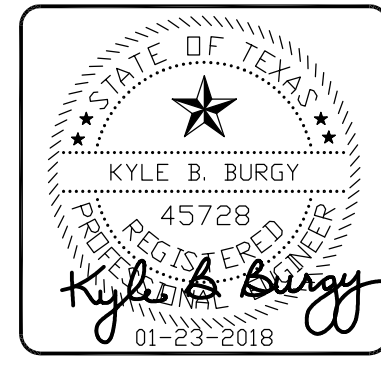
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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**EROSION CONTROL PLAN**  
CORNERSTONE COMMUNITY CHURCH - LOT 1, BLOCK A  
**CORNERSTONE COMMUNITY CHURCH**  
1565 AIRPORT ROAD  
ROCKWALL, TEXAS 75087

**LAM CONSULTING ENGINEERING**  
6804 WILHELMINA DRIVE  
SACHSE, TEXAS 75048  
Phone (214) 766-1011  
www.lamcivil.com  
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	10 of 10
DRAWN: CTL	DATE: NOVEMBER 2017	PROJECT: 619-17	



**BURGY DESIGNS**  
 906 Country Club Dr.  
 Rockwall, Texas 75084  
 Texas Firm #F-14625  
 214/403-6952  
 Email: Kburgy@burgydesigns.com

