

CIVIL CONSTRUCTION DOCUMENTS

FOR

CINEMARK EXPANSION

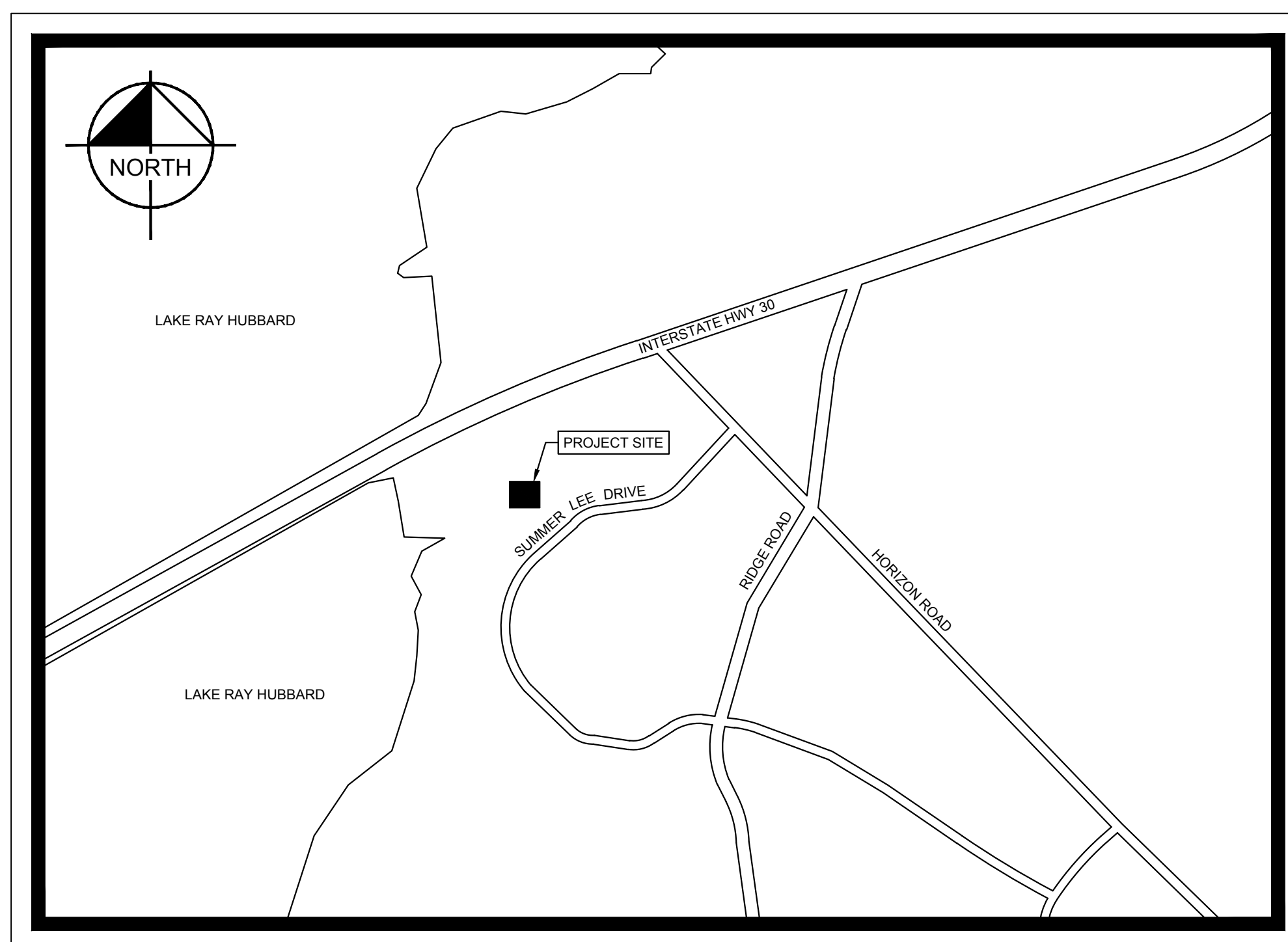
THE HARBOR

CITY OF ROCKWALL, TX

CIVIL CONSTRUCTION PLANS

PLANS SUBMITTAL/REVIEW LOG

CLIENT SUBMITTAL - NOT FOR CONSTRUCTION	10/19/2017
2ND CLIENT SUBMITTAL - FOR BID AND PERMIT	11/27/2017
3RD CLIENT SUBMITTAL - ISSUE FOR BID	01/29/2018
2ND CITY SUBMITTAL - NOT FOR CONSTRUCTION	01/30/2018
3RD CITY SUBMITTAL - NOT FOR CONSTRUCTION	02/19/2018
4TH CITY SUBMITTAL - NOT FOR CONSTRUCTION	03/13/2018
ISSUE FOR CONSTRUCTION	04/06/2018



LOCATION MAP
NOT-TO-SCALE

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C0.0	COVER SHEET
---	EXISTING REPLAT
C0.1	KHA GENERAL NOTES
C1.0	DEMOLITION PLAN
C2.0	EROSION CONTROL PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C4.1	EXISTING DRAINAGE AREA MAP
C4.2	PROPOSED DRAINAGE AREA MAP
C5.0	DRAINAGE PLAN
C5.1	CULVERT PROFILE AND CALCULATIONS
C6.0	WATER AND SANITARY SEWER PLAN
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
LP1.01	PLANTING PLAN
LP1.02	PLANTING SPECIFICATIONS

PREPARED BY:

Kimley»Horn

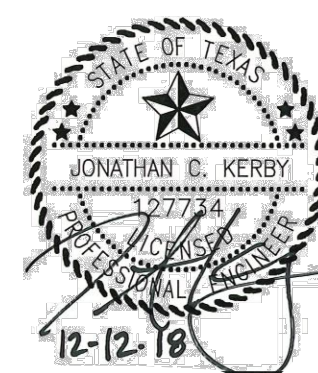
FIRM REGISTRATION NO. F-928
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240

PHONE: (972) 770-1330
FAX: (972) 239-3620

PRIMARY CONTACT:
JONATHAN KERBY, P.E.
JONATHAN.KERBY@KIMLEY-HORN.COM
PHONE: (972)-770-1370

ARCHITECT
BECK ARCHITECTURE LLC
1807 ROSS AVENUE, STE 500
DALLAS, TEXAS 75201
CONTACT: JOSEPH BROWN

OWNER
PA HARBOR RETAIL LLC
8222 DOUGLAS AVENUE, STE 390
DALLAS, TEXAS 75201



APRIL 2018

"RECORD DRAWINGS"
These drawings have been revised to show those changes during the construction process reported by the contractor to Kimley-Horn and Associates, Inc. and considered to be significant. These drawings are not guaranteed to be "As-Built," but are based on the information available.
DATE: 12/12/2019 BY: [Signature]

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

C0.0

GENERAL NOTES:

- 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMP, DOWNSPOTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS, ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
2. ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
3. REFER TO CONSTRUCTION DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
5. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
6. SURVEY PROVIDED BY KIMLEY-HORN AND ASSOCIATES, INC.
7. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE STATE DEPT. OF TRANSPORTATION, TXDOT AND CITY OF ROCKWALL INSPECTIONS.
8. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE, INCLUDING ANY DAMAGE CAUSED BY THE CONTRACTOR.
10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
11. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE TXDOT AND CITY OF ROCKWALL.
12. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
14. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
15. THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARDS MANUAL (LATEST REVISIONS FOR ACCESSIBLE RAMP DETAILS).
16. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
17. ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TXDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF ROCKWALL STANDARD SPECIFICATIONS AND DETAILS.
18. ALL WORK MUST COMPLY WITH TEXAS STATE BUILDING CODE AND TEXAS ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
19. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.

TREE PROTECTION NOTES:

- 1. THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
2. WHEN ROOT PRUNING IS NECESSARY, USE A TRENCHER TO CUT AREA WHERE APPROPRIATE ROOT PRUNING SHOULD BE PERFORMED. TO PRUNE ROOTS LARGER THAN THE CAPABILITY OF A TRENCHER, USE HAND TOOLS TO OBTAIN A CLEAN CUT. DRESS WOUNDS LARGER THAN TWO INCHES AND USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB AND GUTTER.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
4. NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH, RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
5. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

DRAINAGE:

- 1. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
PRIVATE - LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE - AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND M17-97 TYPE S, SMOOTH INTERIOR/AMMULAR EXTERIOR, ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES OR TXDOT SPECIFICATION, WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.
2. ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
3. ALL PUBLIC STORM PIPE SHALL BE PER CITY OF ROCKWALL STANDARDS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
5. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
6. ADDITIONAL SUBSURFACE DRAINAGE MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
7. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
7.1. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
7.2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
7.3. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
7.4. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.
7.5. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
7.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
11. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS.
12. THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
13. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
14. STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
15. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.

UTILITY NOTES:

- 1. ALL FILL MATERIAL IS TO BE IN PLACED IN 8-INCH THICK LOOSE LIFTS AND COMPACTED TO A DRY DENSITY OF 93 TO 97 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER THE GEOTECH REPORT.
2. CONTRACTOR SHALL NOTIFY THE CITY OF ROCKWALL ENGINEERING INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 10' DEEP
8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 10' DEEP
6" PVC SCHEDULE 40
4" PVC SCHEDULE 40
DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
4. WATER LINES SHALL BE AS FOLLOWS:
3" AND LARGER - CLASS 200 DR 14
SMALLER THAN 3" - TYPE K COPPER TUBE
5. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
6. ALL WATER JOINTS ARE TO BE MEGALUG MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
7. WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'0" COVER ON ALL WATERLINES.
9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE ENCASED IN DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-15) (CLASS 50).
10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
12. THE CITY OF ROCKWALL HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS.
13. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF ROCKWALL UTILITY/ENGINEERING DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IF CITY OF ROCKWALL DOES NOT REQUIRE TESTING, CONTACT ENGINEER FOR APPROPRIATE UTILITY TESTING CRITERIA.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDER FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
25. WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE ENCASEMENT SHALL BE INSTALLED.
27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.
28. GREASE INTERCEPTOR SIZING AND DETAILS ARE TO BE INCLUDED WITH BUILDING CONSTRUCTION PLUMBING PLANS.
29. ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
30. CONTRACTOR TO INSTALL GREEN EMS DISKS ON PUBLIC SEWER AT ALL MANHOLES, CLEANOUTS, SERVICE CONNECTIONS, AND EVERY CHANGE IN DIRECTION.
31. CONTRACTOR TO INSTALL BLUE EMS DISKS ON WATER LINES AT EVERY VALVE, SERVICE CONNECTION, CHANGE IN DIRECTION, FIRE HYDRANTS, AND EVERY 250 FEET.
32. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ALL PROPOSED AND EXISTING STRUCTURES AND UTILITIES TO FINAL GRADE.

BACKFLOW PREVENTION NOTES:

- 1. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF ROCKWALL UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
2. ALL REQUIRED BACKFLOW PREVENTER ASSEMBLES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
3. THE DOMESTIC AND IRRIGATION TESTABLE BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF ROCKWALL REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
4. THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF ROCKWALL REGULATIONS.

TRAFFIC CONTROL:

- 1. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

GRADING:

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF ROCKWALL AND TEXAS DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
6. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
7. ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF TEXAS. PER THE CITY OF ROCKWALL STANDARDS, MINIMUM 95% COMPACTION WITH A SHEEP'S FOOT ROLLER IS REQUIRED EXCEPT ON BUILDING PAD.
8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
9. THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT GROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
10. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
11. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL VEGETATION IS ESTABLISHED AND DISTURBED AREAS ARE STABILIZED.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
17. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.
18. CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL DEWATERING RECOMMENDATIONS.
19. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
20. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
21. ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
22. GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE GUTTER FLOW LINE FOR CURB INLETS.
23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
25. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
26. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
27. ALL AREAS WITH GREATER THAN 4:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
28. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.

