CIVIL CONSTRUCTION DOCUMENTS for DYNAMIC RETAIL ROCKWALL MARKET CENTER EAST LOT 2, BLOCK A CITY OF ROCKWALL, TX

PLANS SUBMITTAL/REVIEW LOG

INITIAL CITY SUBMITTAL - NOT FOR CONSTRUCTION	12/28/2017
SECOND CITY SUBMITTAL - NOT FOR CONSTRUCTION	02/12/2018
THIRD CITY SUBMITTAL - NOT FOR CONSTRUCTION	03/13/2018
ISSUE FOR CONSTRUCTION	05/22/2018
AS- BUILTS	04/25/2019

<u>OWNER</u>

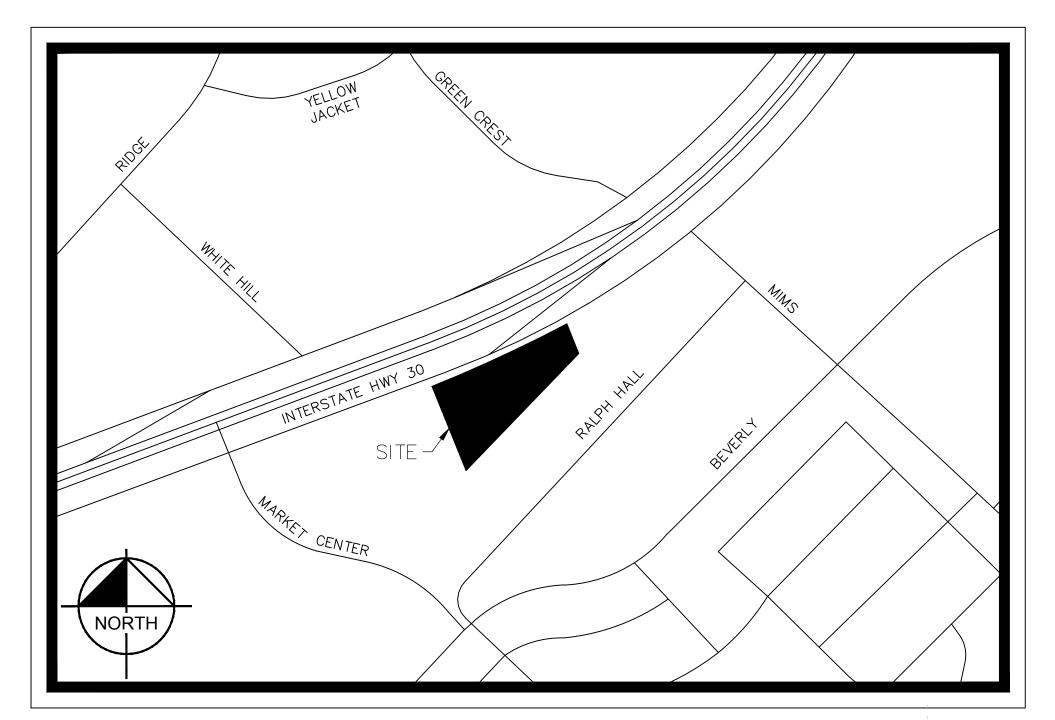
HAROLD E. WEINBERGER & ELANA KROLL 1425 CAMINO LUJAN SAN DIEGO, CA 92111-7648 CONTACT: HAROLD WEINBERGER PHONE: (858) 277-7797

ARCHITECT DYNAMIC 1725 21ST STREET SANTA MONICA, CA 90404 CONTACT: KELLY HARRISON PHONE: (310) 315-5411

PRIMARY CONTACT JONATHAN KERBY, P.E. JONATHAN.KERBY@KIMLEY-HORN.COM PHONE: (972)-770-1370

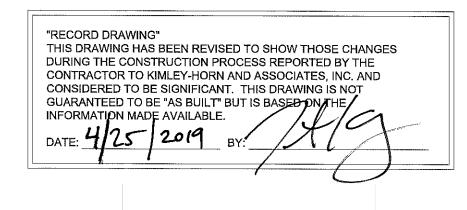


13455 NOEL ROAD TWO GALLERIA OFFICE TOWER, SUITE 700 DALLAS, TEXAS 75240 PHONE: (972) 770-1300 FAX: (972) 239-3820



LOCATION MAP

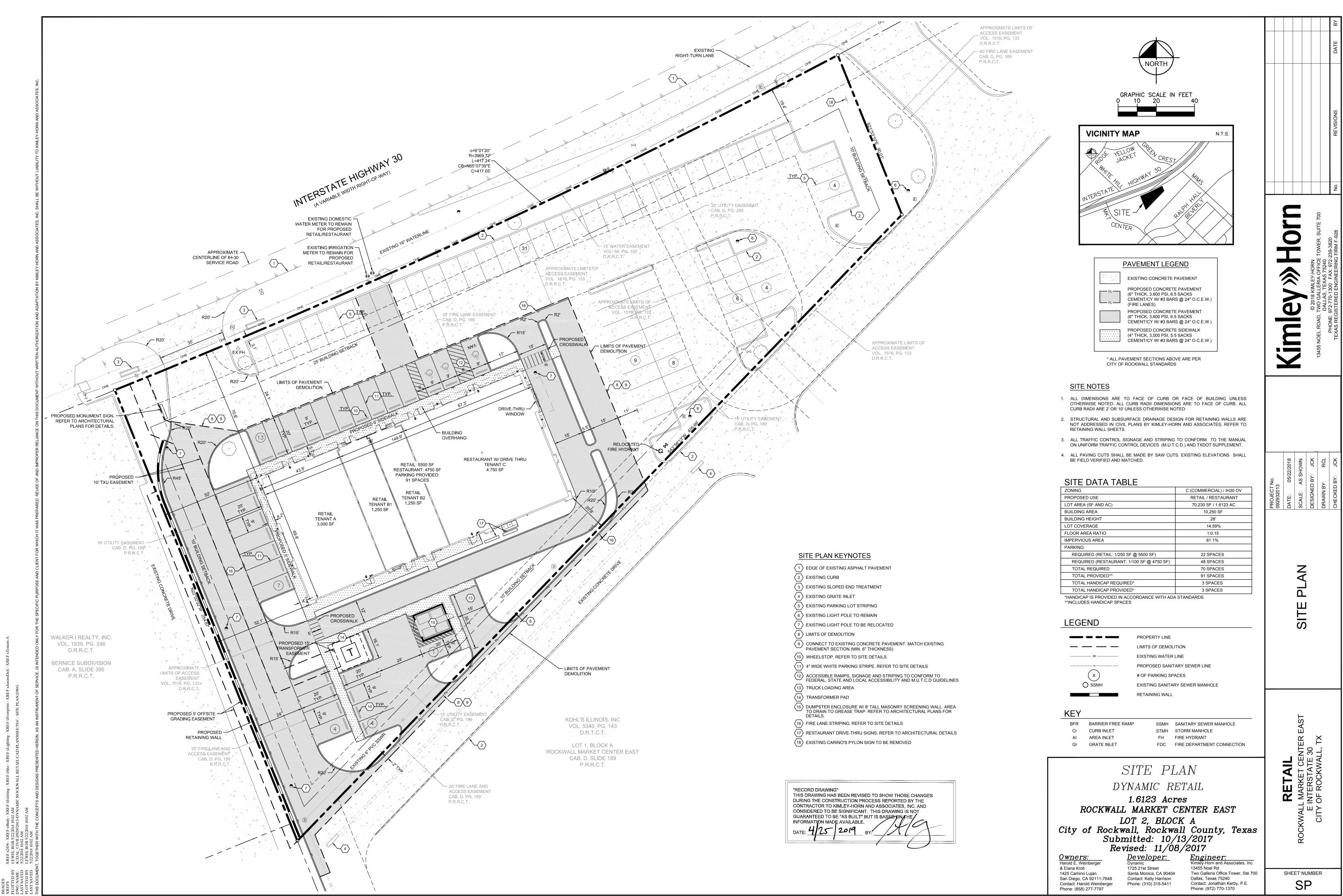
819 E INTERSTATE 30 ROCKWALL, TX 75087



MAY 2018

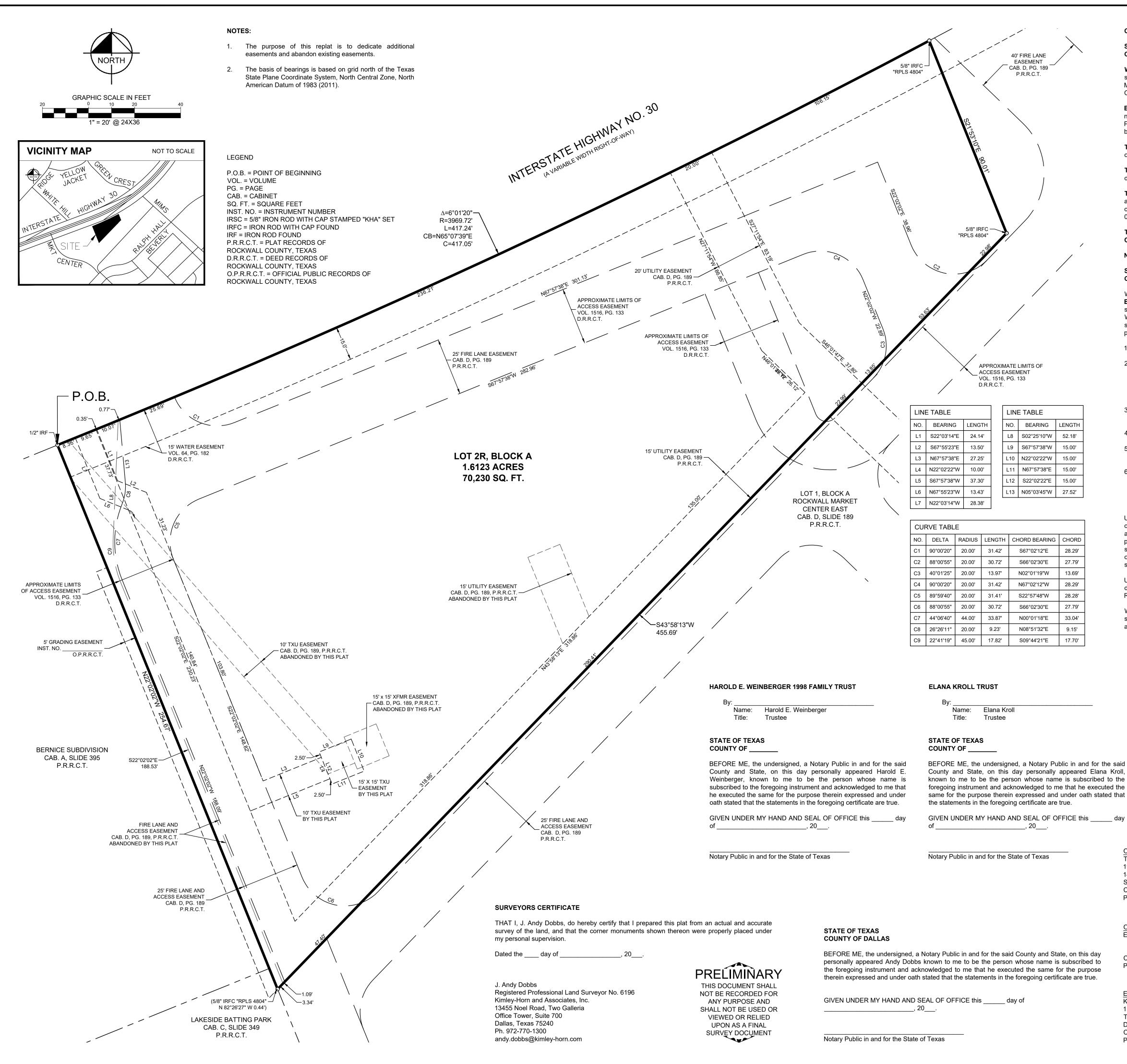
SHEET INDEX		
SHEET NUMBER	DESCRIPTION	
C0.0	COVER SHEET	
SP	SITE PLAN	
	REPLAT	
LH1.01	HARDSCAPE PLAN	
LP1.01	PLANTING PLAN	
LP1.02	TREESCAPE PLAN	
LP2.01	LANDSCAPE DETAILS & SPECIFICATIONS	
C0.1	KHA GENERAL NOTES	
C1.0	DEMOLITION PLAN	
C2.0	EROSION CONTROL PLAN	
C2.1	EROSION CONTROL DETAILS	
C3.0	DIMENSION CONTROL & PAVING PLAN	
C4.0	GRADING PLAN	
C4.1	EXISTING DRAINAGE AREA MAP	
C4.2	PROPOSED DRAINAGE AREA MAP	
C5.0	DRAINAGE PLAN	
C5.1	DRAINAGE PROFILES	
C6.0	UTILITY PLAN	
C6.1	UTILITY PROFILES	
C7.0	CONSTRUCTION DETAILS	
C7.1	CONSTRUCTION DETAILS	
C7.2	CONSTRUCTION DETAILS	
C7.3	CONSTRUCTION DETAILS	
C7.4	CONSTRUCTION DETAILS	





CASE NO. SP2017-035

18 KIMLEY-HORN AND A



BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Andy Dobbs known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

OWNERS CERTIFICATE

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS THE HAROLD E. WEINBERGER 1998 FAMILY TRUST AND THE ELANA KROLL TRUST, being the owner of a tract of land situated in the E. P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, and being all of Lot 2, Block A, Rockwall Market Center East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet D, Slide 189, Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found in the southeast right-of-way line of Interstate Highway No. 30 (a variable width right-of-way), for the northeast corner of Bernice Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet A, Slide 395 of said Plat Records, and being the beginning of a non-tangent curve to the left having a central angle of 6°01'20", a radius of 3969.72 feet, a chord bearing and distance of North 65°07'39" East, 417.05 feet;

THENCE in a northeasterly direction, with said southeast right-of-way line of Interstate Highway No. 30 and said curve to the left, an arc distance of 417.24 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 4804" found for the northeast corner of said Lot 2;

THENCE departing said southeast right-of-way line of Interstate Highway No. 30 and with the northeast line of said Lot 2, South 21°53'10" East, a distance of 90.01 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 4804" found for the southeast corner of said Lot 2;

THENCE with the southeast line of said Lot 2, South 43°58'13" West, a distance of 455.69 feet to a point in the east line of Lakeside Batting Park, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 349 of said Plat Records, and being the southwest corner of said Lot 2; from said point a 5/8-inch iron rod with plastic cap stamped "RPLS 4804" found bears North 82°26'27" West, a distance of 0.44 feet;

THENCE with the east line of said Lakeside Batting Park and Bernice Subdivision, North 22°02'02" West, a distance of 254.67 feet to the POINT **OF BEGINNING** and containing 1.6123 acres or 70,230 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

WE the undersigned owners of the land shown on this plat, and designated herein as the **ROCKWALL MARKET CENTER EAST, LOT 2**, BLOCK A subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the ROCKWALL MARKET CENTER EAST, LOT 2, BLOCK A subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of 3 streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

by the City Council of the City of Rockwall on the day of, 20, 20, 20 This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Co Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.	Planning and Zoning	Commission	Date	
hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was appr by the City Council of the City of Rockwall on the day of, 20, 20 This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Co Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.		APPROVED	<u>)</u>	
				ved
WITNESS OUR HANDS, this day of, 20				nty

13455 Noel Road. Two Galleria Office

<u>Scale</u>

1" = 20'

Tower, Suite 700, Dallas, Texas 75240

<u>Drawn by</u>

JBH

day

OWNER/APPLICANT THE HAROLD E. WEINBERGER 1998 FAMILY TRUST 1425 CAMINO LUJAN SAN DIEGO, CALIFORNIA 92111 CONTACT: HAROLD WEINBERGER PHONE:

OWNER/APPLICANT ELANA KROLL TRUST

CONTACT: ELANA KROLL PHONE:

ENGINEER: KIMLEY-HORN AND ASSOC., INC. 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TEXAS 75240 CONTACT: JONATHAN KERBY, P.E. PHONE: 972-770-1300

REPLAT LOT 2R, BLOCK A **ROCKWALL MARKET CENTER EAST** BEING ALL OF LOT 2. BLOCK A **ROCKWALL MARKET CENTER EAST** E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64 **CITY OF ROCKWALL** ROCKWALL COUNTY, TEXAS

FIRM # 10115500

<u>Date</u>

FEB. 2018

Checked by

JAD

Tel. No. (972) 770-1300

Sheet No.

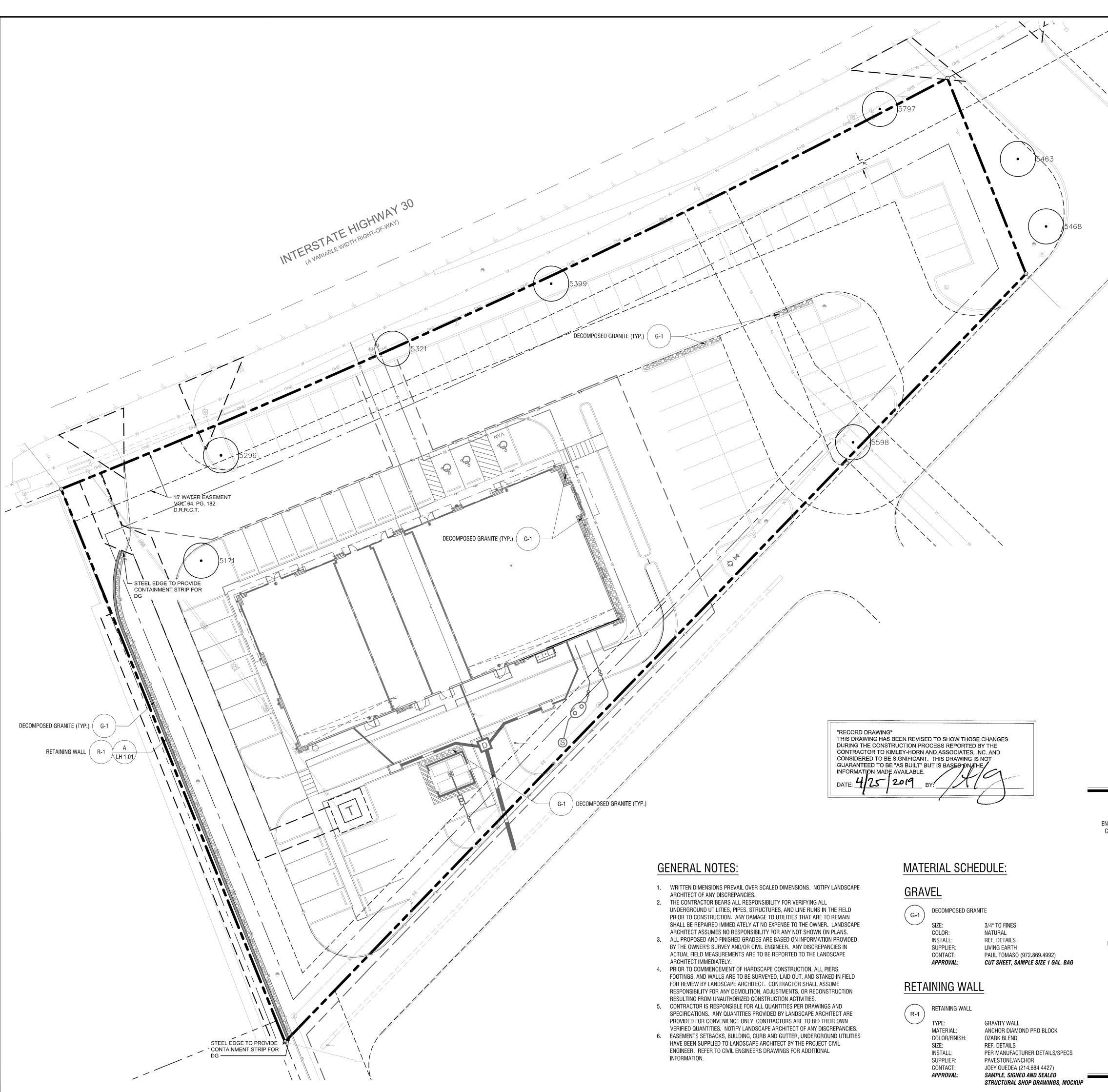
1 OF 1

Fax No. (972) 239-3820

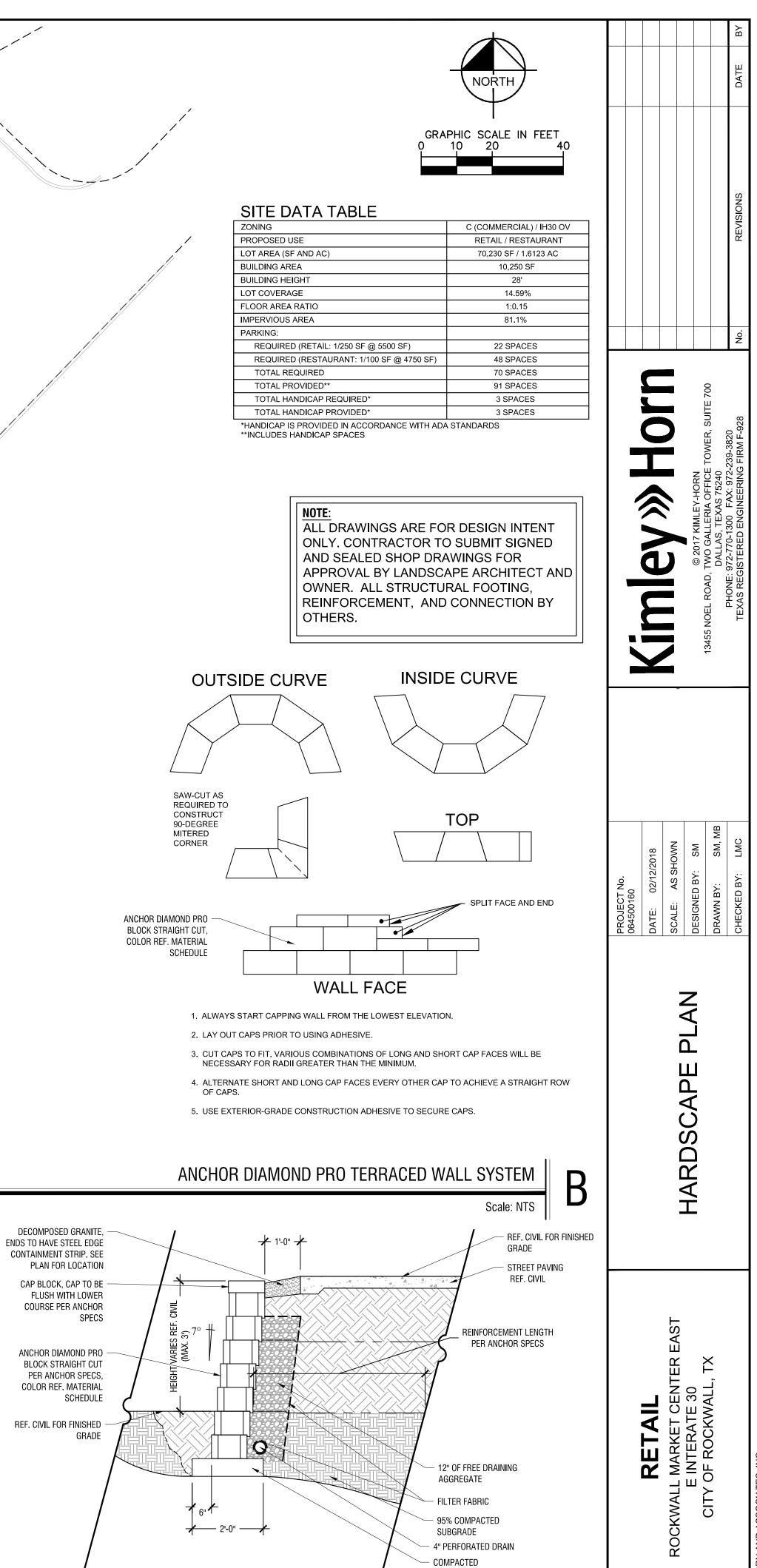
Project No.