**CORNERSTONE CHURCH**  
 1565 AIRPORT ROAD  
 ROCKWALL, TEXAS 75087

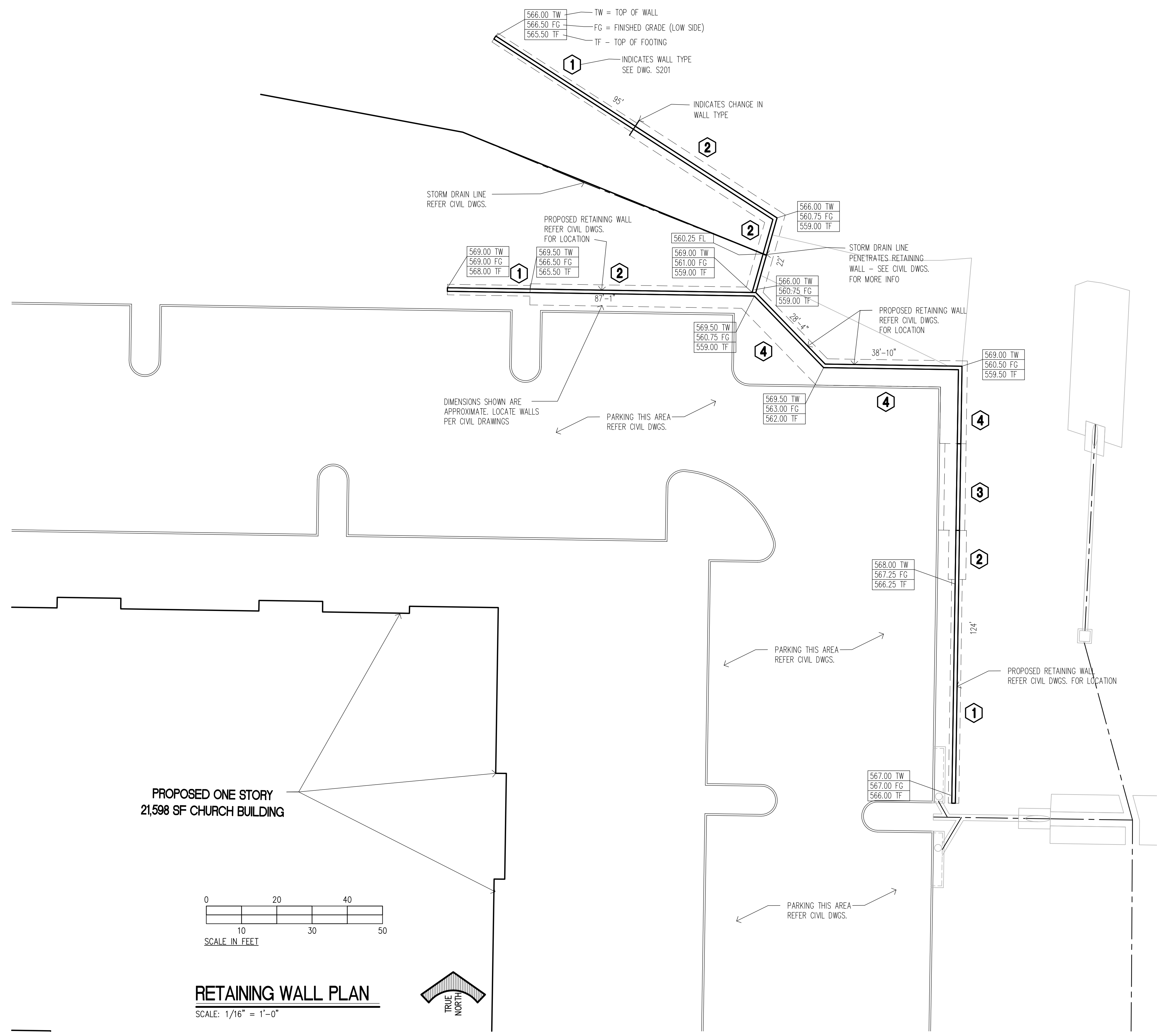
**MERSHAW ARCHITECTS**  
 2313 RIDGE ROAD  
 ROCKWALL, TEXAS 75087

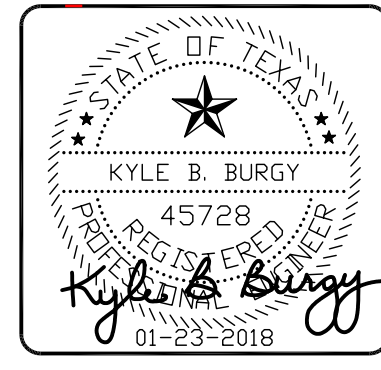
DATE: JAN. 23, 2018

SHEET TITLE:  
**RETAINING WALL PLAN**

SCALE: AS NOTED

**S101**





**BURGY DESIGNS**  
 906 Country Club Dr.  
 Rockwall, Texas 75084  
 Texas Firm #F-14625  
 214/403-6952  
 Email: kburgy@burgydesigns.com