FINE GRADING NOTES:

- 1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
2. CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS FROM THE TCEQ AND NCTCOG 4TH EDITION EROSION AND SEDIMENT CONTROL REGULATIONS.
3. GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
4. THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 4:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.
5. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
6. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPLSLOPE LAND DISTURBANCE TAKES PLACE.
7. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE CITY OF ROCKWALL INSPECTIONS DEPARTMENT. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TCEQ AND NCTCOG EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.
10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED WITH RYE. TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE TCEQ AND NCTCOG SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
13. CONTRACTOR TO ENSURE THAT SEDIMENT LOADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
14. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
15. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
17. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
18. PER CITY OF ROCKWALL STANDARDS, 75-80% OF ALL DISTURBED AREA TO HAVE HAVE A MINIMUM 1" STAND OF GRASS (NOT SEASONAL LIKE WINTER RYE) PRIOR TO CITY ACCEPTANCE AND/OR CERTIFICATE OF OCCUPANCY.
DEMOLITION NOTES:
1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL.
2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
4. WHERE PAVEMENT REMOVAL AREAS ABOUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
5. ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

GEOTECH NOTE

REFER TO GEOTECHNICAL INVESTIGATION FOR SPECIFICATIONS FOR PAVEMENT SECTIONS AND SUBGRADE PREPARATION. TITLE: REPORT NO. G172364 BY: ALPHA TESTING DATED: OCTOBER 13, 2017

"RECORD DRAWINGS" These drawings have been revised to show those changes during the construction process reported by the contractor to Kimley-Horn and Associates, Inc. and considered to be significant. These drawings are not guaranteed to be "As-Built" but are based on the information available. 12/12/2019 DATE: [Signature]

Table with columns for No., REVISIONS, and DATE.

Kimley-Horn logo and contact information: 2018 KIMLEY-HORN TWO GALLERIA OFFICE TOWER, SUITE 700 DALLAS, TEXAS 75240 PHONE: 972.308.8800 TEXAS REGISTERED ENGINEERING FIRM #28

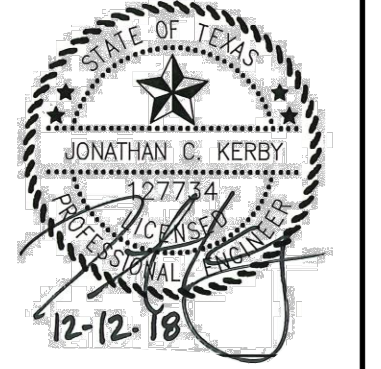


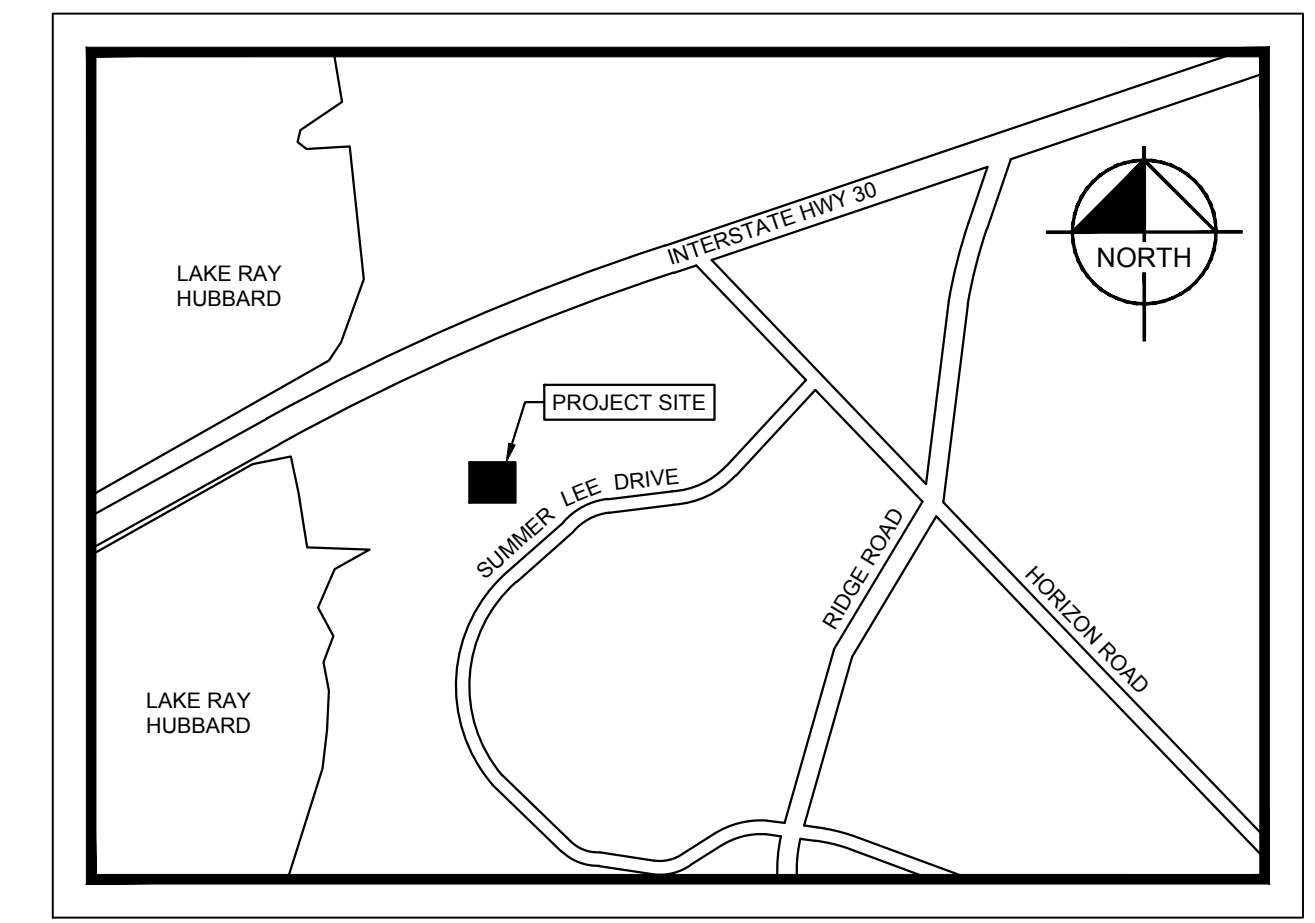
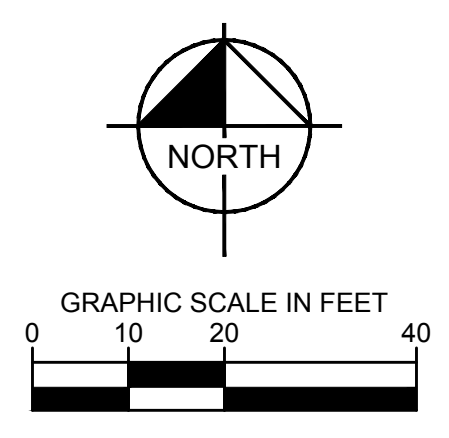
Table with project details: PROJECT NO: 064200160, DATE: 04/06/2018, SCALE: AS SHOWN, DESIGNED BY: JCK, DRAWN BY: RCL, CHECKED BY: KSG.

KHA GENERAL NOTES

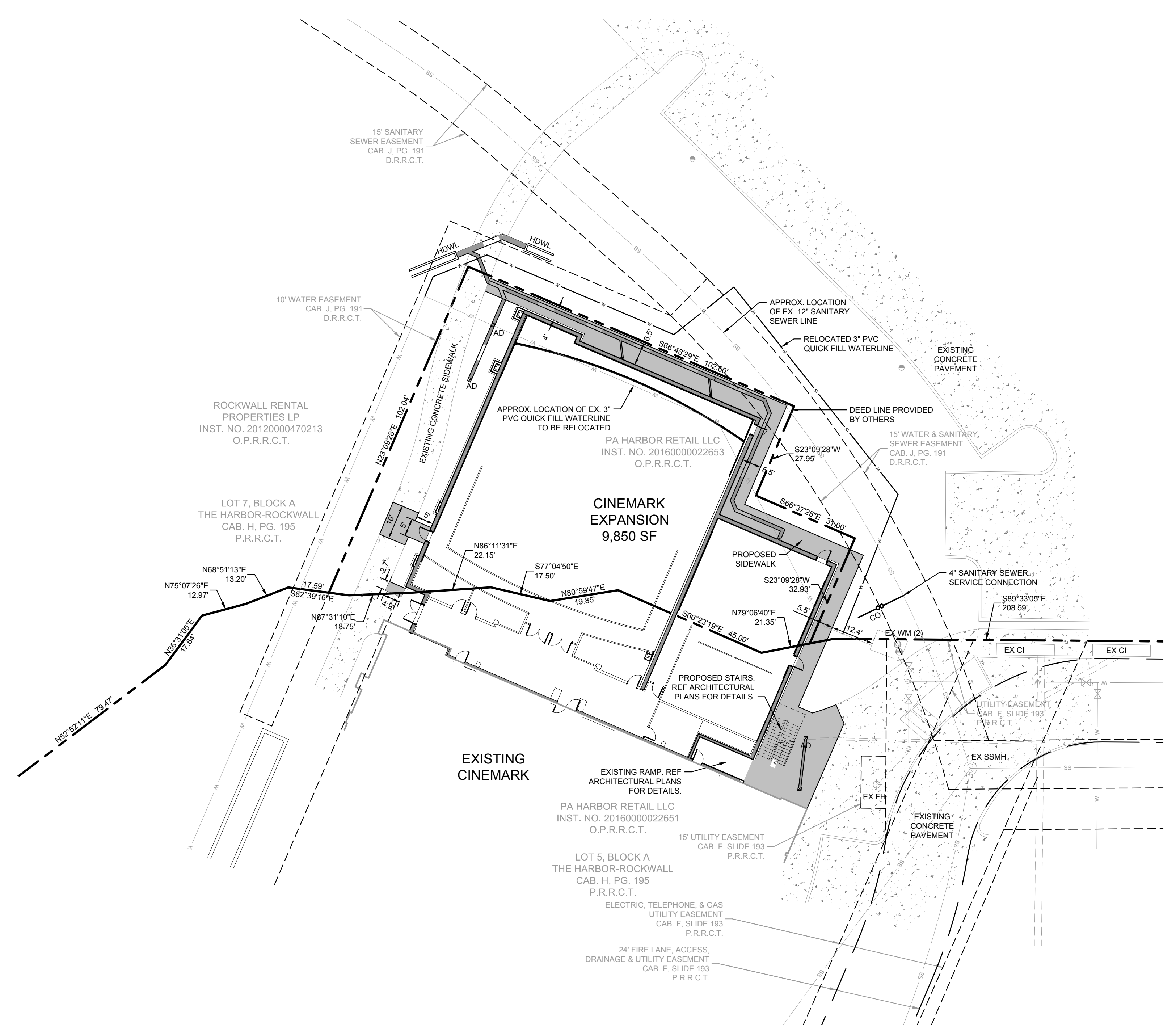
CINEMARK THE HARBOR - ROCKWALL SUMMER LEE DRIVE CITY OF ROCKWALL, TX

VERTICAL SCALE: 1"=10' HORIZONTAL SCALE: 1"=20' DATE: 12/12/2019 11:45 AM DRAWN BY: JCK CHECKED BY: KSG

IMAGES XREFS BY DATE LAST SAVED LAST SAVED LAST SAVED THIS DOCUMENT TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



LOCATION MAP
NOT-TO-SCALE



SITE LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
⊕ EX FH	EXISTING FIRE HYDRANT
AD	PROPOSED AREA DRAIN
∞ CO	PROPOSED DOUBLE CLEAN-OUT
■	PROPOSED 4" THICK CONCRETE SIDEWALK (3,000 PSI W/ #3 BARS @ 24" O.C. IN W/ REFER CITY OF ROCKWALL STANDARDS)

- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADI DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADI ARE 2' OR 10' UNLESS OTHERWISE NOTED.
 - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.

