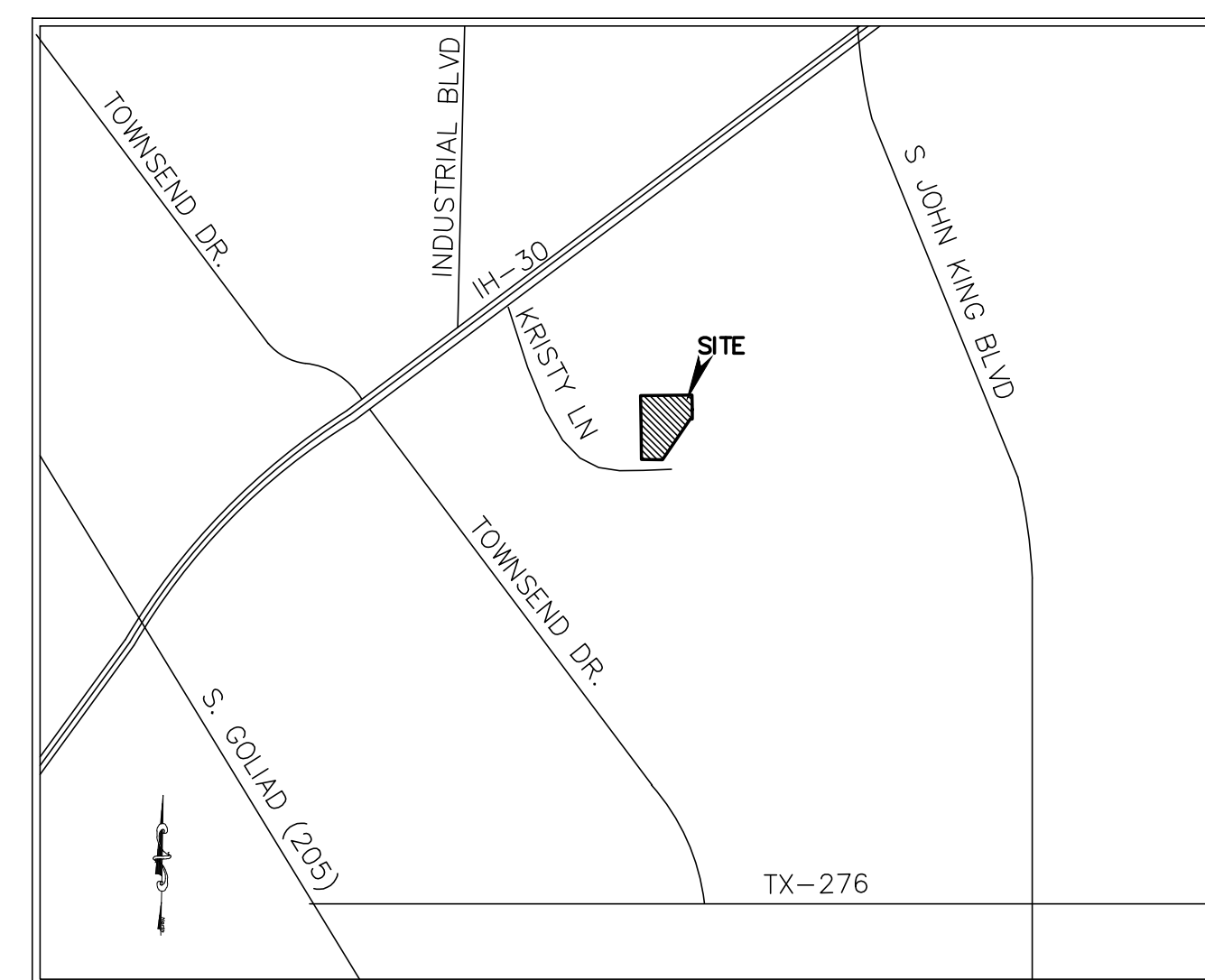


SITE IMPROVEMENT PLANS
for
BACON PLUMBING OFFICE
PHASE 2

2055 Kristy Lane
Lot 1-M, 3.54 ACRES
City of Rockwall
Rockwall County, Texas

INDEX



Location Map

SHEET NO.	DESCRIPTION
C100	Cover Sheet Plat
C101	Site, Paving, & Dimension Control Plan
C102	Site Utility Plan
C103	Pre-Drainage Area Plan (REFERENCE only)
C103A	Drainage Area Plan
C104	Grading & Drainage Plan
C105	Erosion Control Plan
A100	Architectural Site Plan/Landscape Plan
D101	Site Details General Notes

OWNER:

BACON PROPERTY, LLC
295 Ranch Trail, Rockwall, Texas 75032
Contact: Brad Bacon (972)236-5794

ENGINEER:

MONK CONSULTING ENGINEERS, INC.

GERALD E. MONK, P.E.

1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761
jerry@monkconsulting.com
REG. NO.: F-2567

RECORD DRAWING 1/22/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk
GERALD E. MONK, P.E.

SUBMITTAL DATE:

1 st	1/26/23
2 nd	3/23/23



Gerald Monk
4/10/23

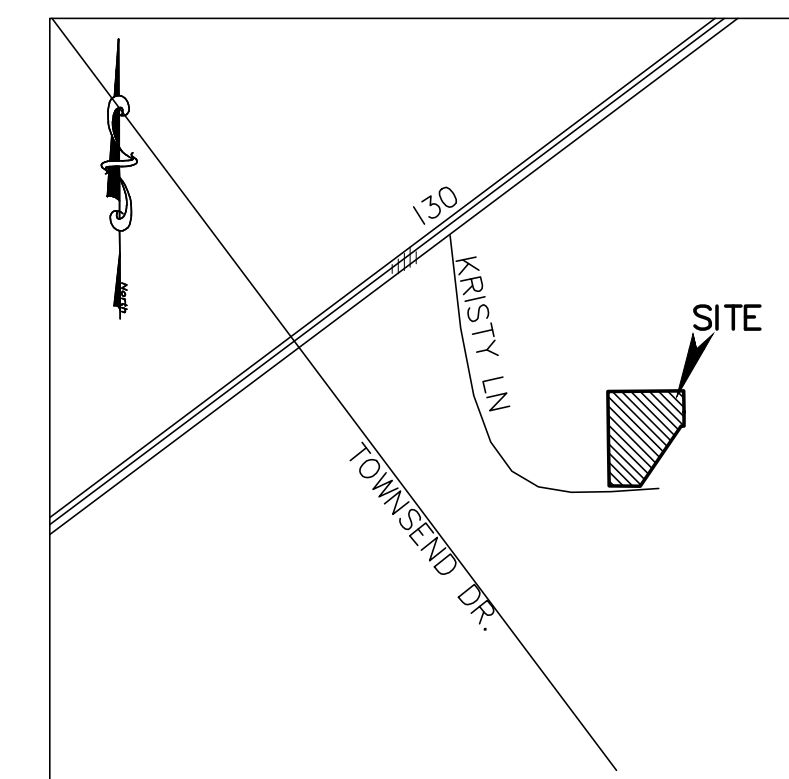
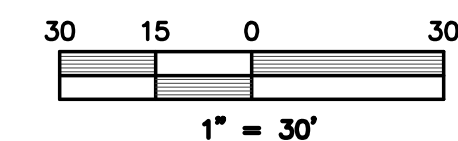
CASE #: SP2022-050

NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #'S	DATED
1			

- NOTES:**
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 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
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 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

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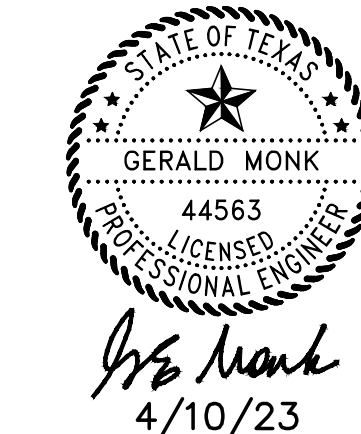


LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EX. SS- = EXISTING SANITARY SEWER LINE
- EX. W- = EXISTING WATER LINE
- ⊕FH = EXISTING FIRE HYDRANT
- ∞ WM = EXISTING WATER METER
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- ⊙ LP = EXISTING LIGHT POLE
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- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊕ = PROPOSED FIRE HYDRANT
- [Pattern] = EXISTING FIRELANE
- [Pattern] = EXISTING EASEMENT TO BE ABANDONED
- [Pattern] = PROPOSED FIRELANE PAVING
- [Pattern] = PROPOSED 6" PAVING

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE # SP2022-050

SITE, PAVING, & DIMENSION CONTROL PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032
CONTACT: BRAD BACON (972)236-5794

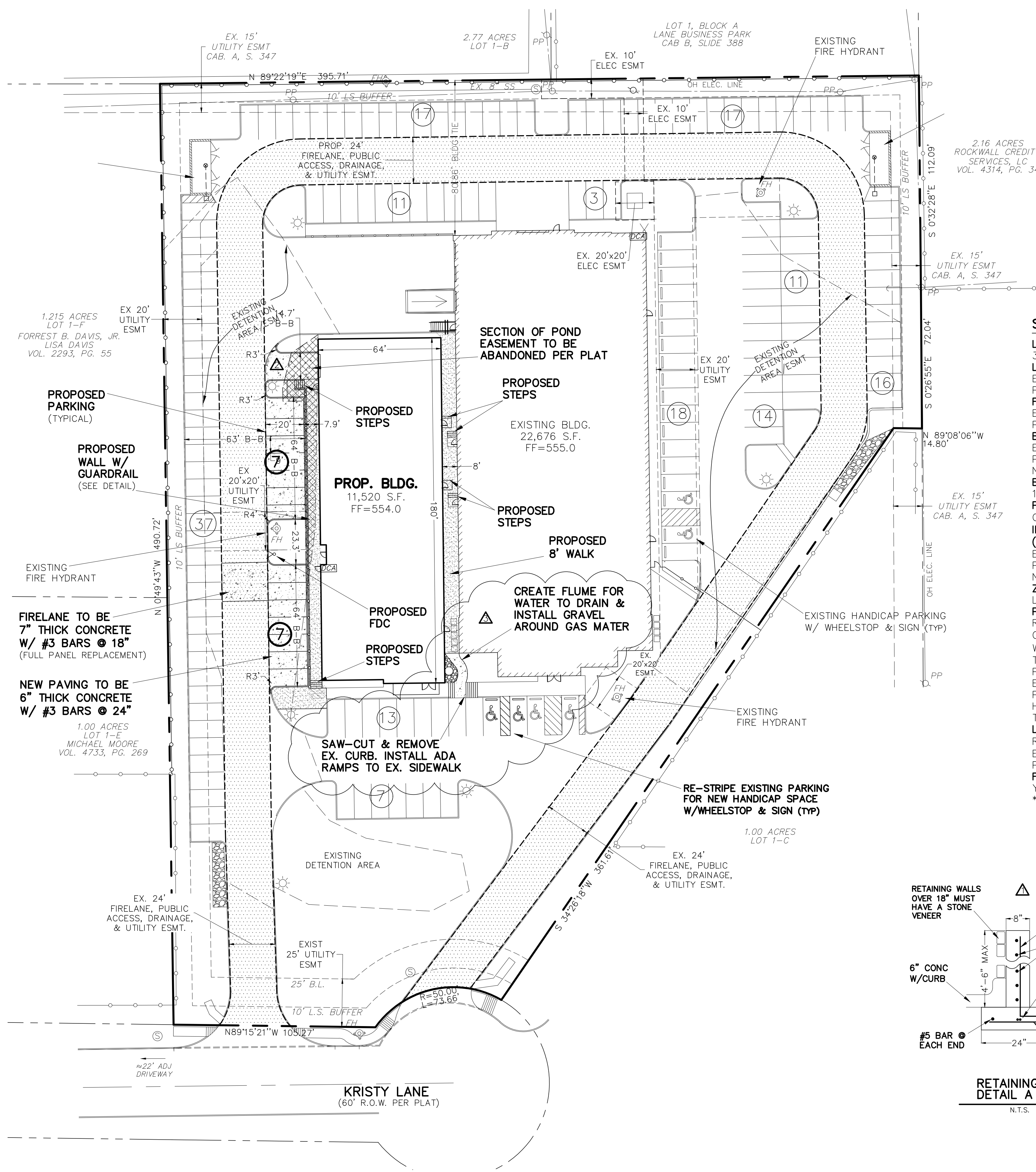
prepared by

MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

BENCHMARK:
PK NAIL IN CONCRETE.
NORTHING=7,021,752.890
EASTING=2,601,063.913
ELEVATION = 549.01'