**CORNERSTONE CHURCH**  
 1565 AIRPORT ROAD  
 ROCKWALL, TEXAS 75087

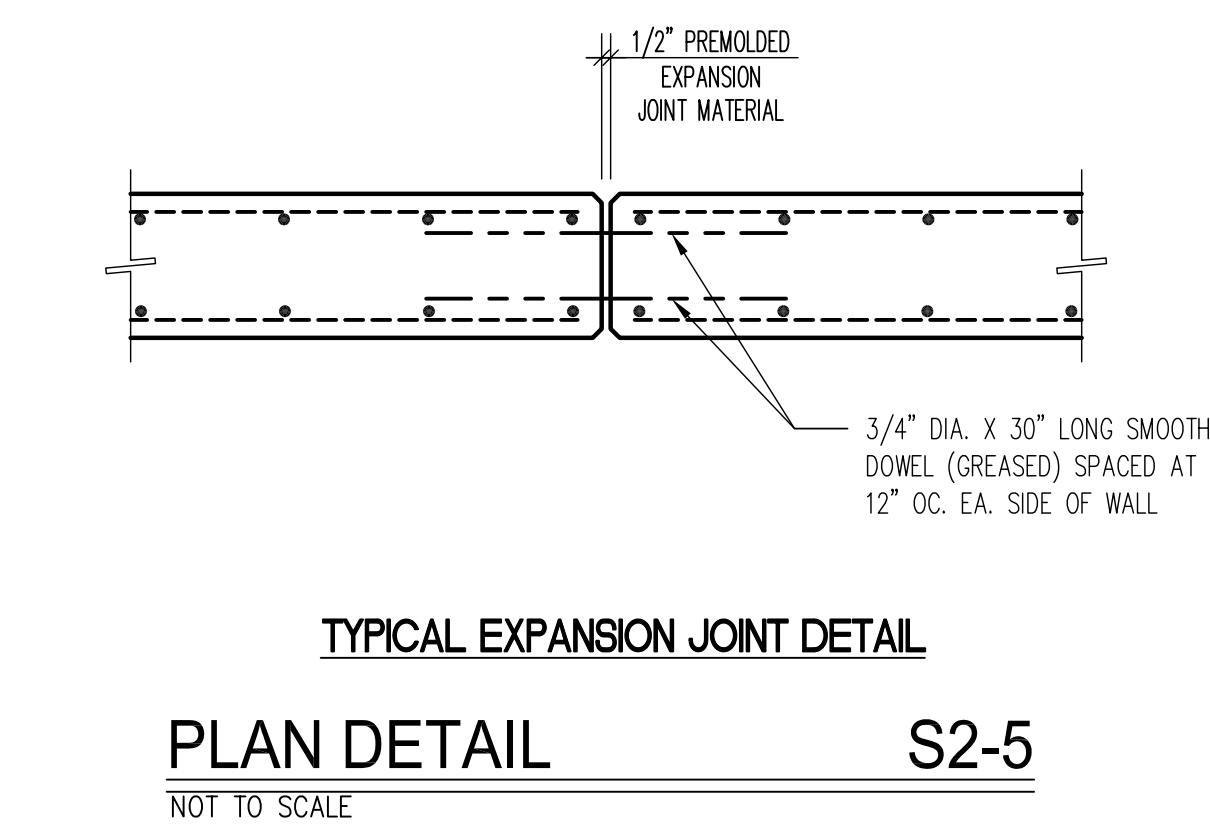
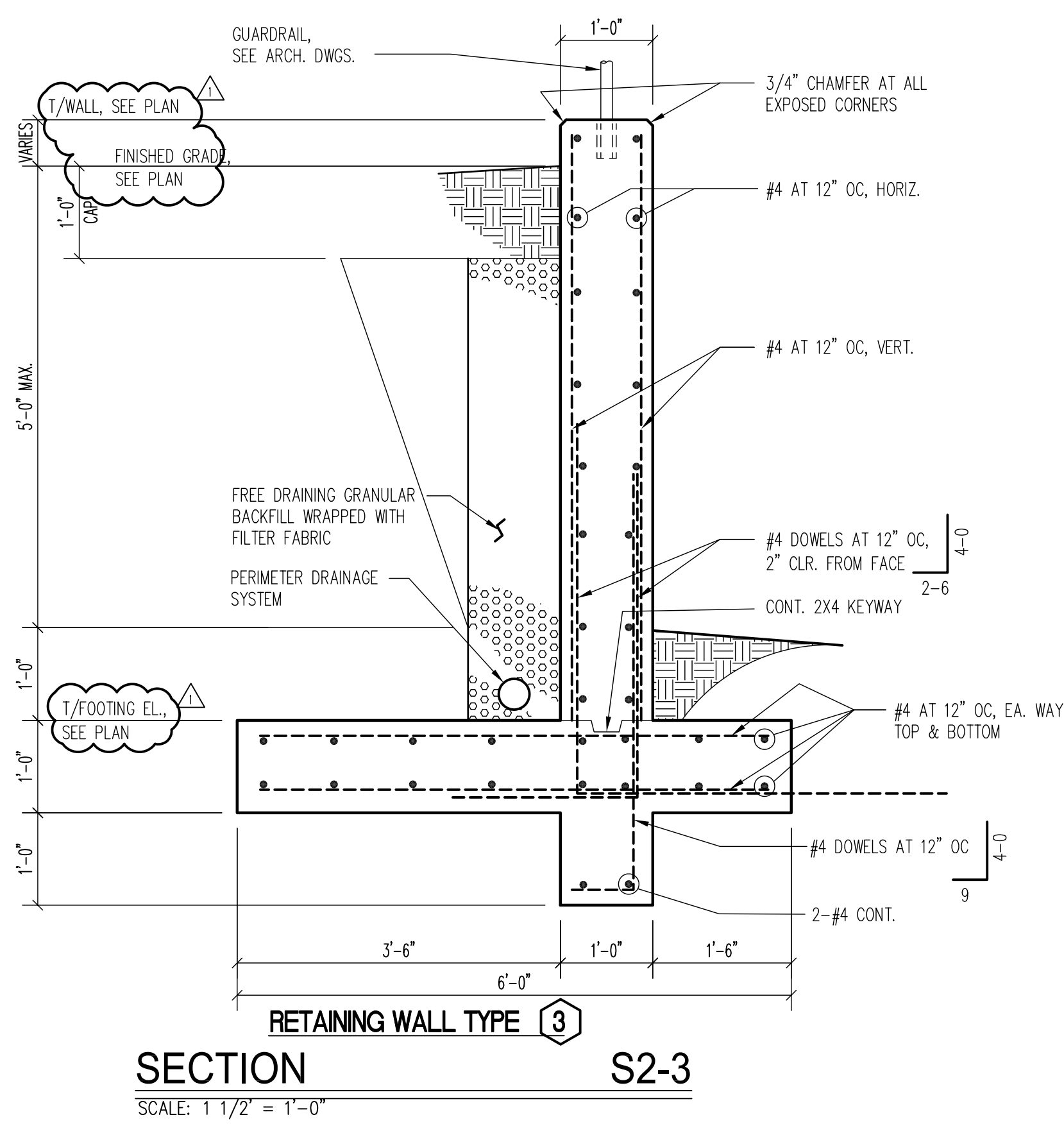
