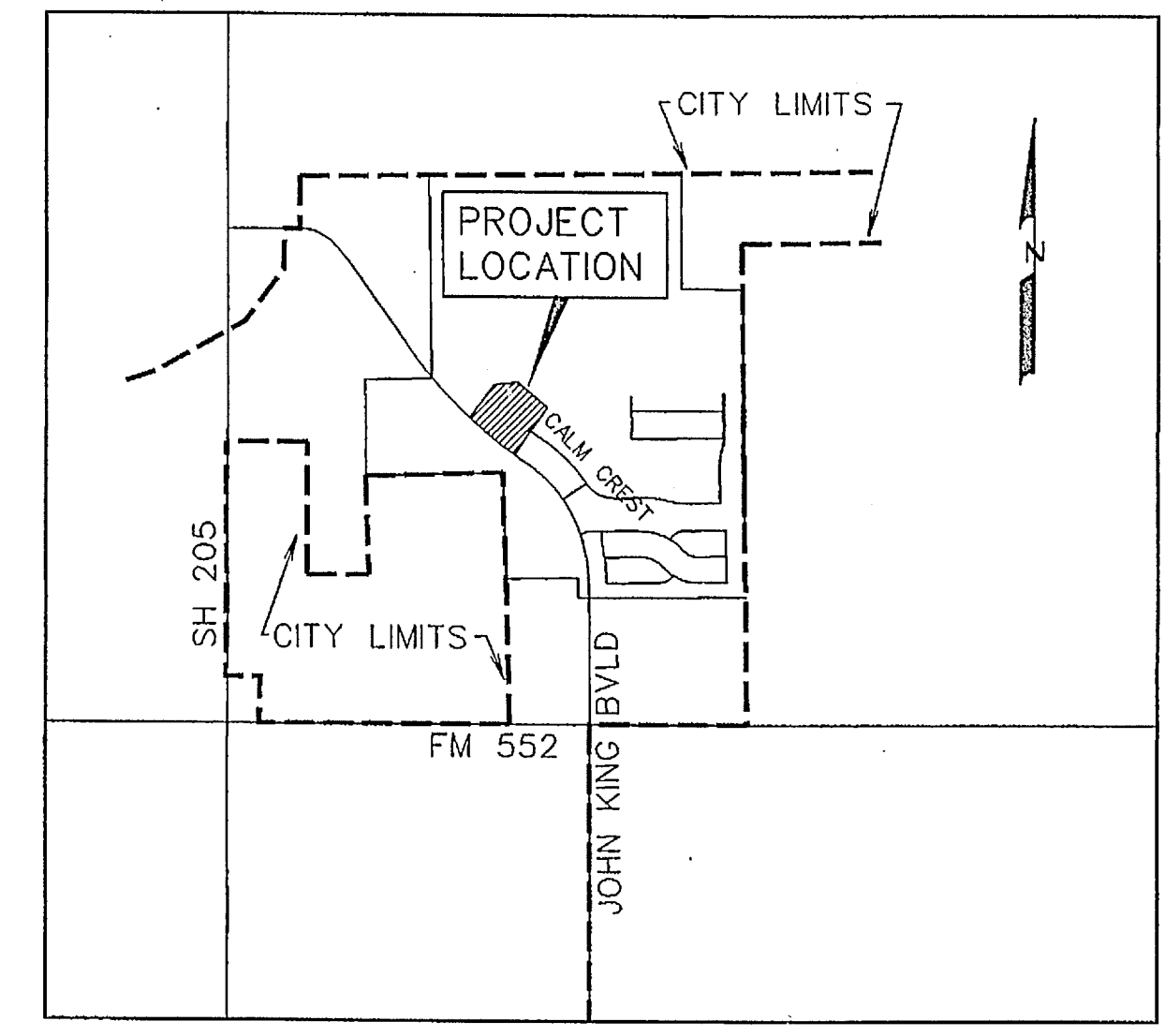


# DEVELOPMENT PLANS FOR BREEZY HILL PHASE VII CITY OF ROCKWALL, TEXAS

## INDEX

- 1 TITLE
- 2 PLAT
- 3 DRAINAGE AREA MAP
- 4 DRAINAGE AREA MAP EXISTING CONDITIONS
- 5 CALM CREST DRIVE
- 6 WATER AND SANITARY SEWER PLAN
- 7 STORM SEWER PLAN AND PROFILE LINE 'D-1'
- 8 GRADING PLAN
- 9 STREET SIGN PLAN
- 10 EROSION CONTROL PLAN



VICINITY MAP  
NOT TO SCALE

PREPARED FOR  
BH PHASE VISF, LTD.  
8214 WESTCHESTER DRIVE, SUITE 710 DALLAS, TEXAS 75225

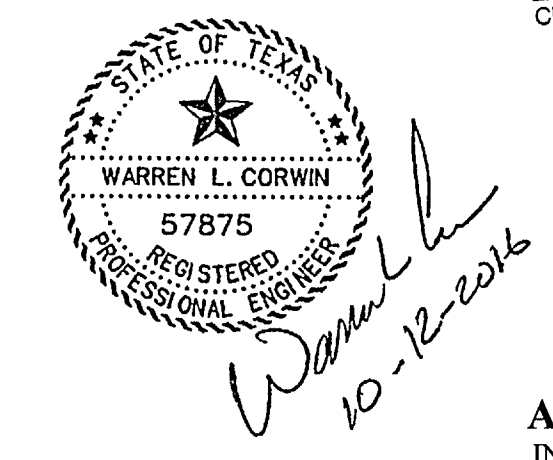
CORWIN ENGINEERING, INC. — CONSULTING ENGINEERS

200 W. BELMONT, SUITE E

TBPE FIRM #5951

ALLEN, TEXAS 75013

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
REMAINS WITH THE DESIGN ENGINEER. THE CITY  
OF ROCKWALL, IN REVIEWING AND RELEASING  
PLANS FOR CONSTRUCTION, ASSUMES NO  
RESPONSIBILITY FOR ADEQUACY OR ACCURACY  
OF DESIGN.  
CITY SW DATE 10-12-16



AS-BUILT JUNE 2017  
INFORMATION PROVIDED BY  
CONTRACTORS  
(NOT FIELD VERIFIED)

NOTE:  
CITY OF ROCKWALL STANDARDS  
AND NCTCOG 3rd ADDITION STANDARDS  
SHALL BE USED FOR REFERENCE.

NO.	REVISIONS	DATE

OWNERS CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THE CITY OF ROCKWALL
We the undersigned owner(s) of the land shown on this plat and designated herein as the BREEZY HILL PHASE VII, subdivision to the City of Rockwall, Texas, and whose name is subscribed to this plat, do hereby certify that the above and foregoing plat of the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

APPROVED:
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Mayor, City of Rockwall
City Secretary
City Engineer

LEGAL DESCRIPTION

BEING a tract of land situated in the J. Strickland Survey, Abstract No. 187 in the City of Rockwall, Rockwall County, Texas, being out of Tract 2, as described in Clerks File No. 2010000488894 in the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the northwest corner, Breezy Hill Phase I, on addition to the City of Rockwall, Texas, and being more particularly described as follows:
BEING, in Obs. 11, Pgs. 375-376 in the Plat Records of Rockwall County, Texas and being the most easterly corner of said tract 2;

THENCE, South 38° 56' 16" West, along the west line of said Breezy Hill Phase I, for a distance of 264.75 feet, to a 1/2 inch iron rod found;

THENCE, North 54° 02' 02" West, continuing along said west line, for a distance of 15.83 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 35° 45' 14" West, continuing along said west line, for a distance of 359.01 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, North 50° 34' 40" West - 571.66 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, North 50° 34' 40" West - 571.66 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, North 40° 24' 53" East, departing said north line and along the south line of said Breezy Hill Phase 4, for a distance of 348.16 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 78° 58' 52" East, continuing along said north line, for a distance of 29.78 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, North 89° 29' 27" East, continuing along said south line, for a distance of 158.55 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 89° 29' 27" East, continuing along said south line, for a distance of 191.34 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 54° 02' 02" East, continuing along said south line, for a distance of 264.77 feet, to the POINT OF BEGINNING and containing 6.802 acres of land.

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the plotting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

WARREN L. CORWIN
R.P.L.S. No. 4621
COUNTY OF COLLIN

BEFORE ME the undersigned a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for the State of Texas

Mortgage or Lien Interest

Richard M. Scarborough
President

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared RICHARD M. SCARBORG, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for the State of Texas My Commission Expires: \_\_\_\_\_

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared RICHARD M. SCARBORG, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for the State of Texas My Commission Expires: \_\_\_\_\_

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all conditions of the subdivision plat have been met. The City of Rockwall does not constitute any representation, assurance or guarantee that any building plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and accuracy of the plat for permanent and life protection within such plat, as required under Ordinance 83-94.

