

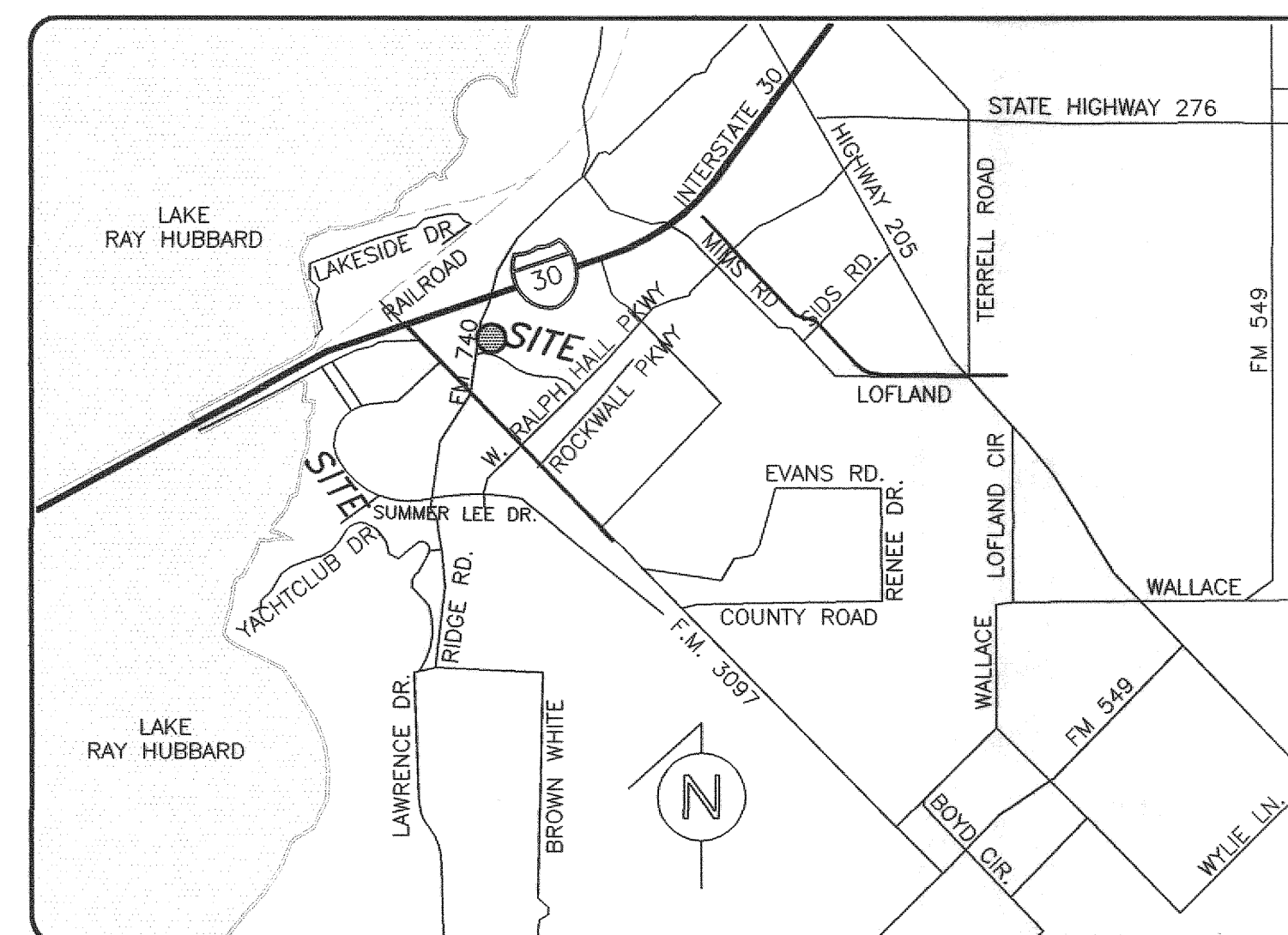
MULTI LANE DRIVE THRU DEVELOPMENT PLANS FOR



2835 RIDGE ROAD LOT 8, BLOCK A STEGER TOWNE CROSSING, PHASE I THE CITY OF ROCKWALL, TEXAS

OWNER: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000
CONTACT: JOHN MARK WOOD

CIVIL ENGINEER: BURGER ENGINEERING, LLC
TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.



VICINITY MAP
N.T.S.

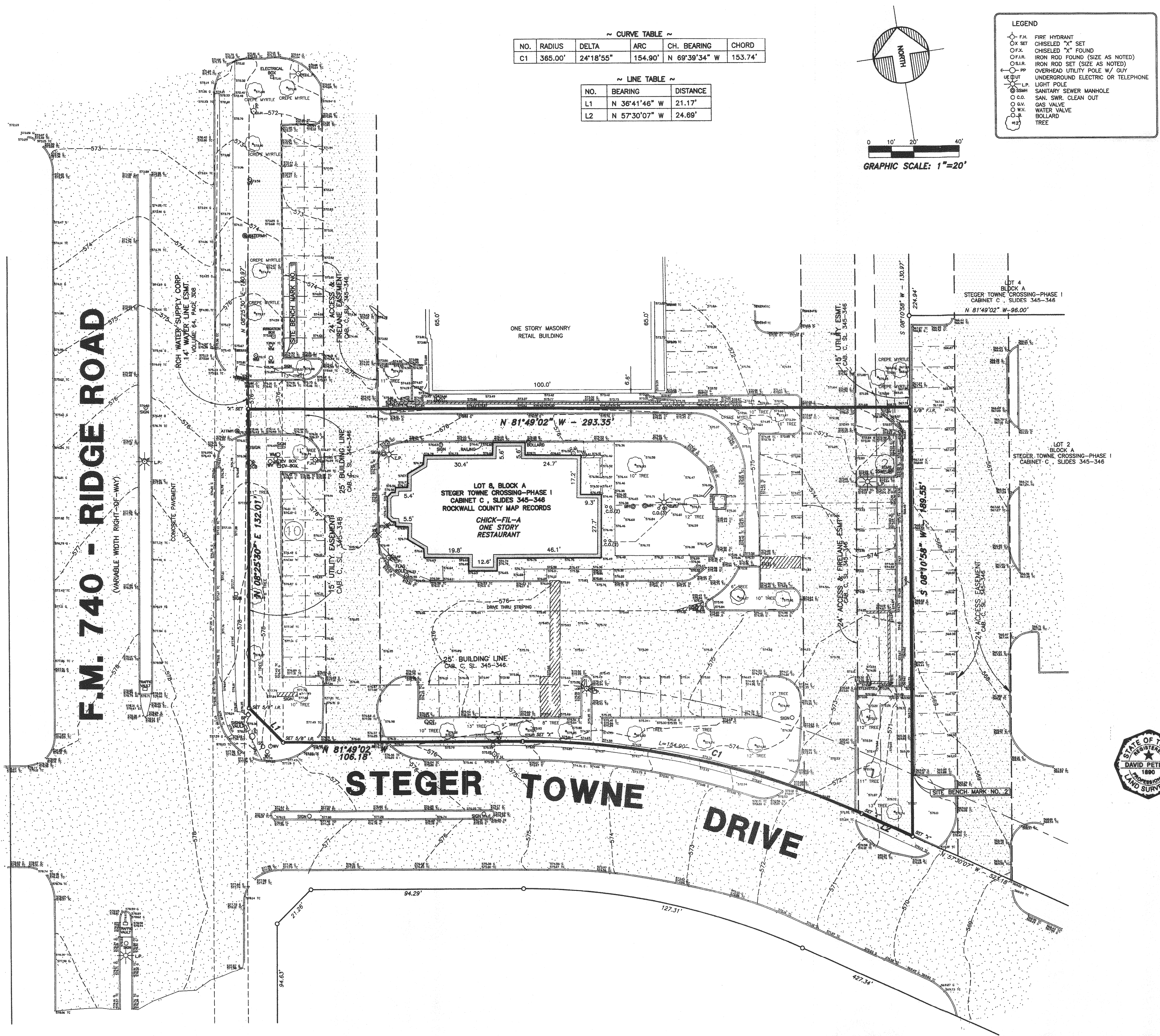
AS-BUILT
DATE: 05-24-13

SHEET INDEX

SHEET NO.	DESCRIPTION
C-1A	ALTA/ACSM LAND TITLE SURVEY
C-1B - 1C	FINAL PLAT
C-2	DEMOLITION PLAN
C-3	SITE PLAN
C-4	GRADING & DRAINAGE PLAN
C-5	EROSION CONTROL PLAN
C-6	PAVING PLAN
C-7	SITE DETAILS
C-8	SITE DETAILS
C-9	SITE DETAILS

B BURGER
ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPPE F-12997

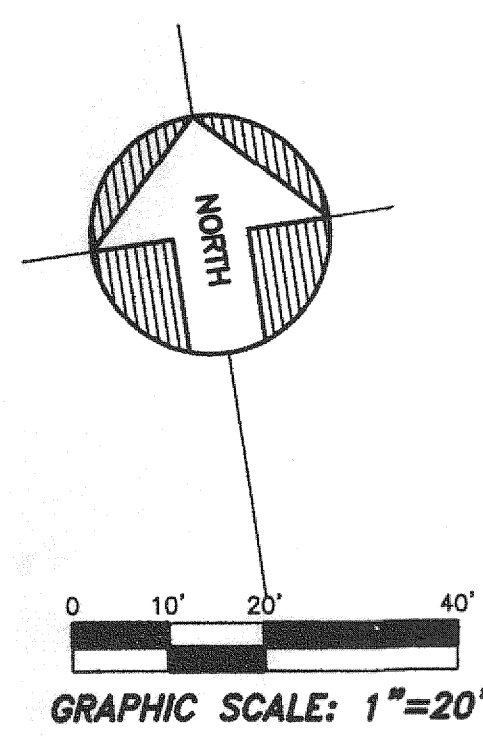


~ CURVE TABLE ~

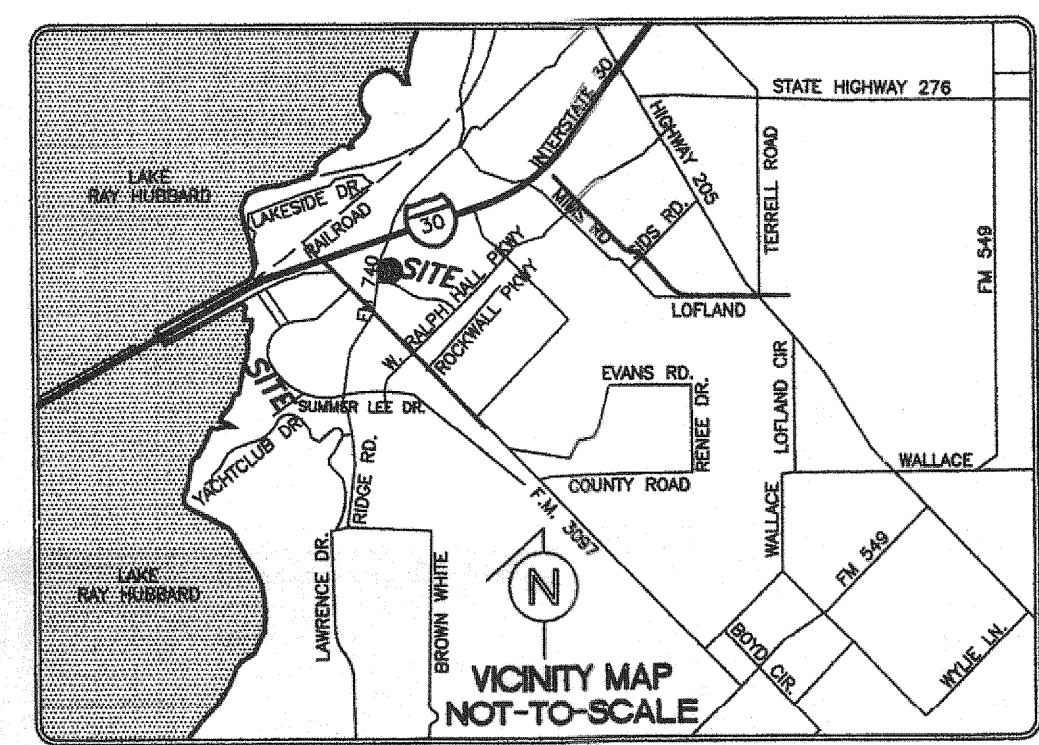
NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	365.00'	24°18'55"	154.90'	N 69°39'34" W	153.74'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
L1	N 36°41'46" W	21.17'
L2	N 57°30'07" W	24.69'



- LEGEND
- F.H. FIRE HYDRANT
 - CHISELED "X" SET
 - CHISELED "X" FOUND
 - IRON ROD FOUND (SIZE AS NOTED)
 - OVERHEAD UTILITY POLE W/ GUY
 - UNDERGROUND ELECTRIC OR TELEPHONE
 - LIGHT POLE
 - SANITARY SEWER MANHOLE
 - SAN. SWR. CLEAN OUT
 - GAS VALVE
 - WATER VALVE
 - BOLLARD
 - TREE



SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, MADE A CAREFUL AND ACCURATE SURVEY ON THE GROUND OF THE FOLLOWING DESCRIBED PROPERTY

LOT 8 OF BLOCK A, STEGER TOWNE CROSSING PHASE I, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDES 345-346, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

FLOOD NOTE

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48397C0040L, EFFECTIVE DATE, SEPTEMBER 26, 2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).

ZONE "X"(OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR.

THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

CERTIFICATION

TO CHICK-FIL-A, A GEORGIA CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PERFORMED IN ACCORDANCE WITH THE "MINIMUM DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (A MEMBER ORGANIZATION OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING) IN 2011 AND IN EFFECT ON THE DATE OF THIS CERTIFICATION; AND THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATED THIS 28th DAY OF JANUARY, 2013

David Petree
DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

SITE BENCH MARKS:

SITE BENCH MARK NO. 1: TOP OF CURB AT PARKING CORNER 15 FEET EAST OF RIDGE ROAD AND 22 FEET NORTH OF LOT 8 NORTH PROPERTY LINE.
ELEVATION = 575.43'

SITE BENCH MARK NO. 2: TOP OF CURB AT PARKING CORNER LOCATED 27 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 8.
ELEVATION = 570.10'

AS-BUILT
DATE: 05-24-13

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

LOT 8, BLOCK A
STEGER TOWNE CROSSING-PHASE I
ROCKWALL, TEXAS

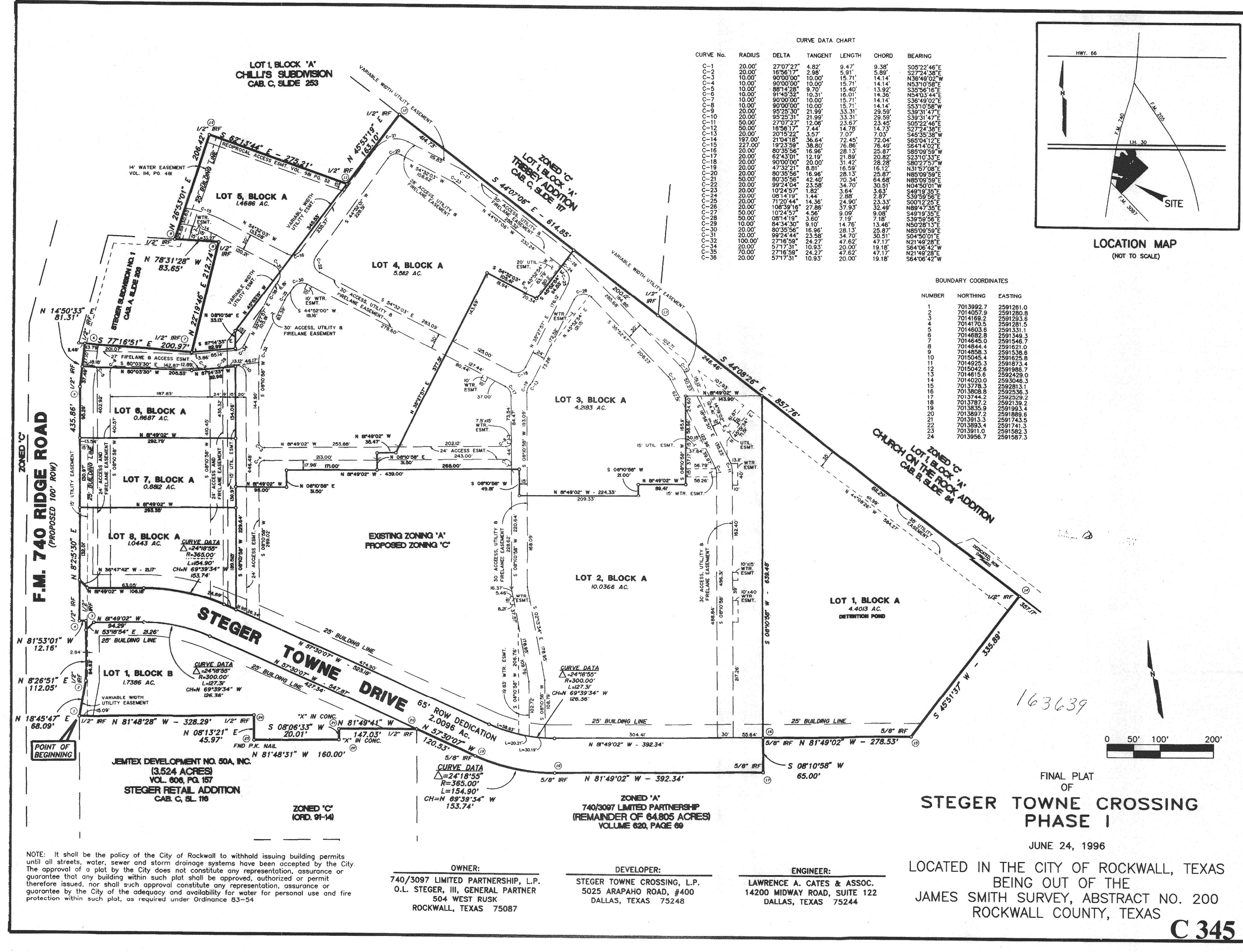
STORE
SERIES

SHEET TITLE
ASBUILT
AND
TOPOGRAPHIC
SURVEY

☒ Preliminary
☐ 80% Submittal
☐ For Construction

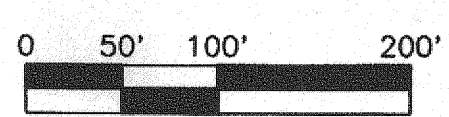
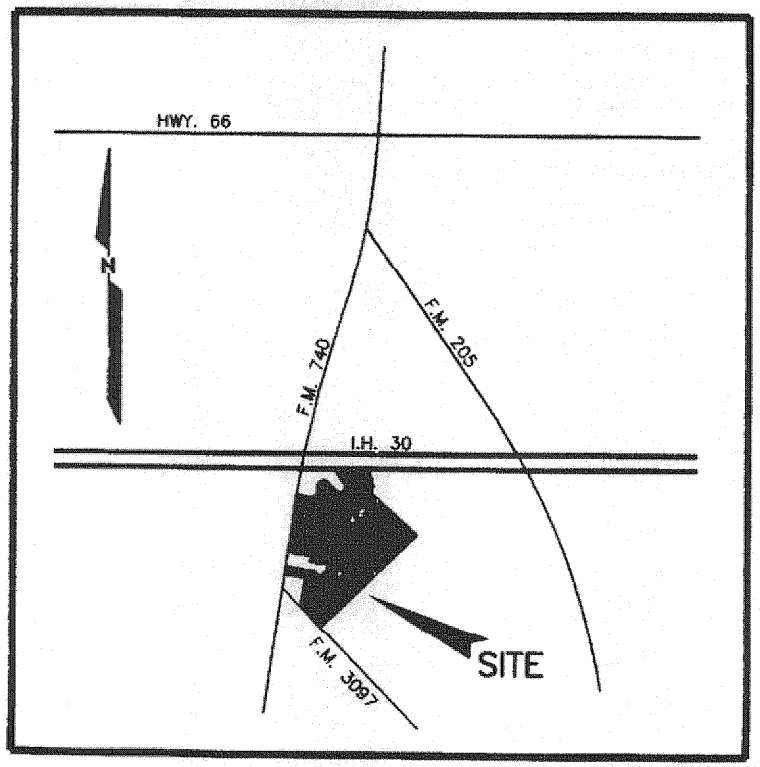
Job No. : 013-068
Store : 01242
Date : JANUARY 2013
Drawn By : BWN
Checked By: DRP