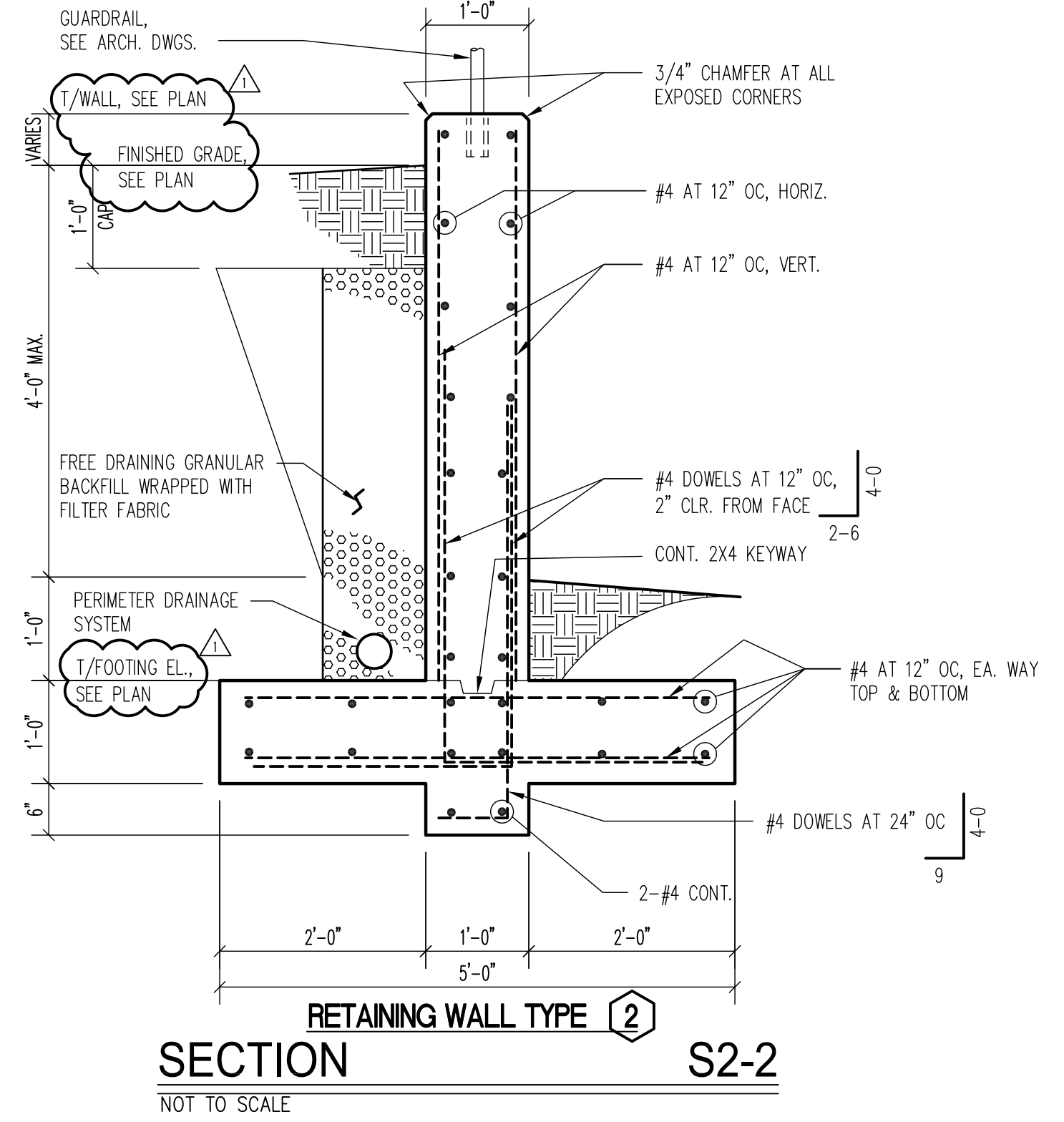
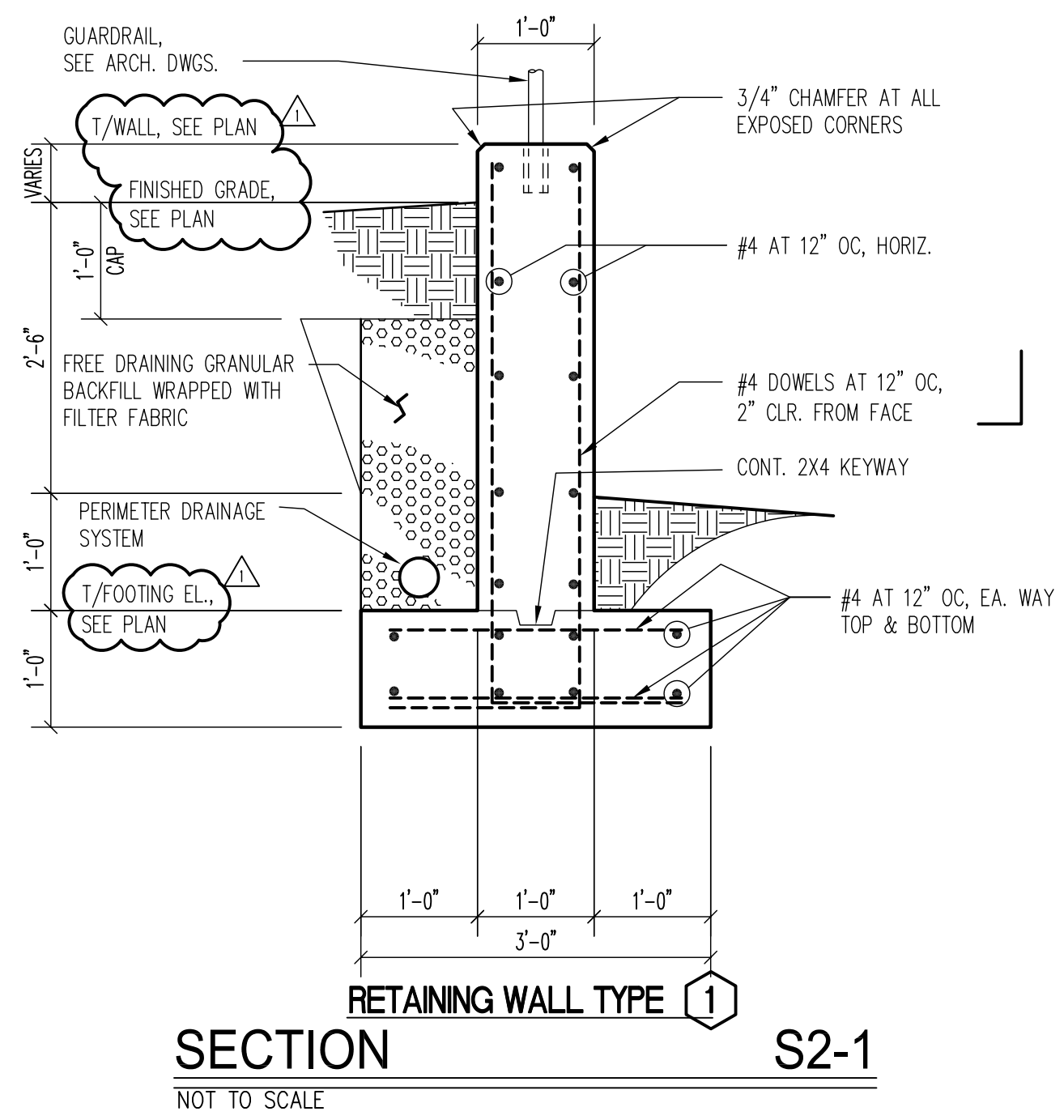
**MERSHAW ARCHITECTS**  
 2313 RIDGE ROAD  
 ROCKWALL, TEXAS 75087

