

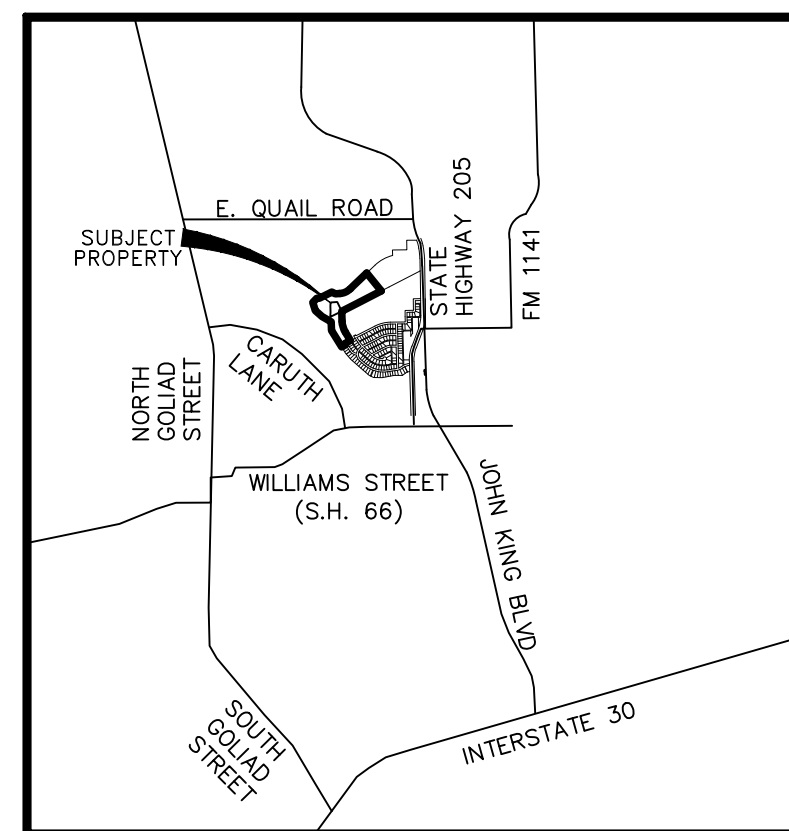
GENERAL CONSTRUCTION

- ALL CONSTRUCTION ON THIS PROJECT SHALL MEET THE REQUIREMENTS OF NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" THIRD EDITION AND ALL MODIFICATIONS OR ADDITIONAL REQUIREMENTS OF THE CITY OF ROCKWALL "STANDARDS FOR DESIGN AND CONSTRUCTION" LATEST EDITION. ANY DETAIL NOT SPECIFICALLY PROVIDED IN OR OTHERWISE REFERENCED IN THESE PLANS IS TO BE TAKEN FROM THE NCTCOG AND ROCKWALL STANDARDS.
- CONTRACTOR SHALL CONTACT STATE NOTIFICATION CENTERS AT THE NUMBERS BELOW, FOR UTILITY LOCATE REQUEST(S), AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION. ONE-CALL SYSTEM OF TEXAS: 1-800-345-6000 DIO TESS: 1-800-344-8377 LONE STAR NOTIFICATION: 1-800-669-8344 TEXAS ONE-CALL: 1-800-243-4545. CONTRACTOR SHALL ALSO CONTACT THE LOCAL PUBLIC WORKS DEPARTMENT, FOR UTILITY LOCATE REQUEST(S), AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION.
- EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR IS HEREBY NOTIFIED THAT ALL EXISTING BURIED UTILITIES MAY OR MAY NOT BE SHOWN AND THAT THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND REPAIRING ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.
- PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL PREPARE, OR OBTAIN A COPY OF, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA) REQUIREMENTS, FILE A NOTICE OF INTENT (NOI), APPLICATION, AND FEE TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). CONTRACTOR SHALL MAINTAIN THE SWPPP NOTEBOOK AND WEEKLY REPORTS ON-SITE AT ALL TIMES IN COMPLIANCE WITH USEPA AND TCEQ REQUIREMENTS. MAINTENANCE OF EROSION CONTROL MEASURES AND REQUIRED REPORTING SHALL BE CONTINUOUS THROUGHOUT CONSTRUCTION. PREPARATION OF THE SWPPP AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHALL BE SUBSIDIARY TO THE OVERALL PROJECT COST UNLESS PROVIDED FOR OTHERWISE.
- CONTRACTOR SHALL SEED AND FERTILIZE ALL AREAS DISTURBED BY CONSTRUCTION IN ORDER TO ESTABLISH PERMANENT VEGETATION IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE TECHNICAL SPECIFICATIONS. CONTRACTOR SHALL RESTORE CONSTRUCTION LIMITS TO ORIGINAL OR BETTER CONDITION TO ENSURE PROPER DRAINAGE.
- CONTRACTOR SHALL INCORPORATE THE USE OF A TRENCH BOX OR OTHER ACCEPTABLE SAFETY SYSTEM IN ANY TRENCH THAT EXCEEDS FIVE (5) FEET IN DEPTH. THE BOX OR SAFETY SYSTEM SHALL MEET ALL OSHA REQUIREMENTS.
- CONTRACTOR SHALL USE CARE WHEN WORKING ON PRIVATE PROPERTY TO NOT DAMAGE GRASS, TREES, SHRUBS, ETC. OUTSIDE THE IMMEDIATE WORKING AREA OF THE PROPOSED PIPE INSTALLATION. ALL ITEMS DAMAGED OR REMOVED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION PROCEDURES SHALL BE REPLACED AND ALL COSTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL IMPROVED ROADWAYS/DRIVEWAYS SURFACED WITH GRAVEL, OILED SAND OR CRUSHED STONE THAT ARE DAMAGED SHALL BE REPAIRED WITH LIKE MATERIALS. AS A MINIMUM, THE REPAIRED SECTION SHALL CONTAIN AT LEAST 6" OF COMPACTED LIKE MATERIAL.
- CONTRACTOR ON JOB SITE MUST HAVE A COPY OF ALL TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) CONSTRUCTION PERMIT(S), WHEN APPLICABLE, AND BE FULLY AWARE OF THE REQUIREMENTS CONTAINED THEREIN WHEN WORKING WITHIN STATE HIGHWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, LIGHTS, BARRICADES, SIGNAGE, ETC. AND PROTECT OPEN TRENCHES IN ACCORDANCE WITH TxDOT'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST REVISION.
- OPERATIONS ALONG HIGHWAYS OR PUBLIC STREETS SHALL BE PERFORMED IN SUCH A MANNER THAT ALL EXCAVATED MATERIALS BE KEPT OFF THE PAVEMENT AT ALL TIMES, AS WELL AS ALL OPERATING EQUIPMENT.
- ALL BORING PITS SHALL BE CLOSED THE SAME DAY THEY ARE OPENED IF AT ALL POSSIBLE. ANY PIT LEFT OPEN OVERNIGHT SHALL BE PROPERLY BARRICADED IN ACCORDANCE WITH TxDOT GUIDELINES AND OSHA.
- CONTRACTOR SHALL SAWCUT ALL PAVEMENT SURFACES ENCOUNTERED, WITH THE EXCEPTION OF THOSE LOCATED WITHIN TxDOT RIGHT-OF-WAY, UNLESS SHOWN OTHERWISE. CONTRACTOR SHALL ONLY REMOVE THAT PORTION OF PAVED AREA REQUIRED TO INSTALL THE PROPOSED IMPROVEMENTS. CUTTING, REMOVAL, DISPOSAL, REPAIR, AND REPLACEMENT SHALL BE CONSIDERED SUBSIDIARY TO OVERALL PROJECT COST UNLESS PROVIDED FOR OTHERWISE. PAVED SURFACES WITHIN TxDOT RIGHT-OF-WAY SHALL BE BORED UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- CONTRACTOR SHALL BORE (WITHOUT CASING PIPE) ALL IMPROVED DRIVEWAYS, STREETS, AND PARKING AREAS UNLESS SHOWN OTHERWISE.
- WHERE OPEN TRENCH OPERATIONS CAUSE TRAFFIC FLOW PROBLEMS, THE CONTRACTOR SHALL NOTIFY ALL AREA BUSINESS AND RESIDENTIAL PROPERTY OWNERS AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDED ACCESS ACROSS TRENCH(ES) TO ALL BUSINESS AND RESIDENTIAL PROPERTIES AT ALL TIMES.
- TRENCH BACKFILL SHALL BE INSTALLED WITH MECHANICAL TAMP FOR FULL DEPTH OF THE TRENCH WHEN WORKING IN PAVEMENT SECTIONS. CONTRACTOR SHALL COMPACT BACKFILL IN MAXIMUM 6" LIFTS.
- ANY AND ALL DRIVEWAYS DAMAGED DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED IMMEDIATELY.
- DURING CONSTRUCTION ALL EXISTING UTILITIES (MAINS, LATERALS, AND SERVICE CONNECTIONS) ARE TO REMAIN IN SERVICE. IF THERE IS A CONFLICT BETWEEN THE GRADES OF EXISTING AND PROPOSED IMPROVEMENTS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE CONFLICT.
- CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF LANDSCAPE SPRINKLER SYSTEMS. ALL SPRINKLER SYSTEMS DAMAGED DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SPRINKLER SYSTEMS FOUND TO BE IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE ADEQUATELY CAPPED AND REPAIRED UPON COMPLETION OF CONSTRUCTION. THIS REPAIR SHALL BE CONSIDERED SUBSIDIARY TO THE OVERALL PROJECT COST UNLESS PROVIDED FOR OTHERWISE.
- NO ADDITIONS OR DELETIONS TO THE CONSTRUCTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER, ENGINEER, AND CITY. ANY CHANGES MADE WITHOUT APPROVAL MAY RESULT IN NON-PAYMENT FOR THE MATERIALS AND LABOR ASSOCIATED WITH THE ADDED OR DELETED WORK.