Sheet
C-1A



CURVE DATA CHART						
CURVE NO.	RADIUS	DELTA	TANGENT	LENGTH	CHORD	BEARING
C-1	20.00'	27°07'27"	4.82'	9.47'	9.38'	S05°22'46"E
C-2	20.00'	16°38'17"	2.98'	5.91'	5.88'	S27°24'38"E
C-3	10.00'	80°00'00"	10.00'	15.71'	14.14'	N38°48'02"W
C-4	10.00'	80°00'00"	10.00'	15.71'	14.14'	N53°10'58"E
C-5	10.00'	88°42'28"	9.70'	15.40'	13.92'	N35°54'10"E
C-6	10.00'	91°45'32"	10.31'	16.01'	14.35'	N54°03'44"E
C-7	10.00'	90°00'00"	10.00'	15.71'	14.14'	S36°49'02"W
C-8	10.00'	80°00'00"	10.00'	15.71'	14.14'	S53°10'58"W
C-9	20.00'	89°35'30"	21.99'	33.31'	29.59'	S39°31'47"E
C-10	20.00'	85°25'31"	21.99'	33.31'	29.59'	S39°31'47"E
C-11	50.00'	27°07'27"	12.06'	23.67'	23.45'	S05°22'46"E
C-12	50.00'	16°38'17"	7.44'	14.78'	14.13'	S27°24'38"E
C-13	2015.224'	2015.224'	7.07'	7.07'	7.03'	S45°35'38"W
C-14	197.00'	210°41'18"	36.64'	72.45'	72.04'	S69°04'12"E
C-15	227.00'	192°35'58"	38.80'	76.96'	76.49'	S64°14'02"E
C-16	20.00'	89°35'36"	16.96'	28.13'	25.87'	S85°09'59"W
C-17	20.00'	82°43'01"	12.19'	21.89'	20.82'	S23°10'33"E
C-18	20.00'	80°00'00"	10.00'	15.42'	14.14'	S80°27'57"W
C-19	20.00'	80°35'56"	16.96'	28.13'	25.87'	N85°09'59"E
C-20	20.00'	80°35'56"	16.96'	28.13'	25.87'	N85°09'59"E
C-21	20.00'	99°24'04"	23.58'	34.70'	30.51'	N04°50'01"W
C-22	20.00'	102°45'7"	1.80'	3.64'	3.63'	S00°12'25"E
C-23	20.00'	08°14'19"	1.44'	2.88'	2.87'	S39°59'55"E
C-24	20.00'	108°38'18"	27.88'	57.93'	52.49'	N89°45'30"E
C-25	20.00'	102°45'7"	1.80'	3.64'	3.63'	S00°12'25"E
C-26	20.00'	08°14'19"	1.44'	2.88'	2.87'	S39°59'55"E
C-27	20.00'	108°38'18"	27.88'	57.93'	52.49'	N89°45'30"E
C-28	20.00'	102°45'7"	1.80'	3.64'	3.63'	S00°12'25"E
C-29	20.00'	08°14'19"	1.44'	2.88'	2.87'	S39°59'55"E
C-30	20.00'	108°38'18"	27.88'	57.93'	52.49'	N89°45'30"E
C-31	100.00'	77°16'51"	24.27'	47.82'	47.17'	N21°48'28"E
C-32	20.00'	57°17'31"	10.93'	20.00'	19.18'	S64°08'42"W
C-33	20.00'	57°17'31"	10.93'	20.00'	19.18'	N21°48'28"E
C-34	20.00'	57°17'31"	10.93'	20.00'	19.18'	S64°08'42"W
C-35	20.00'	57°17'31"	10.93'	20.00'	19.18'	N21°48'28"E
C-36	20.00'	57°17'31"	10.93'	20.00'	19.18'	S64°08'42"W

BOUNDARY COORDINATES		
NUMBER	NORTHING	EASTING
1	7013992.7	2591261.0
2	7014057.9	2591280.8
3	7014168.2	2591253.9
4	7014170.5	2591281.5
5	7014603.6	2591331.1
6	7014682.8	2591349.3
7	7014645.0	2591348.7
8	7014844.4	2591221.0
9	7014856.3	2591336.6
10	7015045.4	2591225.8
11	7014925.3	2591873.4
12	7015042.6	2591686.7
13	7014615.6	2592429.0
14	7014020.0	2593046.3
15	7013778.3	2592813.1
16	7013808.8	2592536.3
17	7013744.2	2592529.2
18	7013787.2	2592139.2
19	7013835.9	2591993.4
20	7013897.2	2591868.8
21	7013913.3	2591743.5
22	7013993.4	2591741.3
23	7013911.0	2591562.5
24	7013956.7	2591587.3



NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plot shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plot, as required under Ordinance 83-54.

OWNER:
740/3097 LIMITED PARTNERSHIP, L.P.
O.L. STEGER, III, GENERAL PARTNER
504 WEST RUSK
ROCKWALL, TEXAS 75087

DEVELOPER:
STEGER TOWNE CROSSING, L.P.
5025 ARAPAHO ROAD, #400
DALLAS, TEXAS 75248

ENGINEER:
LAWRENCE A. CATES & ASSOC.
14200 MIDWAY ROAD, SUITE 122
DALLAS, TEXAS 75244

LOCATED IN THE CITY OF ROCKWALL, TEXAS
BEING OUT OF THE
JAMES SMITH SURVEY, ABSTRACT NO. 200
ROCKWALL COUNTY, TEXAS

C 345

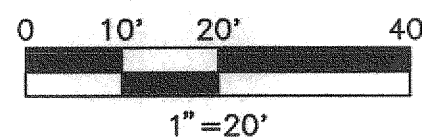
AS-BUILT
DATE: 05-24-13

RIDGE ROAD (F.M. 740)

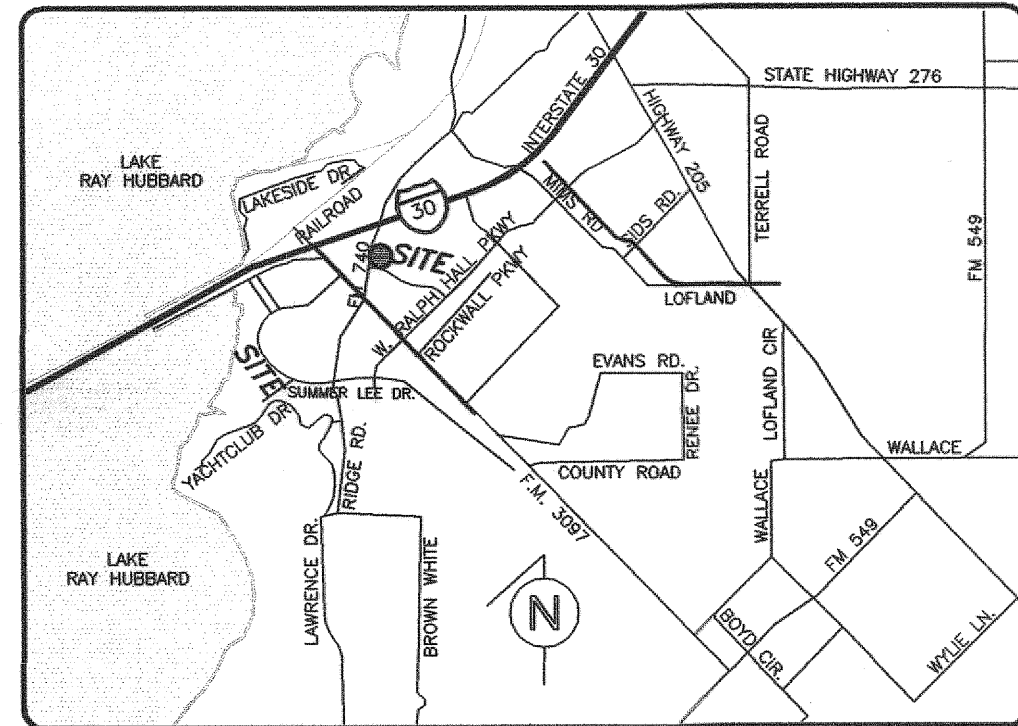
(VARIABLE WIDTH RIGHT-OF-WAY)

~ BOUNDARY CURVE TABLE ~					
NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	365.00'	24°18'55"	154.90'	N 69°39'34" W	153.74'

~ BOUNDARY LINE TABLE ~		
NO.	BEARING	DISTANCE
L1	N 36°41'46" W	21.17'
L2	N 57°30'07" W	24.69'



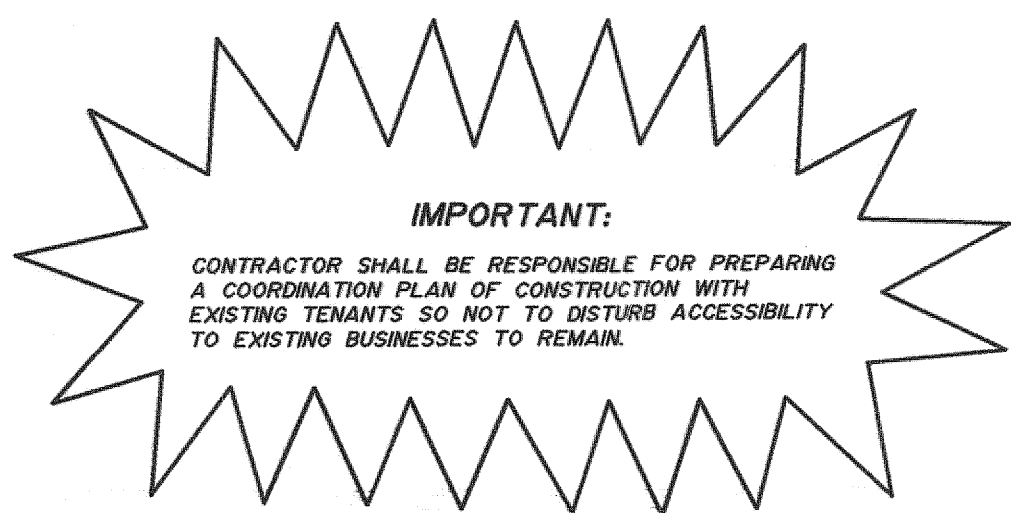
LEGEND	
	FIRE HYDRANT
	CHISELED "X" SET
	IRON ROD FOUND (SIZE AS NOTED)
	SANITARY SEWER MANHOLE
	UNDERGROUND ELECTRIC OR TELEPHONE
	LIGHT POLE
	SAN. SW. CLEAN OUT
	GAS VALVE
	WATER VALVE
	TREE
	MANHOLE (TYPE AS NOTED)
	TRAFFIC SIGNAL BOX
	ELECTRIC TRANSFORMER BOX
	ELECTRIC TRANSMISSION STEEL TOWER
	UNDERGROUND CABLE MARKER
	AREA TO BE DEMOLISHED
	FULL DEPTH SAWCUT & REMOVE



VICINITY MAP
N.T.S.

NOTES:

- CONTRACTOR SHALL ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND PLUGGING UTILITY SERVICES. CONTRACTOR TO NOTIFY AFFECTED UTILITY COMPANIES AND OBTAIN APPROVAL BEFORE STARTING WORK.
- CONTRACTOR TO REMOVE VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED OR IN USE WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT. CONTRACTOR TO ENSURE TEMPORARY UTILITY SERVICES ARE OPERATIONAL BEFORE INTERRUPTION OF EXISTING SERVICES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL BE FAMILIAR WITH CONTRACT DOCUMENTS, SPECIFICATIONS, CONSTRUCTION PLANS, ALL NOTES, CITY OF ROCKWALL STANDARDS, AND ANY OTHER SPECIFICATIONS APPLICABLE TO THE PROPER COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO ANY DEMOLITION OR CONSTRUCTION, ALL NECESSARY PERMITS AND LICENSES. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON SITE AT ALL TIMES.
- ALL WORK SHALL CONFORM TO CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
- BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AS CORRECTLY AMENDED, AND CITY OF ROCKWALL STANDARDS.
- ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR. TOP SOIL SHALL BE STOCK PILED AT THE SITE FOR USE IN LANDSCAPED AREAS.
- CONTRACTOR TO COORDINATE WITH ALL FRANCHISE & CITY UTILITY COMPANIES PRIOR TO REMOVAL OF ANY EXISTING FACILITIES.
- ALL PAVEMENT REMOVAL ADJACENT TO EX. PAVEMENT TO BE REMOVED BY FULL DEPTH SAWCUT.
- PRIOR TO BID THE CONTRACTOR SHALL VISIT THE SITE & BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING FACILITIES, TREES AND UTILITIES LOCATED WITHIN PROJECT.



IMPORTANT:

CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.

SITE BENCH MARKS:

SITE BENCH MARK NO. 1: TOP OF CURB AT PARKING CORNER 15 FEET EAST OF RIDGE ROAD AND 22 FEET NORTH OF LOT 8 NORTH PROPERTY LINE.
ELEVATION = 575.43'
SITE BENCH MARK NO. 2: TOP OF CURB AT PARKING CORNER LOCATED 27 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 8.
ELEVATION = 570.10'

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: JOHN MARK WOOD

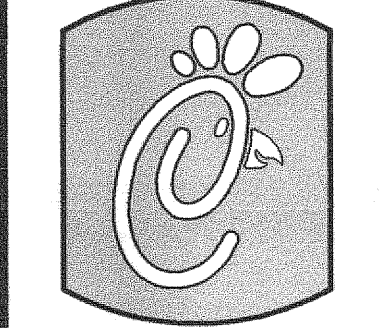
ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
TEXAS REGISTERED ENGINEERING FIRM F-12997
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.



AS-BUILT
DATE: 05-24-13

BURGER
ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

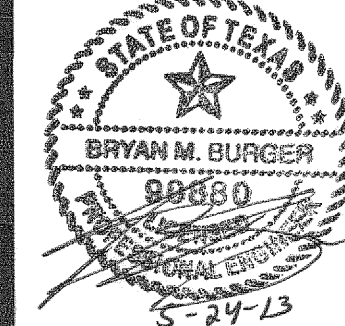
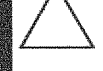
Mark Date By



Mark Date By



Mark Date By



2835 RIDGE ROAD
LOT 8, BLOCK A
STEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

STORE
SERIES
CUSTOM

SHEET TITLE

DEMOLITION
PLAN

☒ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

Sheet

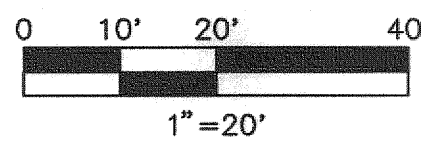
C-2

RIDGE ROAD (F.M. 740)

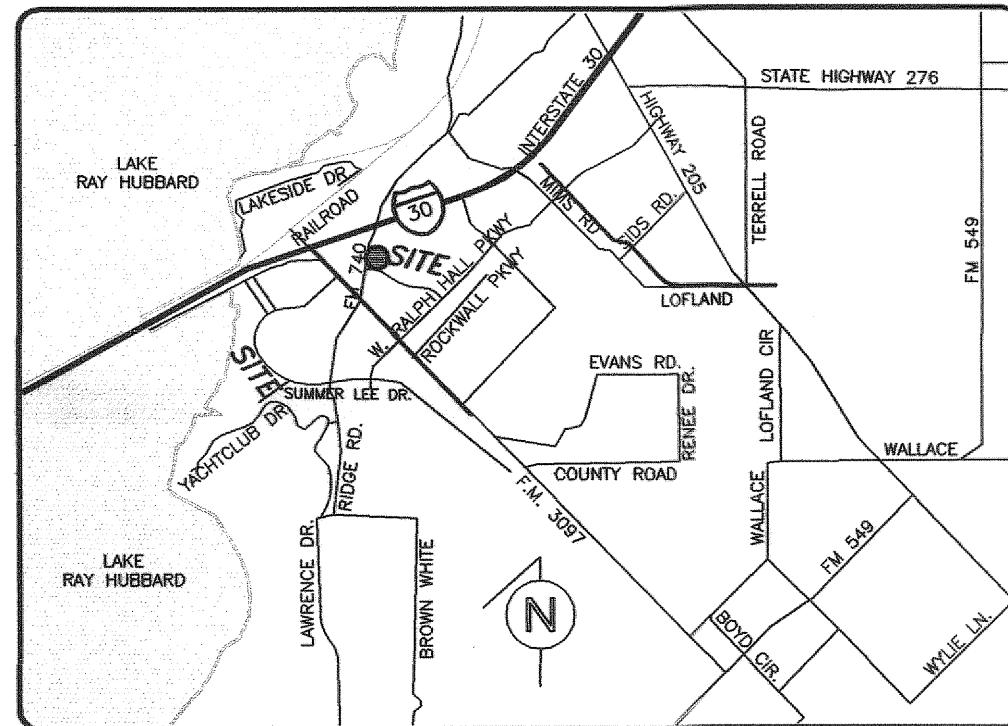
(VARIABLE WIDTH RIGHT-OF-WAY)

~ BOUNDARY CURVE TABLE ~				
NO.	RADIUS	DELTA	ARC	CH. BEARING
C1	365.00'	24°18'55"	154.90'	N 69°39'34" W

~ BOUNDARY LINE TABLE ~		
NO.	BEARING	DISTANCE
L1	N 36°41'46" W	21.17'
L2	N 57°30'07" W	24.69'



- LEGEND
- F.H. FIRE HYDRANT
 - X SET CHISELED "X" SET
 - O.F.X. CHISELED "X" FOUND
 - O.F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - O.S.I.R. IRON ROD SET (SIZE AS NOTED)
 - PP OVERHEAD UTILITY POLE W/ GUY
 - UNDERGROUND ELECTRIC OR TELEPHONE
 - LP LIGHT POLE
 - SMH SANITARY SEWER MANHOLE
 - C.D. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - TREE
 - MH MANHOLE (TYPE AS NOTED)
 - BOX TRAFFIC SIGNAL BOX
 - TRANS. ELECTRIC TRANSFORMER BOX
 - TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - CABLE UNDERGROUND CABLE MARKER
 - SIGN



VICINITY MAP
N.T.S.