DATE: JAN. 23, 2018  
 REV. 1 - 01.29.2018

SHEET TITLE:  
**SECTIONS, DETAILS AND GENERAL NOTES**

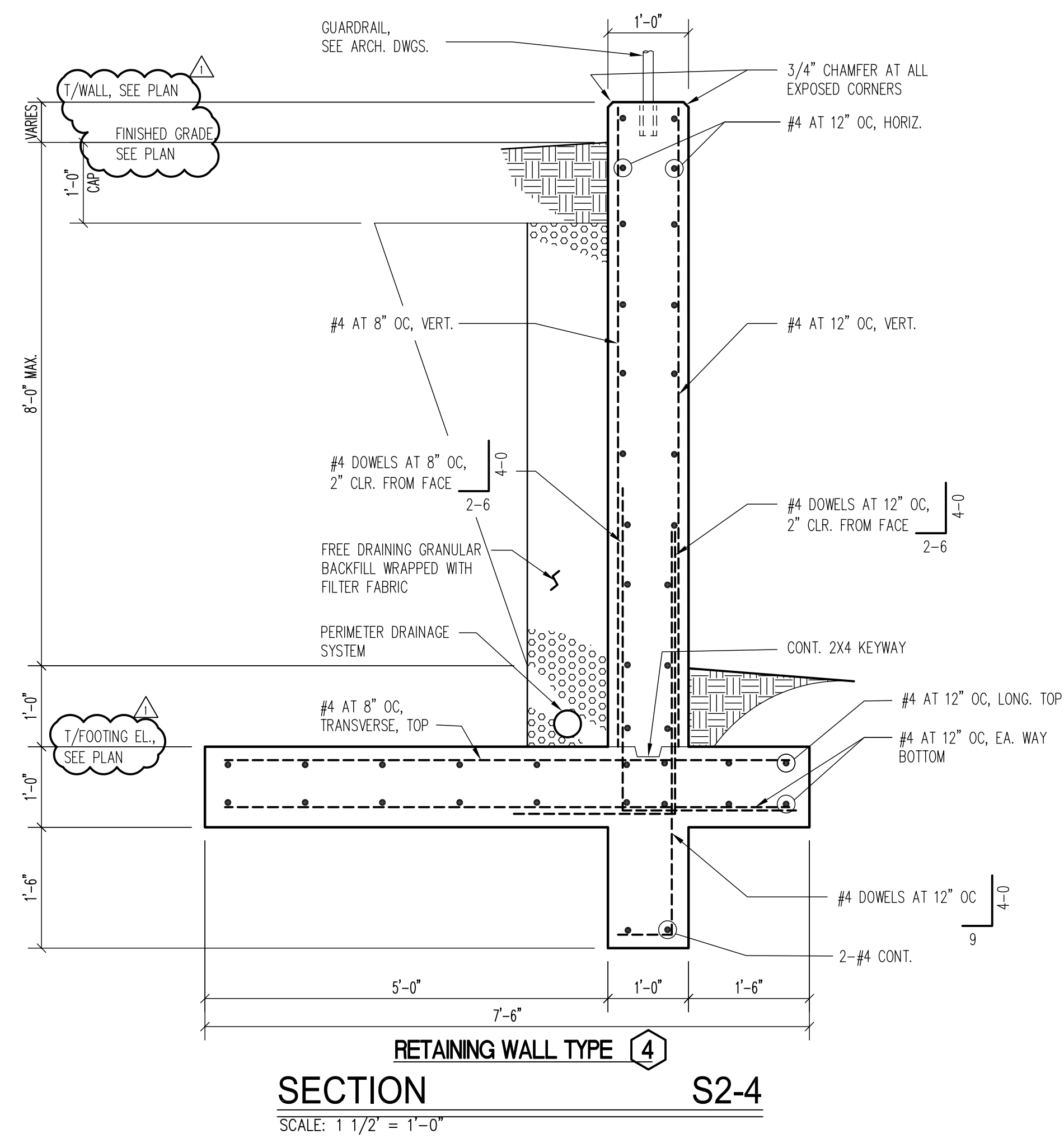
SCALE: AS NOTED

