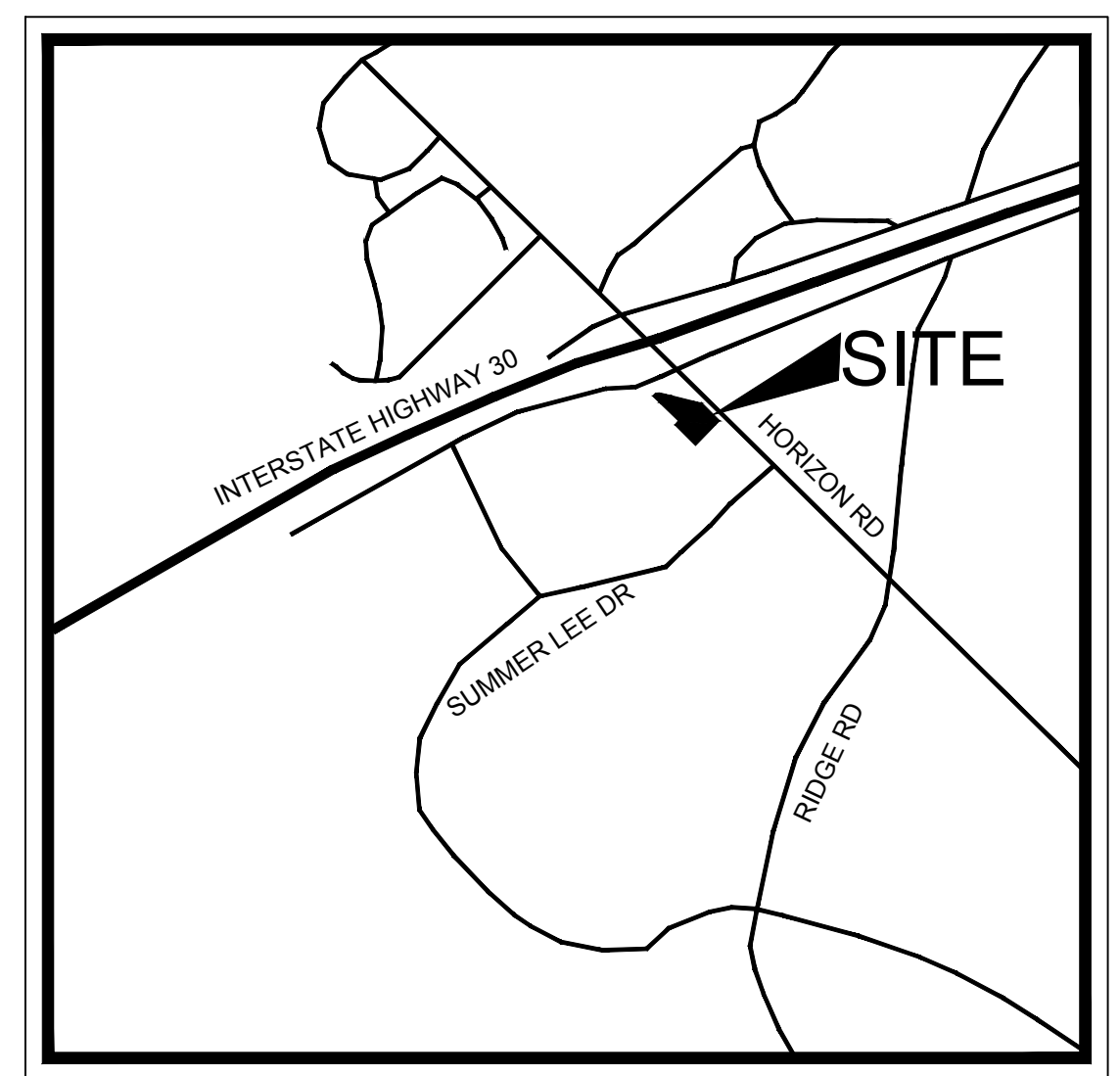
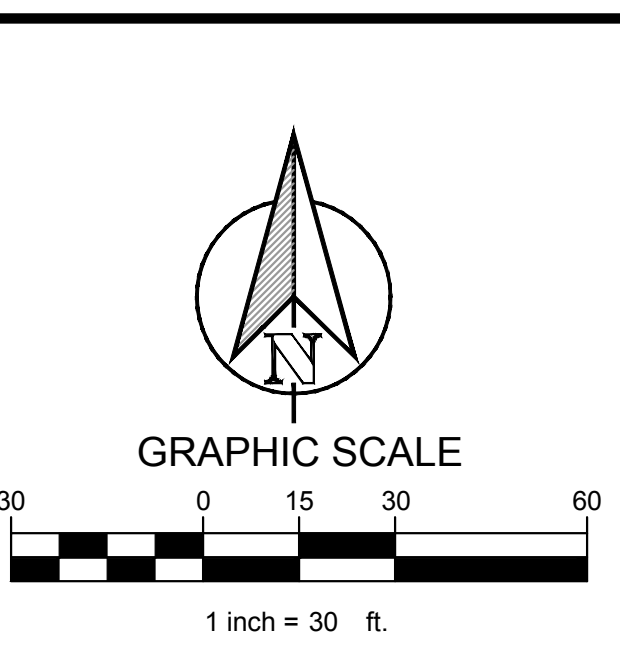
