

BONAFIDE BETTIES PIE COMPANY

TCB ADDITION - LOT 1, BLOCK A

505 N. GOLIAD STREET

ROCKWALL, TEXAS 75087

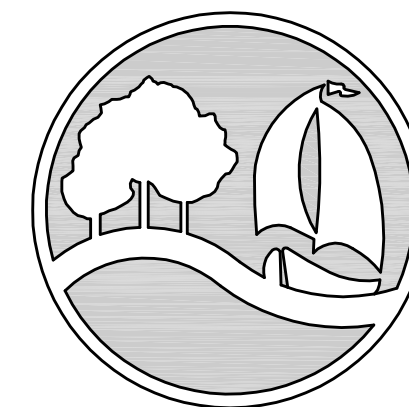
SITE IMPROVEMENTS AUGUST 2019

SHEET INDEX

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- 7 PAVING PLAN
- 8 EROSION CONTROL PLAN



VICINITY MAP
N.T.S.



City of Rockwall
The New Horizon

PREPARED BY :

LAM CONSULTING ENGINEERING

6804 WILHELMINA DRIVE

SACHSE, TEXAS 75048

(214) 766-1011

www.lamcivil.com

Firm# F-9763

NOTE:

CITY OF ROCKWALL ENGINEERING DEPARTMENT LATEST STANDARD DETAILS AND NCTCOG 4TH EDITION SHALL BE USED FOR CONSTRUCTION OF THIS PROJECT UNLESS OTHERWISE NOTED WITHIN THESE PLANS. THE CONTRACTOR SHALL OBTAIN THE STANDARD DETAIL BOOK FROM THE CITY'S ENGINEERING DEPARTMENT.

TCB CONSTRUCTION GROUP, LLC.
906 N. GOLIAD STREET
ROCKWALL, TEXAS 75087
(972) 961-0200

AS-BUILT PLANS

TO THE BEST OF OUR KNOWLEDGE LAM CONSULTING ENGINEERING, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON THE OWNER SURVEYOR SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
10/01/20

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LOT 1, BLOCK A
AMICK 20A-THOMAS SUBDIVISION
CAB. B. SLIDE 126

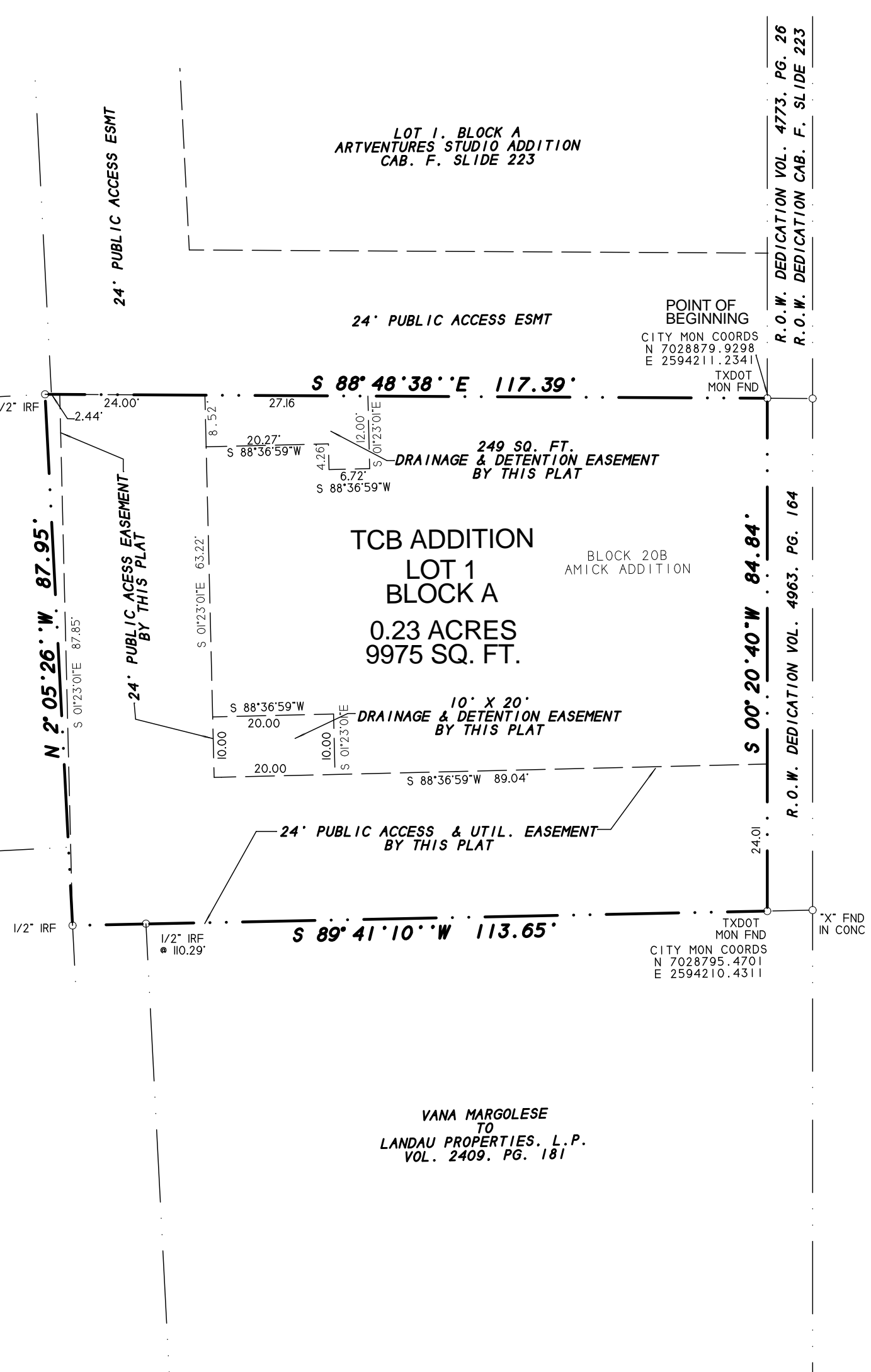
LOT 1, BLOCK A
ARTVENTURES STUDIO ADDITION
CAB. F. SLIDE 223

JAMES & GAYLE GRAGG
TO
NETA FAY SMITH
VOL. 428. PG. 152

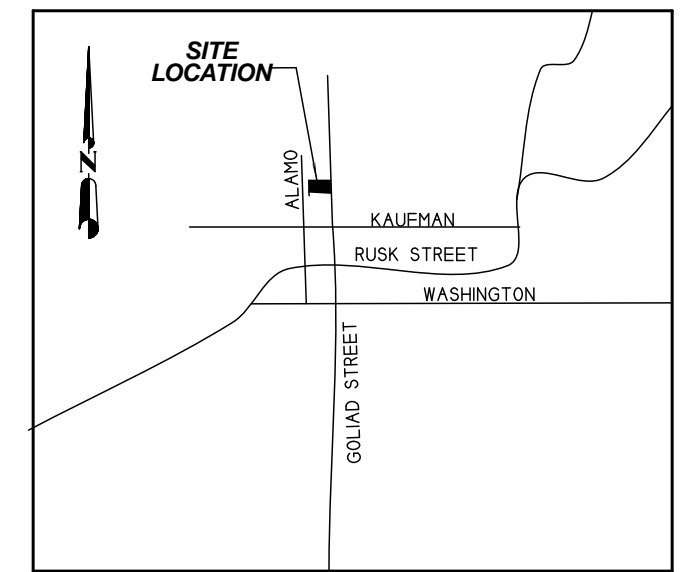
TCB ADDITION
LOT 1
BLOCK A
0.23 ACRES
9975 SQ. FT.

CEDO & JULIA RAKICH
TO
ALEXANDER RAKICH
VOL. 1209. PG. 190

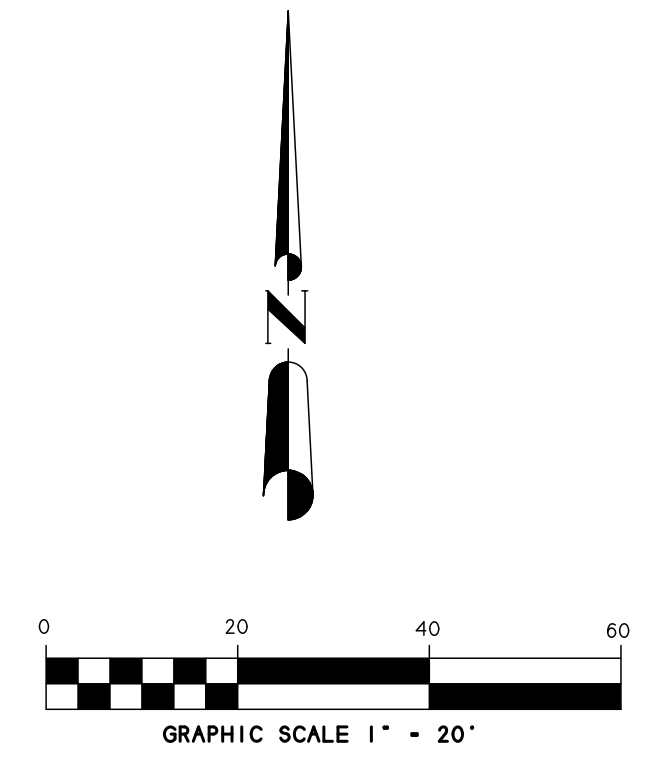
VANA MARGOLESE
TO
LANDAU PROPERTIES, L.P.
VOL. 2409. PG. 181



STATE HIGHWAY 205
N. GOLIAD STREET
50' R.O.W.