AS-BUILT PLANS SITE IMPROVEMENT

~CARUTH LAKES, PH. 8B, AMENITY CENTER~

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



LOCATION MAP
NOT TO SCALE

SHEET INDEX

RFP	RECORDED FINAL PLAT
SP1	SITE PLAN
L1	UTILITY PLAN
L2	LAYOUT AND PAVING PLAN
L3	GRADING AND DRAINAGE PLAN
L4	SITE DETAILS

LANDSCAPE NOTES:

- A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF ROCKWALL.
- TREES MUST BE PLANTED FIVE FEET (5') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF ROCKWALL HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITH IN A 24-HOUR PERIOD, THE CONTRACTOR SHALL PROVIDE BERMING, OR DEVICE DRAINAGE PRACTICES, AND CONTACT THE CITY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
- THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURLAP TWINE AND WIRE BASKETS SHALL BE LOOSENEED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
- A 3'-4" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 1-2" FROM THE TRUNK OF THE TREE.
- NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKSHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
- TOPSOIL SHALL BE A MINIMUM OF 3 INCHES IN DEPTH IN PLANTING AREAS. SOIL SHALL BE FREE OF STONES, ROOTS, AND CLODS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 9 FEET.
- TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF ROCKWALL.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT CITY OF ROCKWALL'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF ROCKWALL'S PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

OWNER: D.R. HORTON-TEXAS, LTD.
4306 MILLER ROAD
SUITE A
ROWLETT, TEXAS 75088
PH. (214) 607-4244
CONTACT: DAVID BOOTH

**SURVEYOR/
ENGINEER:** JBI PARTNERS, INC.
16301 QUORUM DRIVE
SUITE 200 B
ADDISON, TEXAS 75001
PH. (972) 738-0243
CONTACT: DANIEL DEWEY

**LANDSCAPE
ARCHITECT:** STUDIO 13 DESIGN GROUP, PLLC.
519 BENNETT LANE
SUITE 203
LEWISVILLE, TEXAS 75057
PH. (469) 635-1900
CONTACT: LEONARD W. REEVES, ASLA, RLA, LI

RECORD DRAWINGS (JANUARY 19, 2017)
NOTE: THE INTENT OF THE OWNER AND LANDSCAPE ARCHITECT WAS TO CONSTRUCT THE IMPROVEMENTS ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF ROCKWALL. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED ON THE PLANS. THE INFORMATION PROVIDED IS BASED ON SURVEYING OF THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

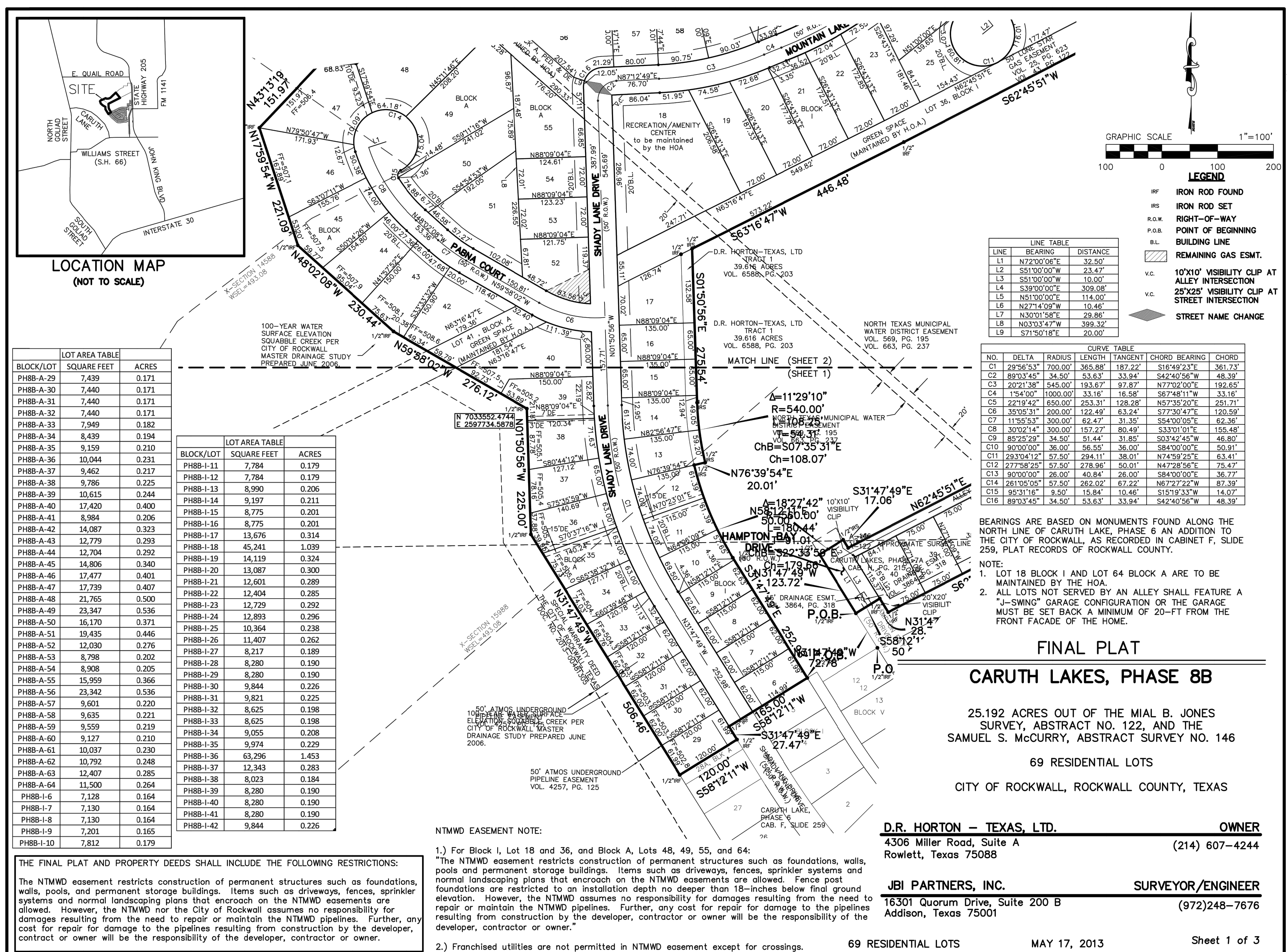
As-Built Plan 1-19-2017



Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #B643

AS-BUILT PLANS



BLOCK/LOT	SQUARE FEET	ACRES
PH8B-A-29	7,439	0.171
PH8B-A-30	7,440	0.171
PH8B-A-31	7,440	0.171
PH8B-A-32	7,440	0.171
PH8B-A-33	7,949	0.182
PH8B-A-34	8,439	0.194
PH8B-A-35	9,159	0.210
PH8B-A-36	10,044	0.231
PH8B-A-37	9,462	0.217
PH8B-A-38	9,786	0.225
PH8B-A-39	10,615	0.244
PH8B-A-40	17,420	0.400
PH8B-A-41	8,984	0.206
PH8B-A-42	14,087	0.323
PH8B-A-43	12,779	0.293
PH8B-A-44	12,704	0.292
PH8B-A-45	14,806	0.340
PH8B-A-46	17,477	0.401
PH8B-A-47	17,739	0.407
PH8B-A-48	21,765	0.500
PH8B-A-49	23,347	0.536
PH8B-A-50	16,170	0.371
PH8B-A-51	19,435	0.446
PH8B-A-52	12,030	0.276
PH8B-A-53	8,798	0.202
PH8B-A-54	8,908	0.205
PH8B-A-55	15,959	0.366
PH8B-A-56	23,342	0.536
PH8B-A-57	9,601	0.220
PH8B-A-58	9,635	0.221
PH8B-A-59	9,559	0.219
PH8B-A-60	9,127	0.210
PH8B-A-61	10,037	0.230
PH8B-A-62	10,792	0.248
PH8B-A-63	12,407	0.285
PH8B-A-64	11,500	0.264
PH8B-I-6	7,128	0.164
PH8B-I-7	7,130	0.164
PH8B-I-8	7,130	0.164
PH8B-I-9	7,201	0.165
PH8B-I-10	7,812	0.179

BLOCK/LOT	SQUARE FEET	ACRES
PH8B-I-11	7,784	0.179
PH8B-I-12	7,784	0.179
PH8B-I-13	8,990	0.206
PH8B-I-14	9,197	0.211
PH8B-I-15	8,775	0.201
PH8B-I-16	8,775	0.201
PH8B-I-17	13,676	0.314
PH8B-I-18	45,241	1.039
PH8B-I-19	14,119	0.324
PH8B-I-20	13,087	0.300
PH8B-I-21	12,601	0.289
PH8B-I-22	12,404	0.285
PH8B-I-23	12,729	0.292
PH8B-I-24	12,893	0.296
PH8B-I-25	10,364	0.238
PH8B-I-26	11,407	0.262
PH8B-I-27	8,217	0.189
PH8B-I-28	8,280	0.190
PH8B-I-29	8,280	0.190
PH8B-I-30	9,844	0.226
PH8B-I-31	9,821	0.225
PH8B-I-32	8,625	0.198
PH8B-I-33	8,625	0.198
PH8B-I-34	9,055	0.208
PH8B-I-35	9,974	0.229
PH8B-I-36	63,296	1.453
PH8B-I-37	12,343	0.283
PH8B-I-38	8,023	0.184
PH8B-I-39	8,280	0.190
PH8B-I-40	8,280	0.190
PH8B-I-41	8,280	0.190
PH8B-I-42	9,844	0.226

THE FINAL PLAT AND PROPERTY DEEDS SHALL INCLUDE THE FOLLOWING RESTRICTIONS:

The NTMWD easement restricts construction of permanent structures such as foundations, walls, pools, and permanent storage buildings. Items such as driveways, fences, sprinkler systems and normal landscaping plans that encroach on the NTMWD easements are allowed. However, the NTMWD nor the City of Rockwall assumes no responsibility for damages resulting from the need to repair or maintain the NTMWD pipelines. Further, any cost for repair for damage to the pipelines resulting from construction by the developer, contractor or owner will be the responsibility of the developer, contractor or owner.

- NTMWD EASEMENT NOTE:
- For Block I, Lot 18 and 36, and Block A, Lots 48, 49, 55, and 64: "The NTMWD easement restricts construction of permanent structures such as foundations, walls, pools and permanent storage buildings. Items such as driveways, fences, sprinkler systems and normal landscaping plans that encroach on the NTMWD easements are allowed. Fence post foundations are restricted to an installation depth no deeper than 18-inches below final ground elevation. However, the NTMWD assumes no responsibility for damages resulting from the need to repair or maintain the NTMWD pipelines. Further, any cost for repair for damage to the pipelines resulting from construction by the developer, contractor or owner will be the responsibility of the developer, contractor or owner."
 - Franchised utilities are not permitted in NTMWD easement except for crossings.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N72°00'06"E	32.50'
L2	S51°00'00"W	23.47'
L3	S51°00'00"W	10.00'
L4	S39°00'00"E	309.08'
L5	N51°00'00"E	114.00'
L6	N27°14'09"W	10.46'
L7	N30°11'58"E	29.86'
L8	N03°03'47"W	399.32'
L9	S71°50'18"E	20.00'

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	29°56'53"	700.00'	365.88'	187.22'	S16°49'23"E	361.73'
C2	89°03'45"	34.50'	53.63'	33.94'	S42°40'56"W	48.39'
C3	20°21'38"	545.00'	193.67'	97.87'	N77°02'00"E	192.65'
C4	1°54'00"	1000.00'	33.16'	16.98'	S87°48'11"W	33.16'
C5	22°18'42"	650.00'	253.31'	128.28'	N57°35'20"E	251.71'
C6	35°05'31"	200.00'	122.49'	63.24'	S77°30'47"E	120.59'
C7	11°58'53"	300.00'	62.47'	31.35'	S54°00'05"E	62.36'
C8	30°02'14"	300.00'	157.27'	80.49'	S33°01'01"E	155.48'
C9	85°25'29"	34.50'	51.44'	31.85'	S03°42'45"W	46.80'
C10	90°00'00"	36.00'	56.55'	36.00'	S84°00'00"E	50.91'
C11	29°30'41"	57.50'	294.11'	36.01'	N74°59'25"E	63.41'
C12	27°58'25"	57.50'	278.96'	50.01'	N47°28'58"E	75.47'
C13	90°00'00"	26.00'	40.84'	26.00'	S84°00'00"E	36.77'
C14	261°05'05"	57.50'	262.02'	67.22'	N67°27'22"W	87.39'
C15	95°31'16"	9.50'	15.84'	10.46'	S15°19'33"W	14.07'
C16	89°03'45"	34.50'	53.63'	33.94'	S42°40'56"W	48.39'

BEARINGS ARE BASED ON MONUMENTS FOUND ALONG THE NORTH LINE OF CARUTH LAKE, PHASE 6 AN ADDITION TO THE CITY OF ROCKWALL, AS RECORDED IN CABINET F, SLIDE 259, PLAT RECORDS OF ROCKWALL COUNTY.