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date: 4/10/23 scale: 1" = 30' sheet: C101

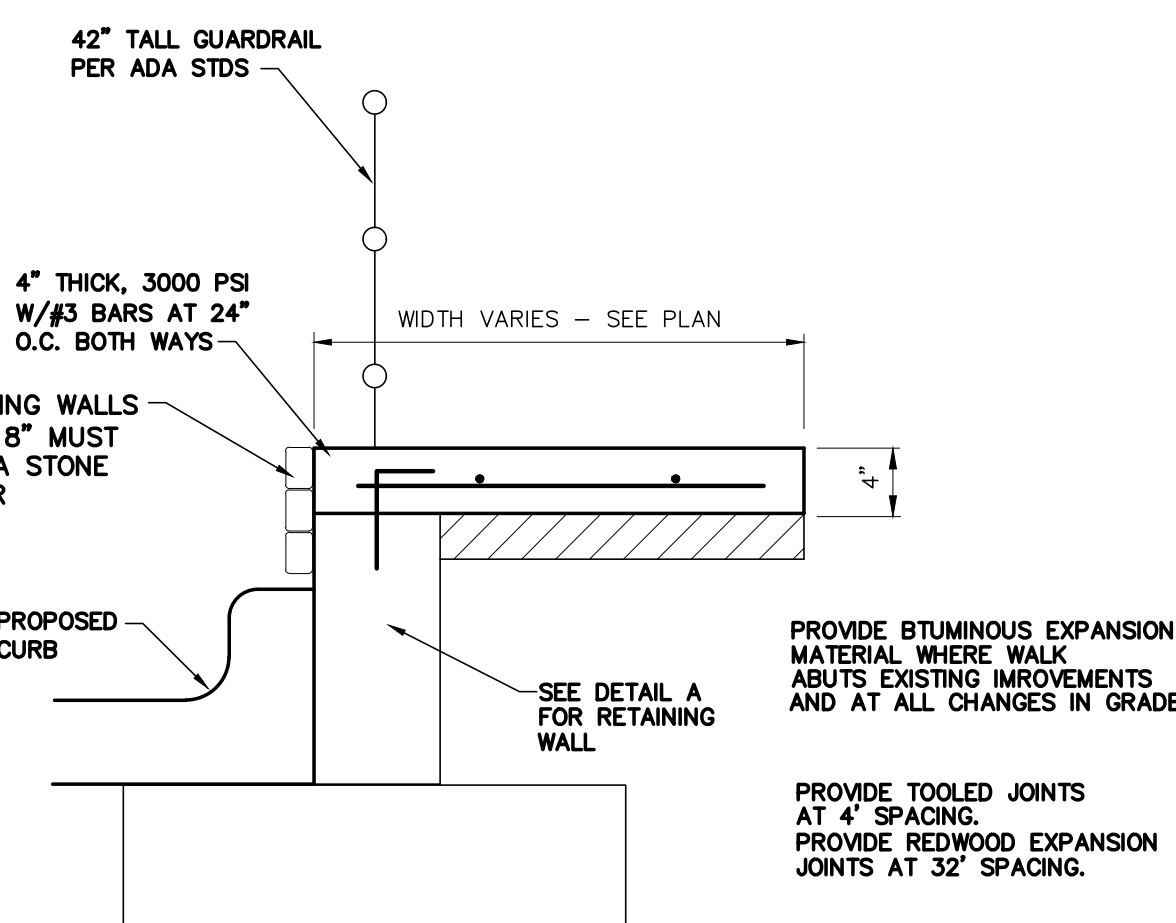


SITE DATA:

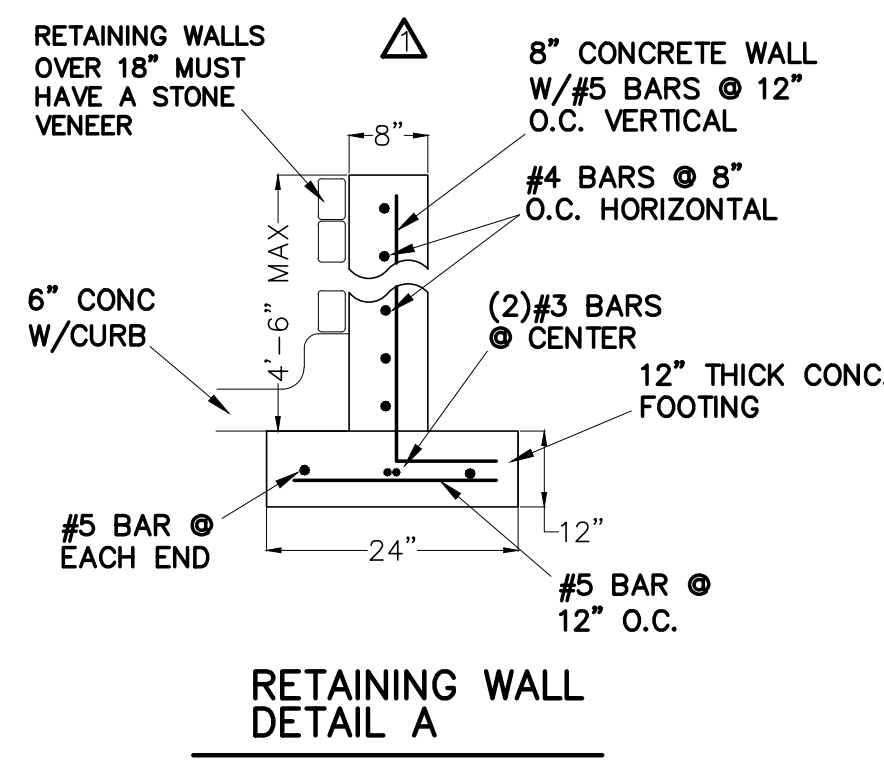
LOT AREA:
3.57 Acres, 155,294 sq.ft.
LOT COVERAGE:
Existing - 14.6%
Proposed - 22.02%
FLOOR TO AREA RATIO:
Existing - 6.85:1
Proposed - 4.54:1
BUILDING AREA:
Existing: 22,676 sq.ft.
Proposed: 11,520 sq.ft.
NEW TOTAL: 34,196 sq.ft.
BUILDING HEIGHT:
1 STORY
PROPOSED USE:
Office/Warehouse
IMPERVIOUS AREA (including buildings):
Existing: 106,733 sq.ft.
Proposed: 17,594 sq.ft.
NEW TOTAL: 124,327 sq.ft.
ZONING:
I1
PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 11+12
TOTAL = 65
Provided:
Existing Standard = 159
Proposed = 15
Handicap = 6
Total Provided = 179
LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Existing Provided: 48,561 sq.ft.
Proposed Provided: 30,967 sq.ft.
FIRESPRINKLER:
YES
* THERE ARE EXIST. BUILDINGS & TREES ON THIS SITE