LAYOUT NOTES

- PAINTED TRAFFIC ARROW
- DRIVE THRU STRIPING
- STOP BAR (NOT USED)
- PAINTED HANDICAP PARKING SYMBOL
- PARKING STALLS / 4" PAINTED STRIPE
- DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS)
- INTEGRAL CONCRETE CURB
- TYPICAL POLE BASE DETAIL (SEE SHEET ES-1) (NOT USED)
- TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN (NOT USED)
- "B" - BROOM FINISH (NOT USED)

- SIDEWALK ADJACENT TO CURB (NOT USED)
- ASPHALT PAVEMENT SECTION (NOT USED)
- CONCRETE PAVEMENT
- 1' CURB OPENING (NOT USED)
- CONTRACTION JOINT (SEE SHEET C-6)
- CONSTRUCTION JOINT (SEE SHEET C-6)
- MENU BOARD AND CANOPY ORDERING STATION
- GREASE TRAP
- EX. POLE MOUNTED TRANSFORMER
- EX. DUMPSTER/STORAGE AREA W/SCREENING
- EX. CHICK-FIL-A MONUMENT SIGN
- EX. CHICK-FIL-A ENTER SIGN
- EX. DIRECTIONAL SIGN
- STRIPING
- CURBED HANDICAP RAMP (NOT USED)
- CHICK-FIL-A MAIN ENTRY HANDICAP RAMP (NOT USED)
- MATCH LOCATION & ELEVATION OF EX. CURB
- PROTECTIVE BOLLARD
- 1' WIDE MOUNTABLE CURB (NOT USED)
- MATCH EX. CONCRETE SIDEWALK (NOT USED)
- MATCH EX. CONCRETE OR ASPHALT
- REPAIR EX. SOD & IRRIGATION
- SOLID PLASTIC WHEEL STOP (NOT USED)
- EX. FLAG POLE
- EX. ALUMINUM RAIL
- EX. TREE TO REMAIN
- EX. RAMP W/NEW ADA HANDRAILS (BOTH SIDES)

NOTES

- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
- ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.

SITE DATA

ZONING:		C (COMMERCIAL)
LOT AREA:	1.044 ACRES (45,476 S.F.)	
PROPOSED USE:	DINE IN & DRIVE THRU RESTAURANT	
BUILDING AREA:	2,958 S.F.	
F.A.R.:	0.065:1	
TOTAL SEATING:	66 SEATS	
PARKING REQUIRED:	1 SPACE FOR EVERY 100 S.F.	
	2,958/100 = 30 SPACES	
PARKING PROVIDED:	36 SPACES (2 H.C.)	
BUILDING HEIGHT:	18'-6 1/2" (EX. 1 STORY)	
LANDSCAPE AREA REQUIRED:	6,821 S.F. (12%)	
LANDSCAPE AREA PROVIDED:	11,502 S.F. (25.29%)	
IMPERVIOUS AREA PROVIDED:	33,974 S.F. (74.71%)	
STREET TREES REQUIRED:	16	
STREET TREES EXISTING:	16	
PARKING LOT TREES REQUIRED:	3	
PARKING LOT TREES PROVIDED:	3	

SITE BENCH MARKS:

SITE BENCH MARK NO. 1: TOP OF CURB AT PARKING CORNER 15 FEET EAST OF RIDGE ROAD AND 22 FEET NORTH OF LOT 8 NORTH PROPERTY LINE.
ELEVATION = 575.43'

SITE BENCH MARK NO. 2: TOP OF CURB AT PARKING CORNER LOCATED 27 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 8.
ELEVATION = 570.10'

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: JOHN MARK WOOD

ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
TEXAS REGISTERED ENGINEERING FIRM F-12997
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.



AS-BUILT
DATE: 05-24-13

BURGER
ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

2835 RIDGE ROAD
LOT 8, BLOCK A
STEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

STORE
SERIES
CUSTOM

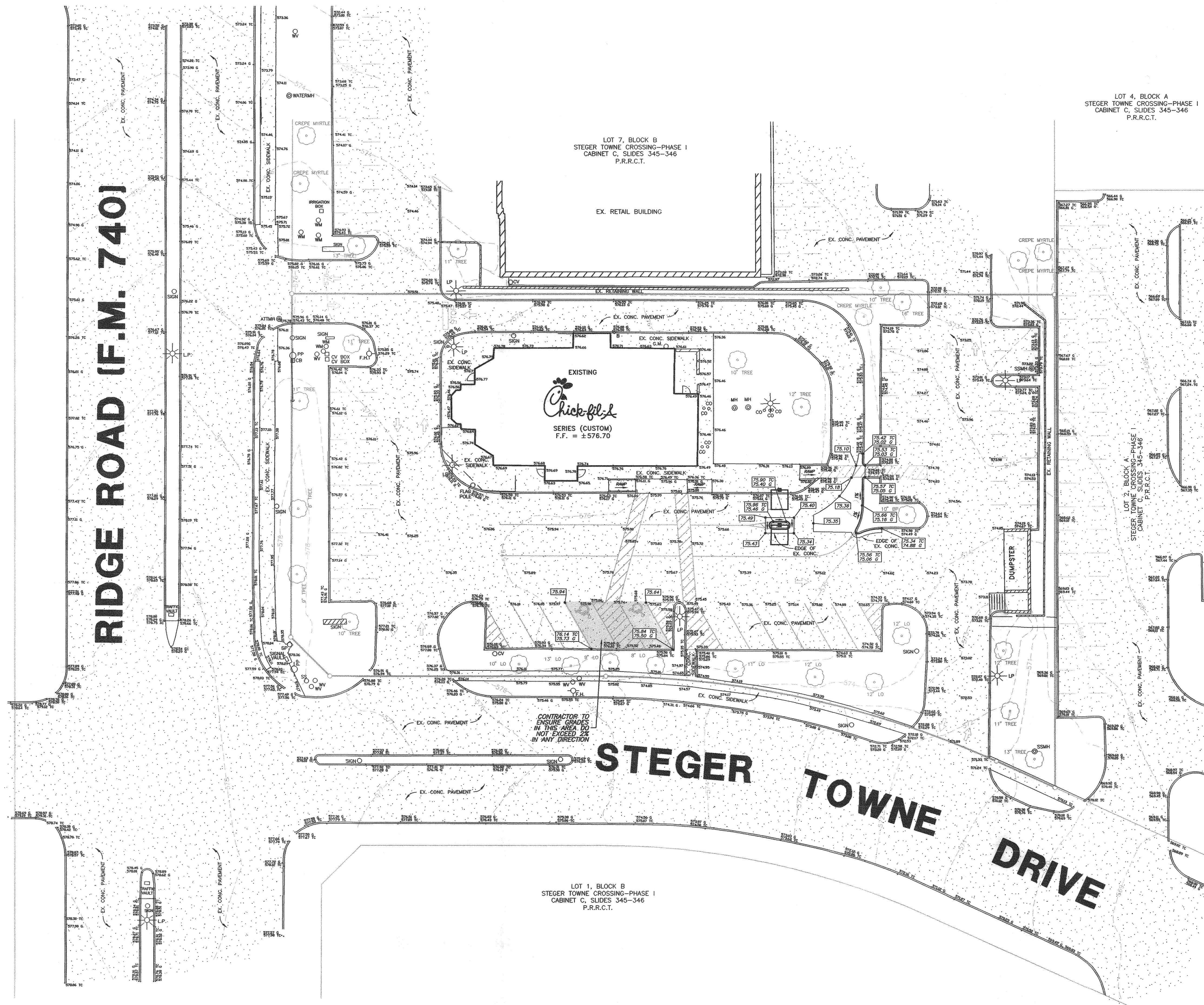
SHEET TITLE
SITE
PLAN

☒ Preliminary
☐ 80% Submittal
☐ For Construction

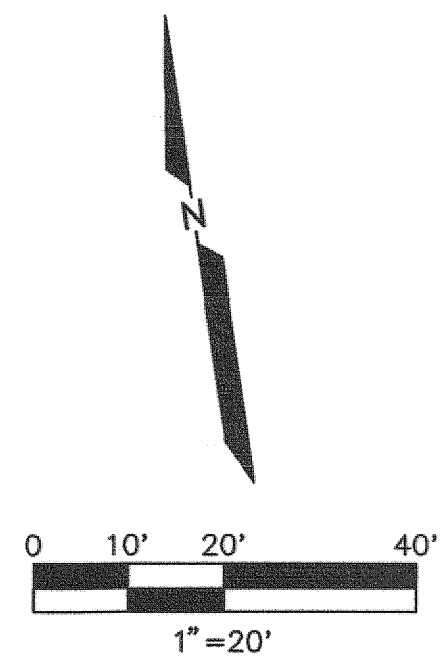
Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

Sheet

C-3



- LEGEND**
- 60 EXIST. CONTOUR
 - 60 PROP. CONTOUR
 - x60.30 EXIST. SPOT ELEV.
 - 60.30 PROP. PAVEMENT SPOT ELEV.
 - 60.25 TO 59.75 G PROP. TOP OF CURB & GUTTER ELEVATION



- GRADING NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS" AND CITY SPECIFICATIONS.
 4. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
 5. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 6. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
 7. SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 9. THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
 10. GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. (B-817-461-2783) WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
 11. CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/ A 2% CROSS SLOPE.

- CONSTRUCTION SEQUENCE**
1. OBTAIN GRADING PERMIT.
 2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
 3. CLEAR SITE.
 4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
 5. GRADE SITE.
 6. INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
 7. INSTALL PAVEMENT.
 8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOWABLE STAND OF GRASS IS ACHIEVED.

AS-BUILT
DATE: 05-24-13

SITE BENCH MARKS:

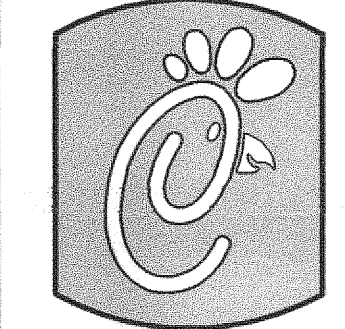
SITE BENCH MARK NO. 1: TOP OF CURB AT PARKING CORNER 15 FEET EAST OF RIDGE ROAD AND 22 FEET NORTH OF LOT 8 NORTH PROPERTY LINE.
ELEVATION = 575.43'

SITE BENCH MARK NO. 2: TOP OF CURB AT PARKING CORNER LOCATED 27 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 8.
ELEVATION = 570.10'



BURGER ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

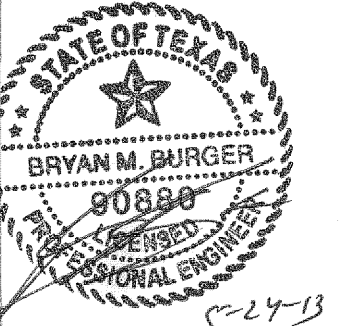


5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

Mark Date By

Mark Date By



2855 RIDGE ROAD
LOT 8, BLOCK A
STEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

STORE
SERIES
CUSTOM

SHEET TITLE
GRADING & DRAINAGE PLAN

☒ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

Sheet

C-4

RIDGE ROAD (F.M. 740)

SEDIMENT FILTER AT INLETS

TRENCH CROSS-SECTION

LEGEND

— 596 — EXIST. CONTOUR
— 87 — PROP. CONTOUR
— 87 — PROP. CONTOUR (BY OTHERS)

EROSION CONTROL LOCATION

INLET PROTECTION LOCATION

0 10' 20' 40'
1" = 20'

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT.
2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
3. CLEAR SITE.
4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
7. INSTALL PAVEMENT.
8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SOODED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOWABLE STAND OF GRASS IS ACHIEVED.

EROSION AND SEDIMENTATION CONTROL NOTES

1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY'S REQUIREMENTS.
2. ALL SLOPES SHALL BE SOODED OR SEEDING WITH APPROVED GRASS, GRASS MIXTURE OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED IN ACCORDANCE WITH LANDSCAPE PLANS.
3. BRUSH BERMS, HAY BALES, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS, SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE IF THEY ARE WARRANTED.
4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE CITY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE CITY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

EROSION CONTROL NOTES

1. WITHIN FORTY EIGHT (48) HOURS OF POURING THE BLOCKOUT AND TOP, PLACE WIRE MESH WITH 12" OPENINGS OVER ALL CURB AND GRATE INLET OPENINGS SO THAT AT LEAST 12" OF WIRE EXTENDS ACROSS THE INLET COVER-GUTTER AND AROUND ALL GRATES AS ILLUSTRATED.
2. PLACE SMALL SAND BAGS AGAINST THE WIRE TO ANCHOR AGAINST THE GUTTER, GRATE & INLET COVER.
3. IF THE SEDIMENT FILTER BECOMES CLOGGED WITH DEBRIS SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, REMOVE THE SAND BAGS, CLEAN IT AND REPLACE THE SAND BAGS.
4. MAKE WEEKLY INSPECTIONS OF THESE SEDIMENT FILTERS FOR CONFORMANCE TO THESE CONDITIONS. PARTICULARLY INSPECT ALL INLETS AFTER EACH RAIN. COMPLETELY REMOVE ALL SEDIMENT FILTERS UPON ESTABLISHMENT OF GRASS AND FINAL STABILIZATION OF CONSTRUCTION SITE.
5. DO NOT USE A SEDIMENT FILTER TO CONTROL EROSION AROUND "Y" INLETS. UTILIZE SEDIMENT FENCES.

CITY EROSION CONTROL NOTES

1. MINIMUM OF 18" SOLID SOD REQUIRED ALONG ALL CURBS AND FLUMES.
2. USE OF HAY BALES IS PROHIBITED.

SILT FENCE NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CAN NOT BE TREATED IN (a) DOWNHILL WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

AS-BUILT
DATE: 05-24-13

SITE BENCH MARKS:

SITE BENCH MARK NO. 1: TOP OF CURB AT PARKING CORNER 15 FEET EAST OF RIDGE ROAD AND 22 FEET NORTH OF LOT 8 NORTH PROPERTY LINE.

ELEVATION = 575.43'

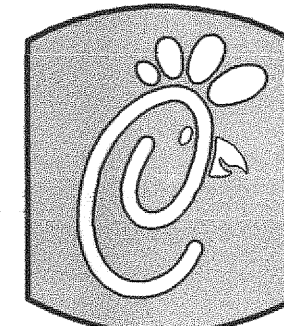
SITE BENCH MARK NO. 2: TOP OF CURB AT PARKING CORNER LOCATED 27 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 8.

ELEVATION = 570.10'



