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3	CI.02	GRADING PLAN	R03	07/21/2019
4	CI.03	DRAINAGE AREA	R03	07/21/2019
5	CI.04	PAVEMENT DETAILS	R03	07/21/2019
6	CI.05	DETENTION POND DETAILS	R03	07/21/2019
7	CI.06	CALCULATIONS	R03	07/21/2019

PROJECT NAME:

NEW PARKING LOT

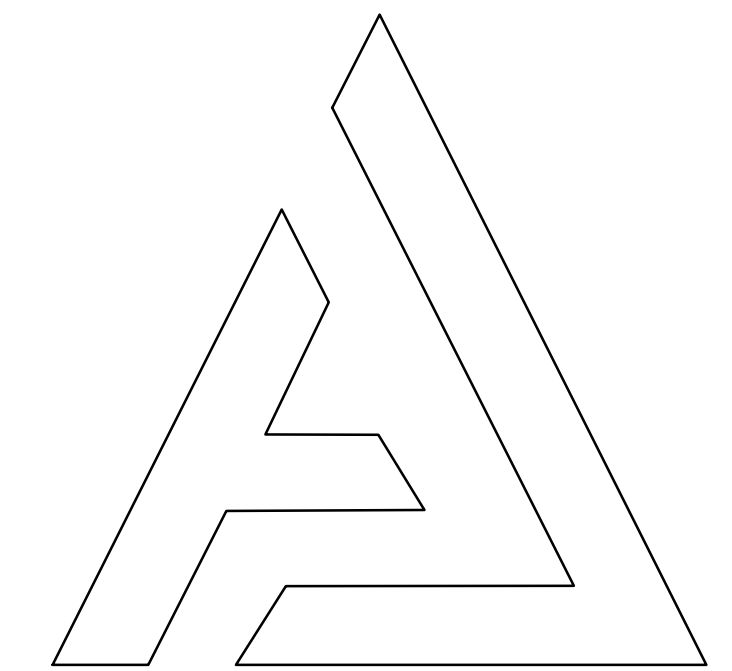
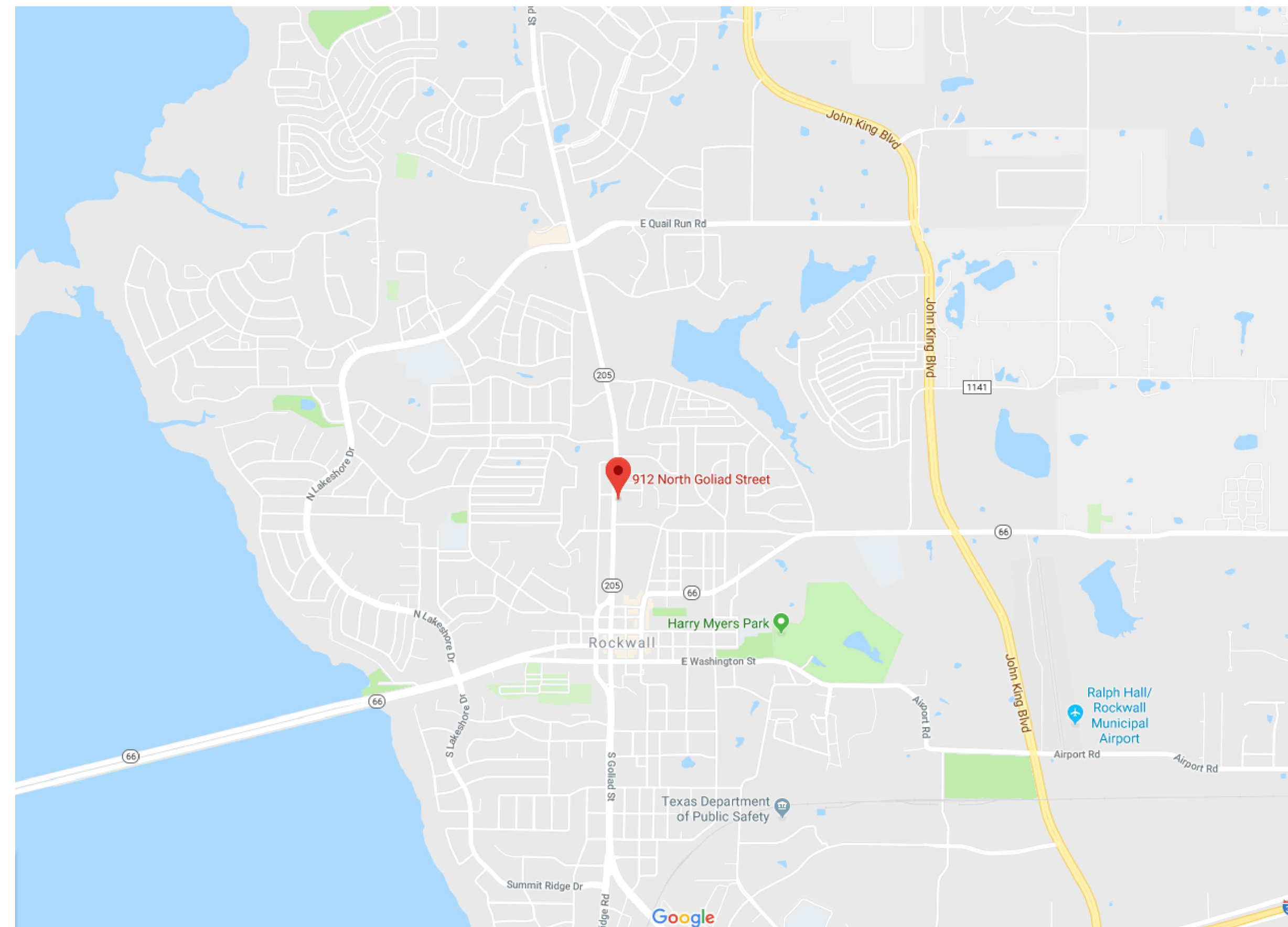
AS BUILT PLANS FOR :

