

EXISTING

WTR	WATER	LT	LIGHT POLE
CLF	CHAINLINK FENCE	SD	STORM DRAIN
MH	MAN HOLE	FL	FIRELANE
T	TELEPHONE	WM	WATER METER
GM	GAS METER	BL	BUILDING LINE
FIR	FOUND IRON ROD	CO	CLEAN OUT
SIR	SET IRON ROD	CH	FIRE HYDRANT
FC	FENCE CORNER	SS	SANITARY SEWER
PT	POWER & TELEPHONE		
P/P	POWER POLE		
UP	UNDERGROUND POWER		
G	GAS		
BP	BUMPER POLE		
FOC	FIBER OPTIC CABLE		

GENERAL DEMOLITION NOTES

1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM OPERATION ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND AVOID ANY PROPERTY DAMAGE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
9. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
10. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
11. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
12. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE INCURRED TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF SUPPLY LINES AND APPURTENANCES AND REMOVE PER REQUIREMENTS. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
13. DEMOLITION AND REMOVAL OF UNDERGROUND STORAGE TANKS, FUELING DISPENSERS, AND FUELING RELATED APPURTENANCES SUCH AS SUPPLY LINES SHALL BE REMOVED AND DISPOSED OF PER LOCAL, STATE, AND FEDERAL REQUIREMENTS. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF SUPPLY LINES AND APPURTENANCES AND REMOVE PER REQUIREMENTS. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
14. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.

NOTES

- 1N. EXISTING TO BE REMOVED
- 2N. EXISTING TO REMAIN
- 3N. EXISTING TO BE RELOCATED
- 4N. PROTECT EXISTING UTILITIES
- 5N. PROTECT EXISTING STRUCTURES
- 6N. PROTECT EXISTING LANDSCAPE
- 7N. LIMITS OF DISTURBANCE (33.2796F)
- 8N. SAWCUT LINE

TO THE BEST OF OUR KNOWLEDGE HARRISON FRENCH & ASSOCIATES, LTD, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING INFORMATION PROVIDED BY TEXAS HERITAGE SURVEYING, LLC AND INFORMATION PROVIDED BY THE CONTRACTOR.

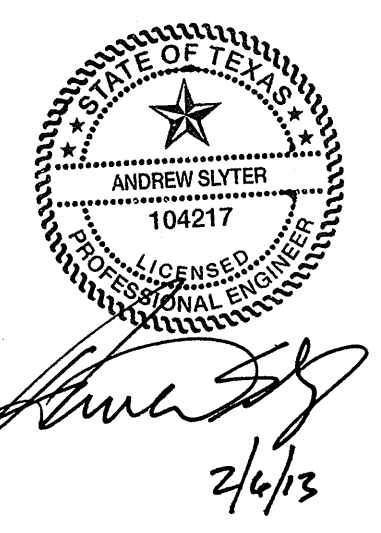
7-ELEVEN

S. GOLIAD ST & YELLOW JACKET LN
ROCKWALL, TX 75087

PROJ. NUMBER: 12-11-00536

ISSUE BLOCK

STORE NO.: 35677
DOCUMENT DATE: 2/5/2013
CHECKED BY: MTP
DRAWN BY: RDE



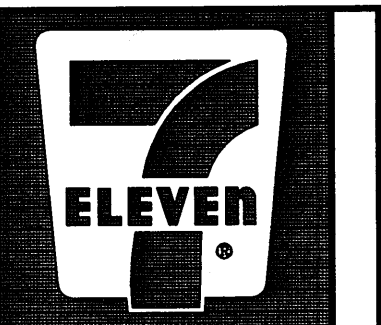
TEXAS COA
#F-8576

DEMOLITION PLAN

AS-BUILT

SHEET:
C0.1

STIPULATION FOR REUSE
THIS PLAN IS PREPARED FOR USE ON A SPECIFIC SITE AT A SPECIFIC DATE AND IS NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH & ASSOCIATES, LTD. ANY REUSE OR REPRODUCTION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH & ASSOCIATES, LTD. MAY BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND MAY BE SUBJECT TO PENALTY.

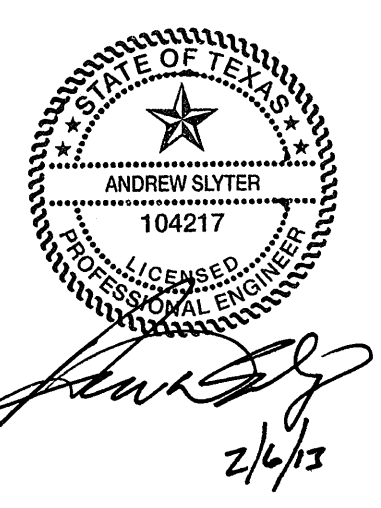


7-ELEVEN
S. GOLIAD ST & YELLOW JACKET LN
ROCKWALL, TX 75087

ISSUE BLOCK

NO.	DESCRIPTION	DATE

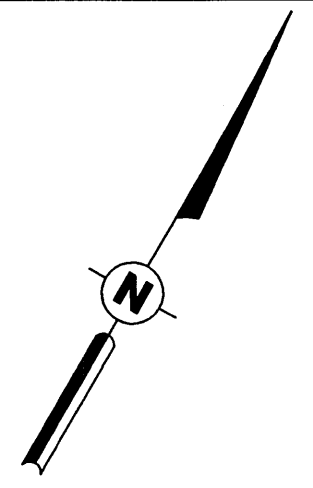
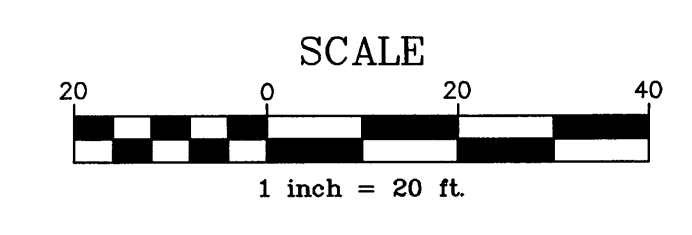
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DOCUMENT DATE: 2/5/2013
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DRAWN BY: RDE



TEXAS COA
#F-8576

SITE
PLAN
AS-BUILT

SHEET:
C1.0



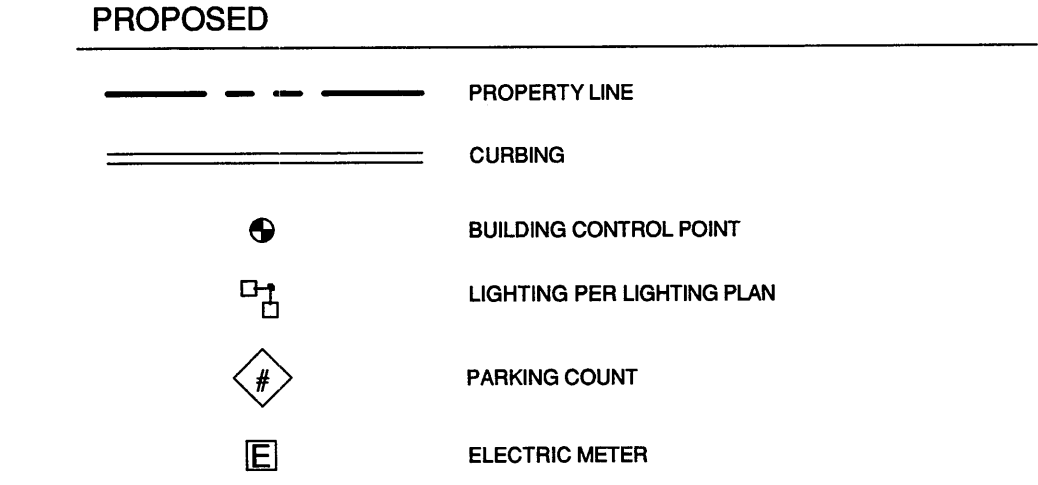
SUMMARY		
ZONING	COMMERCIAL	
USE	CONVENIENCE STORE	
ZONING REQUIREMENTS	REQUIRED	PROVIDED
LOT		
MINIMUM LOT AREA	10,000 SF	+36,254 SF
MINIMUM LOT WIDTH	N/A	183'
PERCENT OF OPEN SPACE	10% OF 3,625 SF	26% OF 9,373 SF
PERVIOUS VS IMPERVIOUS	10% PER. 90% IMPER.	26% PER. 74% IMPER.
SETBACKS		
FRONT YARD	25'	25'
SIDE YARD	15'	15'
REAR YARD	10'	10'
PARKING	0	0
LANDSCAPE	20' FRONT, 3' SIDES BACK	20' FRONT, 3' SIDES BACK
BUILDING		
SIZE		3,010 SF
HEIGHT		
FLOOR AREA RATIO		0.83
PARKING		
STALL SIZE	9'X18'	9'X20'
RATIO	1/250SF	4.31/1000SF
SPACES	12	13
HANDICAP SPACES	1	1

(N) PROVIDED VALUE IS NON CONFORMING TO REQUIREMENTS.