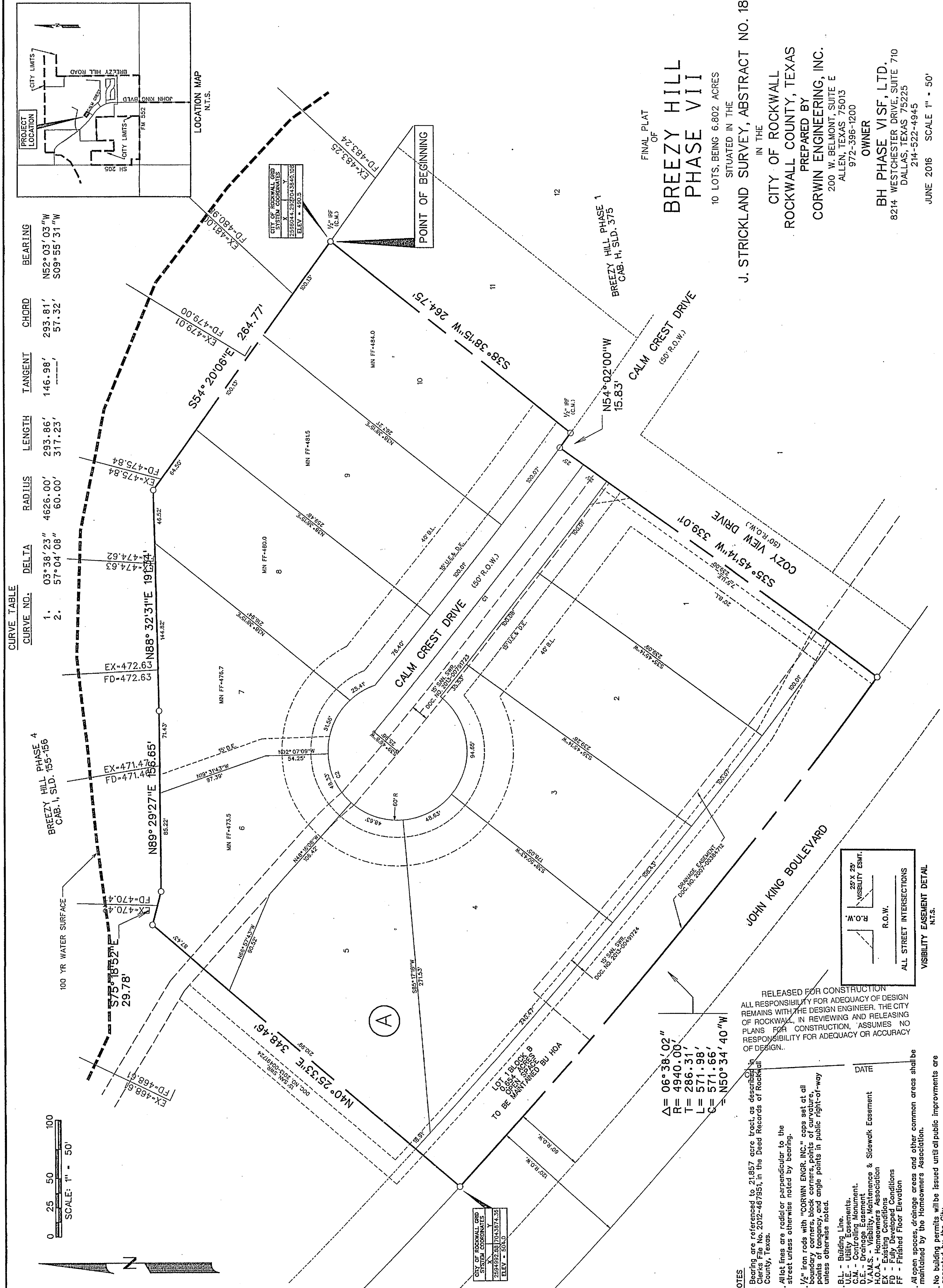
FINAL PLAT
OF
BREEZY HILL
PHASE VII

10 LOTS, BEING 6.802 ACRES
SITUATED IN THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT SUITE E
ALLEN, TEXAS 75013
972-396-1200

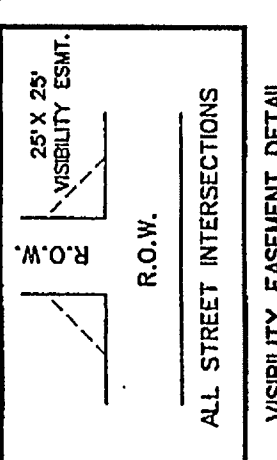
OWNER
BH PHASE VI, SF, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945
JUNE 2016

CASE #P2016-XXX SHEET 2 OF 2



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION AND RELEASING
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

- 1. Bearing are referenced to 21.857 acre tract, as described in Clerk's File No. 2012-487951, in the Deed Records of Rockwall County, Texas.
2. All lot lines are radial or perpendicular to the street unless otherwise noted by steering.
3. 1/2" iron rods with "CORWIN ENGR. INC." caps set at all points of tangency and angle points in public right-of-way unless otherwise noted.
4. B.L. - Building Line.
U.L. - Utility Easements.
D.E. - Drainage Easement.
V.M.A.S. - Visibility, Maintenance & Sidewalk Easement.
E.A.S. - Existing Conditions.
EX - Existing Conditions.
FD - Fully Developed Conditions.
FF - Finished Floor Elevation.
5. All open spaces, drainage areas and other common areas shall be maintained by the Homeowners Association.
6. No building permits will be issued until all public improvements are accepted by the City.



FINAL PLAT
OF
BREEZY HILL
PHASE VII
10 LOTS, BEING 6.802 ACRES
SITUATED IN THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
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ALLEN, TEXAS 75013
972-396-1200
OWNER
BH PHASE VI, SF, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945
JUNE 2016 SCALE 1" = 50'
CASE #P2016-XXX SHEET 1 OF 2



FLOOD PLAIN LIMITS  
 PER FEMA FIRM PANEL 48397C0030L  
 REVISED PER LOMR 13-06-2096P  
 EFFECTIVE JANUARY 17, 2014

BENCHMARK:  
 " X " Cut on top of curb on east side of John King Blvd.  
 approx. 48' north of the centerline of Pleasant View Dr.  
 ELEVATION = 505.61

SCALE: 1" = 50'

LEGEND

- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL
- EXIST. STORM SEWER
- ⊕ INLET NUMBER
- DRAINAGE AREA DIVIDE
- FLOW ARROW
- ⊕ DRAINAGE AREA NO.
- EX - EXISTING CONDITIONS
- FD - FULLY DEVELOPED CONDITIONS

RUNOFF COMPUTATIONS

#	Area (sf)	Area (acres)	Runoff Coefficient	Tc (min)	I(100) (in/hr)	Q(100) (cfs)	
1	49720	1.14	0.50	10	9.8	5.6	
2	80161	1.84	0.50	10	9.8	9.0	
3	128205	2.94	0.50	10	9.8	14.4	
4	26261	0.60	0.50	10	9.8	3.0	
5	19963	0.46	0.50	10	9.8	2.2	
6X	385067	8.84	0.50	10	9.8	43.3	Phase I
7X	236743	5.43	0.50	10	9.8	26.6	Phase I

Inlet Control vs. Outlet Control

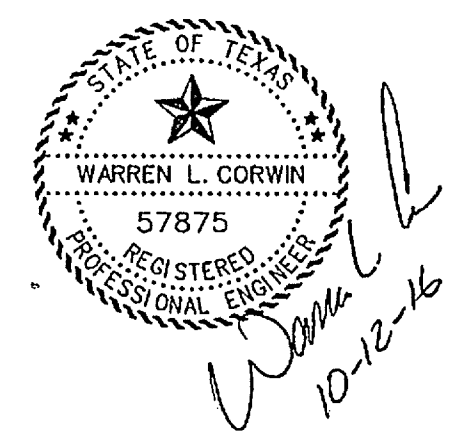
Block	Lot	Elevation		Governing Control	Headwater Elevation (ft)	U/S Elev. vs. Soffit (ft)
		Outlet Control (ft)	Inlet Control (ft)			
A	1	1.51	1.47	Outlet Control	1.51	-0.87
A	2	1.62	3.74	Inlet Control	3.74	-0.46
A	3	1.83	4.26	Inlet Control	4.25	0.05
A	4	2.18	3.58	Inlet Control	3.58	0.87
A	5	2.29	3.85	Inlet Control	3.85	1.15
A	6	2.34	3.97	Inlet Control	3.97	1.27
A	7	1.63	3.51	Inlet Control	3.51	-0.69
A	8	1.52	3.49	Inlet Control	3.49	-0.71
A	9	1.51	3.47	Inlet Control	3.47	-0.73
A	10	1.50	1.44	Outlet Control	1.50	-0.68

DRIVEWAY CULVERT CALCULATIONS  
 OUTLET CONTROL

Block	Lot	Receives Drainage From Lots	Drainage Area (sf)	Flow (cfs)	Ditch Slope	Ditch Capacity (cfs)	Pipe Size (in)	No. of Barrels	Area (per barrel) (sf)	Full Flow Velocity (fps)	Velocity Head (ft)	Hydraulic Slope (ft/ft)	Outlet Flowline (ft)	Ditch Depth (ft)	Starting Tailwater (ft)	Length @ Headwater Elevation (ft)	Upstream Soffit Elev. (ft)	Headwater Required (ft)	Inlet Flowline (ft)	Headwater Elevation (ft)	Inlet or Outlet Control?	U/S Elev. vs. Soffit (ft)		
																							Flowline Elevation (ft)	Headwater Elevation (ft)
A	1	1	14357	1.6	1.90%	232	18	1	1.7671	0.9	0.01	0.0002	0.00	0.44	1.50	36	1.51	2.18	0.04	0.68	1.47	Outlet Control	1.51	-0.87
A	2	1-2	40770	4.6	7.50%	102	18	1	1.7671	2.6	0.10	0.0019	0.00	0.50	1.50	36	1.62	4.20	0.29	2.70	3.74	Outlet Control	3.74	-0.46
A	3	1-3	67532	7.6	7.50%	463	18	1	1.7671	4.3	0.29	0.0052	0.00	0.80	1.50	36	1.83	4.20	0.80	2.70	4.25	Inlet Control	4.25	0.05
A	4	1-4	96365	10.8	3.35%	316	18	1	1.7671	6.1	0.58	0.0106	0.00	0.80	1.50	36	2.18	2.71	1.62	1.21	3.58	Inlet Control	3.58	0.87
A	5	1-5	104137	11.7	3.35%	316	18	1	1.7671	6.6	0.68	0.0124	0.00	0.82	1.50	36	2.29	2.71	1.90	1.21	3.85	Inlet Control	3.85	1.15
A	6	1-6	107458	12.1	3.35%	316	18	1	1.7671	6.8	0.73	0.0132	0.00	0.83	1.50	36	2.34	2.71	2.02	1.21	3.97	Inlet Control	3.97	1.27
A	7	7-10	18837	2.1	7.50%	463	18	1	1.7671	1.2	0.02	0.0004	0.00	0.37	1.50	36	1.53	4.20	0.06	2.70	3.51	Outlet Control	3.51	-0.69
A	8	8-10	15656	1.8	7.50%	463	18	1	1.7671	1.0	0.02	0.0003	0.00	0.35	1.50	36	1.52	4.20	0.04	2.70	3.49	Outlet Control	3.49	-0.71
A	9	9-10	9694	1.1	7.50%	463	18	1	1.7671	0.6	0.01	0.0001	0.00	0.29	1.50	36	1.51	4.20	0.02	2.70	3.47	Outlet Control	3.47	-0.73
A	10	10	4611	0.5	1.90%	232	18	1	1.7671	0.3	0.00	0.0000	0.00	0.22	1.50	36	1.50	2.18	0.00	0.68	1.44	Outlet Control	1.50	-0.68

AS-BUILT JUNE 2017  
 INFORMATION PROVIDED BY CONTRACTORS  
 (NOT FIELD VERIFIED)

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**CORWIN ENGINEERING, INC.**  
 200 W. BELMONT, SUITE E  
 ALLEN, TEXAS 75013 (972)396-1200  
 TBPE FIRM #5951

DEVELOPMENT PLANS FOR  
**BREZZY HILL  
 PHASE VII  
 ROCKWALL, TEXAS**

DRAINAGE AREA MAP

DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE	
16006	JUNE 2016	1"=50'	3 OF 10



FLOOD PLAIN LIMITS  
 PER FEMA FIRM PANEL 48397C0030L  
 REVISED PER COMR 13-06-2096P  
 EFFECTIVE JANUARY 17, 2014

BENCHMARK:  
 " X " Cut on top of curb on east side of John King Blvd.  
 approx. 48' north of the centerline of Pleasant View Dr.  
 ELEVATION = 505.61

SCALE: 1" = 50'

LEGEND

- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL
- EXIST. STORM SEWER
- Ⓧ INLET NUMBER
- DRAINAGE AREA DIVIDE
- FLOW ARROW
- ⊙ DRAINAGE AREA NO.