**912 N GOLIAD STREET,
ROCKWALL TX 75087**

CLIENT:

**NAME: SONJA WEST
912 N GOLIAD STREET,
ROCKWALL TX 75087**

DESIGNED BY:



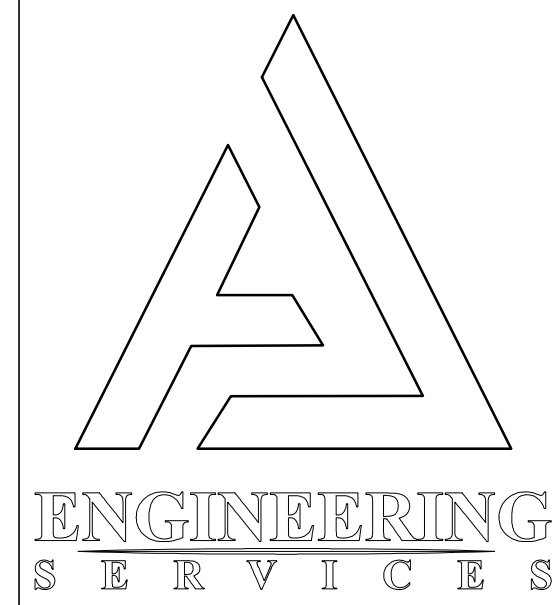
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SERVICES**

**AJ
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AS-BUILT PLANS



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R02- CITY COMMENTS. 07/10/2019
R03 AS BUILT PLANS . . 07/21/2020

PROJECT:
**NEW PARKING LOT
(AS BUILT DRAWINGS)**

LOCATION:
**912 N GOLIAD
STREET, ROCKWALL
TX 75087**

SHEET TITLE:
COVER SHEET

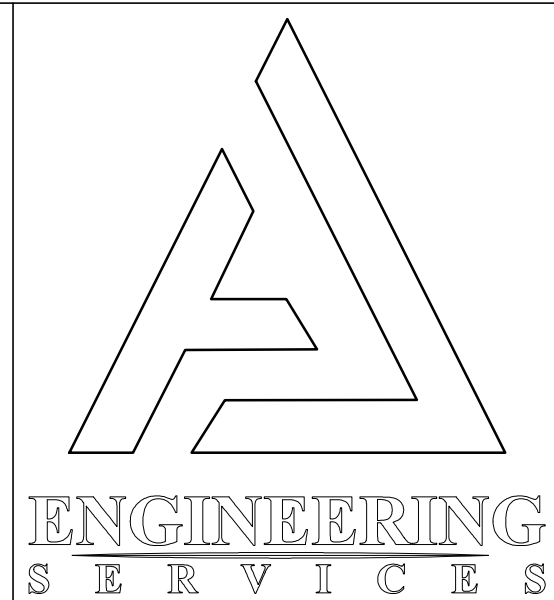
SHEET# **CI.00**

SHEET 1 OF 7

SCALE: AS NOTED

PRINT ON 24"X36" SHEET

PROJECT # AJ18054



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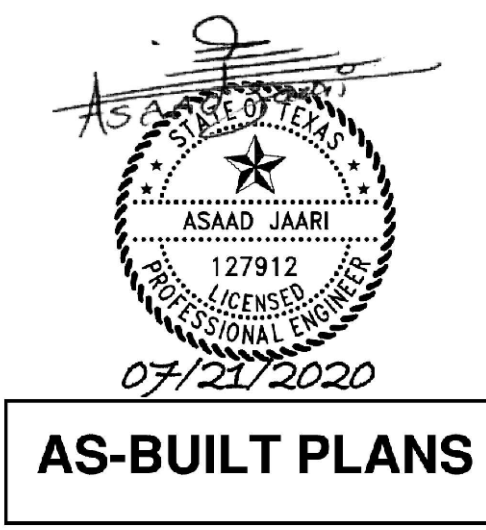
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PROJECT:
NEW PARKING LOT
(AS BUILT DRAWINGS)

LOCATION:
912 N GOLIAD
STREET, ROCKWALL
TX 75087



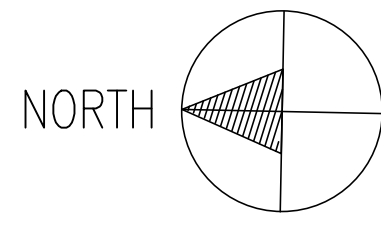
AS-BUILT PLANS

- LEGEND**
- 24' AISLE WIDTH
 - 20' STALL DEPTH
 - 9' STALL WIDTH
 - (1) PARKING COUNT
 - EXISTING 1' TO 3' TALL SHRUBS
 - EXISTING TREE
 - EXISTING 3' TO 12 TALL SHRUBS
 - 6' HEIGHT WHITE VINYL FENCE
 - WOOD FENCE
 - IRON FENCE
 - GRASS
 - CONCRETE PAVEMENT/ FLAT WORK
 - WOOD DECK
 - GRAVEL
 - BOUNDARY LINE