**S201**

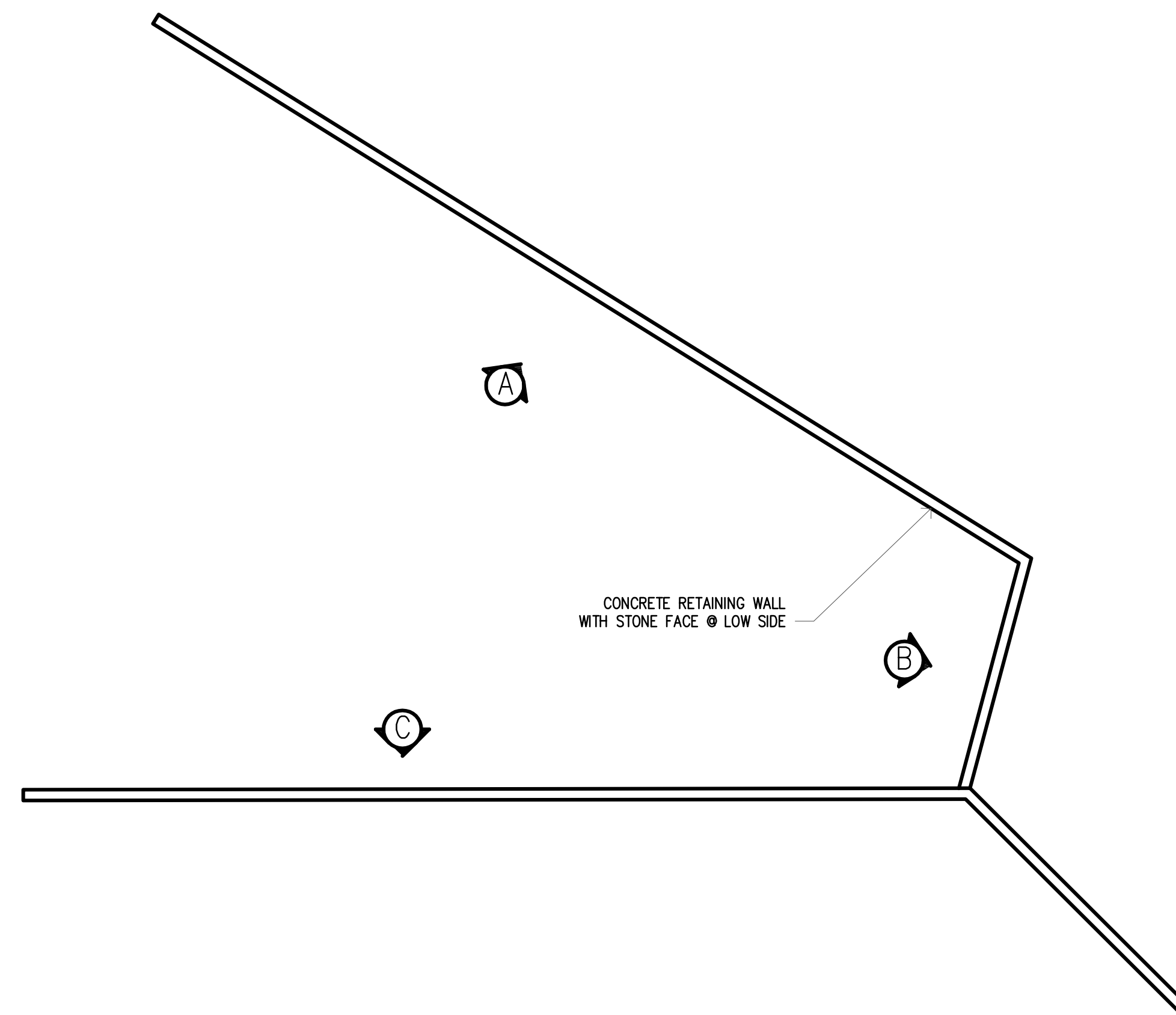
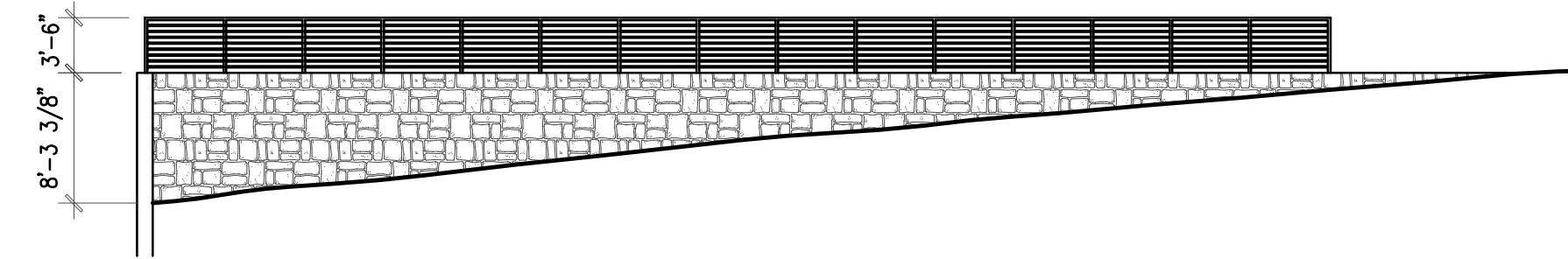
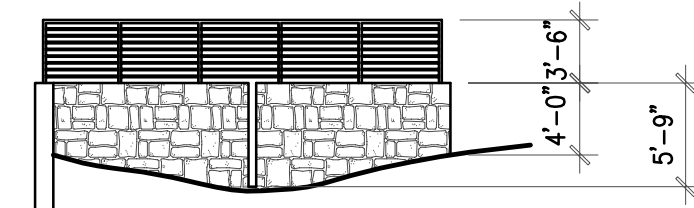
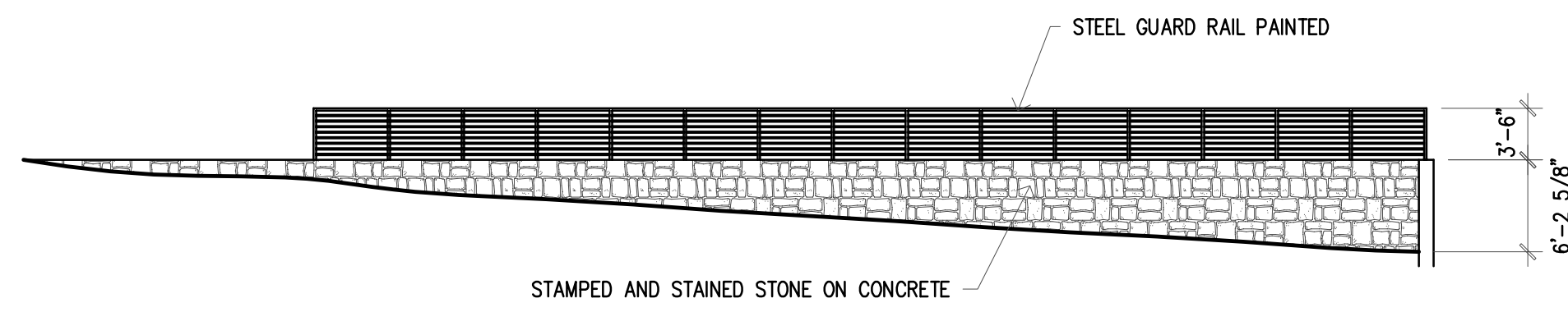