RUNOFF COMPUTATIONS

Area #	Area (sf)	Area (acres)	Runoff Coefficient	Tc (min)	I(100) (in/hr)	Q(100) (cfs)
EX1	263144	6.04	0.35	20	8.3	17.5
EX2	40902	0.94	0.35	20	8.3	2.7

EX1  
 AC. Q  
 6.04 17.5

6X  
 AC. Q  
 8.84 43.3

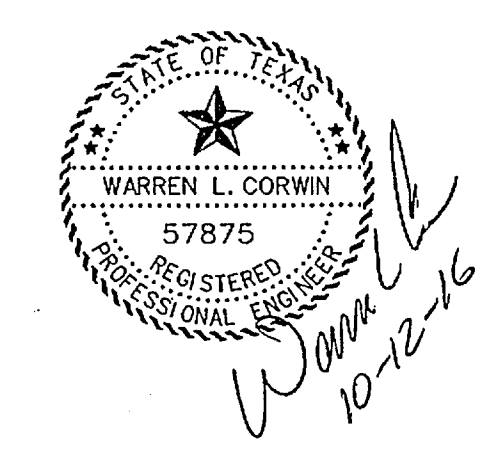
EX2  
 AC. Q  
 0.94 2.7

7X  
 AC. Q  
 5.43 26.6

AS-BUILT JUNE 2017  
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CITY \_\_\_\_\_ DATE \_\_\_\_\_

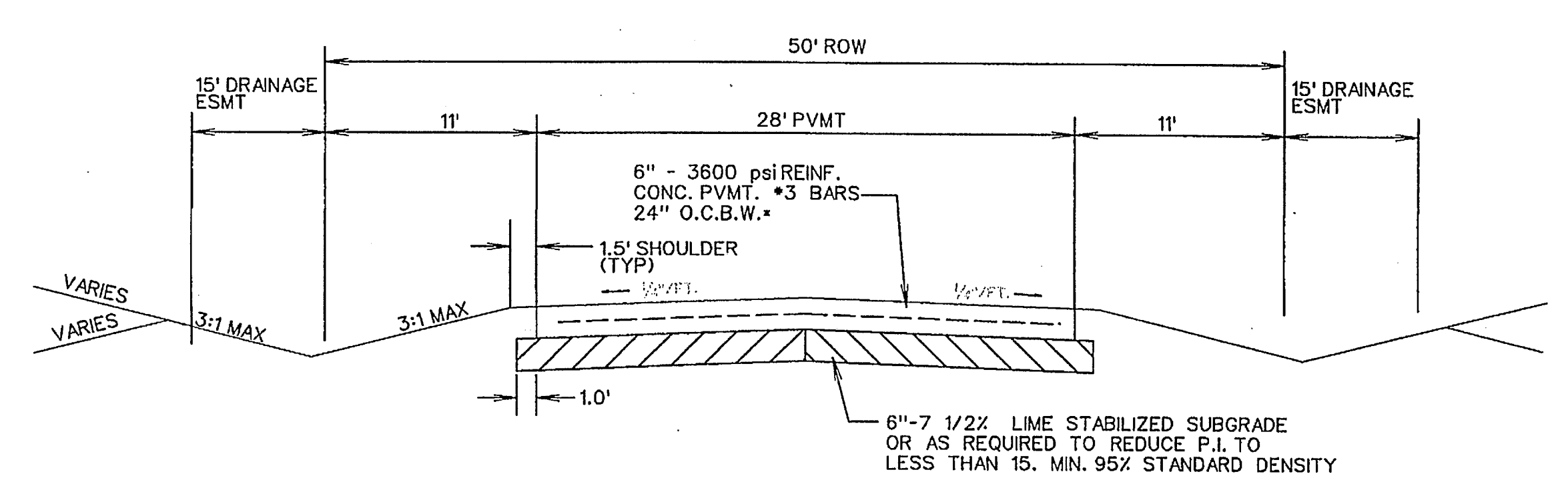
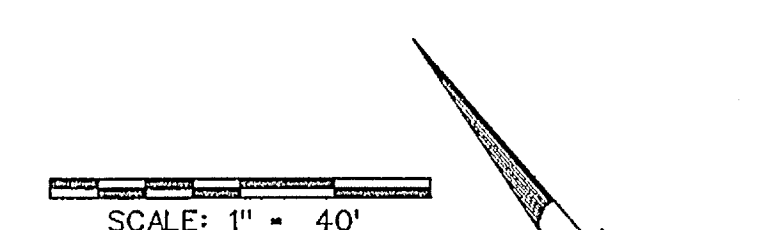
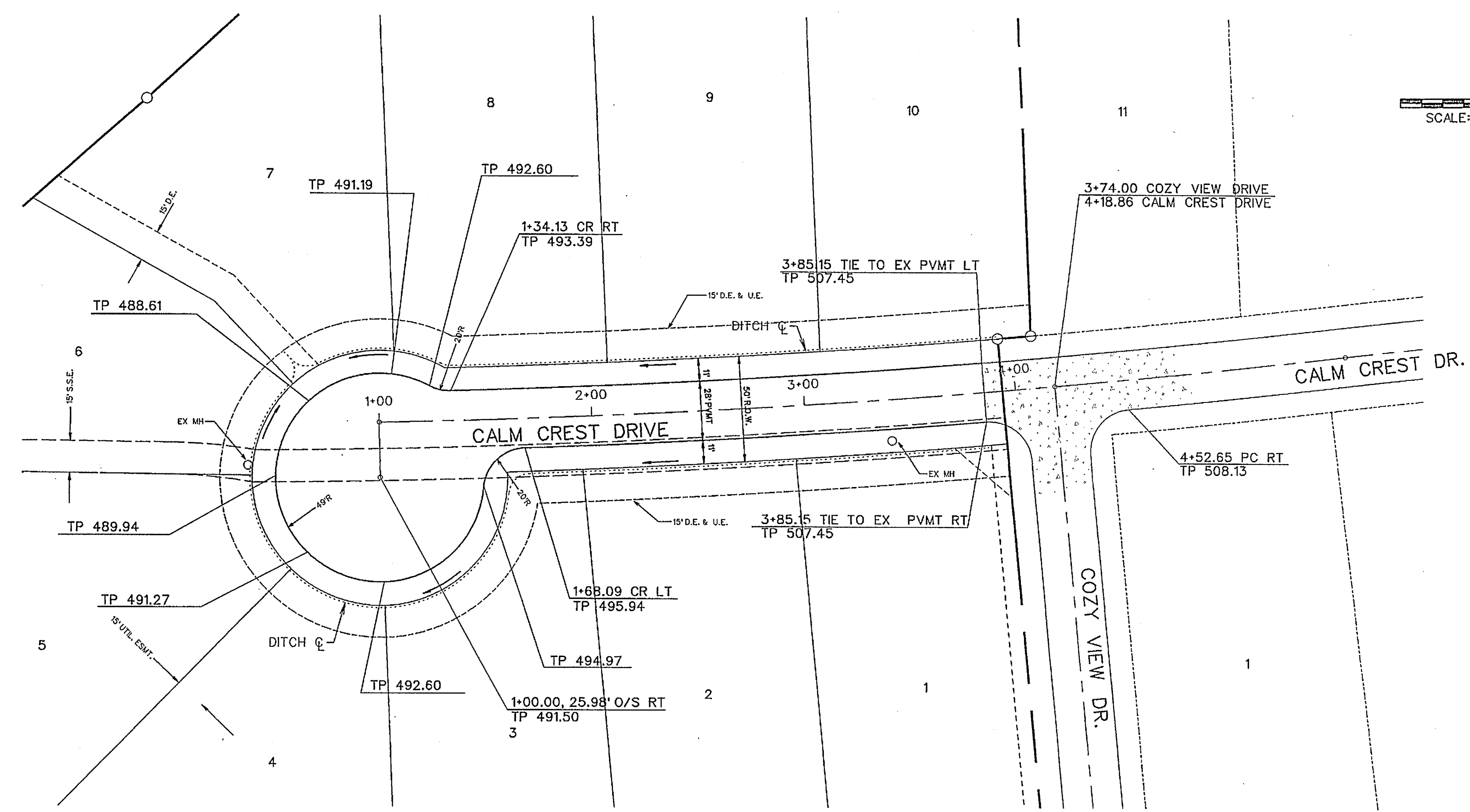


**CORWIN ENGINEERING, INC.**  
 200 W. BELMONT, SUITE E  
 ALLEN, TEXAS 75013 (972)396-1200  
 TBPE FIRM #5951

DEVELOPMENT PLANS FOR  
**BREEZY HILL**  
 PHASE VII  
 ROCKWALL, TEXAS

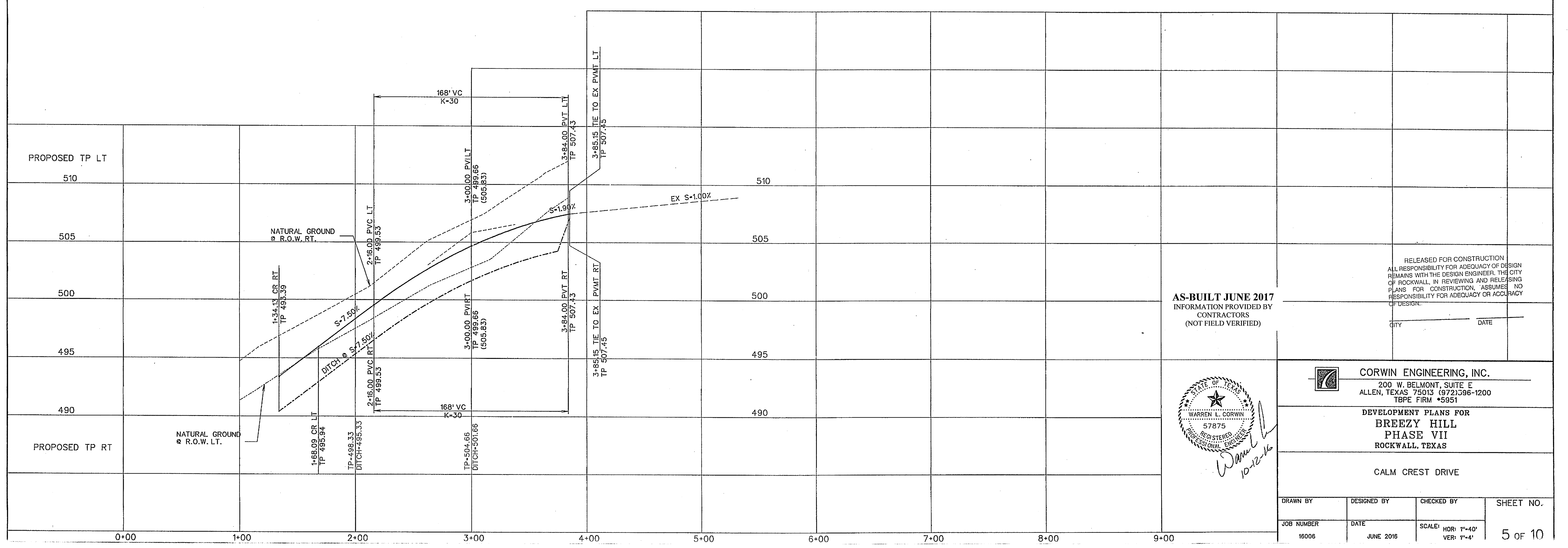
DRAINAGE AREA MAP  
 EXISTING CONDITIONS

DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE	4 of 10
16006	JUNE 2016	1"=50'	



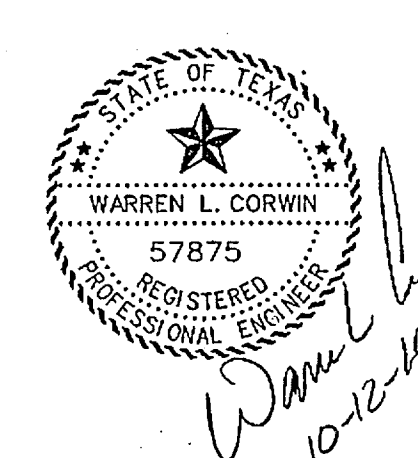
**TYPICAL PAVEMENT SECTION**  
N.T.S.  
\*MIN. 6.5 SACK MIX IF HAND PLACED  
6.0 SACK IF MACHINE PLACED

NOTE:  
CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITY LOCATION AND ELEVATION ARE BASED ON AS-BUILT DRAWINGS AND MAY DIFFER IN ACTUAL LOCATION AND ELEVATION.



AS-BUILT JUNE 2017  
INFORMATION PROVIDED BY CONTRACTORS  
(NOT FIELD VERIFIED)

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**CORWIN ENGINEERING, INC.**  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013 (972)396-1200  
TBE FIRM #5951

DEVELOPMENT PLANS FOR  
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**PHASE VII**  
ROCKWALL, TEXAS

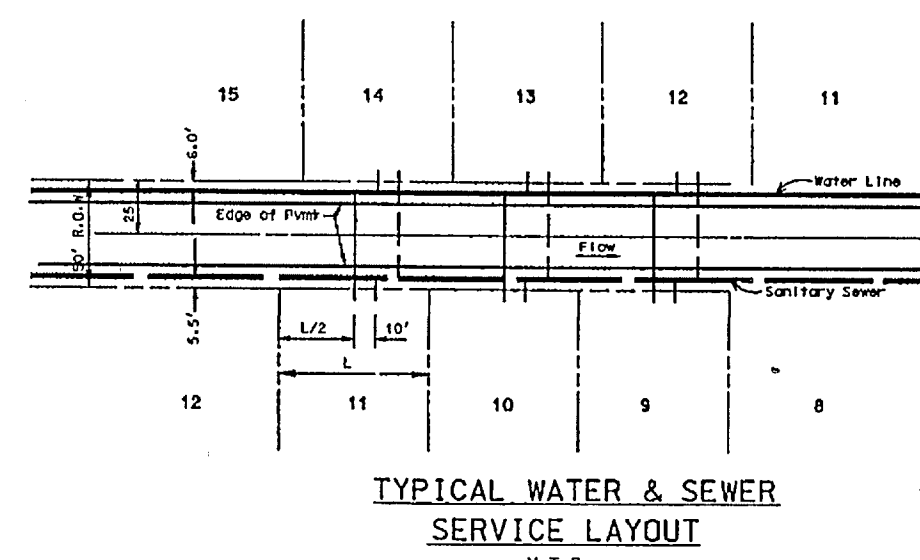
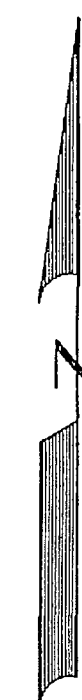
CALM CREST DRIVE

DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO. 5 OF 10
JOB NUMBER 16006	DATE JUNE 2016	SCALE: HOR: 1"=40' VER: 1"=4'	

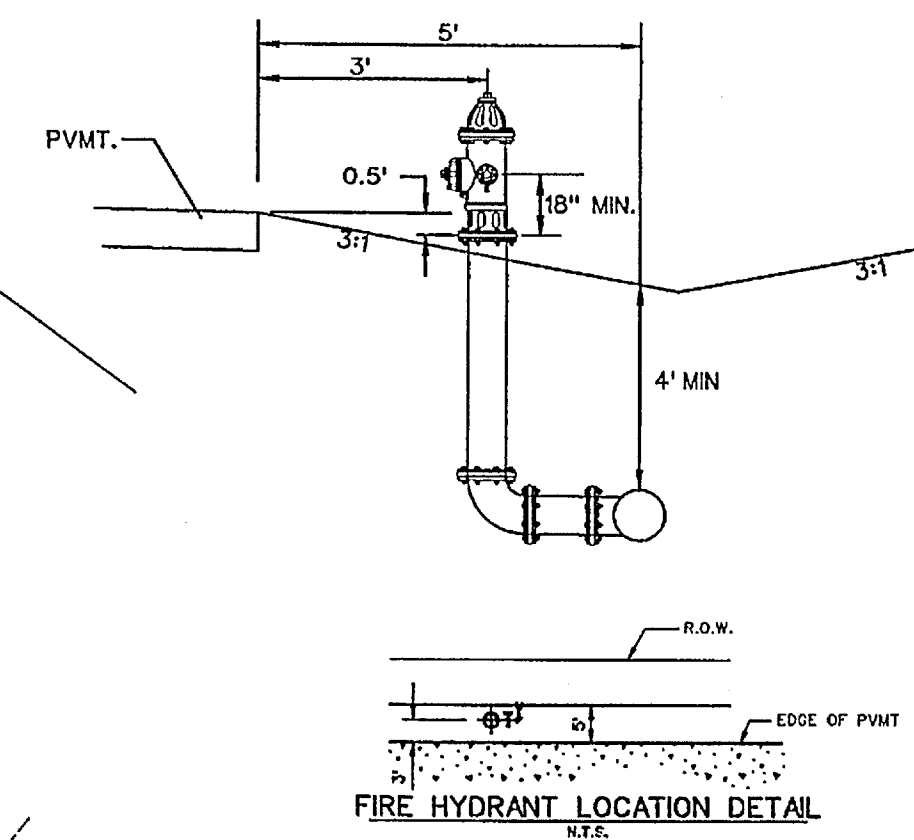
NOTE:

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES FOR LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. ALL UNDERGROUND UTILITIES SHOWN ARE FROM AS-BUILT PLANS AND NOT FIELD VERIFIED.

SCALE: 1" = 50'



BENCHMARK:  
" X " Cut on top of curb on east side of John King Blvd.  
approx. 48' north of the centerline of Pleasant View Dr.  
ELEVATION = 505.61

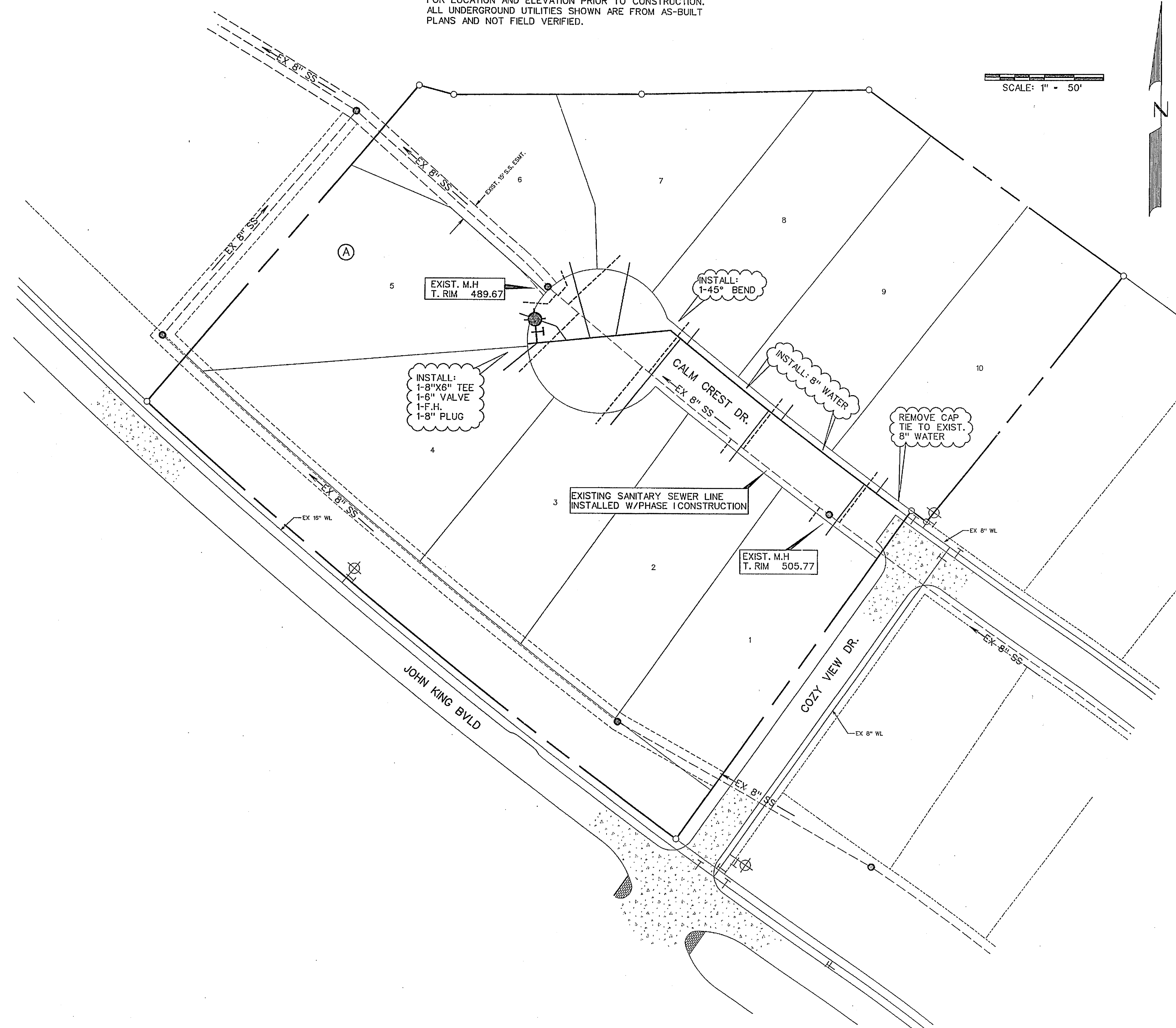


LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- EXIST. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL

NOTE:

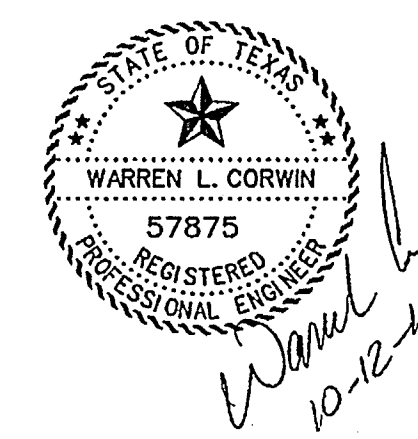
- ALL WATER LINES TO BE CLASS 200 PIPE C-900 DR 14.
- ALL SANITARY SEWER PIPE TO BE SDR 35 FOR 5-10' DEEP AND SDR 26 FOR 10' AND GREATER.
- INSTALL BLUE "EMS" DISK ON WATER LINE AT EVERY 250' AND CHANGE IN DIRECTION, VALVE, AND SERVICE.
- INSTALL GREEN "EMS" DISK ON SANITARY SEWER LINE EVERY 250' AND AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE.
- ALL MANHOLES TO BE RAVEN EPOXY LINED AND SEALED.



AS-BUILT JUNE 2017  
INFORMATION PROVIDED BY  
CONTRACTORS  
(NOT FIELD VERIFIED)

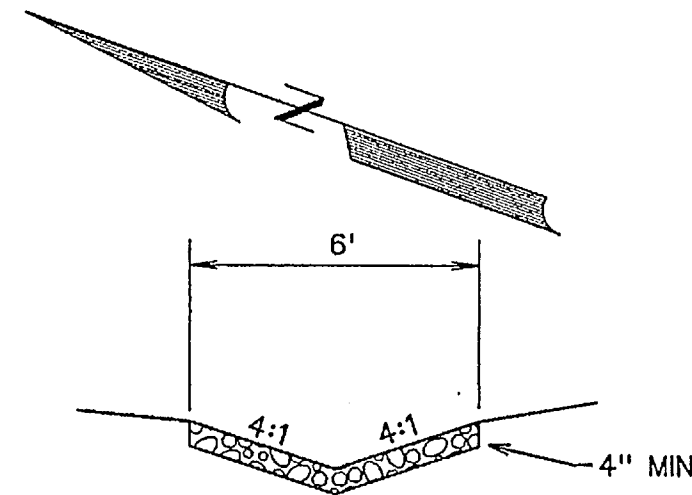
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CITY \_\_\_\_\_ DATE \_\_\_\_\_



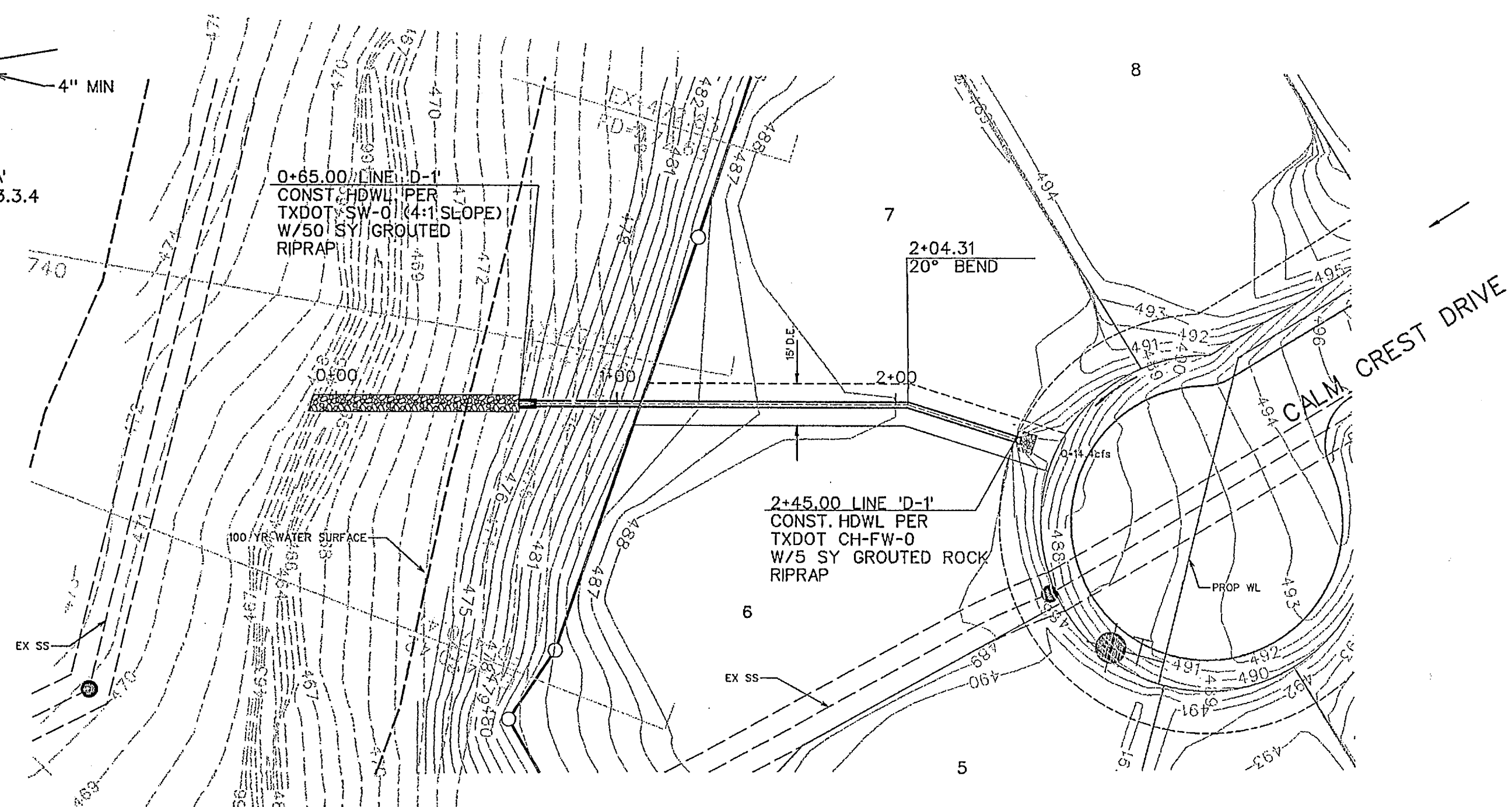
<b>CORWIN ENGINEERING, INC.</b> 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013 (972)396-1200 TBPE FIRM #5951			
DEVELOPMENT PLANS FOR <b>BREEZY HILL</b> PHASE VII ROCKWALL, TEXAS			
WATER AND SANITARY SEWER PLAN			
DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE:	6 of 10
16006	JUNE 2016	1"=50'	





SCALE: 1" = 40'