SITE DATA TABLE	
TOTAL SITE AREA	0.742 AC (32322 SF)
SITE ZONING DISTRICT	PLANNED DEVELOPMENT 50
SITE OVERLAY DISTRICT	SH-205 OVERLAY DISTRICT
LAND USE	RESIDENTIAL-OFFICE
FRONT BUILDING SETBACK	25' FT
SIDE BUILDING SETBACK	7'-10" FT
TYPICAL PARKING SPACE	9' X 18'
CODE REQUIRED PARKING SPACES	5
CODE REQUIRED ADA SPACES	1 SPACE
PROVIDED PARKING SPACES	7
PROVIDED ADA SPACES	1 SPACE
TOTAL EXISTING IMPERVIOUS AREA	12091 SQ. FT. (37.1%)

SITE PLAN , PAVING PLAN AND LANDSCAPE PLAN

Horizontal Scale: 1" = 10'
 0' 10' 20'



SHEET TITLE:
DIMENSION
CONTROL, PAVING
PLAN AND
LANDSCAPE PLAN

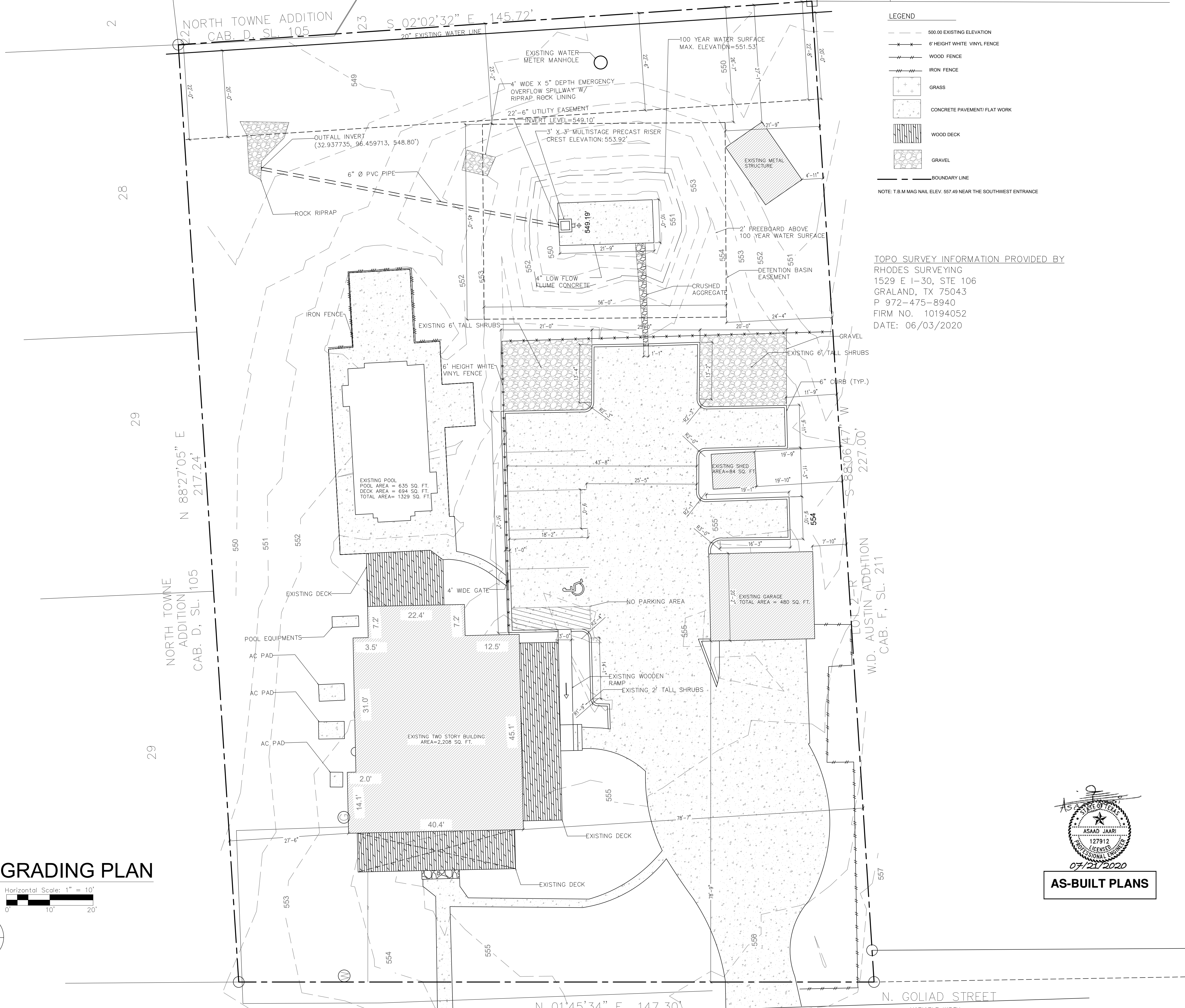
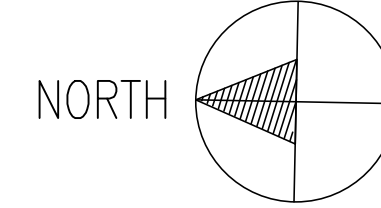
SHEET# **CI.01**

SHEET 2 OF 7
 SCALE: AS NOTED

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GRADING PLAN

Horizontal Scale: 1" = 10'