PAVING NOTES:

- 1) NEW PARKING LOT PAVING TO BE 6" THICK (SIDEWALK TO BE 4"), 3000 PSI, 6 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C.
- 2) FIRELANE PAVING TO BE 7" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #4 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 3) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
- 4) NO SAND UNDER PAVING OR SIDEWALK.
- 5) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND



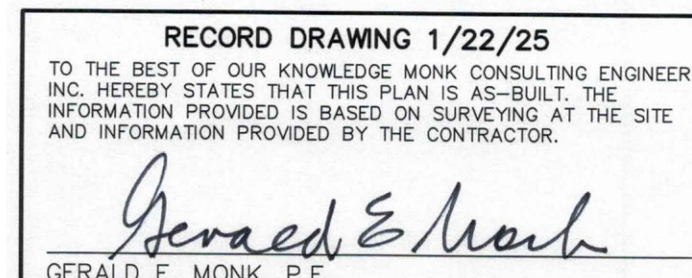
STEMWALL SIDEWALK WITH HANDRAIL
N.T.S.



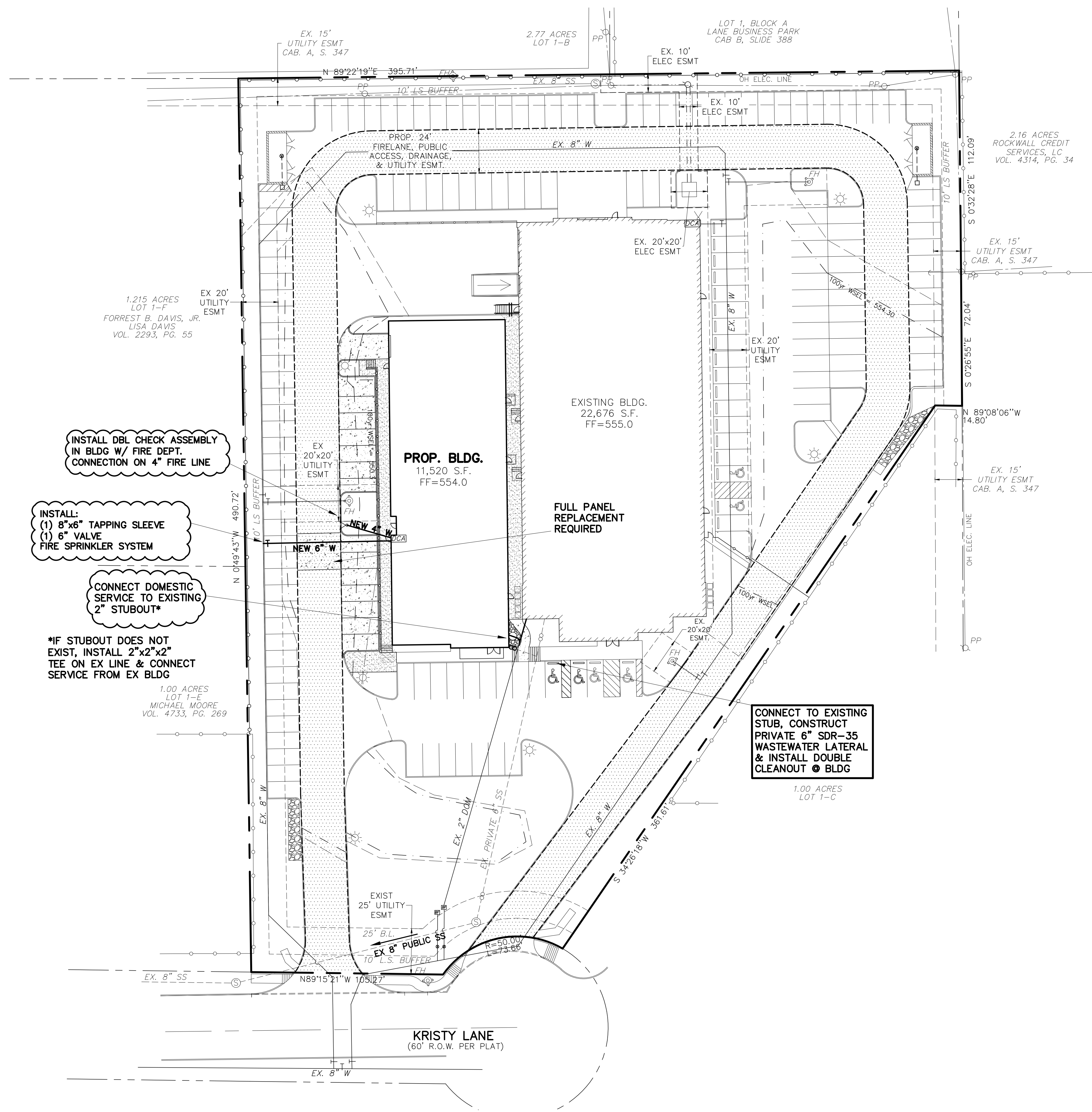
RETAINING WALL DETAIL A
N.T.S.

PAVING DETAIL
N.T.S.