092932013

XREF x2436 - XREF oTopo-EG - XREF xBnd HUCKINS, LANDON 5/22/2018 11:25 AM K:/FRL_LA(092932013-DYNAMIC RETAIL -5/22/2018 11:18 AM HUCKINS, LANDON 5/22/2018 11:25 AM 5/22/2018 11:18 AM IMAGES XREFS PLOTTED BY DWG NAME LAST SAVED PLOTTED BY LAST SAVED



R-1	RETAINING WAL
	TYPE:
	MATERIAL:
	COLOR/FINISH:
	SIZE:
	INSTALL:
	SUPPLIER:
	CONTACT:
	APPROVAL:



GRANULAR-BASE LEVELING

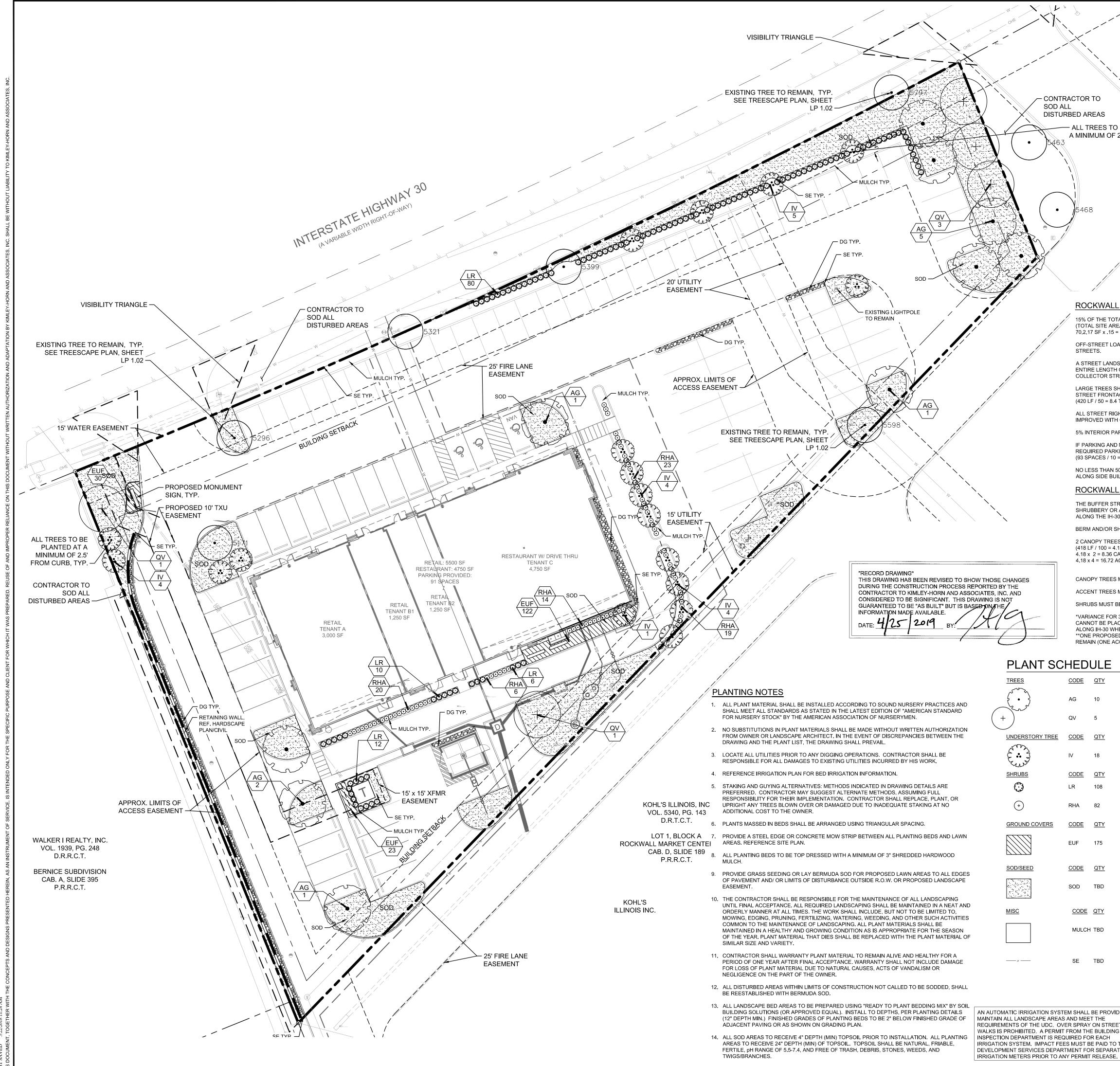
Scale: NTS

PAD PER ANCHOR SPECS

ANCHOR DIAMOND PRO TERRACED WALL SYSTEM

SHEET NUMBER

LH 1.01



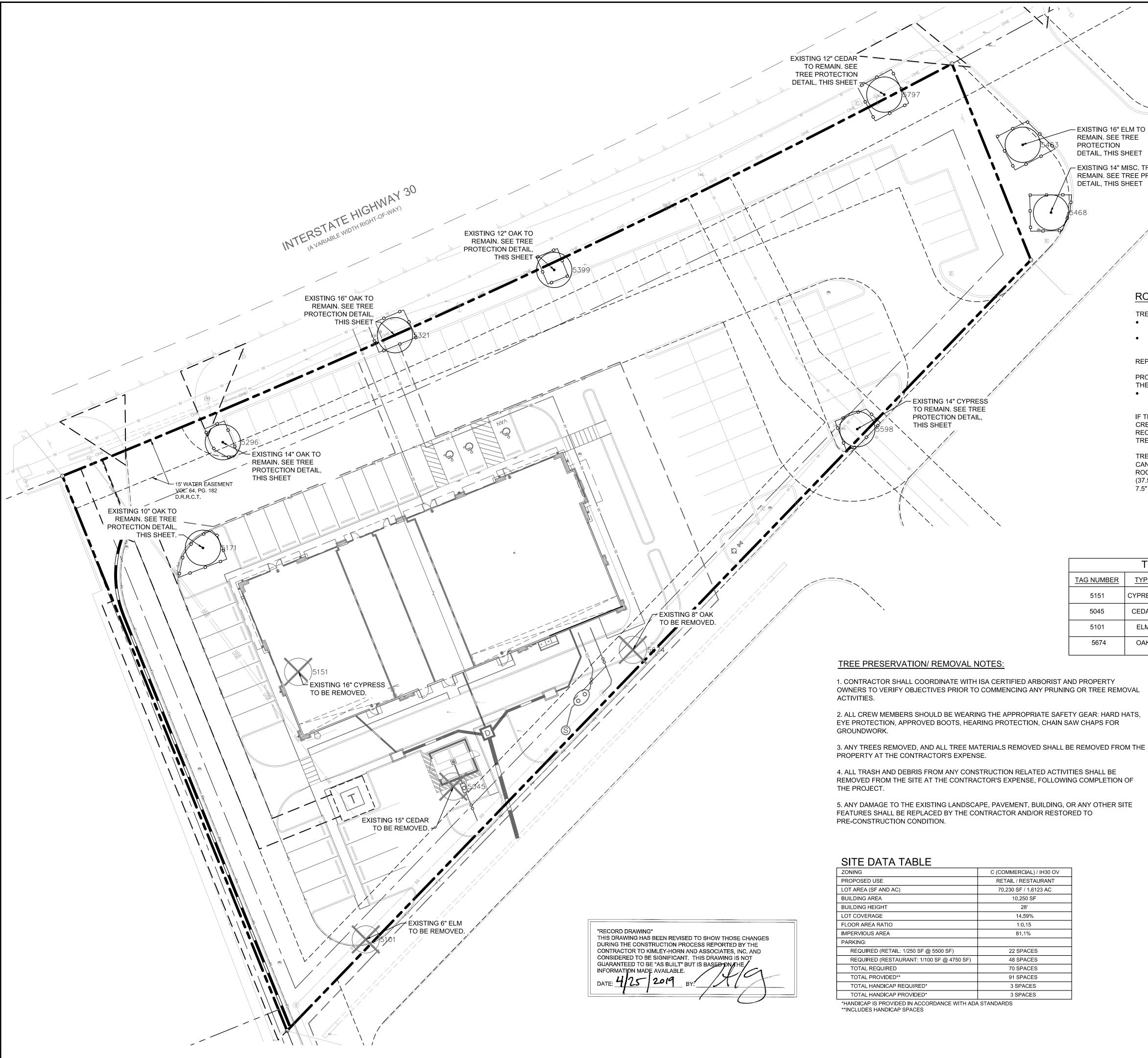
XREF x2436 - XREF oT HUCKINS, LANDON 5 K:\FRI_LA\092932013-E 5/22/2018 11:24 AM HUCKINS, LANDON 5

oTopo-EG - XREF xBr 15/22/2018 11:26 AM -DYNAMIC RETAIL FS TTED BY NAME SAVED TTED BY

								BΥ
								DATE
					\checkmark			
					I APHIC SCALE IN FEET			
				0	10 20 40			
O BE PLAN	TED AT	SITE DATA TAI	BIF					REVISIONS
F 2.5' FROM	1 CURB,	ZONING		С	C (COMMERCIAL) / IH30 OV			KEVIS
		PROPOSED USE LOT AREA (SF AND AC)			RETAIL / RESTAURANT 70,230 SF / 1.6123 AC			
		BUILDING AREA BUILDING HEIGHT			10,250 SF 28'			
		_OT COVERAGE			14.59%			
		FLOOR AREA RATIO			1:0.15 81.1%			
		PARKING: REQUIRED (RETAIL: 1/250	0 SF @ 5500 S	SF)	22 SPACES			No.
		REQUIRED (RESTAURAN	-		48 SPACES			
		TOTAL REQUIRED			70 SPACES 91 SPACES			
		TOTAL HANDICAP REQUI			3 SPACES 3 SPACES		ПЕ 7	
		*HANDICAP IS PROVIDED IN **INCLUDES HANDICAP SPAC	ACCORDANC	L CE WITH ADA STAN		U LU	WER, SUITE 700)-3820 RM F-928
			020					239-382 FIRM F
			R	REQUIRED	PROVIDED			40 72-23 NG F
·	S - LANDSCAPE REQUIREMENTS	2	<u>r</u>				C-HORN	:XAS / 5240) FAX: 972-2 IGINEERING
REA: 70,217 SI	EA SHALL BE LANDSCAPING F _ANDSCAPING)		1(0,533 SF	12,780 SF		KIMLEY-HORN	00 F NGIN
	LANDSCAPING) KS IN COMMERCIAL ZONING MUST BE SCREENE	ED FROM ALL PUBLIC		7E Q	VES			70-13 70-13 70 E
				ΈS	YES			DALI 372-7 STEF
TH OF THE PRO	FER-STRIP WITH A MINIMUM WIDTH OF 10', MUS OPERTY TO BE DEVELOPED THAT IS ADJACENT		1	0' BUFFER	NOT MET*			ONE: 9 S REGI
STREET.	OVIDED IN THE REQUIRED STREET BUFFER AT	ONE TREE FOR EVERY 50' (ЭF				13455 NOEL ROAD	PHO TEXAS I
ITAGE. 3.4 TREES)				TREES	6 TREES*	Xim		Ξ
			Y	ΈS	YES		1345	
	GROUND COVER MATERIAL AND SHALL BE MA DSCAPE (10,533 X 0.05 = 526.65 SF)	INTAINED.	52	27 SF (5%)	5,187 SF (43%)			
ND MANEUVER	RING SPACE EXCEEDS 20,000 SF, ONE LARGE C	ANOPY TREE FOR EVERY 10	D 10	0 TREES	7 (PROPOSED)** 3 (EXISTING)			
RKING SPACE 10 = 9.3 TREES	S SHALL BE REQUIRED INTERNAL TO THE PARK S)	KING LOT.			10 TREES			
	TOTAL REQUIRED LANDSCAPING SHALL BE LOO I'H STREET FRONTAGE.	CATED IN FRONT OF AND	Y	ΈS	YES			
	S - IH-30 OVERLAY DISTRICT							
•	BE A MINIMUM OF 20' WIDE AND INCLUDE A "BUI	LT-UP" BERM AND/OR	Y	ΈS	NO*			
OR A COMBINA 1-30 RIGHT-OF	ATION OF BOTH ALONG THE ENTIRE LENGTH OF -WAY.	THE PROPERTY'S FRONTA	.GE	23				
SHRUBS SHA	LL BE A MINIMUM HEIGHT OF 30" AND A MAXIMI	JM HEIGHT OF 48"	S	HRUBS OR BERM	30" SHRUBS			<u>0</u>
EES AND 4 ACC 4.18	CENT TREES SHALL BE REQUIRED PER 100' OF	THE IH-30 RIGHT-OF-WAY.	-	CANOPY 7 ACCENT	3 CANOPY (EXISTING) 2 CANOPY (PROPOSED)*	ω		
CANOPY TRE 2 ACCENT TRE			14	ACCENT	18 ACCENT [*]	. No. 0 02/12/2018	오	
ES MUST BE 4"			Y	ΈS	YES	.T No. 60 02/1	AS SI ED BY: BY:	ED BY:
ES MUST BE 4'			Y	ΈS	YES	PROJECT N 064500160 DATE: 02	SCALE: A DESIGNED	CHECKEL
T BE 2 GALLON			Y	ΈS	YES	PR 062 DA	SC BE	동 공
	STRIP DUE TO UTILITY EASEMENTS AND OVER							
WHERE POSSI								
	E PLACED IN ITS PLACE).						-	
							\triangleleft	
BOTANICA	AL NAME / COMMON NAME	SPECIFICATIONS	REMARKS				Ţ	
Acer rubru	im `October Glory` TM / October Glory Maple	4" cal, 15` ht, 6` spr	Full, Straigh	it, Single Leader			DNG	
Quercus vi	irginiana / Southern Live Oak	4" cal, 15` ht, 6` spr	Full, Straigh	t, Single Leader				
<u>BOTANIC</u>	AL NAME / COMMON NAME	SPECIFICATIONS	<u>REMARKS</u>					
lloy years'	ria / Yaunon Holly	1' ht v 1' an-	Foll Made +	runk 3 Cono Mire (d)	" Canes)		AN	
ilex vomito	rria / Yaupon Holly	4` ht x 4` spr	ruii, Multi-fi	runk 3 Cane Min, (1	Janes		Ľ	
	AL NAME / COMMON NAME	SPECIFICATIONS	<u>REMARKS</u>				Ω	
Loropetalu	Im chinense `Purple Diamond` / Chinese Fringe Flow	ver 30" ht, 24" spr, 30" oc	Full and mat	tching				
Rhaphioler	pis indica / Indian Hawthorn	18" ht, 18" spr, 24" oc	Full					
BOTANICA	AL NAME / COMMON NAME	SPECIFICATIONS	REMARKS					
_								
Euonymus	s fortunei `Colorata` / Purple-leaf Winter Creeper	12" ht, 12" spr, 18" oc	Full, 1 gallor	n min.			L	
<u>BOTANIC</u>	AL NAME / COMMON NAME		<u>REMARKS</u>				AST	
				Hadder to the second of	"II		TX E	
Cynodon d	dactylon / Bermuda Grass				illed joints, 100% weed, disease, to receive a 4` dia. mulch ring.		ц т т	
BOTANICA	L NAME / COMMON NAME	REMARKS					CEN E 30	
Hardwood N	Aulah	3" Depth, See Detail					ET O MATE	
Taruwoou k							ХщŎ	
							Ž Ľ Ŀ	
Steel Edge		3/16" Min. Thickness, Black	ζ.				()	
							ROCKWALL E CITY (1
							0C	
VIDED TO	NOTE: PLANT QUANTITIES ARE PROVIDED FO ONLY. IN THE CASE OF A DISCREPANCY, TH				BY HEIGHT AND SPREAD, NOT		Ř	
EETS AND	TAKE PRECEDENCE.			ATIONS PROVIDED	GS ARE EXPECTED TO MEET).			
O THE	NOTE: NO TREES TO BE PLANTED WITHIN 5'	OF ANY UTILITIES					ET NUMBER	
RATE SE.								1

LP 1.01

XREF xB 1:26 AM CRETAII 2-EC-7 2018-11 NAMIC XREF x2436 - XREF oT HUCKINS, LANDON 5 K:\FRI_LA\092932013-1 5/22/2018 11:24 AM HUCKINS, LANDON 5 IMAULJ XREFS PLOTTED BY DWG NAME LAST SAVED PLOTTED BY * * er SAVED



					<u></u>
		NORTH			DATE
		GRAPHIC SCALE IN FEET 0 10 20 40			
G 16" ELM TO SEE TREE TION THIS SHEET G 14" MISC. TREE TO	LEGEND	EXISTING TREE TO REMAIN/ PROTECT			REVISIONS
SEE TREE PROTECTION THIS SHEET	\bigotimes	EXISTING TREE TO BE REMOVED			CZ
	5045	TREE TAG NUMBER	2	- 002	-
	- <u></u>	- TREE PROTECTION FENCE		E TOWER, SUITE 700	-239-3820 2 FIPM F_028
ROCKWALL, TEXAS - TREE PRES	SERVATION			TOW	-239-(

- TREES WITH A DIAMETER OF 4" DBH OR LARGER ARE PROTECTED TREES AND MUST BE REPLACED. • BOIS D'ARC, WILLOW, COTTONWOOD, LOCUST, AND CHINABERRY ARE NOT CONSIDERED
- PROTECTED HACKBERRY AND CEDAR SPECIES THAT ARE LESS THAN 11" DBH ARE NOT CONSIDERED PROTECTED.

REPLACEMENT TREES MUST BE A MINIMUM OF 3" CALIPER.

PROTECTED TREES MEASURING 4" - 29" DHB SHALL BE REPLACED WITH CALIPER INCHES EQUAL TO THE TOTAL DIAMETER OF THE TREE(S) REMOVED. • HACKBERRY AND CEDAR TREES THAT ARE 11" DBH OR LARGER, SHALL BE REPLACED AT 50%

OF THE TOTAL CALOPER INCHES BEING REMOVED.

IF THE SITE IS TOO SMALL TO ACCOMMODATE THE NUMBER OF REPLACEMENT TREES REQUIRED, CREDITS CAN BE EARNED FOR TREES PLANTED OTHER AREAS DETERMINED BY THE PARKS AND RECREATION DEPARTMENT. THE LOCATION SHALL BE WITHIN ONE MILE OF THE AREA WHERE THE TREES ARE BEING REMOVED.

TREE REPLACEMENT CREDITS NOT EXCEEDING 20 PERCENT OF THE TOTAL REPLACEMENT INCHES CAN ALSO BE PURCHASED. PAYMENTS OF \$125.00 PER CALIPER INCH MAY BE PAID TO THE CITY OF ROCKWALL TREE FUND.