NOTE:

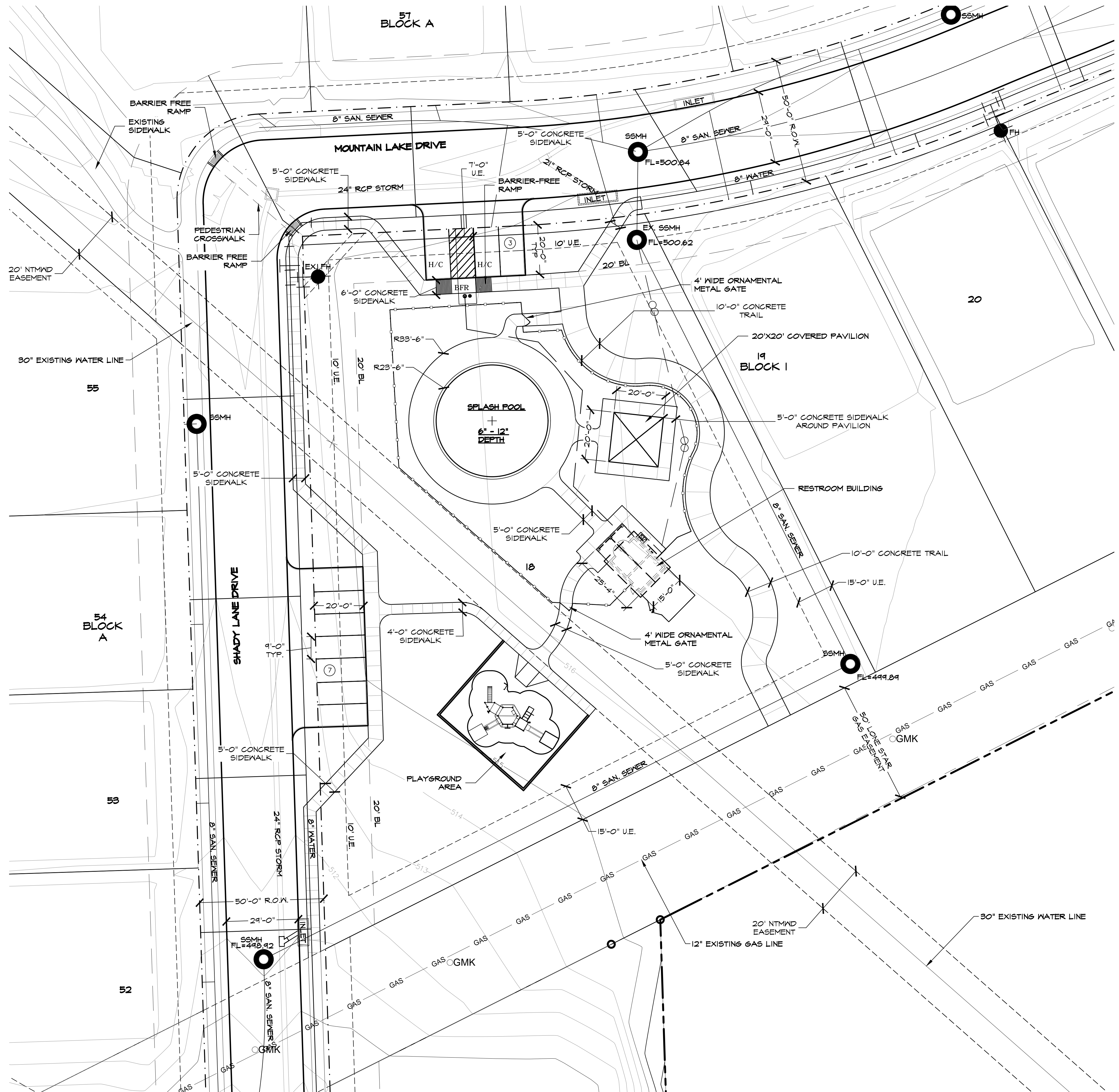
- LOT 18 BLOCK I AND LOT 64 BLOCK A ARE TO BE MAINTAINED BY THE HOA.
- ALL LOTS NOT SERVED BY AN ALLEY SHALL FEATURE A "J-SWING" GARAGE CONFIGURATION OR THE GARAGE MUST BE SET BACK A MINIMUM OF 20-FT FROM THE FRONT FACADE OF THE HOME.

FINAL PLAT
CARUTH LAKES, PHASE 8B
 25.192 ACRES OUT OF THE MIAL B. JONES SURVEY, ABSTRACT NO. 122, AND THE SAMUEL S. McCURRY, ABSTRACT SURVEY NO. 146
 69 RESIDENTIAL LOTS
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

D.R. HORTON - TEXAS, LTD. OWNER
 4306 Miller Road, Suite A (214) 607-4244
 Rowlett, Texas 75088

JBI PARTNERS, INC. SURVEYOR/ENGINEER
 16301 Quorum Drive, Suite 200 B (972)248-7676
 Addison, Texas 75001

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BLOCK H, LOT 12 SITE INFORMATION
 ZONING: PD 05
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 45,241 S.F. OR 1.039 ACRES
 BUILDING AREA: 380 SF
 PAVILION AREA: 400 SF
 PARKING REQUIRED: 5 (PER DEVELOPERS AGREEMENT)
 PARKING PROVIDED: 10 TOTAL, (w/ 1 HANDICAP)

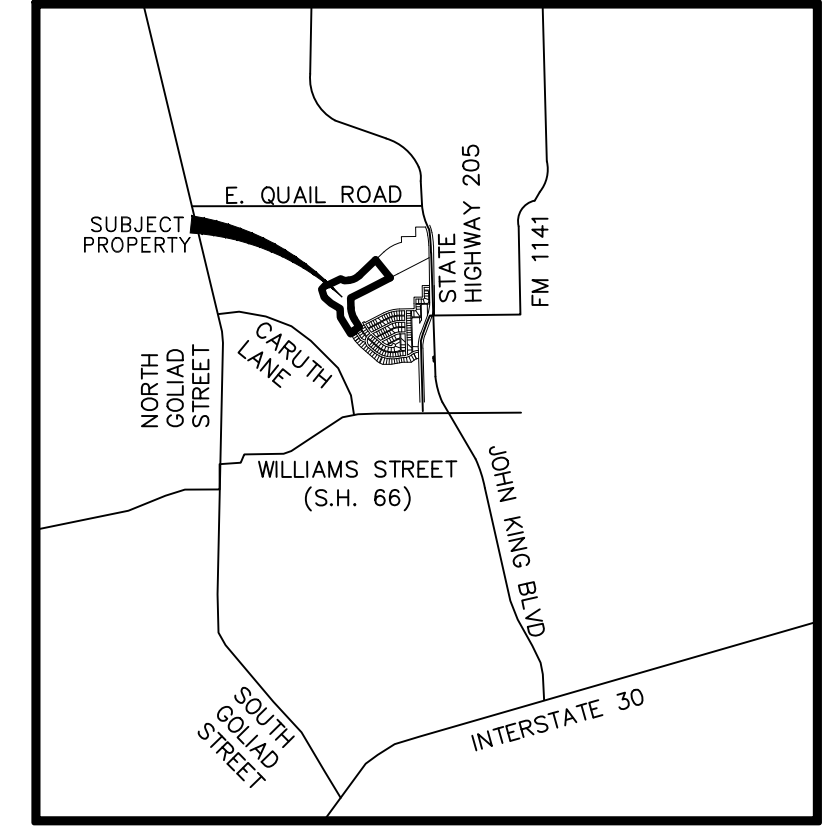
WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
1	1"	1"	X		6"
2	1"	1"		X	

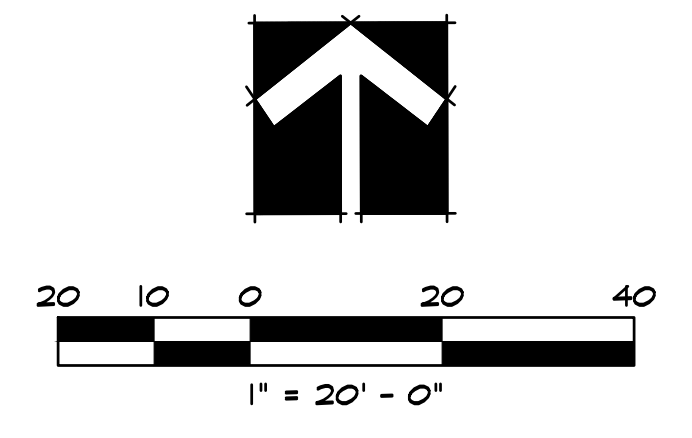
- SITE NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - NO PROTECTED TREES EXIST ON DEVELOPMENT SITE.
 - STRUCTURE IS A NON AIR CONDITIONED SPACE, NO HVAC EQUIPMENT WILL BE LOCATED ON SITE.
 - MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF ROCKWALL CODE OF ORDINANCES.
 - ALL POOL EQUIPMENT AND TRASH CAN TOTES SHALL BE SCREENED WITH A 6'-0" HT. WOODEN FENCE. A 8'-0" WIDE DOUBLE DOOR GATE SHALL ALLOW ACCESS TO EQUIPMENT.
 - FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE CONSTRUCTION DETAILS.