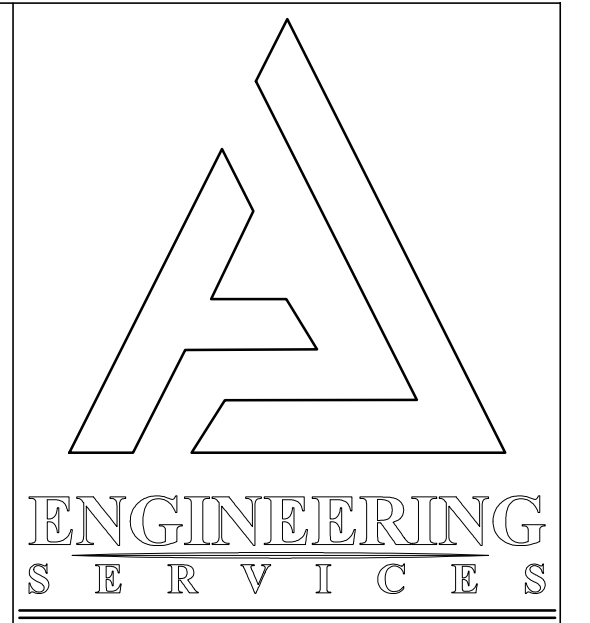
LEGEND

- 500.00 EXISTING ELEVATION
- - - 6' HEIGHT WHITE VINYL FENCE
- ||||| WOOD FENCE
- ||||| IRON FENCE
- +□ GRASS
- +□ CONCRETE PAVEMENT/ FLAT WORK
- ▨ WOOD DECK
- ▨ GRAVEL
- BOUNDARY LINE

NOTE: T.B.M MAG NAIL ELEV. 557.49 NEAR THE SOUTHWEST ENTRANCE

TOPO SURVEY INFORMATION PROVIDED BY
 RHODES SURVEYING
 1529 E I-30, STE 106
 GRALAND, TX 75043
 P 972-475-8940
 FIRM NO. 10194052
 DATE: 06/03/2020

AS-BUILT PLANS
 07/21/2020



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PROJECT:
NEW PARKING LOT (AS BUILT DRAWINGS)

LOCATION:
912 N GOLIAD STREET, ROCKWALL TX 75087

SHEET TITLE:
GRADING PLAN

SHEET# **CI.02**

SHEET 3 OF 7
 SCALE: AS NOTED
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PROJECT # AJ18054



LEGEND

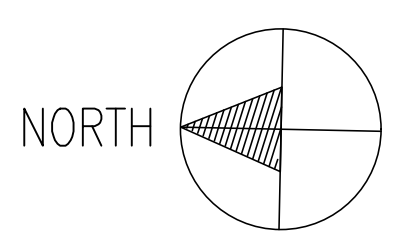
- 500.00 EXISTING ELEVATION
- ← EXISTING DIRECTION OF DRAIN
- - - DRAINAGE BOUNDARY AREA

NOTE: T.B.M MAG NAIL ELEV. 557.49 NEAR THE SOUTHWEST ENTRANCE

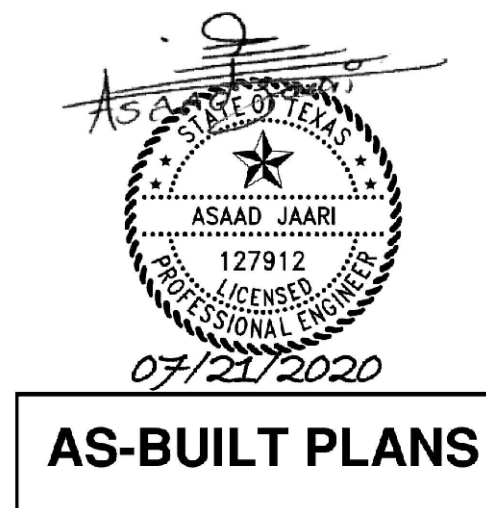
DRAINAGE CALCULATION						
DRAINAGE AREA	AREA (AC)	COEF (C)	TIME (MIN)	IN (IN/HR)	Q _{PEAK} (CFS)	DRAIN LOCATION
DA1	0.017	0.90	10	9.8	0.15	
DA2	0.143	0.35	20	8.3	0.42	
DA3	0.068	0.90	10	9.8	0.60	
DA4	0.028	0.90	10	9.8	0.25	
DA5	0.220	0.35	20	8.3	0.64	
DA6	0.036	0.90	10	9.8	0.32	
DA7	0.152	0.35	20	8.3	0.44	
DA8	0.040	0.90	10	9.8	0.35	
DA9	0.074	0.35	20	8.3	0.21	
DA10	0.091	0.90	10	9.8	0.80	
DA11	0.071	0.90	10	9.8	0.63	
TOTAL					4.81	

DRAINAGE PLAN

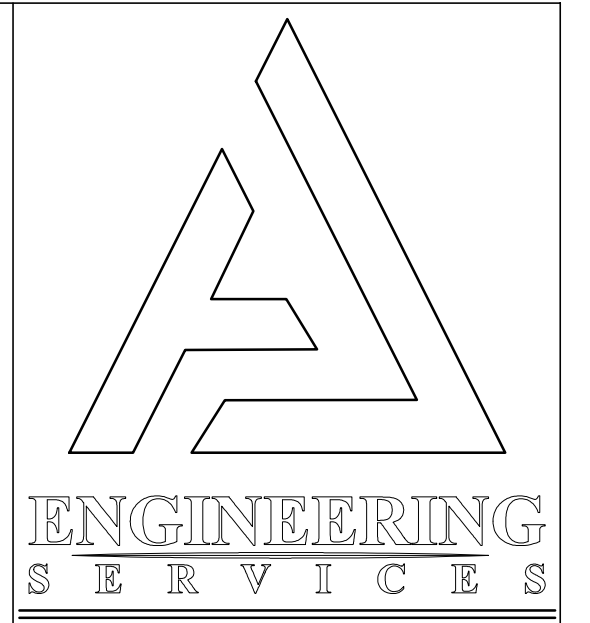
Horizontal Scale: 1" = 10'