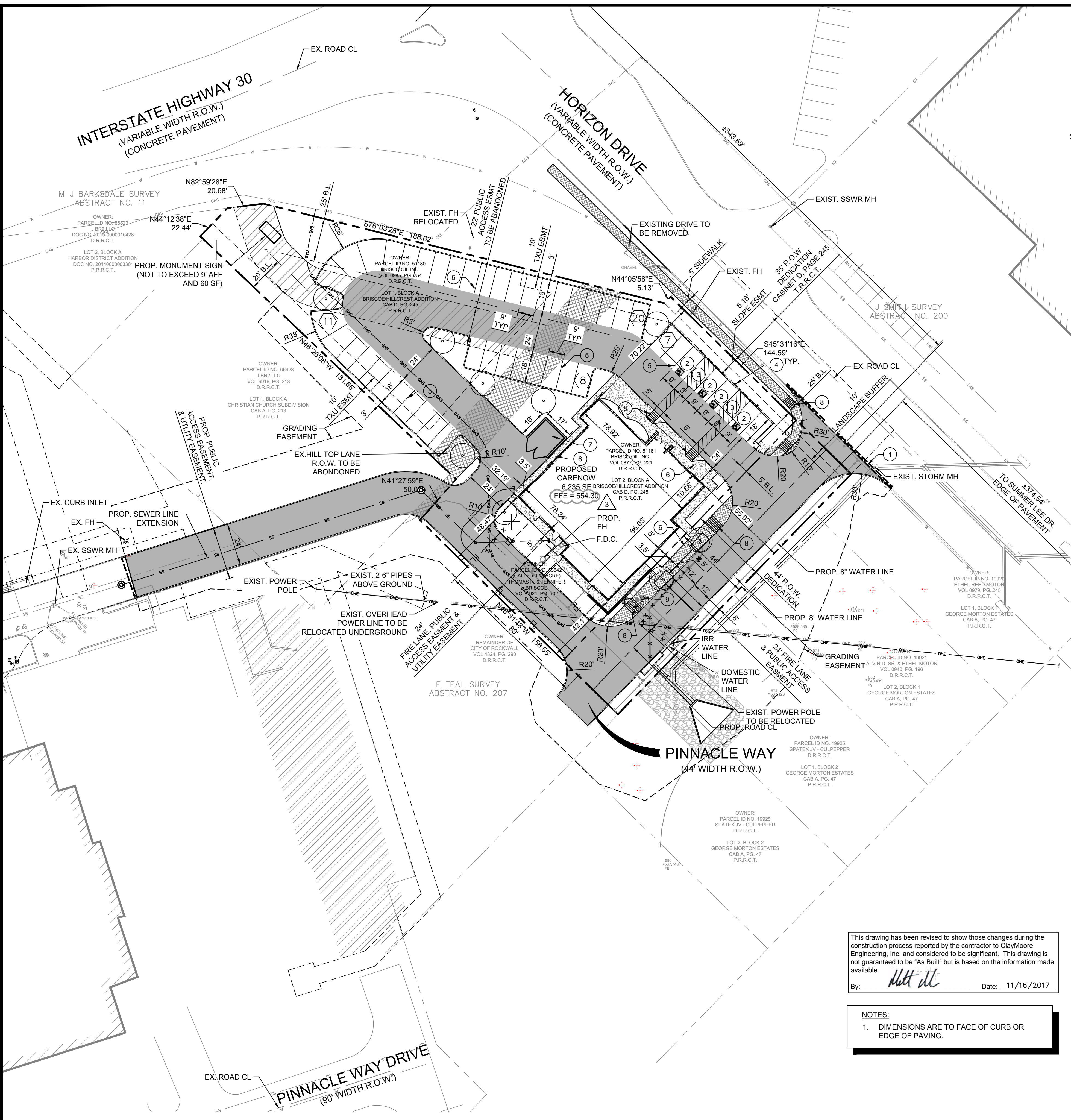