BURGER
ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

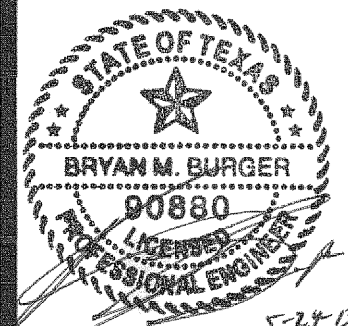
△

Mark Date By

△

Mark Date By

△



2855 RIDGE ROAD
LOT 8, BLOCK A
STEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

STORE
SERIES
CUSTOM

SHEET TITLE

**EROSION
CONTROL
PLAN**

☒ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068

Store : 01242

Date : 2/13

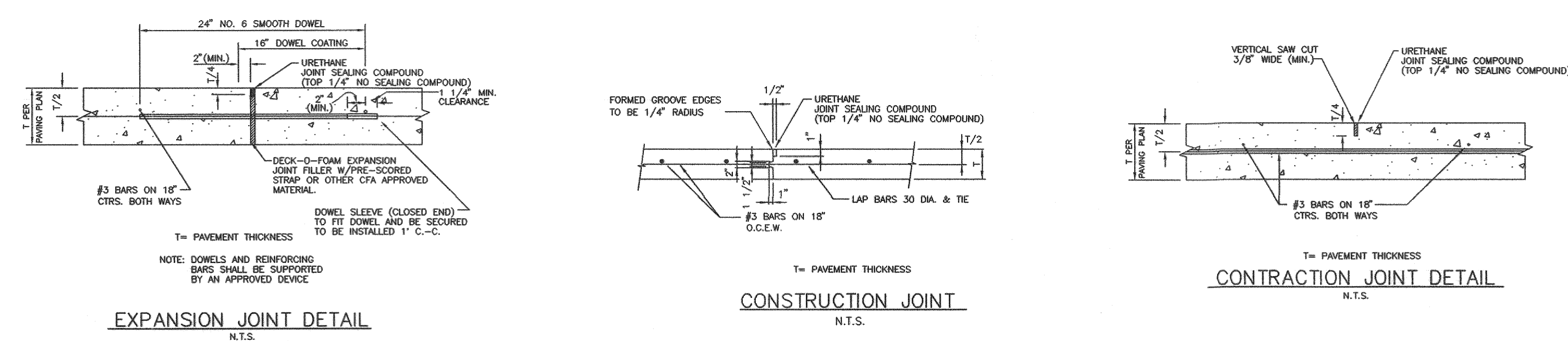
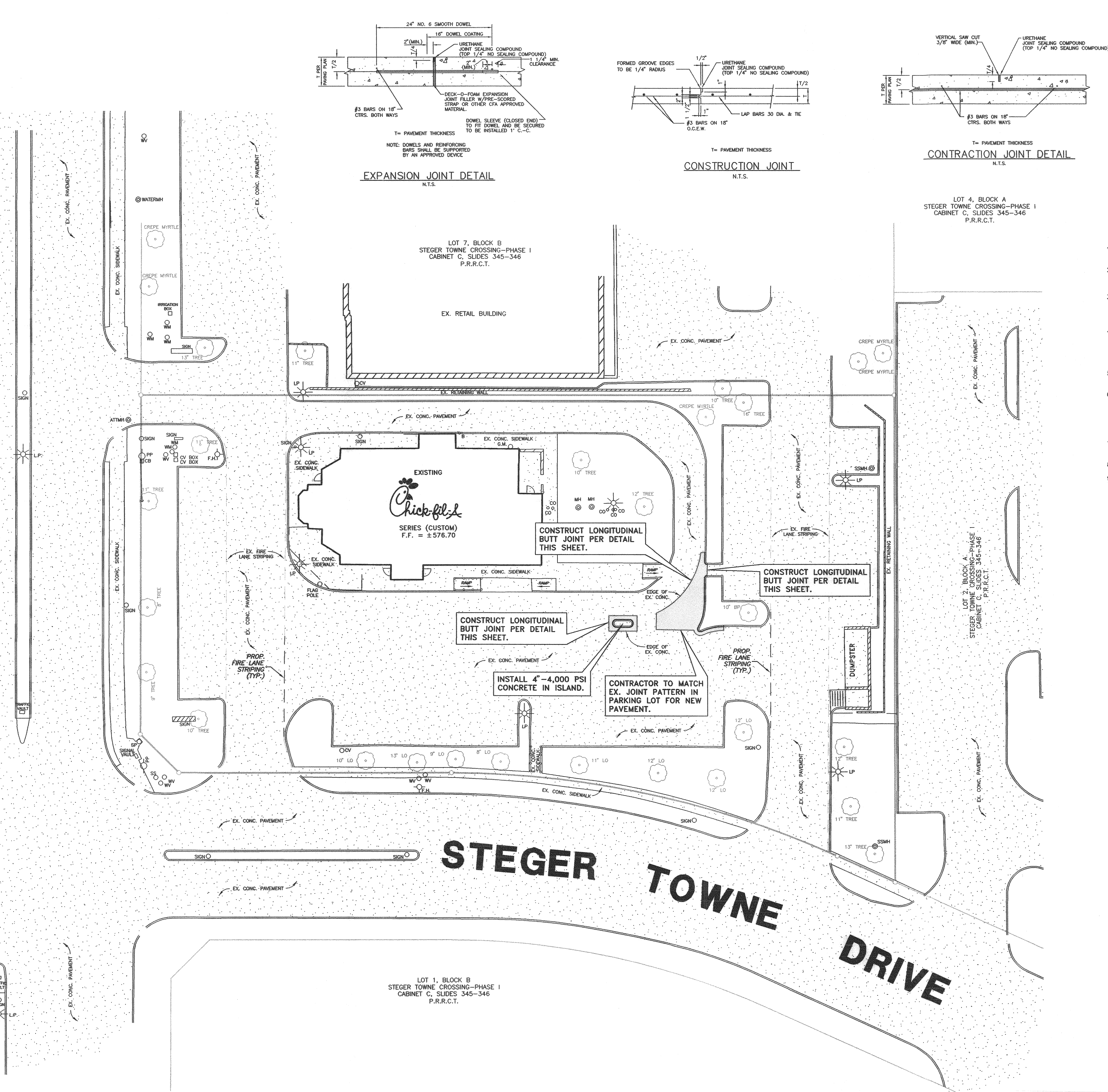
Drawn By : JAC

Checked By: BMB

Sheet

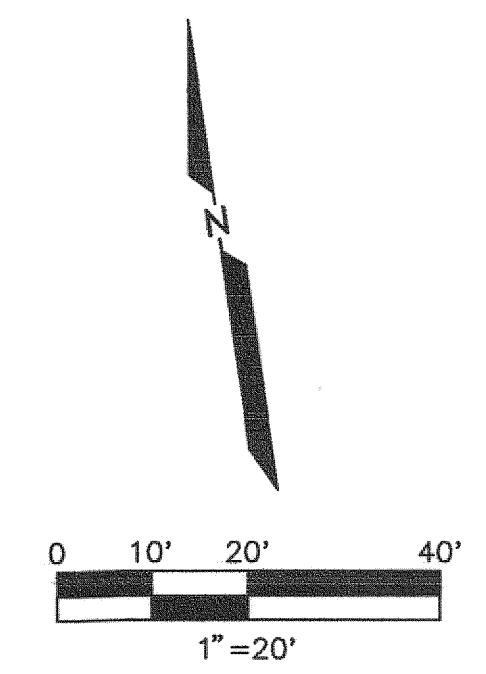
C-5

RIDGE ROAD (F.M. 740)

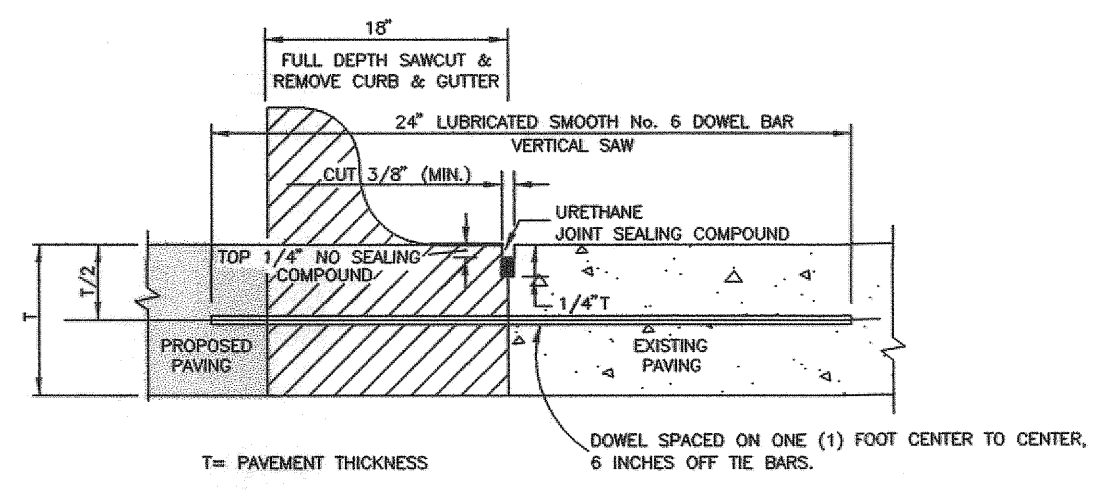
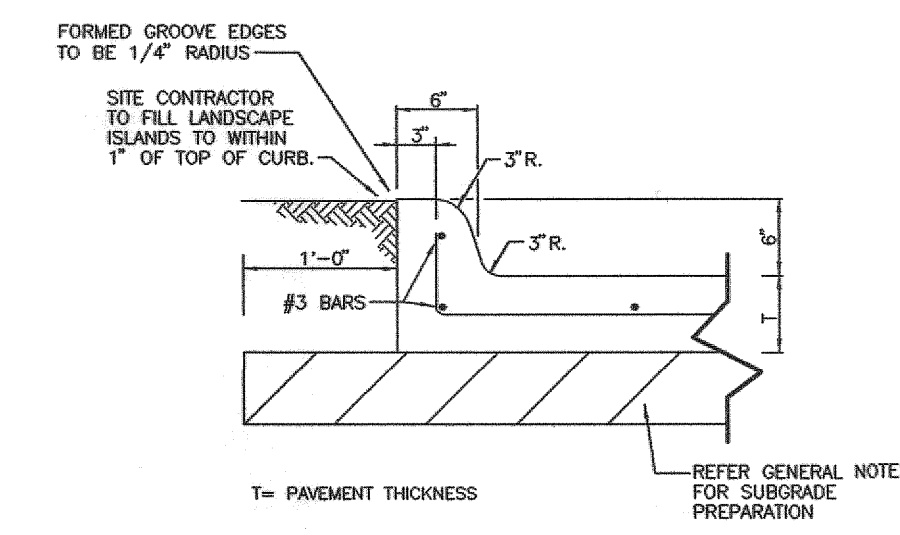


LEGEND

5" THICK REINFORCED CONCRETE PAVEMENT PER NOTE 5.



- PAVING NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS.
 - ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE CITY OF ROCKWALL, LATEST EDITION, AND ANY SPECIAL PROVISION AS APPROVED BY THE CITY.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND DOCUMENTS APPROVED BY THE PERMITTING AGENCIES.
 - DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR THE PUBLIC WORKS CONSTRUCTION AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER MUST BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING DECISION COMMENCES. ASSUMPTIONS ABOUT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - ON-SITE PAVEMENT SHALL BE 5" THICK AS SHOWN ON PLANS, 4,000 PSI REINFORCED CONCRETE W/ #3 BARS @ 18" O.C.E.W. ON A 6" THICK SUBGRADE.
 - THE ON-SITE SUBGRADE FOR NEW PAVEMENT SHALL BE PROOFROLLED, SCARIFIED TO A DEPTH OF 6 INCHES, COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698) AND WITHIN THE RANGE OF -1 TO +3 PERCENT ABOVE THE MATERIALS OPTIMUM MOISTURE CONTENT. THE MOISTURE CONTENT OF THE SUBGRADE SHOULD BE MAINTAINED UNTIL THE PAVEMENT SURFACE IS PLACED. REFER TO GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED AUGUST, 2000 REPORT NO. 94005549.
 - BARRIER FREE RAMPS SHALL BE CONSTRUCTED AT ALL STREET INTERSECTIONS AND DRIVEWAY APPROACHES.
 - REFER TO SITE DETAILS FOR DETAILS OF CURB & SIDEWALK, ETC..
 - ALL FIRE LANES SHALL BE STRIPED ACCORDING TO CITY REQUIREMENTS.



- NOTES:**
- NO.5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
 - DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

LONGITUDINAL BUTT JOINT

N.T.S.

SITE BENCH MARKS:

SITE BENCH MARK NO. 1: TOP OF CURB AT PARKING CORNER 15 FEET EAST OF RIDGE ROAD AND 22 FEET NORTH OF LOT 8 NORTH PROPERTY LINE.

ELEVATION = 575.43'

SITE BENCH MARK NO. 2: TOP OF CURB AT PARKING CORNER LOCATED 27 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 8.

ELEVATION = 570.10'



AS-BUILT
DATE: 05-24-13

BURGER ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		
△		

2835 RIDGE ROAD
LOT 8, BLOCK A
STEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

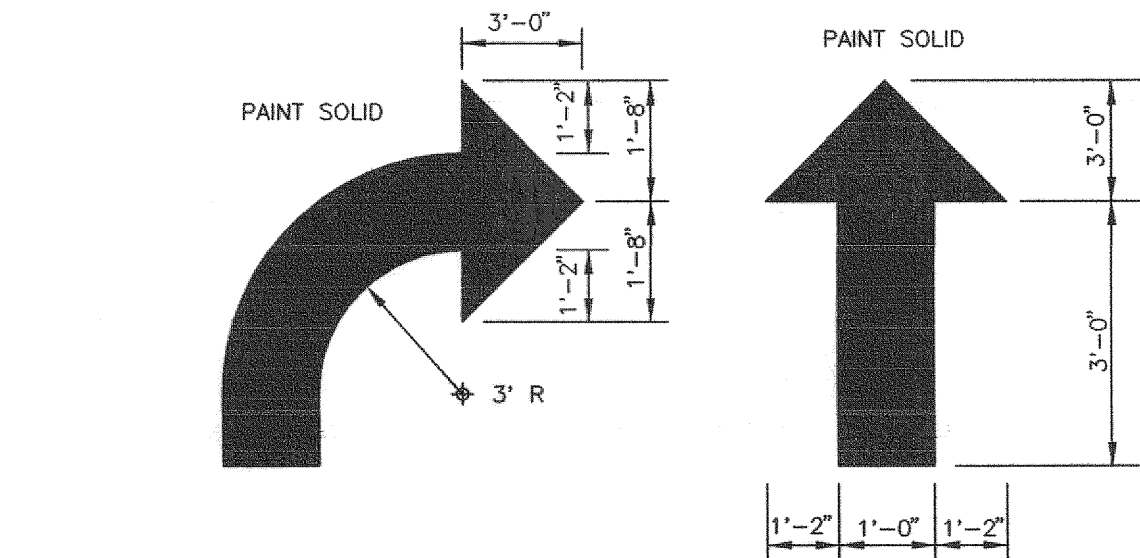
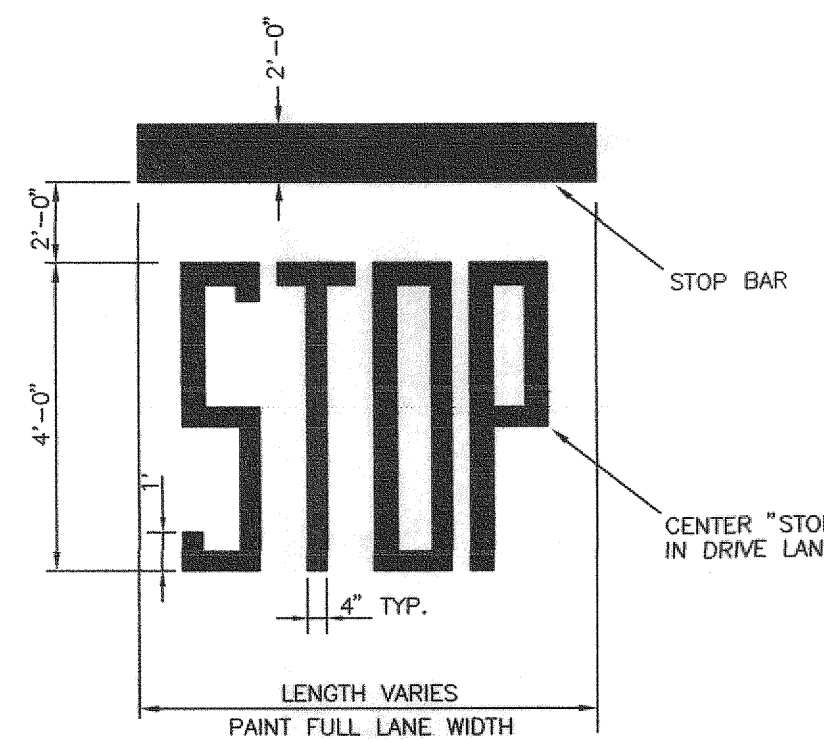
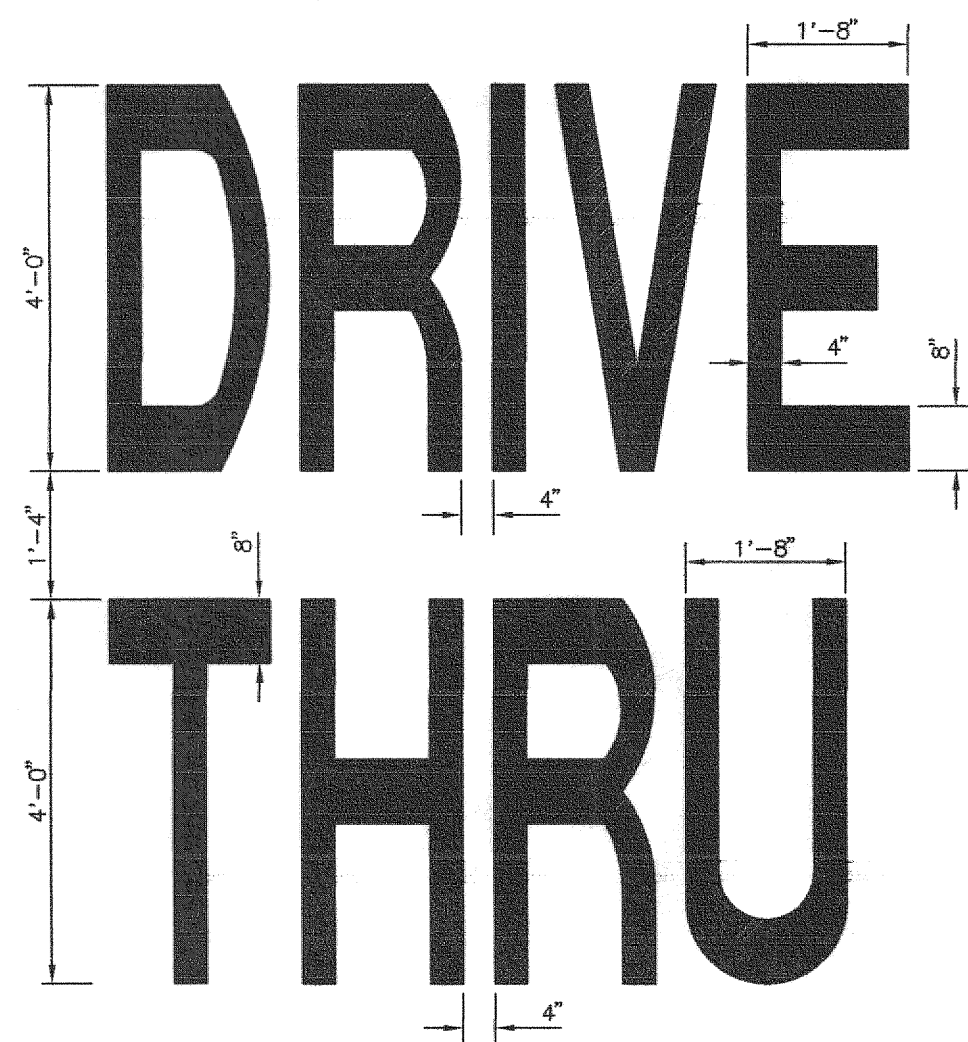
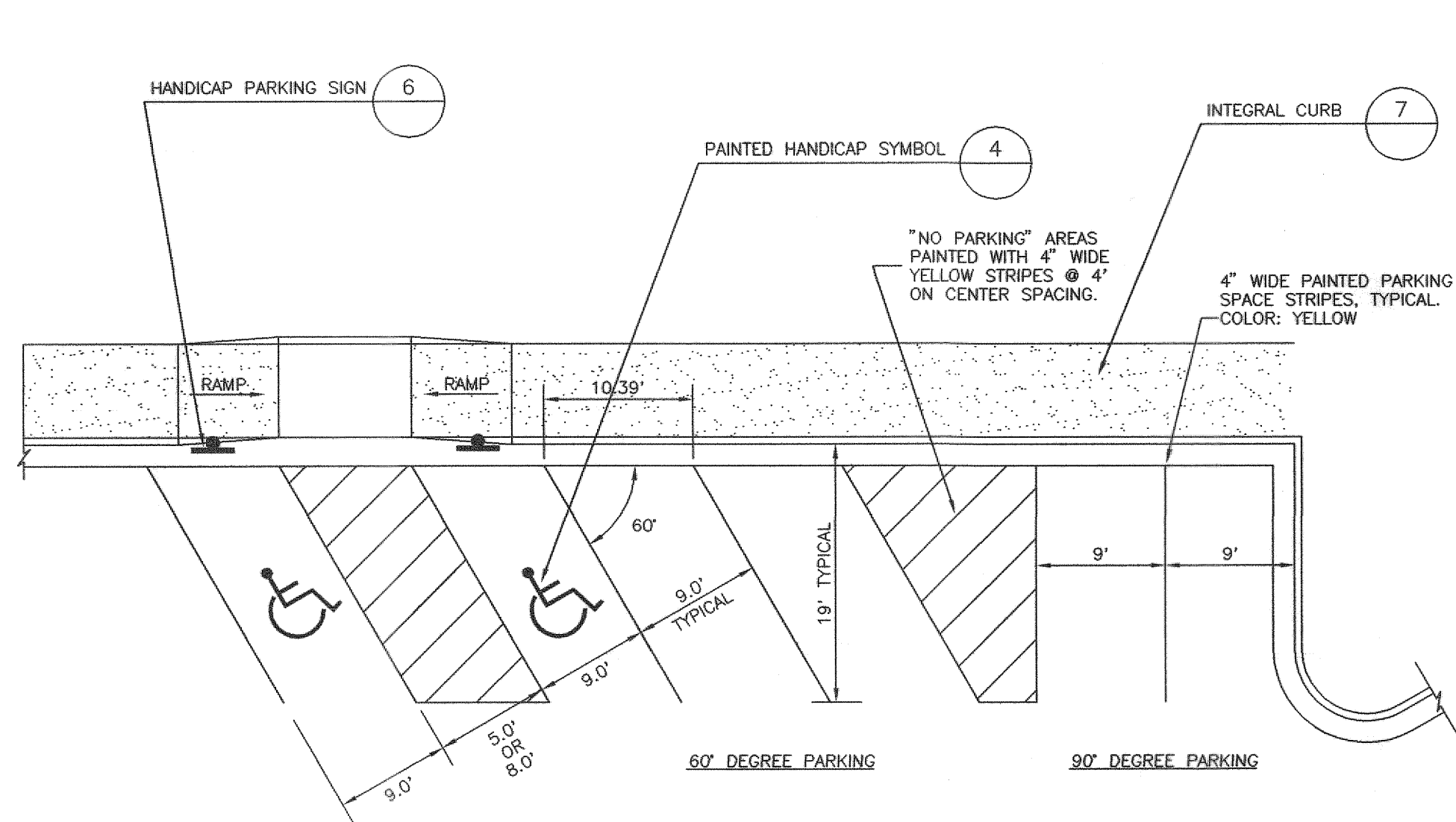
STORE
SERIES
CUSTOM