LEGEND

- (7) PROPOSED PARKING COUNT
- BFR BARRIER FREE RAMP
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN W VALVE
- EXISTING SANITARY SEWER
- EXISTING STORM
- RIGHT-OF-WAY
- BARRIER FREE RAMP
- ⊗ PROPOSED DOMESTIC WATER METER
- PROPOSED IRRIGATION METER
- ⊗ PROPOSED DETECTOR CHECK VAULT
- PROPOSED CURB INLET
- FF FINISHED FLOOR ELEVATION



LOCATION MAP
NOT TO SCALE



AS-BUILT SITE PLAN
CARUTH LAKES, PHASE 8B
 1.039 ACRES OF THE 25.192 ACRES OUT OF THE MIAL B. JONES SURVEY, ABSTRACT NO. 122, AND THE SAMUEL S. McCURRY, ABSTRACT SURVEY NO. 146
 1 RECREATION / AMENITY CENTER LOT
 MAINTAINED BY THE HOA
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

D.R. HORTON — TEXAS, LTD. OWNER
 4306 Miller Road, Suite A Rowlett, Texas 75088 (214) 607-4244

JBI PARTNERS, INC. SURVEYOR/ENGINEER
 16301 Quorum Drive, Suite 200 B Addison, Texas 75001 (972)248-7676

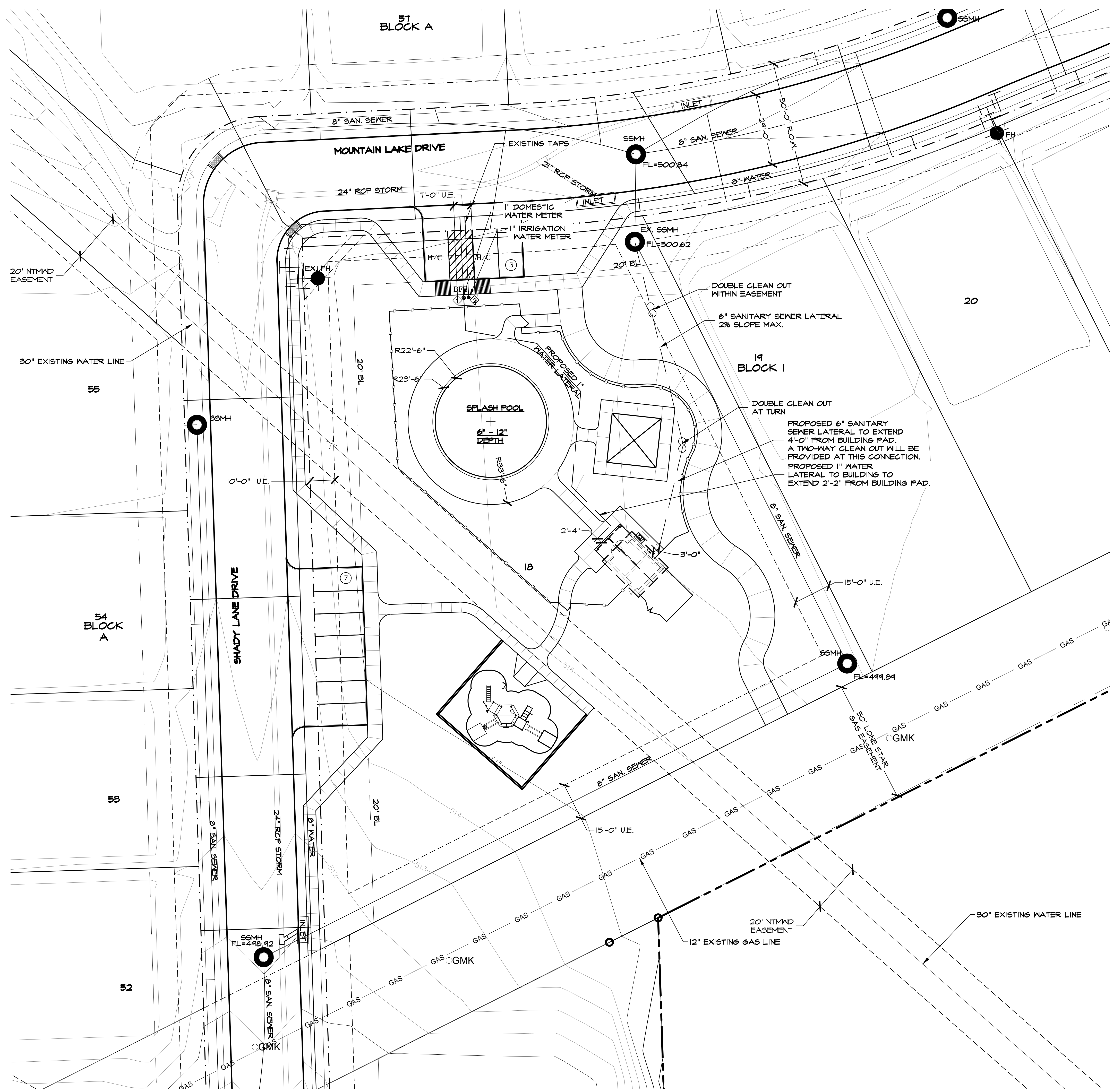
STUDIO13 DESIGN GROUP LANDSCAPE ARCHITECT
 386 W. Main Street Lewisville, Texas 75057 (469) 635-1900



RECORD DRAWINGS (JANUARY 19, 2017)
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LEGEND

- ⑦ PROPOSED PARKING COUNT
- BFR BARRIER FREE RAMP
- EXISTING FIRE HYDRANT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN W/ VALVE
- EXISTING SANITARY SEWER
- EXISTING STORM
- RIGHT-OF-WAY
- ▨ BARRIER FREE RAMP
- ⊗ PROPOSED DOMESTIC WATER METER
- PROPOSED IRRIGATION METER
- ⊠ PROPOSED DETECTOR CHECK VAULT
- PROPOSED CURB INLET
- FF FINISHED FLOOR ELEVATION

- UTILITY NOTES**
- SANITARY SEWER LATERALS ARE SHOWN ON PLAN TO BE LOCATED WITHIN 5'-0" FROM THE BUILDING PAD. MEP PLANS WILL BE PROVIDED IN A SEPARATE SUBMITTAL THAT SHOWS THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A TWO-WAY CLEAN OUT WILL BE PROVIDED AT THIS CONNECTION.
 - WATER LATERAL LINES ARE SHOWN ON PLAN TO BE LOCATED 5'-0" INTO THE BUILDING PAD. MEP PLANS WILL BE PROVIDED IN A SEPARATE SUBMITTAL THAT SHOWS THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A CUT-OFF DRAIN VALVE WILL BE PROVIDED INSIDE A WATER CUT-OFF BOX WITH A LOCKABLE COVER AT THIS CONNECTION. ENSURE EXISTING WATER VALVES ARE NOT UNDER PROPOSED CURB OR BARRIER-FREE RAMP.
 - INSTALL TESTABLE BACKFLOW WITH DOUBLE CHECK ON ALL METERS.

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER		SAN. SERVICE SIZE
			DOM.	IRR.	
1	1"	1"	X		6"
2	1"	1"	X		6"

STUDIO 13 DESIGN GROUP
 Studio 13 Design Group, PLLC.
 386 W. Main Street
 Lewisville, Texas 75057
 469-635-1900
 TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT
 ESTABLISHED W. PREVIOUS
 STATE OF TEXAS
 1977
 January 19, 2017

NORTH

20 10 0 10 20
 1" = 20' - 0"
 Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
 One Inch

AMENITY CENTER PLAN
 UTILITY PLAN
 Caruth Lakes, Ph. 8B Amenity Center
 City of Rockwall, Rockwall County, Texas

#	DATE	BY	PLAN REVIEW REVISIONS
1	04/21/2015	AEW	Redlines per City Comments
2	06/29/2015	AEW	Redlines per City Comments
3	09/14/2015	LWR	Issued for Construction (PerCom 8-14-2015)

PROJECT
HOR004

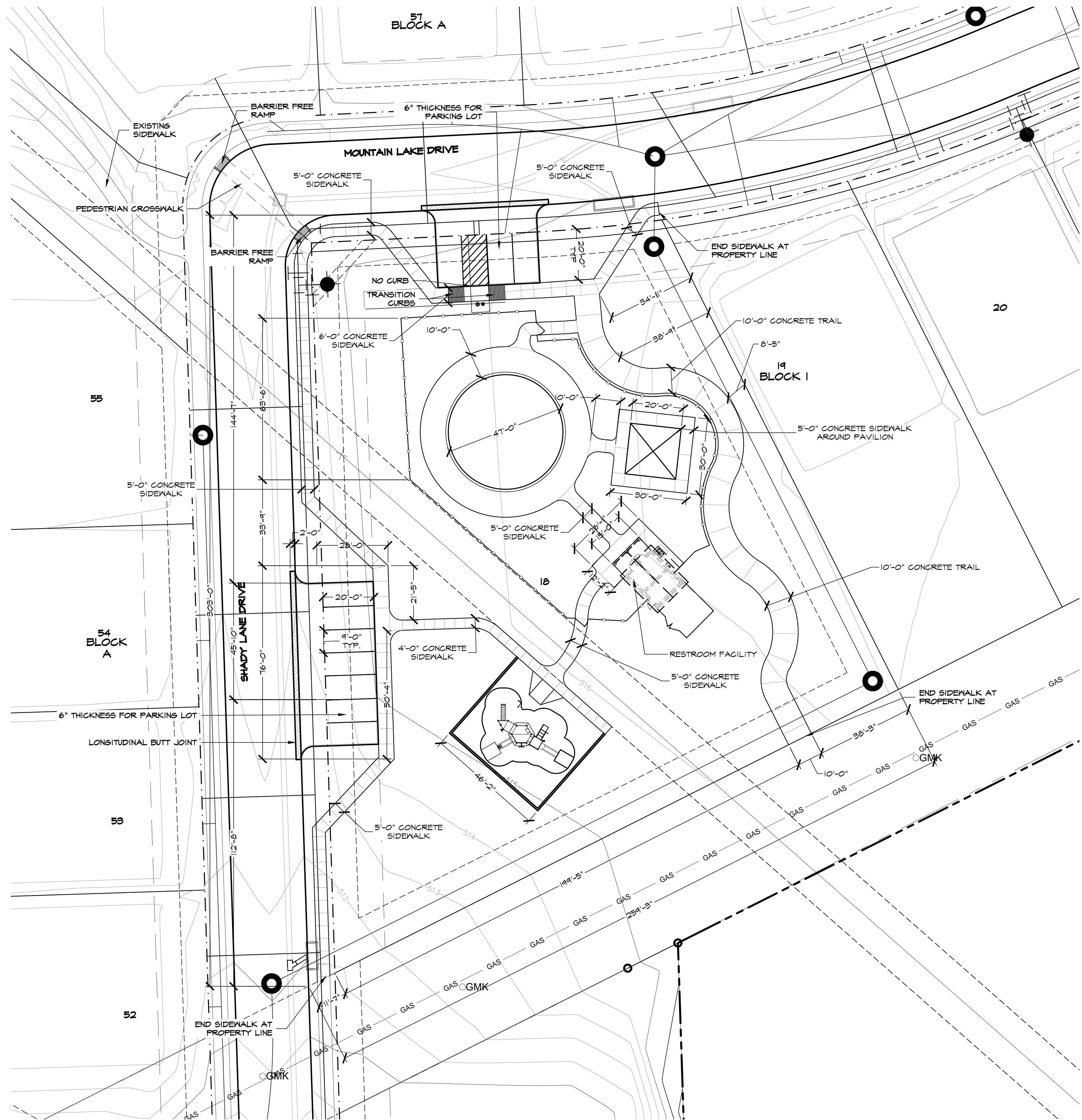
SHEET
L1

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AS-BUILT PLANS

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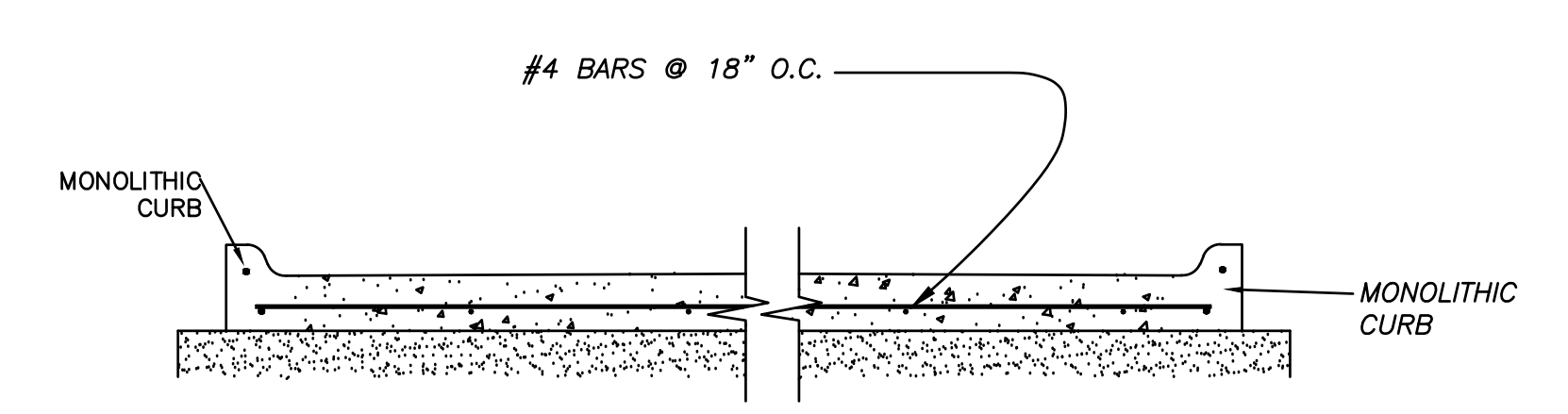