VICINITY MAP
N.T.S.



FINAL PLAT
TCB ADDITION
LOT 1, BLOCK A
0.23 ACRES OR 9975 S.F.
(1 LOT)
BEING A REPLAT OF BLOCK 20B
AMICK ADDITION
B. F. BOYDSTUN SURVEY
ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND			
TV	GAS	TEL	PH
TELEVISION	TELEPHONE	TELEPHONE	PHONE
CABLE RISER	METER	METER	HYDRANT
ELEC	ELEC	LP	1/2" IRF
ELECTRIC	ELECTRIC	WATER	WATER METER
METER	METER	JUNCTION BOX	1" CORNER
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OWNER:
PRICE POINTER
MANUEL LOZANO
906 N GOLIAD STREET
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE APRIL 19, 2019
SCALE 1" = 20' FILE # 20020657-P
CLIENT POINTER & LOZANO

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS PRICE POINTER & MANUEL LOZANO, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being known as a part of Lot 20 of AMICK ADDITION, not of record, and also being a part of a tract of land as described in a Warranty deed from Eddie Walker to Stained Glass Creations, dated August 16, 2002 and being recorded in Volume 2364, Page 181 of the Real Property Records of Rockwall County, Texas, and Correction Warranty deed recorded in Volume 4754, Page 130 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a TXDOT monument found for corner in the West right-of-way line of State Highway 205 N. Goliad Street, at the intersection of said right-of-way with the north line of the above cited tract;

THENCE S. 00 deg. 20 min. 40 sec. W. along said right-of-way line, a distance of 84.84 feet to a TXDOT monument found for corner in the North line of a tract of land as described in a Warranty deed from Vana Margolese to Landau Properties, LP, dated January 23, 2002, and being recorded in Volume 2409, Page 181 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 41 min. 10 sec. W. along the common line between said tracts, a distance of 113.65 feet to a 1/2" iron rod found for corner at the Southwest corner of the above cited tract;

THENCE N. 02 deg. 05 min. 26 sec. W. along the West line of said tract, a distance of 87.95 feet to a 1/2" iron rod found for corner being the Northwest corner of said tract;

THENCE S. 88 deg. 48 min. 38 sec. E. a distance of 117.39 feet to the POINT OF BEGINNING and containing 9,975 square feet or 0.23 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as TCB ADDITION, LOT 1, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in TCB ADDITION, LOT 1, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development. Property owner is responsible for all maintenance, repair, and replacement of storm systems in easements.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

PRICE POINTER _____

MANUEL LOZANO _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared PRICE POINTER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared MANUEL LOZANO known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of TCB ADDITION, LOT 1, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____

City Secretary City of Rockwall _____

City Engineer _____

Date _____

FINAL PLAT

TCB ADDITION
LOT 1, BLOCK A

0.23 ACRES OR 9975 S.F.

(1 LOT)

BEING A REPLAT OF BLOCK 20B

AMICK ADDITION

B. F. BOYDSTUN SURVEY

ABSTRACT NO. 14

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND											
TV	GAS	TEL	PH	PP							
TELEPHONE	LINE	PHONE	LINE	POWER							
CABLE RISER	METER	RISER	HYDRANT	POLE							
ELEC	ELEC	WATER	LS	1/2" BF							
ELECTRIC	BOX	ELECTRIC	METER	IRON PIPE FOUND							
METER	SUBSPACE	WATER	LIGHT	1" CORNER							
	BOX	METER	POLE								
—	—	—	—	—							
FENCE	EASEMENT LINE	AR COND. UNIT	PROPANE TANK								