NOTE: TABLE INFORMATION IS BASED ON THE SITE INVESTIGATION REPORT BY LEND LEASE DATED JULY 15TH, 2011.

EXISTING LEGEND

WTR	WATER	LT	LIGHT POLE
CLF	CHAINLINK FENCE	SD	STORM DRAIN
MH	MAN HOLE	FL	FIRELANE
T	TELEPHONE	WM	WATER METER
GM	GAS METER	BL	BUILDING LINE
FIR	FOUND IRON ROD	CO	CLEAN OUT
SIR	SET IRON ROD	FH	FIRE HYDRANT
FC	FENCE CORNER	SS	SANITARY SEWER
PT	POWER & TELEPHONE		
P/P	POWER POLE		
UP	UNDERGROUND POWER		
G	GAS		
BP	BUMPER POLE		
FOC	FIBER OPTIC CABLE		



GENERAL SITE NOTES

- UNLESS OTHERWISE SHOWN, ALL CURB RADII SHALL BE 2' OR 10'.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBING SHALL BE TYPE B PER DETAIL TYPE B CURB, UNLESS OTHERWISE NOTED. CURB WITHIN TxDOT RIGHT OF WAY MUST BE CONSTRUCTED AS PER THE TxDOT STANDARD ATTACHED.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ALL SIGNS SHALL BE PER MUTCD.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL, AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH MUTCD.
- NO SAND UNDER PAVING. USE NCTCOG 3RD EDITION DETAIL WITH CITY OF ROCKWALL REVISIONS FOR ALL CONCRETE JOINT DETAILS.

NOTES

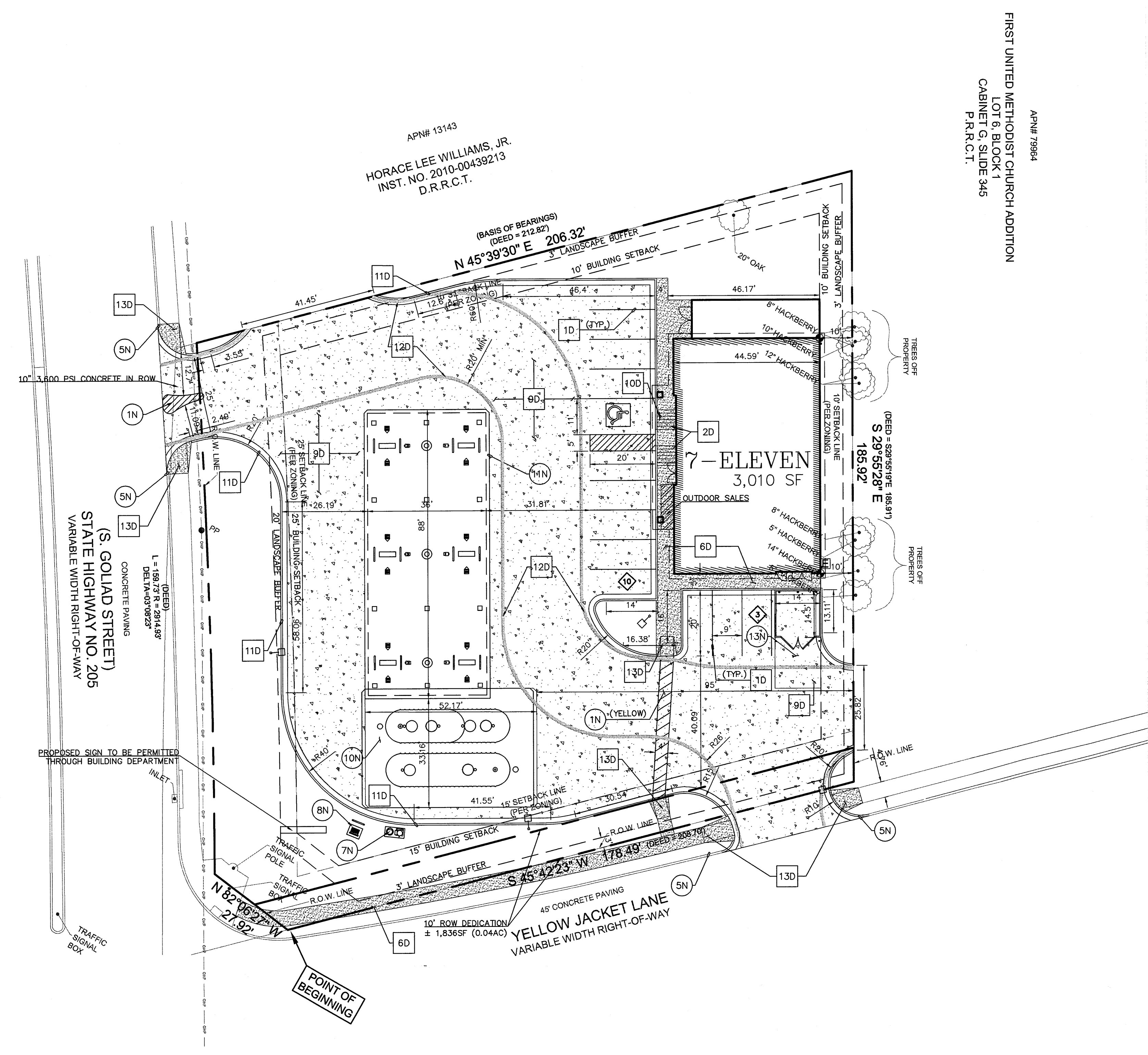
- 1N. 4" PAINTED STRIPES @ 45', 2" ON CENTER (SEE PLAN FOR COLOR)
- 5N. TAPER CURB TO MATCH EXISTING
- 7N. AIR AND VACUUM MACHINE (PER FUELING PLANS)
- 8N. FUELING VENT PIPES (PER FUELING PLANS)
- 9N. TRANSFORMER PAD
- 10N. UNDERGROUND STORAGE TANKS (PER FUELING PLANS)
- 11N. FUELING CANOPY (PER FUELING PLANS)
- 13N. DUMPSTER PAD
- 14N. LIGHTING (PER LIGHTING PLAN)

DETAILS

- 1D. STRIPING
- 2D. RAMP
- 6D. SIDEWALK (PUBLIC SIDEWALK MIN 4' 3,000 PSI) (MIN. 5.5 SACK MIX IF HAND PLACED)
- 9D. HEAVY DUTY CONCRETE PAVING (FIRELANE TO BE A MIN. 6' 3,000 PSI CONCRETE. MIN. 6.0 SACK MIX FOR MACHINE PLACE, MIN 6.5 FOR HAND PLACE)
- 10D. SIGN BASE SUPPORTS
- 11D. CURB AND GUTTER
- 12D. FIRE LANE STRIPING
- 13D. ADA RAMP (TRUNCATED DOME PLATES TO MATCH EXISTING CITY PLATES) PEDESTRIAN RAMPS ON SH 205 MUST BE CONSTRUCTED AS PER THE ATTACHED TxDOT STANDARD.