LEGEND

7	PROPOSED PARKING COUNT
BFR	BARRIER FREE RAMP
●	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
—	EXISTING WATER MAIN W/ VALVE
—	EXISTING SANITARY SEWER
—	EXISTING STORM
—	RIGHT-OF-WAY
■	BARRIER FREE RAMP
⊗	PROPOSED DOMESTIC WATER METER
●	PROPOSED IRRIGATION METER
⊠	PROPOSED DETECTOR CHECK VAULT
□	PROPOSED CURB INLET
FF	FINISHED FLOOR ELEVATION

NOTES:

- ALL PAVEMENT, WHICH INCLUDES PAVEMENT IN THE CITY R.O.W. AND ON THE PRIVATE LOT, SHALL BE 6" CLASS "P1" 3,600 PSI REINFORCED CONCRETE PAVEMENT, WITH MIN. 6.5-SACK MIX, 6" DEPTH LIME STABILIZED SUBGRADE, ON COMPACTED SUBGRADE TO BE COMPACTED TO NO LESS THAN NINETY-FIVE PERCENT (95%) OF STANDARD PROCTOR (ASTM D 698) DENSITY AT ZERO PERCENT (0%) TO FOUR PERCENT (4%) ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED UNDER PAVING.
- REINFORCEMENT SHALL BE W/ #4 BARS @ 18" O.C.E.W.
- REFER TO GEOTECHNICAL REPORT NO. G131661 PREPARED BY ALPHA TESTIN ON NOVEMBER 15, 2013.



1 TYPICAL PAVEMENT SECTION
L2 SECTION NOT TO SCALE

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Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT
EDWARD W. PEYS
STATE OF TEXAS
1977
January 19, 2017

NORTH

20 10 0 20
1" = 20' - 0"

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One Inch

AMENITY CENTER PLAN
LAYOUT & PAVING PLAN
Caruth Lakes, Ph. 8B Amenity Center
City of Rockwall, Rockwall County, Texas

PLAN REVIEW REVISIONS		DATE	BY
1	Redlines per City Comments	04/21/2015	AEW
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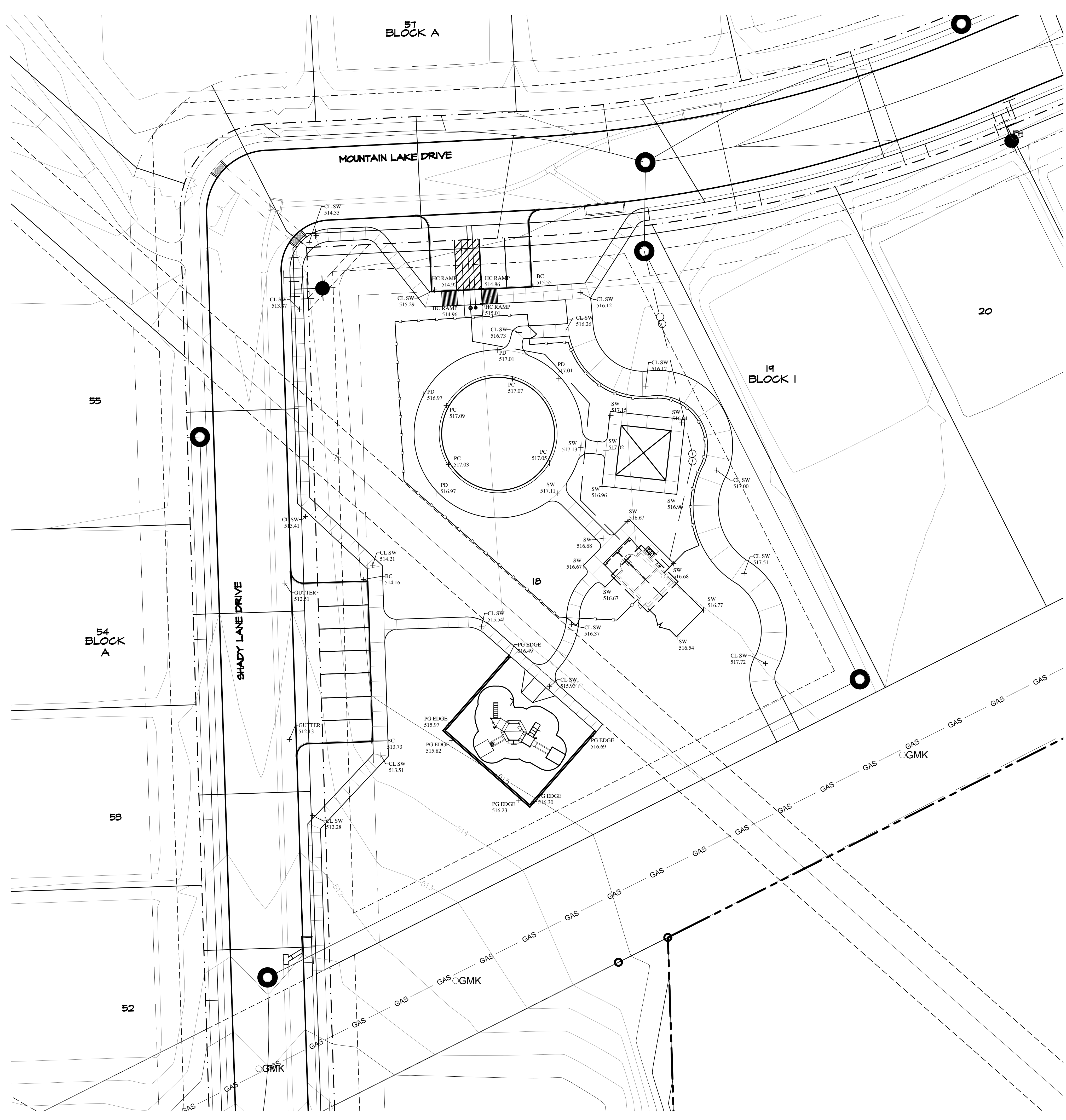
PROJECT
HOR004

SHEET
L2

AS-BUILT PLANS

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LEGEND

- PD +102.9 PROPOSED POOL DECK SPOT ELEVATION
- PC +102.9 PROPOSED POOL COPING SPOT ELEVATION
- BR +102.9 PROPOSED BOTTOM OF RAMP SPOT ELEVATION
- TR +102.9 PROPOSED TOP OF RAMP SPOT ELEVATION
- TP +102.9 PROPOSED TOP OF PAVING SPOT ELEVATION
- RIM +102.9 PROPOSED RIM ELEVATION OF AREA DRAIN
- FL +102.9 PROPOSED BOTTOM OF FLOW LINE SPOT ELEVATION
- BDI +102.9 PROPOSED BOTTOM OF DRAIN INLET SPOT ELEVATION
- TC +102.9 PROPOSED TOP OF CURB SPOT ELEVATION
- BC +102.9 PROPOSED BOTTOM OF CURB SPOT ELEVATION
- SG +102.9 PROPOSED SPOT GRADE SPOT ELEVATION
- HPS +102.9 PROPOSED HIGH POINT OF SNALE SPOT ELEVATION
- CPI +102.9 PROPOSED CURB POINT INTERSECTION SPOT ELEVATION
- FFE 555.60 PROPOSED FINISH FLOOR ELEVATION
- ← PROPOSED FLOW LINE
- PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
- 4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY
- PROPOSED DRAINAGE SDR 35 REFER TO PLAN FOR SIZING

GENERAL GRADING NOTES

1. SITE PREPARATION: ALL SURFACE VEGETATION AND FOREIGN MATERIALS SUCH AS TIMBER, LOGS, TREES, GRASS, ROOTS, ETC., IN PROJECT WORK AREAS SHALL BE STRIPPED AND REMOVED.
2. SCARIFYING AREA TO BE FILLED: IN AREAS WHERE FILLS ARE DESIRED, THE STRIPPED SURFACE SHALL BE SCARIFIED TO A DEPTH OF AT LEAST 6 INCHES FOR UNIFORM COMPACTION. THE SCARIFIED SURFACE SHALL BE FREE FROM LARGE LUMPS AND UNEVEN SURFACES.
3. COMPACTING AREA TO BE FILLED: AFTER THE AREA TO BE FILLED IS CLEARED AND SCARIFIED, THE SUBGRADE SOILS SHALL BE COMPACTED USING A SHEEPS FOOT ROLLER TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND AT A MOISTURE CONTENT WITHIN 3 PERCENTAGE POINTS OF THE MATERIAL'S OPTIMUM MOISTURE.
4. FILL MATERIAL: ON SITE SOIL CAN BE USED AS RANDOM FILL, PROVIDED THAT SUCH MATERIAL IS FREE FROM VEGETATION AND OTHER DELETERIOUS SUBSTANCES. NO FILL MATERIAL SHALL CONTAIN ROCKS OR LUMPS HAVING A DIAMETER LARGER THAN 2 INCHES.
5. DEPTH AND MIXING OF FILL LAYERS: THE FILL MATERIALS SHALL BE PLACED IN LEVEL, UNIFORM LAYERS. EACH LAYER SHALL BE THOROUGHLY BLADE MIXED DURING SPREADING TO ENSURE UNIFORM COMPACTION. THESE MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LOOSE LIFTS.
6. AMOUNT OF COMPACTION: AFTER EACH FILL LAYER HAS BEEN PLACED, MIXED, AND SPREAD EVENLY, IT SHALL BE THOROUGHLY COMPACTED TO THE SPECIFIED DENSITY.
7. BACKFILL WITH AVAILABLE ON-SITE MATERIAL TO WITHIN 4 INCHES OF FINISHED GRADE AS NOTED. BACKFILL WITH A MINIMUM OF 4 INCHES CLEAN TOPSOIL STRIPPED AND STOCK PILED FROM THE SITE, OR IMPORTED. CLEAN TOPSOIL TO BE FREE OF VEGETATION AND ROCKS OVER 1 INCH IN DIAMETER.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AROUND AND DIRECTING DRAINAGE AWAY FROM THE BUILDING, POOL, AND PLAYGROUND AREA.
10. ALL SIDEWALK PAVING SHALL HAVE A MAXIMUM 5% LONGITUDINAL SLOPE WITH A MAX. 2% CROSS SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO REQUIREMENTS.
11. 75%-80% OF ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 1" TALL GRASS ESTABLISHED PRIOR TO ENGINEERING ACCEPTANCE.