"RECORD DRAWINGS"
These drawings have been revised to show those changes during the construction process reported by the contractor to Kimley-Horn and Associates, Inc. and considered to be significant. These drawings are not guaranteed to be "As-Built," but are based on the information available.
12/12/2018
DATE: BY: [Signature]

CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

BENCH MARK LIST

CITY OF ROCKWALL MON. RESET #1 BRASS DISK IN A GRASSED ISLAND ON THE SOUTH SIDE OF SUMMER LEE DRIVE BETWEEN COMMUNITY BANK AND ROCKWALL COUNTY ABSTRACT AND TITLE COMPANY ELEV. = 567.70'
CITY OF ROCKWALL MON. R014 BRASS DISK NEAR A LIGHT POLE IN A GRASSED AREA IN THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY CHANDLER DRIVE AND COMMODORE PLAZA ELEV. = 561.02'
BM # 3 SET ON CURB INLET, #75 NORTHEAST OF THE NORTHEAST BUILDING CORNER OF CINEMARK 12 MOVIE THEATER ELEV. = 460.29'

GEOTECH NOTE
REFER TO GEOTECHNICAL INVESTIGATION FOR SPECIFICATIONS FOR PAVEMENT SECTIONS AND SUBGRADE PREPARATION.
TITLE: REPORT NO. G172364
BY: ALPHA TESTING
DATED: OCTOBER 13, 2017

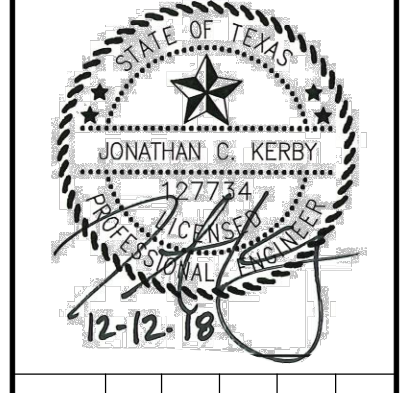
STOP!
CALL BEFORE YOU DIG
1-800-DIG-TESS
(@ least 72 hours prior to digging)

SITE PLAN
CINEMARK EXPANSION
0.22 Acres
THE HARBOR ROCKWALL
City of Rockwall, Rockwall County, Texas
Submitted: 11/27/2017
Revised: 01/29/2018

Owner: PA Harbor Retail LLC 8222 Douglas Ave, Ste 390 Dallas, Texas 75225 Phone:	Developer: Crimk Texas Properties LLC 3900 Dallas Parkway, Ste 500 Plano, Texas 75093 Contact: Dan Hartman Phone: (972) 565-1104	Engineer: Kimley-Horn and Associates, Inc. 13455 Noel Rd Two Galleria Office Tower, Ste 700 Dallas, Texas 75240 Contact: Jonathan Kerby, P.E. Phone: (972) 770-1370
---	--	--

No.	REVISIONS	DATE	BY

Kimley-Horn
© 2018 KIMLEY-HORN
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: (972) 770-1370
TEXAS REGISTERED ENGINEERING FIRM # 928

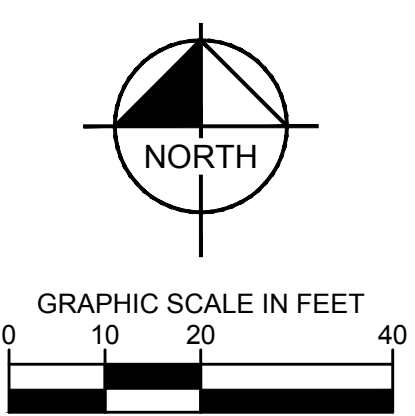


PROJECT No: 064500160	DATE: 04/06/2018	SCALE: AS SHOWN	DESIGNED BY: JCK	DRAWN BY: RCL	CHECKED BY: KSG
--------------------------	---------------------	--------------------	---------------------	------------------	--------------------

SITE PLAN

CINEMARK
THE HARBOR - ROCKWALL
SUMMER LEE DRIVE
CITY OF ROCKWALL, TX

SHEET NUMBER
C3.0

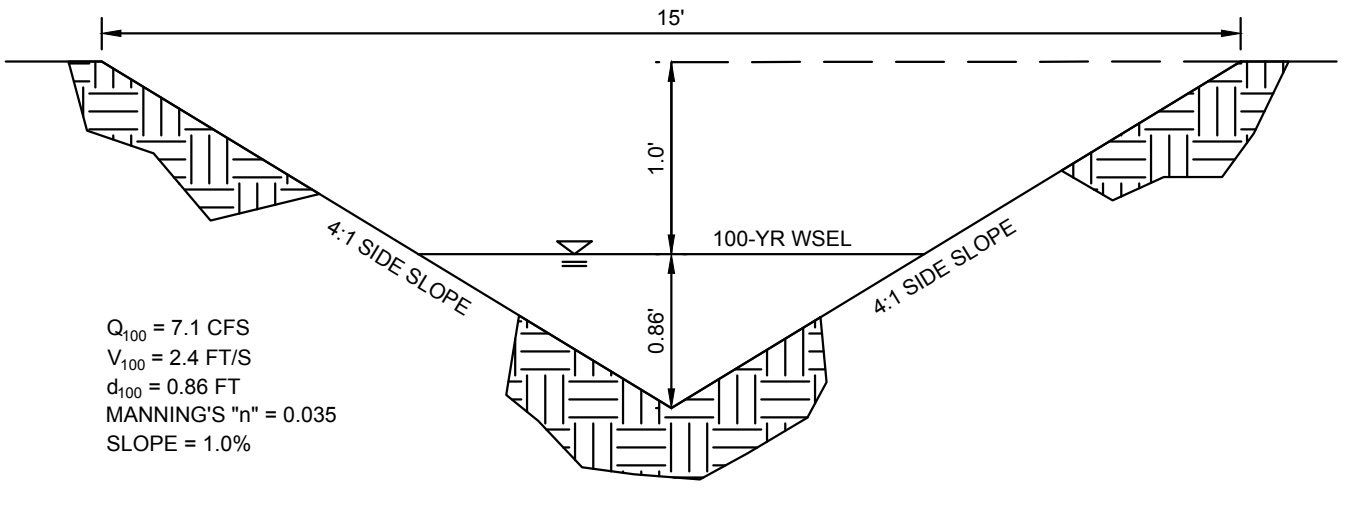


LEGEND

- PROPERTY LINE
- 510 — PROPOSED CONTOUR
- - - 510 - - - EXISTING CONTOUR
- - - - - PROPOSED CHANNEL
- - - - - PROPOSED CHANNEL FLOWLINE
- FFE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- TG TOP OF GRATE
- ME MATCH EXISTING
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL

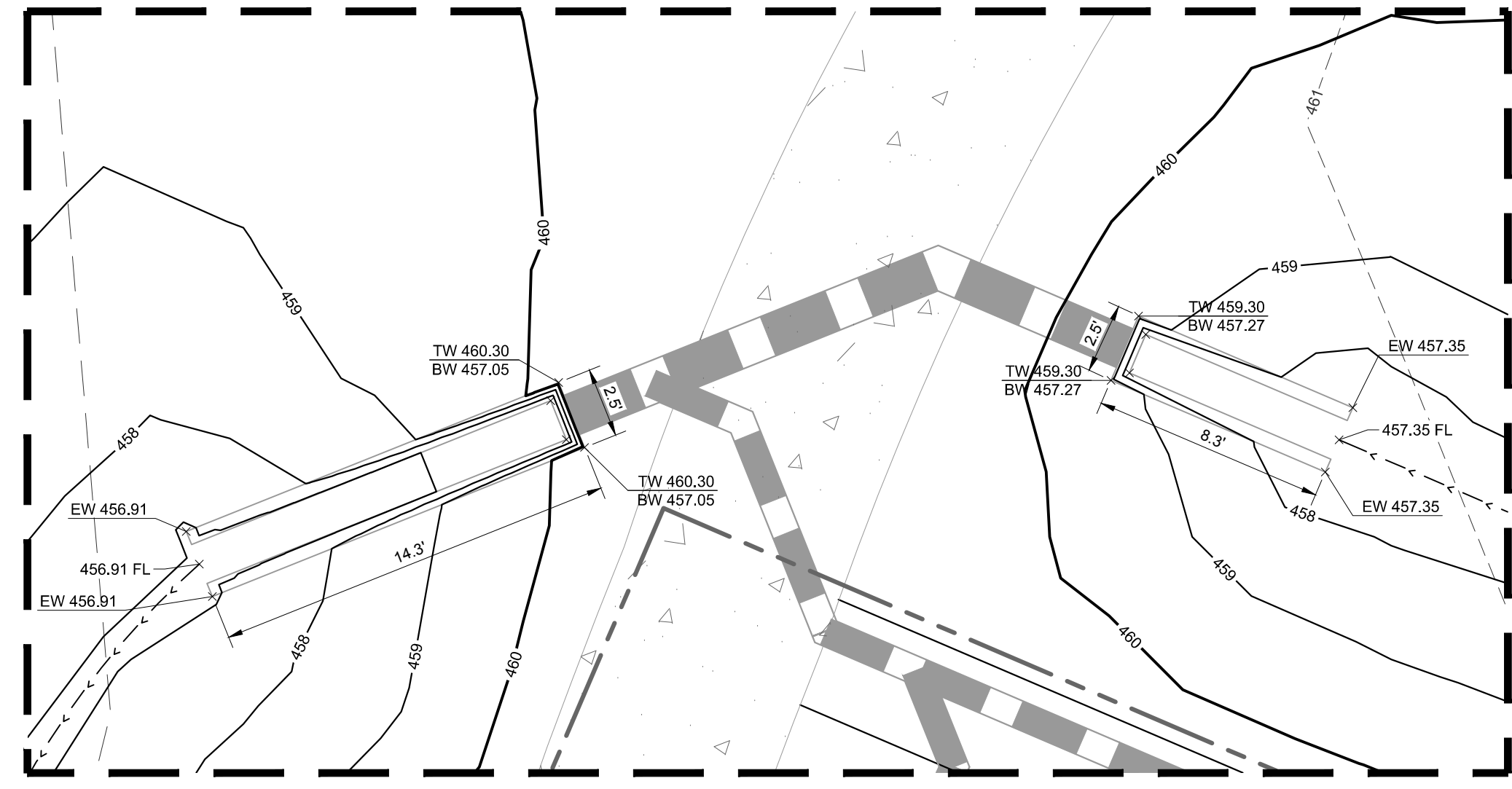
NOTES

1. ALL CONSTRUCTION SHALL BE IN GENERAL ACCORDANCE WITH THESE PLANS, CITY OF ROCKWALL STANDARD SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDUMS, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS.
2. UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE. ADD .50' TO PAVING GRADE FOR TOP OF CURB GRADE.
3. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
4. SEE STRUCTURAL SPECIFICATIONS FOR BUILDING PAD DETAILS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE CITY, AT NO ADDITIONAL COST TO THE OWNER.
5. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY THE GRADING CONTRACTOR AT HIS EXPENSE.
6. BEFORE ANY EARTHWORK IS PERFORMED, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
7. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. THAT ARE TO REMAIN OR BE RELOCATED DURING ALL CONSTRUCTION PHASES.
8. EXISTING OFFSITE CONTOURS AS SHOWN ON THIS PLAN WERE TAKEN FROM AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY OTHERS. BASED ON THE BENCHMARK SHOWN, CONTRACTOR SHALL REFERENCE SAME BENCHMARK.
9. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.
10. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
11. GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
12. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE GRADING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENTS FOR SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE CITY'S SPECIFICATIONS AND THESE PLANS.
13. CONTRACTOR SHALL CALL 1-800-DIG-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION FOR FIELD LOCATIONS OF UTILITIES IN THE VICINITY OF THE SITE.
14. PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN CASE OF DISCREPANCY.
15. NO TREE SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR OWNER'S REPRESENTATIVE. EXISTING TREES SHALL BE PRESERVED WHENEVER POSSIBLE.
16. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROL PRIOR TO COMMENCING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE CONSTRUCTION COMMENCES.
17. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
18. CONTRACTOR TO ADJUST ALL MANHOLES, VALVE BOXES, METER BOXES, ETC. TO FINISHED GRADE.

