

SURVEYOR'S NOTES:

- BEARINGS AND DISTANCES ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202) NORTH AMERICAN DATUM OF 1983 (NAD 83)(US FOOT) WITH A COMBINED SCALE FACTOR OF 1.000146135.
- SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48397C0040L, COMMUNITY-PANEL NO. 4805430040L, EFFECTIVE DATE: SEPTEMBER 26, 2008. ALL OF THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" ON SAID MAP. THE LOCATION OF THE SAID FLOOD ZONES IS BASED ON SAID MAP, IS APPROXIMATE AND IS NOT LOCATED ON THE GROUND. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:
 ZONE "X" - OTHER AREAS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.
- ELEVATIONS ARE REFERENCED TO CITY OF ROCKWALL BENCHMARK NO. 7, PUBLISHED ELEVATION=567.52', MEASURED ELEVATION =567.59'. OBSERVATIONS WERE MADE ON FEBRUARY 22, 2021.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED AND PERFORMED IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYING PRACTICES ACT AND GENERAL RULES OF PROCEDURES AND PRACTICES, ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS & LAND SURVEYORS.
- THIS SURVEY IS BASED ON DEEDS, EASEMENTS AND/OR RECORDED PLATS AND OTHER RECORDS FURNISHED BY THE CLIENT AND/OR THE CLIENT'S REPRESENTATIVE AS WELL AS SIGNIFICANT VISIBLE MONUMENTS FOUND ON THE SUBJECT PROPERTY AND ADJACENT PROPERTIES, FIELD MEASUREMENTS AND EVIDENCE OF BOUNDARIES FOUND ON THE GROUND. HOWEVER, THIS SURVEY SHALL NOT REPRESENT WARRANTY OF TITLE OR GUARANTEE OWNERSHIP. THE SURVEYOR DID NOT ABSTRACT THE SUBJECT PROPERTY.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT TRACT: EASEMENTS; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AGREEMENTS; LEASE AGREEMENTS; AND OWNERSHIP TITLE EVIDENCE.
- ANY DECLARATION MADE HEREON OR HEREIN IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED ON HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OR EXISTENCE OF "MELTDOWNS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
- THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION SHOWN HEREON ARE CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.
- SQUARE FOOTAGE TOTALS SHOWN HEREON OR REFERENCED HEREIN ARE BASED ON MATHEMATICAL CLOSURES AND DO NOT NECESSARILY REPRESENT THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTS.
- MONUMENTS ARE FOUND UNLESS SPECIFICALLY DESIGNATED AS SET.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE-GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- THERE WAS NO OBSERVED SITE ADDRESS AT THE TIME OF SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS AT THE TIME OF SURVEY.
- THIS SURVEY WAS PREPARED USING THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS AS ESTABLISHED BY ALTA AND NSPS SINCE THE STANDARDS WERE STILL CURRENT IN EFFECT AT THE TIME OF THIS CONTRACT. IT IS UNDERSTOOD AND ACCEPTED BY ALL PARTIES INVOLVED THAT SAID STANDARDS MAY NO LONGER BE CURRENT UPON COMPLETION OF THE SURVEY, BUT WILL STILL BE USED FOR THE PURPOSE OF THIS SURVEY.