NOTE: ASSUMED POINTS ALONG SHADY LANE ROAD AND MOUNTAIN LAKE DRIVE ARE BOTTOM OF CURB.

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AMENITY CENTER PLAN
GRADING AND DRAINAGE PLAN
 Caruth Lakes, Ph. 8B Amenity Center
 City of Rockwall, Rockwall County, Texas

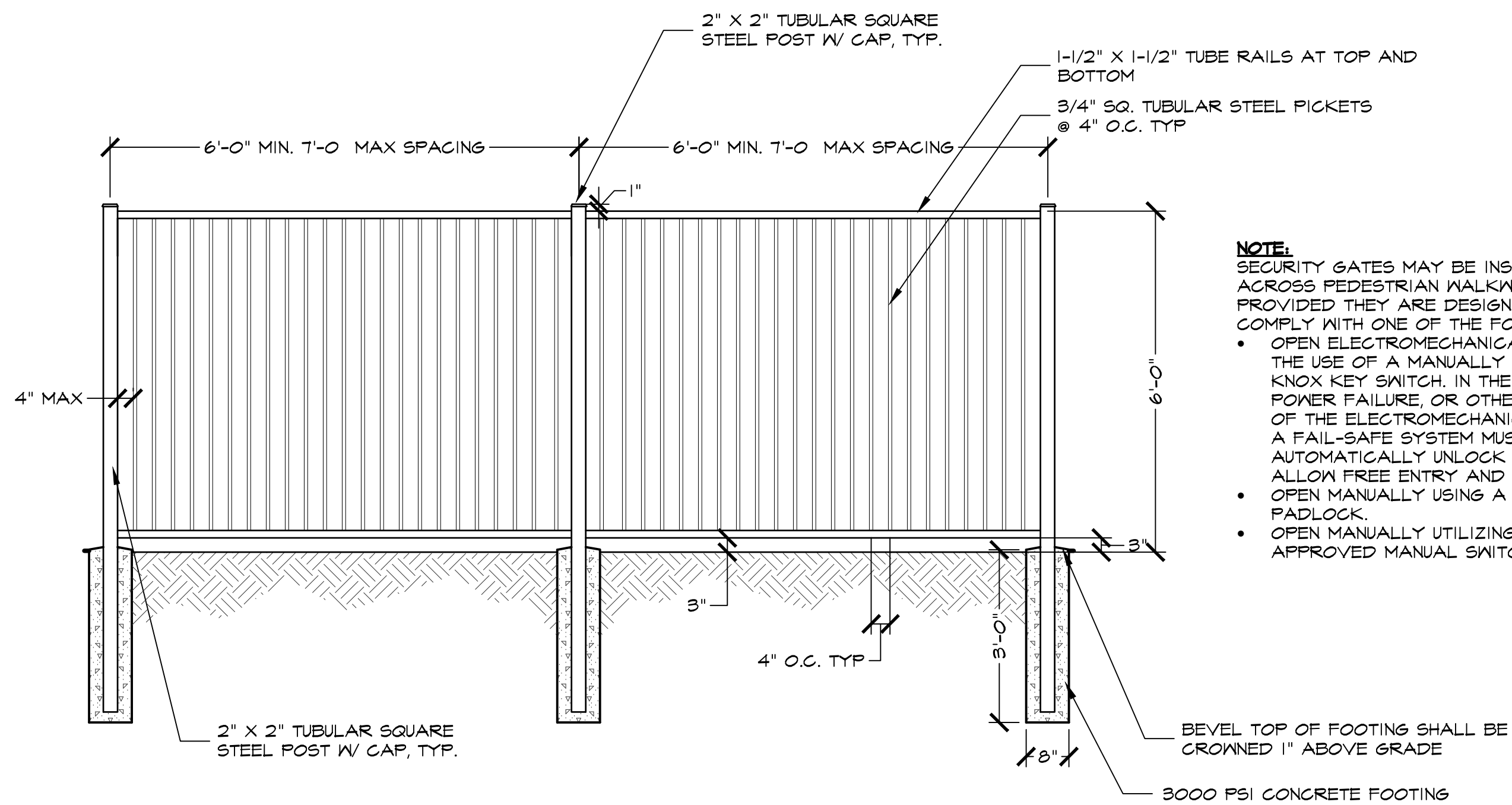
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PROJECT
HOR004
 SHEET
L3

AS-BUILT PLANS

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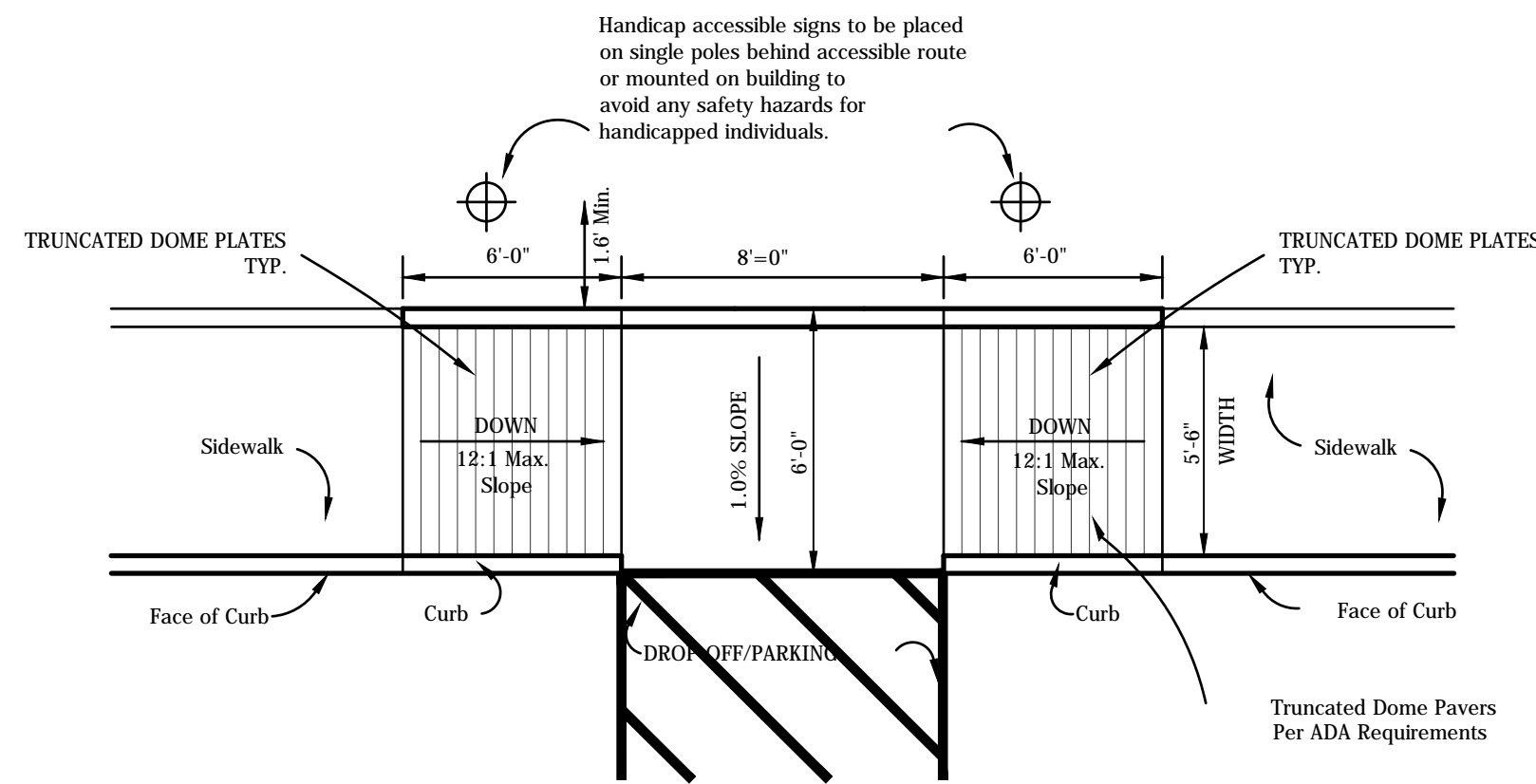


1
L4 **6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION**

SCALE: 1/2" = 1'-0"

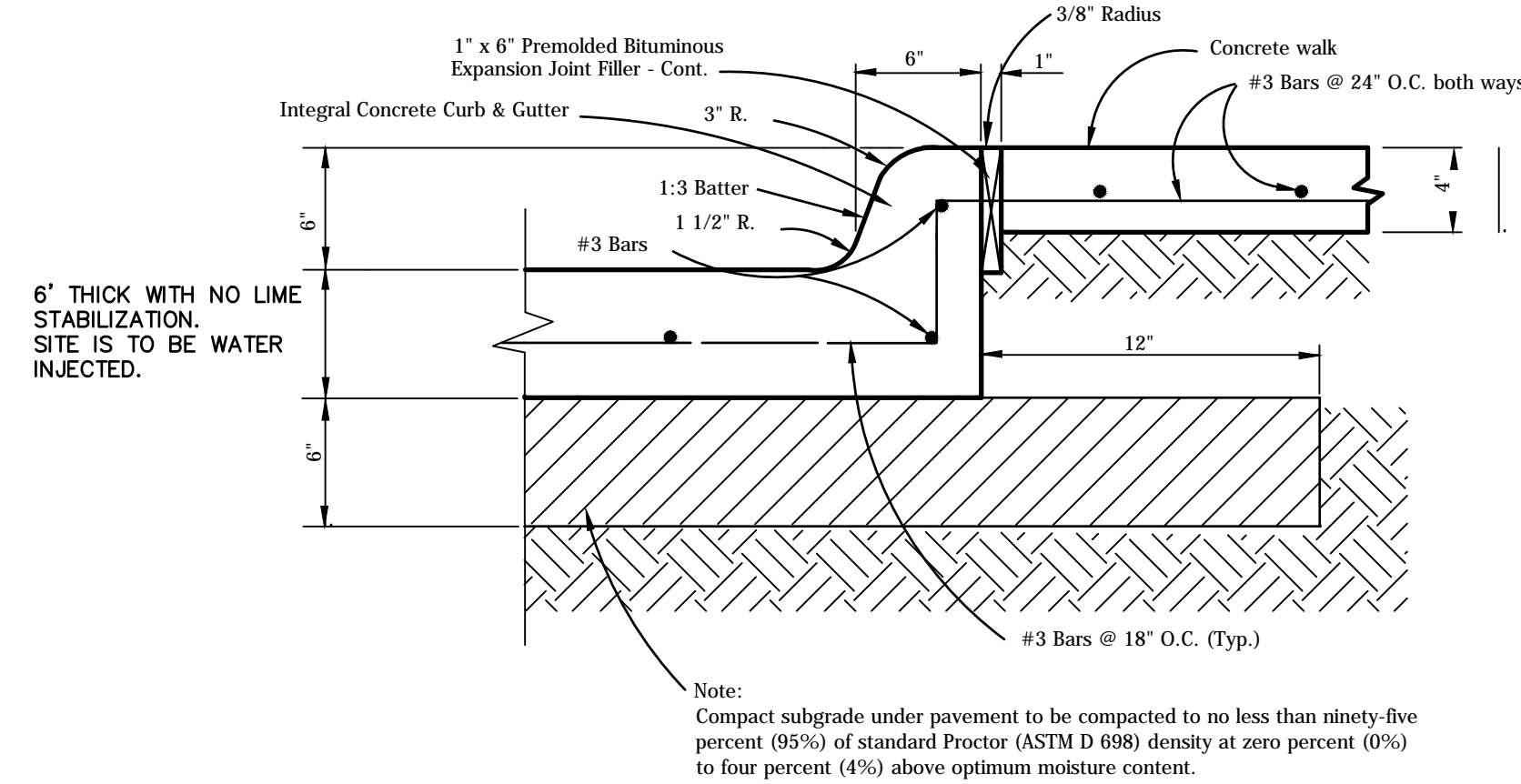
Note: Provide paint stripping and graphics for handicap symbol in accordance with Texas Accessibility Standards and/or city requirements.