SHEET TITLE
PAVING PLAN

☒ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

Sheet
C-6



NOTES:
1. GENERAL CONTRACTORS SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

PARKING LOT STRIPING SPECIFICATIONS:

STANDARDS:
1. ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
2. SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
3. APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT A300 WHITE OR A303 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE—ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION:

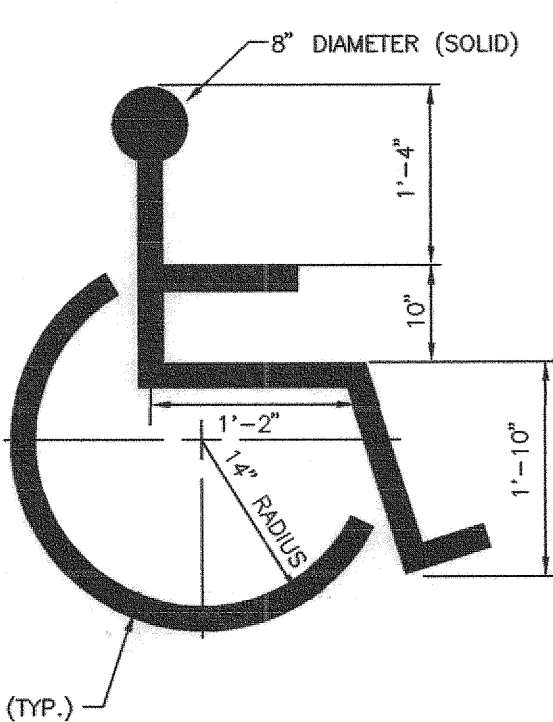
AIRLESS
• PRESSURE 1800-2700 PSI
• HOSE 1/2" - 3/4" ID
• TIP 0.015" - 0.017"
• FILTER 60 MESH
• REDUCTION ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPTHA R1K3

CONVENTIONAL
• GUN #68
• FLUID NOZZLE INTERNAL MIX, #709
• AIR NOZZLE 45-90 PSI
• ATOMIZATION PRESSURE 40-70 PSI
• FLUID PRESSURE ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPTHA R1K3

• MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 15 MILS WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY, PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
• GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.

NOTES:

1. HANDICAP PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1:50 IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL, SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.
3. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS.
4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.

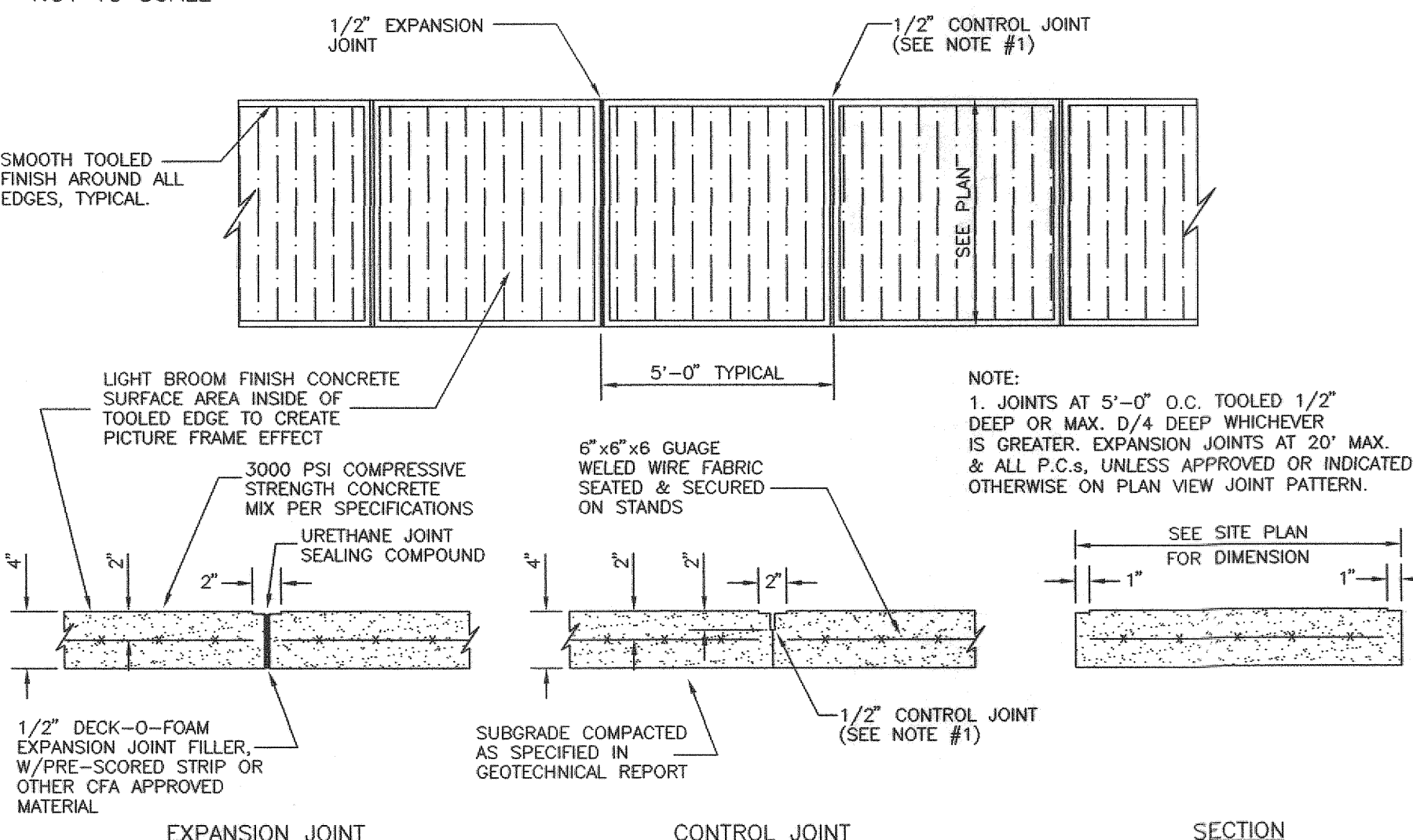


NOTES:

1. GENERAL CONTRACTORS SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

2 DRIVE-THRU GRAPHICS DETAIL

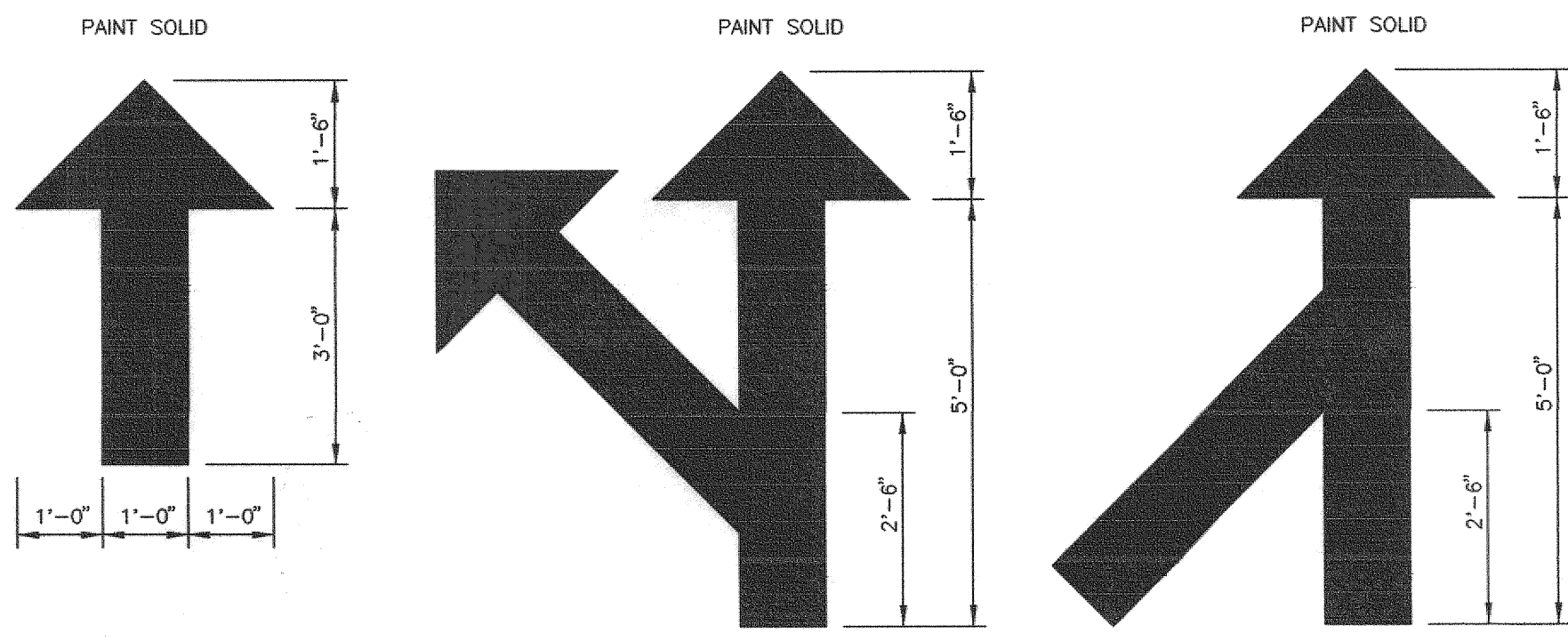
NOT TO SCALE



NOTE:
1. JOINTS AT 5'-0" O.C. TOOLED 1/2" DEEP OR MAX. D/4 DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

3 STOP LINE GRAPHIC DETAIL

NOT TO SCALE

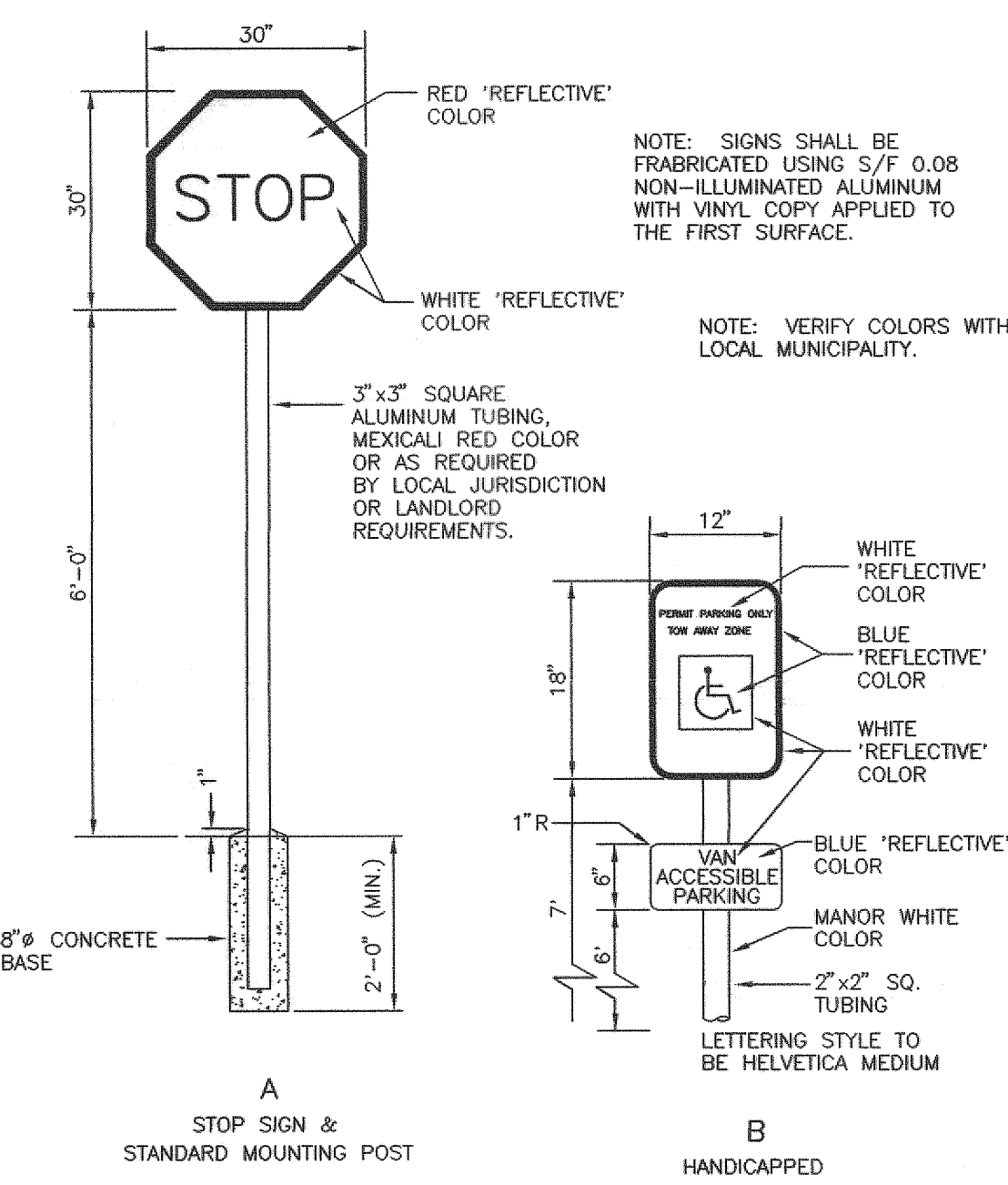


1 DIRECTIONAL ARROW DETAILS

NOT TO SCALE

5 STANDARD PARKING STALL DETAILS

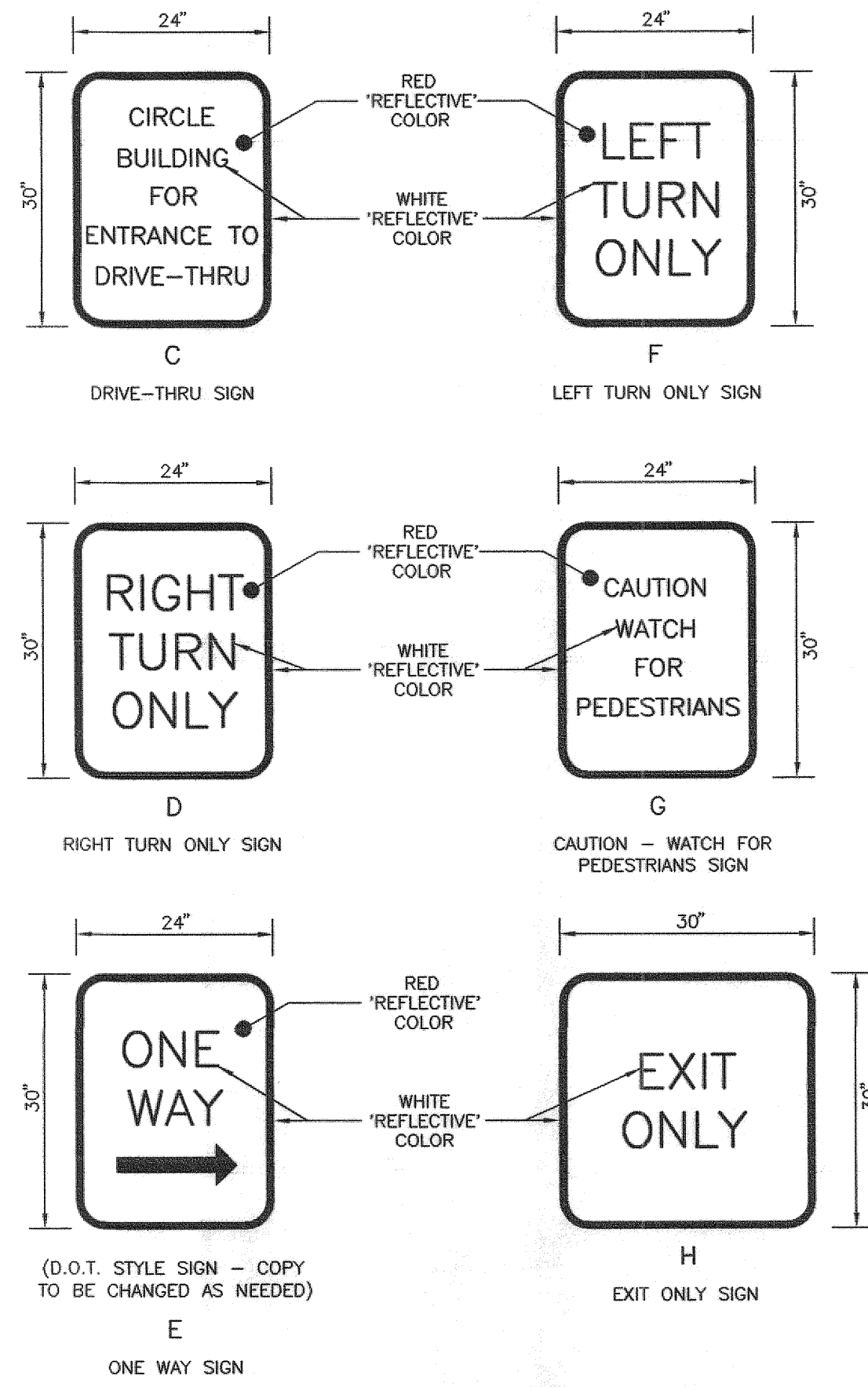
NOT TO SCALE



NOTE: "SIGNS PROVIDED AND INSTALLED BY CFA CONTRACTOR"