(37.5" x .20 = 7.5" 7.5" x \$125 = \$937.50 INTO TREE FUND)

TREE REMOVAL

<u>CALIPER</u>

16"

15"

6"

8"

FO TREE FUN	(ח		
,		REPLACEMENT TREE CAL	CULATION
		REPLACEMENT INCHES (3 TREES):	30"
		REPLACEMENT INCHES (CEDAR)	7.5"
		TOTAL REPLACEMENT INCHES	37.5"
AL.		REPLACEMENT INCHES - TREE CREDITS (\$937.50 INTO TREE FUND)	37.5" - 7.5" = 30"
<u>STATUS</u>	<u>MITIGATION</u>	REPLACEMENT TREES REQUIRED	
PROTECTED	16"	$\frac{(4" CAL)}{30" / 3" = 10 REPLACEMENT TREES}$	10 TREES
PROTECTED	7.5"	REPLACEMENT INCHES ON SITE	
PROTECTED	6"	15" PROVIDED BY UPSIZING CODE TREES ON SITE TO 4" CAL.	15" PROVIDED
PROTECTED	8"	15" REMAINING TO BE PAID INTO FUND (\$1,875)	15" REMAINING TO BE PAID

TOTAL TO BE PAID (\$2,812.50)

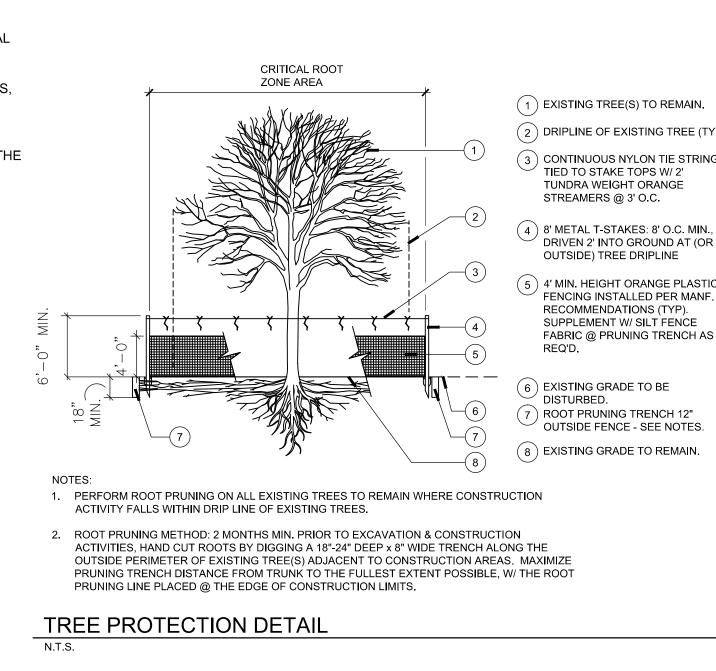
<u>TYPE</u>

CYPRESS

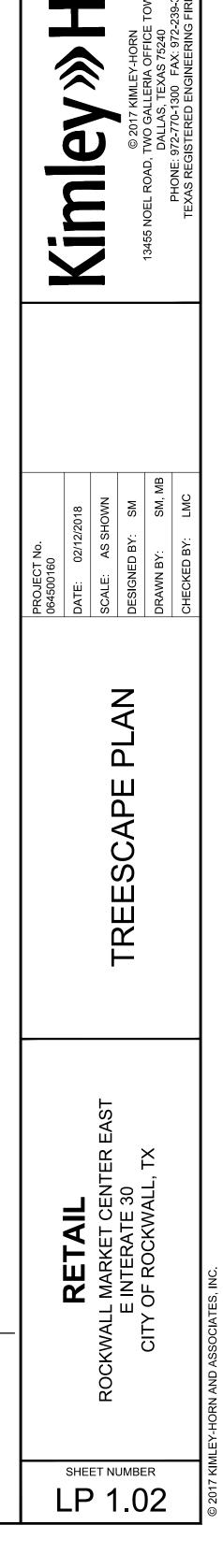
CEDAR

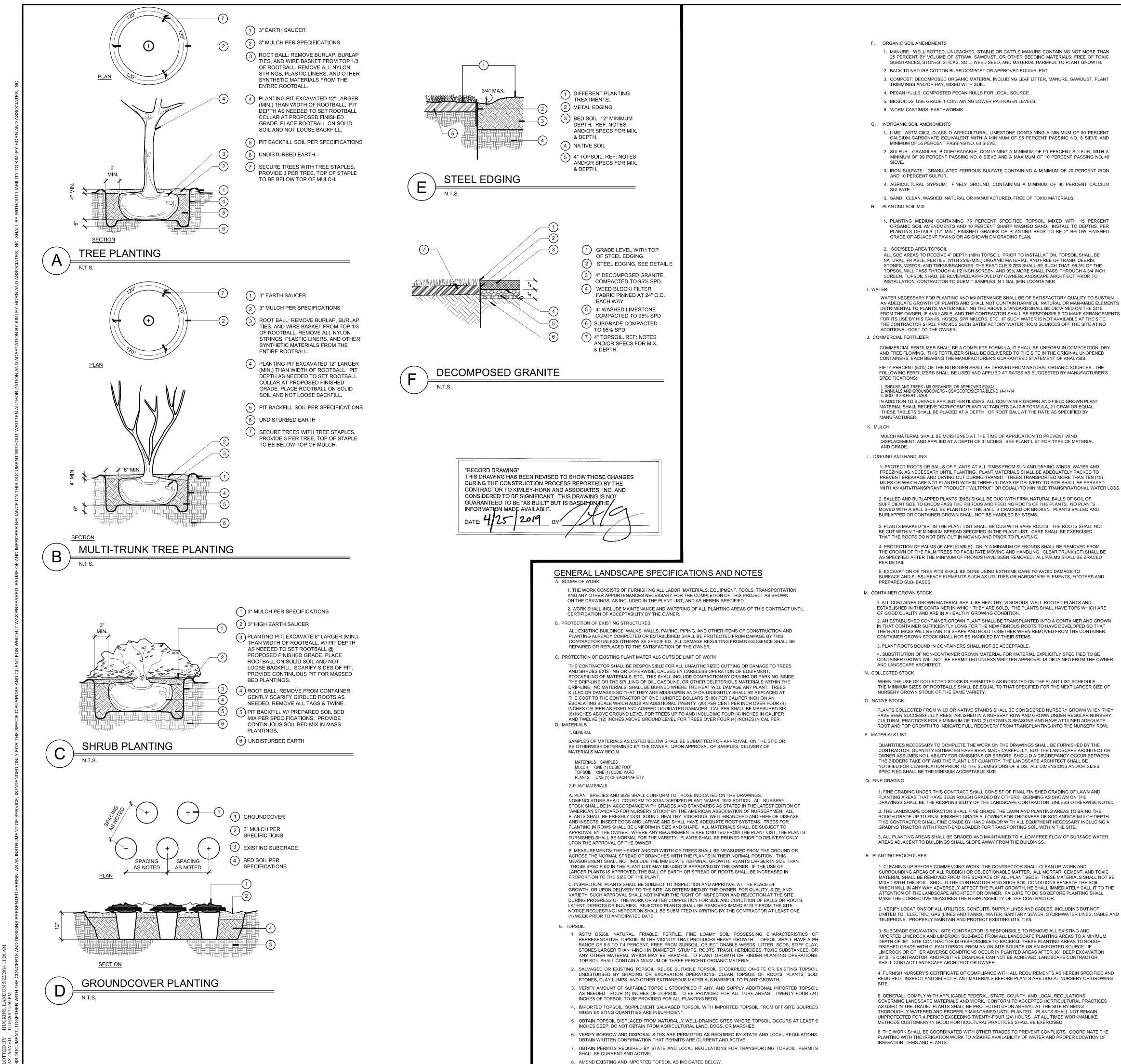
ELM

OAK



- $\begin{pmatrix} 1 \end{pmatrix}$ EXISTING TREE(S) TO REMAIN.
- 2 DRIPLINE OF EXISTING TREE (TYP)
-) CONTINUOUS NYLON TIE STRING
- TIED TO STAKE TOPS W/ 2' TUNDRA WEIGHT ORANGE STREAMERS @ 3' O.C.
- DRIVEN 2' INTO GROUND AT (OR OUTSIDE) TREE DRIPLINE
- 5 4' MIN. HEIGHT ORANGE PLASTIC FENCING INSTALLED PER MANF. RECOMMENDATIONS (TYP) SUPPLEMENT W/ SILT FENCE FABRIC @ PRUNING TRENCH AS REQ'D.
- EXISTING GRADE TO BE DISTURBED.
-) ROOT PRUNING TRENCH 12" OUTSIDE FENCE - SEE NOTES.
- (8) EXISTING GRADE TO REMAIN.





7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER HE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES

WHILE INSTALLING TREES. 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S

SPECIFICATIONS OR AS FOLLOWS: - TWO (2) TABLETS PER 1 GAL. PLAN

HREE (3) TABLETS PER 3 GAL. PLANT - FOUR (4) TABLETS PER 10 GAL PLANT - LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10 TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SLICH ALEVEL THAT AFTER SETTLEMENT. THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL FHOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. 12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS. WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE. 3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF

TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY. 4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWIS B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS. A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD. CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALI AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

5. SEEDIN

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY. B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES. PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF.

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET, AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES, CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS. THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE. T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING. CULTIVATING. SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM) 1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

W. GUARANTEF 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR

YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. 2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90

CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. 3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE

GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING". AT NO ADDITIONAL COST TO THE OWNER. 4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE. THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES

BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE. X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

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REFER TO SHE PLAN TO ADDITIONAL DIRESIONAL INFORMATION A. ALL INCR. MONTRINAL SHALL GUITER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED. SALLISLANDS WITH CURE & GUITER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED. ALL SLANDS WITH CURE & GUITER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED. WITH CURE & GUITER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL HUNDER AND DISTLAL ALL INCREMENT BARRINGADES, SIGNE, FRINCES, INC. THE CONTRACTOR SHALL PROTECT ALL WORMANIA SUSPECTIONS. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PROFERITY CONDERS DURING CONS THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PROFERITY CONDERS DURING CONS THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PROFERITY CONDERS DURING CONS CONTRACTOR SHALL REFLACE EXISTING CONCOMPLE QUERE). BUTH SITT TRANSFORTANO, TADO TANO LITY OF ROOKWALL INSPECTIONS. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PRIS, AND PROPERTY CONDERS DURING CONS CONTRACTOR SHALL REFLACE EXISTING CONCOMPLE QUERE). BUTH SITT TRANSFORTANT TO CONNECT TO EXISTING INTRASTRUCTURE, INCLUDES AND GUITE RAIL PROFERITY INTO AND CONTRACTOR SHALL PROTECT DE CONTRACTOR SHALL DEVELOPMENT. TO EXISTING INTRASTRUCTURE, INCLUDES AND SHALL WORKING TO THE STADUCTURE. COORDINATE AND SECTION WITH INSECTION WITH INDERCOTOR. CONTRACTOR SHALL INTRUSTRY PROPERTY TO THE ONE AND DISCIPLINATION FOR PROTECTION DE STADES. THE CONTRACTOR SHALL AND DISCIPLINATION TO READ SHALL CONTRACTOR SHOWN AND REPORT TO THE ONE OF TRANSFERIORS AND		
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T. MATEMAE OUD FOR DAONHILLING TALINGES SHALL DE PROPERLY COMPACTED IN ORDER TO MI	7 /	
EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.		
 REGULATIONS. 7.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH. 		REGULATIONS.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE	IF / RES	ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONT SPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS		
10. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO I 11. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES,		
SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE TEXAS DEPARTMENT OF TRANSPORTAT DETAILS AND SPECIFICATIONS.	SH/ DE ⁻	ALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE TEXAS DEPARTMENT OF TRANSPORTATION S TAILS AND SPECIFICATIONS.
 THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY. ALL STORM SERVER MANUALES IN DAVER AND UNDAVED ADEAD OUTLINE FLUCTURE DAVENENT. AND 	СО	NNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
13. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AN TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".	TR/	AFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
 STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECES RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATI THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR 		

UTILITY NOTES:

1. ALL FILL MATERIAL IS TO BE

PERCENT OF STANDARD PRO

ANY EXISTING LINE.

6" PVC SCHEDULE 40 4" PVC SCHEDULE 40

OF 3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

DETAILS.

TESTING CRITERIA.

CONNECTION OF SERVICE.

SPECIFICATIONS.

CONTRACTOR.

GRADE.

TRAFFIC CONTROL

1.

IN PLACED IN 8-INCH THICK LOOSE LIFTS AND COMPACTED TO A DRY DENSITY OF 93 TO 97	
OCTOR MAXIMUM DRY DENSITY PER THE GEOTECH REPORT.	

- 2. CONTRACTOR SHALL NOTIFY THE CITY OF ROCKWALL ENGINEERING INSPECTORS 72-HOURS BEFORE CONNECTING TO 2. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 10' DEEP 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 10' DEEP
- DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151 4. WATER LINES SHALL BE AS FOLLOWS:
 - 3" AND LARGER CLASS 200 DR 14 SMALLER THAN 3" - TYPE K COPPER TUBE
- 5. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- 6. ALL WATER JOINTS ARE TO BE MEGALUG MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY 8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR
- 7. WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- 8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4.0' COVER ON ALL WATERLINES.
- 9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE ENCASED IN DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- 10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- 11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I. JAL 12. THE CITY OF ROCKWALL HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS
 - 13. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
 - 14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- (AS 15. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES.
 - 16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF ROCKWALL UTILITY/ENGINEERING DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IF CITY OF ROCKWALL DOES NOT REQUIRE TESTING, CONTACT ENGINEER FOR APPROPRIATE UTILITY
 - 17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - 18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - 19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL
 - 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND
 - 21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
 - 22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
 - 23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY
 - 24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDER FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- NS 25. WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - 26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE ENCASEMENT SHALL BE INSTALLED.
 - 27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD 28. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED
 - 28. GREASE INTERCEPTOR SIZING AND DETAILS ARE TO BE INCLUDED WITH BUILDING CONSTRUCTION PLUMBING PLANS. 29. ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
- ESS 30. CONTRACTOR TO INSTALL GREEN EMS DISKS ON PUBLIC SEWER AT ALL MANHOLES, CLEANOUTS, SERVICE CONNECTIONS, AND EVERY CHANGE IN DIRECTION.
 - 31. CONTRACTOR TO INSTALL BLUE EMS DISKS ON WATER LINES AT EVERY VALVE, SERVICE CONNECTION, CHANGE IN 1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE. DIRECTION, FIRE HYDRANTS, AND EVERY 250 FEET.
 - 32. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ALL PROPOSED AND EXISTING STRUCTURES AND UTILITIES TO FINAL

BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF ROCKWALL UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- 2. ALL REQUIRED BACKFLOW PREVENTER ASSEMBLES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
 - THE DOMESTIC AND IRRIGATION TESTABLE BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF ROCKWALL REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF ROCKWALL REGULATIONS.
- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

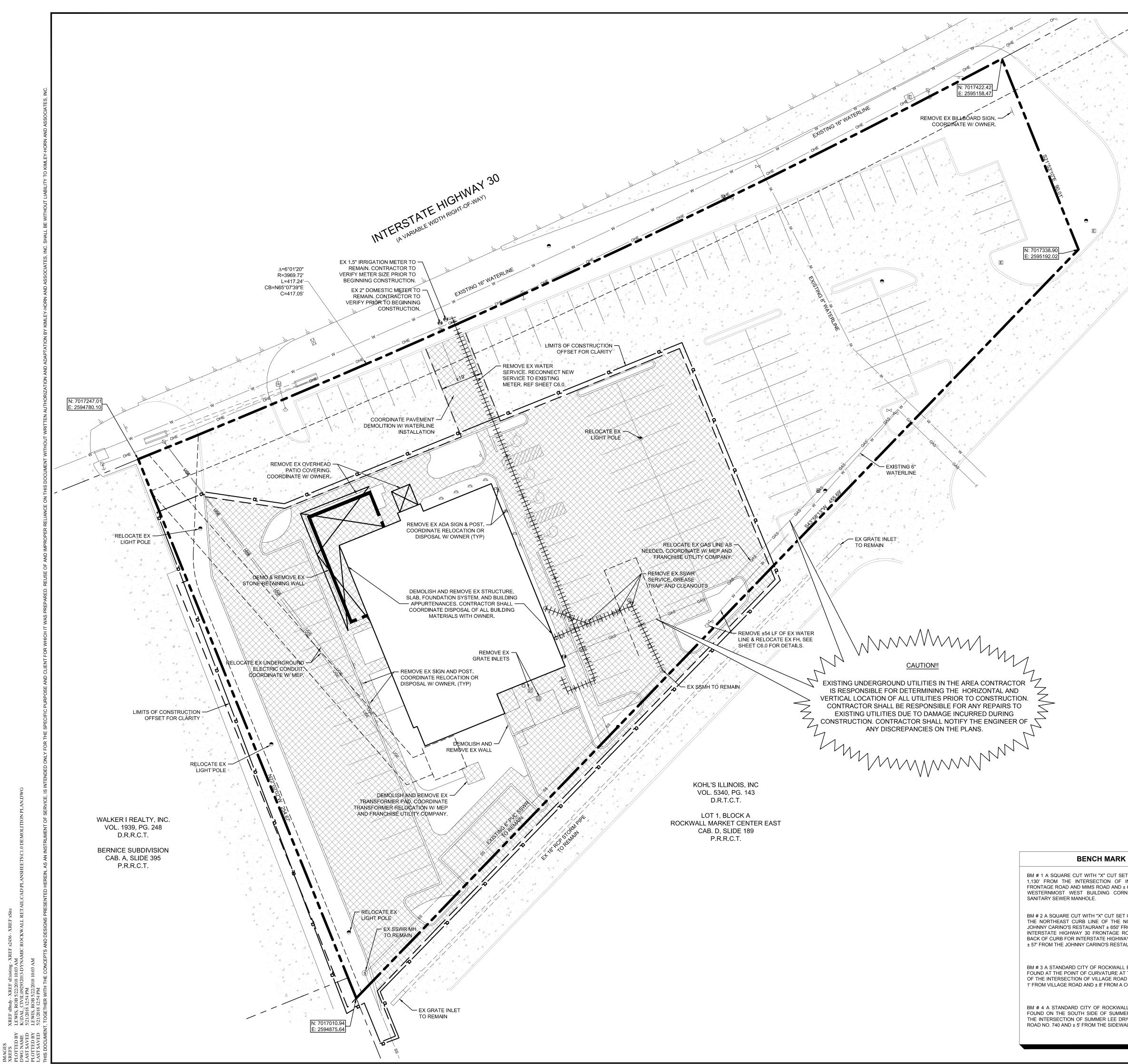
GRADING:

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF ROCKWALL AND TEXAS DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
- 3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- 4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD 4 CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- 6. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- 7. ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF TEXAS. PER THE CITY OF ROCKWALL STANDARDS, MINIMUM 95% COMPACTION WITH A SHEEP'S FOOT ROLLER IS REQUIRED EXCEPT ON BUILDING PAD.
- OTHER GRADING REQUIREMENTS. THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE
- BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT. 10. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW
- PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND. 11.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A 8 VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- 12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- 13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE 9 STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
- 15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL VEGETATION IS ESTABLISHED AND DISTURBED AREAS ARE STABILIZED. 16. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING
- AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- 17. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.
- CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON 18. THE PLANS. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL DEWATERING RECOMMENDATIONS.
- 19. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- 20. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE
- 21. ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNIAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- 22. GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE GUTTER FLOW LINE FOR CURB INLETS.
- 23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- 25. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
- 26. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE 27. ALL AREAS WITH GREATER THAN 4:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR 3 APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - 29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.