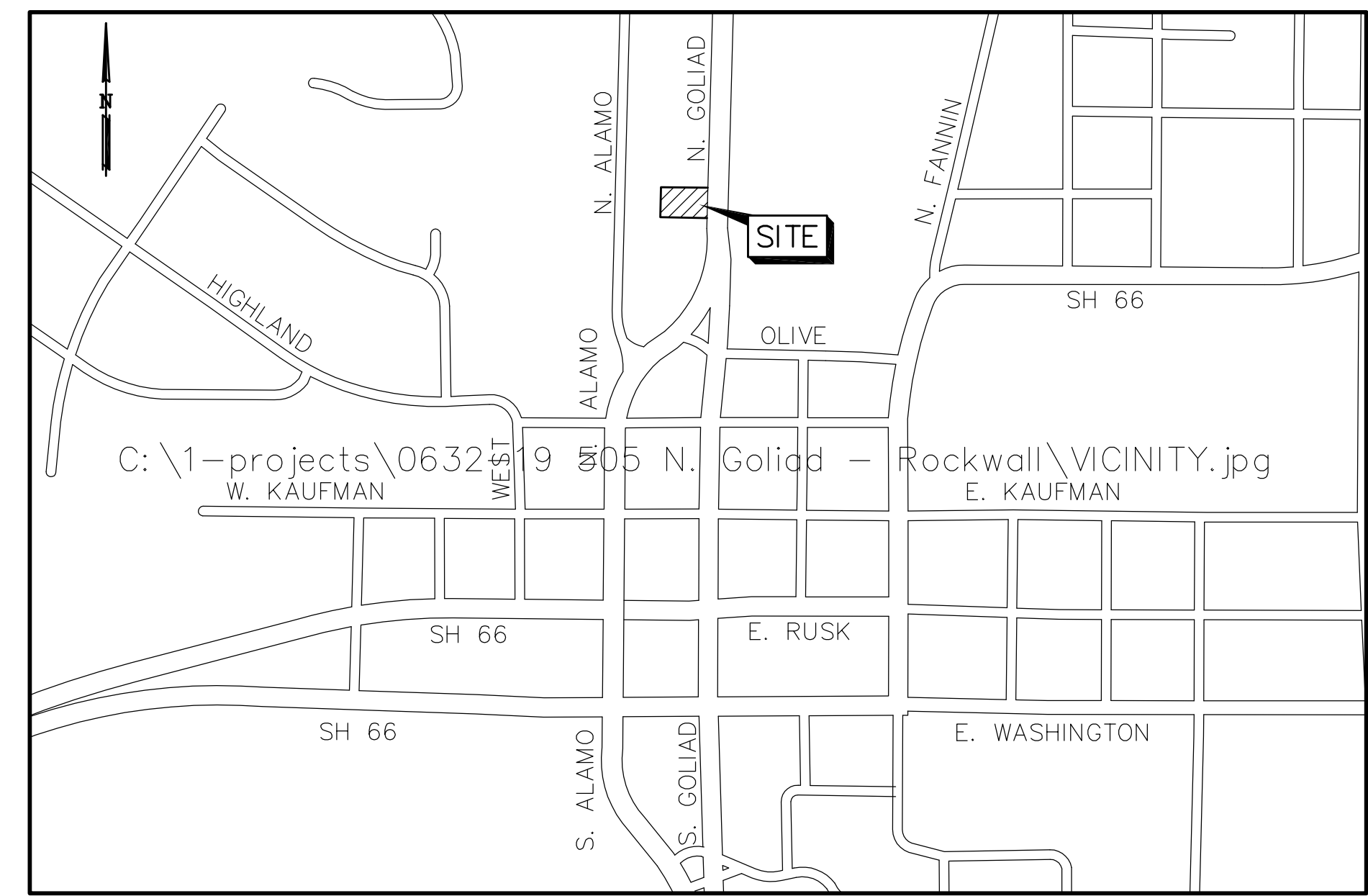
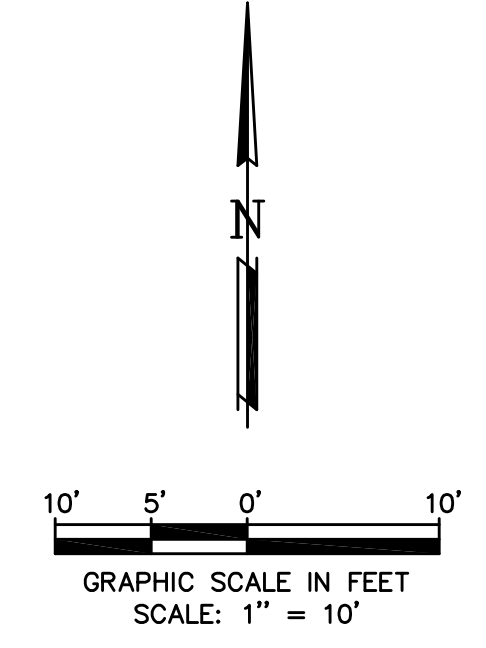
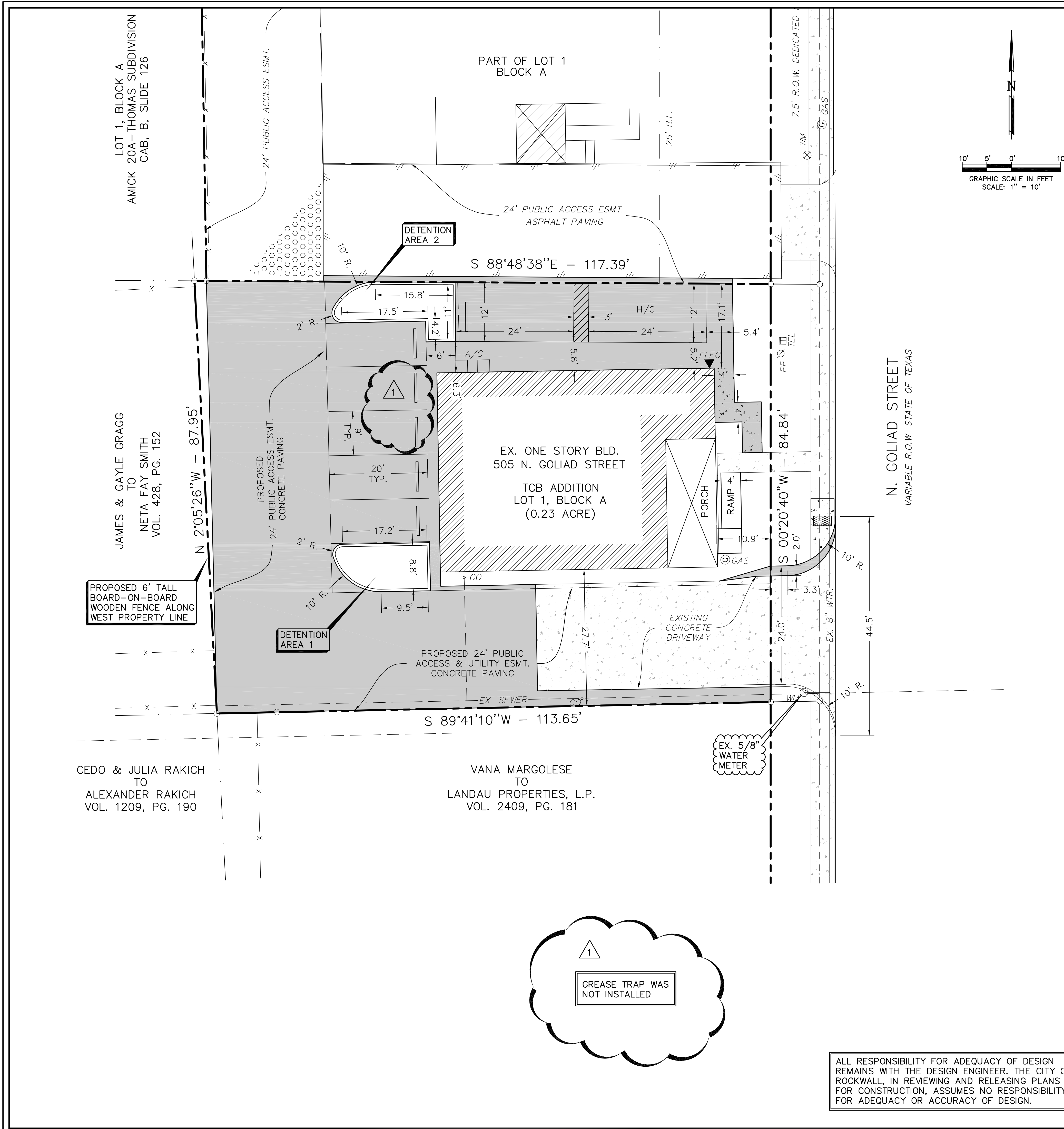
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Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE APRIL 19, 2019
SCALE 1" = 20' FILE # 20020657-P
CLIENT PRICE POINTER & LOZANO



VICINITY MAP
N.T.S.

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906 N. GOLIAD STREET
ROCKWALL, TEXAS 75087

SITE DATA

LOT AREA	10,019 SF ~ 0.23 AC
ZONING	PD-50 NORTH GOLIAD OVERLAY DISTRICT
INSIDE BUILDING AREA	1916 SF
FRONT PORCH	264 SF
PARKING REQUIRED	8 SPACES
PARKING PROVIDED	7 SPACES



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CASE No. SP2019-015

SITE PLAN

TCB ADDITION - LOT 1, BLOCK A
BONAFIDE BETTIES PIES CO.
505 N. GOLIAD STREET
ROCKWALL, TEXAS 75087

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED
DRAWN:	CTL	DATE:	MAY 2019	PROJECT:	632-19

GRADING NOTES:
 1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S PLANS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN AND APPROVED BY THE CITY AND NCTCOG 4TH EDITION.

2. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.

4. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

6. CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED UTILITIES AND STORM TO FINAL GRADE.

7. THE SUBGRADE IN AREAS TO BE FILLED SHOULD BE STRIPPED OF VEGETATION AND ANY MAJOR ROOT SYSTEMS. IT SHOULD THEN BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT PUMPING AREAS SHOULD BE UNDERCUT AND PROPERLY BACKFILLED. THE SUBGRADE SHOULD THEN BE SCARIFIED TO A MINIMUM +2 PERCENTAGE POINTS ABOVE THE SOIL'S OPTIMUM MOISTURE DETERMINED BY THAT TEST.

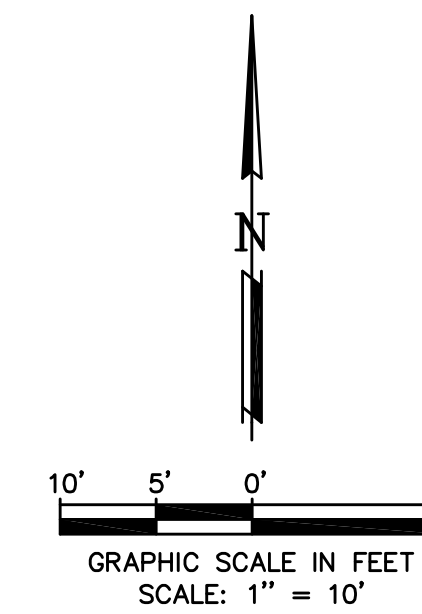
8. ALL BACKFILL SHALL BE COMPACTED TO 95% PROCTOR DENSITY. BACKFILL SHOULD BE STRIPPED OF VEGETATION AND ANY MAJOR ROOT SYSTEMS. IT SHOULD THEN BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT PUMPING AREAS SHOULD BE UNDERCUT AND PROPERLY BACKFILLED. THE BACKFILL SHOULD THEN BE SCARIFIED TO A MINIMUM +2 PERCENTAGE POINTS ABOVE THE SOIL'S OPTIMUM MOISTURE DETERMINED BY THAT TEST. THE FILL MATERIALS SHOULD THEN BE SPREAD IN LOOSE LIFTS, LESS THAN 8 INCHES THICK, AND UNIFORMLY COMPACTED TO THE SAME CRITERIA. IF FILLING IS SUSPENDED AND THE SUBGRADE BECOMES DESICCATED OR RUTTED, IT SHOULD BE REWORKED PRIOR TO PLACEMENT OF A SUBSEQUENT LIFT. ALL FILL TO BE COMPACTED USING A SHEEP FOOT ROLLER.

9. COMPACTION TEST SHALL BE DONE FOR EACH 8" OF FILL, BUT NOT LESS THAN ONE TEST FOR EVERY CUBIC YARDS, OR MORE FREQUENTLY IF REQUIRED BY THE SOILS ENGINEER.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR THE INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE SOILS REPORT.

