

- GENERAL NOTES:**
1. ALL FIRE LANE INNER TURN RADI ARE 30' TO THE FACE OF CURB.
 2. F.P.A.E STANDS FOR FIRE LANE & PUBLIC ACCESS EASEMENT.
 3. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL OF THE DETENTION AND DRAINAGE SYSTEMS.
 6. DUMPSTERS/TRASH COMPACTORS SHALL DRAIN TO AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE INTO STORM DRAIN SYSTEM.
 7. ALL PROPOSED UTILITY EASEMENTS ARE TO BE 20' WIDE.
 8. ARCHITECTURAL STANDARDS TO MEET CITY OF ROCKWALL STANDARDS.
 9. ALL FIRE LANES TO BE 6" THICK CLASS "C" REINFORCED CONCRETE 6.5 SACK MINIMUM CEMENT, 3,600 PSI MINIMUM 28-DAY CONCRETE STRENGTH WITH #3 BARS AT 24" ON CENTER.
 10. PARKING PAVEMENT TO BE MINIMUM 5" 3000 PSI CONCRETE. MINIMUM 5.5 SACK MIX.
 11. 10.5' OF R.O.W. WAS DEDICATED TO THE CITY OF ROCKWALL IN 2007 FOR THE CONSTRUCTION OF TOWNSEND DRIVE (85' R.O.W.)
 12. PROPOSED REGIONAL PONDS TO SERVE BOTH LOT 1, BLOCK A, ALDERS AT ROCKWALL AND LOT 2, BLOCK A VILLAGE GREEN RESIDENCE AT ROCKWALL.
 13. ALL PUBLIC R.O.W.S TO BE SODDED.
 14. SEE UTILITIES EXHIBIT FOR DETAILS.
 15. HVAC UNITS TO BE PLACED ON ROOF OF BUILDING WITH SCREENING WALLS HIDING THEM FROM VIEW

BURGESS & NIPLE
 10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477
 PHONE: (281) 980-7705
 TBPE FIRM REGISTRATION NO. F-10834
 CONTACT: JOSEPH T. REUE