**GROUTED RIPRAP**  
GROUTED RIPRAP TYPE 'A'  
PER NCTCOG ITEM #803.3.3.4

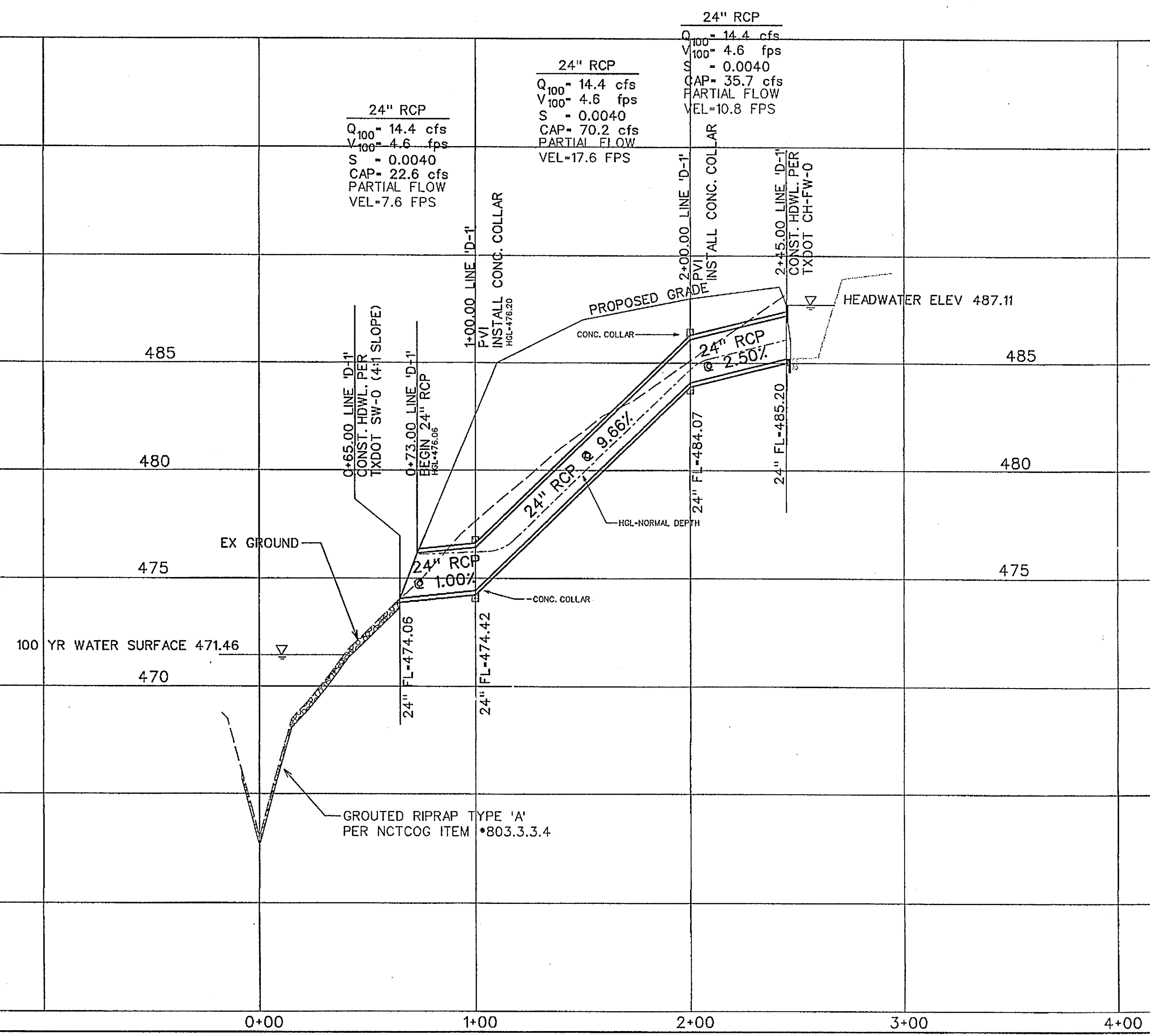


Upstream Station	Downstream Station	Distance (ft)	AREA NO.	Total Area (Acres)	Picked Up (Acres)	C	CA	Accumulated CA	To (Mn)	Design Storm (Years)	I (in/hr)	Q (CFS)	S (ft/ft)	Pipe Size (in)	Partial Flow?	Velocity (fps)	Flow Time (Min)	Velocity Head (ft)	Junction Type	K	Time at DS (Min)	Mnor Losses (ft)	Hydraulic Grade Upstream	Hydraulic Grade Downstream
2+45.00	2+00.00	45.00	3	2.94	2.94	0.50	1.47	1.47	10.00	100	9.80	14.4	0.0041	24	Y	4.6	0.16	0.33		1.25	10.16	0.41	477.19	476.79
2+00.00	1+00.00	100.00	0	0.00	0.50	0.00	1.47	10.16	100	9.78	14.4	0.0040	24	Y	4.6	0.36	0.32		1.00	10.53	0.00	476.60	476.60	
1+00.00	0+65.00	35.00	0	0.00	0.50	0.00	1.47	10.53	100	9.72	14.3	0.0040	24	Y	4.5	0.19	0.32		1.00	10.66	0.00	476.20	476.20	
0+65.00																							476.06	

BENCHMARK:

" X " Cut on top of curb on east side of John King Blvd.  
approx. 48' north of the centerline of Pleasant View Dr.

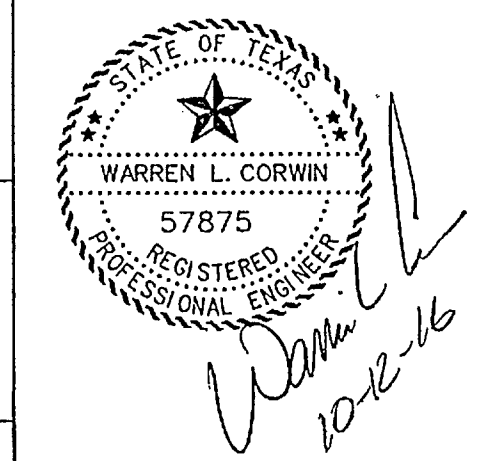
ELEVATION = 505.61



**AS-BUILT JUNE 2017**  
INFORMATION PROVIDED BY  
CONTRACTORS  
(NOT FIELD VERIFIED)

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
REMAINS WITH THE DESIGN ENGINEER. THE CITY  
OF ROCKWALL, IN REVIEWING AND RELEASING  
PLANS FOR CONSTRUCTION, ASSUMES NO  
RESPONSIBILITY FOR ADEQUACY OR ACCURACY  
OF DESIGN.

CITY \_\_\_\_\_ DATE \_\_\_\_\_

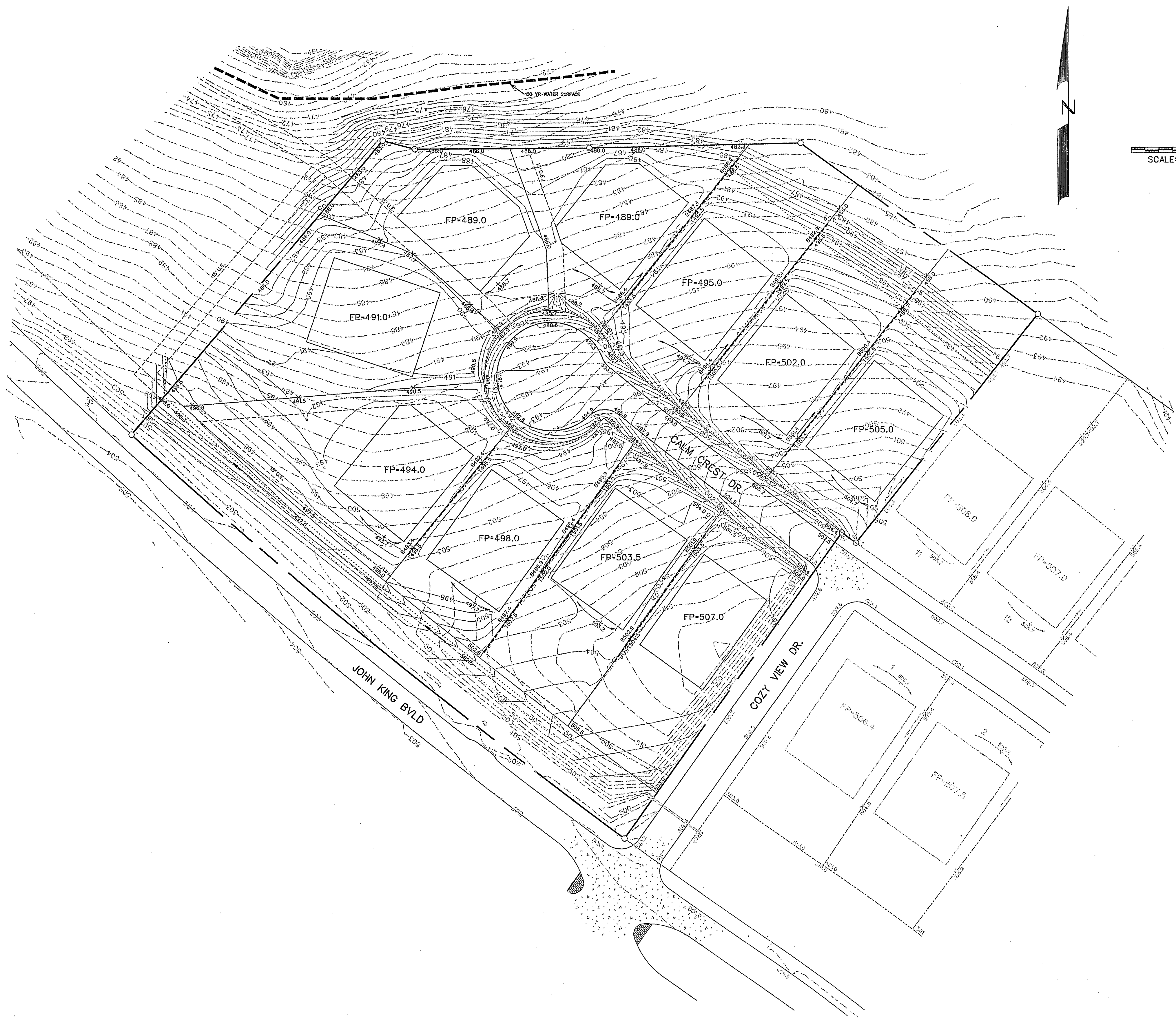


**CORWIN ENGINEERING, INC.**  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013 (972)396-1200  
TBPE FIRM #5951

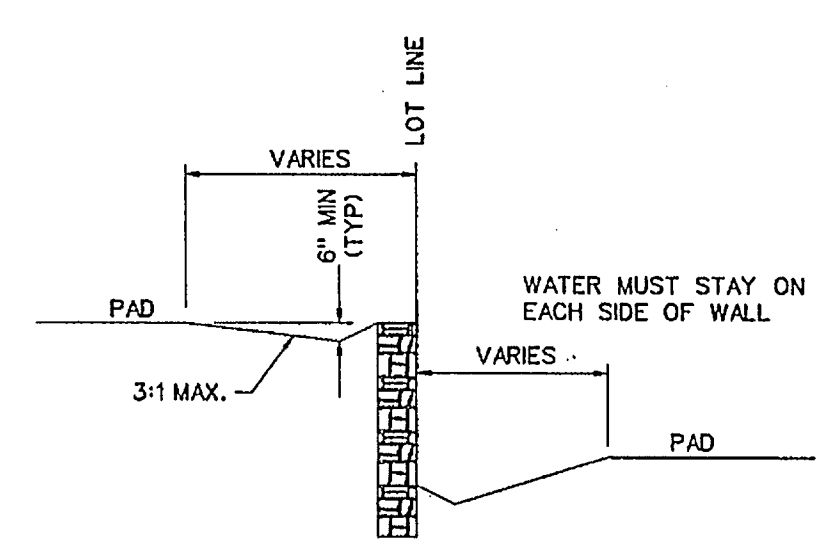
DEVELOPMENT PLANS FOR  
**BREEZY HILL**  
PHASE VII  
ROCKWALL, TEXAS

STORM SEWER PLAN AND PROFILE  
LINE "D-1"

DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE: HOR: 1"=40' VER: 1"=4"	7 of 10
16006	JUNE 2016		



SCALE: 1" = 50'



TYPICAL SIDEYARD RETAINING WALL  
N.T.S.

NOTE:  
RETAINING WALLS 3' IN HEIGHT AND OVER  
NEED AN ENGINEER SEALED PLAN.  
(PLANS TO BE SUBMITTED PRIOR  
TO ENGINEERING APPROVAL)

⊗ DRIVEWAY LOCATION SO MAXIMUM 14%  
SLOPE OR UNDER IS MAINTAINED, OR AS TO  
AVOID INLET.  
(DRIVEWAY MAY BE PLACED AT ALTERNATE  
LOCATION WITH USE OF A DROP GARAGE AS  
LONG AS MAXIMUM SLOPE IS 14% OR UNDER)

LEGEND

- SPOT ELEVATION 706.2
- EXIST. CONTOUR --- 700 ---
- PROP. CONTOUR --- 704 ---
- RETAINING WALL - - - - -

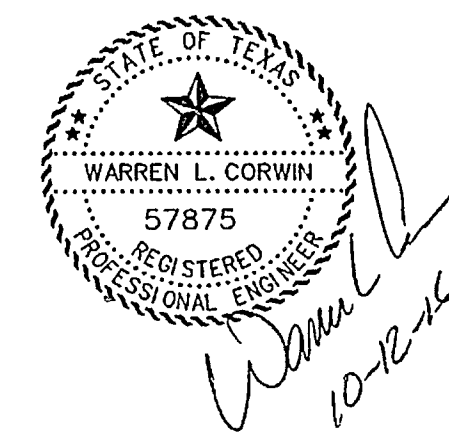
Note:  
Each lot will need a detailed grading plan  
with building permit submittal. This is a  
general grading plan for site work only.