FINE GRADING NOTES

- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- 3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- 4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

		DATE
ERC	DSION CONTROL NOTES: CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.	
	CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS FROM THE <u>TCEQ AND NCTCOG 4TH EDITION</u> EROSION AND SEDIMENT CONTROL REGULATIONS.	
i.	GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.	SNO1
ŀ.	THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 4:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.	REVISIONS
i.	DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.	
i.	SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.	ġ.
	WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.	SUITE 700
	ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE <u>CITY OF ROCKWALL INSPECTIONS DEPARTMENT</u> . TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.	TOWER, 239-3820 FIRM F-6
).	ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE <u>TCEQ AND NCTCOG</u> EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.	EY-HORN RIA OFFICE XAS 75240 FAX: 972-2 GINEERING
0.	THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.	2-770-1300 CERED EN
	A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.	© © DV COAD, TW DV DV DV DV DV DV DV DV DV DV DV DV DV
2.	STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED WITH RYE, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE TCEQ AND NCTCOG SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.	13455 NOEL ROAD TEXAS REF
	CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.	
4.	WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.	
	ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR	
7.	TO DISCHARGE TO RECEIVING OUTLET. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS	
8.	IMMEDIATELY AFTER INSTALLATION. PER CITY OF ROCKWALL STANDARDS, 75-80% OF ALL DISTURBED AREA TO HAVE HAVE A MINIMUM 1" STAND OF GRASS (NOT SEASONAL LIKE WINTER RYE) PRIOR TO CITY ACCEPTANCE AND/OR CERTIFICATE OF OCCUPANCY.	
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-	THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS	o. 36 S E ` ∑
-	REMOVED THROUGH EFFORTS FOR OTHER FEATURES. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR	PROJECT N 092932013 DATE: D DATE: A SCALE: A DESIGNED DRAWN BY CHECKED E
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	SUBGRADE PREPARATION.ROCKWALL, IN REVIEWING AND RELEASING PLANSTITLE: PROJECT NO. 4G-1802002FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITYBY: GILES ENGINEERING ASSOCIATES, INC.FOR ADEQUACY OR ACCURACY OF DESIGN.DATED: MARCH 14, 2018FOR ADEQUACY OR ACCURACY OF DESIGN.	
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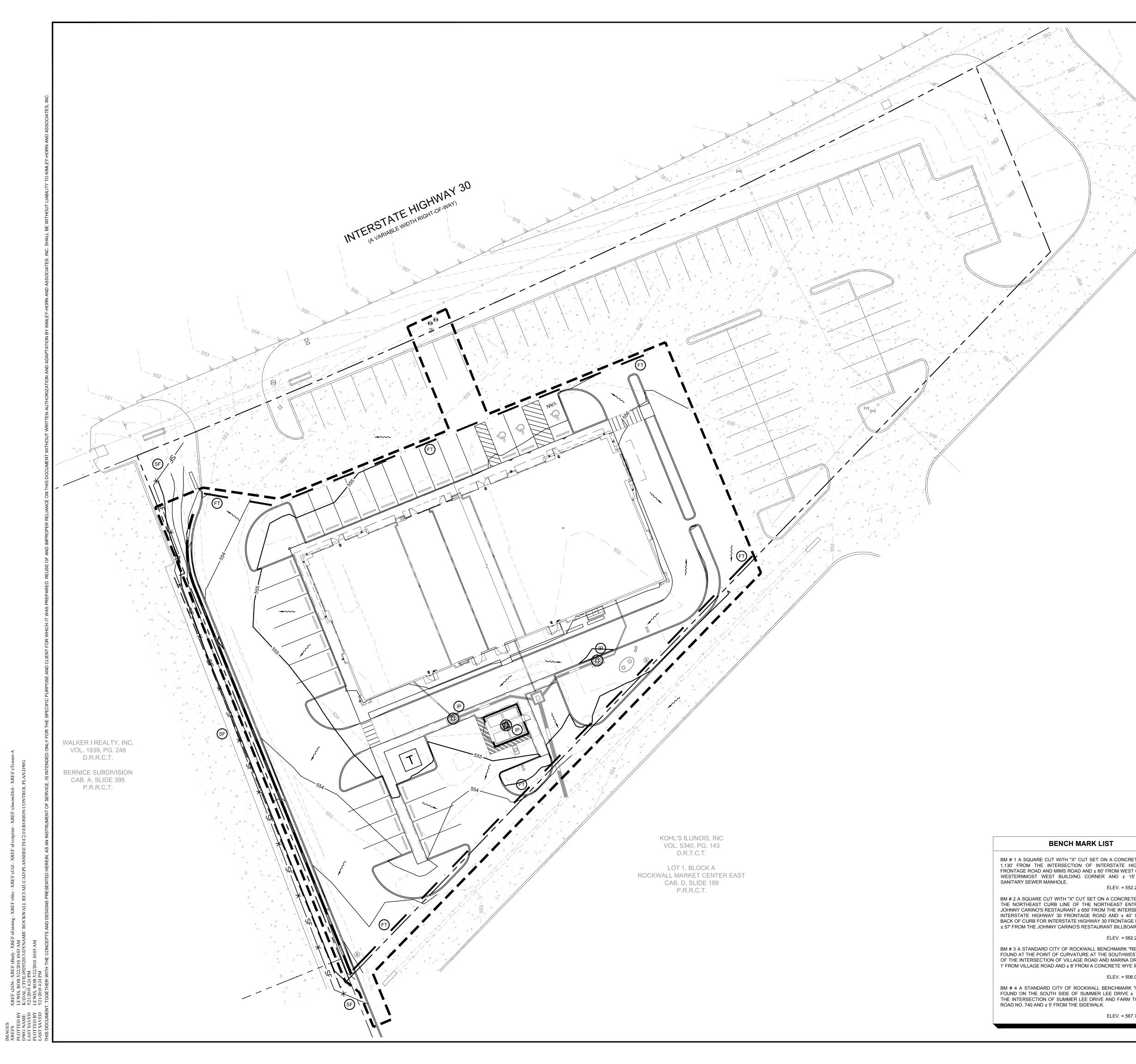
DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDING AND EROSION CONTROL.
- 2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- 3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK
- 4. WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
- 5. ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
- 6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.
- 7. CONTRACTOR TO COORDINATE WITH ARCHITECT, STRUCTURAL ENGINEER, AND GEOTECH AS NEEDED DURING DEMOLITION OF ANY BUILDING SYSTEMS, APPURTENANCES, AND FOUNDATIONS.

KEY

- BFR BARRIER FREE RAMP CURB INLET CI AREA INLET AI
- GI GRATE INLET
- SSMH SANITARY SEWER MANHOLE STMH STORM MANHOLE FH FIRE HYDRANT FDC FIRE DEPARTMENT CONNECTION

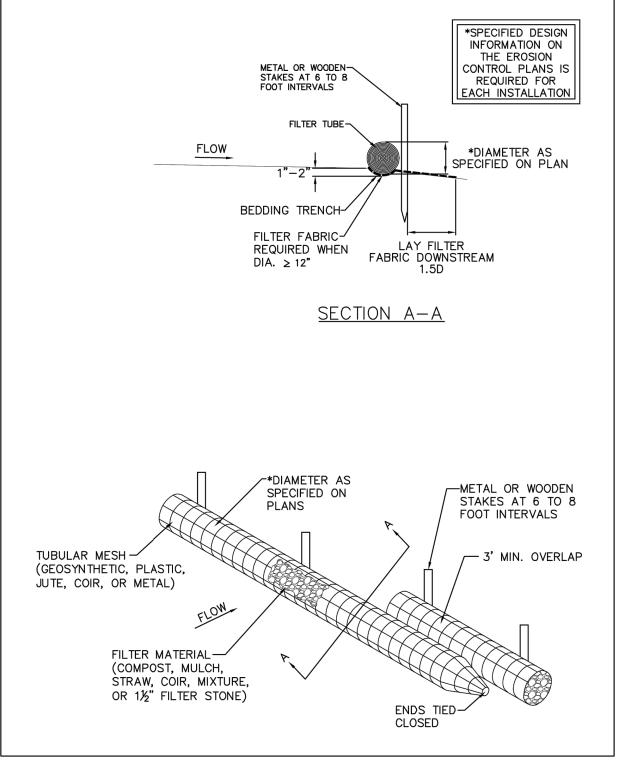
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T ON A CONCRETE CURB ± INTERSTATE HIGHWAY 30 ± 60' FROM WEST OF KOHL'S NER AND ± 15' FROM A ELEV. = 552.20 T ON A CONCRETE CURB ON NORTHEAST ENTRANCE OF ROM THE INTERSECTION OF ROAD AND ± 40' SOUTH OF AY 30 FRONTAGE ROAD AND AURANT BILLBOARD.	"RECORD DRAWING" THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE. DATE: 425 2019 BY:	RETAIL - MARKET CENTER E INTERSTATE 30 OF ROCKWALL, TX	:S, INC.
ELEV. = 562.29 - BENCHMARK "RESET #6 -1" I THE SOUTHWEST CORNER D AND MARINA DRIVE AND ± CONCRETE WYE INLET.	RESPONSIBILITY NOTE	ROCKWALL EI CITY (2018 KIMLEY-HORN AND ASSOCIATES, INC.
ELEV. = 506.05 LL BENCHMARK "RESET #1" ER LEE DRIVE ± 160' FROM RIVE AND FARM TO MARKET ALK.	ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.		IMLEY-HORN A
ELEV. = 567.70	(@ least 72 hours prior to digging)	SHEET NUMBER	© 2018 K



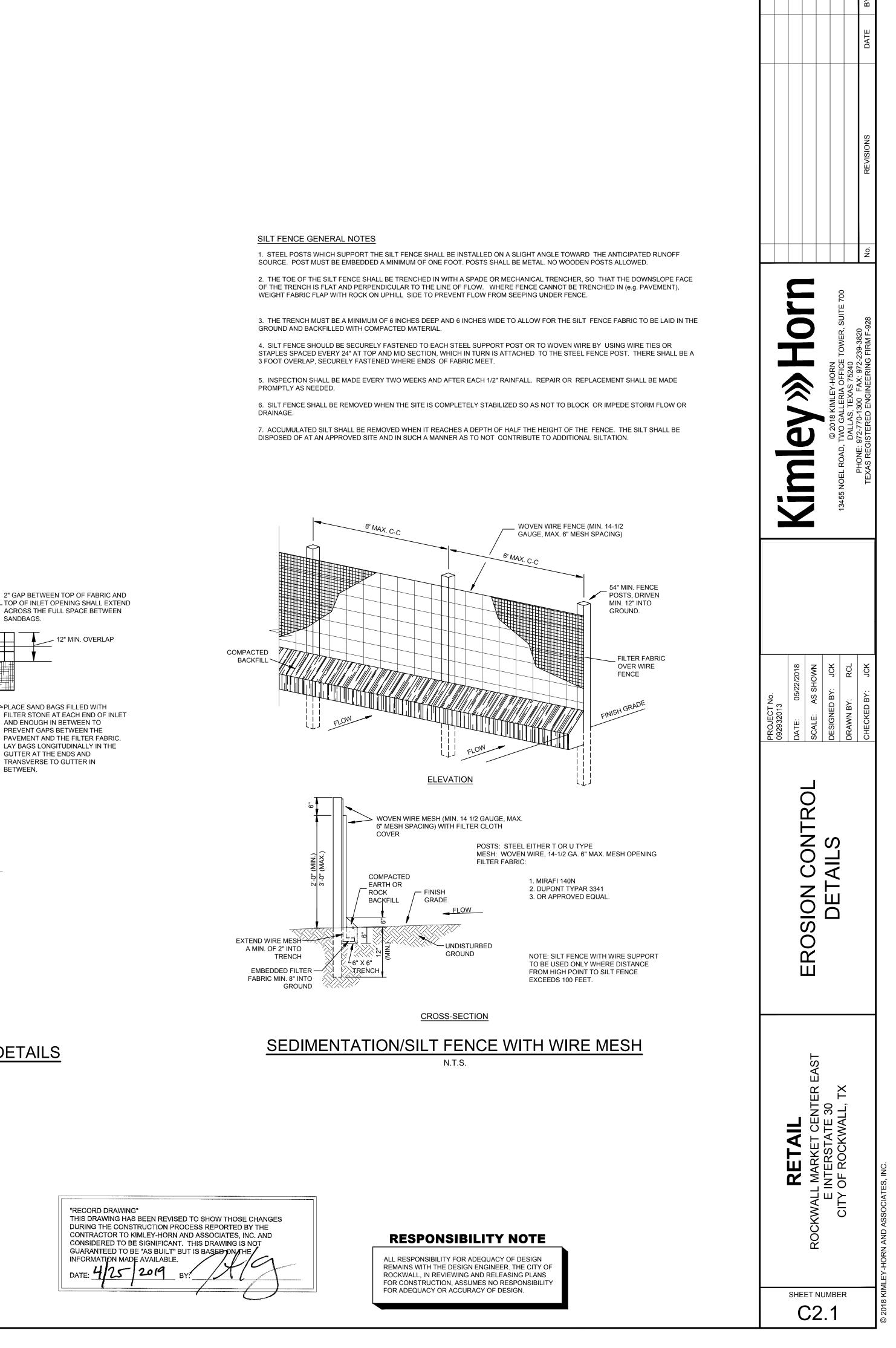
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		EXISTING PAVEMENT TO REMAIN	© 2018 b © 2
		LIMITS OF DISTURBANCE (OFFSET FOR CLARITY) (APPROX 0.9 ACRES)	13455 NOEL ROAD TEXAS REG
2. AL AF BE RC 3. IF SE TC SI 4. OI AT PF SE DI 5. IN TH DC FL RE EF 6. CC AI AL	ROSION CONTROL DEVICES SHOWN ON THIS PLART OF LAND DISTURBING ACTIVITIES ON THE L EROSION CONTROL DEVICES ARE TO BE INS PROVED PLANS FOR THIS PROJECT, AND NCT APPROVED BEFORE CONSTRUCTION BY THE D OCKWALL ENGINEERING DIVISION. THE EROSION CONTROL PLAN AS APPROVED O EDIMENTATION FROM THE PROJECT, THE EROS D BE REVISED AND/OR ADDITIONAL EROSION CO TE. F-SITE BORROW AND SPOIL AREAS ARE CONS DD MUST ALSO COMPLY WITH THE EROSION CO COJECT. THIS INCLUDES THE INSTALLATION OF EDIMENTATION AND THE ESTABLISHMENT OF PI STURBED AREAS PRIOR TO FINAL APPROVAL O SPECTIONS SHALL BE MADE WEEKLY AND AFTE IE DEVICES ARE FUNCTIONING PROPERLY. WHI DID SPACES BETWEEN STONES OR MUD IS BEIN IE AGGREGATE PAD MUST BE WASHED DOWN O COWING THROUGH ANOTHER BMP TO CONTROL GRADING OR THE ADDITION OF NEW STONE M FICIENCY OF THE DEVICES. DNTRACTOR SHALL BE RESPONSIBLE FOR SUBIL DDITIONAL INFORMATION REQUIRED BY THE TO L TCEQ STORMWATER POLLUTION PREVENTIO CORD DRAWING" IS DRAWING HAS BEEN REVISED TO SHOW TH RING THE CONSTRUCTION PROCESS REPOR: NTRACTOR TO KIMLEY-HORN AND ASSOCIAT NSIDERED TO BE SIGNIFICANT. THIS DRAWIN ARANTEED TO BE "AS BUILT" BUT IS BASED ORMATION MADE AVAILABLE. TE: 4254 2019 BY:	PROJECT. TALLED IN ACCORDANCE WITH THE COG SPECIFICATIONS. CHANGES ARE TO DESIGN ENGINEER AND THE CITY OF CANNOT CONTROL EROSION AND OFF-SITE BION CONTROL PLAN WILL BE REQUIRED ON IDERED AS PART OF THE PROJECT SITE, ONTROL DEVICES WILL BE REQUIRED ON IDERED AS PART OF THE PROJECT SITE, ONTROL REQUIREMENTS FOR THIS THE PROJECT. ER RAIN STORM EVENTS TO INSURE THAT EN SEDIMENT OR MUD HAS CLOGGED THE NG TRACKED ONTO A PUBLIC ROADWAY OR REPLACED. RUNOFF FROM THE WASH DRAIN DIRECTLY OFF SITE WITHOUT FIRST. OFF SITE SEDIMENTATION. PERIODIC MAY BE REQUIRED TO MAINTAIN THE MITTAL OF N.O.I., N.O.T. AND ANY CEQ CONTRACTOR SHALL COMPLY WITH ON REQUIREMENTS.	Project No. Project No. <t< th=""></t<>
K "RESET #1" ± 160' FROM ALL RESPONSIBILITY REMAINS WITH THE D	CAUTION CAUTION EXISTING UNDERGROUND UTILITIES IS RESPONSIBLE FOR DETERMINI VERTICAL LOCATION OF ALL UTILITIES CONTRACTOR SHALL BE RESPONS EXISTING UTILITIES DUE TO DAN CONSTRUCTION. CONTRACTOR SHA ANY DISCREPANCIES MAMAGEMENT SIBILITY NOTE FOR ADEQUACY OF DESIGN DESIGN ENGINEER. THE CITY OF	III S IN THE AREA CONTRACTOR ING THE HORIZONTAL AND ES PRIOR TO CONSTRUCTION. SIBLE FOR ANY REPAIRS TO MAGE INCURRED DURING ALL NOTIFY THE ENGINEER OF	RETAIL ROCKWALL MARKET CENTER EAST E INTERSTATE 30 CITY OF ROCKWALL, TX
1 TO MARKET ROCKWALL, IN REVIE FOR CONSTRUCTION	WING AND RELEASING PLANS , ASSUMES NO RESPONSIBILITY ACCURACY OF DESIGN.	CALL BEFORE YOU DIG DIG TESS 1-800-DIG-TESS (@ least 72 hours prior to digging)	SHEET NUMBER

3 KIMI EY-HORN AND ASSOCIATES

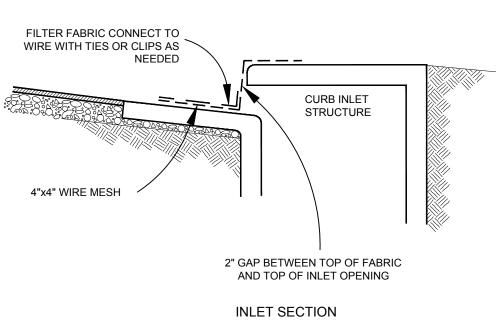


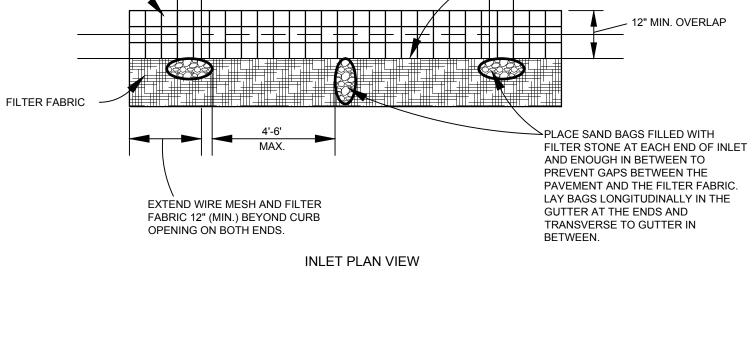










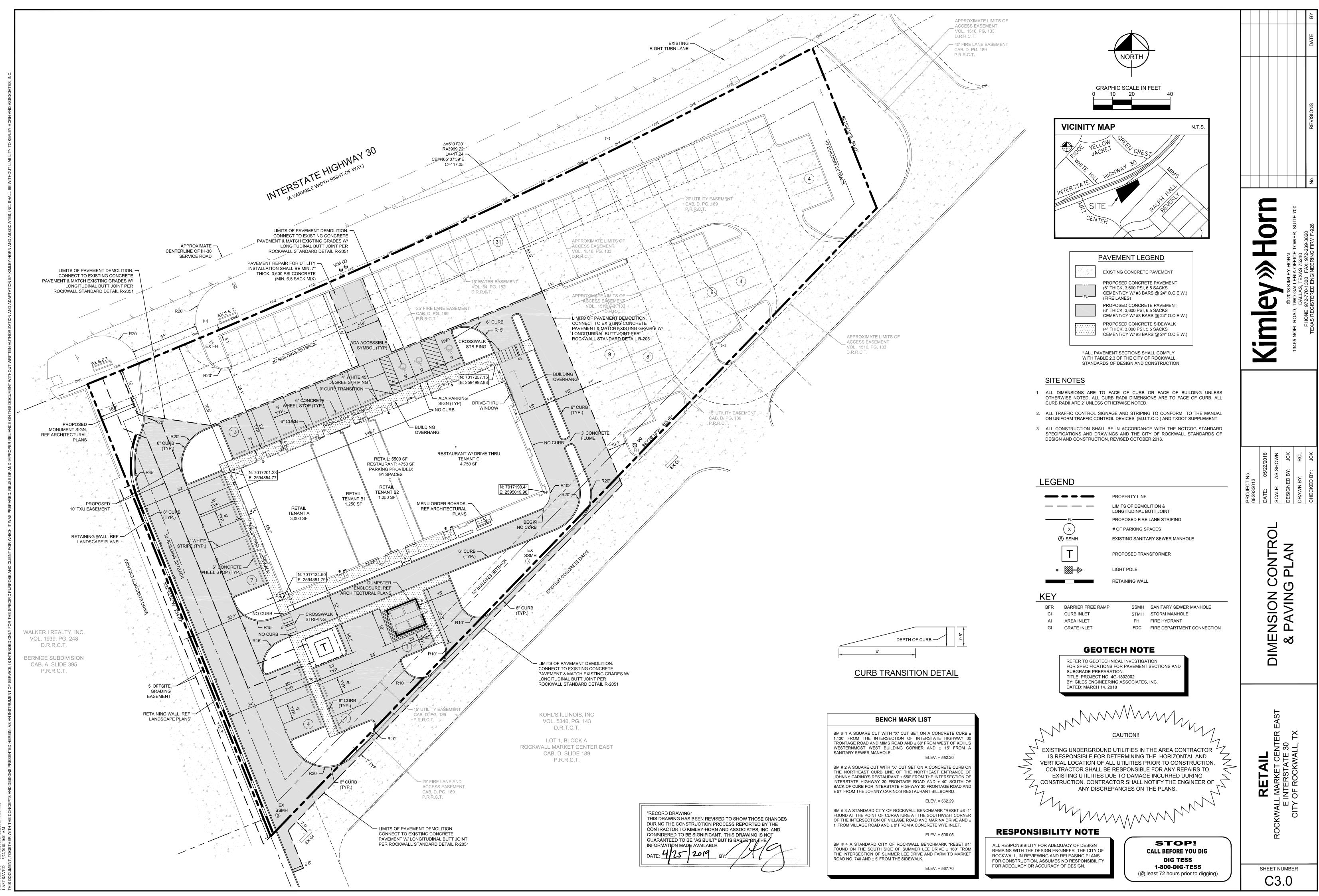


CURB INLET

SANDBAGS.