11. ALL PROPOSED SPOT SHOTS ARE TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.

12. ALL DISTURBED AREAS SHALL BE STABILIZED WITH BROADCAST SEED AND FERTILIZER UPON COMPLETION OF GRADING AND PAVING. CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO ESTABLISH PERMANENT VEGETATION. 75%-80% OF ALL DISTURBED AREA TO HAVE 1" TALL ESTABLISHED GRASS PRIOR TO ENGINEERING ACCEPTANCE. ALL RIGHT-OF-WAYS TO BE SODDED.



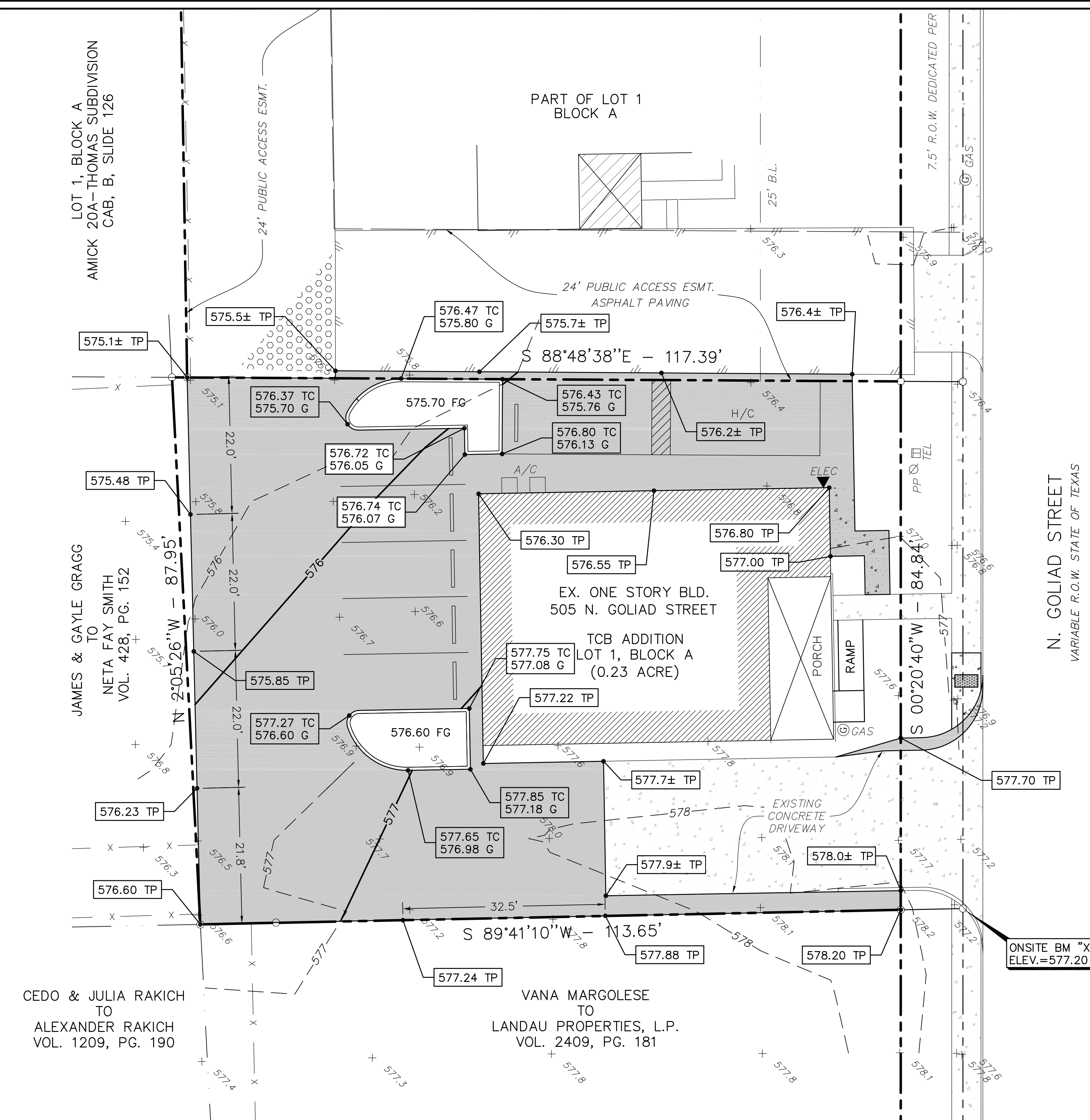
LEGEND

- 450.00 FG FINISHED GRADE ELEVATION
- 450.00 TP TOP OF PAVING ELEVATION
- 450.00 TC TOP OF CURB ELEVATION
- 450.00 G GUTTER ELEVATION
- 485 EXISTING CONTOUR
- 485 PROPOSED CONTOUR
- HP PROPOSED GRADE HIGH POINT
- PROPOSED FLOW ARROW
- PROPOSED VALLEY GUTTER

BENCH MARKS:

CITY MON R012 LOCATED IN FRONT OF ROCKWALL POLICE STATION 4.5 FEET FROM BACK CURB PARKING 49.1 FEET FROM POWER POLE AND 21.1 FEET NORTHWEST OF BACK CURB WASHINGTON STREET. ELEV=594.25

ONSITE BM= "X" IN CONCRETE 9.9 FEET EAST OF SOUTHEAST CORNER 505 N GOLIAD STREET ELEV=577.20



N. GOLIAD STREET
 VARIABLE R.O.W. STATE OF TEXAS

CEDO & JULIA RAKICH
 TO
 ALEXANDER RAKICH
 VOL. 1209, PG. 190

VANA MARGOLESE
 TO
 LANDAU PROPERTIES, L.P.
 VOL. 2409, PG. 181

LOT AREA = 10,019 Sq. Ft.
 DISTURBED AREA = 5,965 Sq. Ft.



AS-BUILT PLANS

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CONTRACTOR SHALL PAY ALL PERMIT FEES AND WILL SETUP PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK.

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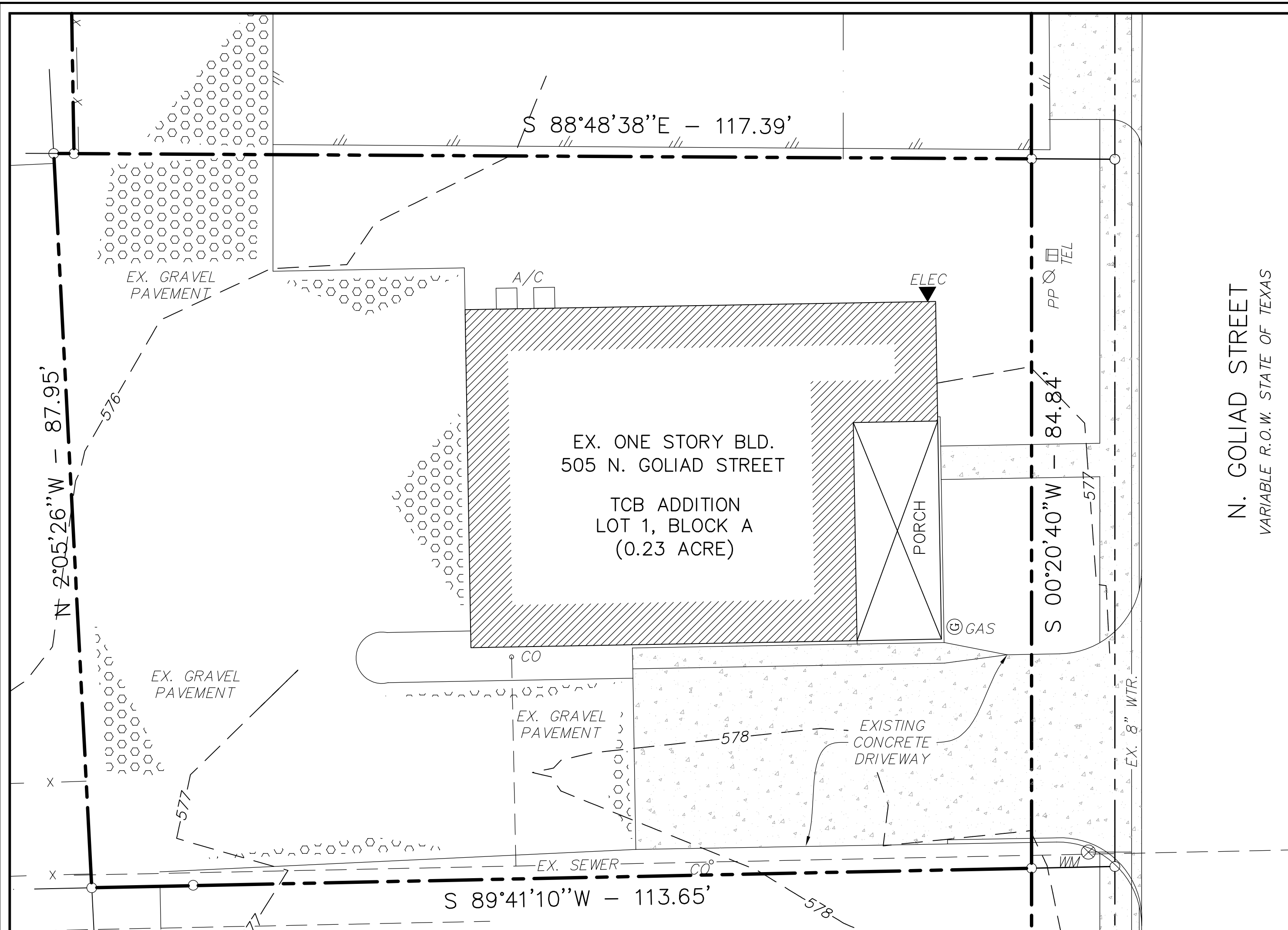
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GRADING PLAN