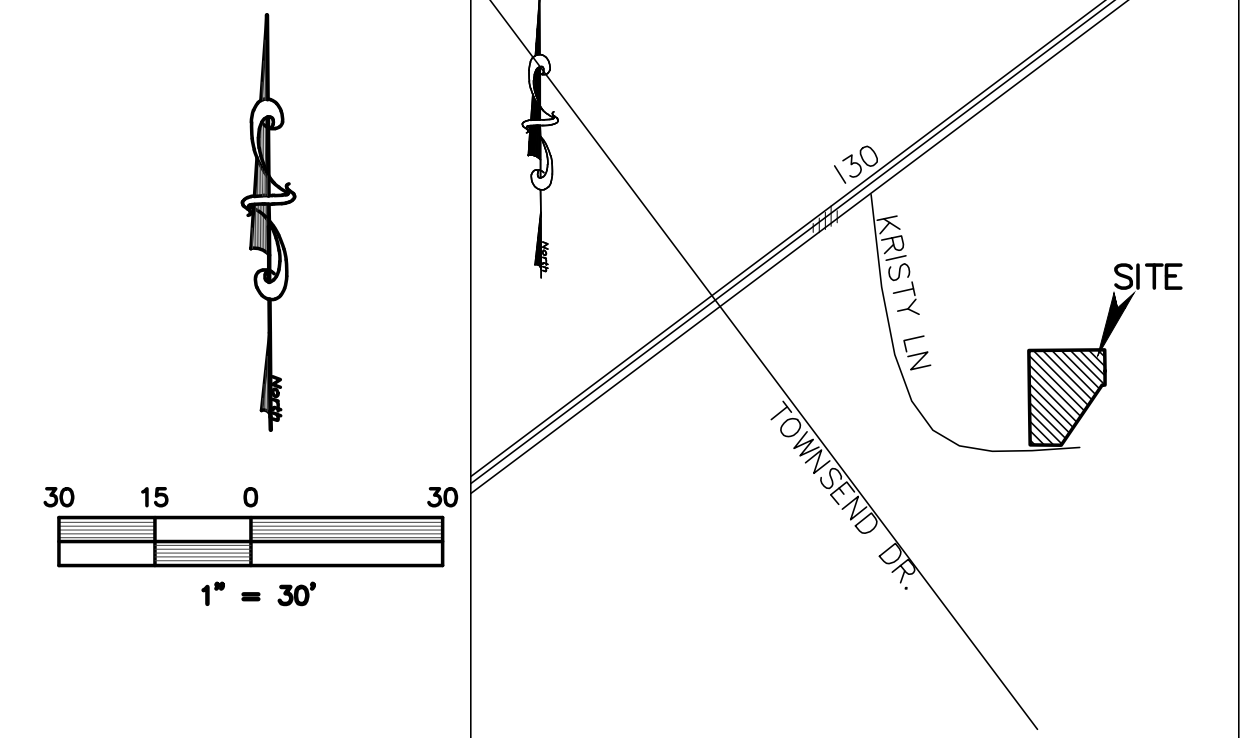
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WARNING:
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!!!! CAUTION !!!!
CALL 811 TO LOCATE
UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION



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 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL WATER & SEWER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
 - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
 - 6) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.
 - 7) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION.
 - 8) CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE SANITARY SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
 - 9) ALL MANHOLES TO BE RAVEN LINED OR CONSHIELD LINER (TERRA COTTA COLOR).
 - 10) WATER LINE: DR14 C-900 CLASS 200

LOCATION MAP
(NOT TO SCALE)

LEGEND

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EX. SS	= EXISTING SANITARY SEWER LINE
EX. W	= EXISTING WATER LINE
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LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
FH	= PROPOSED FIRE HYDRANT
---	= EXISTING FIRELANE

INSTALL DBL CHECK ASSEMBLY IN BLDG W/ FIRE DEPT. CONNECTION ON 4" FIRE LINE

INSTALL:
 (1) 8"x6" TAPPING SLEEVE
 (1) 6" VALVE
 FIRE SPRINKLER SYSTEM

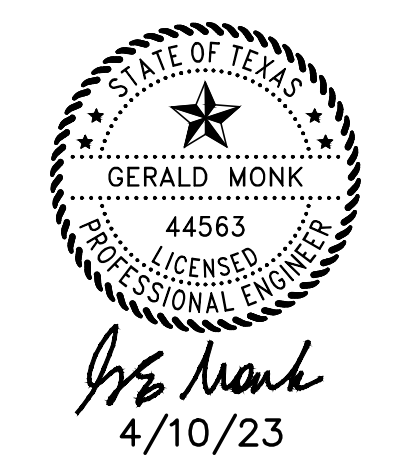
CONNECT DOMESTIC SERVICE TO EXISTING 2" STUBOUT*

*IF STUBOUT DOES NOT EXIST, INSTALL 2"x2"x2" TEE ON EX LINE & CONNECT SERVICE FROM EX BLDG

CONNECT TO EXISTING STUB, CONSTRUCT PRIVATE 6" SDR-35 WASTEWATER LATERAL & INSTALL DOUBLE CLEANOUT @ BLDG

WATER LINE: DR14 C-900 CLASS 200

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CASE # SP2022-050

UTILITY PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
 LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
 City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
 295 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 CONTACT: BRAD BACON (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