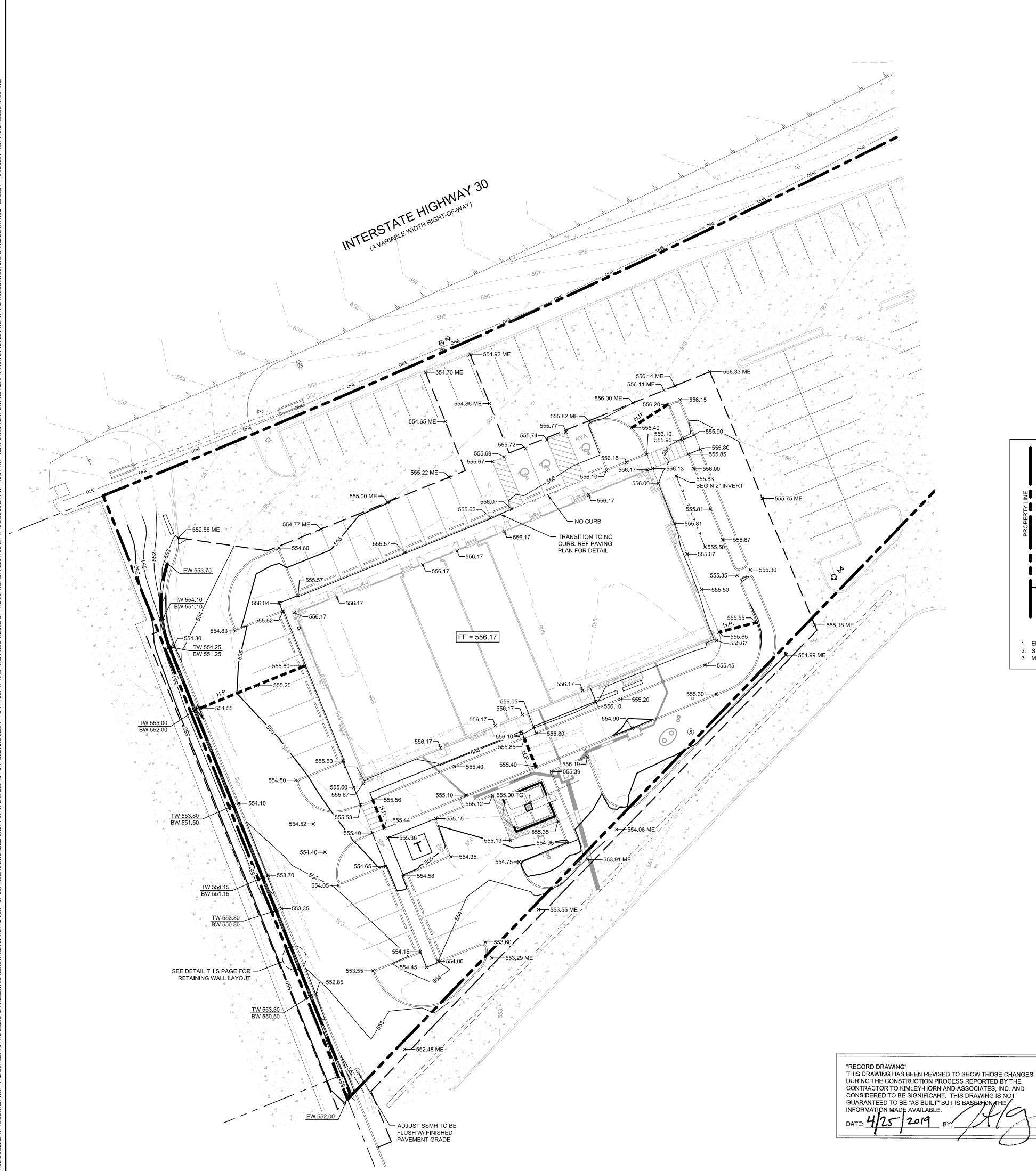
NOTE: VERTICAL PANEL BARRICADES TO BE PLACED WHEN LOCATED ON AN ACTIVE STREET.

4"x4" WIRE MESH

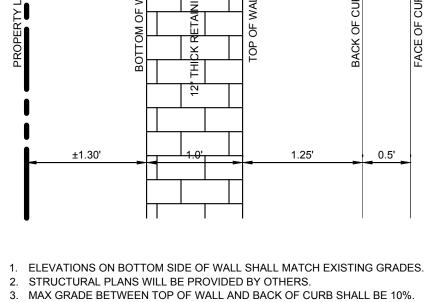


122/2 \092 AM 122/2 XILL AL LEWIS, J K:\DAL 5/22/2018 LEWIS,





RETAINING WALL DETAIL



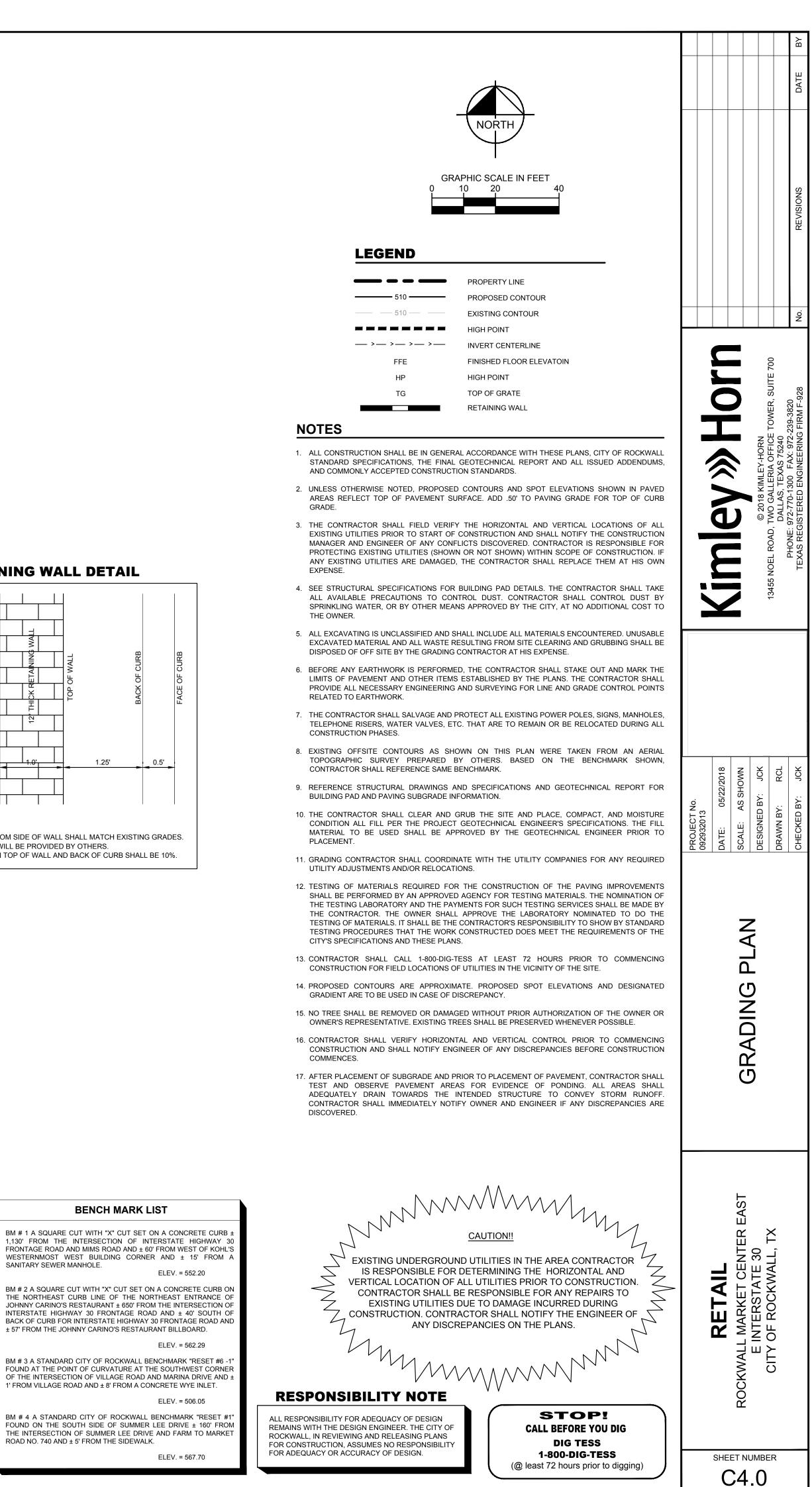
BENCH MARK LIST

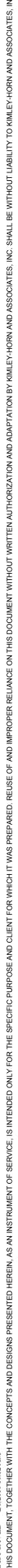
1,130' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND MIMS ROAD AND ± 60' FROM WEST OF KOHL'S WESTERNMOST WEST BUILDING CORNER AND ± 15' FROM A SANITARY SEWER MANHOLE.

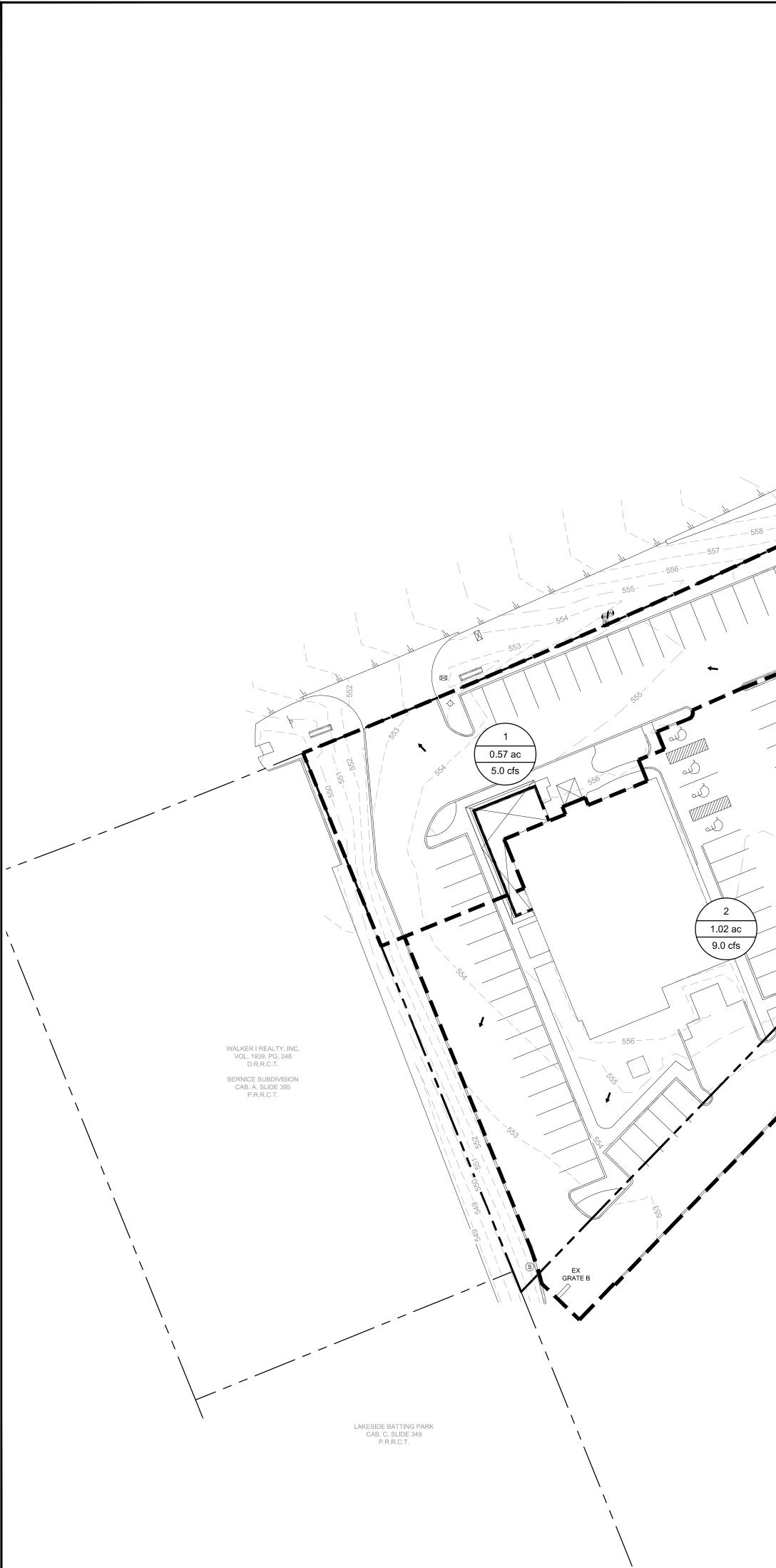
BM # 2 A SQUARE CUT WITH "X" CUT SET ON A CONCRETE CURB ON THE NORTHEAST CURB LINE OF THE NORTHEAST ENTRANCE OF JOHNNY CARINO'S RESTAURANT ± 650' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 40' SOUTH OF BACK OF CURB FOR INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 57' FROM THE JOHNNY CARINO'S RESTAURANT BILLBOARD.

BM # 3 A STANDARD CITY OF ROCKWALL BENCHMARK "RESET #6 -1" FOUND AT THE POINT OF CURVATURE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF VILLAGE ROAD AND MARINA DRIVE AND ± 1' FROM VILLAGE ROAD AND ± 8' FROM A CONCRETE WYE INLET.

BM # 4 A STANDARD CITY OF ROCKWALL BENCHMARK "RESET #1 FOUND ON THE SOUTH SIDE OF SUMMER LEE DRIVE ± 160' FROM THE INTERSECTION OF SUMMER LEE DRIVE AND FARM TO MARKET ROAD NO. 740 AND ± 5' FROM THE SIDEWALK.







	DRAINAGE AREA TA				
DF	RAINAGE AREA NO.	AREA (ac)	ANTECEDENT FACTOR	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRAT (minutes)
	1	0.57	1.00	0.90	10
	2	1.02	1.00	0.90	10
	3	0.66	1.00	0.90	10

KOHL'S ILLINOIS, INC VOL. 5340, PG. 143 D.R.T.C.T. LOT 1, BLOCK A ROCKWALL MARKET CENTER EAST CAB. D, SLIDE 189 P.R.R.C.T.

EX GRATE A

BENCH MARK LIST

BM # 1 A SQUARE CUT WITH "X" CUT SET ON A CONCRETE CURB \pm 1,130' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND MIMS ROAD AND \pm 60' FROM WEST OF KOHL'S WESTERNMOST WEST BUILDING CORNER AND \pm 15' FROM A SAMITARY SEVER MANUAL SANITARY SEWER MANHOLE.

BM # 2 A SQUARE CUT WITH "X" CUT SET ON A CONCRETE CURB ON THE NORTHEAST CURB LINE OF THE NORTHEAST ENTRANCE OF JOHNNY CARINO'S RESTAURANT ± 650' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 40' SOUTH OF BACK OF CURB FOR INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 57' FROM THE JOHNNY CARINO'S RESTAURANT BILLBOARD.

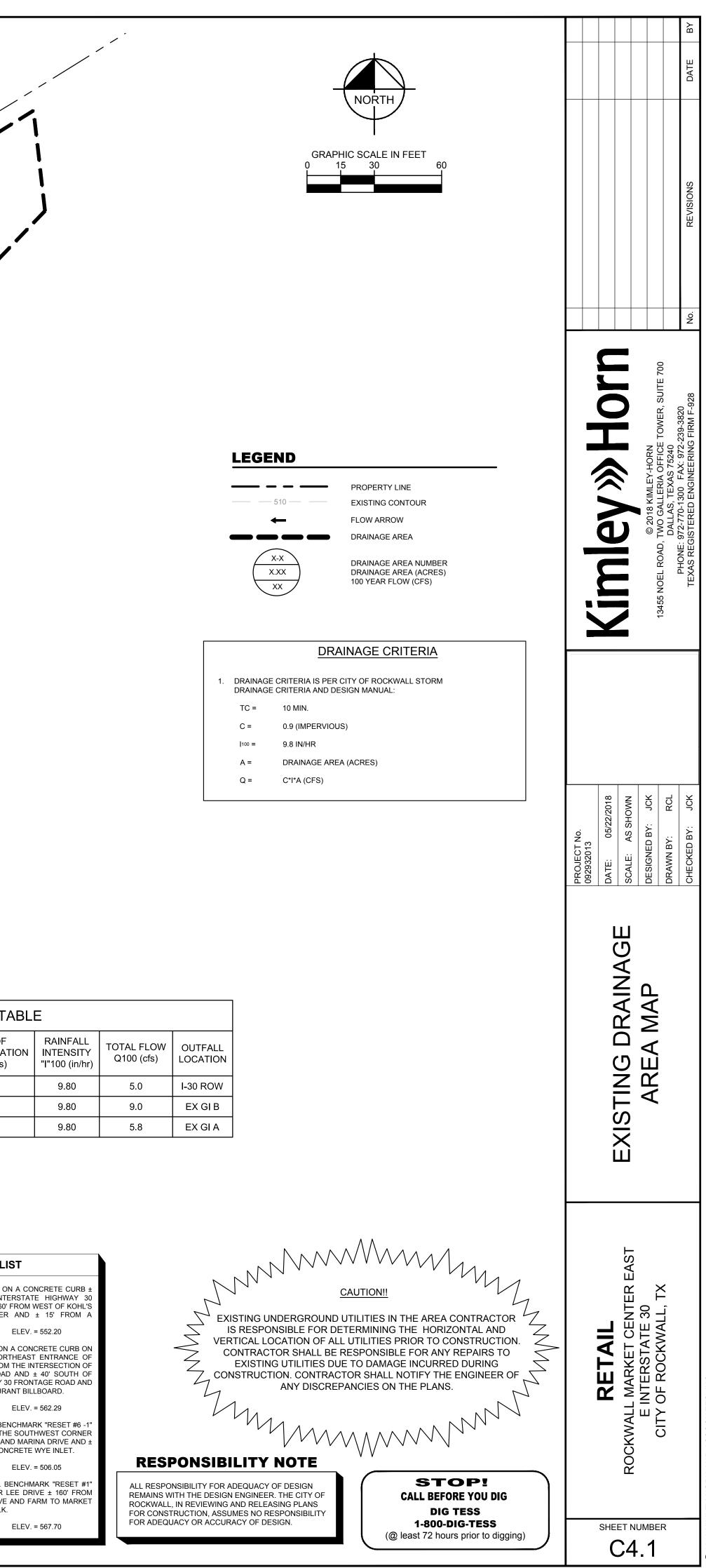
BM # 3 A STANDARD CITY OF ROCKWALL BENCHMARK "RESET #6 -1" FOUND AT THE POINT OF CURVATURE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF VILLAGE ROAD AND MARINA DRIVE AND \pm 1' FROM VILLAGE ROAD AND ± 8' FROM A CONCRETE WYE INLET.

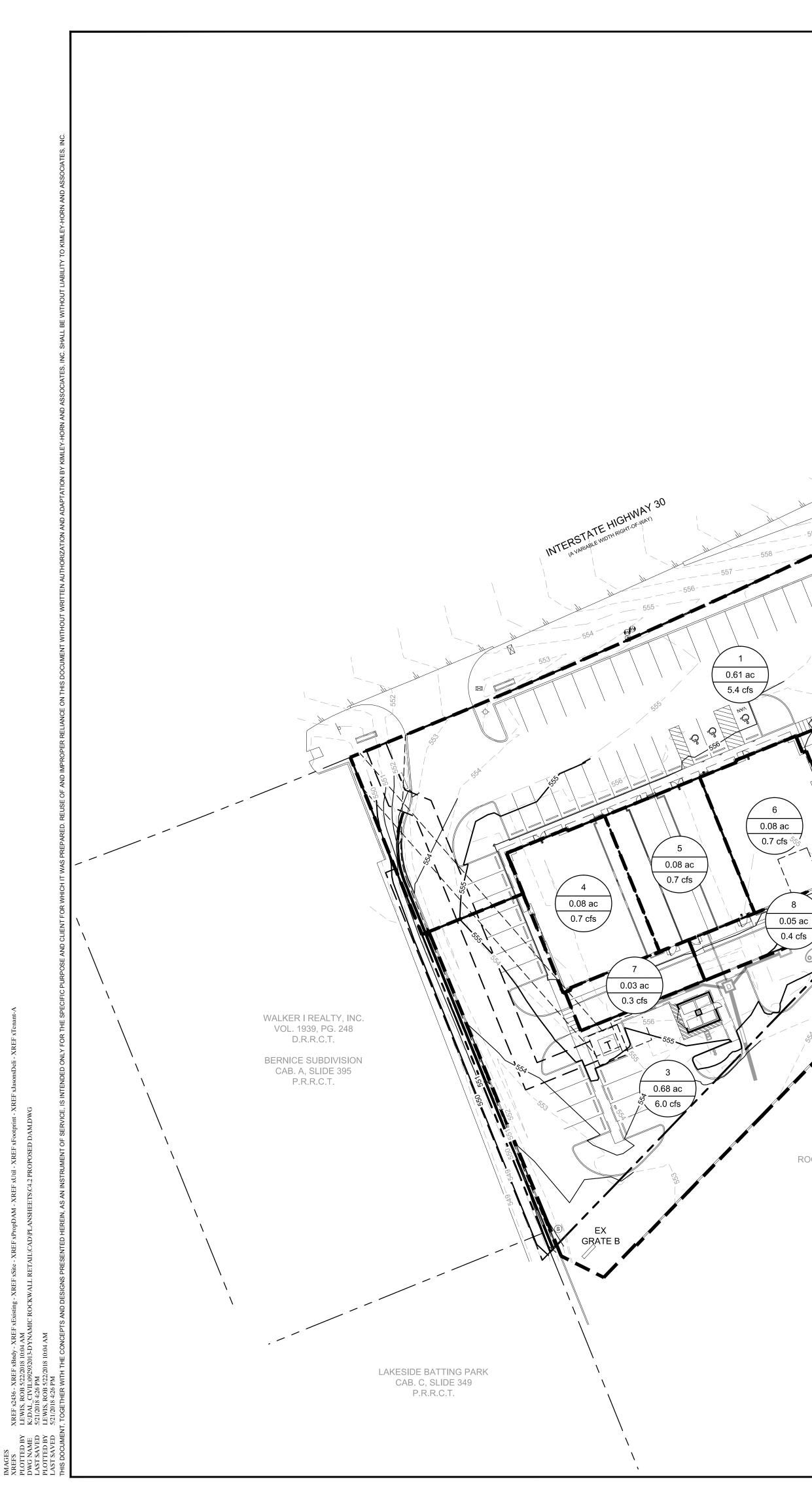
BM # 4 A STANDARD CITY OF ROCKWALL BENCHMARK "RESET #1" FOUND ON THE SOUTH SIDE OF SUMMER LEE DRIVE \pm 160' FROM THE INTERSECTION OF SUMMER LEE DRIVE AND FARM TO MARKET ROAD NO. 740 AND ± 5' FROM THE SIDEWALK.