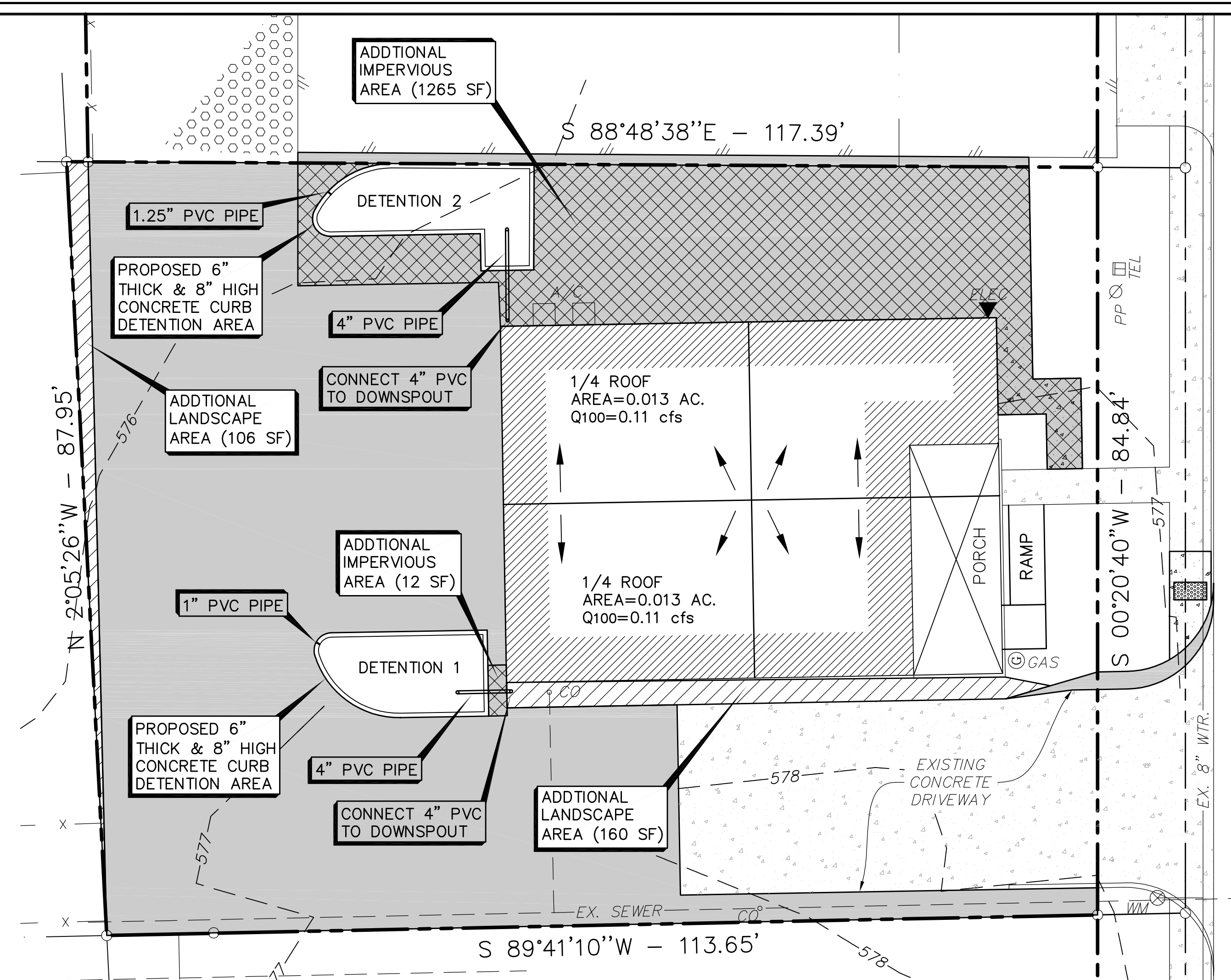
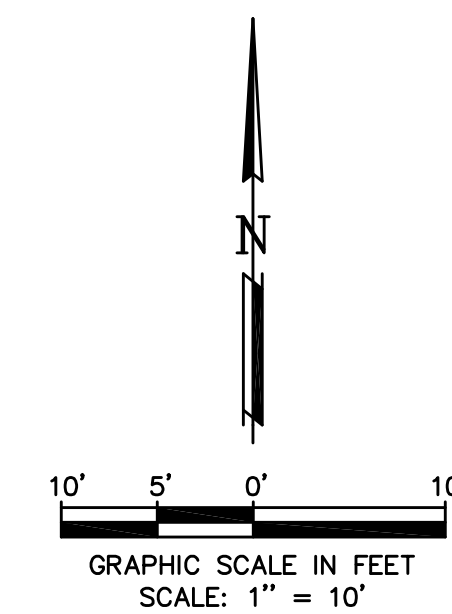
TCB ADDITION - LOT 1, BLOCK A
 BONAFIDE BETTIES PIES CO.
 505 N. GOLIAD STREET
 ROCKWALL, TEXAS 75087

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 6804 WILHELMINA DRIVE
 SACHSE, TEXAS 75048
 Phone (214) 766-1011
 www.lamcivil.com
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	5 of 8
DRAWN: CTL	DATE: MAY 2019	PROJECT: 632-19	



EXISTING CONDITIONS



IMPROVEMENT CONDITIONS

AREA (SF)	
INCREASE IMPERVIOUS	1265
INCREASE IMPERVIOUS	12
INCREASE LANDSCAPE	-160
INCREASE LANDSCAPE	-106
TOTAL IMPERVIOUS (SF)	1011
AREA IN ACRES	0.02321



DETENTION CALCULATION: 505 N. Goliad Street				DETENTION AREA VOLUME		
Based on 100-yr storm requirements				DEPTH (IN)	AREA	VOL. (CF)
Existing Conditions (Grass)				7.2	324.52	195
Q (cfs)	0.0668	Time	I	ISLAND AREA 1	178.00	
C	0.35	15	9.00	ISLAND AREA 2	146.52	
I	8.30	20	8.30	TOTAL AREA	324.52	
A	0.023	30	6.90			
Tc	20	40	5.80			
		50	5.00			
Improved Conditions (Concrete)						
Q (cfs)	0.20	60	4.50			
C	0.90	70	4.00			
I	9.80	80	3.70			
A	0.023	90	3.50			
Tc	10	100	3.40			
		110	3.20			