Note: Detail based on a standard 6" curb. Vertical elevation may vary due to height of curb. Maximum slope of curb ramp shall be 1:12(8.33%) and "Flared Sides" shall be a maximum of 1:10(10.0%).



2
L4 **PARALLEL CURB RAMP**

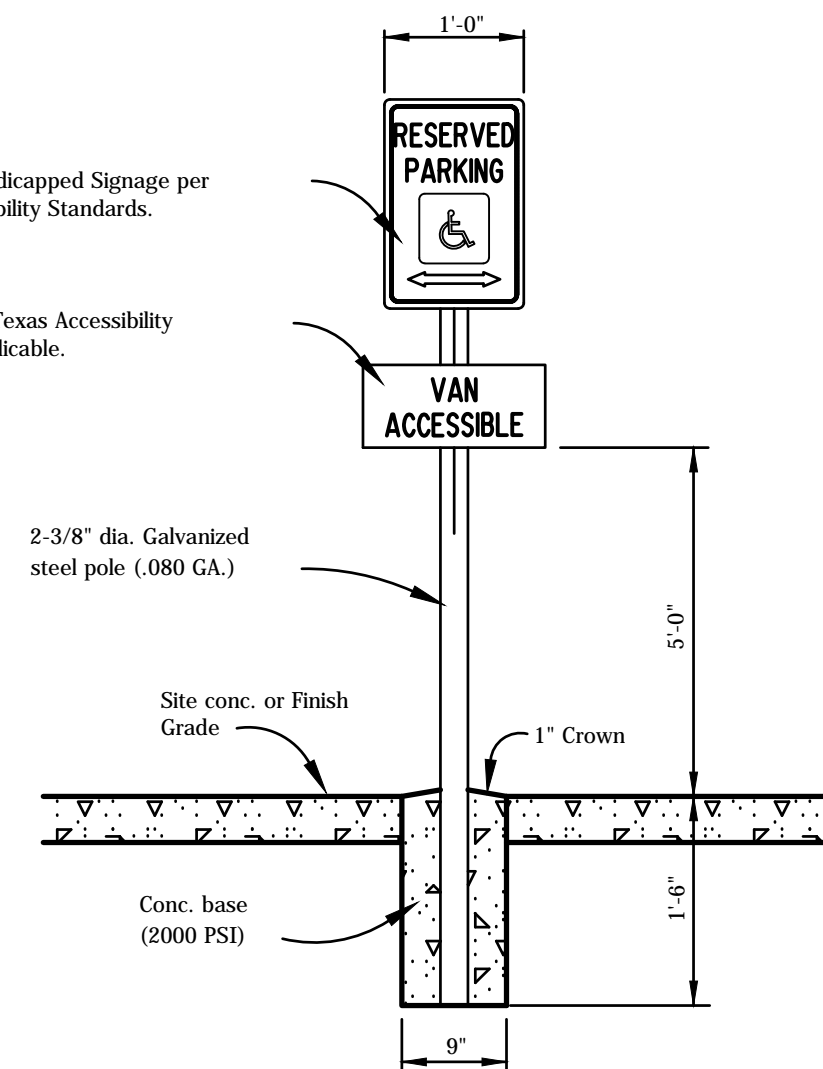
NOT TO SCALE



3
L4 **INTEGRAL CONCRETE CURB AT WALK**

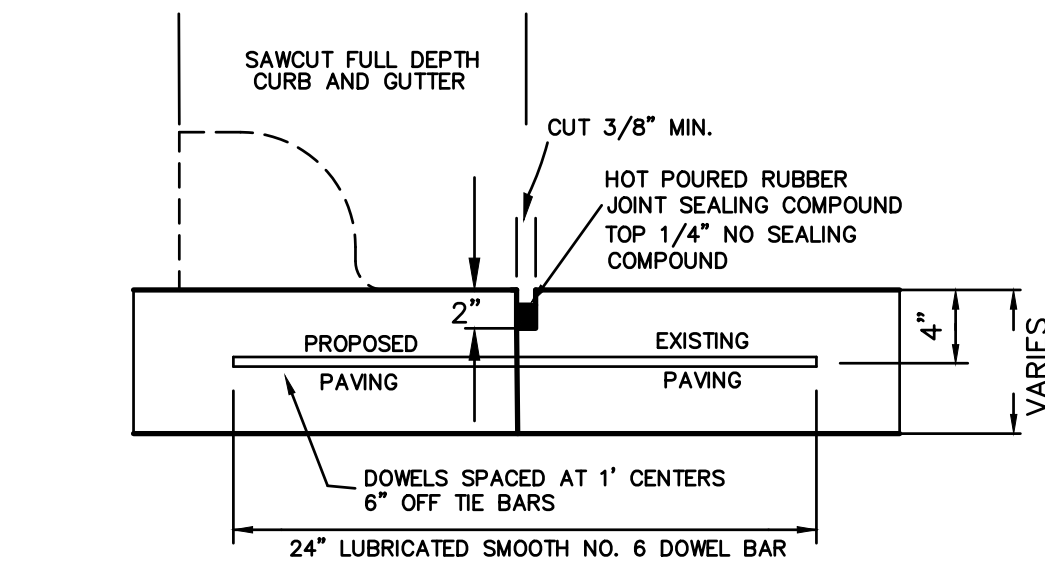
NOT TO SCALE

Universal Handicapped Signage per Texas Accessibility Standards.
Provide signage per Texas Accessibility Standards where applicable.



HANDICAP SIGNAGE DETAIL
N.T.S.

NOT TO SCALE

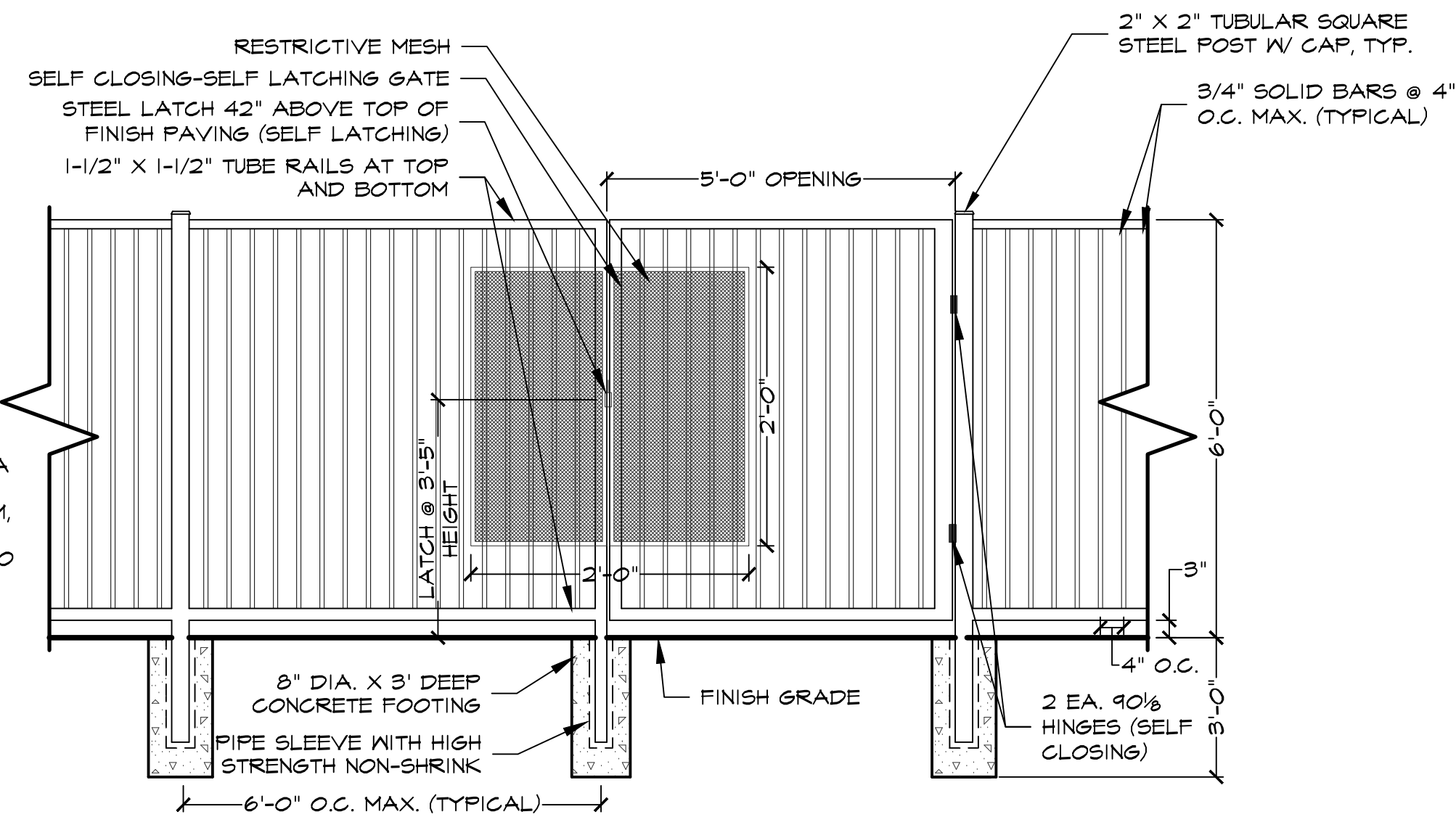


LONGITUDINAL BUTT JOINT
N.T.S.

- NOTES:
- No. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL DRILL. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
 - REFER TO CITY STANDARD DETAILS, FOR MORE INFORMATION

6
L4 **LONGITUDINAL BUTT JOINT**

NOT TO SCALE



- NOTE:
- POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
 - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
 - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2".