PLOTTED BY: JVALDEZ
 PLOT DATE: 11/16/2017 10:21 AM
 LOCATION: C:\EGNITE\SHARED\PROJECTS\2016-029 CRESTVIEW ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 11/16/2017 10:21 AM



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
1	SAW CUT FULL DEPTH EXISTING PAVEMENT
2	HANDICAP SYMBOL
3	PAVEMENT STRIPING
4	HANDICAP SIGN
5	4" PARKING STALL
6	SIDEWALK
7	PROPOSED 8" HIGH DUMPSTER AREA ENCLOSURE. MATERIALS TO MATCH TO MATCH PRIMARY STRUCTURE W/ OPAQUE GATE AND SELF LATCHING MECHANISM.
8	HANDICAP RAMPS
9	LIGHT POLE

LEGEND	
[Symbol]	PROPOSED 5" LIGHT DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 6" HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PARKING COUNT
[Symbol]	PROPOSED FIRE LANE
[Symbol]	HILL TOP LANE R.O.W. TO BE ABANDONED
[Symbol]	PUBLIC SIDEWALK
[Symbol]	3-INCH CALIPER 65 GALLON CANOPY TREE

SITE DATA TABLE	
SITE AREA	1.11 ACRES (48,281 SF) GROSS 0.92 ACRES (39,856 SF) AFTER R.O.W.
ZONING	PD-32
PROPOSED USE	MEDICAL OFFICE
BUILDING SIZE	6,235 SF
LOT COVERAGE	11.5%
FLOOR TO AREA RATIO	0.11 : 1
BUILDING HEIGHT	1 STORY

PARKING TABLE	
PARKING REQUIREMENTS	1 PER 200 SQ FT
PARKING REQUIRED	28 SPACES (2 ADA)
PARKING PROVIDED	46 SPACES (4 ADA)

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 48397C0040L, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

BENCH MARKS

BENCH MARK NO. 6-1
CONCRETE MONUMENT WITH BRASS CAP AT THE SOUTHWEST CORNER OF MARINA AND VILLAGE ROAD
ELEV: 506.05

BENCH MARK NO. RESET 1
AT THE WEST END OF SUMMER LEE AND WEST OF FM 740.
ELEV: 567.70

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Matt J* Date: 11/16/2017

NOTES:

1. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVING.

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1903 CENTRAL DR., SUITE #406
BEDFORD, TX 76021
WWW.CLAYMOORE.COM

STATE OF TEXAS
CLAY CRISTY
109800
REGISTERED PROFESSIONAL ENGINEER
04/03/2017

CARENOW
LOT 1 & 2, BLOCK A
BRISCOE/HILLCREST ADDITION
ROCKWALL, TX

No.	DATE	REVISION	BY
1	3/22/2017	REF. FINISHED FLOOR	JV
2	3/22/2017	REF. FINISHED FLOOR	JV
3	4/20/2017	REF. FINISHED FLOOR	JV

CITY SITE PLAN

CASE NO. SP2016-013

CARENOW I-30 & HILLTOP DRIVE

LEGAL DESCRIPTION:
LOT 1, LOT 2 & LOT 3, BLOCK A
BRISCOE / HILLCREST ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
TOM R BRISCOE AND BRISCOE OIL, INC.
2323 STEVENS ROAD,
HEALTH, TX, 75032
CONTACT: DAVID ENGLISH
PH: 972.961.8532

DEVELOPER:
CRESTVIEW REAL ESTATE, LLC.
12720 HILLCREST RD., SUITE #650
DALLAS, TX 75230
CONTACT: GRAY STOGNER
PH: 214.343.4477

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DR., SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CITY CASE #:

DESIGN: JEV
DRAWN: JEV
CHECKED: CLC
DATE: 04/03/2017

SHEET
SP-1

File No. 2016-029

SUBMITTED: 5/13/16