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES
DURING THE CONSTRUCTION PROCESS REPORTED BY THE
CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND
CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT
GUARANTEED TO BE "AS BUILT" BUT IS BASED ON THE
INFORMATION MADE AVAILABLE.
DATE 4/25/2019 DV / 10

- 3

0.66 ac 5.8 cfs





DRAINAGE AREA TABLE				
DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSIT` "I"100 (in/h
1	0.61	0.90	10	9.80
2	0.66	0.90	10	9.80
3	0.68	0.90	10	9.80
4	0.08	0.90	10	9.80
5	0.08	0.90	10	9.80
6	0.08	0.90	10	9.80
7	0.03	0.90	10	9.80
8	0.05	0.90	10	9.80

0.66 ac

5.8 cfs

BENCH MARK LIST

BM # 1 A SQUARE CUT WITH "X" CUT SET ON A CONCRETE CURB \pm 1,130' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND MIMS ROAD AND \pm 60' FROM WEST OF KOHL'S WESTERNMOST WEST BUILDING CORNER AND \pm 15' FROM A SANITARY SEWER MANHOLE.

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KOHL'S ILLINOIS, INC VOL. 5340, PG. 143 D.R.T.C.T.

LOT 1, BLOCK A ROCKWALL MARKET CENTER EAST CAB. D, SLIDE 189 P.R.R.C.T.

"RECORD DRAWING"

THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES

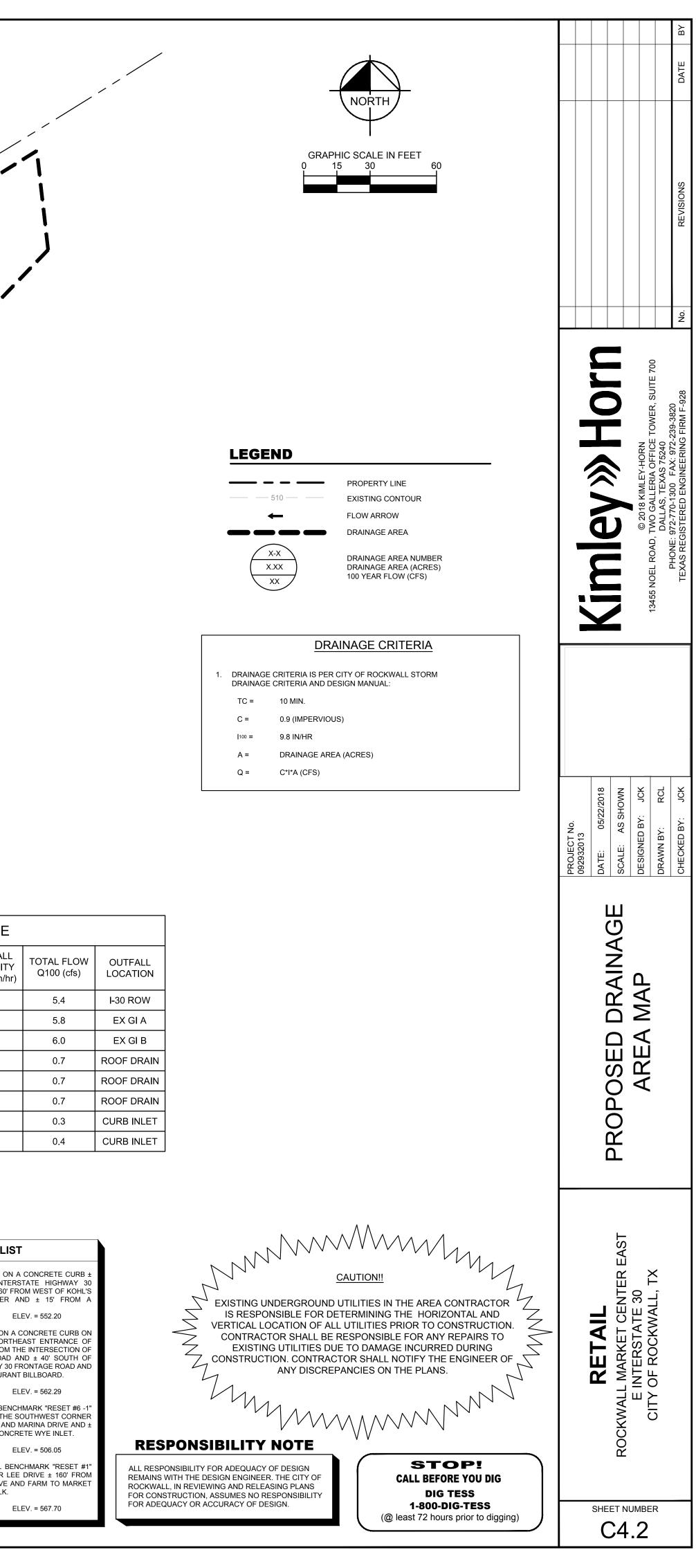
DURING THE CONSTRUCTION PROCESS REPORTED BY THE

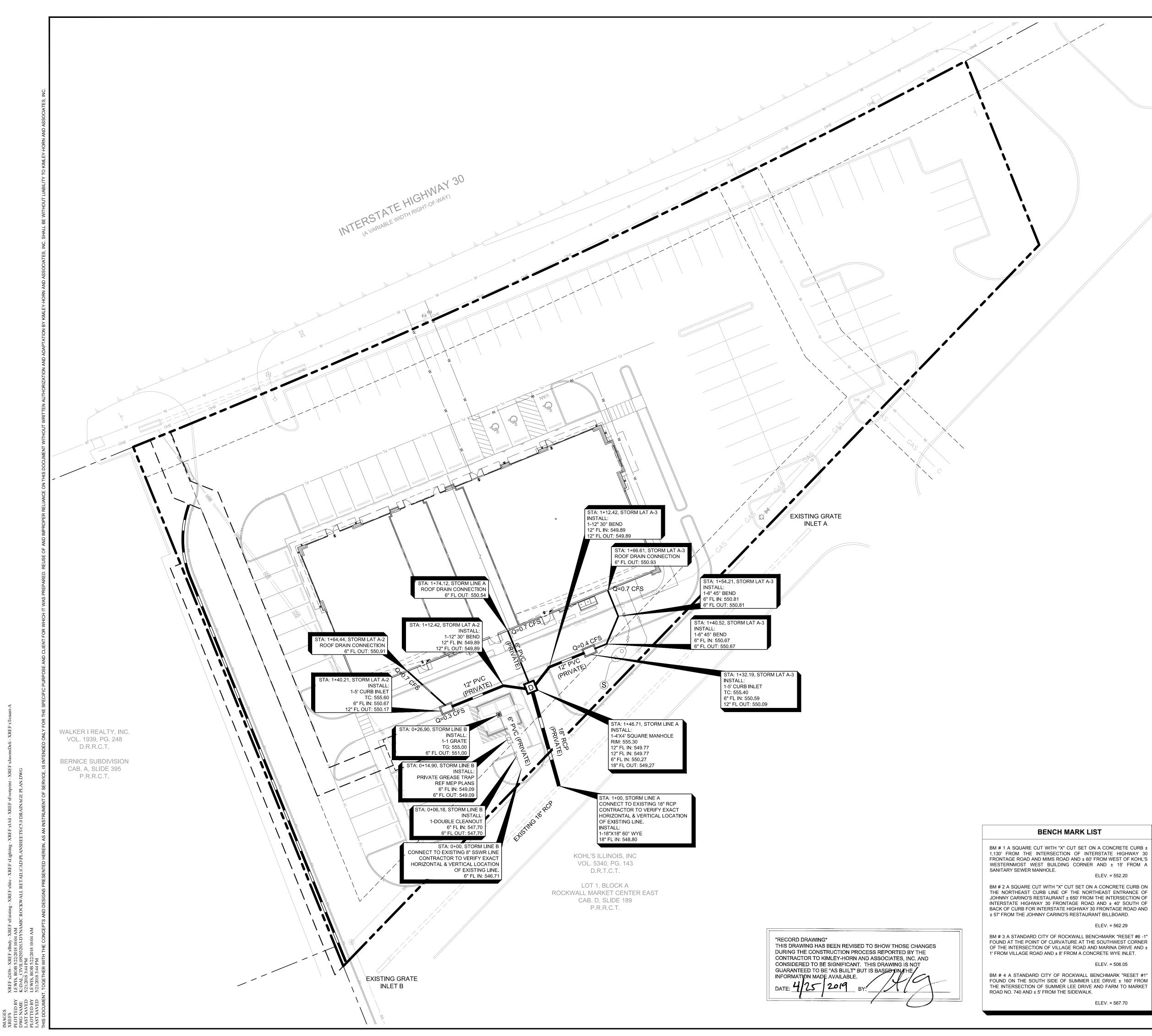
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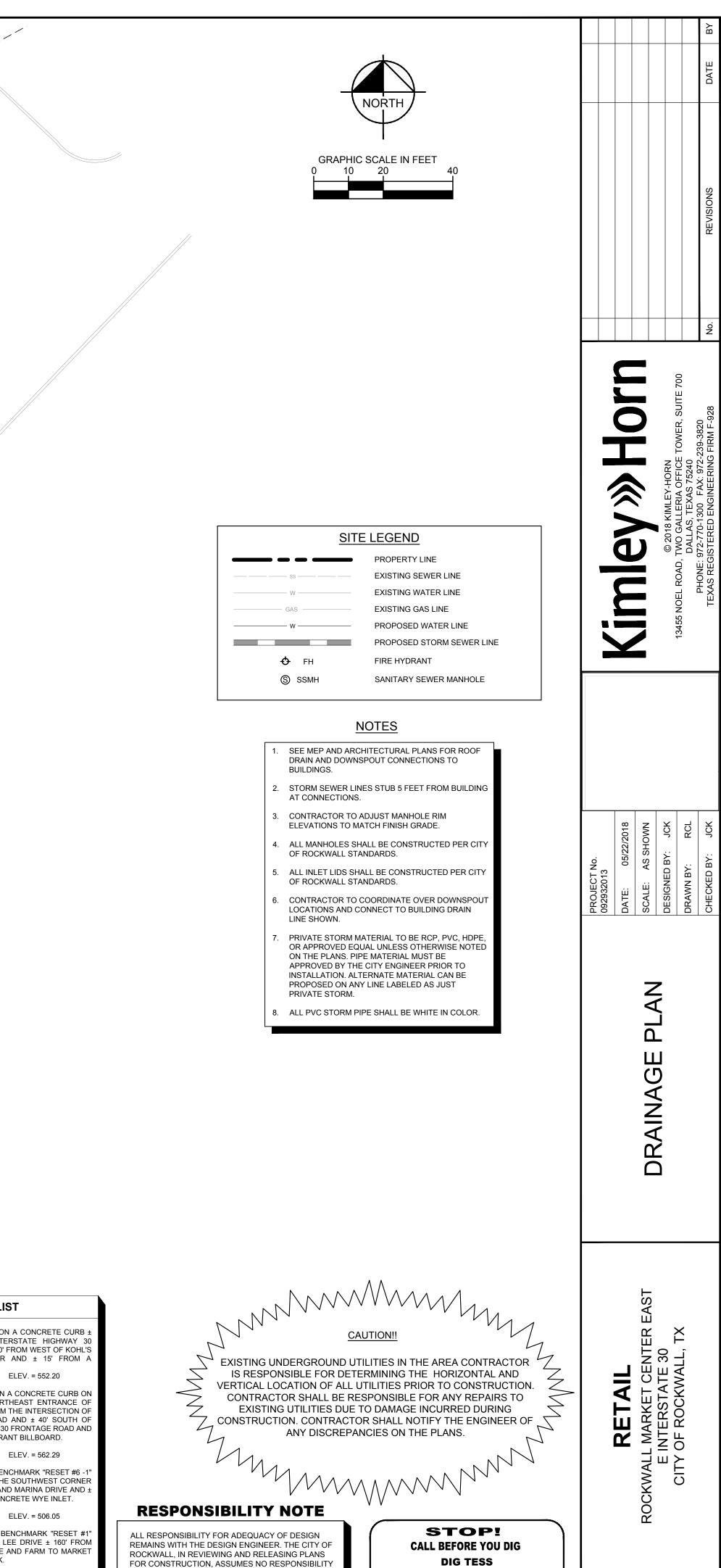
CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND

∕ EX GRATE A





ndy - XRE 10:04 AM 13-DYNA



1-800-DIG-TESS

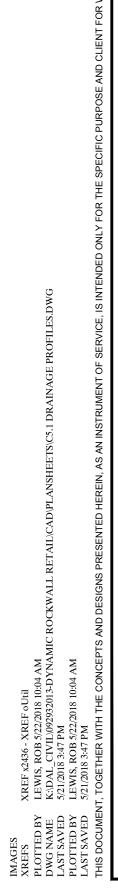
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SHEET NUMBER

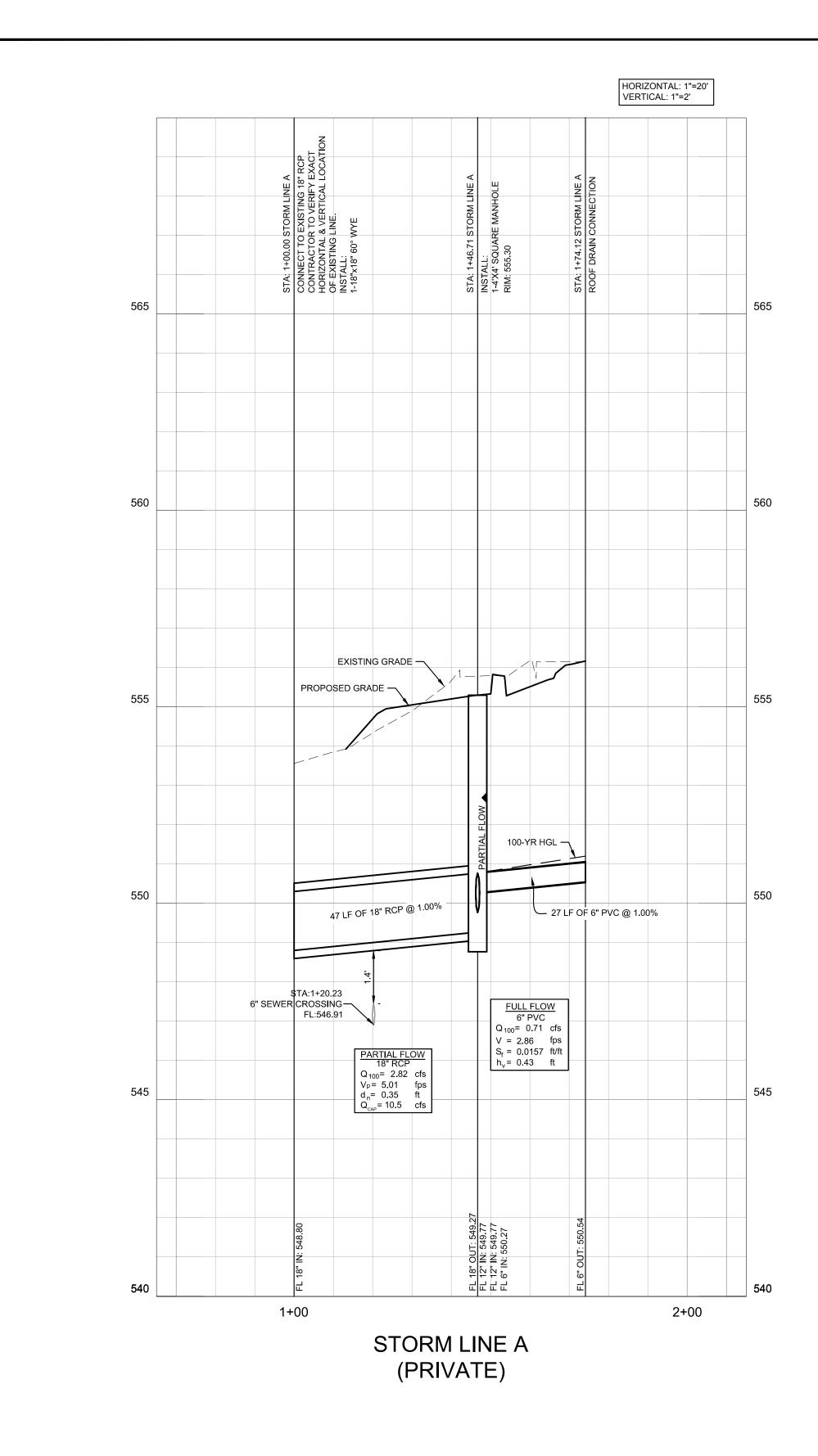
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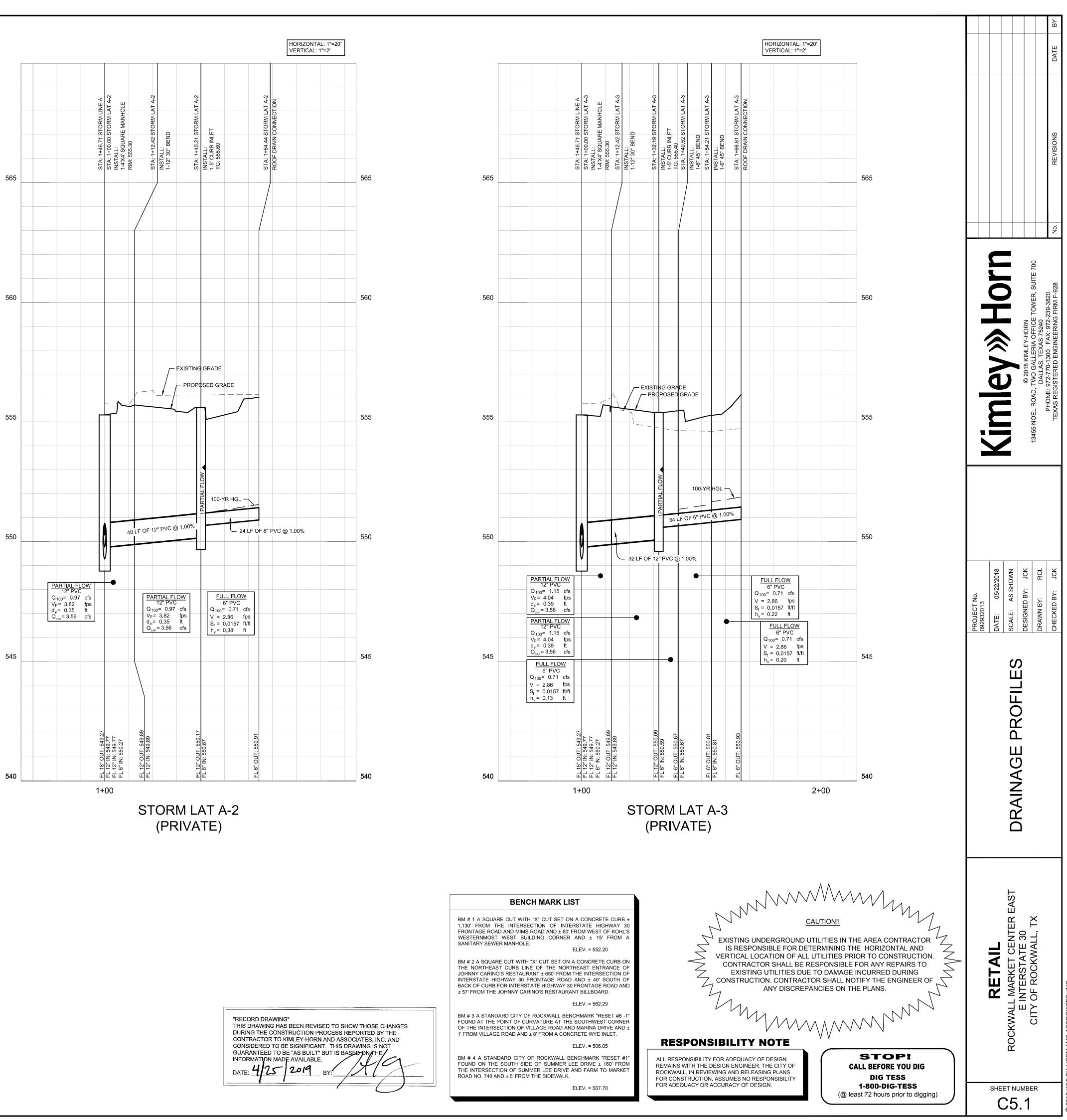
FOR ADEQUACY OR ACCURACY OF DESIGN.