- MISCELLANEOUS:**
- VERIFY ALL CONDITIONS AT JOBSITE AND REPORT ANY DISCREPANCIES TO ARCHITECT.
  - SOIL LOADS ARE IN ACCORDANCE WITH SUBSURFACE INVESTIGATION NUMBER 17.401 DATED NOVEMBER 21, 2017 BY HOOPER GROUP, INCORPORATED, AND THE INTERNATIONAL BUILDING CODE, 2015 EDITION.
- EXCAVATION AND BACKFILL UNDER WALL FOOTINGS:**
- AFTER EXCAVATING FOR WALL FOOTINGS, CHECK TO ENSURE THAT SUBGRADE IS FIRM AND CAPABLE OF SUPPORTING WALL LOAD. IF SUBGRADE IS LOOSE OR MUCKY, OVEREXCAVATE TO FIRM SOIL AND REPLACE WITH LIKE SOIL, COMPACTED TO A MINIMUM OF 95 PERCENT STANDARD PROCTOR.
- CAST-IN-PLACE CONCRETE:**
- CAST-IN-PLACE CONCRETE SHALL CONFORM TO 2014 ACI BUILDING CODE UNLESS OTHERWISE NOTED. REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL.
  - CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND A MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD.
  - MILD STEEL REINFORCING BARS SHALL BE ASTM A615, GRADE 60.
  - WELDED WIRE FABRIC SHALL BE ASTM A185.
  - UNLESS OTHERWISE NOTED ON THE DRAWINGS, PROVIDE ONE #5 CORNER BAR 4'-0" LONG (2' - 0" EACH LEG) FOR EACH OUTSIDE HORIZONTAL BARS AT CORNERS IN ALL WALLS AND BEAMS.
  - PROVIDE ADDITIONAL REINFORCING OF 2 - #5 BARS X 4' - 0" LONG DIAGONAL AT EACH CORNER OF OPENINGS LARGER THAN 10" X 10" IN SLABS, UNLESS NOTED OTHERWISE.
  - BARS CALLED FOR AS CONTINUOUS SHALL HAVE STAGGERED LAPS 38 BAR DIAMETERS (1' - 0" MINIMUM).
  - CONTRACTOR SHALL BE RESPONSIBLE FOR EXTRA CONCRETE REQUIRED DUE TO POSSIBLE DEFLECTION OF SYSTEM DURING PLACEMENT OF CONCRETE.
  - CHAMFER ALL EXPOSED CORNERS 3/4" HORIZONTALLY AND VERTICALLY.
  - PROVIDE 3 INCH DIAMETER WEEP HOLES AT EIGHT (8) FOOT CENTERS THROUGHOUT LENGTH OF ALL WALLS. CONNECT WEEPS TO CONTINUOUS PERFORATED PIPE IN BOTTOM OF DRAINAGE TRENCH.
  - LOCATE CONSTRUCTION JOINTS AS INDICATED ON PLANS.
  - MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE: 3" FOR CONCRETE CAST AGAINST SOIL, 2" FOR FOOTINGS AND WALLS EXPOSED TO WEATHER OR SOIL.
  - FULLY BRACE WALLS WHILE BACKFILLING AGAINST THEM. MAINTAIN BRACING IN POSITION UNTIL SOIL CAP IS IN PLACE.
  - REFERENCE ARCHITECTURAL DRAWINGS FOR GUARDRAIL CONSTRUCTION AND CONFIGURATION.
  - REFERENCE ARCHITECTURAL DRAWINGS FOR TEXTURED EXPOSED FACE TREATMENT OF RETAINING WALL.
  - REFERENCE CIVIL DRAWINGS FOR ABOVE-WALL AND BELOW-WALL FINISH GRADES, AND FOR PIPE INVERT ELEVATIONS.
  - EXPANSION JOINTS SHALL BE FORMED AT A MAXIMUM SPACING OF 60 FEET, AND SHALL EXTEND THROUGH THE WALL AND THE FOOTING. EXPANSION JOINTS SHALL BE COMPRISED OF 1/2" PREMOLED FILLER MATERIAL.