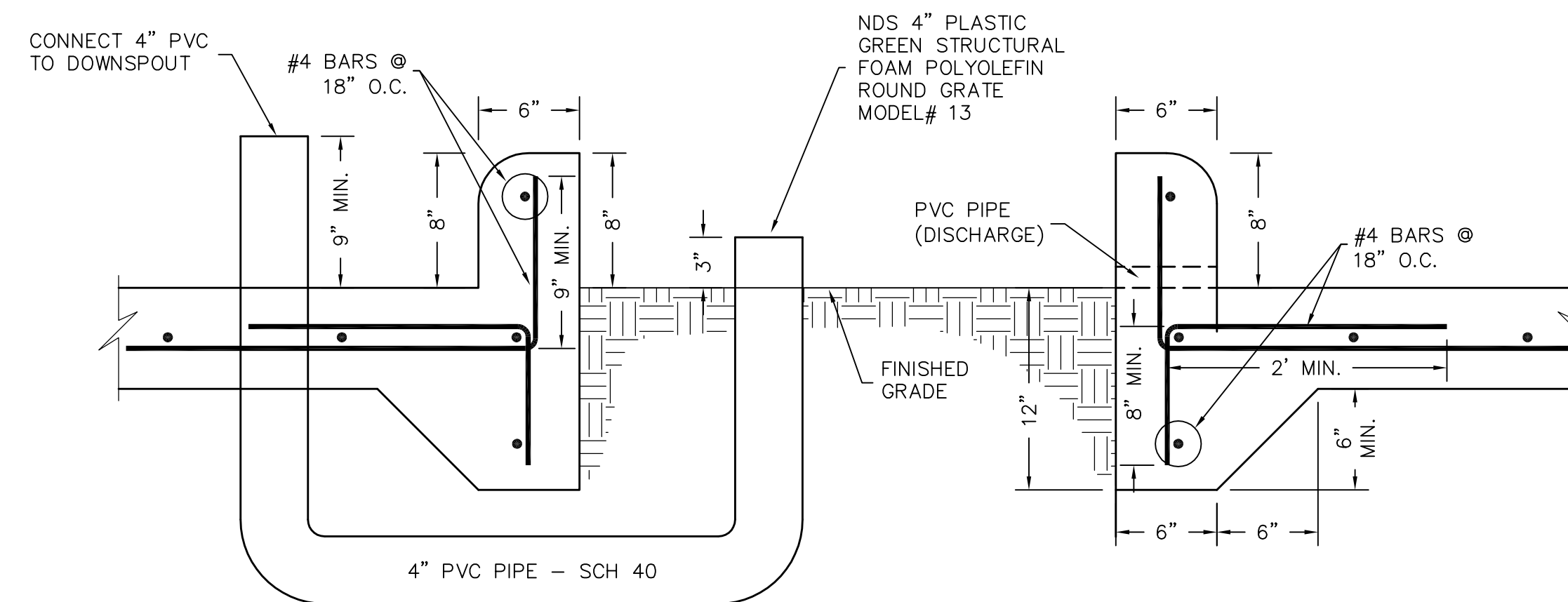
BOTH DETENTION AREAS WILL BE CONSTRUCTED WITH 8" HIGH CURB

CIRCULAR ORIFICE (ENGLISH UNIT) Q=8.02xAK(h) ^{1.5}	DETENTION #1 DISCHARGE PIPE - ACTUAL						DETENTION #2 DISCHARGE PIPE - ACTUAL					
	YEAR	Pipe Size (in)	A	h (ft)	Q (cfs)	ELEV.	YEAR	Pipe Size (in)	A	h (ft)	Q (cfs)	ELEV.
Q= Ft/Sec	100	1.04	0.0059	0.60	0.030	577.20	100	1.15	0.0072	0.60	0.037	576.30
A= area Ft ²	25	1.04	0.0059	0.38	0.024	576.98	25	1.15	0.0072	0.38	0.029	576.08
K=Orifice shape factor (0.82)	10	1.04	0.0059	0.30	0.021	576.90	10	1.15	0.0072	0.30	0.026	576.00
h=Head "height" across the Orifice (Ft)	5	1.04	0.0059	0.21	0.018	576.81	5	1.15	0.0072	0.21	0.022	575.91
d=diameter of discharge (Ft)	2	1.04	0.0059	0.13	0.014	576.73	2	1.15	0.0072	0.13	0.017	575.83

AREA "D" RUN-OFF CALCULATIONS - ALLOWED						AREA "D" RUN-OFF CALCULATIONS - ALLOWED					
YEAR	TIME	C	I	AREA (Ac.)	Q (cfs)	YEAR	TIME	C	I	AREA (Ac.)	Q (cfs)
100	20	0.35	8.30	0.01035	0.030	100	20	0.35	8.30	0.01265	0.037
25	20	0.35	6.60	0.01035	0.024	25	20	0.35	6.60	0.01265	0.029
10	20	0.35	5.90	0.01035	0.021	10	20	0.35	5.90	0.01265	0.026
5	20	0.35	4.90	0.01035	0.018	5	20	0.35	4.90	0.01265	0.022
2	20	0.35	3.90	0.01035	0.014	2	20	0.35	3.90	0.01265	0.017

* USE 1" DIA. PVC PIPE FOR DISCHARGE

* USE 1.25" DIA. PVC PIPE FOR DISCHARGE



DETENTION AREA DETAIL

N.T.S.

CONTRACTOR SHALL PAY ALL PERMIT FEES AND WILL SETUP PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK.

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AS-BUILT PLANS

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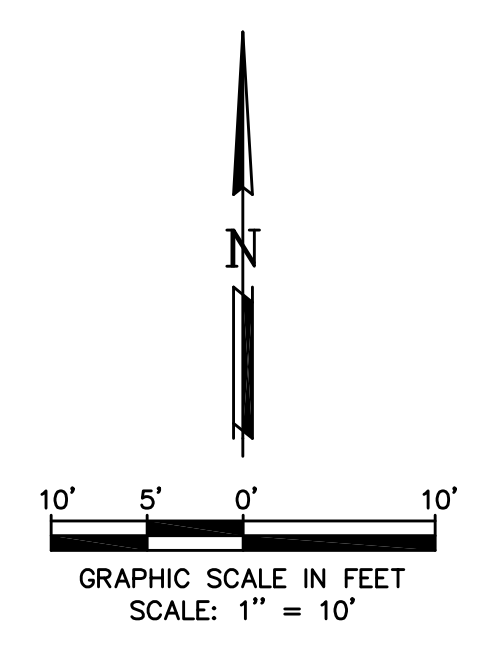
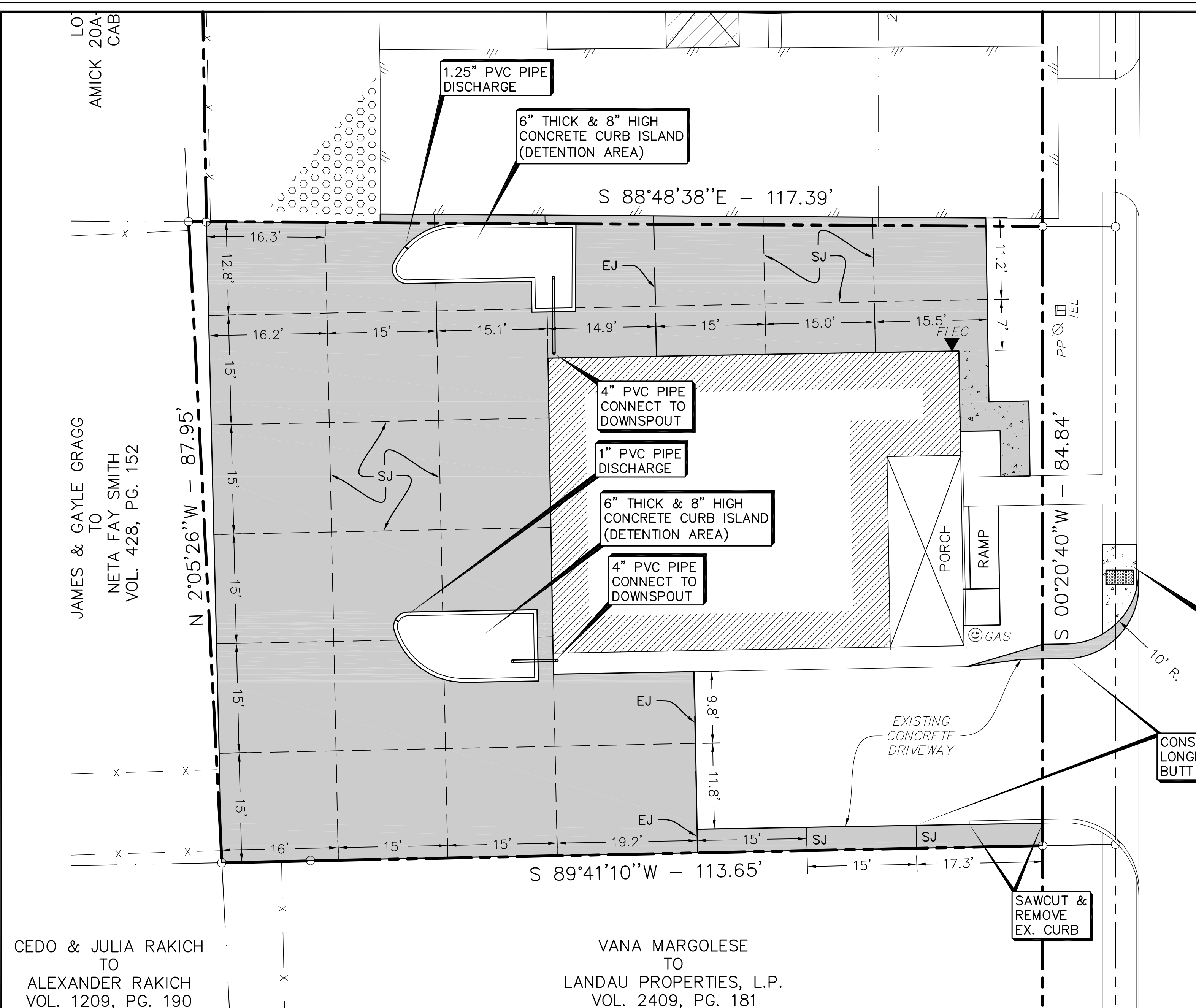
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DRAINAGE AREA MAP