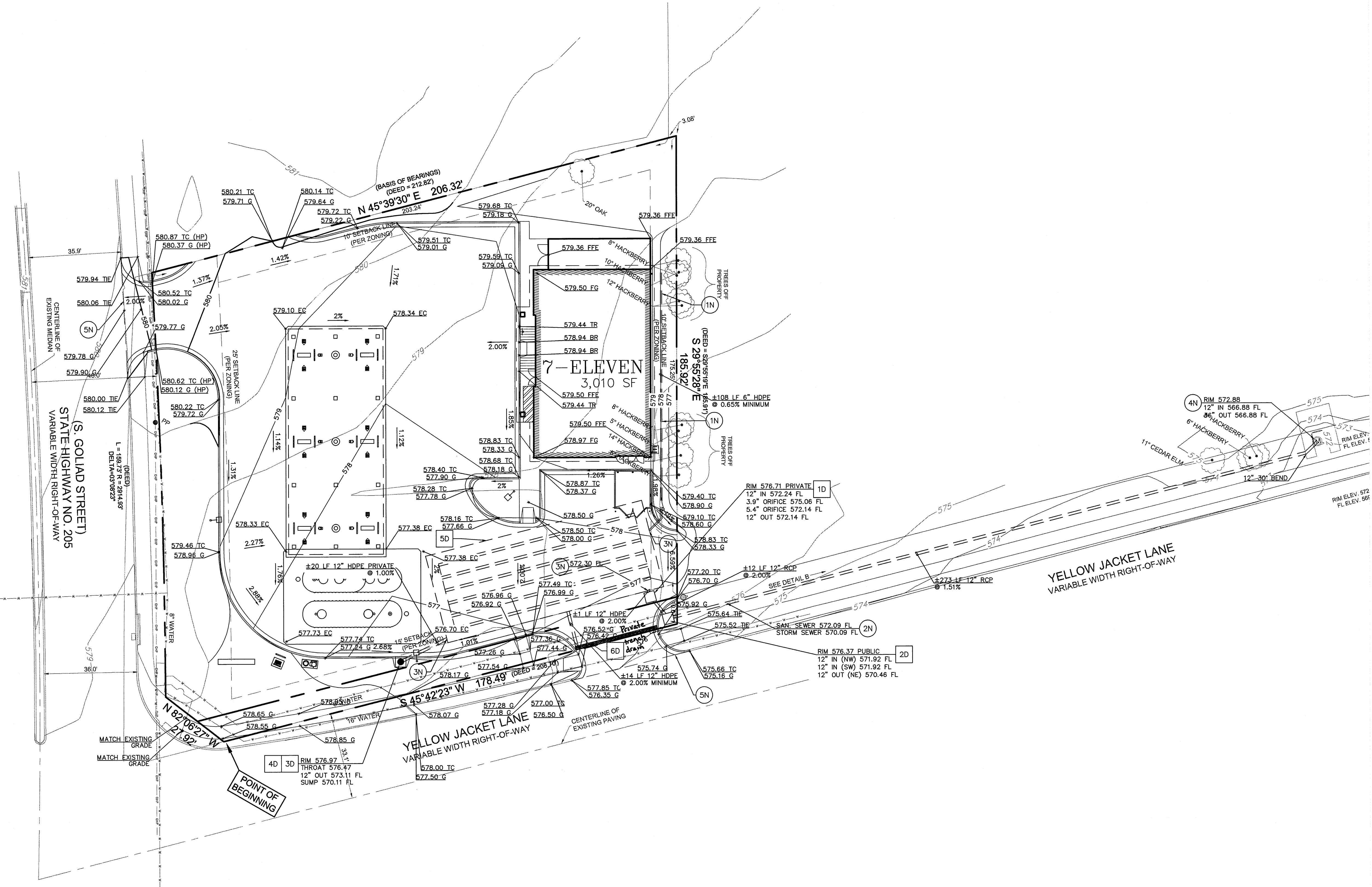
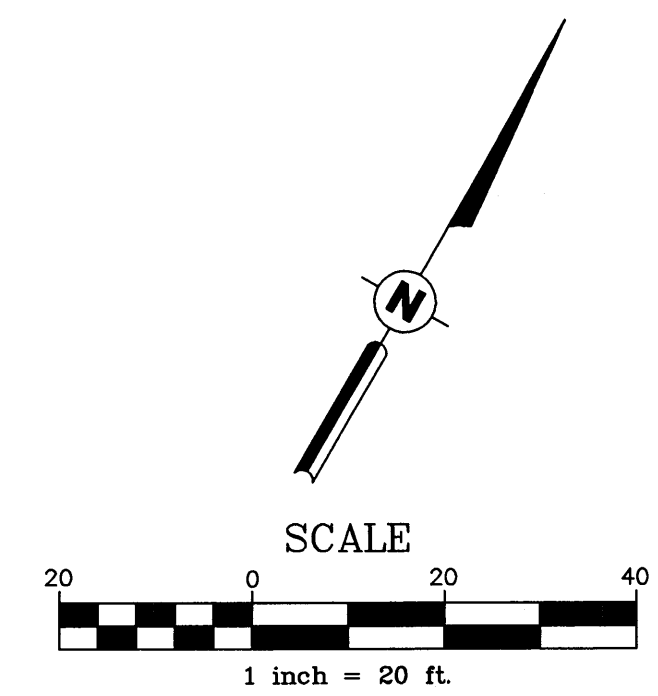
SEE SHEET C7.0

TO THE BEST OF OUR KNOWLEDGE HARRISON FRENCH & ASSOCIATES, LTD, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING INFORMATION PROVIDED BY TEXAS HERITAGE SURVEYING, LLC AND INFORMATION PROVIDED BY THE CONTRACTOR.



APN# 79864
FIRST UNITED METHODIST CHURCH ADDITION
LOT 6, BLOCK 1
CABINET G, SLIDE 345
P.R.C.T.

APN# 13143
HORACE LEE WILLIAMS, JR.
INST. NO. 2010-00439213
D.R.R.C.T.



EXISTING LEGEND

WTR	WATER	LT	LIGHT POLE
CLF	CHAINLINK FENCE	SD	STORM DRAIN
MH	MAN HOLE	FL	FIRELANE
T	TELEPHONE	WM	WATER METER
GM	GAS METER	BL	BUILDING LINE
FIR	FOUND IRON ROD	CO	CLEAN OUT
SIR	SET IRON ROD	FH	FIRE HYDRANT
FC	FENCE CORNER	SS	SANITARY SEWER
PT	POWER & TELEPHONE		
PIP	POWER POLE		
UP	UNDERGROUND POWER		
G	GAS		
BP	BUMPER POLE		
FOC	FIBER OPTIC CABLE		

PROPOSED

---	PROPERTY LINE
---	BREAKLINE
---	LIMITS OF PONDING
---	STORM SEWER
XXX.XX	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
G	GUTTER
TC	TOP OF CURB

GENERAL GRADING NOTES

1. ALL STORM PIPE MATERIAL SHALL COMPLY WITH LOCAL REGULATIONS.
2. CONTRACTOR SHALL INSURE THAT ALL STORM PIPE CONNECTIONS ARE WATER TIGHT.
3. ALL STORM SEWER STRUCTURES PLACED IN A PAVED AREA SHALL BE FLUSH WITH FINISH GRADE AND SHALL HAVE A TRAFFIC BEARING FRAME AND LID. ALL STORM SEWER STRUCTURES PLACED IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE, UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR PAVED AND UNPAVED AREAS.
5. ALL STORM STRUCTURES SHALL HAVE A UNIFORM SMOOTH POURED MORTAR SLOPE FROM INVERT IN TO INVERT OUT.
6. ALL STORM SEWER TRENCHING AND BEDDING SHALL USE CITY OF ROCKWALL AND NCTCOG 3RD EDITION STDS.
7. PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED GRADES SHOWN. IF EXISTING GRADE ELEVATIONS ON-SITE DIFFER FROM THOSE SHOWN ON THESE PLANS AND IF ELEVATIONS AND GRADES PROPOSED ARE NOT ACHIEVABLE, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD.
8. ALL FILL TO BE COMPACTED TO A MIN. OF 95% STANDARD DENSITY.
9. ALL FILL TO BE COMPACTED USING A SHEEP'S FOOT ROLLER.

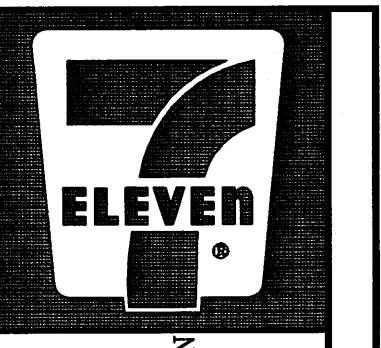
NOTES

- 1N. CONNECT TO ROOF DRAINS (PRIVATE)
- 2N. MAINTAIN 18" VERTICAL SEPARATION
- 3N. CONNECT TO UNDERGROUND DETENTION SYSTEM
- 4N. CONNECT TO EXISTING STORM INLET
- 5N. SAWCUT LINE/ MATCH EXISTING ELEVATIONS

DETAILS

- 1D. OUTFALL STRUCTURE (SEE DETAIL FOR SIZE)
- 2D. JUNCTION BOX (SEE DETAIL FOR SIZE)
- 3D. 5" CURB INLET (USE CITY OF ROCKWALL AND NCTCOG EDITION STDS.)
- 4D. SNOUT OIL WATER SEPARATOR
- 5D. CONTECH CMP UNDERGROUND DETENTION SYSTEM
- 6D. HANCOB DRAINTECH CHANNEL DRAIN (Private)