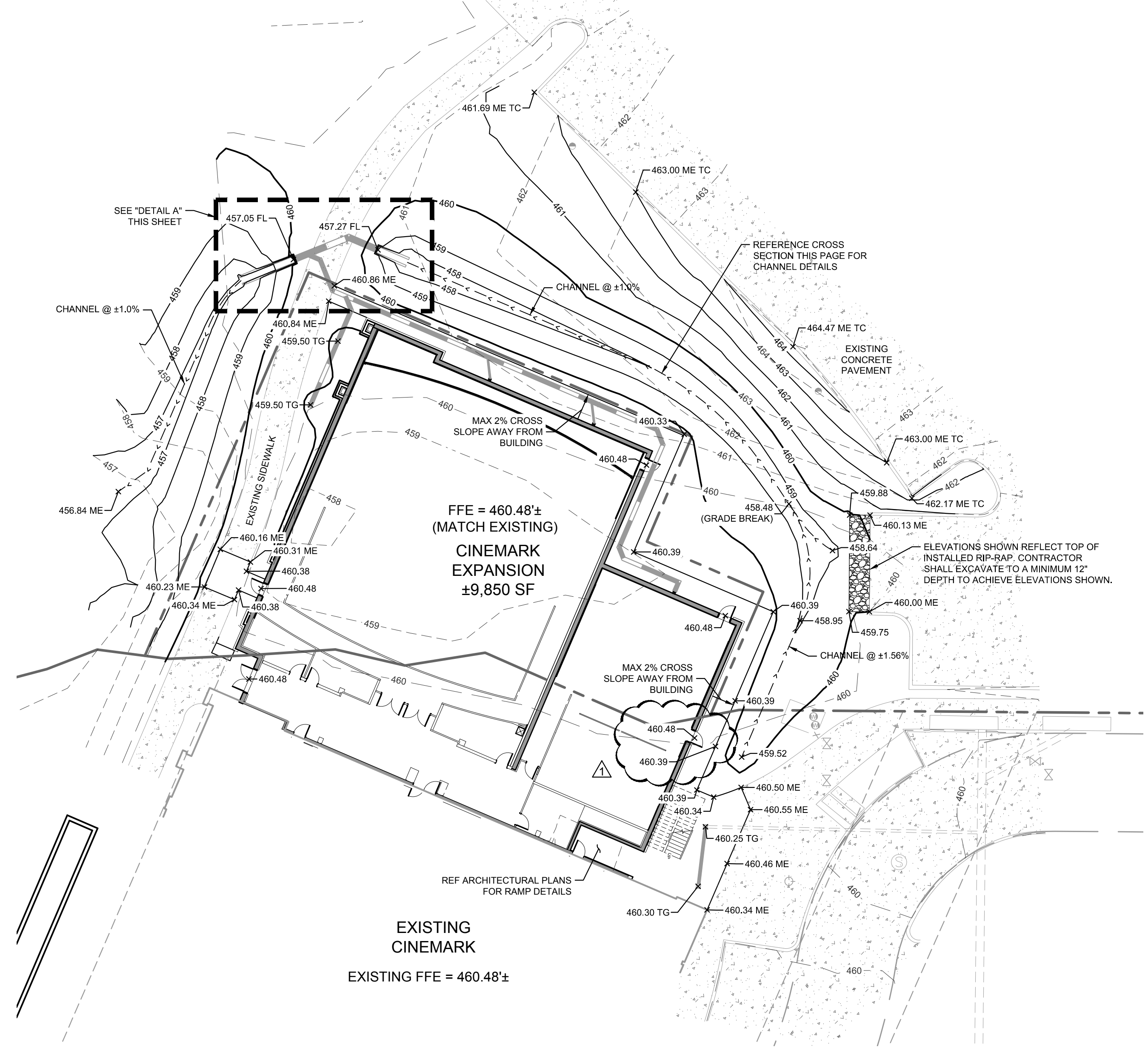


NOTES
1. CHANNEL TO BE LINED WITH FLEXAMAT, OR APPROVED EQUAL, PER DETAILS ON SHEET C7.2.

CHANNEL CROSS-SECTION
N.T.S.



DETAIL A
SCALE: 1" = 5'



"RECORD DRAWINGS"
These drawings have been revised to show those changes during the construction process reported by the contractor to Kimley-Horn and Associates, Inc. and considered to be significant. These drawings are not guaranteed to be "As-Built," but are based on the information available.
DATE: 12/12/2019 BY: [Signature]

BENCH MARK LIST
CITY OF ROCKWALL MON. RESET #1
BRASS DISK IN A GRASSED ISLAND ON THE SOUTH SIDE OF SUMMER LEE DRIVE BETWEEN COMMUNITY BANK AND ROCKWALL COUNTY ABSTRACT AND TITLE COMPANY. ELEV. = 567.70'
CITY OF ROCKWALL MON. R014
BRASS DISK NEAR A LIGHT POLE IN A GRASSED AREA IN THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY CHANDLER DRIVE AND COMMODORE PLAZA. ELEV. = 561.02'
BM # 3 (2') SET ON CURB INLET, #75' NORTHEAST OF THE NORTHEAST BUILDING CORNER OF CINEMARK 12 MOVIE THEATER. ELEV. = 460.29'

GEOTECH NOTE
REFER TO GEOTECHNICAL INVESTIGATION FOR SPECIFICATIONS FOR PAVEMENT SECTIONS AND SUBGRADE PREPARATION.
TITLE REPORT NO. G172384
BY: ALPHA TESTING
DATED: OCTOBER 13, 2017

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

CAUTION!!
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

NO.	REVISIONS	DATE	BY

Kimley»Horn
© 2018 KIMLEY-HORN
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 214.343.8899
TEXAS REGISTERED ENGINEERING FIRM # 928



PROJECT NO: 064500160	DATE: 04/06/2018	SCALE: AS SHOWN	DESIGNED BY: JCK	DRAWN BY: RCL	CHECKED BY: KSG
--------------------------	---------------------	--------------------	---------------------	------------------	--------------------

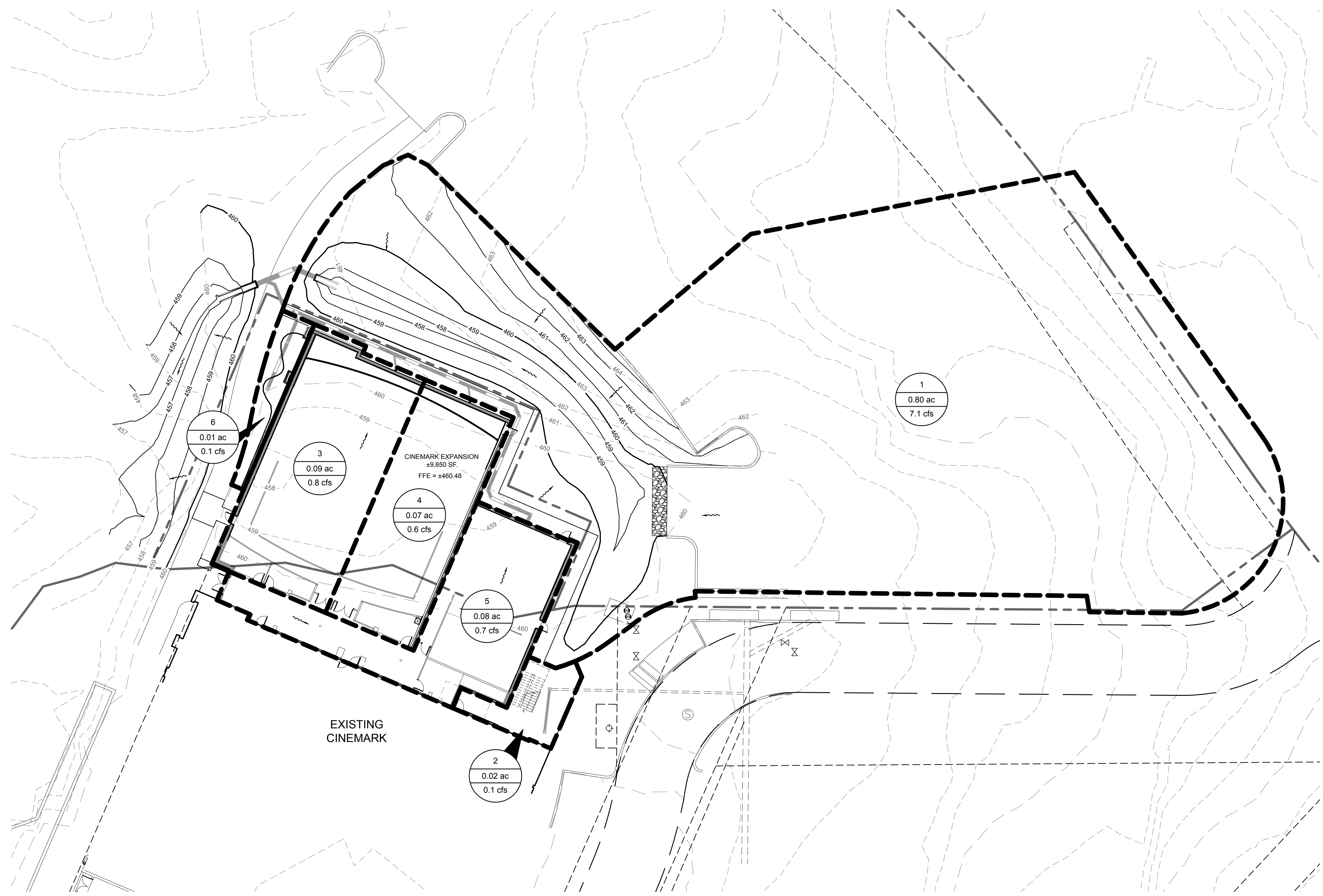
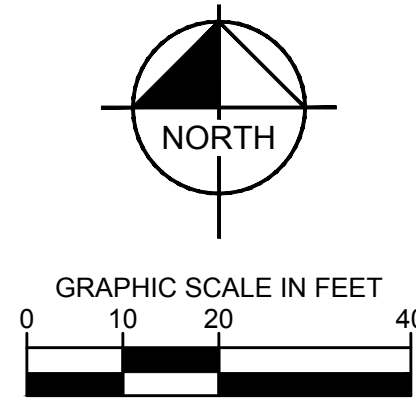
GRADING PLAN

CINEMARK
THE HARBOR - ROCKWALL
SUMMER LEE DRIVE
CITY OF ROCKWALL, TX

SHEET NUMBER
C4.0

IMAGES: XREF: 2/26/18 - XREF: 3/8/18 - XREF: 3/29/18 - XREF: 4/10/18
 DRAWN BY: KUAL, CIVIL/26/2017 - CINEMARK ROCKWALL EXPANSION/CAD/PLANS/SHEETS/C4.0 GRADING PLAN.DWG
 LAST SAVED: 9/20/18 3:09 PM
 LAST SAVED: 9/20/18 3:09 PM
 LAST SAVED: 9/20/18 3:09 PM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND

- PROPERTY LINE
- - - PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED HIGH POINT
- CI PROPOSED CURB INLET
- GI GRATE INLET
- FFE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- FLOW ARROW
- DRAINAGE AREA
- X.X DRAINAGE AREA NUMBER
- X.XX DRAINAGE AREA (ACRES)
- XX 100 YEAR FLOW (CFS)

DRAINAGE CRITERIA

1. DRAINAGE CRITERIA IS PER CITY OF ROCKWALL STORM DRAINAGE CRITERIA AND DESIGN MANUAL:

TC = 10 MIN.