TCB ADDITION - LOT 1, BLOCK A
 BONAFIDE BETTIES PIES CO.
 505 N. GOLIAD STREET
 ROCKWALL, TEXAS 75087

LAM CONSULTING ENGINEERING
 6804 WILHELMINA DRIVE
 SACHSE, TEXAS 75048
 Phone (214) 766-1011
 www.lamcivil.com
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	6 of 8
DRAWN: CTL	DATE: MAY 2019	PROJECT: 632-19	



LEGEND

- 6" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #4 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (DRIVE & PARKING)-NO SAND CUSHION UNDER PAVING
- 4" REINF. CONC. SIDEWALK (5.5 SACK-3000 psi) W/ #3 BARS @ 24" O.C.E.W. OVER SCARIFIED AND COMPACTED SUBGRADE TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (SIDEWALK)- NO SAND CUSHION UNDER SIDEWALK
- SJ SAWED CONTRACTION JOINT
- EJ EXPANSION JOINT

CONTRACTOR SHALL PAY ALL PERMIT FEES AND WILL SETUP PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK.

GREASE TRAP WAS NOT INSTALLED

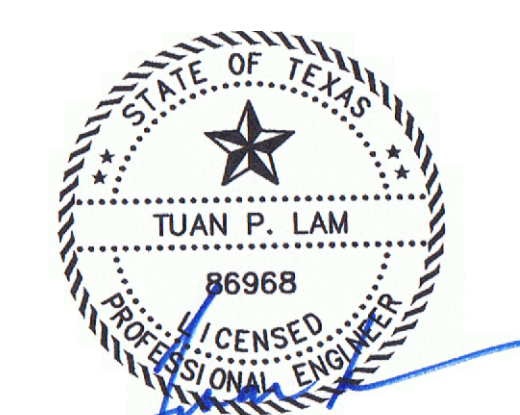
PAVING NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARDS AND SPECIFICATIONS AND NCTCOG 4TH EDITION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATIONS. DIG TESS (1-800-545-6005)
4. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE UTILITY CONTRACTOR TO INSURE ALL CONDUIT FOR IRRIGATION HAS BEEN INSTALLED PRIOR TO PLACEMENT OF PERMANENT PAVEMENT.
5. ALL EARTHWORK OPERATIONS, PAVEMENT AND BUILDING SUBGRADE PREPARATION SHALL COMPLY WITH ALL RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT, PROVIDED BY OTHERS.
6. TRAFFIC BARRICADES WILL BE REQUIRED FOR PAVING AND UTILITY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN IN THE LATEST TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS CURRENTLY AMENDED BY THE TEXAS DEPARTMENT OF TRANSPORTATION. CONTACT CITY TRANSPORTATION DEPARTMENT PRIOR TO SETTING BARRICADES IN THE RIGHT OF WAY.
7. ALL DRIVE AREAS AND ISLANDS SHALL HAVE 6" CONCRETE CURB, UNLESS OTHERWISE NOTED ON PLANS.
8. CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS AS SHOWN IN THE DRAWINGS. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS. EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM SPACING OF 100' CENTER TO CENTER. ALL JOINTS SHALL BE SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.
9. CONTRACTOR SHALL INSTALL ALL CONDUITS PRIOR TO THE PLACEMENT OF PAVEMENT. ALL SLEEVES SHOWN ON PLANS SHALL BE SCHEDULED 40 PVC WITH PULLED WIRES & CAPPED. REFER TO LANDSCAPE & MECHANICAL PLANS FOR LOCATIONS AND SIZE OF CONDUITS.
10. FIRE LANE PAVEMENT MARKINGS SHALL BE PAINTED LINES OF RED TRAFFIC PAINT, 6" WIDE, TO SHOW THE EXACT BOUNDARY LINES OF THE FIRE LANE. THESE BOUNDARY LINES MAY BE ON THE CURB OR FLAT PAVEMENT. THE LINES SHALL BE MARKED BY PAINTED 4" HIGH LETTERING USING A 1" WIDE STROKE OF WHITE TRAFFIC PAINT ON THE CONTRASTING RED BACKGROUND STATING "NO PARKING - FIRE LANE". THIS MARKING SHALL BE PLACED AT 25' INTERVALS ALONG EACH BOUNDARY LINE -SEE DIMENSIONAL CONTROL PLAN FOR DETAILS AND LOCATION.

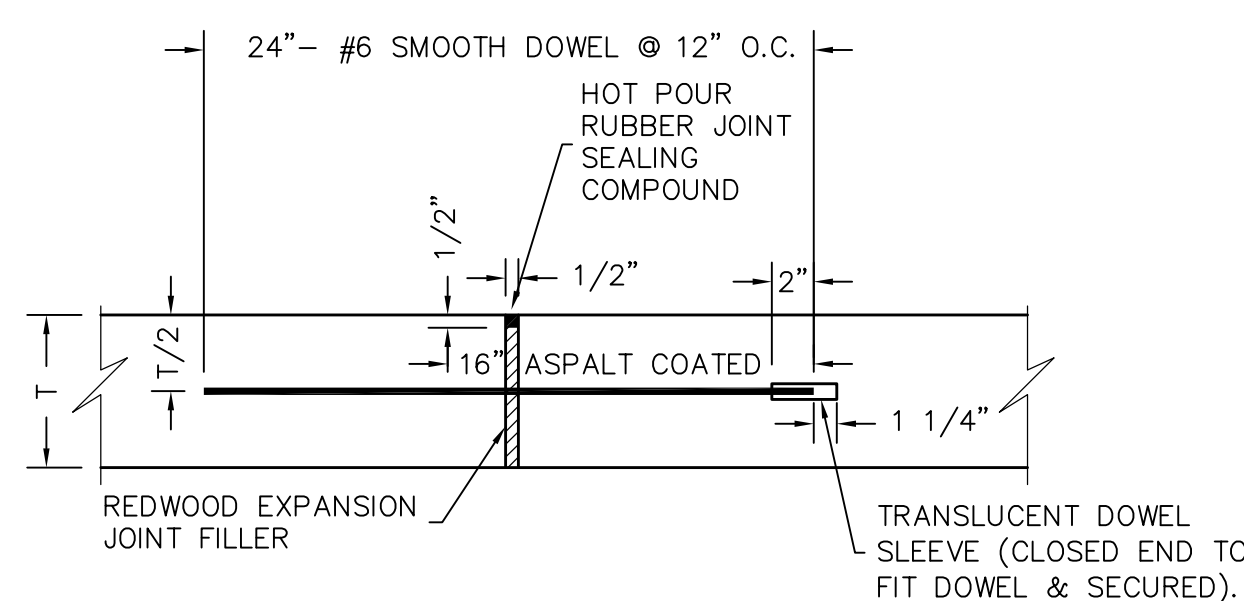
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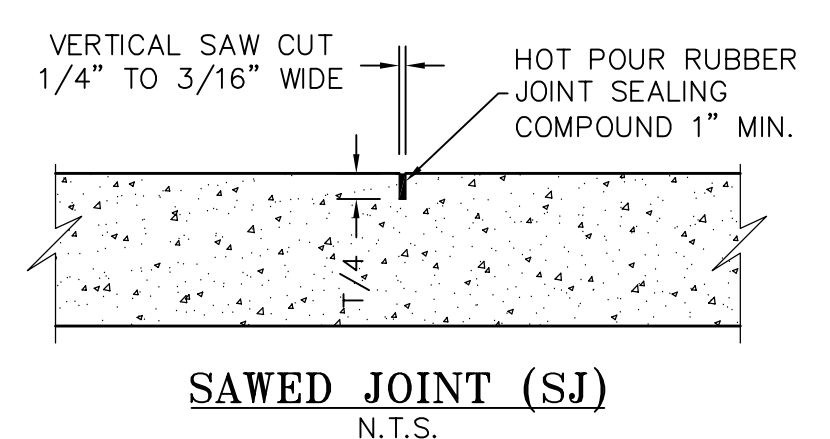
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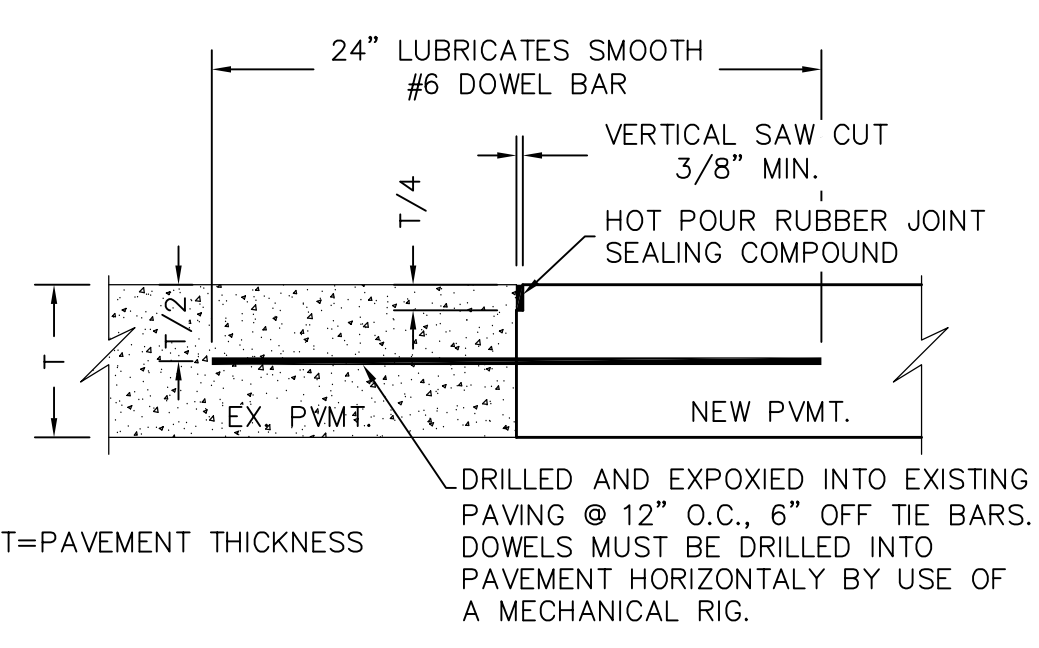
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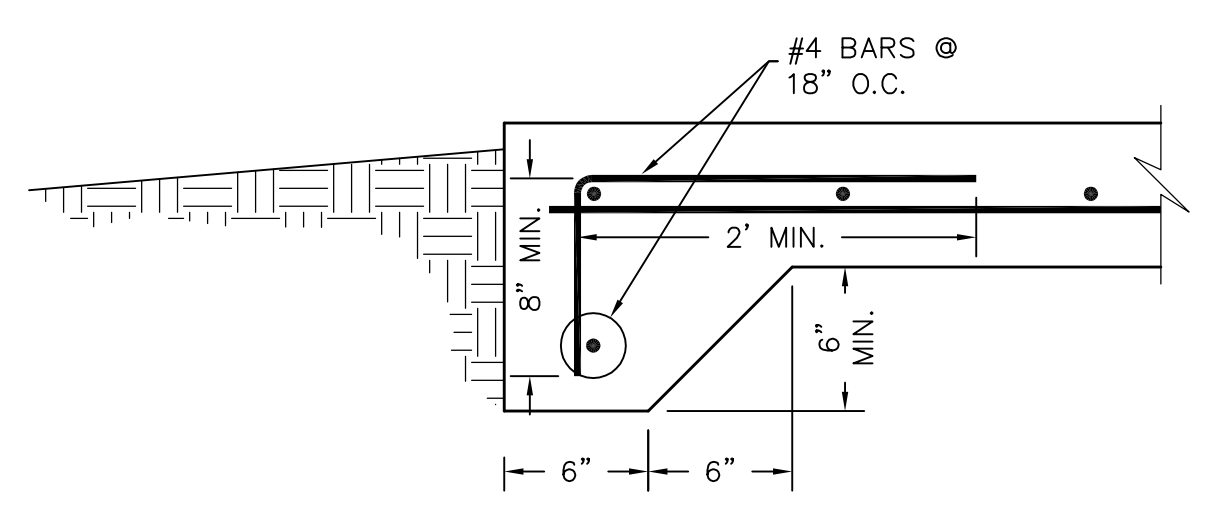
EXPANSION JOINT (EJ)
N.T.S.



