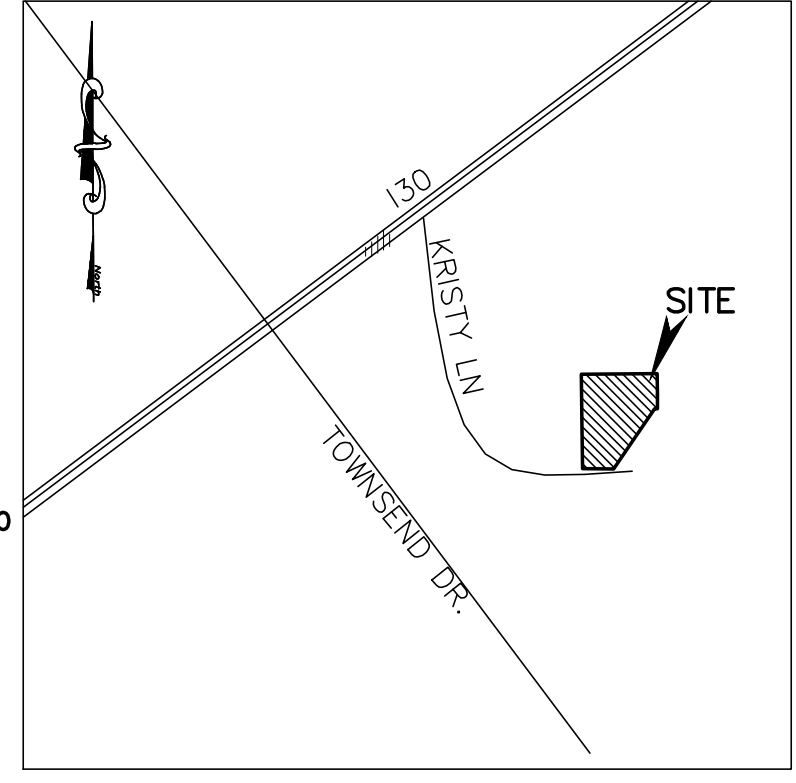


**** NOTICE TO CONTRACTORS ****
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

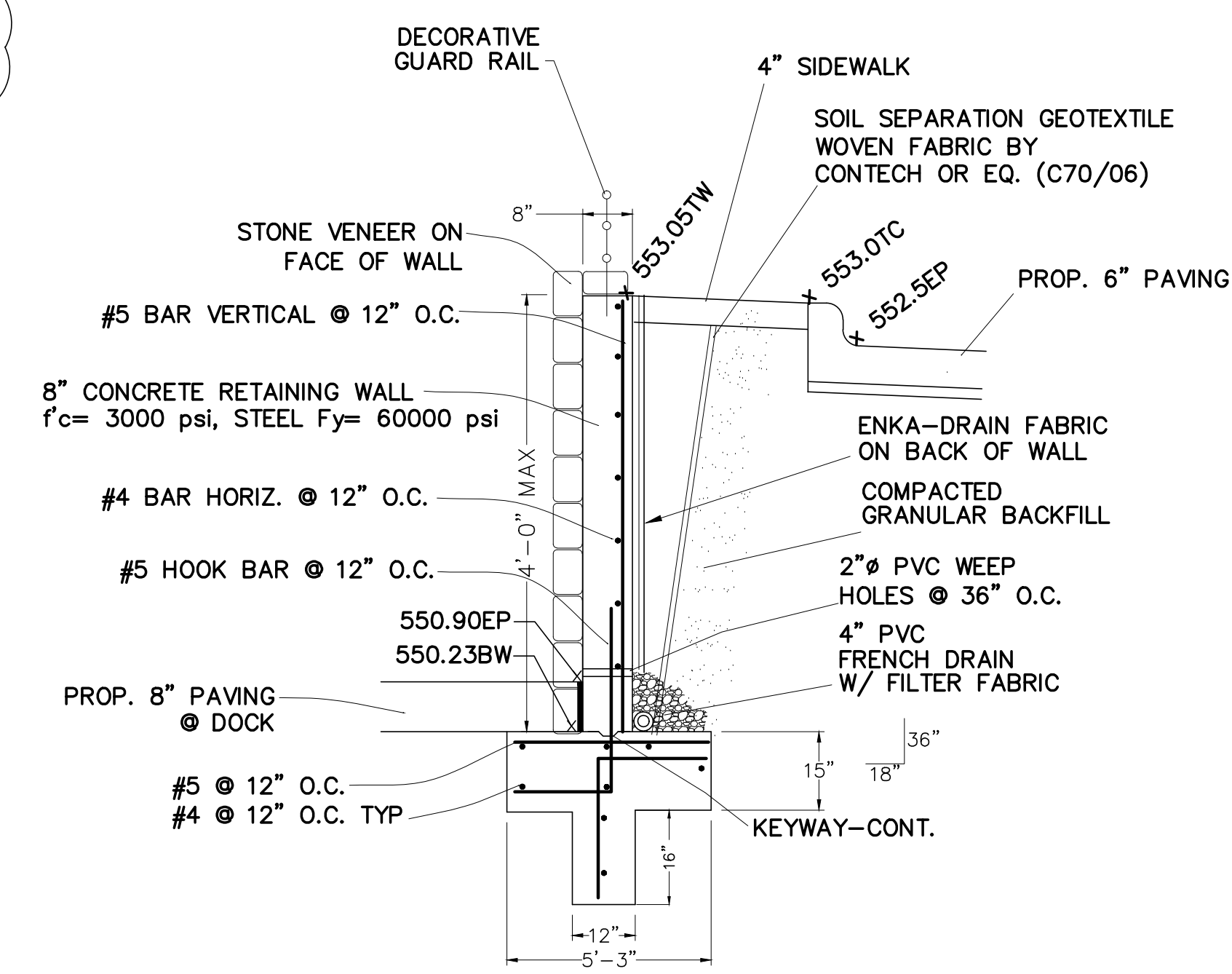
- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 6) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
 - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.
 - 9) ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STD DENSITY USING A SHEEP'S FOOT ROLLER.