C = 0.9 (IMPERVIOUS)
0.3 (PERVIOUS)

I₁₀₀ = 9.8 IN/HR

A = DRAINAGE AREA (ACRES)

Q = C^{1/4}A (CFS)

"RECORD DRAWINGS"
 These drawings have been revised to show those changes during the construction process reported by the contractor to Kimley-Horn and Associates, Inc. and considered to be significant. These drawings are not guaranteed to be "As-Built," but are based on the information available.
 12/12/2019
 DATE: BY: *[Signature]*

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

DRAINAGE AREA TABLE

DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSITY "I" ¹⁰⁰ (in/hr)	TOTAL FLOW Q ₁₀₀ (cfs)	COLLECTION POINT
1	0.80	0.90	10	9.80	7.1	18" RCP
2	0.02	0.90	10	9.80	0.1	EX STORM
3	0.09	0.90	10	9.80	0.8	18" RCP
4	0.07	0.90	10	9.80	0.6	18" RCP
5	0.08	0.90	10	9.80	0.7	18" RCP
6	0.01	0.90	10	9.80	0.1	18" RCP

BENCH MARK LIST

CITY OF ROCKWALL MON. RESET #1
 BRASS DISK IN A GRASSED ISLAND ON THE SOUTH SIDE OF SUMMER LEE DRIVE BETWEEN COMMUNITY BANK AND ROCKWALL COUNTY ABSTRACT AND TITLE COMPANY.
 ELEV. = 567.70'

CITY OF ROCKWALL MON. R014
 BRASS DISK NEAR A LIGHT POLE IN A GRASSED AREA IN THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY CHANDLER DRIVE AND COMMODORE PLAZA.
 ELEV. = 561.02'

BM # 3 [X] SET ON CURB INLET, #75' NORTHEAST OF THE NORTHEAST BUILDING CORNER OF CINEMARK 12 MOVIE THEATER.
 ELEV. = 460.29'

GEOTECH NOTE

REFER TO GEOTECHNICAL INVESTIGATION FOR SPECIFICATIONS FOR PAVEMENT SECTIONS AND SUBGRADE PREPARATION.
 TITLE REPORT NO. G172364
 BY: ALPHA TESTING
 DATED: OCTOBER 13, 2017

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
 (@ least 72 hours prior to digging)

No.	REVISIONS	DATE	BY

Kimley»Horn

© 2018 KIMLEY-HORN
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 214.770.9899
 TEXAS REGISTERED ENGINEERING FIRM # 928