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7-ELEVEN
S. GOLIAD ST & YELLOW JACKET LN
ROCKWALL, TX 75087
PROJ. NUMBER: 12-11-00536

ISSUE BLOCK

NO.	DESCRIPTION	DATE

STORE NO.: 35677
DOCUMENT DATE: 2/5/2013
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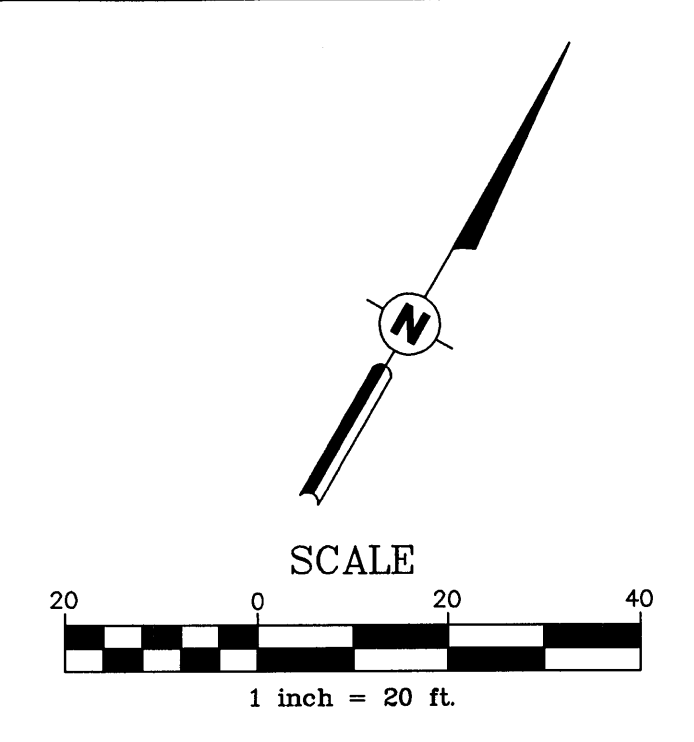
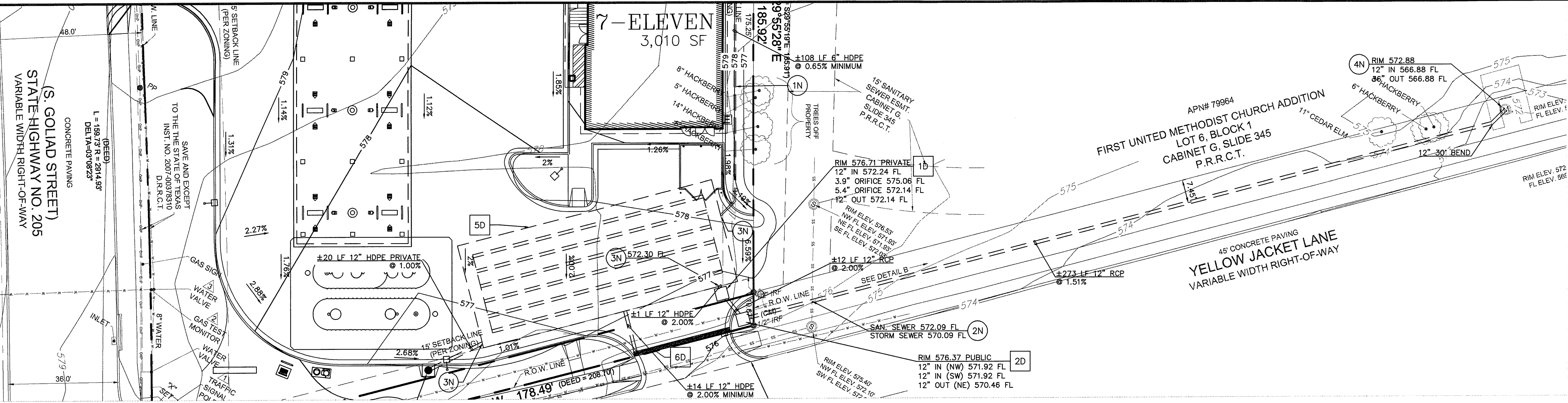


TEXAS COA
#F-8576

GRADING
PLAN

AS-BUILT

SHEET:
C2.0



EXISTING LEGEND

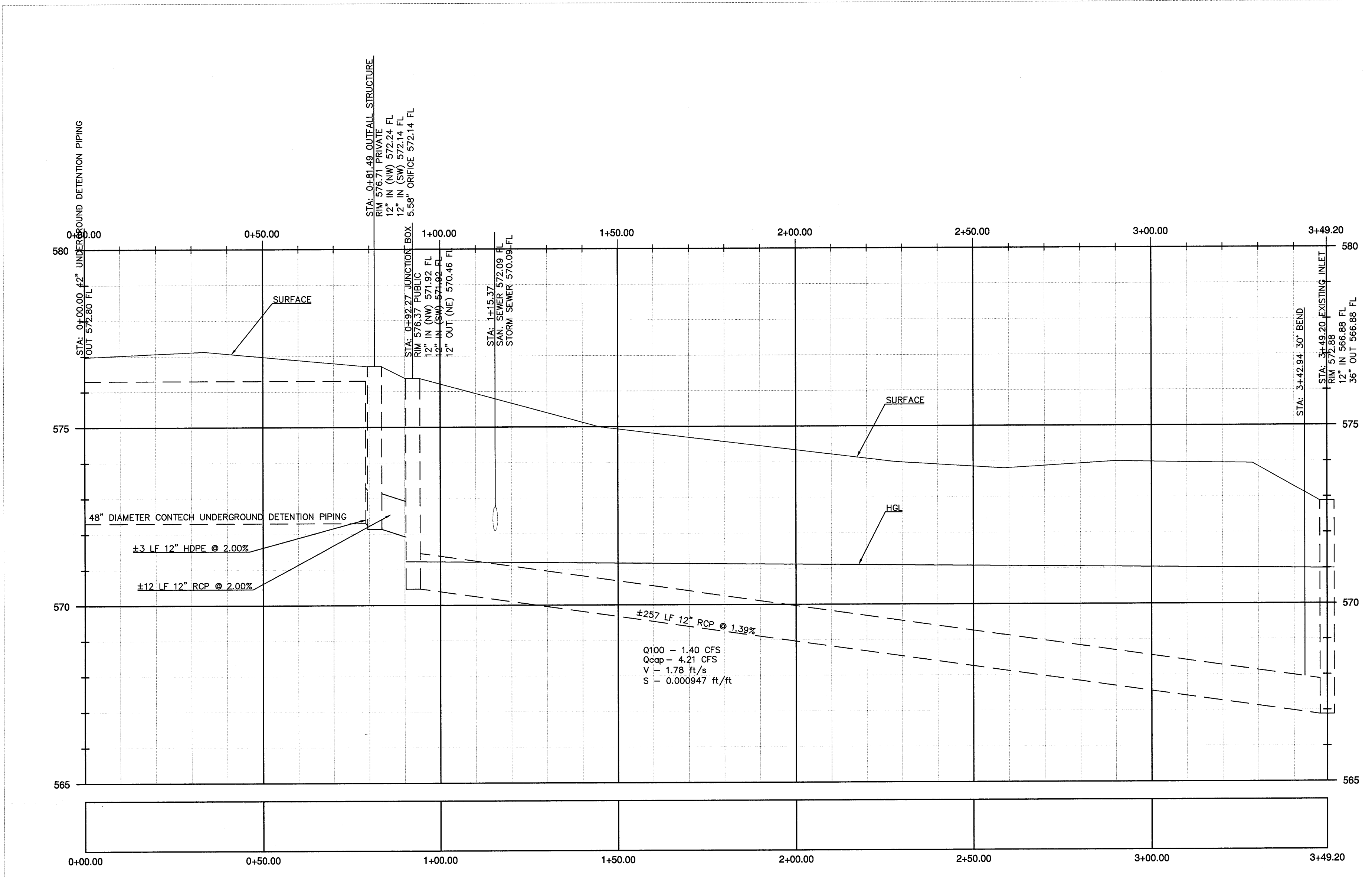
WTR	WATER	LT	LIGHT POLE
CLF	CHAINLINK FENCE	SD	STORM DRAIN
MH	MAN HOLE	FL	FIRELINE
T	TELEPHONE	WM	WATER METER
GM	GAS METER	BL	BUILDING LINE
FIR	FOUND IRON ROD	CO	CLEAN OUT
SIR	SET IRON ROD	FH	FIRE HYDRANT
FC	FENCE CORNER	SS	SANITARY SEWER
PT	POWER & TELEPHONE		
PIP	POWER POLE		
UP	UNDERGROUND POWER		
G	GAS		
BP	BUMPER POLE		
FOC	FIBER OPTIC CABLE		