NOTES:

1. Finish Floor Elevation to be  
0.70 Feet above Finished Pad.(FP)
2. Additional Erosion Control to be  
installed in Parkways as determined  
by the City Inspector.
3. Finished Pad Elevations are  
within ± 0.3 Feet.
4. All fill compacted to min 95% std.  
density using sheeps foot roller.
5. No portion of the wall to be  
built in an easement, right-of-way, or on  
property line ( must be clearly on construction

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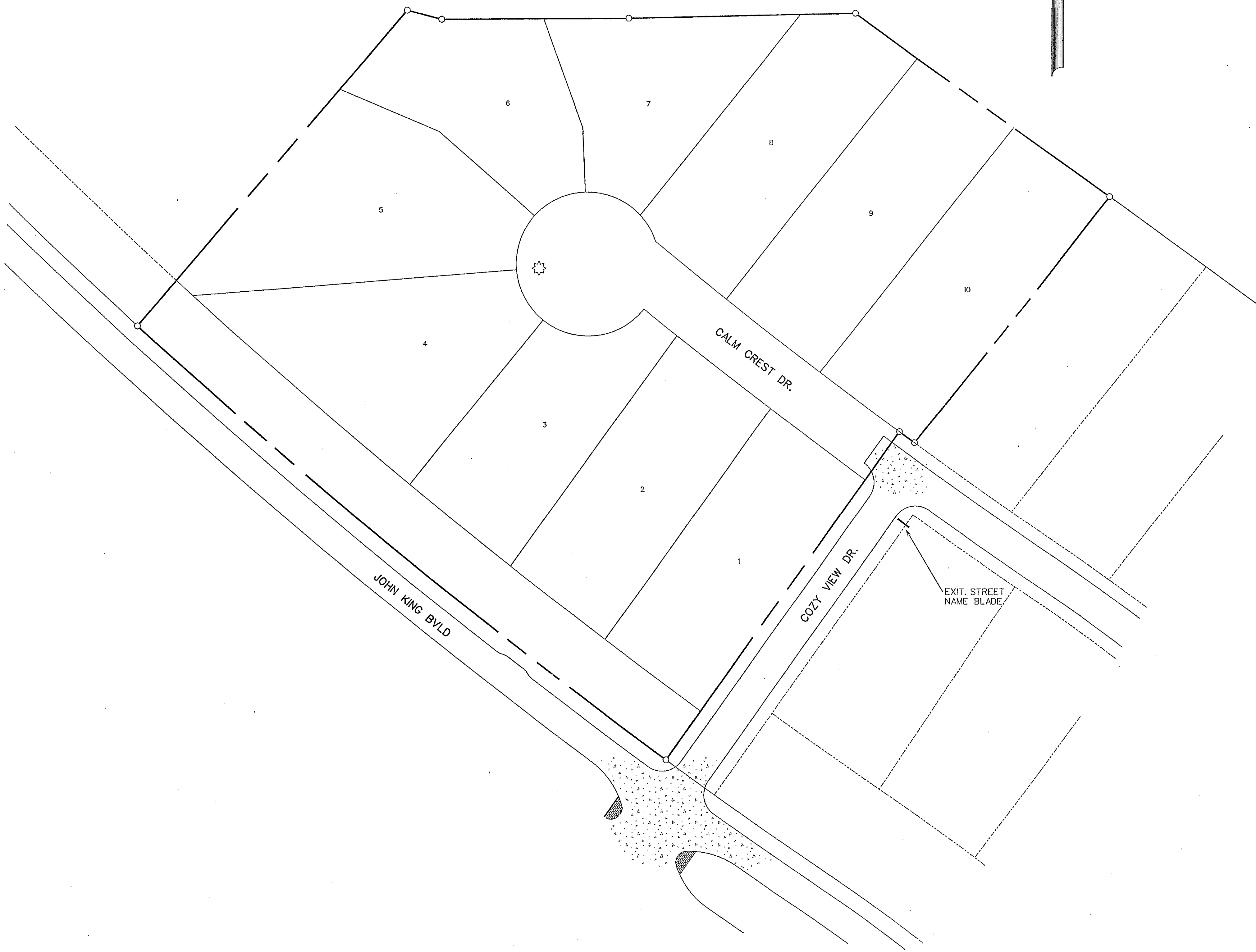
AS-BUILT JUNE 2017  
INFORMATION PROVIDED BY  
CONTRACTORS  
(NOT FIELD VERIFIED)



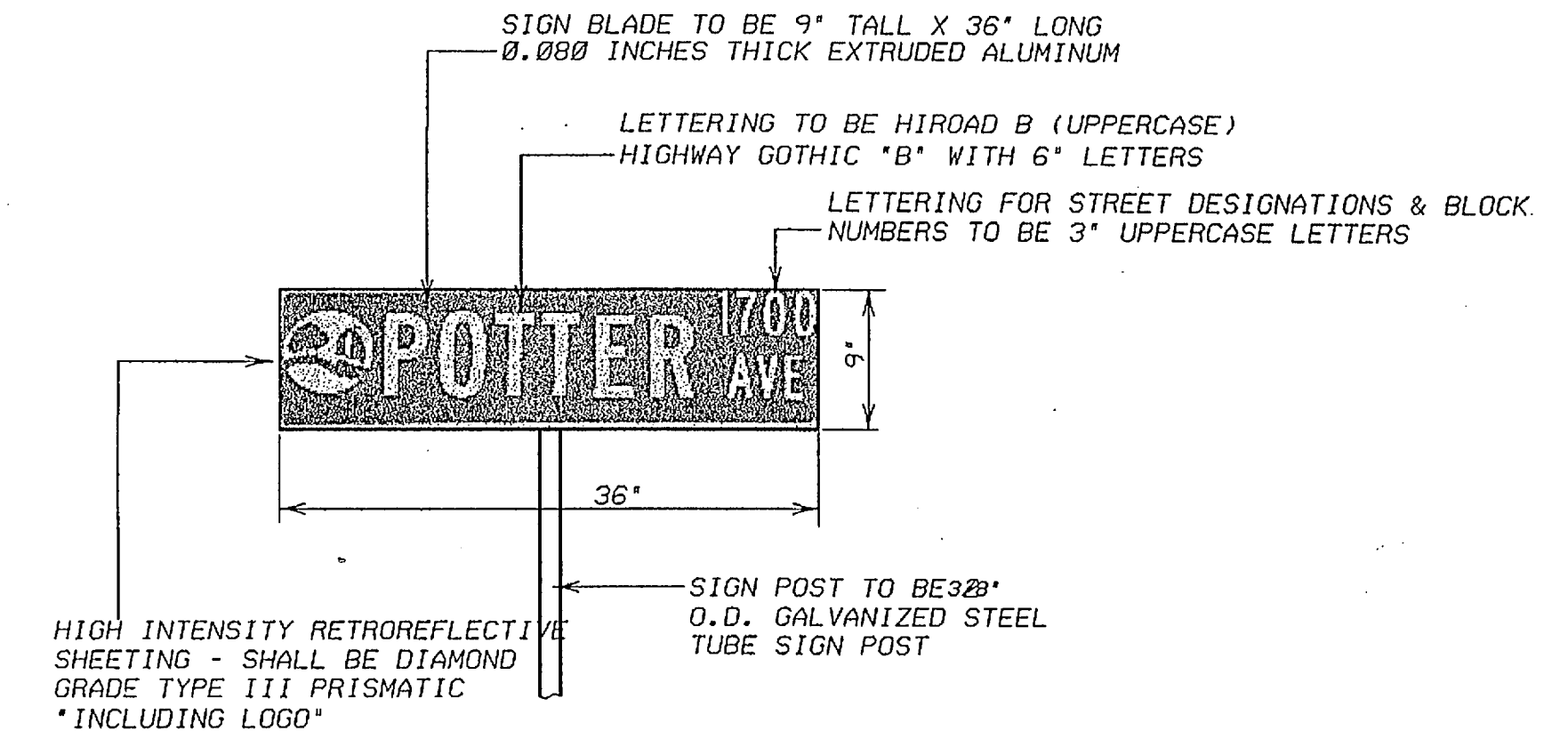
 <b>CORWIN ENGINEERING, INC.</b> 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013 (972)396-1200 TBPE FIRM #5951			
DEVELOPMENT PLANS FOR <b>BREEZY HILL          PHASE VII          ROCKWALL, TEXAS</b>			
GRADING PLAN			
DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE:	8 OF 10
16006	JUNE 2016	1"=50'	



SCALE: 1" = 50'



NOTE: STREET NAME SIGNS SHALL CONSIST OF A WHITE LEGEND INCLUDING LOGO ON A GREEN BACKGROUND.



STREET SIGN DETAIL  
NOT TO SCALE

STREET SIGN NOTES

All signage installed shall comply with the current "Texas Manual on Uniform Traffic Control Devices" and the "Standard Highway Sign Designs for Texas".

The developer shall be responsible for furnishing and installing all regulatory, warning and street name signs and sign mounts in accordance with the approved engineering plans.

Block Numbers are required on all street name blades.

Street Name Blades shall be nine inch (9") tall extruded aluminum. The blades shall be 0.080 inches thick.

High Intensity Retro reflective Sheeting for Street, Regulatory, and Warning Signs - shall be high intensity diamond grade type III prismatic.

The Lettering for the street blades shall be HIROAD B with all uppercase fonts. "Highway Gothic B" with six- inch letters. Letters for abbreviated street designations shall be three inches (3") tall with all uppercase fonts (i.e., LN, PKWY, CT, etc.). Block numbers shall be three- inches (3") tall.

The street sign background shall be green and the legend shall be white.

The street sign blade must incorporate the current City of Rockwall logo.

For a street with a cul-de-sac end, a standard W 14-2a shall be mounted over the street name blade.


Sign posts shall be 2 3/8" O.D. galvanized steel tube sign post with a galvanized finish.