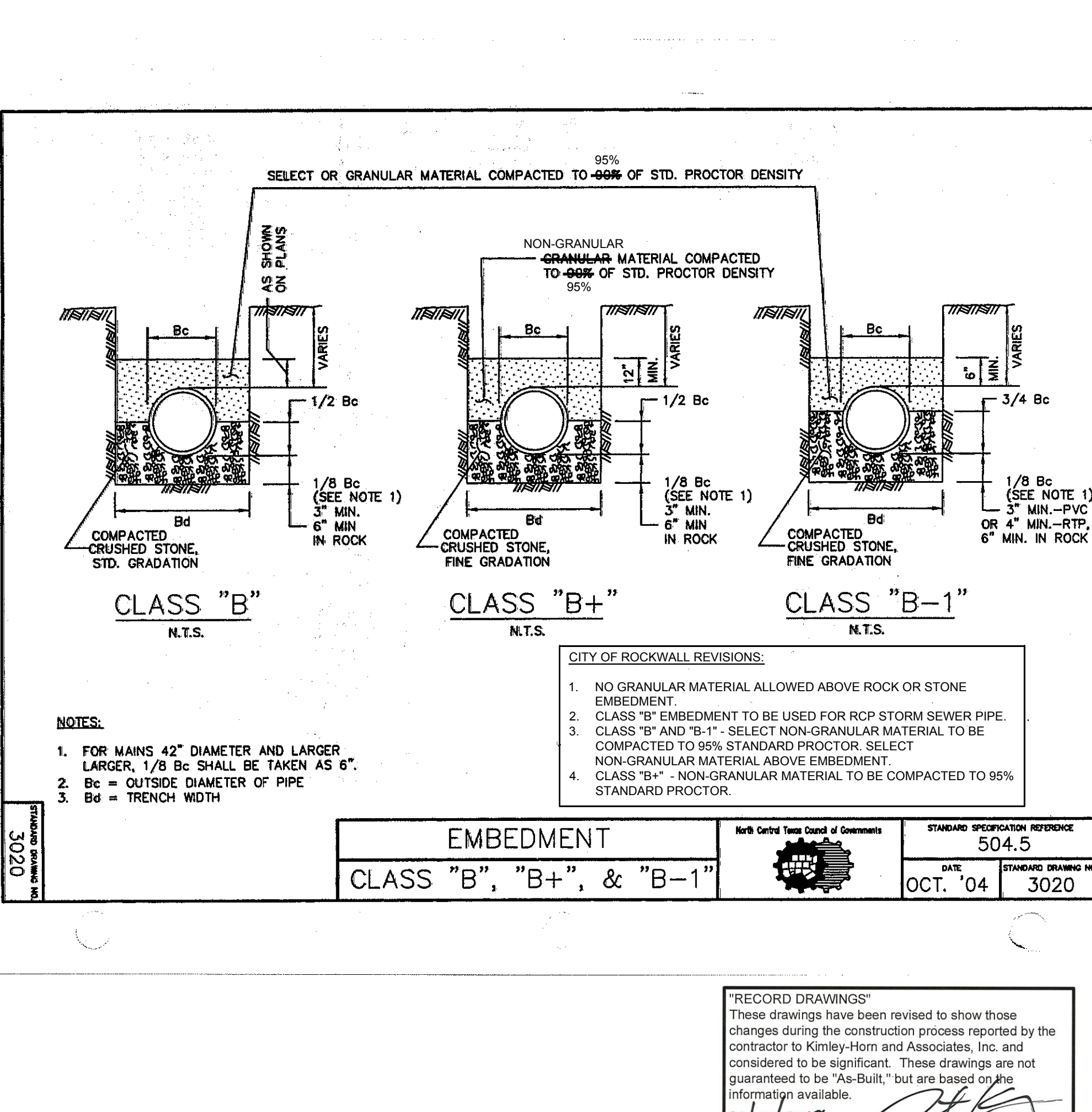
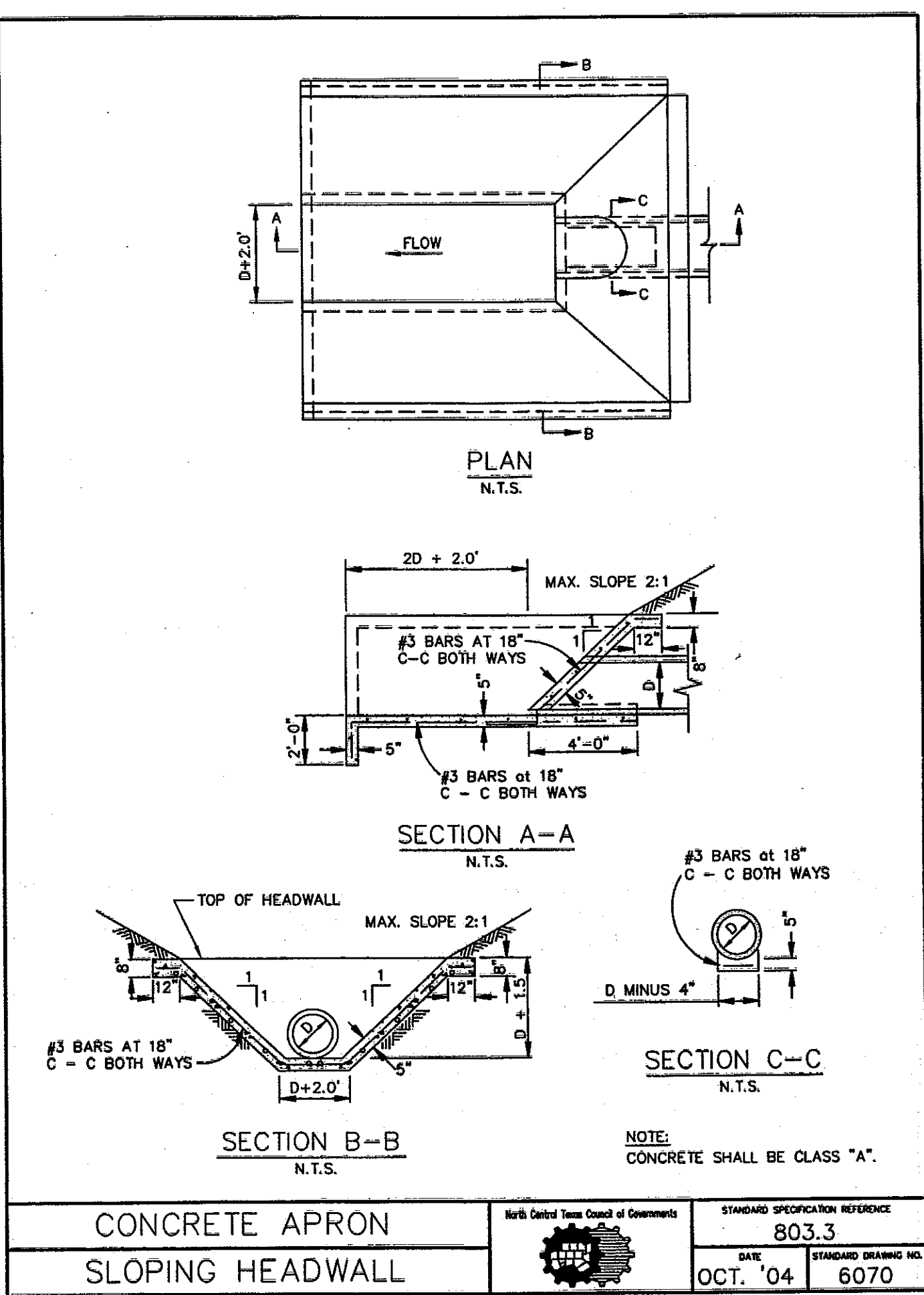
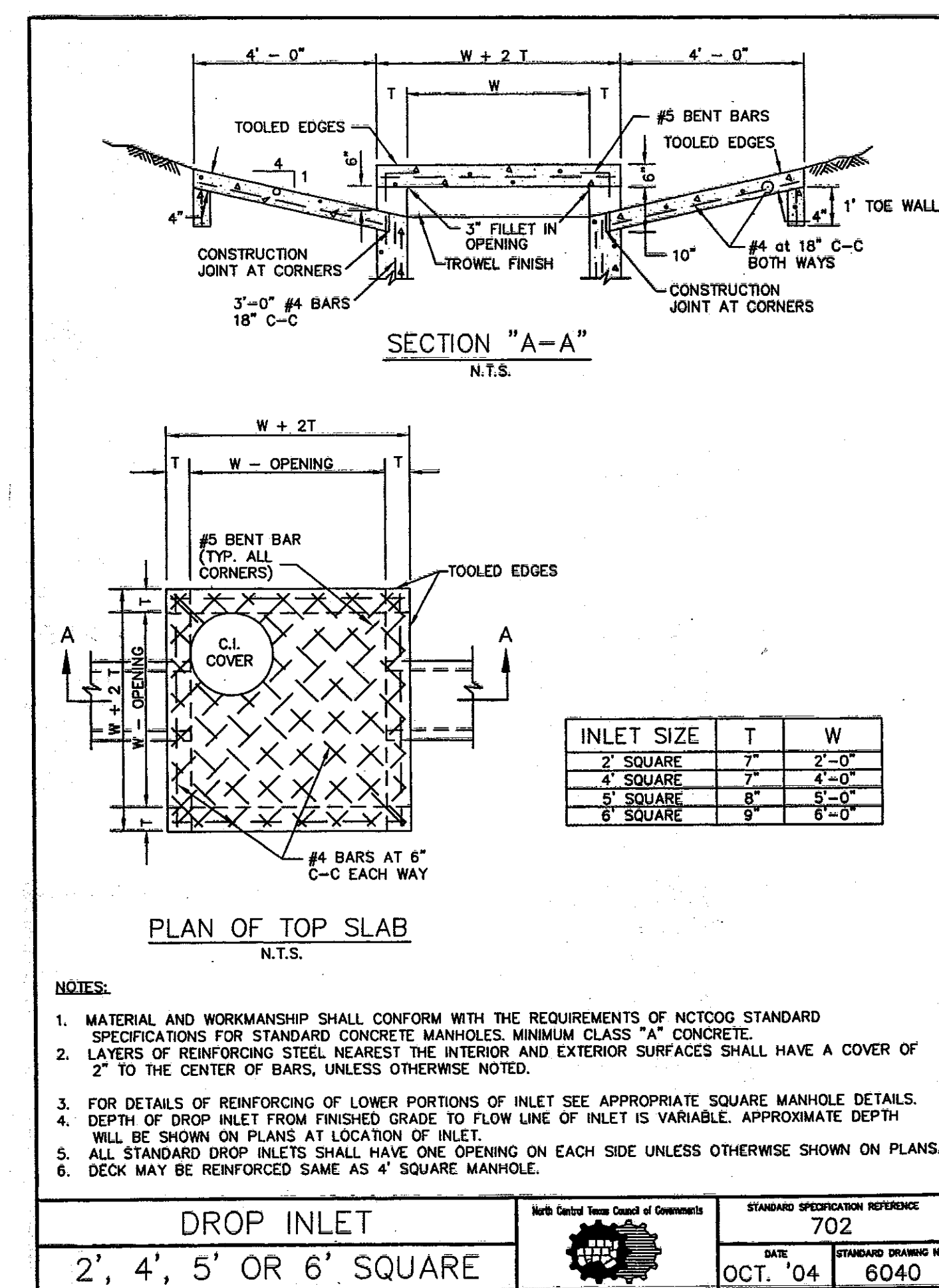
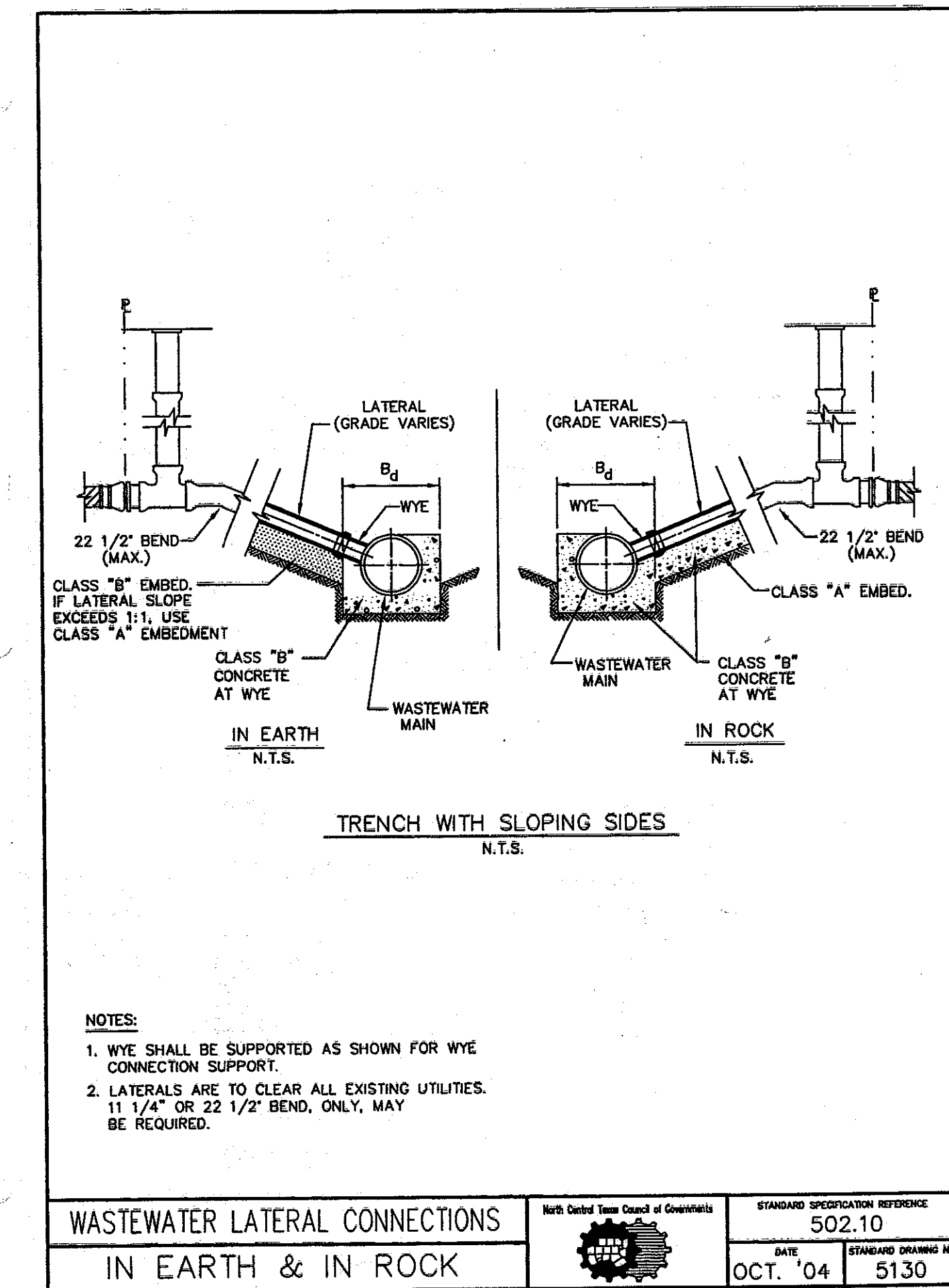
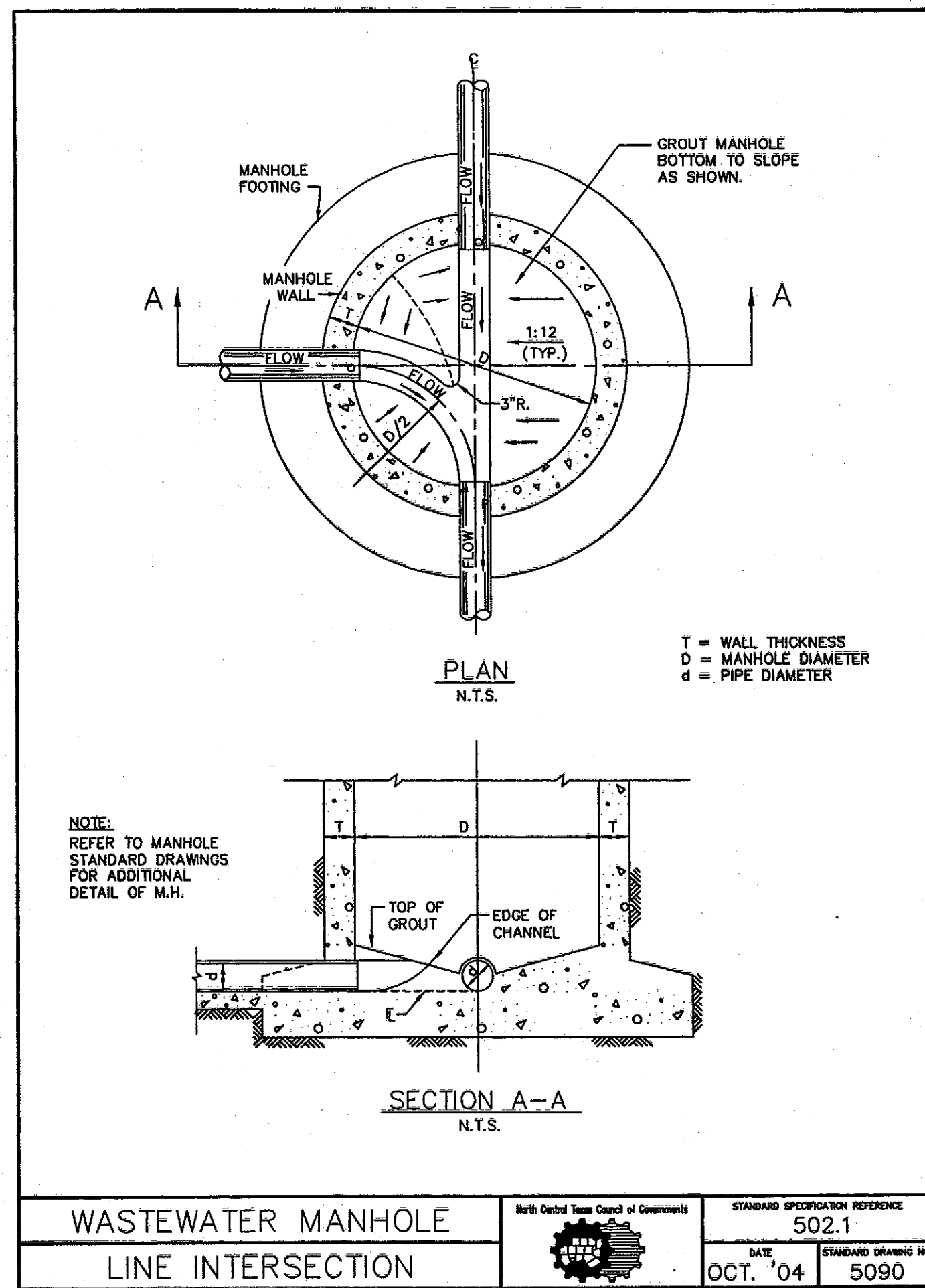
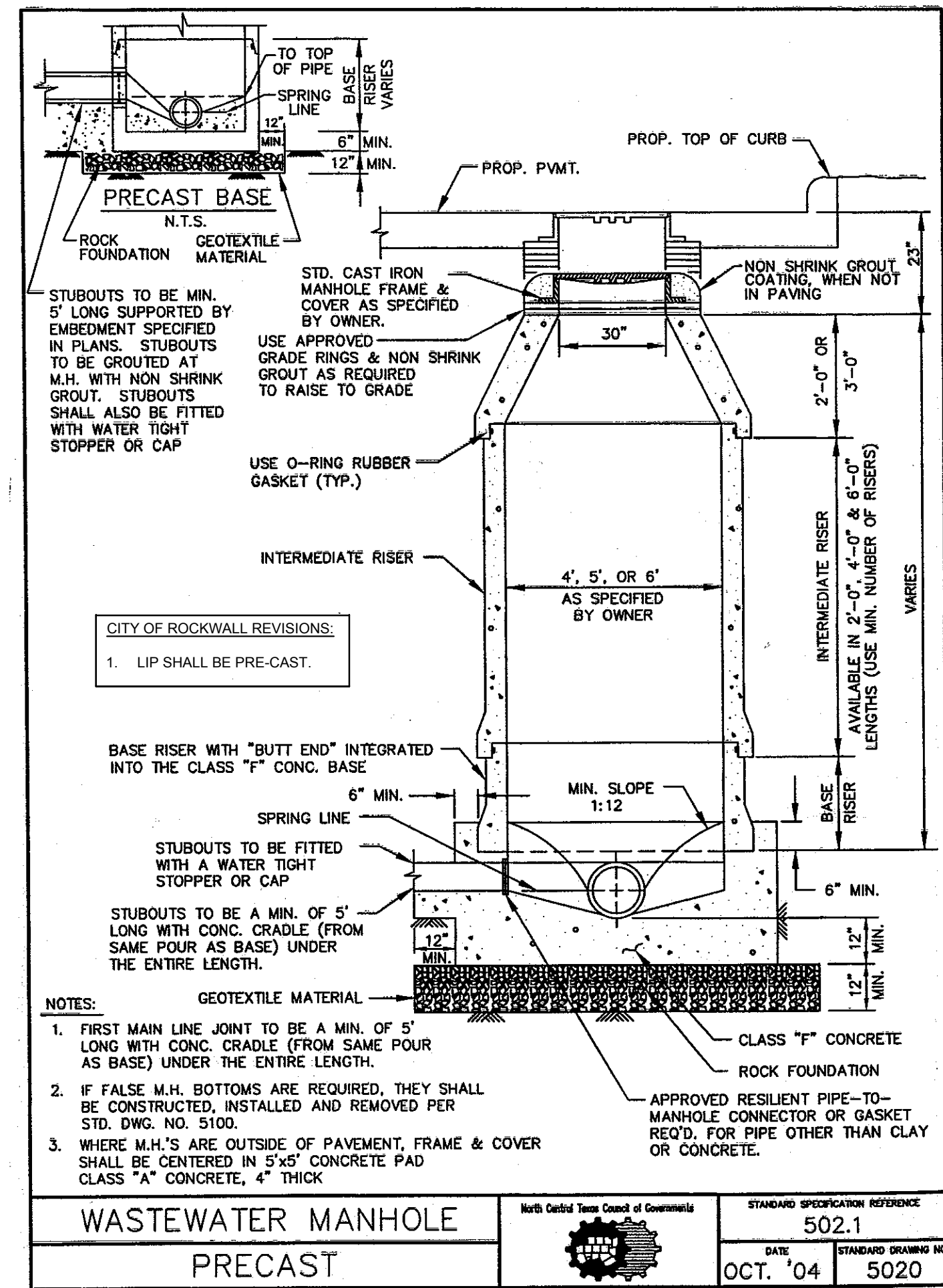
PROJECT No: 064500160
 DATE: 04/06/2018
 SCALE: AS SHOWN
 DESIGNED BY: JCK
 DRAWN BY: RCL
 CHECKED BY: KSG