6 DIRECTIONAL SIGNAGE

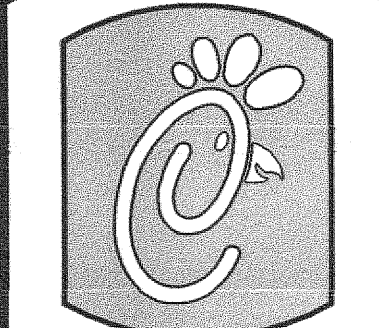
NOT TO SCALE



(D.O.T. STYLE SIGN - COPY TO BE CHANGED AS NEEDED)

9 TYPICAL CONCRETE SIDEWALK DETAIL

NOT TO SCALE



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

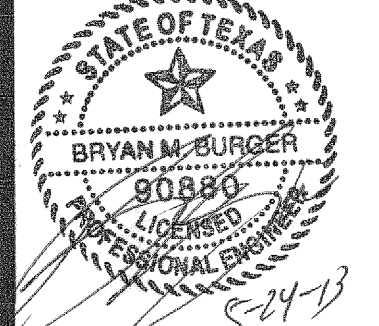
△

Mark Date By

△

Mark Date By

△



2835 RIDGE ROAD
LOT 8, BLOCK A
STEEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

STORE
SERIES
CUSTOM

SHEET TITLE
SITE
DETAILS

☑ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

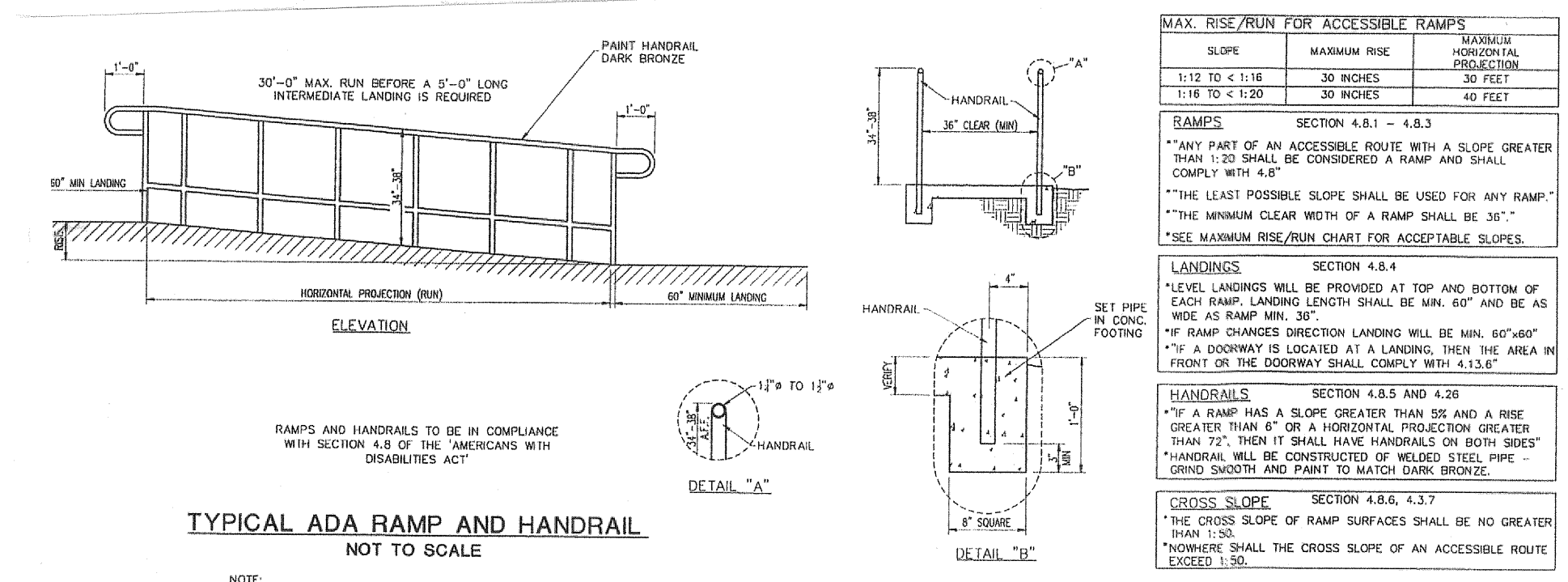
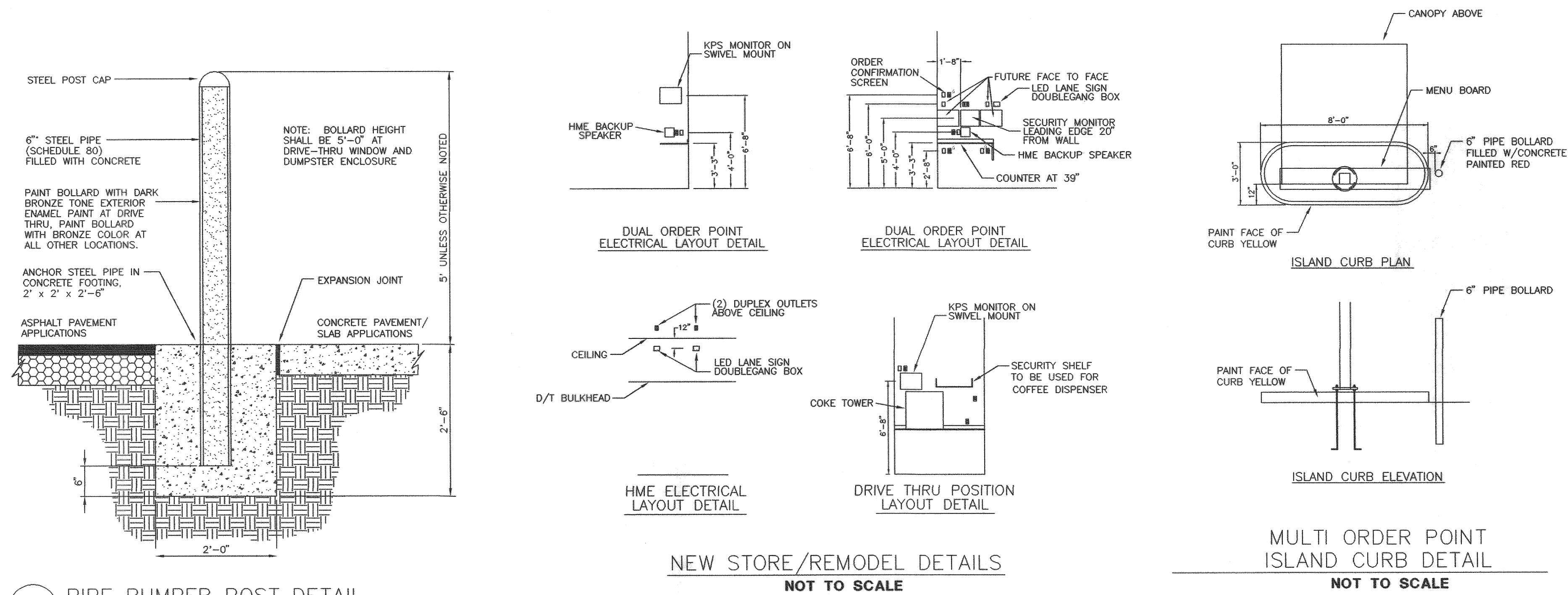
Sheet

C-7

B BURGER
ENGINEERING
Civil Consultants

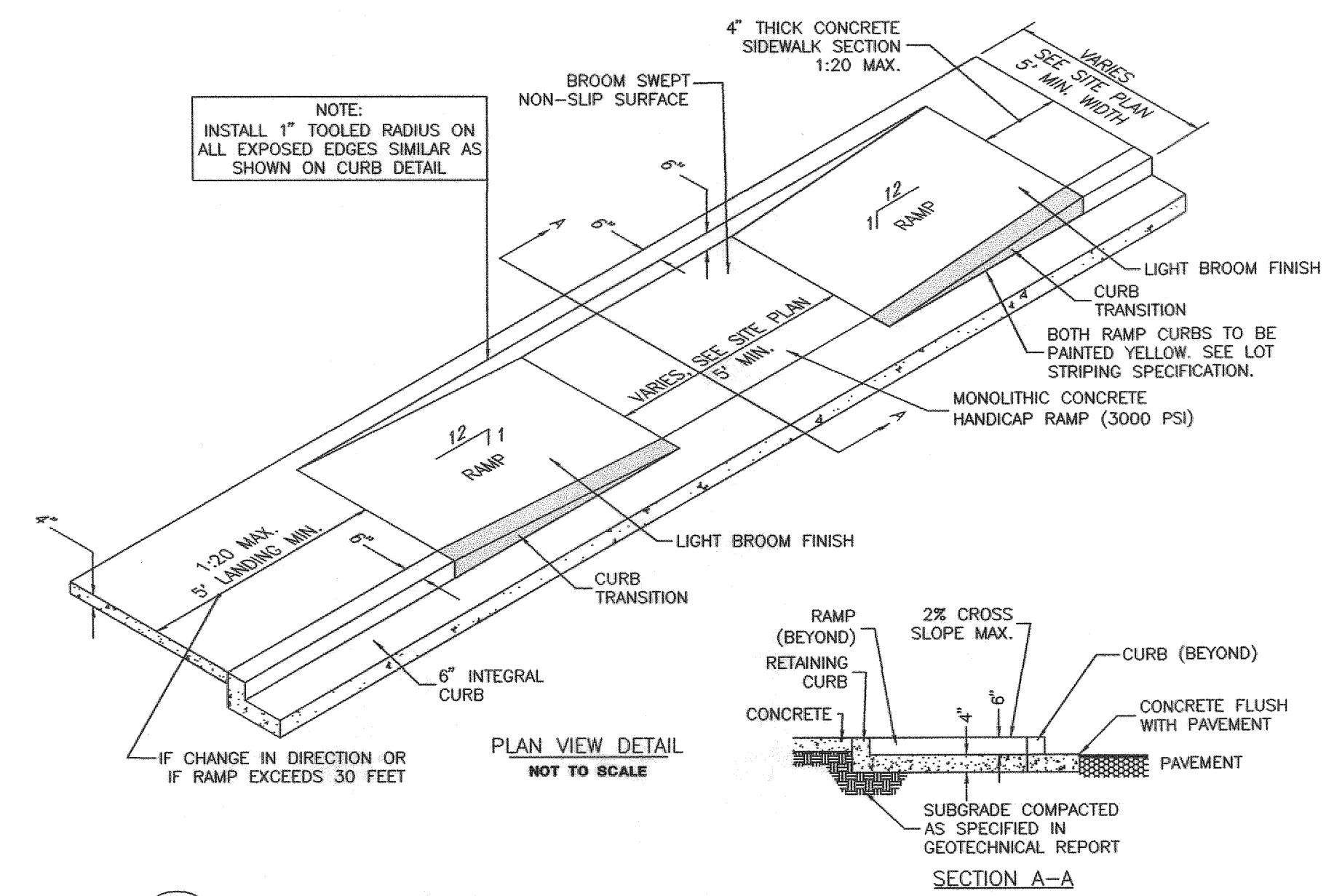
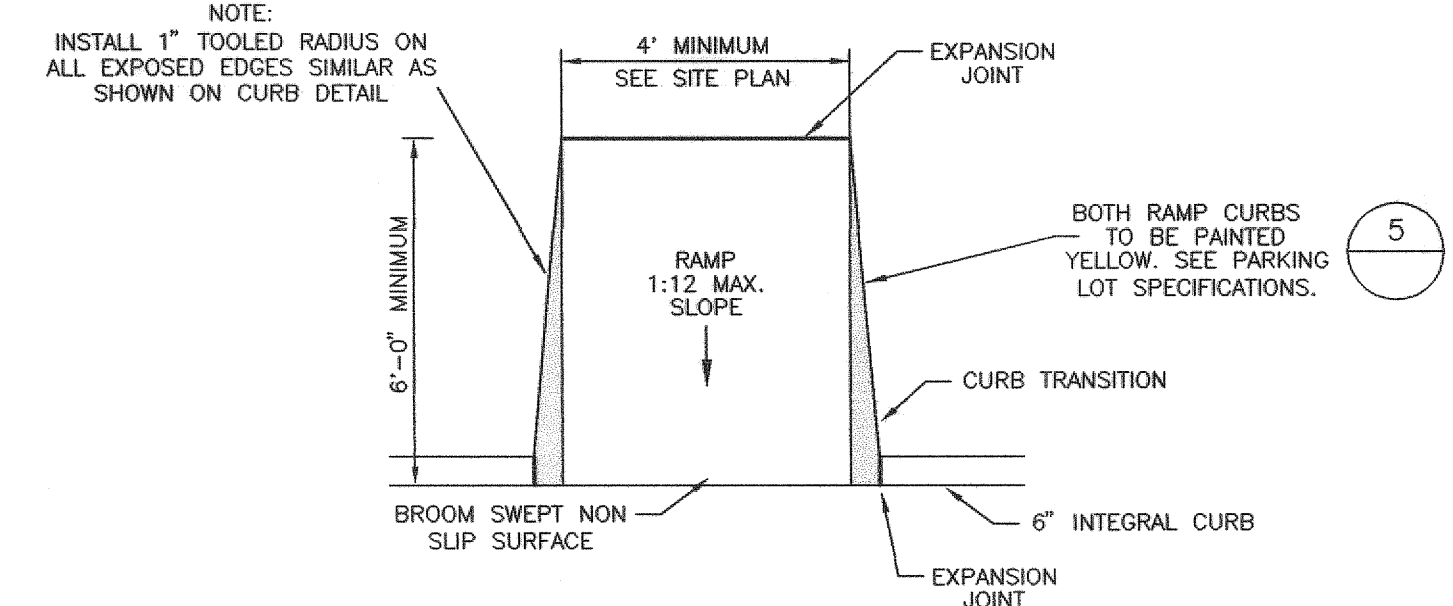
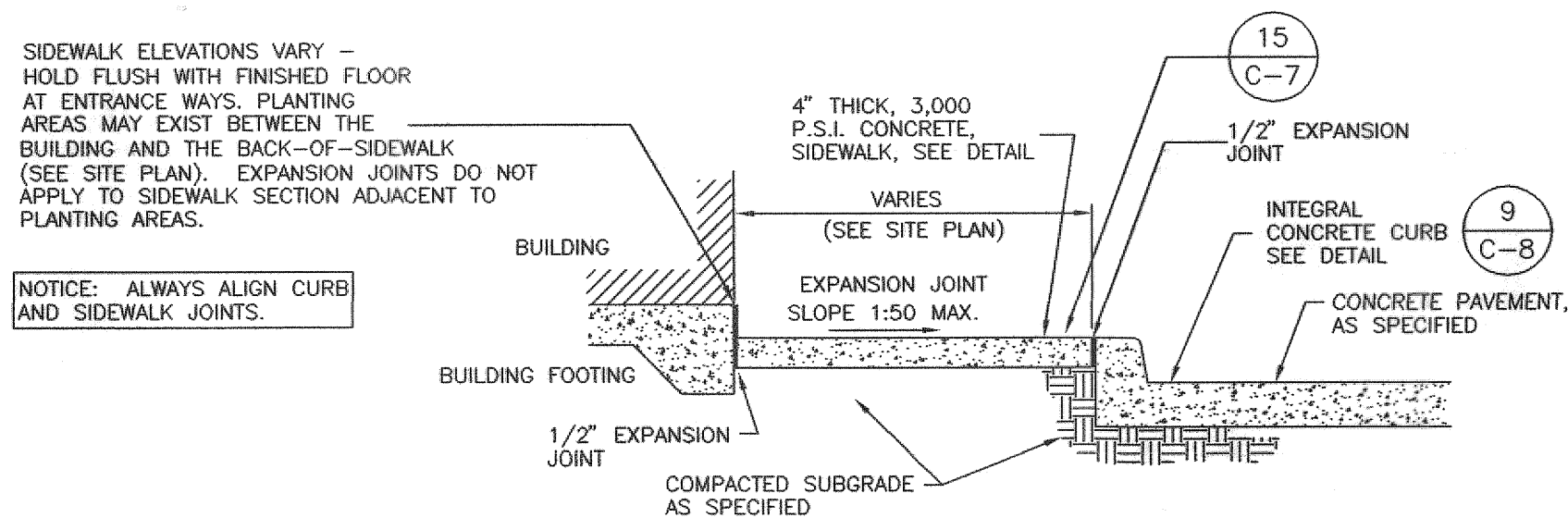
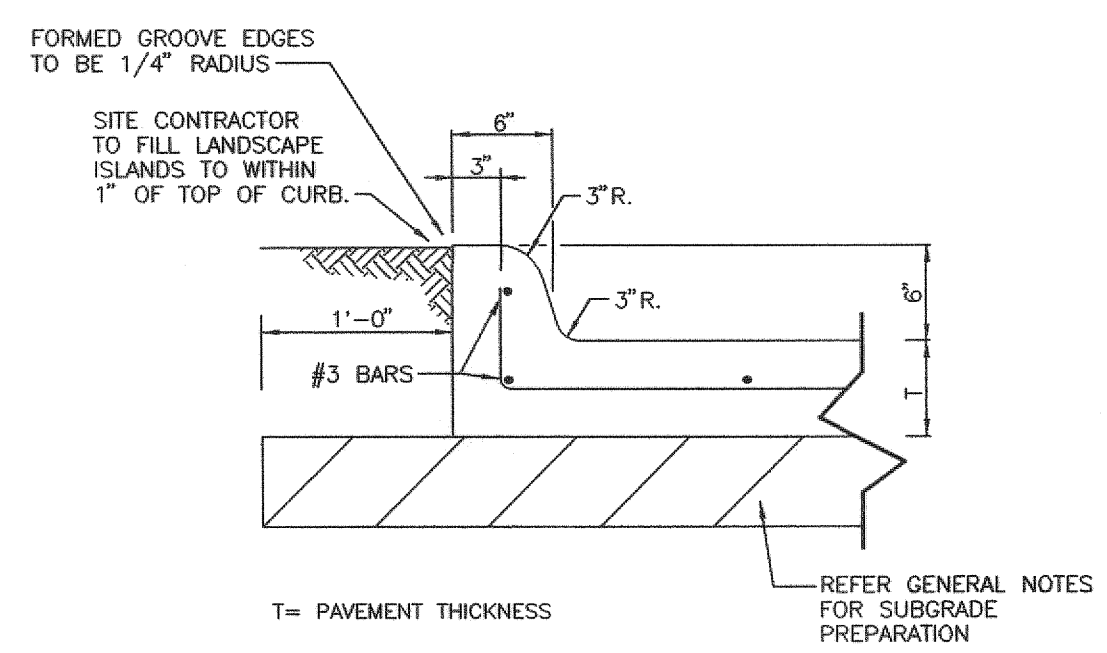
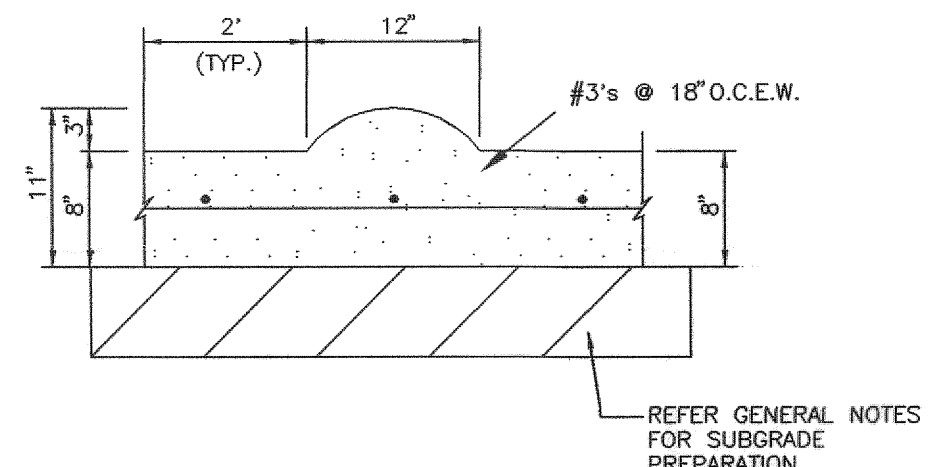
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