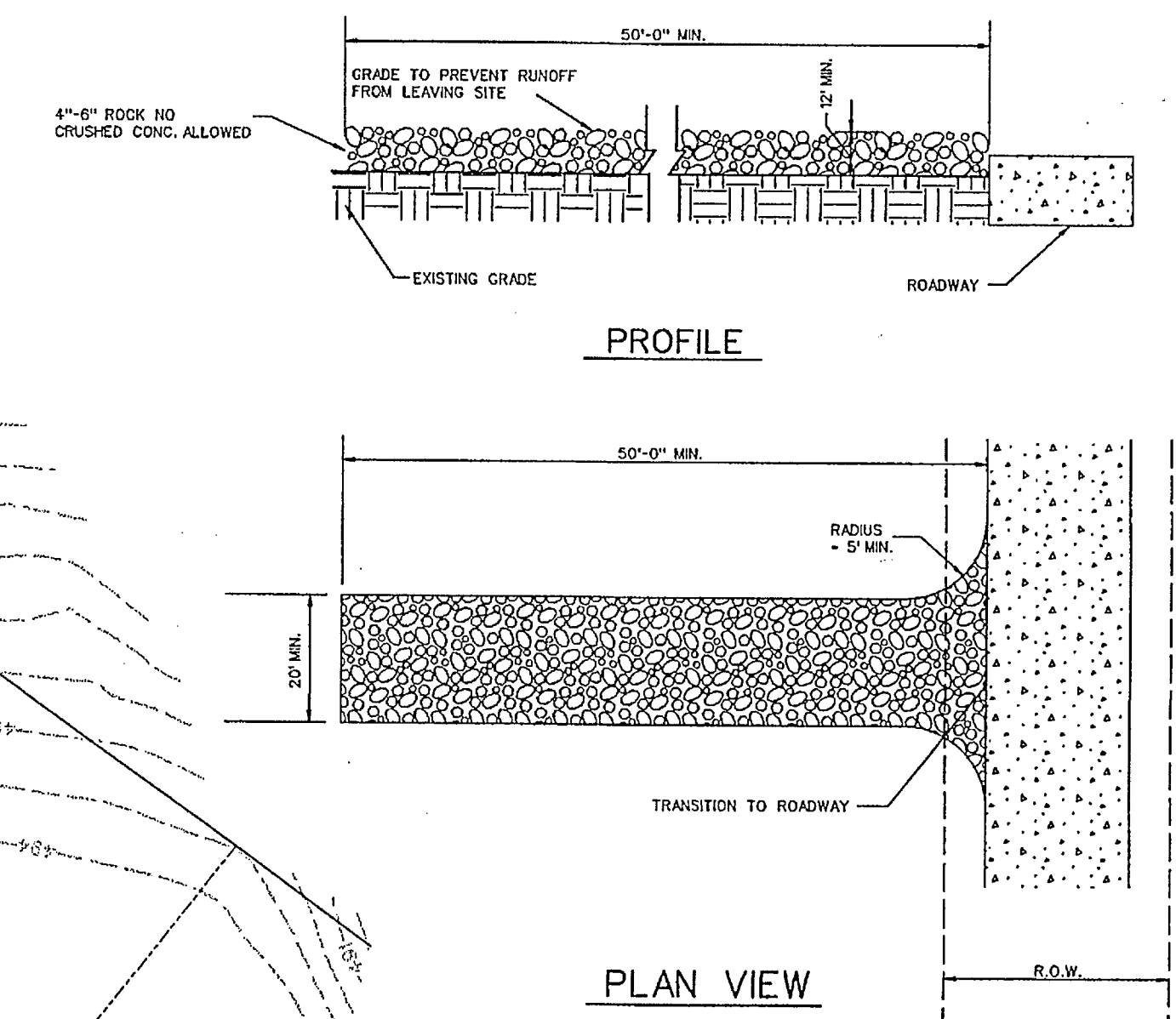
Sign clamps and brackets shall be high strength aluminum.

RELEASED FOR CONSTRUCTION  
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

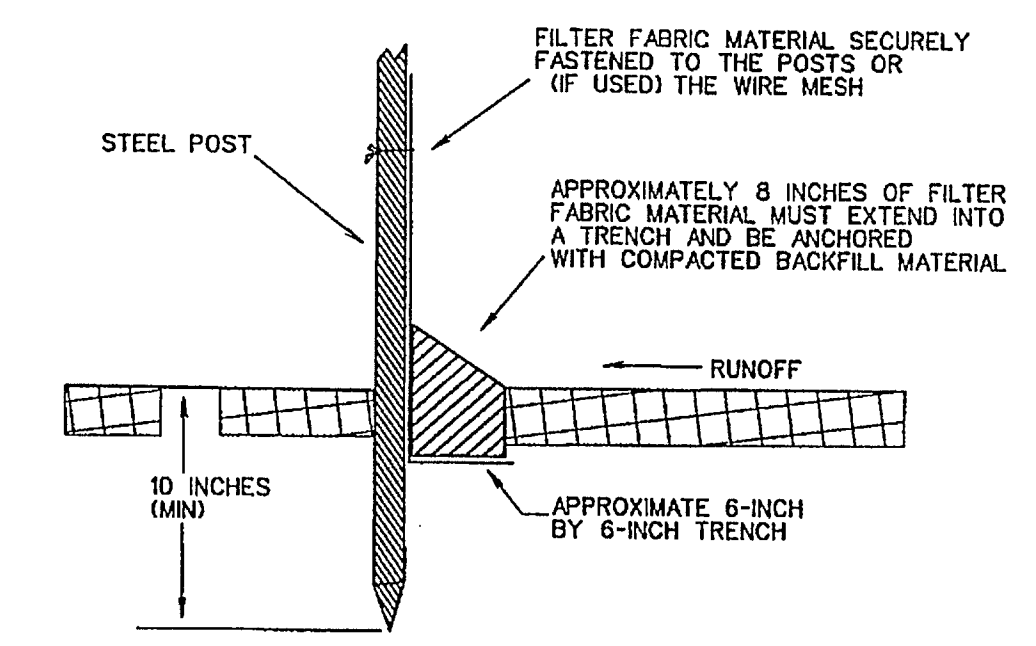
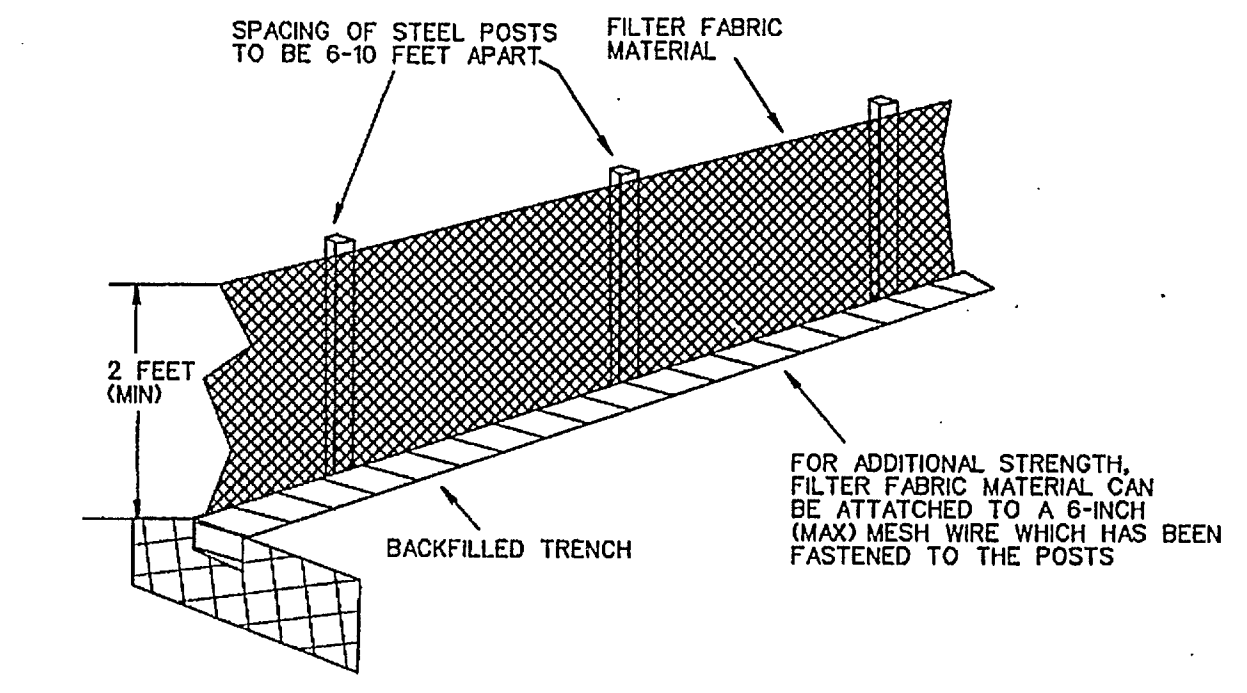
- LEGEND
- ☼ - STREET LIGHT
  - - STOP SIGN
  - - STREET NAME BLADE

AS-BUILT JUNE 2017  
INFORMATION PROVIDED BY  
CONTRACTORS  
(NOT FIELD VERIFIED)

CITY _____ DATE _____			
 <b>CORWIN ENGINEERING, INC.</b> 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013 (972)396-1200 TBPE FIRM #5951			
DEVELOPMENT PLANS FOR <b>BREEZY HILL</b> PHASE VII ROCKWALL, TEXAS			
STREET SIGN PLAN			
DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE:	9 OF 10
18006	JUNE 2016	1"=50'	



STABILIZED ENTRANCE DETAIL



FILTER FABRIC FENCE DETAIL

- CONSTRUCTION SEQUENCE**
1. GRADING CONTRACTOR TO INSTALL TEMPORARY STABILIZED ENTRANCE.
  2. INSTALL SILT FENCE AS SHOWN, (TS-600 POLY FELT) PER C.O.G. SPECIFICATIONS.
  3. PERFORM GRADING AND UTILITY CONSTRUCTION.
  4. SILT FENCE SHALL REMAIN IN PLACE UNTIL RE-VEGETATION HAS BEEN COMPLETED.
  5. PAVING CONTRACTOR SHALL REMOVE TEMPORARY STABILIZED ENTRANCE.
  6. 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM 1" STAND OF GRASS PRIOR TO ENGINEERING ACCEPTANCE.

**AS-BUILT JUNE 2017**  
 INFORMATION PROVIDED BY  
 CONTRACTORS  
 (NOT FIELD VERIFIED)

**LEGEND**

SILT FENCE (BEFORE CONSTRUCTION) RELEASED FOR CONSTRUCTION ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

<b>CORWIN ENGINEERING, INC.</b> 200 W. BELMONT, SUITE E ALLEN, TEXAS 75013 (972)396-1200 TBPE FIRM #5951			
DEVELOPMENT PLANS FOR <b>BREEZY HILL          PHASE VII          ROCKWALL, TEXAS</b>			
<b>EROSION CONTROL PLAN</b>			
DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE:	
16006	JUNE 2016	1"=50'	10 OF 10