PROPOSED

---	PROPERTY LINE
- - - -	BREAKLINE
---	LIMITS OF PONDING
---	STORM SEWER
XXX.XX	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
G	GUTTER
TC	TOP OF CURB

- GENERAL GRADING NOTES**
- ALL STORM PIPE MATERIAL SHALL COMPLY WITH LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSURE THAT ALL STORM PIPE CONNECTIONS ARE WATER TIGHT.
 - ALL STORM SEWER STRUCTURES PLACED IN A PAVED AREA SHALL BE FLUSH WITH FINISH GRADE AND SHALL HAVE A TRAFFIC BEARING FRAME AND LID. ALL STORM SEWER STRUCTURES PLACED IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR PAVED AND UNPAVED AREAS.
 - ALL STORM STRUCTURES SHALL HAVE A UNIFORM SMOOTH POURED MORTAR SLOPE FROM INVERT IN TO INVERT OUT.
 - ALL STORM SEWER TRENCHING AND BEDDING SHALL USE CITY OF ROCKWALL AND NCTCOG 3RD EDITION STDS.
 - PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED GRADES SHOWN. IF EXISTING GRADE ELEVATIONS ON-SITE DIFFER FROM THOSE SHOWN ON THESE PLANS AND IF ELEVATIONS AND GRADES PROPOSED ARE NOT ACHIEVABLE, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD.

- NOTES**
- CONNECT TO ROOF DRAINS
 - MAINTAIN 18" VERTICAL SEPARATION
 - CONNECT TO UNDERGROUND DETENTION SYSTEM
 - CONNECT TO EXISTING STORM INLET
 - SAWCUT LINE/ MATCH EXISTING ELEVATIONS
- DETAILS**
- OUTFALL STRUCTURE (SEE DETAIL FOR SIZE)
 - JUNCTION BOX (SEE DETAIL FOR SIZE)
 - 8" CURB INLET (USE CITY OF ROCKWALL AND NCTCOG EDITION STDS.)
 - SNOUT OIL WATER SEPARATOR
 - CONTECH CMP UNDERGROUND DETENTION SYSTEM
 - HANCOR DRAINTCH CHANNEL DRAIN



STORM SEWER (2) (1)
 Horizontal Scale - 1"=20'
 Vertical Scale - 1"=2'

NOTE: INITIAL HYDRAULIC GRADLINE WAS DETERMINED FROM CITY OF ROCKWALL TOWNSEND BLVD AND YELLOW JACKET LN PLANS, SHEET D112, PREPARED BY MIER & ASSOCIATES, INC. RECORD DRAWING 02/06/07.

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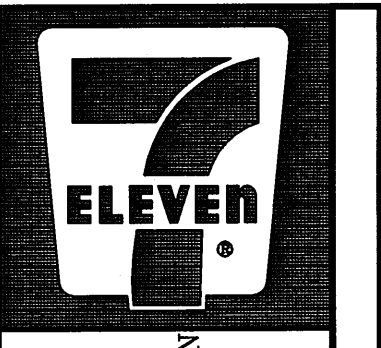
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HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

HARRISON FRENCH
 & ASSOCIATES, L.P.

809 S.W. A Street, Suite 201
 Bentonville, Arkansas 72712
 T 479.273.7780
 F 479.273.9436
 www.hfa-ac.com

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7-ELEVEN
 S. GOLLAD ST & YELLOW JACKET LN
 ROCKWALL, TX 75087

ISSUE BLOCK

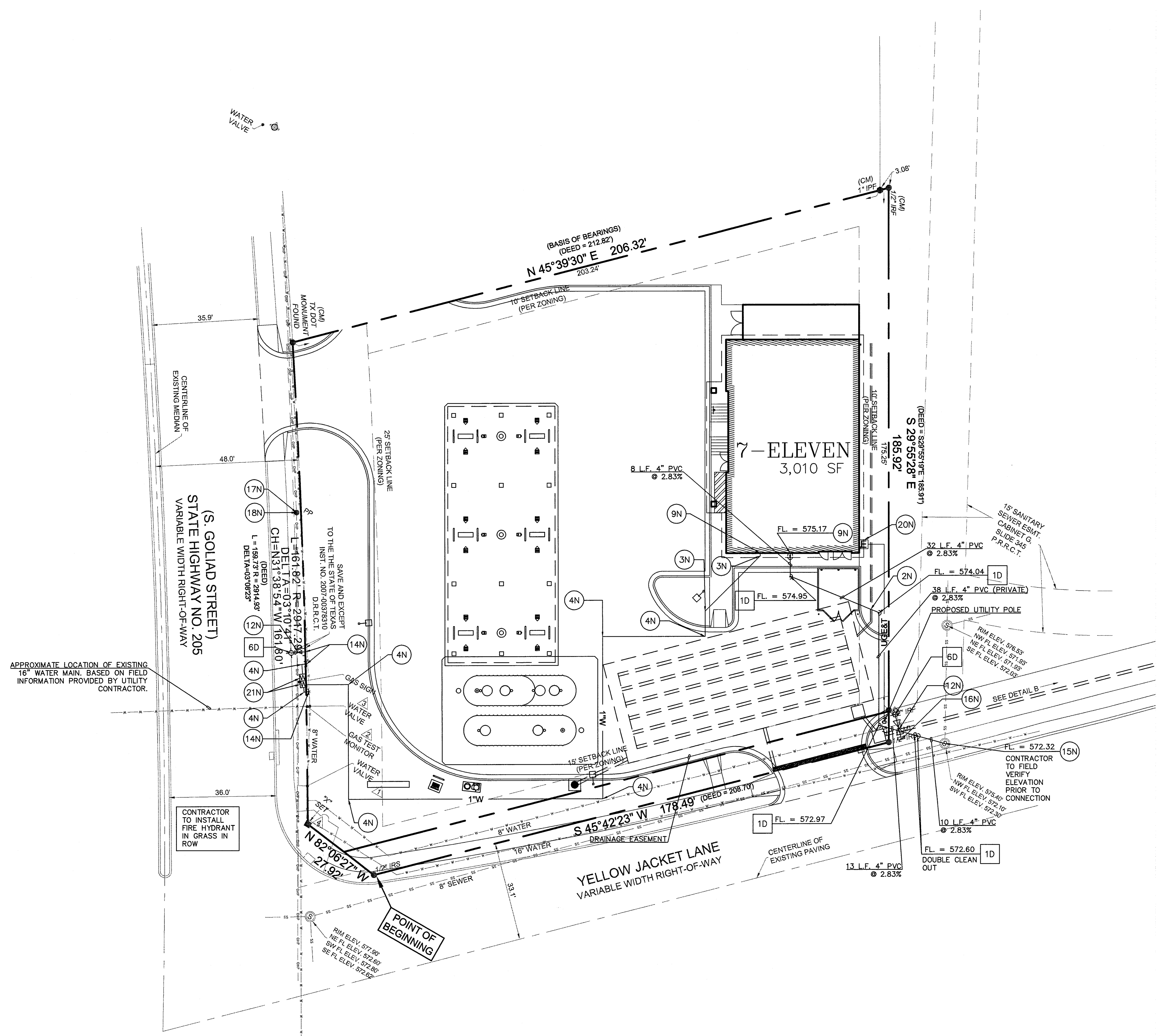
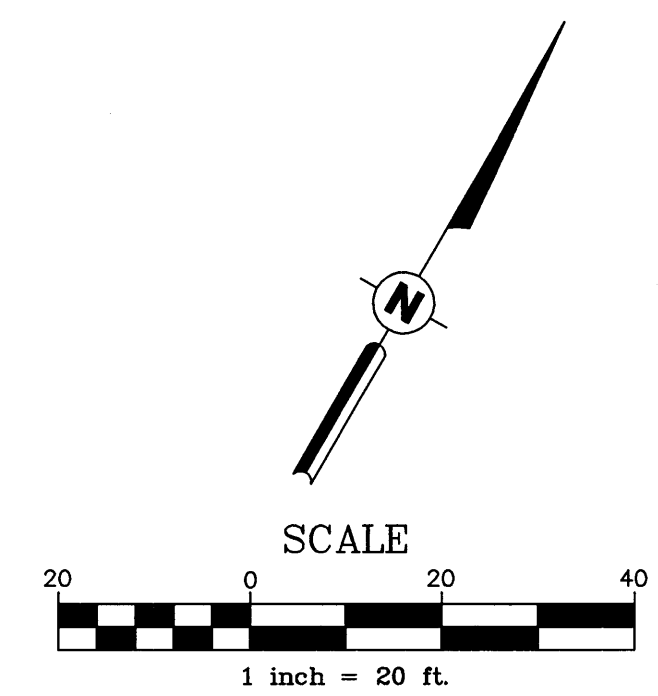
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Andrew Slyter
 2/4/13