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PROJECT:
**NEW PARKING LOT
 (AS BUILT DRAWINGS)**

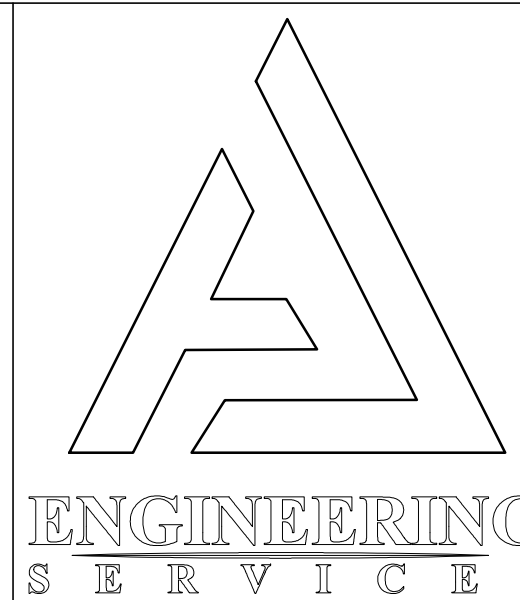
LOCATION:
**912 N GOLIAD
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 TX 75087**

SHEET TITLE:
DRAINAGE AREA

SHEET# **CI.07**

SHEET 4 OF 7
 SCALE: AS NOTED
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**NEW PARKING LOT
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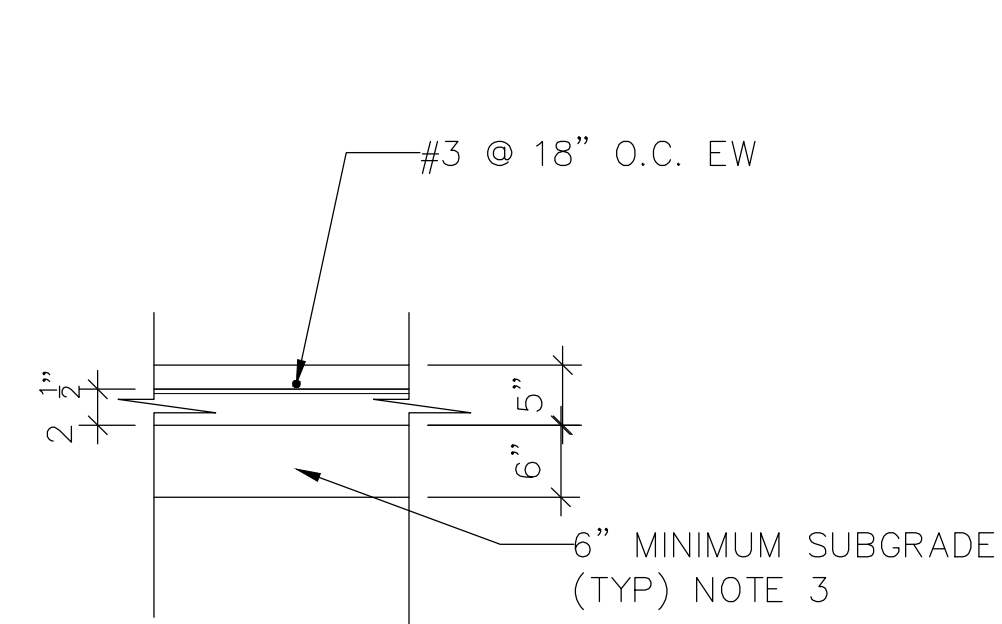
LOCATION:
**912 N GOLIAD
STREET, ROCKWALL
TX 75087**