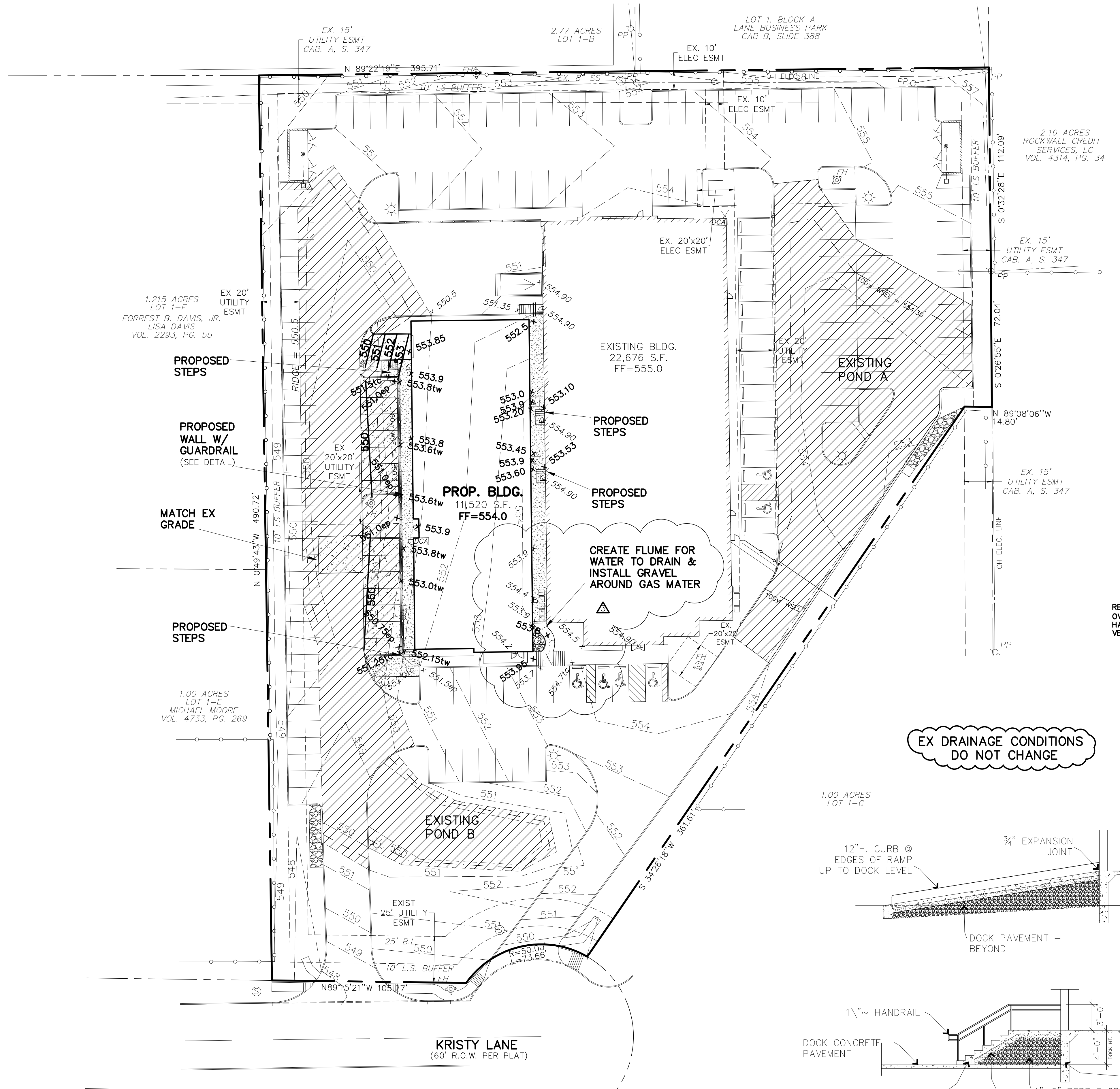
REG No.: F-2567
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 date: 4/10/23 scale: 1" = 30' sheet: C102

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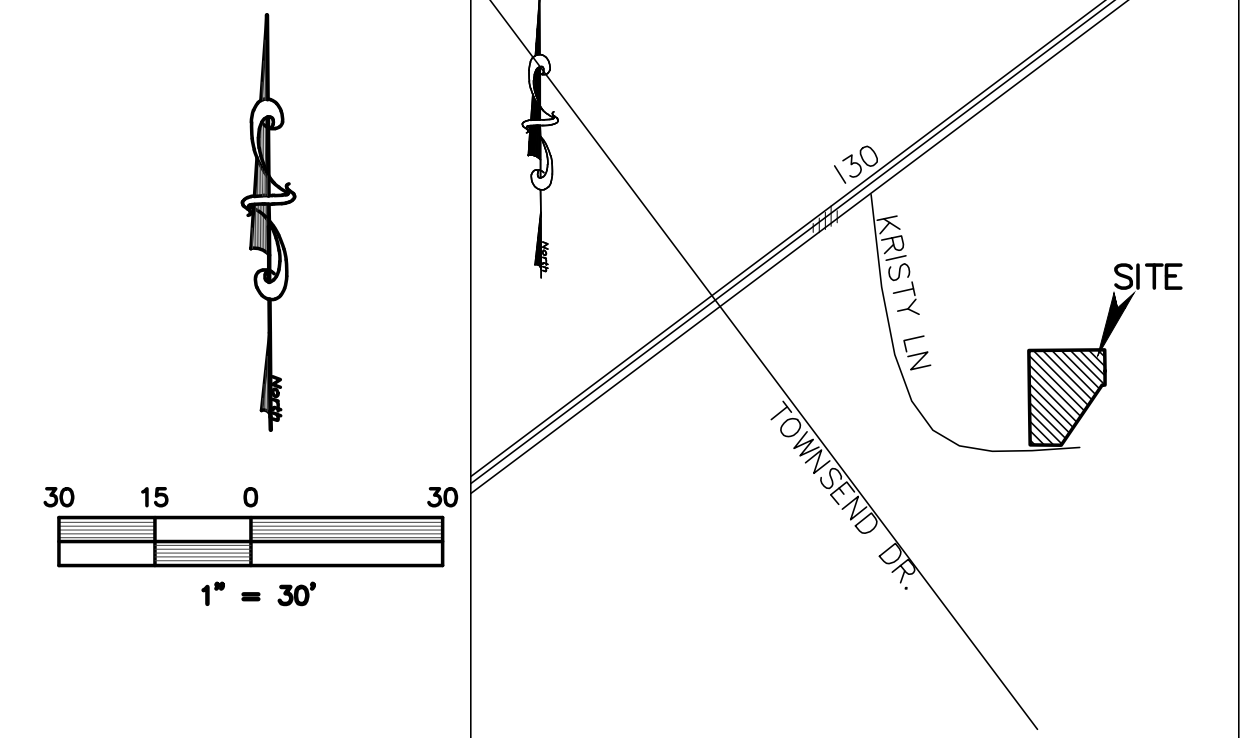
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Gerald E. Monk
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BENCHMARK:
 PK NAIL IN CONCRETE.
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 EASTING=2,601,063.913
 ELEVATION = 549.01'