**PROPOSED
 DRAINAGE AREA MAP**

CINEMARK
 THE HARBOR - ROCKWALL
 SUMMER LEE DRIVE
 CITY OF ROCKWALL, TX

SHEET NUMBER
C4.2

IMAGES: F:\MS97\COMBIL - XREF.dwg - XREF.dwg - XREF.dwg - XREF.dwg - XREF.dwg - XREF.dwg
 XREF: 2/25/2018 2:00 PM
 DRAWN BY: KUAL
 LAST SAVED: 4/6/2018 2:00 PM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



Kimley-Horn

© 2018 KIMLEY-HORN
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 214.938.9899
TEXAS REGISTERED ENGINEERING FIRM # 928

JONATHAN D. KERRY
REGISTERED PROFESSIONAL ENGINEER
12-12-18

PROJECT NO: 064500160
DATE: 04/08/2018
SCALE: AS SHOWN
DESIGNED BY: JCK
DRAWN BY: RCL
CHECKED BY: KSG

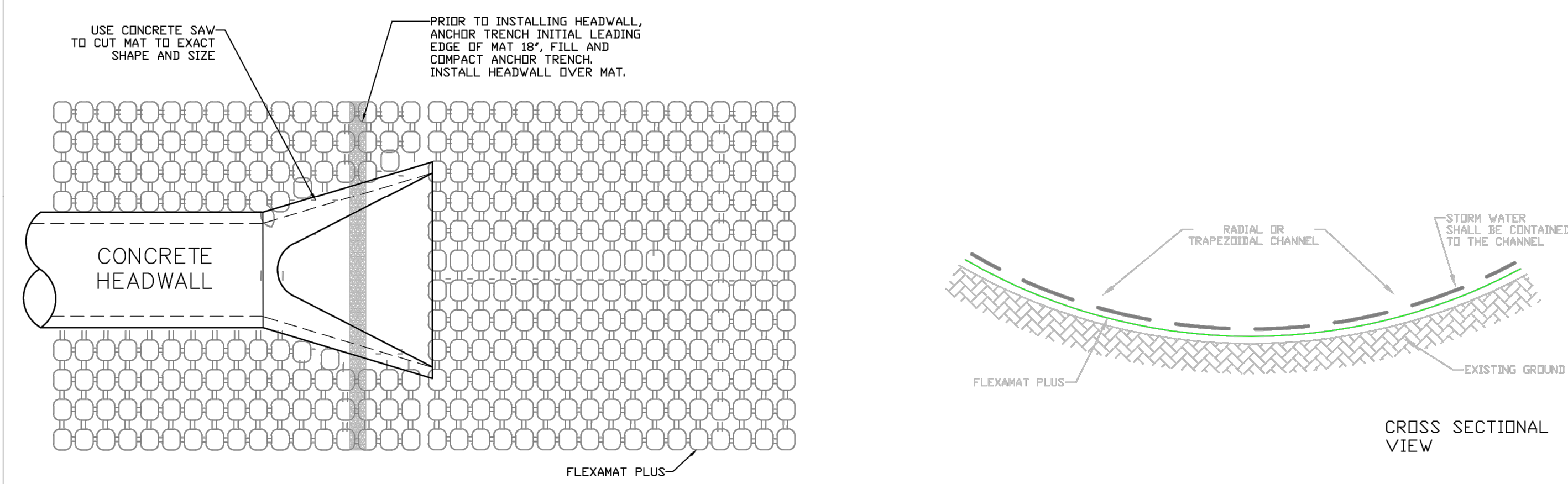
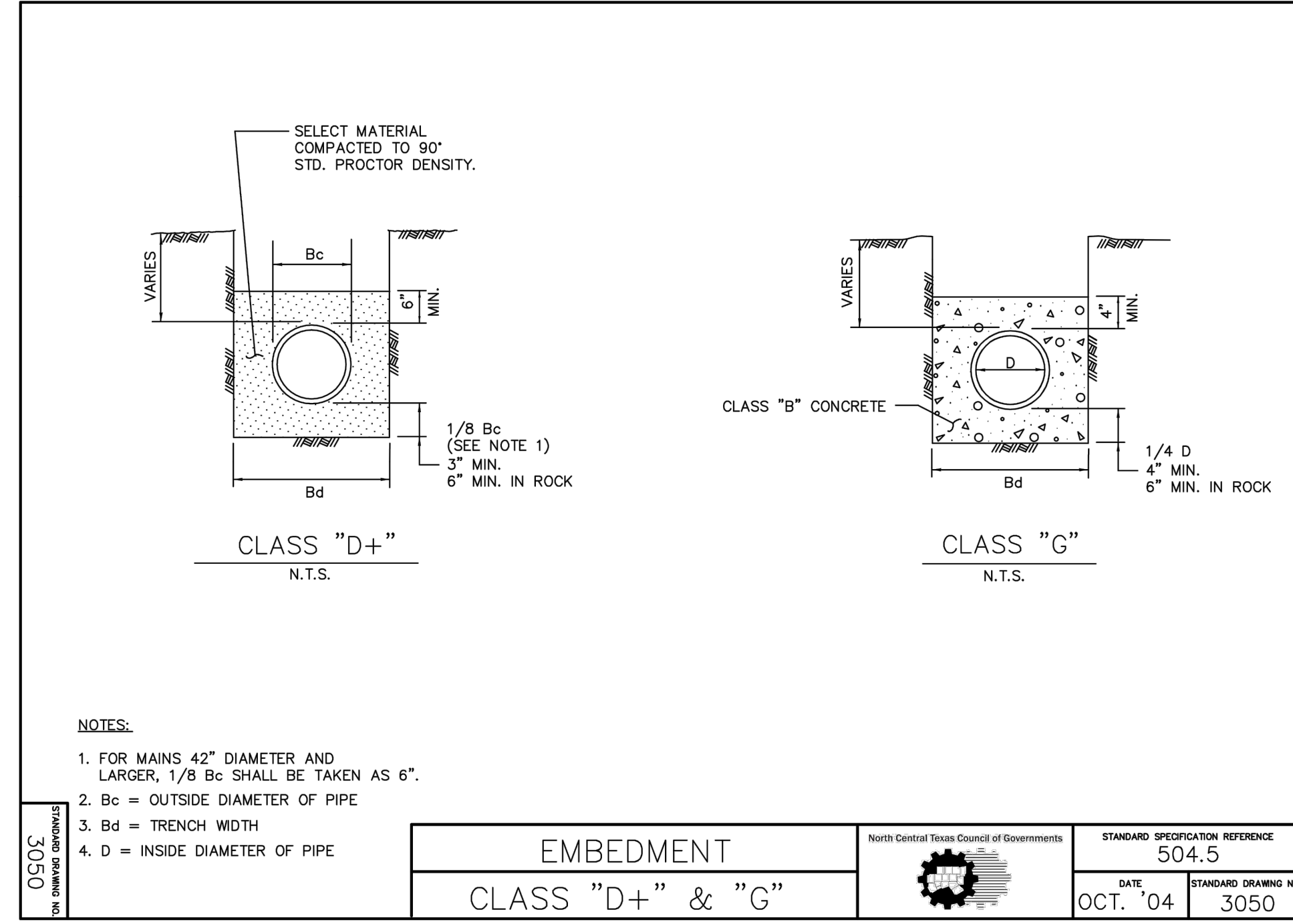
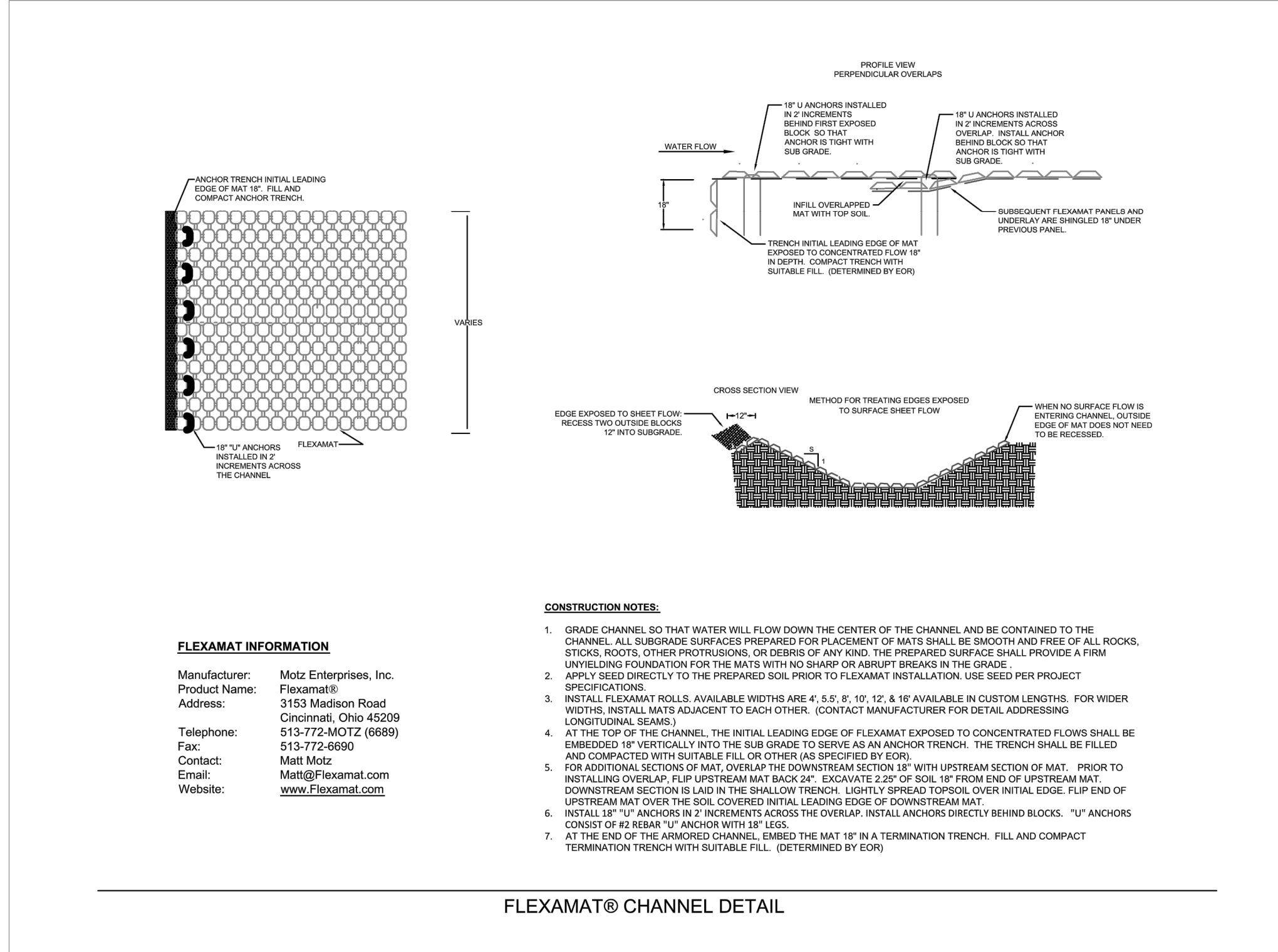
CONSTRUCTION DETAILS