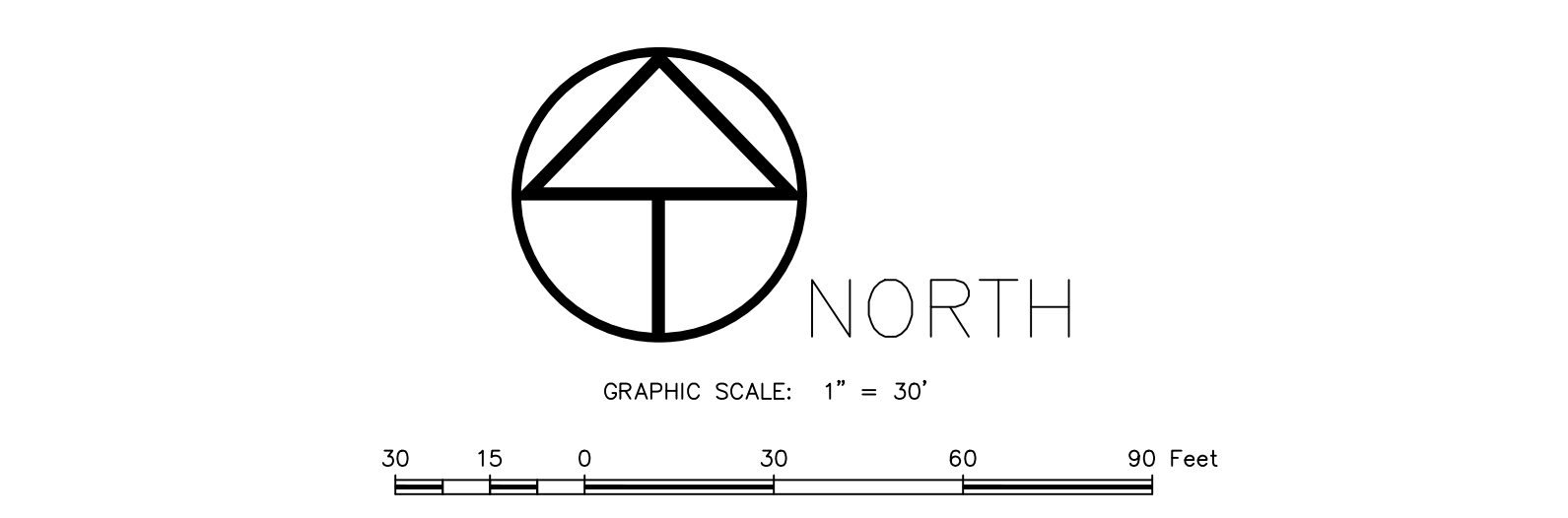
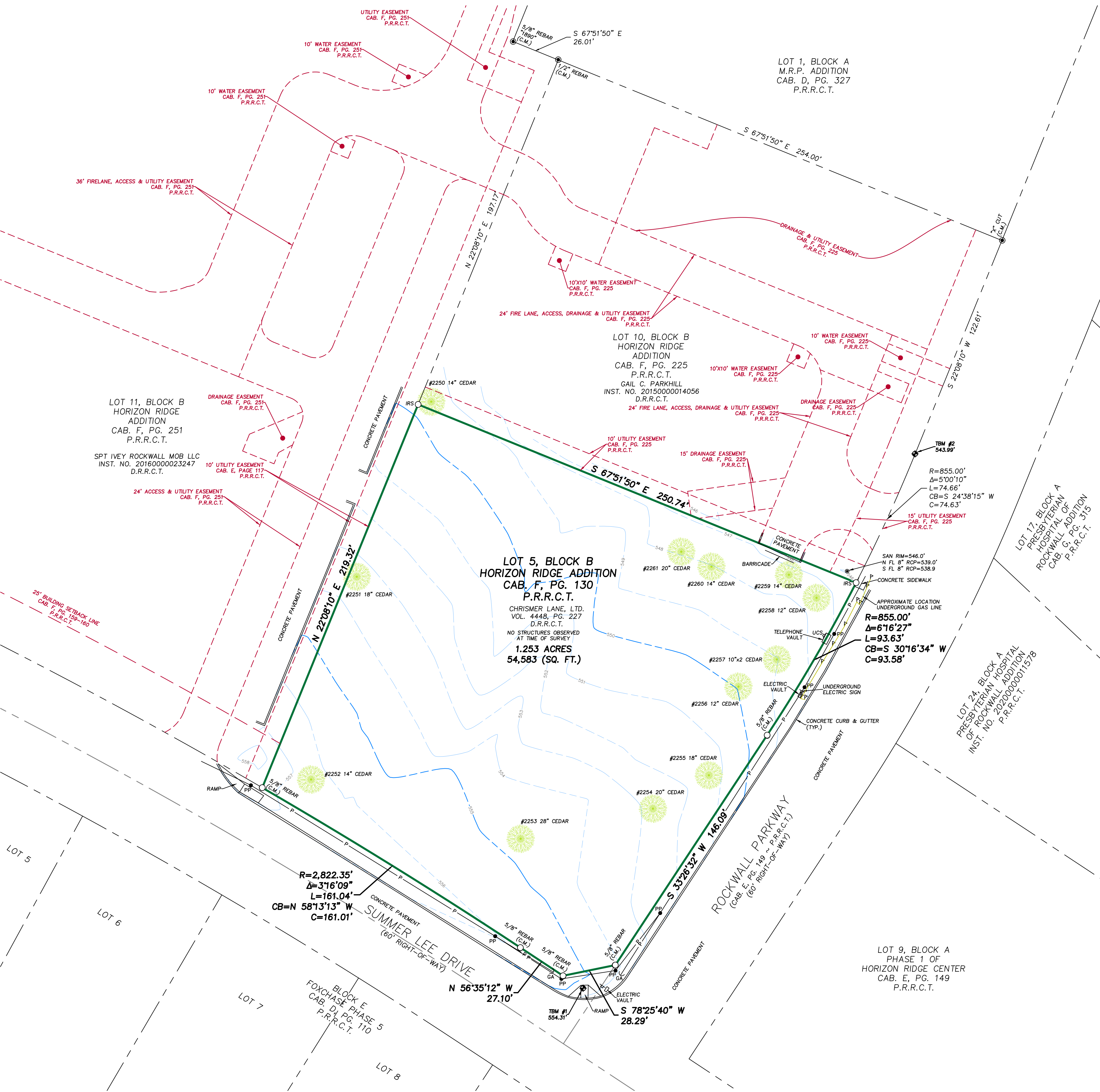
NOTES REGARDING UTILITIES:

UTILITY LOCATIONS ARE PER OBSERVED EVIDENCE AND THE BELOW SOURCES
 DIGITEST - TICKET #2154305862, 2154924479

SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

TEMPORARY BENCHMARK #1 ELEVATION - 554.31'
 BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 12 FEET EAST, AND 5 FEET SOUTH OF A POWER POLE LOCATED NEAR THE SOUTHERNMOST SOUTHEAST CORNER OF THE SUBJECT PROPERTY.

TEMPORARY BENCHMARK #2 ELEVATION - 543.99'
 BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 62 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.



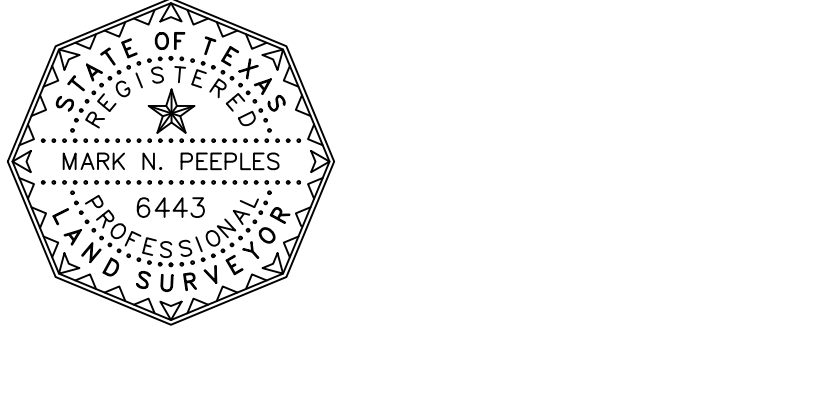
PROPERTY DESCRIPTION:
 BEING ALL OF LOT 5, BLOCK B OF HORIZON RIDGE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET F, PAGE 130 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

TITLE COMMITMENT NOTES:
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. THEREFORE, EASEMENTS, AGREEMENTS, OR OTHER DOCUMENTS, EITHER RECORDED, OR UNRECORDED MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.

SURVEYOR'S CERTIFICATE:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 13, 14, 16, 19, 20 & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 22, 2021.