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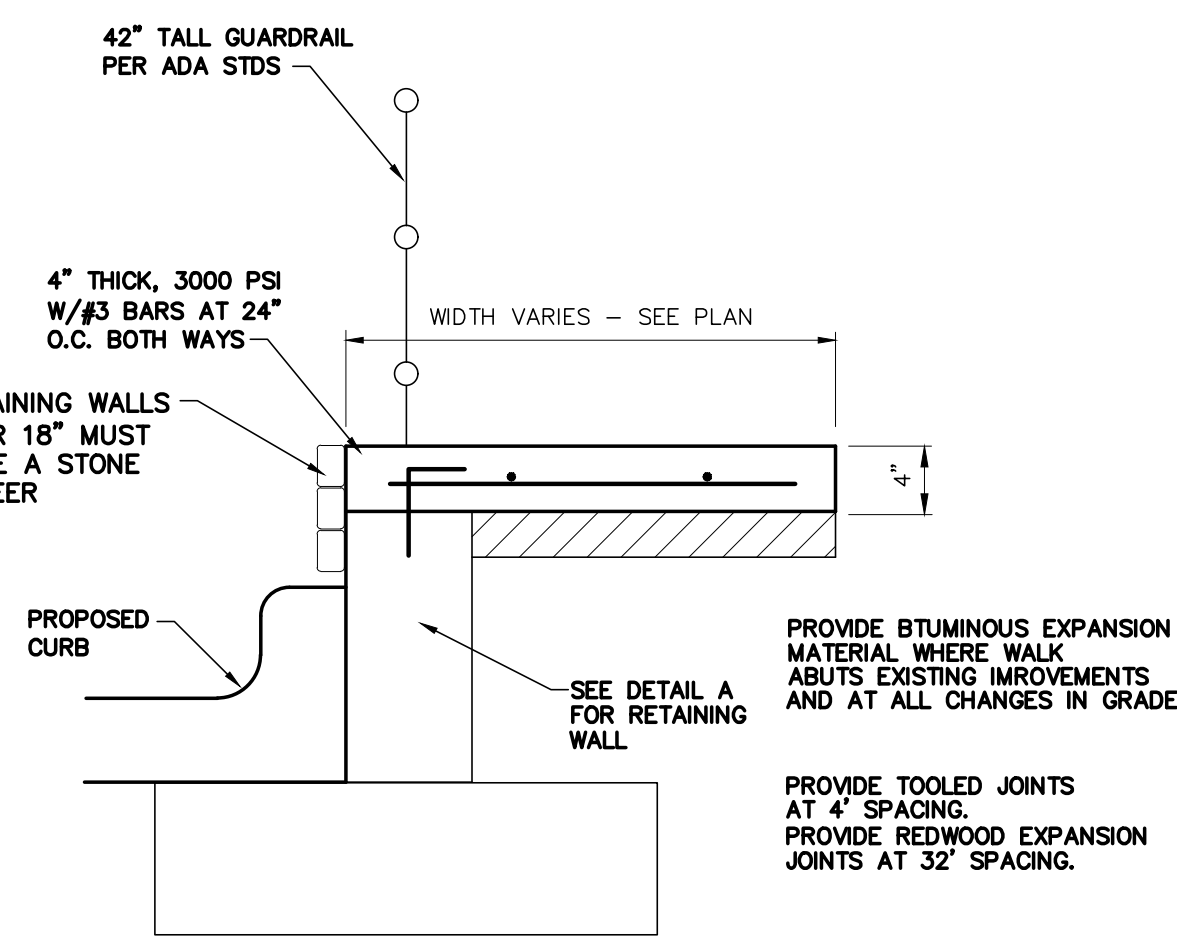


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 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 6) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
 - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.
 - 9) ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STD DENSITY USING A SHEEP'S FOOT ROLLER.

LOCATION MAP (NOT TO SCALE)

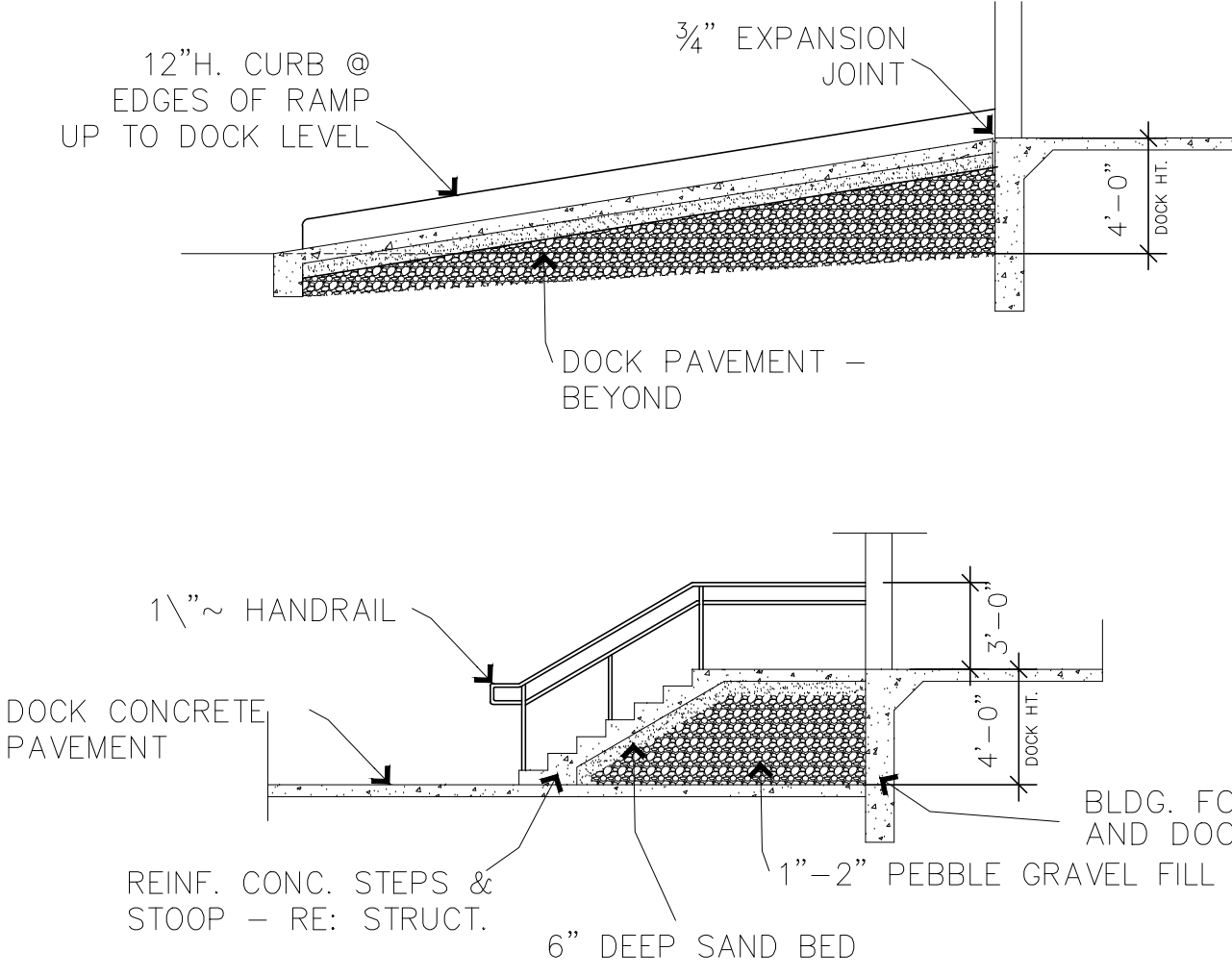
LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
ep = EDGE OF PAVEMENT
tw = TOP OF WALL
bw = BOTTOM OF WALL
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
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- max = MAXIMUM
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- [Hatched Area] = EXISTING PONDING AREA