CINEMARK
THE HARBOR - ROCKWALL
SUMMER LEE DRIVE
CITY OF ROCKWALL, TX

SHEET NUMBER
C7.1

XREF: 4526, 4527, 4528, 4529, 4530, 4531, 4532, 4533, 4534, 4535, 4536, 4537, 4538, 4539, 4540, 4541, 4542, 4543, 4544, 4545, 4546, 4547, 4548, 4549, 4550, 4551, 4552, 4553, 4554, 4555, 4556, 4557, 4558, 4559, 4560, 4561, 4562, 4563, 4564, 4565, 4566, 4567, 4568, 4569, 4570, 4571, 4572, 4573, 4574, 4575, 4576, 4577, 4578, 4579, 4580, 4581, 4582, 4583, 4584, 4585, 4586, 4587, 4588, 4589, 4590, 4591, 4592, 4593, 4594, 4595, 4596, 4597, 4598, 4599, 4600, 4601, 4602, 4603, 4604, 4605, 4606, 4607, 4608, 4609, 4610, 4611, 4612, 4613, 4614, 4615, 4616, 4617, 4618, 4619, 4620, 4621, 4622, 4623, 4624, 4625, 4626, 4627, 4628, 4629, 4630, 4631, 4632, 4633, 4634, 4635, 4636, 4637, 4638, 4639, 4640, 4641, 4642, 4643, 4644, 4645, 4646, 4647, 4648, 4649, 4650, 4651, 4652, 4653, 4654, 4655, 4656, 4657, 4658, 4659, 4660, 4661, 4662, 4663, 4664, 4665, 4666, 4667, 4668, 4669, 4670, 4671, 4672, 4673, 4674, 4675, 4676, 4677, 4678, 4679, 4680, 4681, 4682, 4683, 4684, 4685, 4686, 4687, 4688, 4689, 4690, 4691, 4692, 4693, 4694, 4695, 4696, 4697, 4698, 4699, 4700, 4701, 4702, 4703, 4704, 4705, 4706, 4707, 4708, 4709, 4710, 4711, 4712, 4713, 4714, 4715, 4716, 4717, 4718, 4719, 4720, 4721, 4722, 4723, 4724, 4725, 4726, 4727, 4728, 4729, 4730, 4731, 4732, 4733, 4734, 4735, 4736, 4737, 4738, 4739, 4740, 4741, 4742, 4743, 4744, 4745, 4746, 4747, 4748, 4749, 4750, 4751, 4752, 4753, 4754, 4755, 4756, 4757, 4758, 4759, 4760, 4761, 4762, 4763, 4764, 4765, 4766, 4767, 4768, 4769, 4770, 4771, 4772, 4773, 4774, 4775, 4776, 4777, 4778, 4779, 4780, 4781, 4782, 4783, 4784, 4785, 4786, 4787, 4788, 4789, 4790, 4791, 4792, 4793, 4794, 4795, 4796, 4797, 4798, 4799, 4800, 4801, 4802, 4803, 4804, 4805, 4806, 4807, 4808, 4809, 4810, 4811, 4812, 4813, 4814, 4815, 4816, 4817, 4818, 4819, 4820, 4821, 4822, 4823, 4824, 4825, 4826, 4827, 4828, 4829, 4830, 4831, 4832, 4833, 4834, 4835, 4836, 4837, 4838, 4839, 4840, 4841, 4842, 4843, 4844, 4845, 4846, 4847, 4848, 4849, 4850, 4851, 4852, 4853, 4854, 4855, 4856, 4857, 4858, 4859, 4860, 4861, 4862, 4863, 4864, 4865, 4866, 4867, 4868, 4869, 4870, 4871, 4872, 4873, 4874, 4875, 4876, 4877, 4878, 4879, 4880, 4881, 4882, 4883, 4884, 4885, 4886, 4887, 4888, 4889, 4890, 4891, 4892, 4893, 4894, 4895, 4896, 4897, 4898, 4899, 4900, 4901, 4902, 4903, 4904, 4905, 4906, 4907, 4908, 4909, 4910, 4911, 4912, 4913, 4914, 4915, 4916, 4917, 4918, 4919, 4920, 4921, 4922, 4923, 4924, 4925, 4926, 4927, 4928, 4929, 4930, 4931, 4932, 4933, 4934, 4935, 4936, 4937, 4938, 4939, 4940, 4941, 4942, 4943, 4944, 4945, 4946, 4947, 4948, 4949, 4950, 4951, 4952, 4953, 4954, 4955, 4956, 4957, 4958, 4959, 4960, 4961, 4962, 4963, 4964, 4965, 4966, 4967, 4968, 4969, 4970, 4971, 4972, 4973, 4974, 4975, 4976, 4977, 4978, 4979, 4980, 4981, 4982, 4983, 4984, 4985, 4986, 4987, 4988, 4989, 4990, 4991, 4992, 4993, 4994, 4995, 4996, 4997, 4998, 4999, 5000.

IMAGES XREF: 2506 15:02:2018 04:17 PM BY KJAL CIVIL/202025/CINEMARK ROCKWALL EXPANSION/CAD/PJ/ANSHU/CT/C CONSTRUCTION DETAILS.DWG
 LAST SAVED: 4:50:18 PM 04/06/2018 12:28:18 04:17 PM
 LAST SAVED: 4:50:18 PM 04/06/2018 12:28:18 04:17 PM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



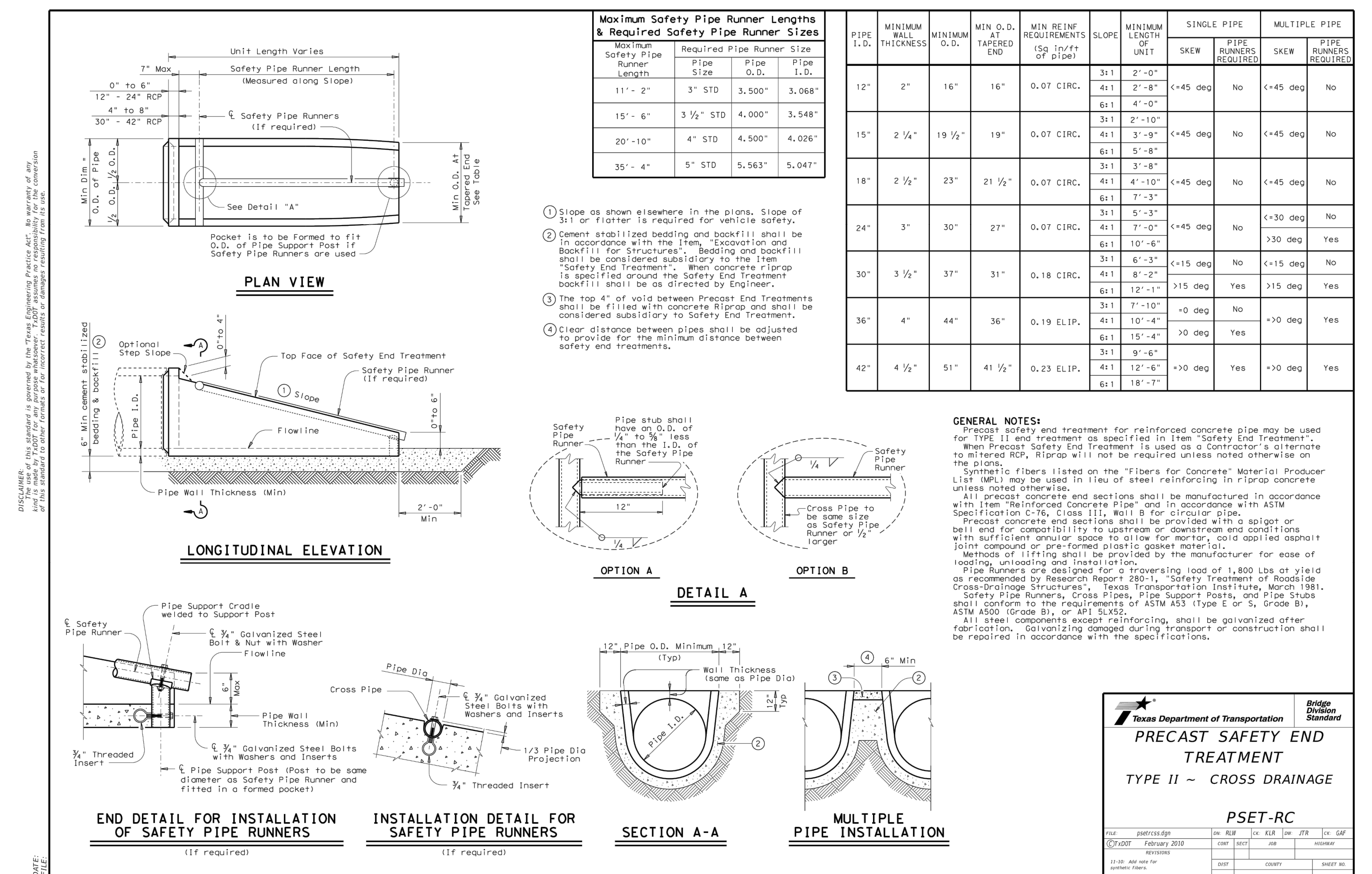
FLEXAMAT INFORMATION
 Manufacturer: Motz Enterprises, Inc.
 Product Name: Flexamat®
 Address: 3153 Madison Road, Cincinnati, Ohio 45209
 Telephone: 513-772-MOTZ (6689)
 Fax: 513-772-6689
 Contact: Matt Motz
 Email: Matt@Flexamat.com
 Website: www.Flexamat.com

CONSTRUCTION NOTES:

- GRADE OUTFALL AREA SO THAT WATER WILL FLOW DOWN THE CENTER OF THE CHANNEL AND BE CONTAINED TO THE CHANNEL. ALL SUBGRADE SURFACES PREPARED FOR PLACEMENT OF MATS SHALL BE SMOOTH AND FREE OF ALL ROCKS, STICKS, ROOTS, OTHER PROTRUSIONS, OR DEBRIS OF ANY KIND. THE PREPARED SURFACE SHALL PROVIDE A FIRM UNYIELDING FOUNDATION FOR THE MATS WITH NO SHARP OR ABRUPT BREAKS IN THE GRADE.
- APPLY SEED DIRECTLY TO THE PREPARED SOIL PRIOR TO FLEXAMAT INSTALLATION. USE SEED PER PROJECT SPECIFICATIONS.
- PRIOR TO INSTALLING HEADWALL, ANCHOR TRENCH INITIAL LEADING EDGE OF MAT 18", FILL AND COMPACT ANCHOR TRENCH. INSTALL HEADWALL OVER MAT.
- INSTALL FLEXAMAT ROLLS. AVAILABLE WIDTHS ARE 5.5', 8', 10', 12', & 16' AVAILABLE IN CUSTOM LENGTHS. A CONCRETE SAW SHALL BE USED TO CUT THE MAT TO EXACT SIZE AND SHAPE.
- APPLICATIONS WHERE OUTFALLS FLOW INTO RETENTION PONDS, EXTEND FLEXAMAT A MINIMUM OF 3' BELOW LOW WATER ELEVATION.

FLEXAMAT® CONCRETE HEADWALL

"RECORD DRAWINGS"
 These drawings have been revised to show those changes during the construction process reported by the contractor to Kimley-Horn and Associates, Inc. and considered to be significant. These drawings are not guaranteed to be "As-Built," but are based on the information available.
 DATE: 12/12/2018
 BY: [Signature]



Kimley»Horn
 © 2018 KIMLEY-HORN
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 214.732.9200
 TEXAS REGISTERED ENGINEERING FIRM E-928

CONSTRUCTION DETAILS

CINEMARK
 THE HARBOR - ROCKWALL
 SUMMER LEE DRIVE
 CITY OF ROCKWALL, TX

PROJECT No: 064200160
 DATE: 04/06/2018
 SCALE: AS SHOWN
 DESIGNED BY: JCK
 DRAWN BY: RCL
 CHECKED BY: KSG

REVISIONS: [Table with columns for No., Description, Date, BY]

SHEET NUMBER: C7.2

BRIDGE DIVISION STANDARD
PRECAST SAFETY END TREATMENT
 TYPE II ~ CROSS DRAINAGE
 PSET-RC

DATE: 02/20/07
 REVISED: February 2010
 11-10: Add new hole
 11-10: Add new hole

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.