SHEET TITLE:
PAVEMENT DETAILS

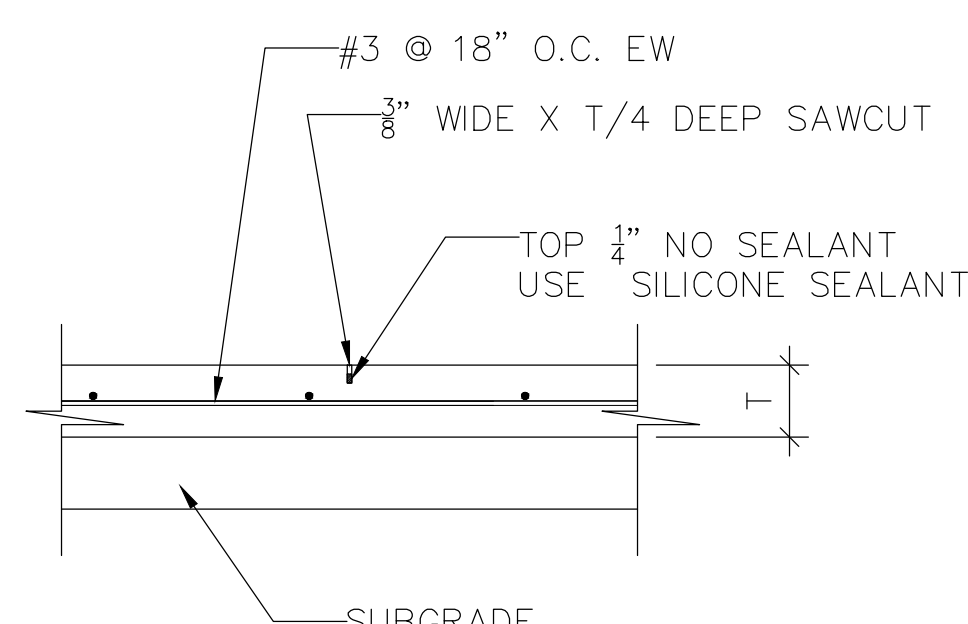
SHEET# **CI.04**

SHEET 5 OF 7
SCALE: AS NOTED
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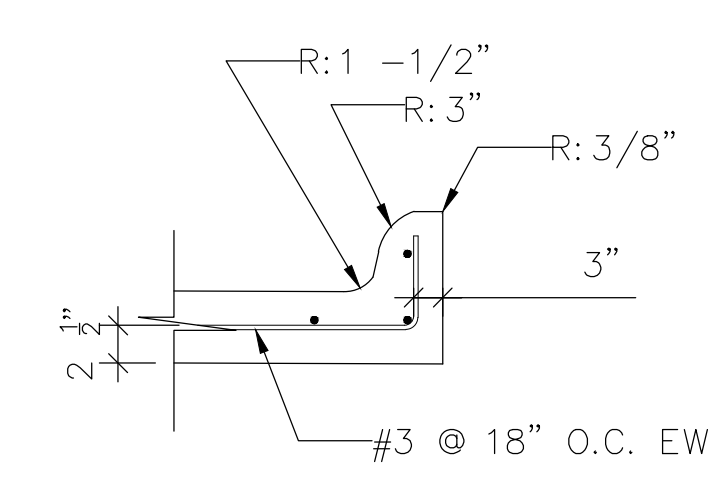
PROJECT # AJ18054



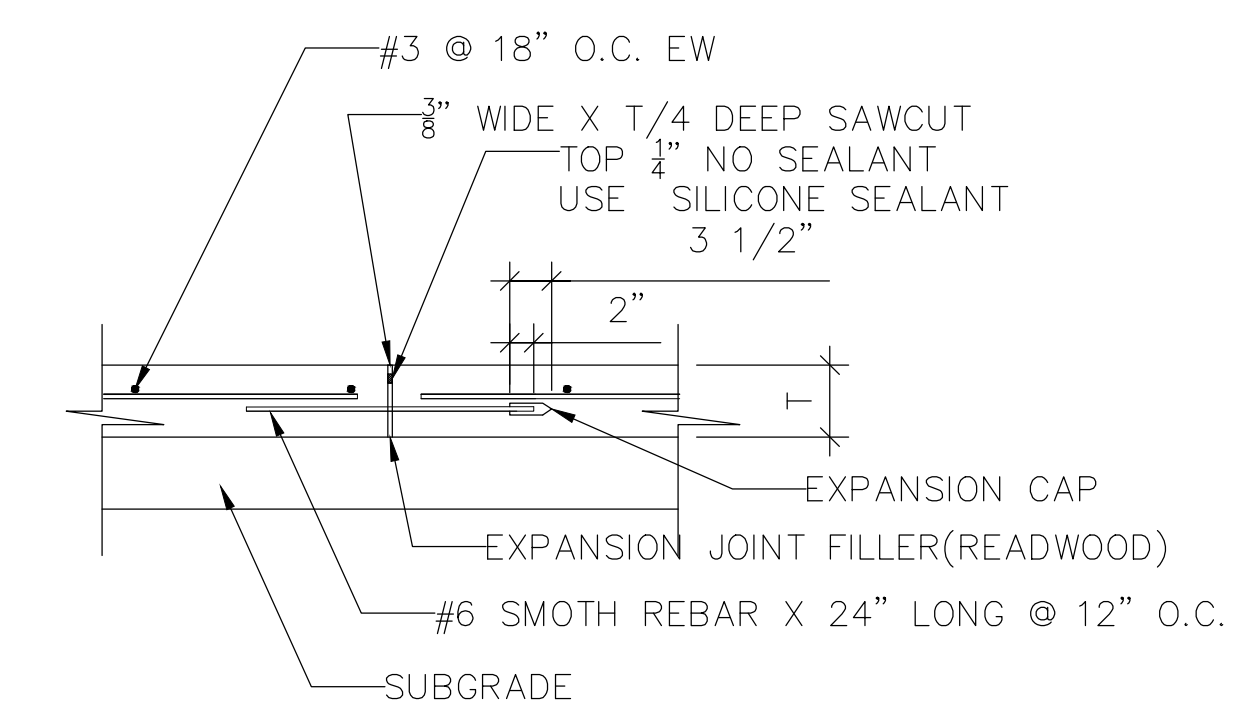
1 CONCRETE PAVEMENT
SCALE: 3/4"=1'-0"



2 CONTRACTION JOINT
SCALE: 3/4"=1'-0"



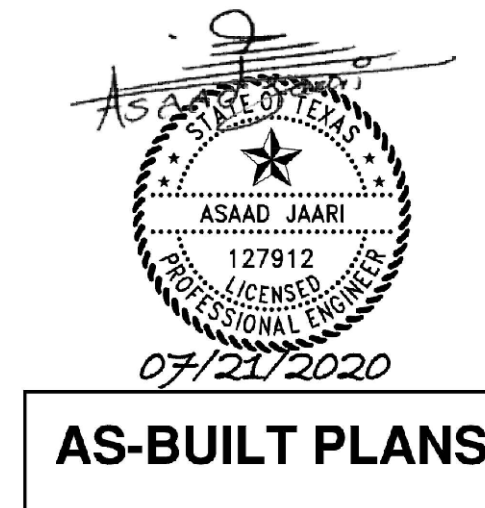
3 6" CURB DETAIL
SCALE: 3/4"=1'-0"