TEXAS COA
 #F-8576

STORM SEWER PROFILE
 AS-BUILT

SHEET:
C2.3



EXISTING LEGEND

WTR	WATER	LT	LIGHT POLE
CLF	CHARLINK FENCE	SD	STORM DRAIN
MH	MAN HOLE	FL	FIRELANE
T	TELEPHONE	WM	WATER METER
GM	GAS METER	BL	BUILDING LINE
FIR	FOUND IRON ROD	CO	CLEAN OUT
SIR	SET IRON ROD	FH	FIRE HYDRANT
FC	FENCE CORNER	SS	SANITARY SEWER
PT	POWER & TELEPHONE		
P/P	POWER POLE		
UP	UNDERGROUND POWER		
G	GAS		
BP	BLUMPER POLE		
FOC	FIBER OPTIC CABLE		

PROPOSED

---	PROPERTY LINE
---	PROPOSED EASEMENT
X"W	WATERLINE
X"SS	SANITARY SEWER LINE
UG&T	UNDERGROUND ELECTRIC & TELEPHONE
---	STORM SEWER
□	SEWER STUB OUT
□	SEWER CLEAN OUT
□	ELECTRIC METER
W	WATER METER

GENERAL UTILITY NOTES

1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION.
3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
5. ALL TRENCHING AND BEDDING SHALL BE PER THE CITY OF ROCKWALL AND NCTCOG 3RD EDITION STDS.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIES.
7. ALL THRUST BLOCKING SHALL BE PER THE VERTICAL AND HORIZONTAL THRUST BLOCKING DETAILS.
8. ALL SANITARY SEWER CLEAN-OUTS SHALL BE PER THE CITY OF ROCKWALL AND NCTCOG 3RD EDITION STDS.

NOTES

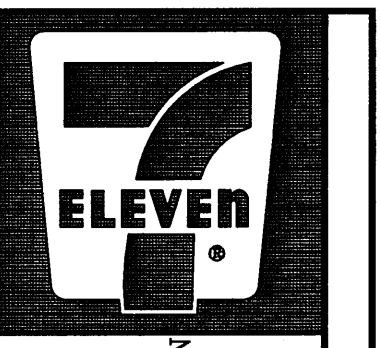
- 2N. MAINTAIN 18" VERTICAL SEPARATION
- 3N. 45° BEND
- 4N. 90° BEND
- 9N. CONNECT TO BUILDING
- 12N. GATE VALVE
- 13N. BACKFLOW PREVENTOR
- 14N. CONNECT TO EXISTING WATER LINE (PER CITY OF ROCKWALL)
- 15N. CONNECT TO EXISTING MANHOLE
- 16N. CONNECTION TO 8" EXTENSION BY OTHERS
- 17N. CONNECT TO EXISTING ELECTRICAL SERVICE (PER ONCOR ELECTRIC)
- 18N. CONNECT TO EXISTING TELEPHONE SERVICE PER VERIZON
- 20N. ELECTRIC METER
- 21N. 1" WATER METER (WITH DOUBLE CHECK AND BACKFLOW PREVENTOR)

DETAILS

- 1D. CLEANOUT (PER CITY OF ROCKWALL AND NCTCOG 3RD EDITION STANDARDS)
- 6D. FIRE HYDRANT (PER CITY OF ROCKWALL STANDARDS)

TO THE BEST OF OUR KNOWLEDGE HARRISON FRENCH & ASSOCIATES, LTD, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING INFORMATION PROVIDED BY TEXAS HERITAGE SURVEYING, LLC AND INFORMATION PROVIDED BY THE CONTRACTOR.

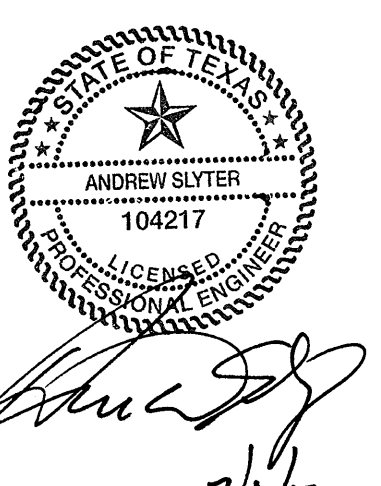
STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT THE LOCATION AND DATE CONTAINED HEREIN. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF HARRISON FRENCH & ASSOCIATES, LTD. DATE: 02/05/2013



7-ELEVEN
S. GOLIAD ST & YELLOW JACKET LN
ROCKWALL, TX 75087
PROJ. NUMBER: 12-11-00536

ISSUE BLOCK

STORE NO.: 35677
DOCUMENT DATE: 2/5/2013
CHECKED BY: MTP
DRAWN BY: RDE

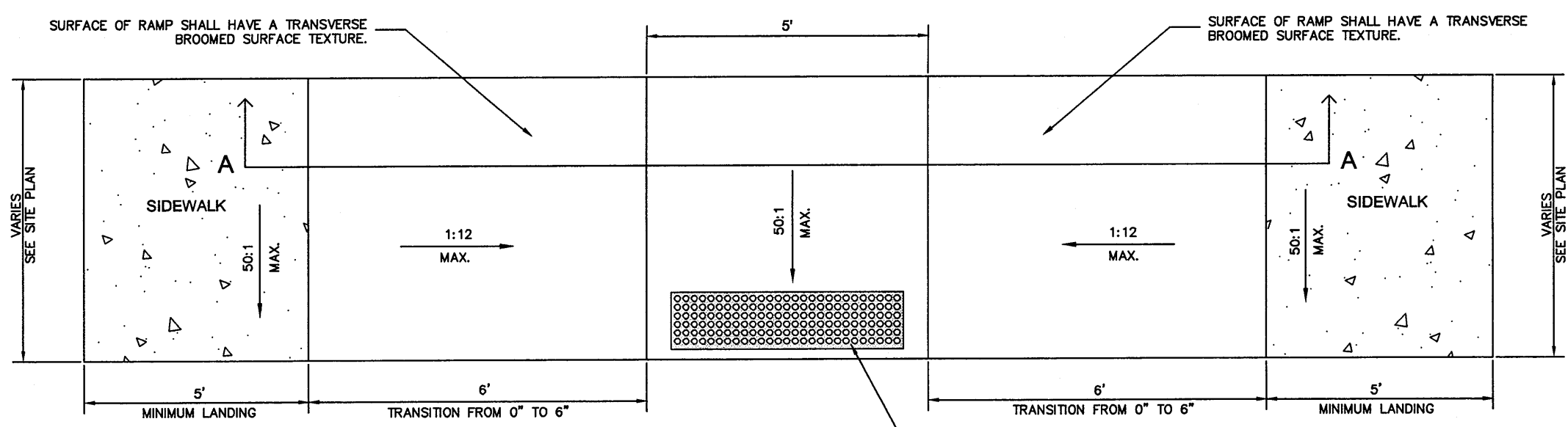


TEXAS COA
#F-8576

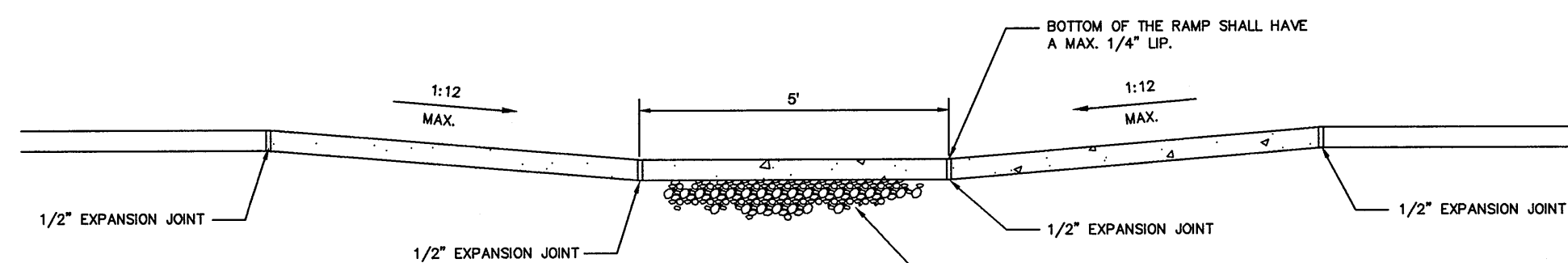
UTILITY
PLAN

AS-BUILT

SHEET:
C4.0



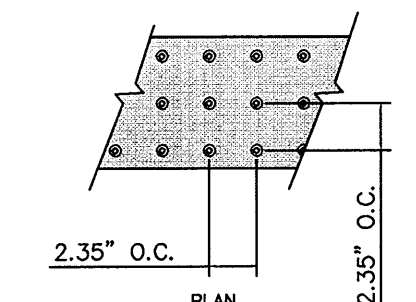
PLAN
N.T.S.