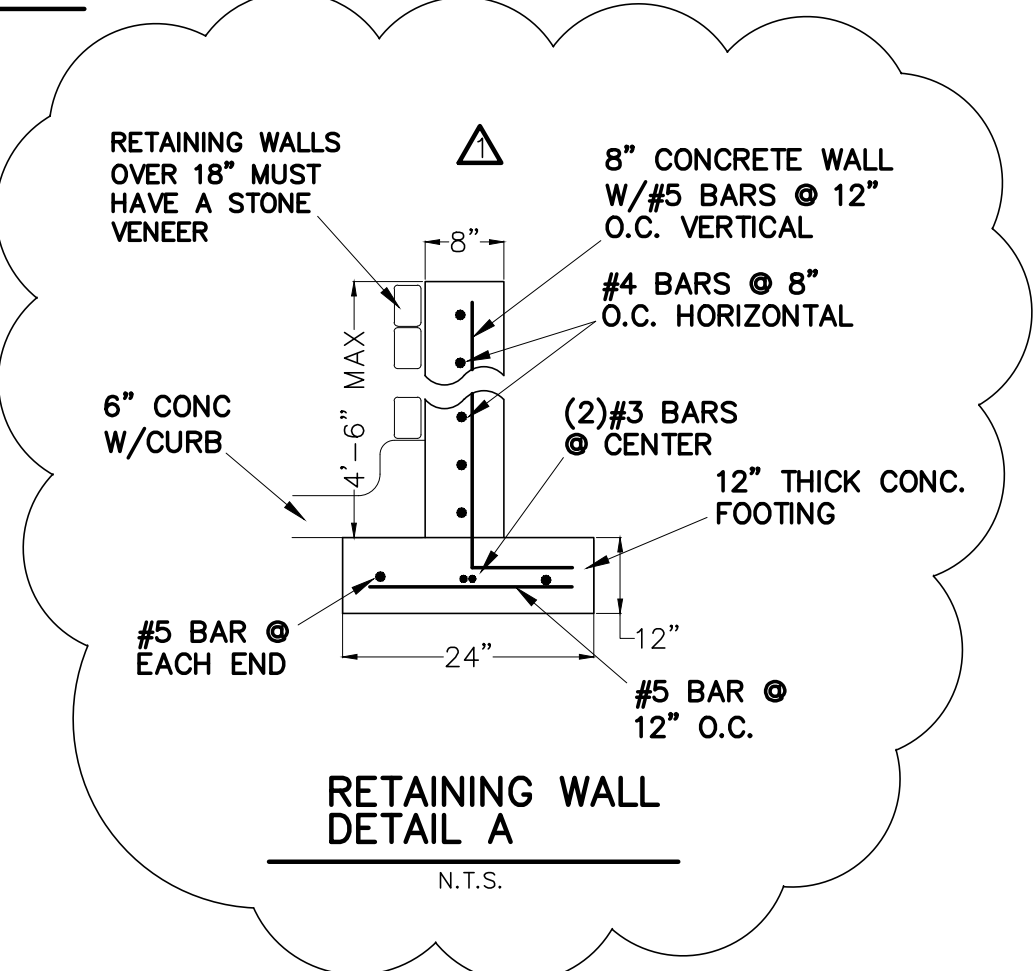


STEMWALL SIDEWALK WITH HANDRAIL
N.T.S.

EX DRAINAGE CONDITIONS DO NOT CHANGE

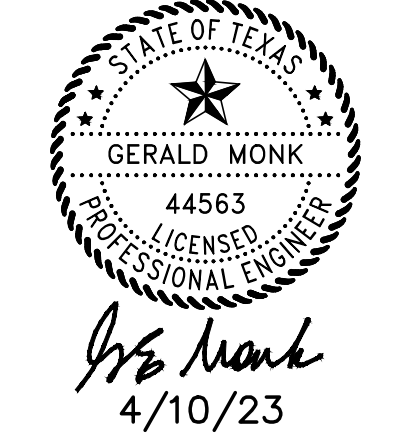


DOCK DETAILS
NOT TO SCALE



RETAINING WALL DETAIL A
N.T.S.

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CASE # SP2022-050

GRADING & DRAINAGE PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
 LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
 City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
 295 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 CONTACT: BRAD BACON (972)236-5794

prepared by
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 972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 4/10/23 scale: 1" = 30' sheet: C104

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 Gerald E. Monk
 GERALD E. MONK, P.E.

revised date:
 7/17/24 Added wall detail
 1/8/25 Added flume to sidewalk

BENCHMARK:
 PK NAIL IN CONCRETE
 NORTHING=7,021,752.890
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