AS-BUILT
DATE: 05-24-13



NOTES

1. PRE-CUT EXPANSION JOINT MATERIAL SHALL BE USED IN ALL EXPANSION JOINTS.
2. DUMMY JOINTS SHALL BE INSTALLED AT 10 ft. INTERVALS, MAXIMUM.
3. INSTALL EXPANSION JOINTS EVERY 40 ft., MAXIMUM, AT ENDS OF RADIUS, AND A MINIMUM OF 5 ft. FROM INLET STRUCTURES.
4. BREAK AS NEEDED TO ENSURE POSITIVE DRAINAGE.
5. CONCRETE TO BE 4,000 P.S.I.
6. MOUNTABLE CURB TO BE PAINTED YELLOW.



AS-BUILT
DATE: 05-24-13

BURGER ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

2835 RIDGE ROAD
LOT 8, BLOCK A
STEEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

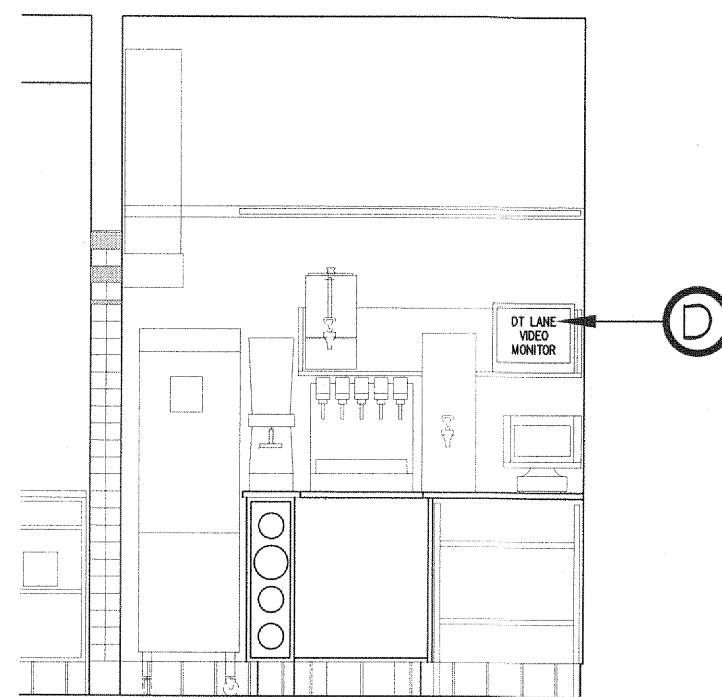
STORE
SERIES
CUSTOM

SHEET TITLE
SITE DETAILS

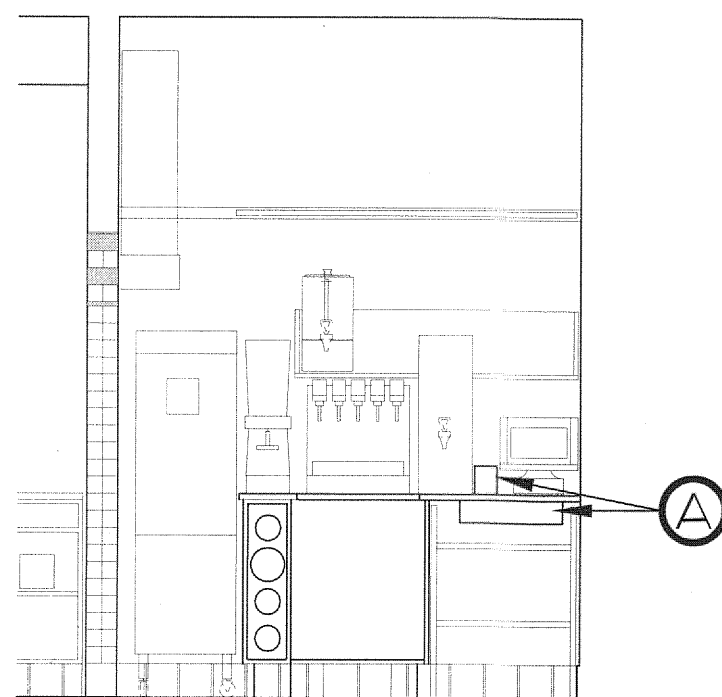
☒ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

Sheet
C-8



Before Elevation - Beverage Tower Side of Drive-Thru



After Elevation - Beverage Tower Side of Drive-Thru

S97 PROTO - MULTI-LANE DRIVE-THRU SCOPE OF WORK
A - EXISTING CASH DRAWER AND RECEIPT PRINTER TO BE RELOCATED TO BEVERAGE TOWER SIDE OF DRIVE-THRU. HANG DRAWER UNDERNEATH COUNTER TOP UNLESS THIS SPACE IS OCCUPIED BY AN UNDER COUNTER REFRIGERATOR. IF THIS IS THE CASE THEN THE CASH DRAWER IS TO BE PLACED ON THE COUNTER TOP WITH THE CASH REGISTER PLACED ON TOP OF IT.

B - REPLACE EXISTING DRIVE-THRU WINDOW WITH NEW CENTER OPENING DRIVE-THRU WINDOW. JUSTIFY OPENING TO CASH TAKER SIDE AS NECESSARY.

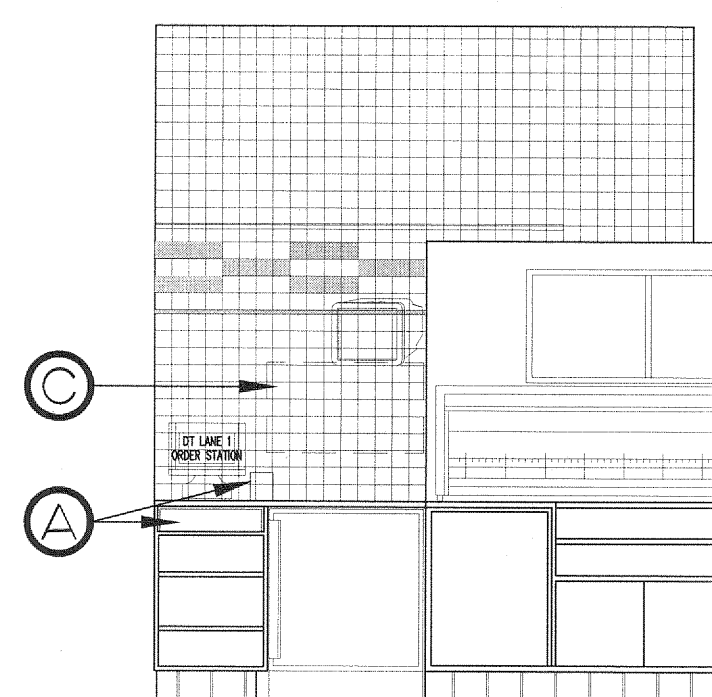
C - IF EXISTING CONDIMENT BIN UNIT IS THE OLD RAIL SYSTEM THEN IT IS TO BE REMOVED AND REPLACED WITH NEW 18X48 WALL HUNG SMART WALL CONDIMENT GRID SYSTEM. ENSURE THAT GRID IS MOUNTED HIGH ENOUGH TO ALLOW CASH REGISTERS TO BE PUSHED AGAINST WALL WHEN NOT IN USE.

D - EXISTING VIDEO MONITOR TO BE RELOCATED TO PASS-THRU SIDE OF DRIVE-THRU AREA. RELOCATE ELECTRICAL AND VIDEO CABLE AS NEEDED. NOTE IF EXISTING MONITOR HAS NOT BEEN UPGRADED TO FLAT SCREEN THEN EXISTING TO BE REMOVED AND NEW FLAT SCREEN TO BE PROVIDED.

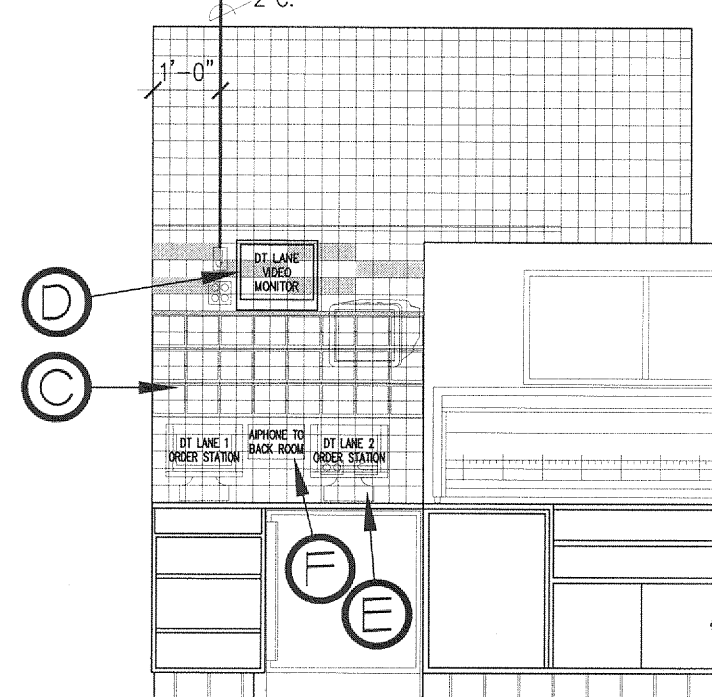
E - NEW POS REGISTER TO BE INSTALLED ON PASS-THRU SIDE OF DRIVE-THRU AREA. PROVIDE ELECTRICAL AND NETWORK CABLE AS REQUIRED.

F - AIRPHONE TO BE INSTALLED TO PROVIDE COMMUNICATION BETWEEN DRIVE-THRU AREA AND BACK-OF-HOUSE ORDER TAKING LOCATION.

G - TWO NEW POS MONITORS, ONE DRIVE-THRU VIDEO MONITOR, ONE POS ORDER MONITOR AND ASSOCIATED ELECTRICAL/NETWORK JACKS TO BE PROVIDED IN BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. NEW 2'X48" COUNTER TOP TO BE PROVIDED AND NEW BREAK CHAIRS TO BE PROVIDED AS NEEDED FOR BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. TWO NEW 30'X48" SUSPENDED SHELVES TO BE HUNG AT WIC. NOTE: A PRIMARY AND ALTERNATE LOCATION HAVE BEEN SHOWN. CFA PROJECT MANAGER AND CFA OPERATOR TO DETERMINE ACTUAL LOCATION FOR ORDER AREA. ANY EXISTING EQUIPMENT IN THAT AREA IS TO BE REMOVED OR RELOCATED AS NECESSARY.



Before Elevation - Pass-Thru Side of Drive-Thru



After Elevation - Pass-Thru Side of Drive-Thru

S97 PROTO - MULTI-LANE DRIVE-THRU SCOPE OF WORK
A - EXISTING CASH DRAWER AND RECEIPT PRINTER TO BE RELOCATED TO BEVERAGE TOWER SIDE OF DRIVE-THRU. HANG DRAWER UNDERNEATH COUNTER TOP UNLESS THIS SPACE IS OCCUPIED BY AN UNDER COUNTER REFRIGERATOR. IF THIS IS THE CASE THEN THE CASH DRAWER IS TO BE PLACED ON THE COUNTER TOP WITH THE CASH REGISTER PLACED ON TOP OF IT.

B - REPLACE EXISTING DRIVE-THRU WINDOW WITH NEW CENTER OPENING DRIVE-THRU WINDOW. JUSTIFY OPENING TO CASH TAKER SIDE AS NECESSARY.

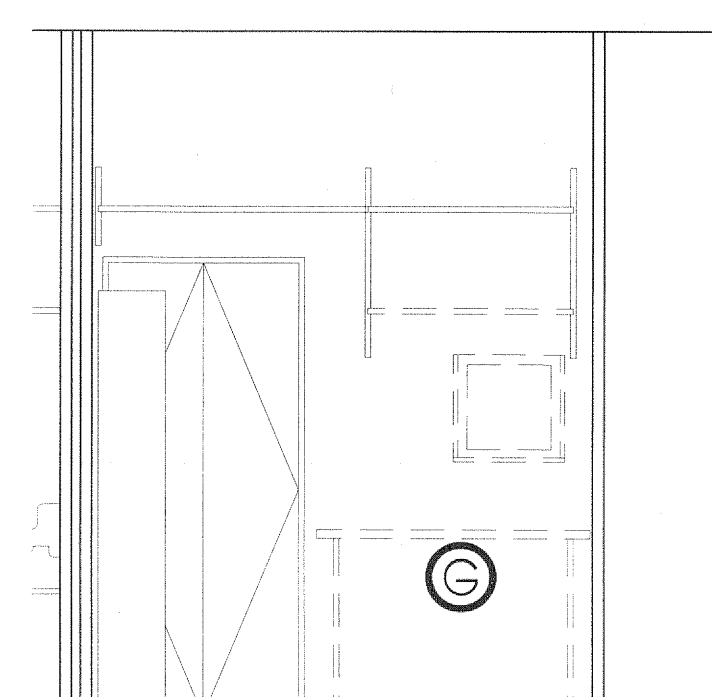
C - IF EXISTING CONDIMENT BIN UNIT IS THE OLD RAIL SYSTEM THEN IT IS TO BE REMOVED AND REPLACED WITH NEW 18X48 WALL HUNG SMART WALL CONDIMENT GRID SYSTEM. ENSURE THAT GRID IS MOUNTED HIGH ENOUGH TO ALLOW CASH REGISTERS TO BE PUSHED AGAINST WALL WHEN NOT IN USE.

D - EXISTING VIDEO MONITOR TO BE RELOCATED TO PASS-THRU SIDE OF DRIVE-THRU AREA. RELOCATE ELECTRICAL AND VIDEO CABLE AS NEEDED. NOTE IF EXISTING MONITOR HAS NOT BEEN UPGRADED TO FLAT SCREEN THEN EXISTING TO BE REMOVED AND NEW FLAT SCREEN TO BE PROVIDED.

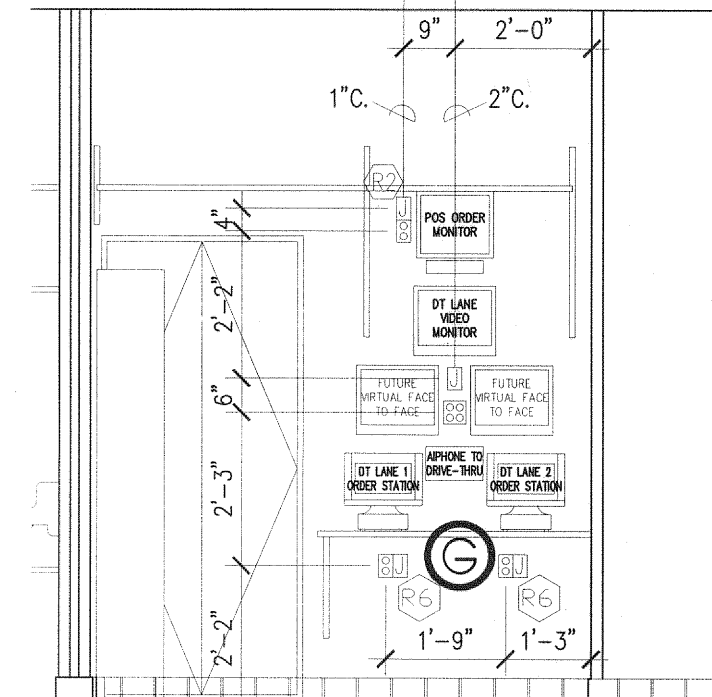
E - NEW POS REGISTER TO BE INSTALLED ON PASS-THRU SIDE OF DRIVE-THRU AREA. PROVIDE ELECTRICAL AND NETWORK CABLE AS REQUIRED.

F - AIRPHONE TO BE INSTALLED TO PROVIDE COMMUNICATION BETWEEN DRIVE-THRU AREA AND BACK-OF-HOUSE ORDER TAKING LOCATION.