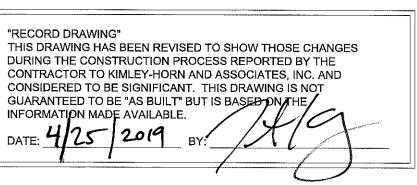
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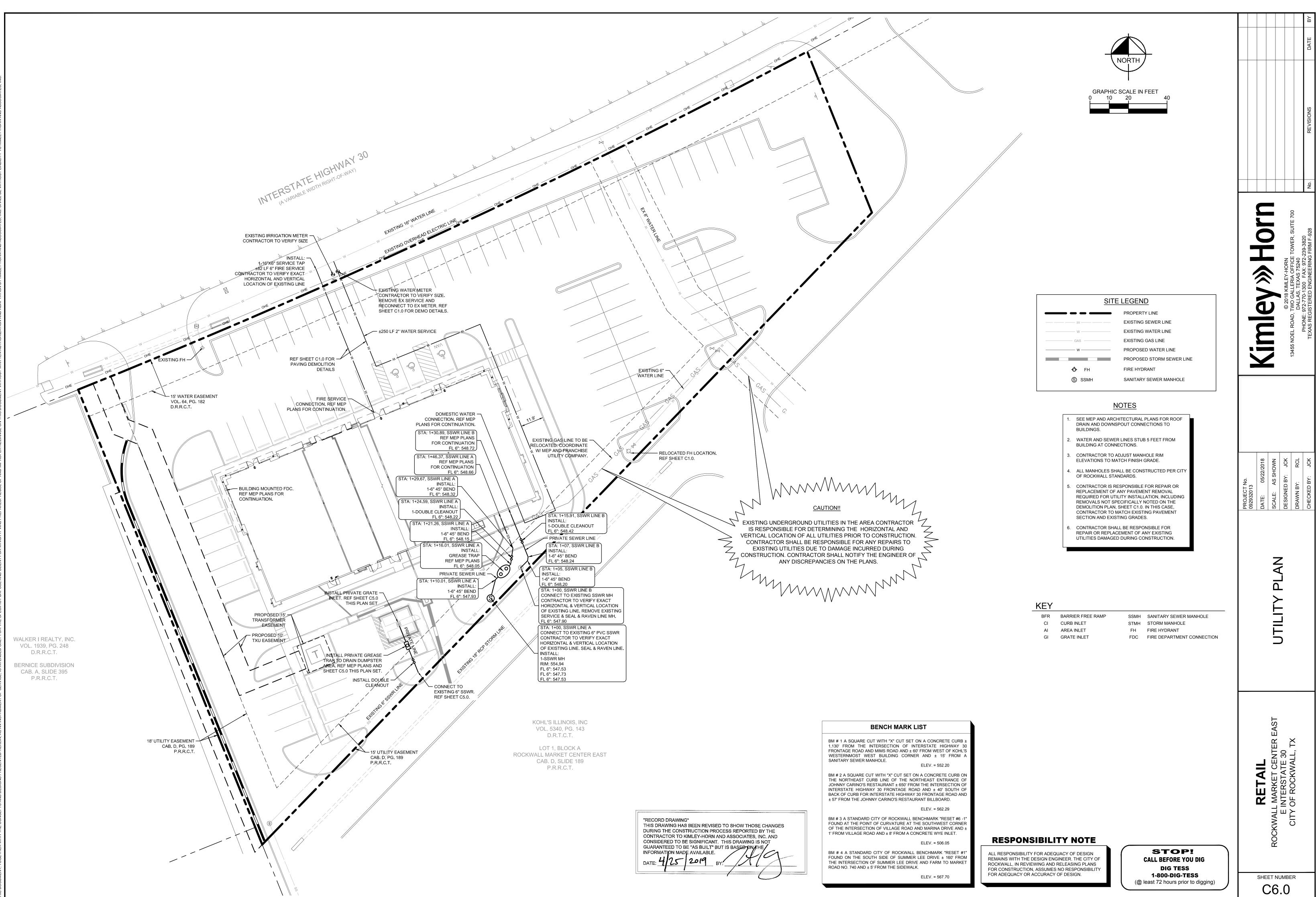


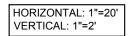






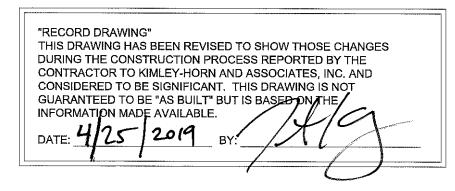






	STA: 1+00.00 SSWR LINE A STA: 1+00.00 SSWR LINE A CONNECT TO EXISTING 6" PVC SSWR CONTRACTOR TO VERIEY EXACT HORIZONTAL & VERTICAL LOCATION OF EXISTING LINE. SEAL & RAVEN LINE. INSTALL: 1-SSWR MH STA: 1+10.01 SSWR LINE A INSTALL: 1-6" 45° BEND STA: 1+16.01 SSWR LINE A INSTALL: 1-6" 45° BEND STA: 1+16.01 SSWR LINE A INSTALL: 1-6" 45° BEND STA: 1+24.59 SSWR LINE A INSTALL: 1-6" 45° BEND STA: 1+246.37 SSWR LINE A INSTALL: 1-6" 45° BEND STA: 1+24.59 SSWR LINE A INSTALL: 1-6" 45° BEND STA: 1+24.50 SSWR LINE A INSTALL: 1-6" 45° BSWR LINE A INSTALL: 1-6" 45°	
565		56
560		56
555	PROPOSED GRADE	55
550	25 LF OF 6" PVC @ 2.00%	55
545		54
540	00+1	54

(PRIVATE)



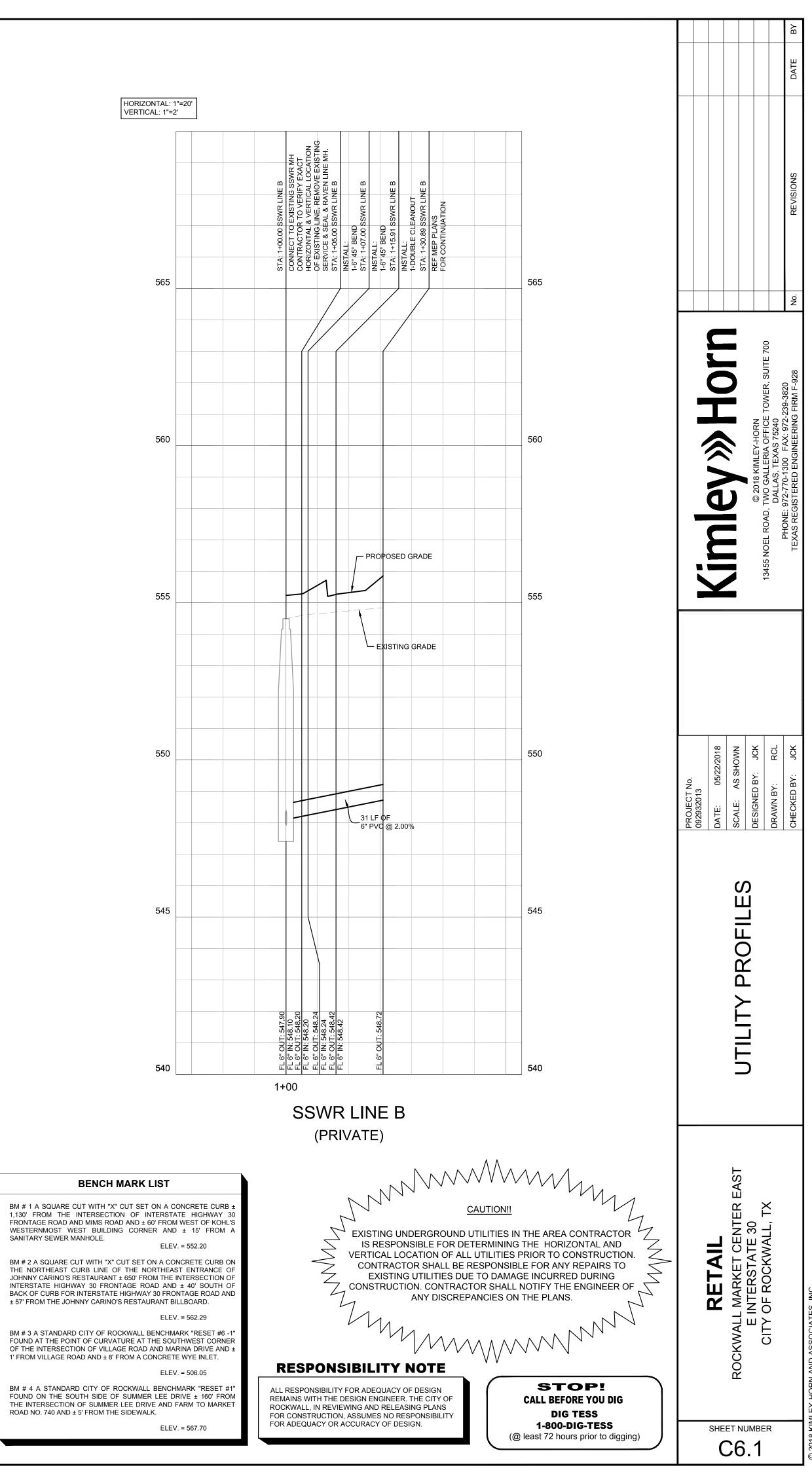
BENCH MARK LIST

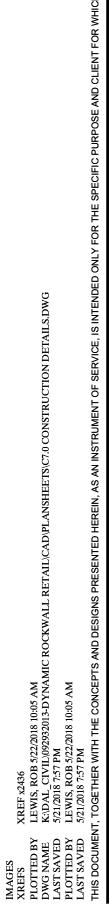
FRONTAGE ROAD AND MIMS ROAD AND \pm 60' FROM WEST OF KOHL'S WESTERNMOST WEST BUILDING CORNER AND \pm 15' FROM A SANITARY SEWER MANHOLE.

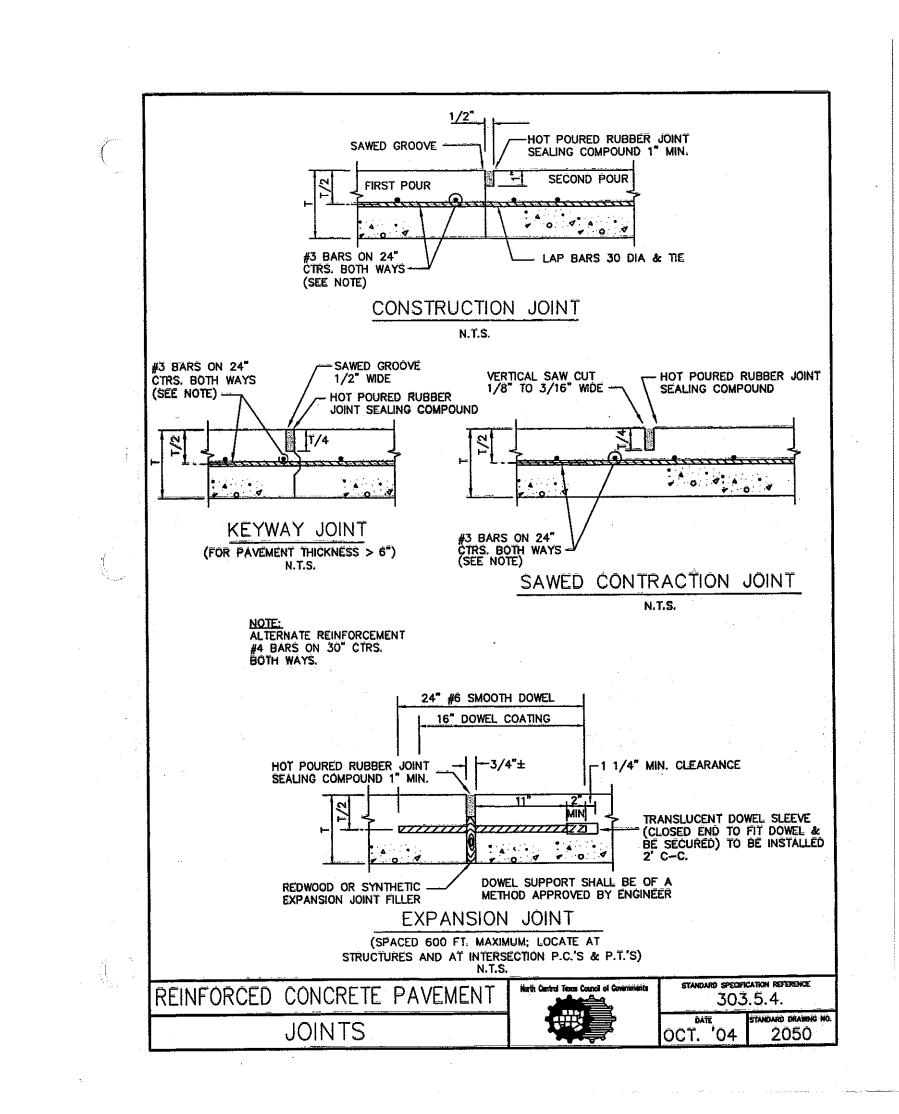
INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 40' SOUTH OF BACK OF CURB FOR INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 57' FROM THE JOHNNY CARINO'S RESTAURANT BILLBOARD.

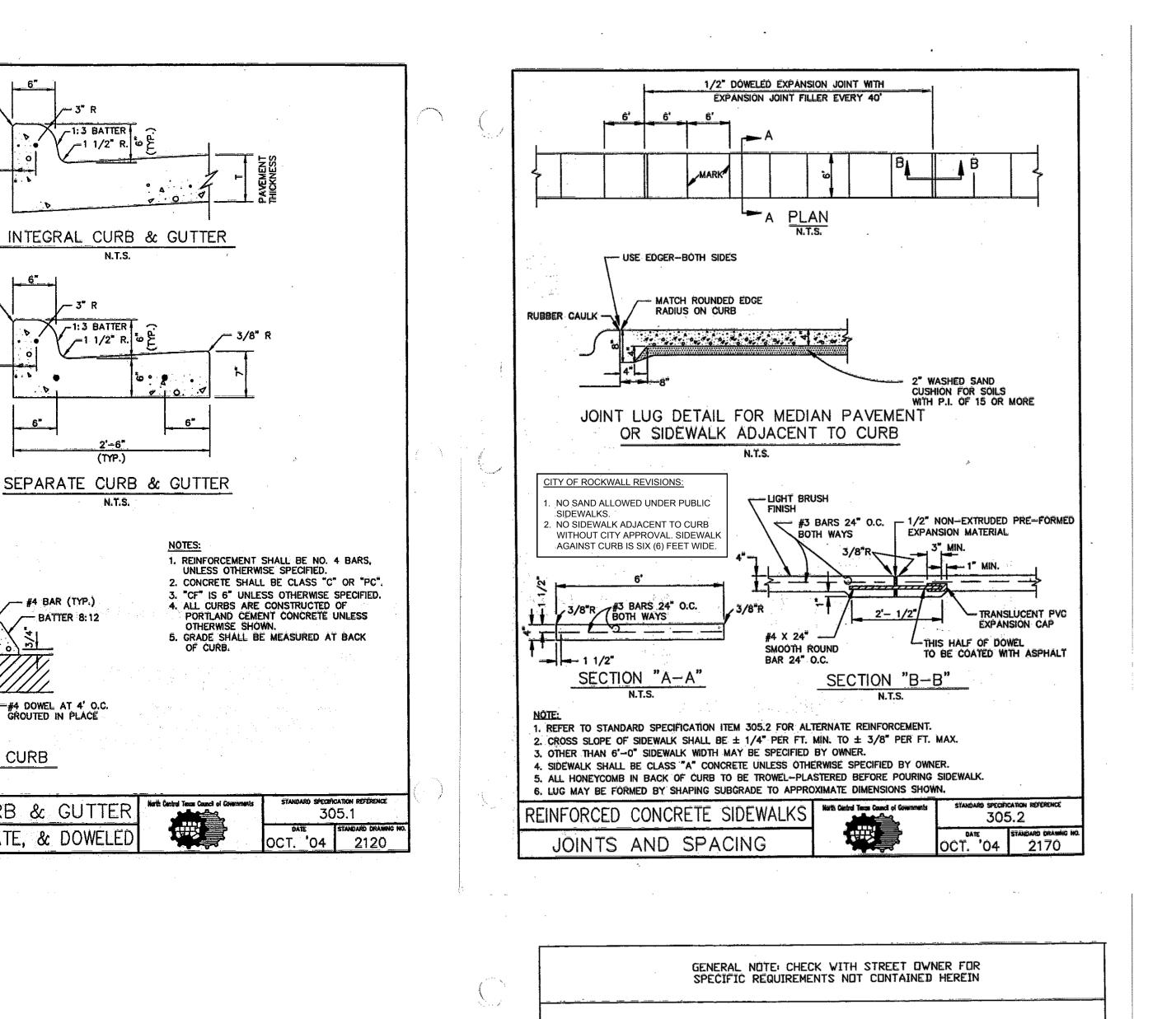
OF THE INTERSECTION OF VILLAGE ROAD AND MARINA DRIVE AND \pm 1' FROM VILLAGE ROAD AND ± 8' FROM A CONCRETE WYE INLET.

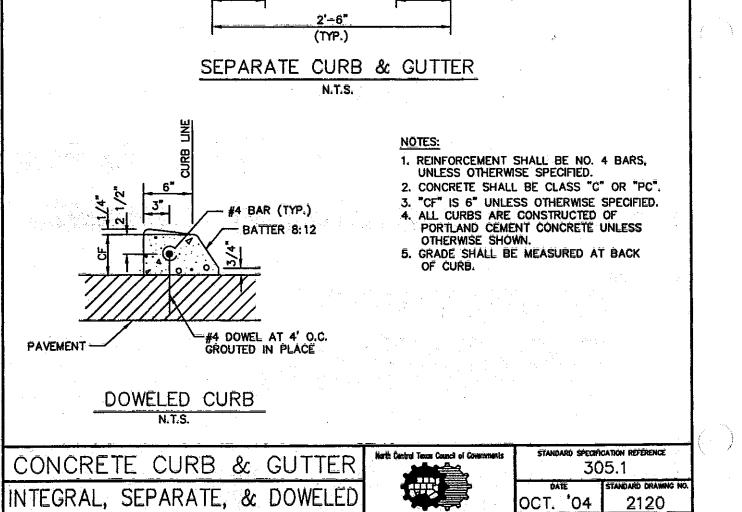
FOUND ON THE SOUTH SIDE OF SUMMER LEE DRIVE ± 160' FROM THE INTERSECTION OF SUMMER LEE DRIVE AND FARM TO MARKET ROAD NO. 740 AND ± 5' FROM THE SIDEWALK.







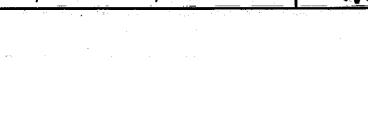




"RECORD DRAWING"

INFORMATION MADE AVAILABLE.

2019



3/8" R ----

3/8" R ----

6"

-1:3 BATTER

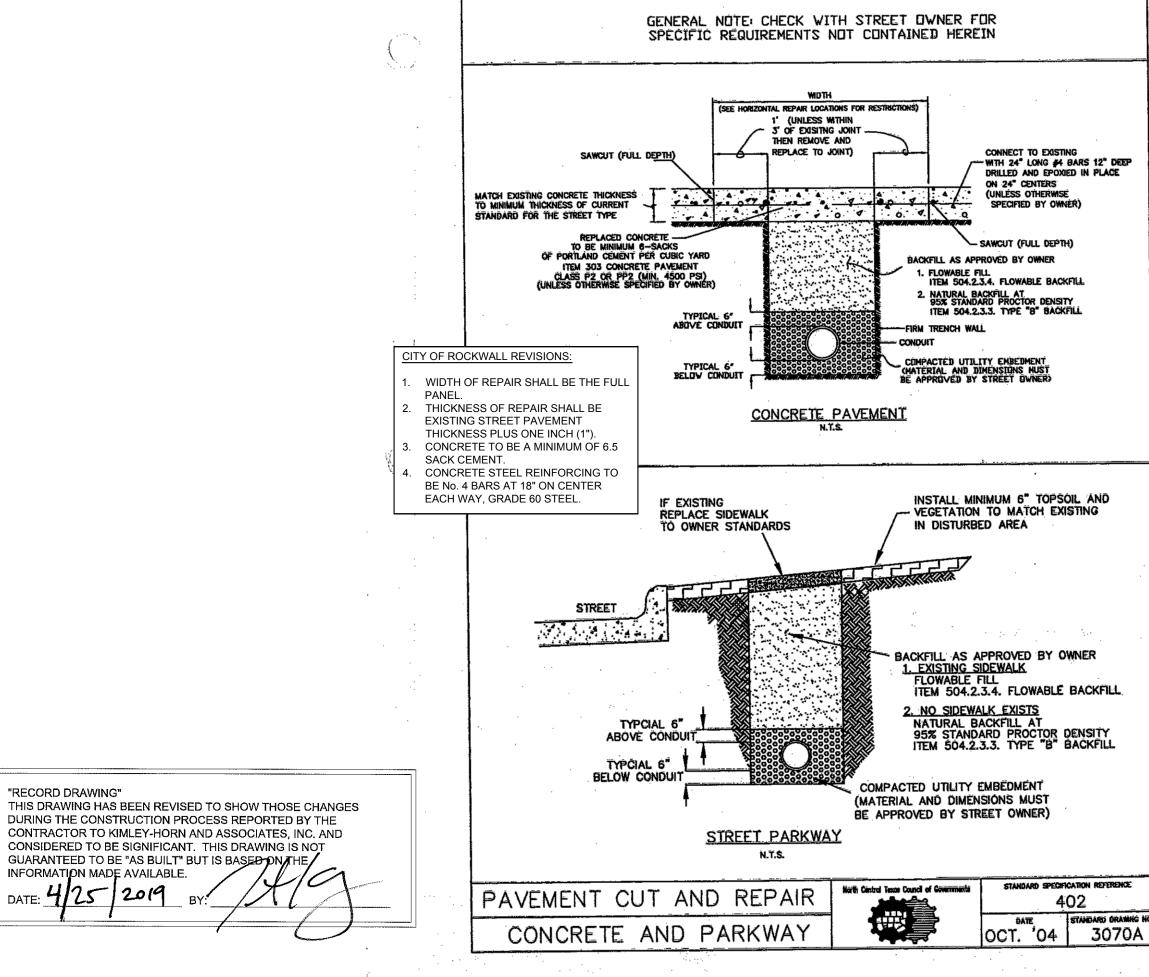
–1 1/2" R.|℃

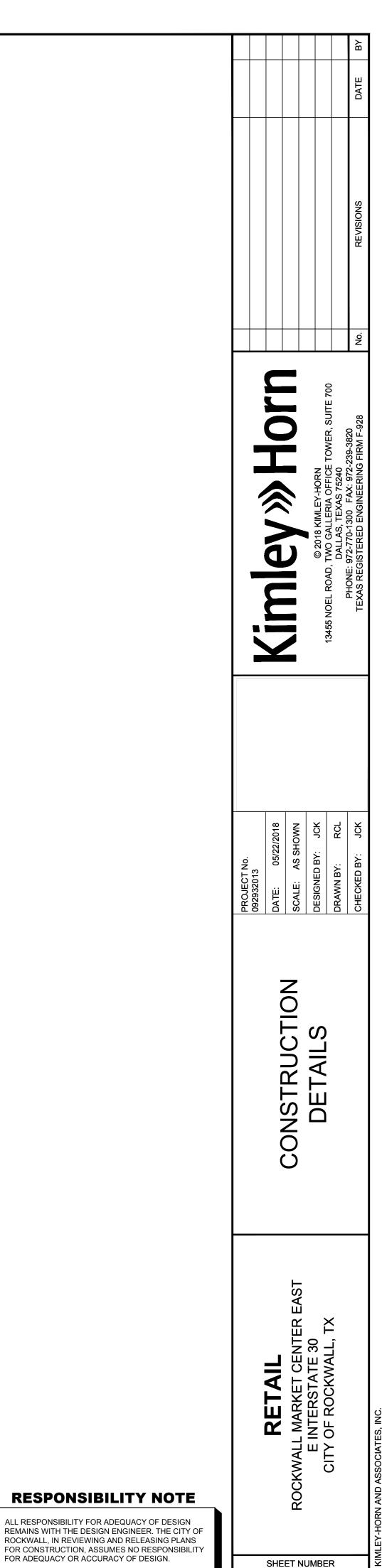
N.T.S.