- DRAINAGE SYSTEM:**
- DRAINAGE LINER FABRIC SHALL BE TENCATE MIRAFI N-SERIES NONWOVEN POLYPROPYLENE GEOTEXTILES FOR SOIL SEPARATION AND DRAINAGE. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. AS A MINIMUM, SIDE LAPS ONLY AS REQUIRED WITH 36 INCH MINIMUM OVERLAP SPlice AND 12 INCH MINIMUM TOP OVERLAP.
  - BACKFILL WITH WASHED ROCK, 1/2 INCH TO 1 1/2"; TYPICAL.
  - CONTINUOUS DRAIN PIPE SHALL BE 4-INCH DIAMETER, SCHEDULE 40 PVC PRE-ENGINEERED PERFORATED FRENCH DRAIN PIPE (DRAIN FABRIC WRAPPED). CONNECT TO WEEP HOLES WITH 3-INCH NON-PERFORATED PVC PIPE.
  - CLEANOUTS SHALL BE 4-INCH DIAMETER JOSAM 58580-5 SERIES ABS FLOOR ACCESS HOUSING WITH SPECIAL-DUTY SCORATED SECURED ROUND CAST IRON TOP AND LEVELOC SCREWS. PROVIDE DUCTILE IRON TOP. PROVIDE 4-INCH DIAMETER ACCESS HOUSING ASSEMBLY. PROVIDE CLEANOUT ASSEMBLY WITH SWEEPS, FITTINGS, SPLICES, ETC. LOCATE CLEANOUTS AT DEAD ENDS OF TRENCHES, TURNS, INTERSECTIONS, AND ALONG RUNS OF WALL AT 100 LINEAL FEET, MAXIMUM. PROVIDE SCHEDULE 40 (NON-PERFORATED) PVC ASSEMBLY TO PERFORATED DRAIN PIPE.

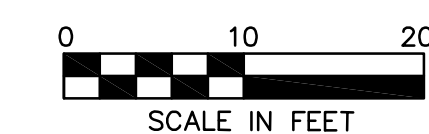






**PRICING & CONSTRUCTION GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.



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MEDICAL COMMERCIAL CHURCHES  
RESIDENTIAL RESTAURANTS INSTITUTIONAL ARCHITECTS

**MERSHAWN ARCHITECTS**

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302  
FAX: 972-249-2051

No.	Date	Revision	By

CORNERSTONE COMMUNITY CHURCH  
ROCKWALL, TEXAS

Scale: 3/32" = 1'-0"  
Date: 10/16/17  
Project No.: 170201  
Designed: GW  
Drawn: GW  
Checked: WM

SHEET

OF