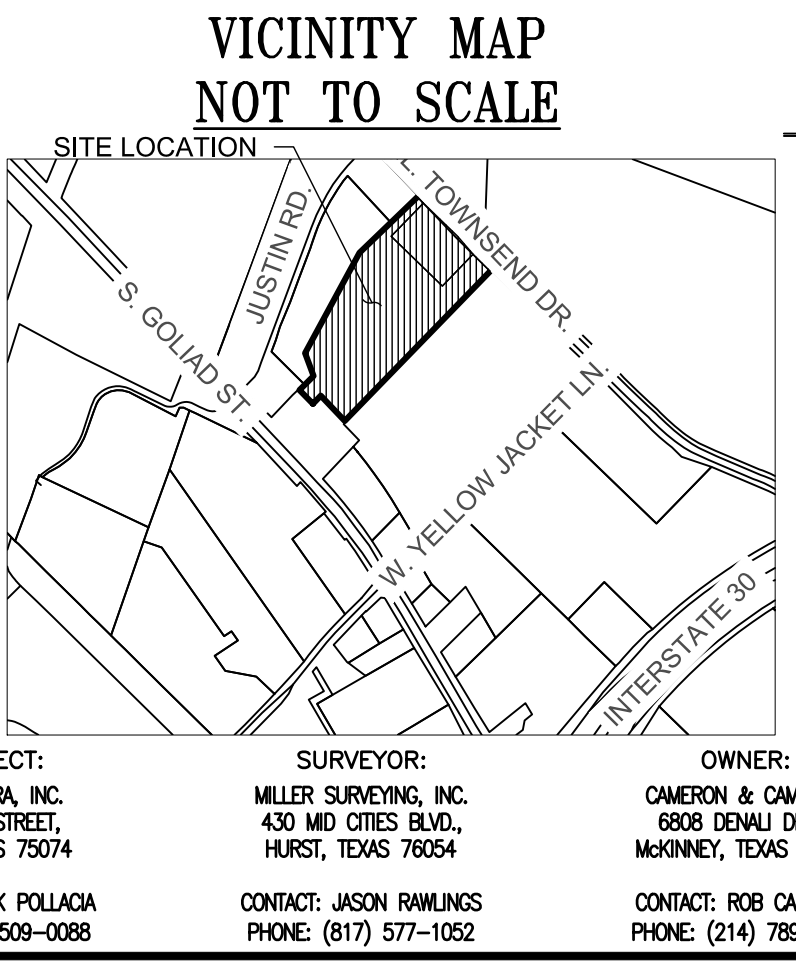
ALDERS AT ROCKWALL BUILDING DATA

PROJECT TABULATION												05/09/18		
UNIT DATA:												Net S.F.		
Unit Description	A2 1B/1B	A3 1B/1B	B1 2B/2B	B3a 2B/2B	B3b 2B/2B	B5 2B/2B	Totals Average	Net square footage includes all conditioned area included within the perimeter exterior walls of a unit. This number does not include private interior stairs and stair foyer.		Gross S.F.				
Total Number	66	24	12	12	6	24	144	Gross square footage when applied to the unit data, including private stairs, balconies / patio and exterior storage closets. Private garages are not included in this number. Gross square footage when applied to the building data, includes the unit gross square footage, the garage square footage and misc. square footage (mechanical closets) to result in a total gross square footage per building.		Total Gross S.F.				
Net Square Footage (Boma)	731	802	1,284	973	973	968	859			Total Net S.F.				
Gross Square Footage	800	854	1,357	1,047	1,047	1,045	927			Total Unit Gross S.F. per Building				
Percent of Total	45.83	16.67	8.33	8.33	4.17	16.67	100			Total Garage S.F. Misc. S.F. per Building				
Unit Net Totals	48,246	19,248	15,408	11,676	5,838	23,232	123,648			Total Gross S.F. per Building				
Unit Gross Totals	52,800	20,496	16,284	12,564	6,282	25,080	133,506			Total Project Gross S.F.				
BUILDING DATA:												Total Units		
Bldg. Number	Bldg. Type	A2 1B/1B	A3 1B/1B	B1 2B/2B	B3a 2B/2B	B3b 2B/2B	B5 2B/2B	Total Units per Building	Number of Buildings	Total Net S.F. per Building	Total Unit Gross S.F. per Building	Total Garage S.F. per Building	Total Misc. S.F. per Building	Total Gross S.F. per Building
Type I	Elev. SR	15	6		3		3	27	2	21,600	22,395	0	0	44,790
Type II	Elev. SR	12	6		3	3	3	27	2	22,326	24,141	0	0	48,282
Type III	Elev. SR	6		6			6	18	2	17,898	19,212			38,424
Leasing Office	Club							0	1	14,102	18,017			18,017
TOTALS												Total Units		
	Total A2	Total A3	Total B1	Total B3a	Total B3b	Total B5	Total	144	7	137,750	149,513	0	0	149,513

SITE DATA
 LOT DATA: LOT 1 (ALDERS AT ROCKWALL)

LOT 1, BLOCK 1 (ALDERS AT ROCKWALL ADDITION)

LOT DATA	10.3100	ACRES
LOT AREA:	14	ACRES
MAX NUMBER OF UNITS:	144	UNITS/ACRE
PARKING TABLE		
PARKING RATIO:	1.50	SPACES/UNIT
GARAGES:	56	25.8% SPACES
COVERED:	55	25.3% SPACES
SURFACE:	106	48.8% SPACES
TOTAL PARKING PROVIDED:	217	100.0% SPACES
ADA ACCESSIBLE (2% MIN.):	13	6.0% SPACES
BLDG. COVERAGE:	1.89	18.3% ACRES
BUILDING COVERAGE:	1.93	18.7% ACRES
PAVING COVERAGE:	1.93	18.7% ACRES
TOTAL OPEN SPACE PROVIDED:	6.49	63.0% ACRES



RECORD DRAWING
 THIS RECORD DRAWING TO THE BEST OF OUR KNOWLEDGE BURGESS AND NIPLE, INC. 3 SUGAR CREEK CENTER BOULEVARD, SUITE 610 SUGAR LAND, TEXAS 77478, HEREBY STATES THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
 THOMAS A. LUNZMAN P.E. 02/08/2021
 DATE

SITE PLAN FOR "ALDERS AT ROCKWALL" LOT 1, BLOCK A ALDERS AT ROCKWALL ADDITION A 10.3100 ACRE TRACT IN ROCKWALL, TEXAS ROCKWALL COUNTY, TEXAS

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CLIENT/CITY REVIEW UNDER THE AUTHORITY OF THOMAS A. LUNZMAN, P.E. FEBRUARY 13, 2019 IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

APPLICANT: ALDERS ROCKWALL SL PROJECT, LLC 1625 CLARKE SPRINGS DRIVE ALLEN, TEXAS 75002
 ARCHITECT: ARCHITECTURA, INC. 808 18TH STREET, PLANO, TEXAS 75074
 SURVEYOR: MILLER SURVEYING, INC. 430 MID CITIES BLVD., HURST, TEXAS 76054
 OWNER: CAMERON & CAMERON 6808 DENALI DRIVE MCKINNEY, TEXAS 75070
 CONTACT: FRANK POLLACA PHONE: (972) 509-0088
 CONTACT: JASON RWLINGS PHONE: (817) 577-1062
 CONTACT: ROB CAMERON PHONE: (214) 789-9143
 CONTACT: BART TINSLEY PHONE: (469) 446-1276

NOVEMBER 15, 2018
 CASE NUMBER: (SP2018-012)