SECTION A
N.T.S.

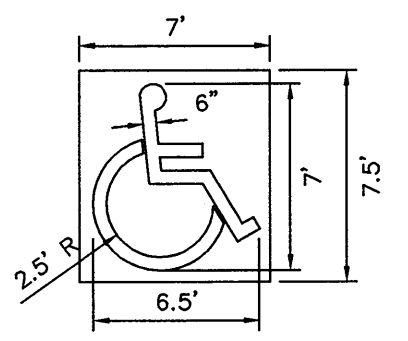
NOTES:

1. THE SURFACE OF THE RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRIANGULAR DOMES. SEE DETECTABLE WARNINGS DETAIL.
2. CONSTRUCT PER A.D.A. STANDARDS (CONSTRUCT PER APPROPRIATE TxDOT STANDARD IN TxDOT RIGHT OF WAY).
3. REFER TO PLANS FOR ADJACENT SLOPES.
4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.
5. CONSTRUCTION OF THE RAMP SHALL MATCH ADJOINING SIDEWALK DETAIL.

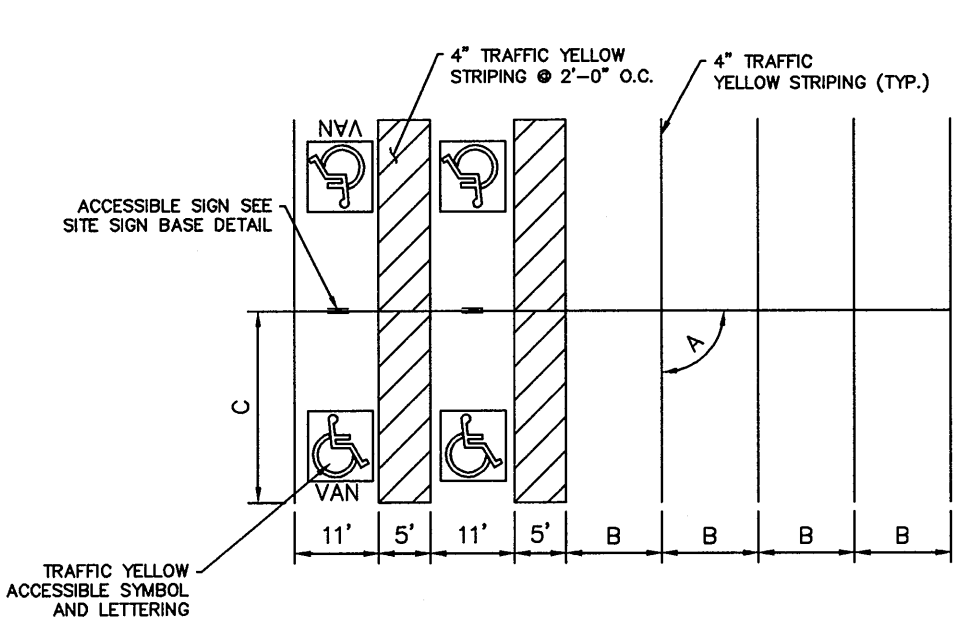


DETECTABLE WARNINGS
DETAIL
N.T.S.

ADA RAMP IN SIDEWALK
N.T.S.



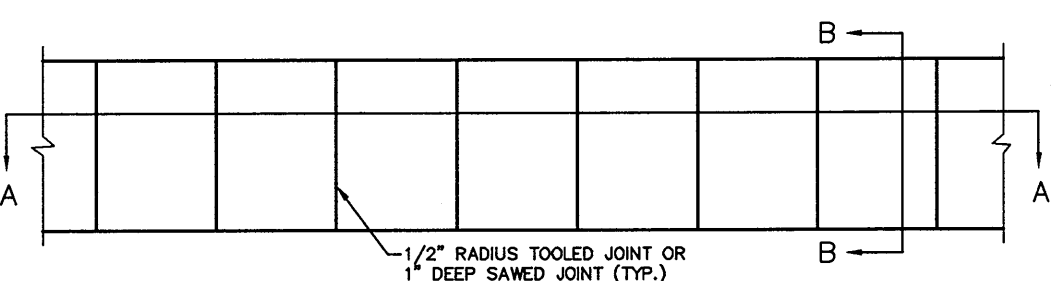
ACCESSIBLE PARKING SYMBOL
LOCATED AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY VAN LETTERING



PARKING LOT STRIPING
N.T.S.

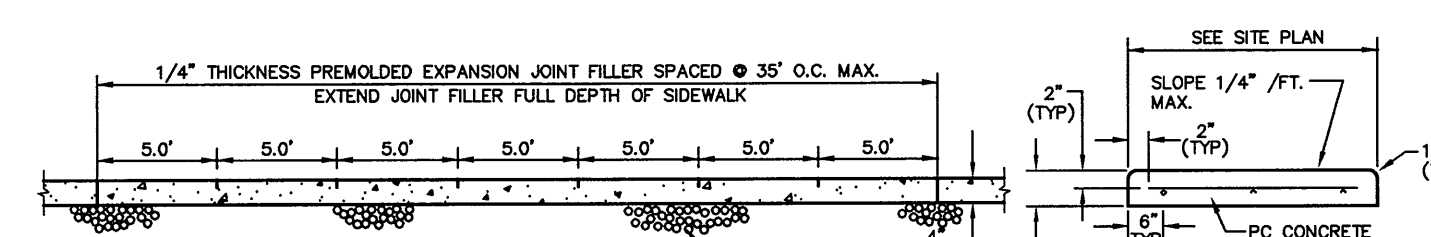
- NOTES:
1. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
 2. THIS IS FOR REFERENCE AND DIMENSION CONTROL ONLY.
 3. ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS OTHERWISE NOTED.
 4. ALL COLORS AS SHOWN OR BY LOCAL CODES.

DIMENSION CHART	
A	9'
B	9'
C	20'

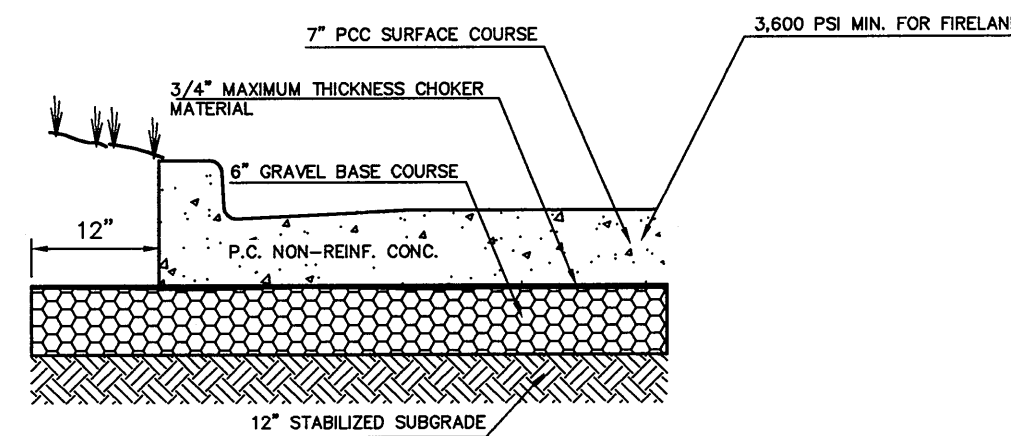


PLAN VIEW

- NOTES:
1. PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL FIXED OBJECTS
 2. CONCRETE SHALL BE 3,600 PSI



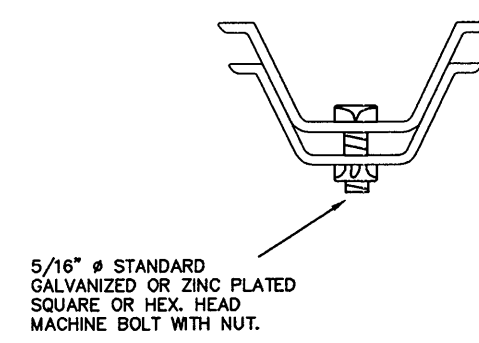
SECTION A-A
CONCRETE SIDEWALK
N.T.S.