- 3" |

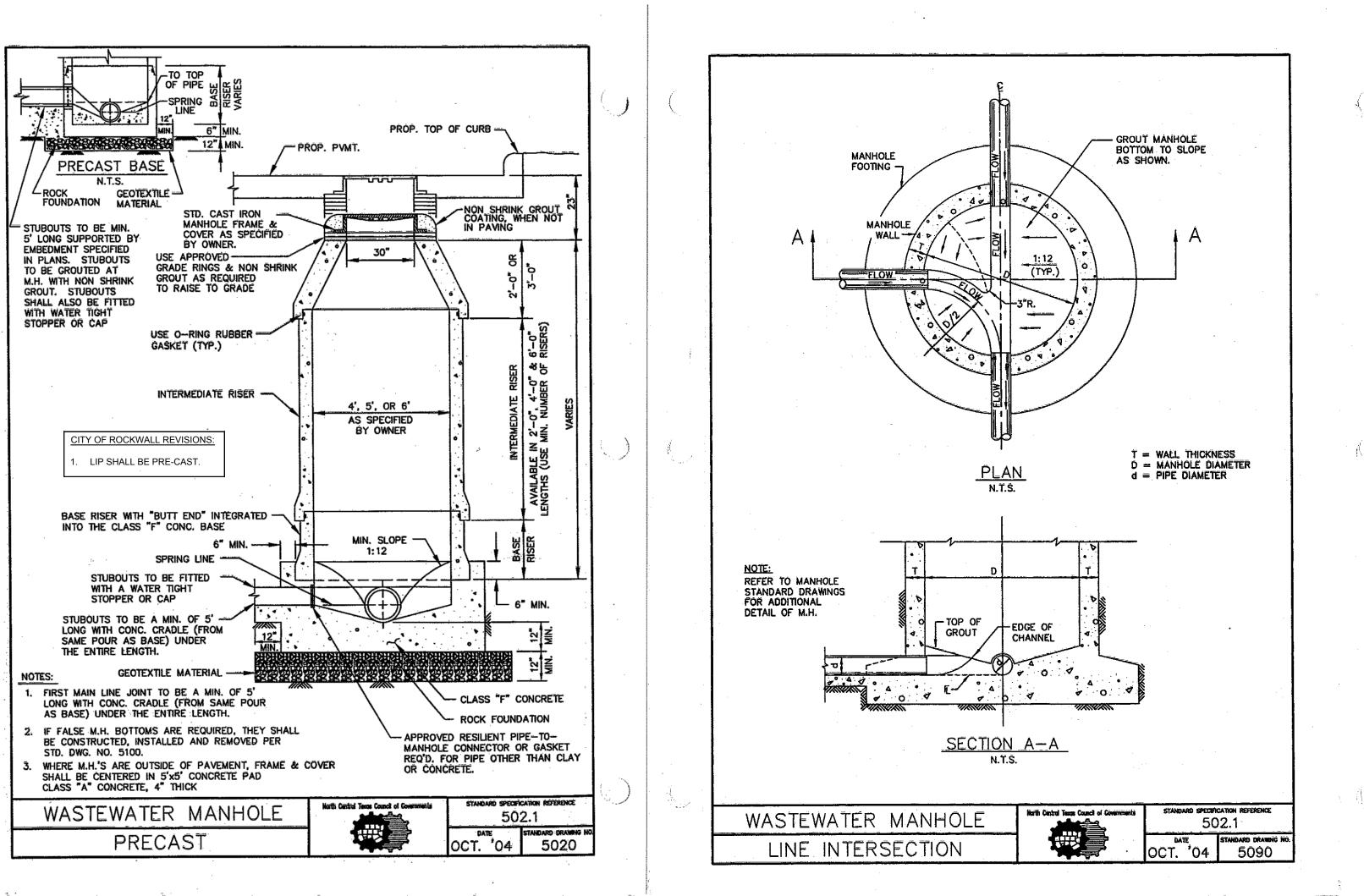
1:3 BATTER

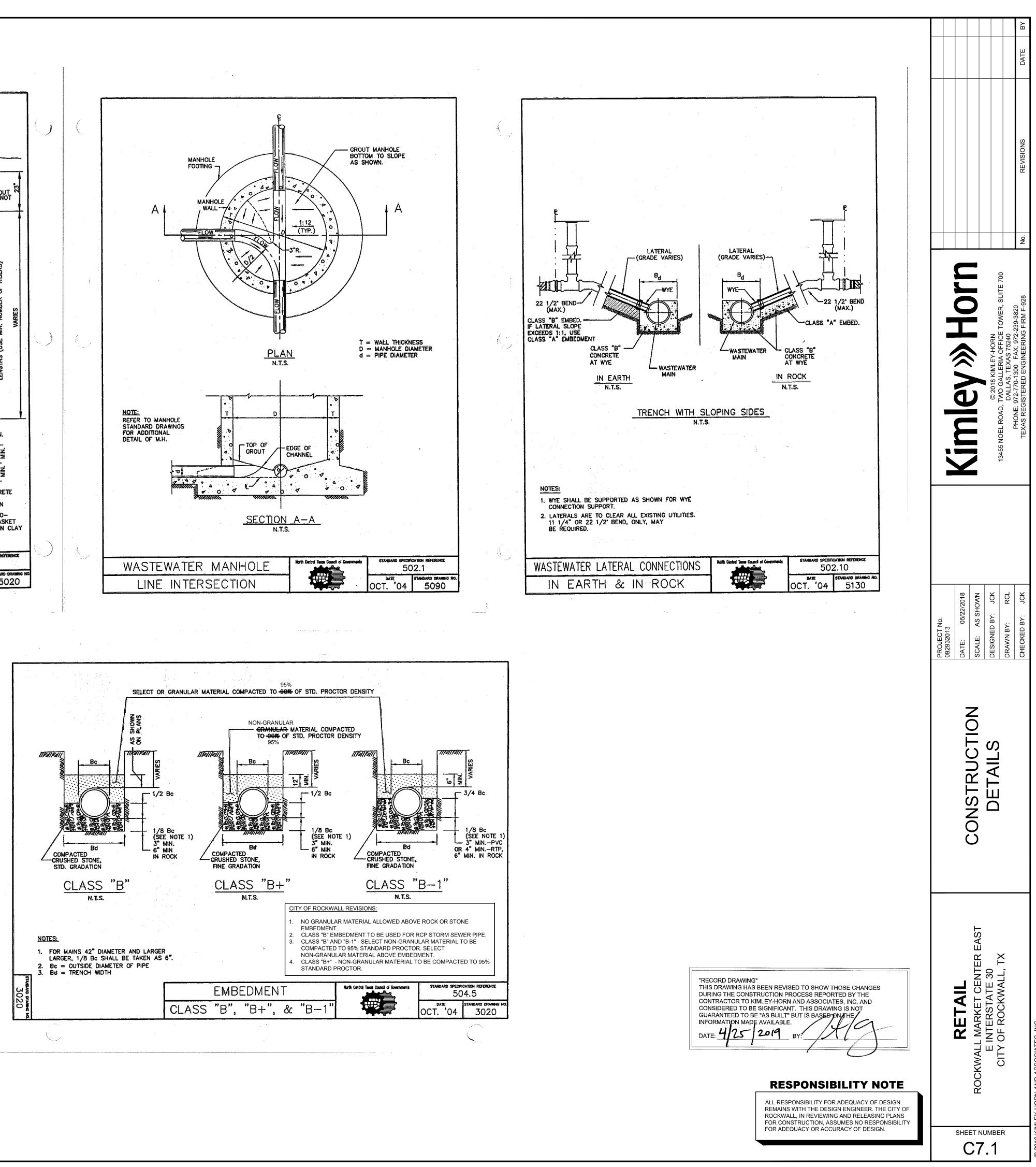
_=1 1/2" R φ

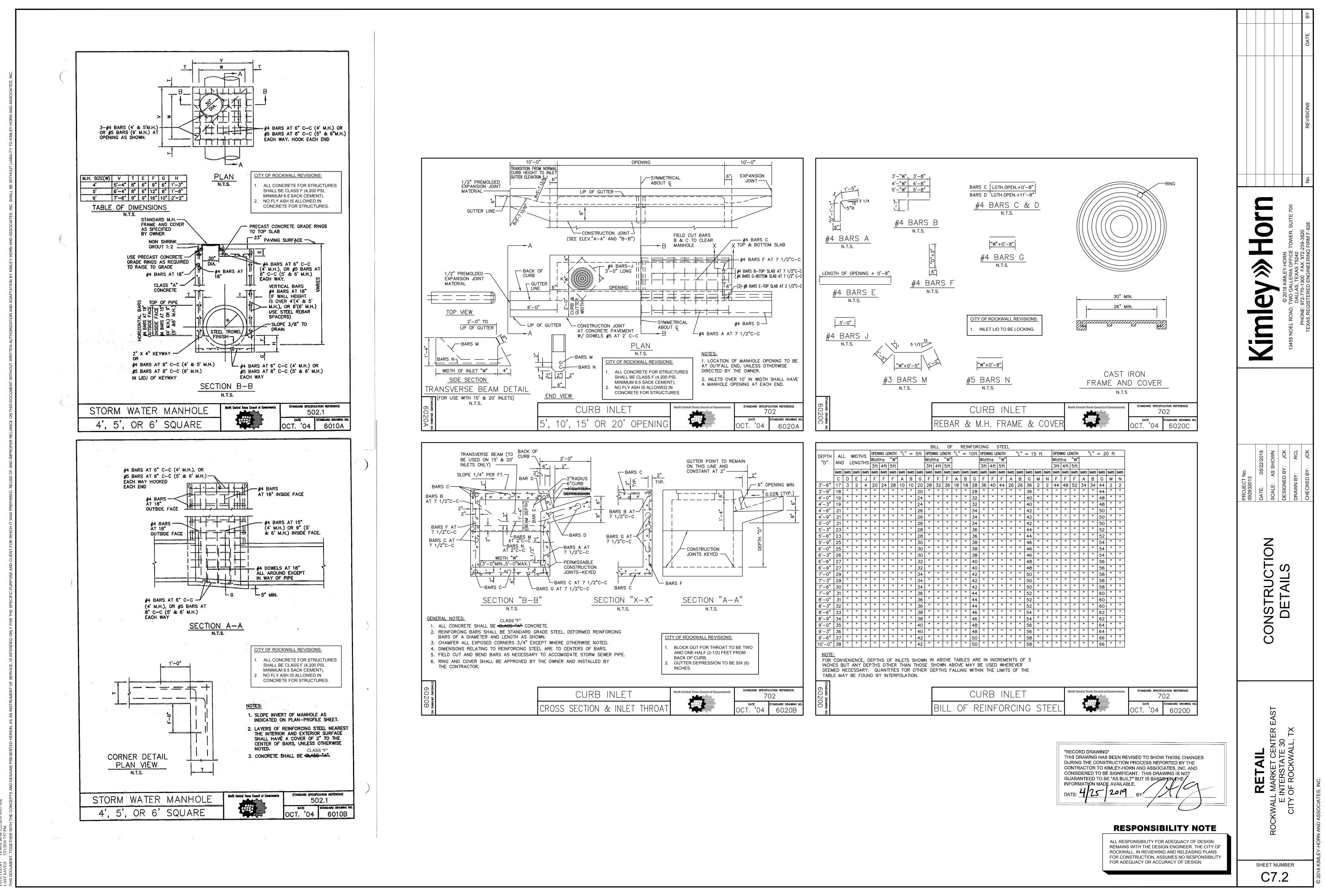




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 XREF x2436
 XREF x2436

 BY
 LEWIS, ROB 5/22/2018 10:05 AM

 E
 K:\DAL_CIVIL\092932013-DYNAMIC ROCKWALL RETAIL\CAD\PLANSHEETS\C7.0 (3D)

 3D
 5/21/2018 7:57 PM

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 XREF x2436

 XREFS
 XREF x2436

 PLOTTED BY
 LEWIS, ROB 5/22/2018

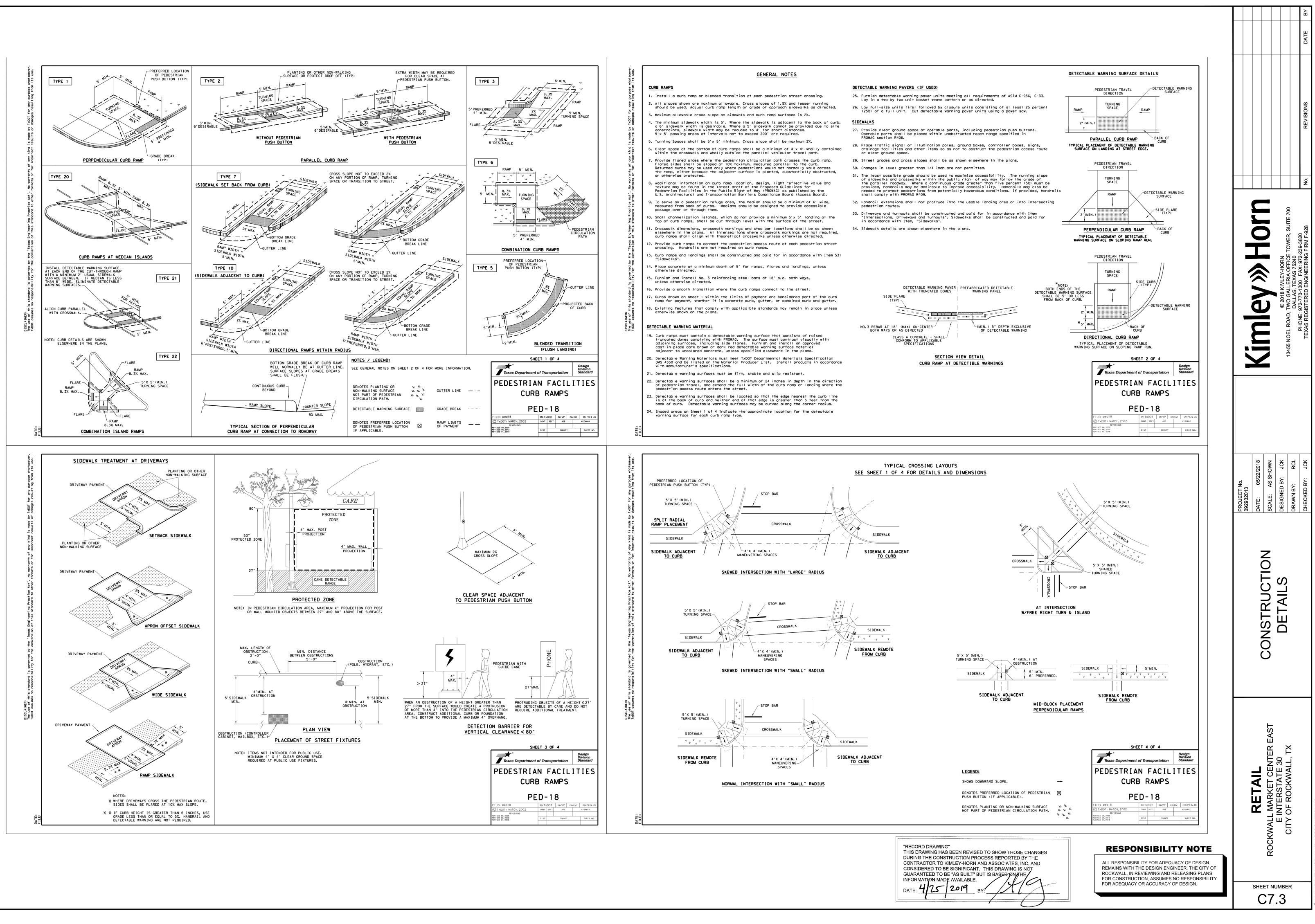
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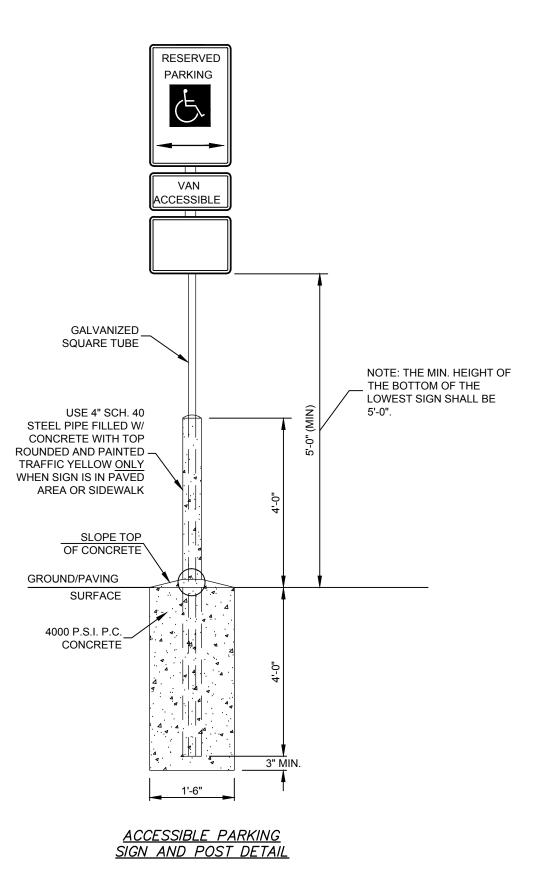
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 PLOTTED BY
 LEWIS, ROB 5/22/2018

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 5/21/2018 7:57 PM



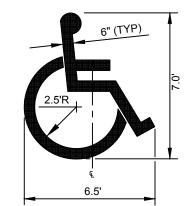


NOTES:

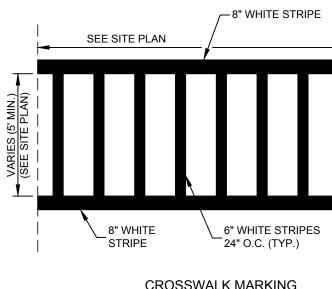
GALVANIZED SQUARE TUBE

POST TUBES - 2"x2"x3/16" 14ga POST TUBE SHALL MEET ASTM A1011 GRADE 50. POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.

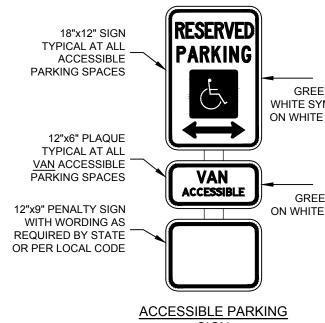
ANCHOR TUBE - 2-1/4"x2-1/4"x3/16" 14ga HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B. STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123. THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 48" DEEPW ITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



<u>ACCESSIBLE PARKING SYMBOL</u> (LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING)



CROSSWALK MARKING W/LONGITUDINAL STRIPES



<u>SIGN</u>

	Simpley Plot 8 \$218 kmLeY-HORN 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700 BHONE: 972-739-3820 PHONE: 972-739-3820 PHONE: 972-739-3820 TEXAS REGISTERED ENGINEERING FIRM F-928 No. Revisions	
EN LEGEND MBOL ON BLUE E BACKGROUND EN LEGEND	PROJECT No. 092932013 DATE: 05/22/2018 SCALE: AS SHOWN SCALE: AS SHOWN DESIGNED BY: JCK DRAWN BY: RCL CHECKED BY: JCK	
E BACKGROUND	CONSTRUCTION DETAILS	
"RECORD DRAWING" THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC, AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEN MADE AVAILABLE. DATE: 425 2019 BY: DATE: 425 RESPONSIBILITY FOR ADEDUACY OF DESIGN REMAINS WITH THE DESIGNE REVIEWING AND RELEASING PLANS	RETAIL ROCKWALL MARKET CENTER EAST E INTERSTATE 30 CITY OF ROCKWALL, TX	© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.	SHEET NUMBER	© 2018 KIMLE