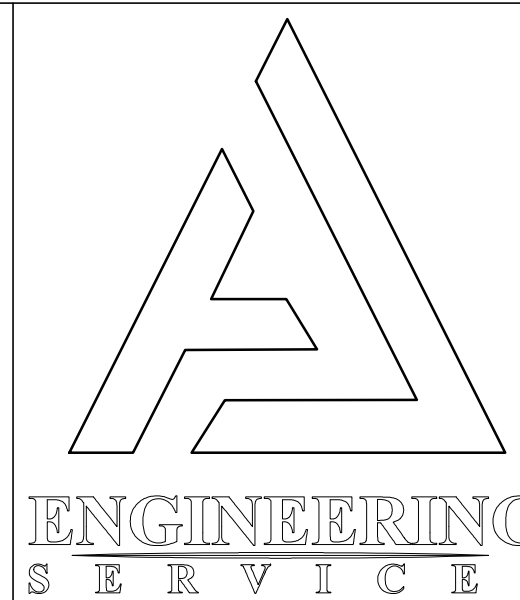
4 EXPANSION JOINT
SCALE: 3/4"=1'-0"

GENERAL PAVING NOTE:

1. CONCRETE STRENGTH AT 28 DAYS = 3600 PSI (6.5 SACK MIN/CY).
2. JOINTS SHALL BE PLACED AT A MAXIMUM SPACING OF 15'-0".
3. PAVEMENT SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM STANDARD DENSITY AND AT MINIMUM OF 2% ABOVE THE OPTIMUM MOISTURE CONTENT (NO SAND ALLOWED).
4. MAXIMUM SLOPE IN LANDSCAPE SHALL NOT EXCEED 4:1.
5. ALL CURBS HEIGHT ARE 6" UNLESS NOTED OTHERWISE.
6. SLOPE SHALL NOT EXCEED 5%.
7. CONTRACTOR SHALL ADJUST EXITING VALVES, MANHOLES RIMS ETC. TO MATCH NEW GRADE.
8. USE A SHEEP'S-FOOT ROLLER FOR GENERAL FILLING.



AS-BUILT PLANS



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PROJECT:
**NEW PARKING LOT
(AS BUILT DRAWINGS)**