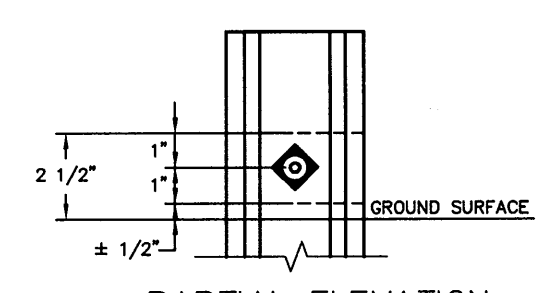
HEAVY DUTY
CONCRETE PAVING DETAILS
N.T.S.

- NOTES:
- 3,000 PSI = MIN 5.0 SACK FOR HAND PLACE, MIN 5.0 SACK FOR MACHINE PLACE.
 - 3,600 PSI = MIN 6.5 SACK FOR HAND PLACE, MIN 6.0 SACK FOR MACHINE PLACE.

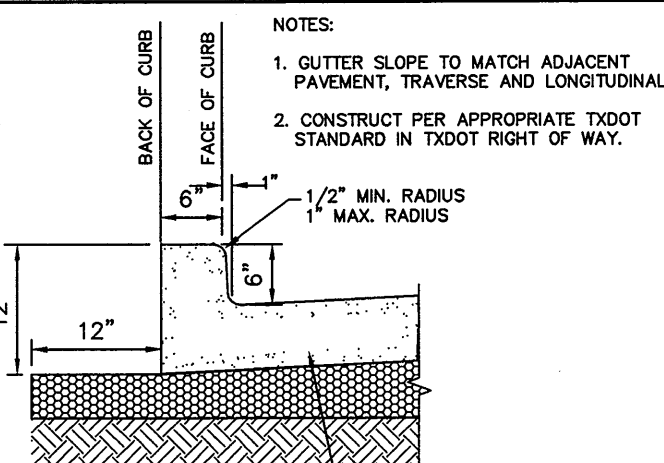
- NOTES:
1. REFER TO GEOTECH REPORT BY PROFESSIONAL SERVICE INDUSTRIES, INC. DATED JANUARY 24, 2012.
 2. PAVEMENTS AND SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION.
 3. JOINTING AND SPACING SHALL BE PER CITY OF ROCKWALL.



BREAK AWAY CHANNEL POST
N.T.S.

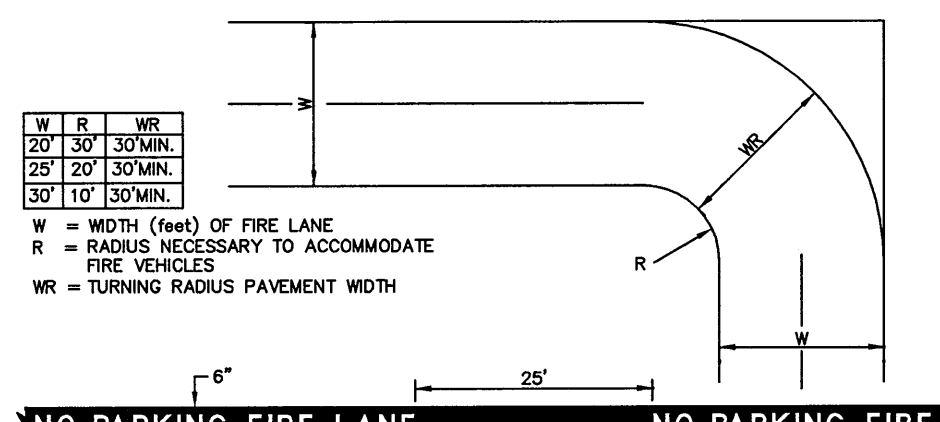


PARTIAL ELEVATION



TYPE "B" INTEGRAL CURB AND GUTTER
N.T.S.

- NOTES:
1. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE AND LONGITUDINAL.
 2. CONSTRUCT PER APPROPRIATE TxDOT STANDARD IN TxDOT RIGHT OF WAY.



FIRE LANE MARKING
N.T.S.

W	R	WR
20'	30'	30MIN.
25'	20'	30MIN.
30'	10'	30MIN.

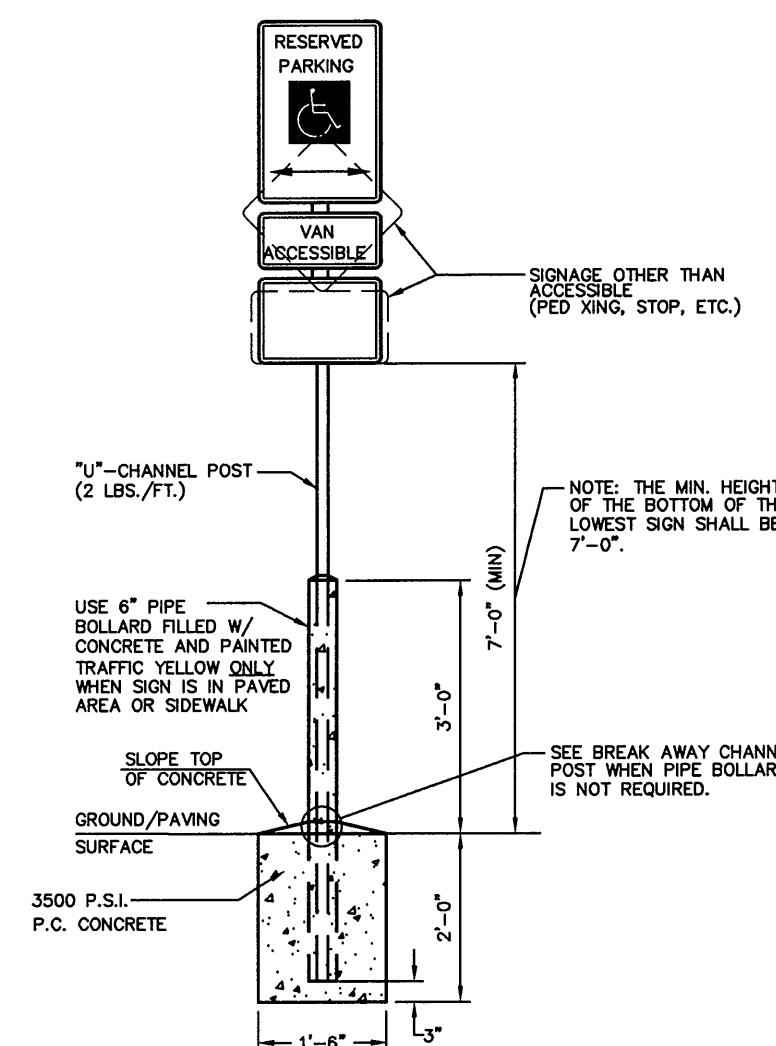
W = WIDTH (FEET) OF FIRE LANE
R = RADIUS NECESSARY TO ACCOMMODATE FIRE VEHICLES
WR = TURNING RADIUS PAVEMENT WIDTH

FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" BOLD WHITE LETTERS READING "NO PARKING FIRE LANE". STRIPING SHALL BE PLACED ON THE TOP EDGE OF THE SIDEWALK ADJUTING THE PAVED DRIVE OR AS SPECIFIED BY LOCAL REQUIREMENTS.

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ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

SITE SIGN BASE DETAILS
N.T.S.



STIPULATION FOR REUSE
THIS DRAWING IS PREPARED FOR USE IN A SPECIFIC PROJECT AND IS NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH & ASSOCIATES, LTD. AND IT IS NOT SUITABLE FOR USE ON A PROJECT OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE USER OF THIS DRAWING FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE IS SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING THE RIGHTS OF HARRISON FRENCH & ASSOCIATES, LTD. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE IS AT THE USER'S SOLE RISK AND IS NOT BE CONSIDERED AS AN ENDORSEMENT BY HARRISON FRENCH & ASSOCIATES, LTD.

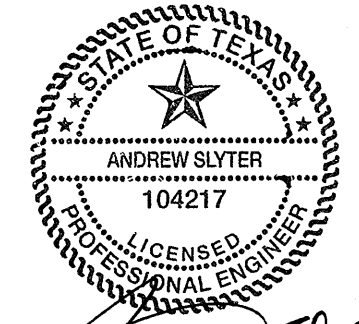


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DETAIL
SHEET

AS-BUILT

SHEET:
C7.0