4
L4 **ORNAMENTAL FENCE & 5'-0" GATE**

SCALE: 1/2" = 1'-0"

- GENERAL NOTES:**
- PAVING TO HAVE A 2% CROSS SLOPE AS SHOWN.
 - THE MATERIALS AND WORKMANSHIP FOR CONCRETE PAVING SHALL BE IN ACCORDANCE WITH N.C.T.C.O.S. SPECIFICATIONS OR AS MODIFIED BY THE CITY OF ROCKWALL.

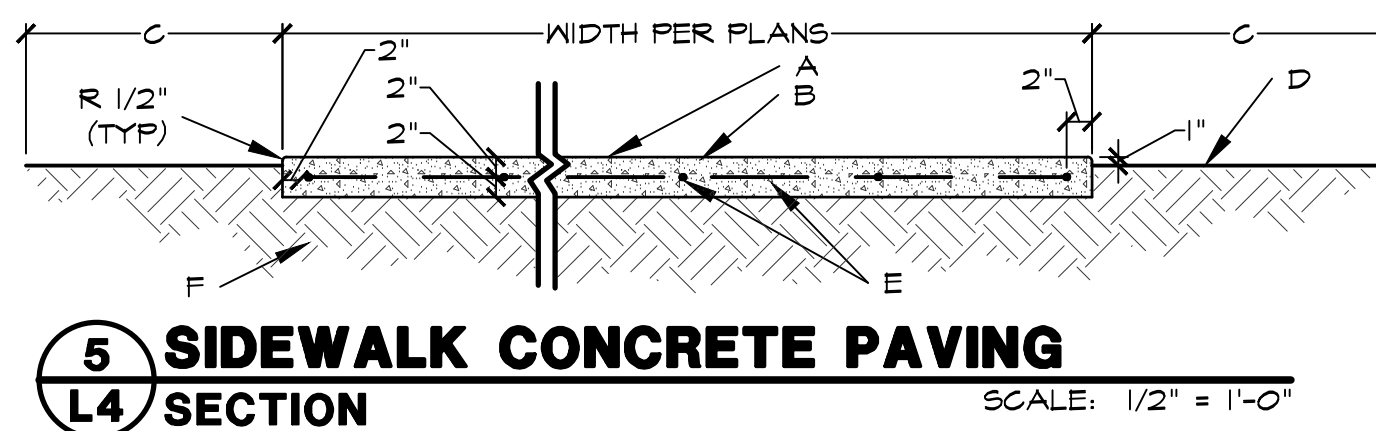
- CONSTRUCTION NOTES:**
- 3000 PSI WITH MIN. 5.5-SACK MIX CONCRETE TRAIL
 - MEDIUM BROOM FINISH
 - FINISH GRADE, PROVIDE POSITIVE DRAINAGE AWAY FROM CONCRETE, SLOPE AWAY FROM SIDEWALK AT MAX. 2%.
 - FINISH GRADE
 - #3 BARS 24" O.C. MAX. BOTH WAYS. CENTER REBAR IN CONCRETE.
 - COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

GENERAL NOTES:

- SIDEWALK PAVING TO HAVE A MAX. 2% CROSS SLOPE AS SHOWN.
- SIDEWALK TO HAVE A 10'-0" MIN. CLEARANCE ABOVE SIDEWALK. PRUNE ALL OVERHANGING TREE LIMBS TO MAINTAIN THIS CLEARANCE.
- SIDEWALK PAVING TO BE ON A MAXIMUM 5% LONGITUDINAL SLOPE.
- SIDEWALK CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. MIN. 5.5-SACK MIX
- SIDEWALK CONCRETE TO HAVE A MEDIUM BROOM FINISH UNLESS NOTED ON THE PLANS.
- CONCRETE PAVING THICKNESS TO BE MINIMUM OF 4" UNLESS NOTED ON PLANS.

5
L4 **SIDEWALK CONCRETE PAVING SECTION**

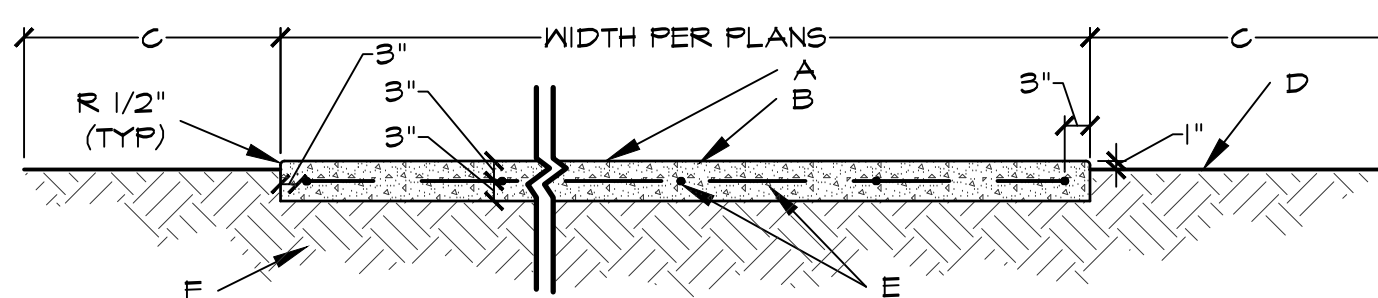
SCALE: 1/2" = 1'-0"



GENERAL NOTES:

- PAVING TO HAVE A 2% CROSS SLOPE AS SHOWN.
- THE MATERIALS AND WORKMANSHIP FOR CONCRETE PAVING SHALL BE IN ACCORDANCE WITH N.C.T.C.O.S. SPECIFICATIONS OR AS MODIFIED BY THE CITY OF ROCKWALL.

- CONSTRUCTION NOTES:**
- 3000 PSI WITH MIN. 5.5-SACK MIX CONCRETE TRAIL
 - MEDIUM BROOM FINISH
 - FINISH GRADE, PROVIDE POSITIVE DRAINAGE AWAY FROM CONCRETE, SLOPE AWAY FROM SIDEWALK AT MAX. 2%.
 - FINISH GRADE
 - #3 BARS 24" O.C. MAX. BOTH WAYS. CENTER REBAR IN CONCRETE.
 - COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY



7
L4 **TRAIL CONCRETE PAVING SECTION**

SCALE: 1/2" = 1'-0"

ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
- GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
- ALL WROUGHT IRON FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 16 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 4X POST WIDTH.
- GATE IS TO BE SELF CLOSING & SELF LATCHING.

GENERAL PAVING NOTES

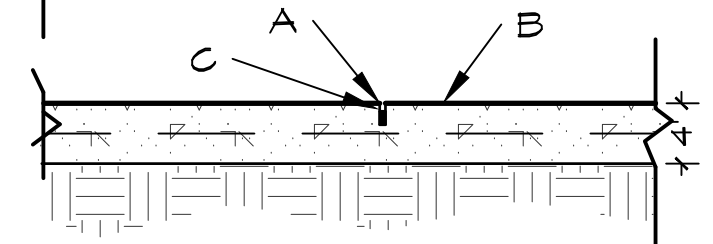
- THE LAYOUT OF ALL PROPOSED PAVING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SHOWN HEREIN.
- THE SUB GRADE BENEATH ALL PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- THE EDGES OF ALL FINISHED PAVING AND PLAYGROUND EDGES SHALL BE SMOOTH, GRACEFUL CURVILINEAR OR STRAIGHTFORMS WITH NO INTERRUPTIONS SUCH AS CHORDS, WAVES, JOGS, OR MISSED TANGENTS. ANY PAVEMENT WITH SUCH INTERRUPTIONS SHALL BE SUBJECT TO REPLACEMENT AT NO COST TO THE OWNER.
- ALL CONCRETE FOR VEHICULAR PAVING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,600 PSI WITH MIN. 6.5-SACK MIX @ 28 DAYS, AND SHALL HAVE A MEDIUM BROOM FINISH.
- CONCRETE SHALL NOT BE POURED UNTIL THE OWNER'S REPRESENTATIVE HAS INSPECTED THE FORMS AND REINFORCING. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE OF ALL CONCRETE POURS.
- ALL EXPOSED VERTICAL CONCRETE SURFACES SHALL HAVE A HAND RUBBED FINISH WITH NO HONEYCOMBS OR VOIDS.
- NO SAND UNDER PAVING.

GENERAL NOTES:

CONTROL JOINT SPACING SHALL BE WIDTH OF PAVING OR AS SHOWN ON THE PLANS.

CONSTRUCTION NOTES:

- SAVED CONTROL JOINTS 1/4" DEEP X 3/8" WIDE ON 10'-0" CENTERS MAX. OR AS SHOWN ON PLANS.
- 4" CONCRETE TRAIL WITH #3 BARS @ 24" O.C. BOTH WAYS
- HOT POURED RUBBER JOINT SEALING COMPOUND. NO SEALING COMPOUND IN TOP 1/2" OF JOINT.



8
L4 **SIDEWALK CONTROL JOINT SECTION**

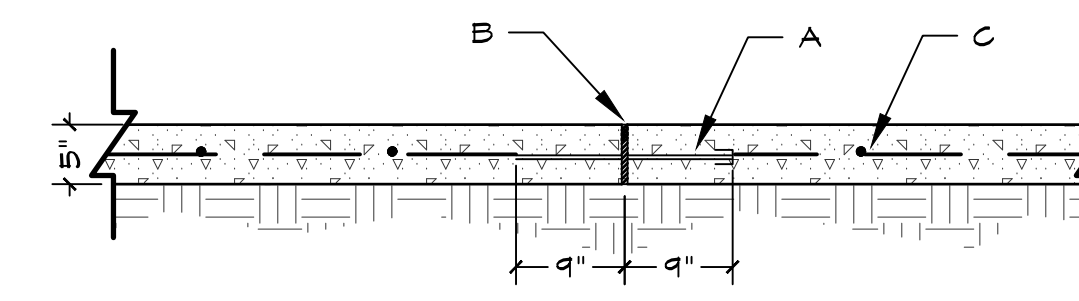
SCALE: 3/4" = 1'-0"

GENERAL NOTES:

- LOCATE EXPANSION JOINTS PER PLAN. THE MAXIMUM CONTROL JOINT PAVING SHALL BE THE WIDTH OF THE SIDEWALK OR AS SHOWN ON THE PLANS.

CONSTRUCTION NOTES:

- #4 SMOOTH DONEL 18" LONG EACH W/CAP, LUBRICATED, TYPICAL DONEL SPACING MATCHES STEEL PALCEMENT.
- FILL EXPANSION JOINTS WITH SONNEBORN SONOLASTIC SELF-LEVEL SEALANT SYSTEMS. CONTRACTOR TO SUBMIT COLOR SAMPLES. INSTALL 3/4" REDWOOD EXPANSION JOINT WITH RIP STRIP 1" BELOW TOP OF PAVING.
- 4" CONCRETE PAVING WITH #3 BARS @ 24" O.C. BOTH WAYS.



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L4 **DOWELED EXPANSION JOINT SECTION**

SCALE: 3/4" = 1'-0"

DATE	BY	PLAN REVIEW REVISIONS
04/21/2015	AEW	Redlines per City Comments
06/29/2015	AEW	Redlines per City Comments