G - TWO NEW POS MONITORS, ONE DRIVE-THRU VIDEO MONITOR, ONE POS ORDER MONITOR AND ASSOCIATED ELECTRICAL/NETWORK JACKS TO BE PROVIDED IN BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. NEW 2'X48" COUNTER TOP TO BE PROVIDED AND NEW BREAK CHAIRS TO BE PROVIDED AS NEEDED FOR BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. TWO NEW 30'X48" SUSPENDED SHELVES TO BE HUNG AT WIC. NOTE: A PRIMARY AND ALTERNATE LOCATION HAVE BEEN SHOWN. CFA PROJECT MANAGER AND CFA OPERATOR TO DETERMINE ACTUAL LOCATION FOR ORDER AREA. ANY EXISTING EQUIPMENT IN THAT AREA IS TO BE REMOVED OR RELOCATED AS NECESSARY.



Before Elev - Back-of-House Order Taker Area (Primary Location)



After Elev - Back-of-House Order Taker Area (Primary Location)

S97 PROTO - MULTI-LANE DRIVE-THRU SCOPE OF WORK
A - EXISTING CASH DRAWER AND RECEIPT PRINTER TO BE RELOCATED TO BEVERAGE TOWER SIDE OF DRIVE-THRU. HANG DRAWER UNDERNEATH COUNTER TOP UNLESS THIS SPACE IS OCCUPIED BY AN UNDER COUNTER REFRIGERATOR. IF THIS IS THE CASE THEN THE CASH DRAWER IS TO BE PLACED ON THE COUNTER TOP WITH THE CASH REGISTER PLACED ON TOP OF IT.

B - REPLACE EXISTING DRIVE-THRU WINDOW WITH NEW CENTER OPENING DRIVE-THRU WINDOW. JUSTIFY OPENING TO CASH TAKER SIDE AS NECESSARY.

C - IF EXISTING CONDIMENT BIN UNIT IS THE OLD RAIL SYSTEM THEN IT IS TO BE REMOVED AND REPLACED WITH NEW 18X48 WALL HUNG SMART WALL CONDIMENT GRID SYSTEM. ENSURE THAT GRID IS MOUNTED HIGH ENOUGH TO ALLOW CASH REGISTERS TO BE PUSHED AGAINST WALL WHEN NOT IN USE.

D - EXISTING VIDEO MONITOR TO BE RELOCATED TO PASS-THRU SIDE OF DRIVE-THRU AREA. RELOCATE ELECTRICAL AND VIDEO CABLE AS NEEDED. NOTE IF EXISTING MONITOR HAS NOT BEEN UPGRADED TO FLAT SCREEN THEN EXISTING TO BE REMOVED AND NEW FLAT SCREEN TO BE PROVIDED.

E - NEW POS REGISTER TO BE INSTALLED ON PASS-THRU SIDE OF DRIVE-THRU AREA. PROVIDE ELECTRICAL AND NETWORK CABLE AS REQUIRED.

F - AIRPHONE TO BE INSTALLED TO PROVIDE COMMUNICATION BETWEEN DRIVE-THRU AREA AND BACK-OF-HOUSE ORDER TAKING LOCATION.

G - TWO NEW POS MONITORS, ONE DRIVE-THRU VIDEO MONITOR, ONE POS ORDER MONITOR AND ASSOCIATED ELECTRICAL/NETWORK JACKS TO BE PROVIDED IN BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. NEW 2'X48" COUNTER TOP TO BE PROVIDED AND NEW BREAK CHAIRS TO BE PROVIDED AS NEEDED FOR BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. TWO NEW 30'X48" SUSPENDED SHELVES TO BE HUNG AT WIC. NOTE: A PRIMARY AND ALTERNATE LOCATION HAVE BEEN SHOWN. CFA PROJECT MANAGER AND CFA OPERATOR TO DETERMINE ACTUAL LOCATION FOR ORDER AREA. ANY EXISTING EQUIPMENT IN THAT AREA IS TO BE REMOVED OR RELOCATED AS NECESSARY.

Project Date: February 15, 2010

Series 97 Proto

5200 Buffington Road
Atlanta, Georgia 30349-2998
Telephone 404-765-8000

1 of 5

Sheet Title: Multi-Lane Drive-Thru Addition - Elevations

Project Date: February 15, 2010

Series 97 Proto

5200 Buffington Road
Atlanta, Georgia 30349-2998
Telephone 404-765-8000

2 of 5

Sheet Title: Multi-Lane Drive-Thru Addition - Elevations

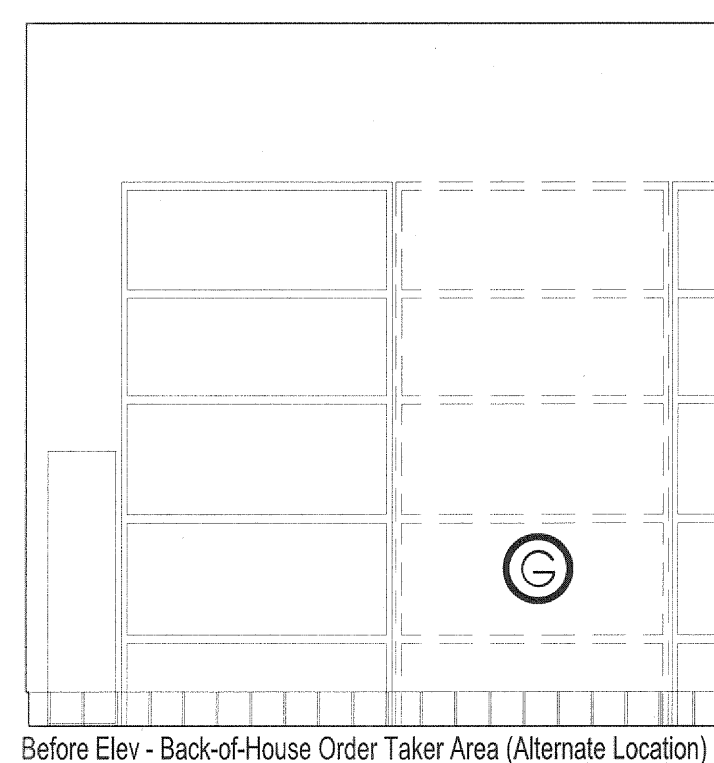
Project Date: February 15, 2010

Series 97 Proto

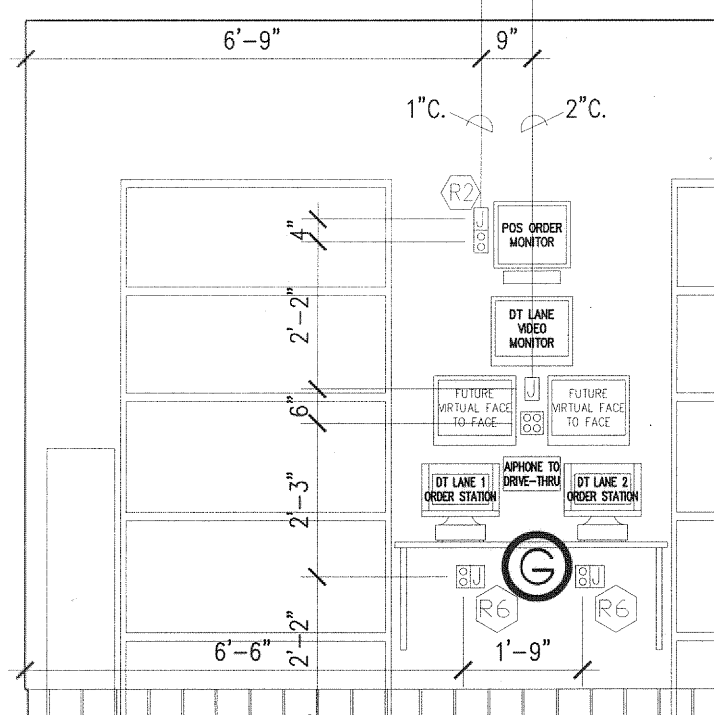
5200 Buffington Road
Atlanta, Georgia 30349-2998
Telephone 404-765-8000

3 of 5

Sheet Title: Multi-Lane Drive-Thru Addition - Elevations



Before Elev - Back-of-House Order Taker Area (Alternate Location)



After Elev - Back-of-House Order Taker Area (Alternate Location)

S97 PROTO - MULTI-LANE DRIVE-THRU SCOPE OF WORK
A - EXISTING CASH DRAWER AND RECEIPT PRINTER TO BE RELOCATED TO BEVERAGE TOWER SIDE OF DRIVE-THRU. HANG DRAWER UNDERNEATH COUNTER TOP UNLESS THIS SPACE IS OCCUPIED BY AN UNDER COUNTER REFRIGERATOR. IF THIS IS THE CASE THEN THE CASH DRAWER IS TO BE PLACED ON THE COUNTER TOP WITH THE CASH REGISTER PLACED ON TOP OF IT.

B - REPLACE EXISTING DRIVE-THRU WINDOW WITH NEW CENTER OPENING DRIVE-THRU WINDOW. JUSTIFY OPENING TO CASH TAKER SIDE AS NECESSARY.

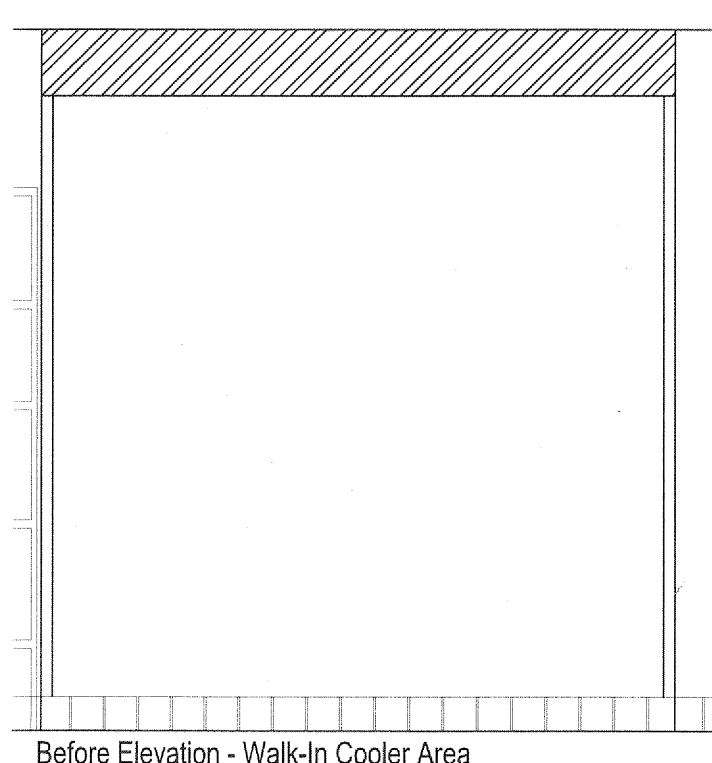
C - IF EXISTING CONDIMENT BIN UNIT IS THE OLD RAIL SYSTEM THEN IT IS TO BE REMOVED AND REPLACED WITH NEW 18X48 WALL HUNG SMART WALL CONDIMENT GRID SYSTEM. ENSURE THAT GRID IS MOUNTED HIGH ENOUGH TO ALLOW CASH REGISTERS TO BE PUSHED AGAINST WALL WHEN NOT IN USE.

D - EXISTING VIDEO MONITOR TO BE RELOCATED TO PASS-THRU SIDE OF DRIVE-THRU AREA. RELOCATE ELECTRICAL AND VIDEO CABLE AS NEEDED. NOTE IF EXISTING MONITOR HAS NOT BEEN UPGRADED TO FLAT SCREEN THEN EXISTING TO BE REMOVED AND NEW FLAT SCREEN TO BE PROVIDED.

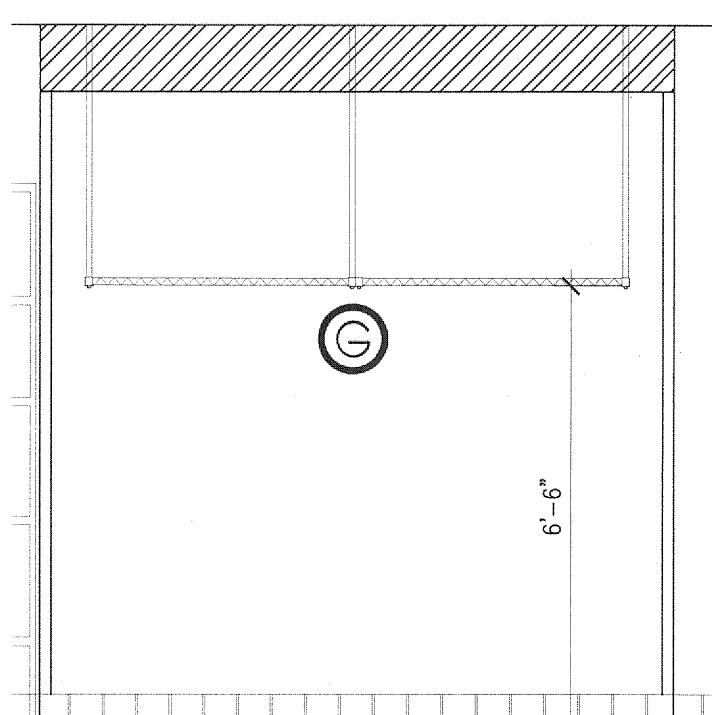
E - NEW POS REGISTER TO BE INSTALLED ON PASS-THRU SIDE OF DRIVE-THRU AREA. PROVIDE ELECTRICAL AND NETWORK CABLE AS REQUIRED.

F - AIRPHONE TO BE INSTALLED TO PROVIDE COMMUNICATION BETWEEN DRIVE-THRU AREA AND BACK-OF-HOUSE ORDER TAKING LOCATION.

G - TWO NEW POS MONITORS, ONE DRIVE-THRU VIDEO MONITOR, ONE POS ORDER MONITOR AND ASSOCIATED ELECTRICAL/NETWORK JACKS TO BE PROVIDED IN BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. NEW 2'X48" COUNTER TOP TO BE PROVIDED AND NEW BREAK CHAIRS TO BE PROVIDED AS NEEDED FOR BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. TWO NEW 30'X48" SUSPENDED SHELVES TO BE HUNG AT WIC. NOTE: A PRIMARY AND ALTERNATE LOCATION HAVE BEEN SHOWN. CFA PROJECT MANAGER AND CFA OPERATOR TO DETERMINE ACTUAL LOCATION FOR ORDER AREA. ANY EXISTING EQUIPMENT IN THAT AREA IS TO BE REMOVED OR RELOCATED AS NECESSARY.



Before Elevation - Walk-In Cooler Area



After Elevation - Walk-In Cooler Area

S97 PROTO - MULTI-LANE DRIVE-THRU SCOPE OF WORK
A - EXISTING CASH DRAWER AND RECEIPT PRINTER TO BE RELOCATED TO BEVERAGE TOWER SIDE OF DRIVE-THRU. HANG DRAWER UNDERNEATH COUNTER TOP UNLESS THIS SPACE IS OCCUPIED BY AN UNDER COUNTER REFRIGERATOR. IF THIS IS THE CASE THEN THE CASH DRAWER IS TO BE PLACED ON THE COUNTER TOP WITH THE CASH REGISTER PLACED ON TOP OF IT.

B - REPLACE EXISTING DRIVE-THRU WINDOW WITH NEW CENTER OPENING DRIVE-THRU WINDOW. JUSTIFY OPENING TO CASH TAKER SIDE AS NECESSARY.

C - IF EXISTING CONDIMENT BIN UNIT IS THE OLD RAIL SYSTEM THEN IT IS TO BE REMOVED AND REPLACED WITH NEW 18X48 WALL HUNG SMART WALL CONDIMENT GRID SYSTEM. ENSURE THAT GRID IS MOUNTED HIGH ENOUGH TO ALLOW CASH REGISTERS TO BE PUSHED AGAINST WALL WHEN NOT IN USE.

D - EXISTING VIDEO MONITOR TO BE RELOCATED TO PASS-THRU SIDE OF DRIVE-THRU AREA. RELOCATE ELECTRICAL AND VIDEO CABLE AS NEEDED. NOTE IF EXISTING MONITOR HAS NOT BEEN UPGRADED TO FLAT SCREEN THEN EXISTING TO BE REMOVED AND NEW FLAT SCREEN TO BE PROVIDED.

E - NEW POS REGISTER TO BE INSTALLED ON PASS-THRU SIDE OF DRIVE-THRU AREA. PROVIDE ELECTRICAL AND NETWORK CABLE AS REQUIRED.

F - AIRPHONE TO BE INSTALLED TO PROVIDE COMMUNICATION BETWEEN DRIVE-THRU AREA AND BACK-OF-HOUSE ORDER TAKING LOCATION.

G - TWO NEW POS MONITORS, ONE DRIVE-THRU VIDEO MONITOR, ONE POS ORDER MONITOR AND ASSOCIATED ELECTRICAL/NETWORK JACKS TO BE PROVIDED IN BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. NEW 2'X48" COUNTER TOP TO BE PROVIDED AND NEW BREAK CHAIRS TO BE PROVIDED AS NEEDED FOR BACK-OF-HOUSE DRIVE-THRU ORDER TAKER AREA. TWO NEW 30'X48" SUSPENDED SHELVES TO BE HUNG AT WIC. NOTE: A PRIMARY AND ALTERNATE LOCATION HAVE BEEN SHOWN. CFA PROJECT MANAGER AND CFA OPERATOR TO DETERMINE ACTUAL LOCATION FOR ORDER AREA. ANY EXISTING EQUIPMENT IN THAT AREA IS TO BE REMOVED OR RELOCATED AS NECESSARY.

Project Date: February 15, 2010

Series 97 Proto

5200 Buffington Road
Atlanta, Georgia 30349-2998
Telephone 404-765-8000

4 of 5

Sheet Title: Multi-Lane Drive-Thru Addition - Elevations

Project Date: February 15, 2010

Series 97 Proto

5200 Buffington Road
Atlanta, Georgia 30349-2998
Telephone 404-765-8000

5 of 5

Sheet Title: Multi-Lane Drive-Thru Addition - Elevations

AS-BUILT
DATE: 05-24-13

B BURGER
ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		

Mark	Date	By
△		

Mark	Date	By
△		

BRYAN M. BURGER
90688
Professional Engineer
Exp. 08/31/2015

2835 RIDGE ROAD
LOT 8, BLOCK A
STEGER TOWNE CROSSING, PHASE 1
THE CITY OF ROCKWALL, TEXAS

STORE
SERIES
CUSTOM

SHEET TITLE
SITE
DETAILS

☒ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 013-068
Store : 01242
Date : 2/13
Drawn By : JAC
Checked By: BMB

Sheet
C-9