DATE OF PLAT OR MAP: FEBRUARY 26, 2021.

Mark N. Peebles
 MARK N. PEEPLES
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6443
 STATE OF TEXAS



LEGEND

* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

BO - BOLLARD	PP/CT - POWER POLE W/CONDUIT	SAN - SANITARY SEWER
HC - HANDICAP	MP - METER POLE	STM - STORM SEWER
EM - ELECTRIC METER	SP - SERVICE POLE	CMP - CORRUGATED METAL PIPE
GM - GAS METER	GAC - GUY ANCHOR	CPP - CORRUGATED PLASTIC PIPE
GV - GAS VALVE	OP - OVERHEAD POWER LINE	RCP - REINFORCED CONCRETE PIPE
FH - FIRE HYDRANT	WF - WOOD FENCE	TEL - TELEPHONE
FDC - FIRE DEPARTMENT CONNECTION	WIF - WROUGHT IRON FENCE	SWBT - SOUTHWESTERN BELL TELEPHONE CO.
WM - WATER METER	WF - WOOD FENCE	WTR - WATER
WV - WATER VALVE	CF - CHAINLINK FENCE	UG - UNDERGROUND
ICV - IRRIGATION CONTROL VALVE	GP - GATE POST	FND - FOUND
GI - GRATE INLET	P - PER PLANS	IP - IRON PIPE
GI - GRATE INLET	APPROX. - APPROXIMATE	IR - IRON ROD
M - MANHOLE	H - HIGHBANK	NO. - NUMBER
CO - CLEANOUT	S - SIGN	PG. - PAGE
TP - TELEPHONE PEDESTAL	PM - PIPELINE MARKER	R.O.W. - RIGHT-OF-WAY
GP - GUY PEDESTAL	UCS - UNDERGROUND CABLE SIGN	SQ. FT. - SQUARE FEET
EB - ELECTRIC BOX	CTL - CATHODIC TEST LEAD	VOL. - VOLUME
TSB - TRAFFIC SIGNAL BOX	MW - MONITORING WELL	F.C. - FILM CODE
LP - LIGHT POLE	P - PIN FLAG/PAINT MARK	B.L. - BUILDING LINE
TLP - TRAFFIC LIGHT POLE	TC - TOP OF CURB	U.E. - UTILITY EASEMENT
GL - GROUND/SPOT LIGHT	G - GUTTER	T - TREE/SHRUB
PP - POWER POLE	TO - TOP OF GRATE	C.M. - CONTROLLING MONUMENT
PP/T - POWER POLE W/TRANSFORMER	FL - FLOW LINE	IRS - 1/2-INCH CAPPED REBAR STAMPED "WINDROSE" SET
PP/LT - POWER POLE W/LIGHT	HB - HIGHBANK	P.R.R.C.T. - PLAT RECORDS, ROCKWALL COUNTY, TEXAS
D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS	O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS	

TREE TABLE

TAG#	DESCRIPTION
2250	14" CEDAR
2251	18" CEDAR
2252	14" CEDAR
2253	28" CEDAR
2254	20" CEDAR
2255	18" CEDAR
2256	12" CEDAR
2257	10"X2 CEDAR
2258	12" CEDAR
2259	14" CEDAR
2260	14" CEDAR
2261	20" CEDAR

REVISIONS

DATE	REASON	BY

CLAYMOORE ENGINEERING
 1903 Central Drive Suite #406
 Bedford, Texas 76021
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WINDROSE LAND SURVEYING | PLATING
 220 ELM STREET, SUITE 200 | LEWISVILLE, TX 75057 | 214.217.2544
 FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

ALTA/NSPS LAND TITLE SURVEY
 LOT 5, BLOCK B
 HORIZON RIDGE ADDITION
 SITUATED IN THE
 E. TEAL SURVEY
 ABSTRACT NO. 207
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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FILED BY: J.B.	CHECKED BY: M.N.P.	JOB NO. D56655-114395
DRAWN BY: R.H.	DATE: 02/22/21	SHEET NO. 1 OF 1