LOCATION:
**912 N GOLIAD
STREET, ROCKWALL
TX 75087**

SHEET TITLE:
**DETENTION POND
SECTION AND
DETAILS**

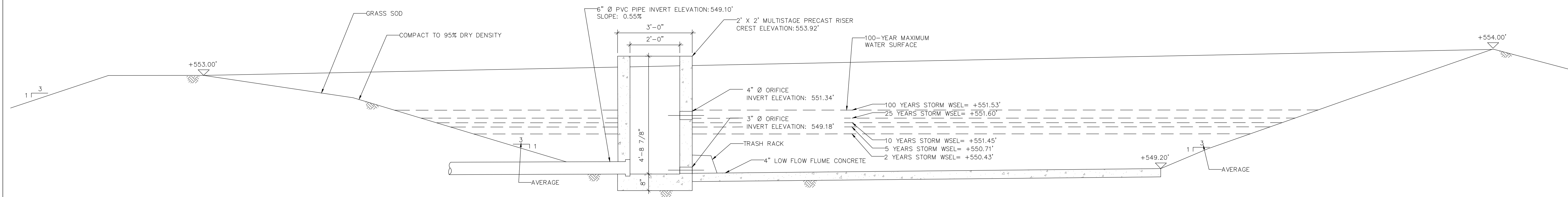
SHEET# **CI.05**

SHEET 6 OF 7

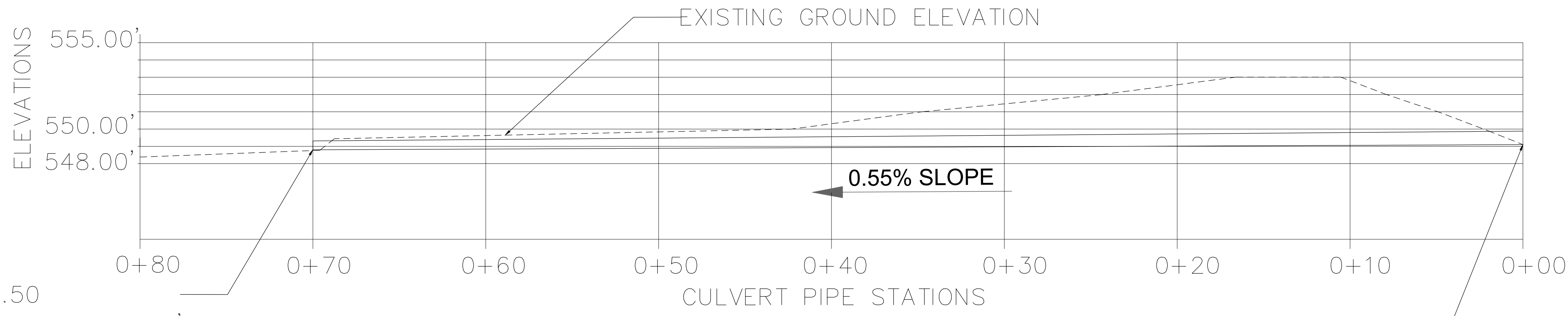
SCALE: AS NOTED

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PROJECT # AJ18054



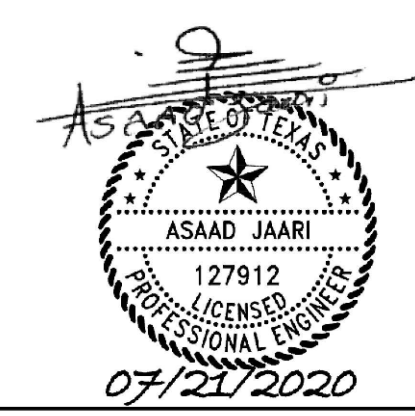
1
SECTION A-A
SCALE: 1/2"=1'-0"



STATION=0+76.50
INVERT ELEVATION = 548.80'

STATION=0+00.00
INVERT ELEVATION = 549.10'

2
CULVERT PIPE PROFILE
SCALE: 1/4"=1'-0"



AS-BUILT PLANS

PROJECT: 912 N GOLIAD STREET, ROCKWALL TX 75087

DETENTION POND
MODIFIED RATIONAL METHOD
STORM RAINFALL INTENSITY (IN/HR)

TIME (MIN)	100 YEAR	50 YEAR	25 YEAR	10 YEAR	5 YEAR	2 YEAR
10	9.8	9	8.3	7.1	6.1	5.3
15	9.0	8.1	7.5	6.5	5.5	4.5
20	8.3	7.5	6.6	5.9	4.9	3.9
30	6.9	6.1	5.5	4.8	4.1	3.3
40	5.8	5.2	4.6	4.0	3.4	2.6
50	5.0	4.5	4.0	3.5	2.8	2.3
60	4.5	3.9	3.5	3.0	2.6	1.9
70	4.0	3.7	3.3	2.8	2.4	1.8
80	3.7	3.5	3.1	2.6	2.3	1.7
90	3.5	3.3	2.9	2.5	2.1	1.0
100	3.4	3	2.7	2.4	1.9	1.5
110	3.2	2.9	2.5	2.3	1.8	1.4

MAXIMUM RELEASE OF EXISTING CONDITIONS

AREA= 0.196 ACRE
 RUNOFF COEFFICIENTS= 0.35 PERVIOUS
 TIME = 20 MIN.
 I100= 8.3 IN/HR
 Q= C.I.A
 Q100= 0.569 CFS

MAXIMUM RELEASE PROPOSED

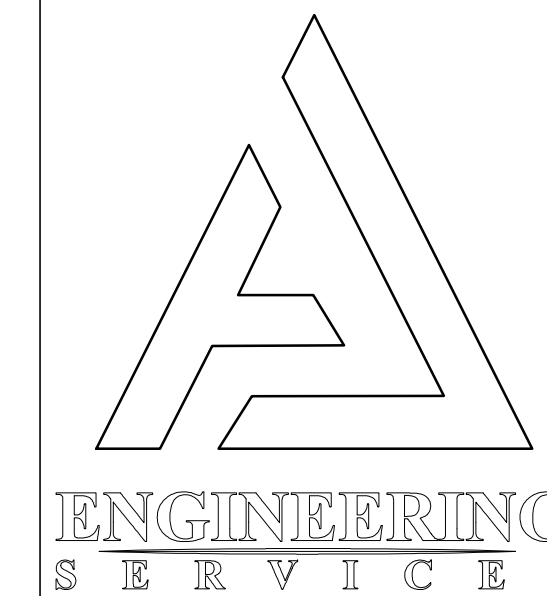
AREA= 0.162 ACRE
 RUNOFF COEFFICIENTS= 0.9 IMPERVIOUS
 TIME = 10 MIN.
 I100= 9.8 IN/HR
 Q= C.I.A
 Q100= 1.4 CFS

AREA= 0.162 ACRE
 RUNOFF COEFFICIENTS= 0.9 RESIDENTIAL

TIME (MIN)	I100 (IN/HR)	Q100	STORAGE CUFT
10	9.8	1.4	515.7
15	9.0	1.3	753.9
20	8.3	1.2	939.7
30	6.9	1.0	1127.6
40	5.8	0.8	1175.5
50	5.0	0.7	1162.1
60	4.5	0.7	1166.3
70	4.0	0.6	1082.9
80	3.7	0.5	1052.1
90	3.5	0.5	1047.5
100	3.4	0.5	1095.4
110	3.2	0.5	1029.5

MAXIMUM VOLUME OF POND= 1175.5 CF

STORM	STORAGE REQUIRED (CUFT)	STORAGE PROVIDED (CUFT)	ALLOWABLE RELEASE (CFS)	ACTUAL RELEASE (CFS)	WSEL FT
2	434.0	4184	0.27	0.23	550.43
5	591.0	4184	0.34	0.26	550.71
10	744.0	4184	0.39	0.28	550.96
25	865.0	4184	0.45	0.30	551.13
100	1175.0	4184	0.56	0.39	551.53



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PROJECT:
NEW PARKING LOT

LOCATION:
912 N GOLIAD STREET, ROCKWALL TX 75087

SHEET TITLE:
CALCULATIONS

SHEET# **CI.06**

SHEET 7 OF 7
SCALE: AS NOTED
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07/21/2020
AS-BUILT PLANS