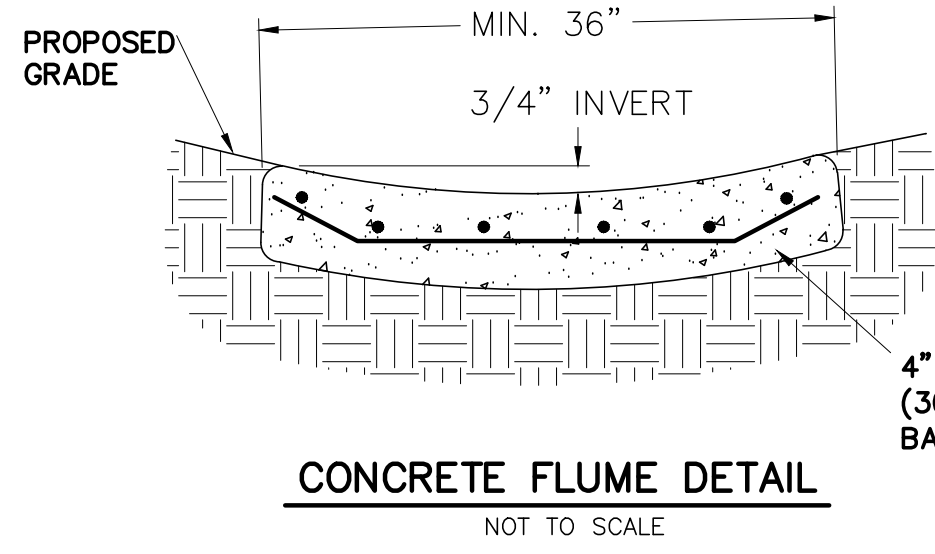
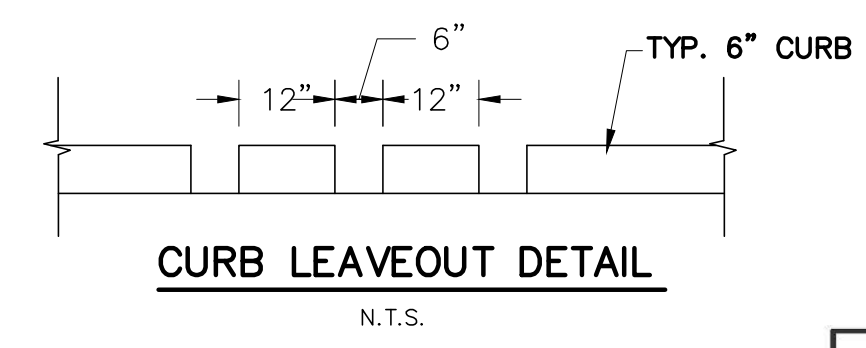
LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
 - 460 = EXISTING CONTOURS
 - 460 = PROPOSED CONTOURS
 - 463.00 TC or 462.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
ep = EDGE OF PAVEMENT
tw = TOP OF WALL
bw = BOTTOM OF WALL
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
 - EX. SS = EXISTING SANITARY SEWER LINE
 - EX. W = EXISTING WATER LINE
 - FH = EXISTING FIRE HYDRANT
 - WM = EXISTING WATER METER
 - PP = EXISTING POWER POLE
 - LP = EXISTING LIGHT POLE
 - T = EX. WATER VALVE
 - S = EXISTING SEWER MANHOLE
 - G = EXISTING GAS METER
 - B-B = BACK OF CURB TO BACK OF CURB
 - EXIST. or EX. = EXISTING
 - RCP = REINFORCED CONCRETE PIPE
 - min = MINIMUM
 - max = MAXIMUM
 - FH = PROPOSED FIRE HYDRANT
 - [Hatched Area] = PROPOSED PONDING AREA
- revised date: 3/10/21 note: Added wye inlet & 12" PVC pipe behind curb



NOTE:
 WALL ENGINEER OR DESIGNATED REPRESENTATIVE WILL NEED TO INSPECT WALL AS IT IS BEING INSTALLED. AN ACCEPTANCE LETTER FROM SAID PERSON STATING THAT WALL IS PER DESIGN WILL NEED TO BE SIGNED AND SEALED PRIOR TO ACCEPTANCE.



AS-BUILT
 May 12, 2021
 Gerald Monk
 GERALD E. MONK, P.E.

TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

BENCHMARK:
 PK NAIL IN CONCRETE.
 NORTHING=7,021,752.890
 EASTING=2,601,063.913
 ELEVATION = 549.01'

CASE # SP2019-047

GRADING & DRAINAGE PLAN

BACON PLUMBING OFFICE

2055 KRISTY LANE
 LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
 City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
 295 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 CONTACT: BRAD BACON (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 8/31/20 scale: 1" = 30' sheet: **C104**

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.