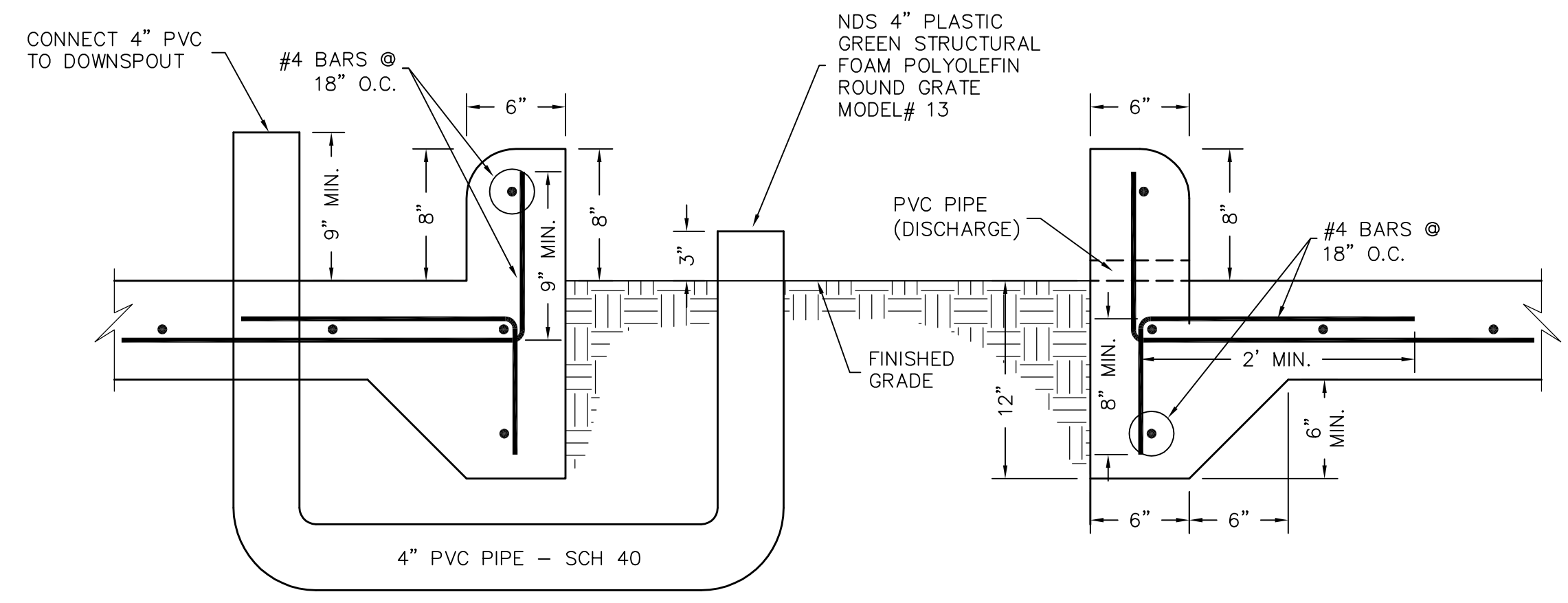
SAWED CONTROL JOINT MUST BE SAWCUT WITHIN THE FIRST 24 HOURS AFTER THE CONCRETE PAVEMENT IS POURED. FAILURE TO DO SO MAY CAUSE UNCONTROLLED CRACKS AND WILL RESULT IN REMOVAL AND REPLACEMENT OF CONCRETE AT THE CONTRACTOR COSTS.



BUTT JOINT (LONGITUDINAL OR TRANSVERSE)
N.T.S.



CURB OPENING & NO CURB AREA DETAIL
N.T.S.



DETENTION AREA DETAIL
N.T.S.

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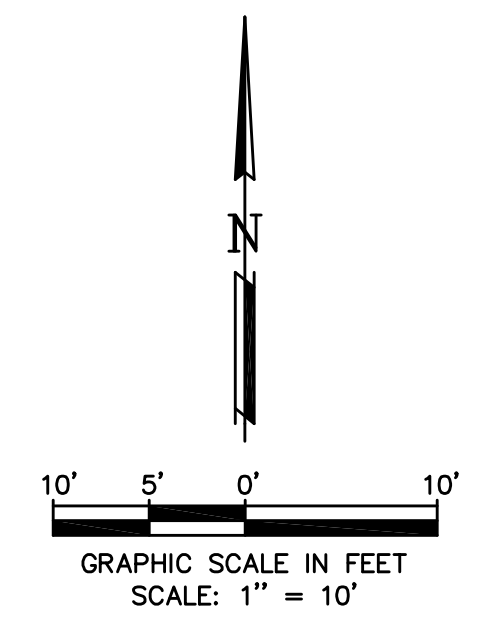
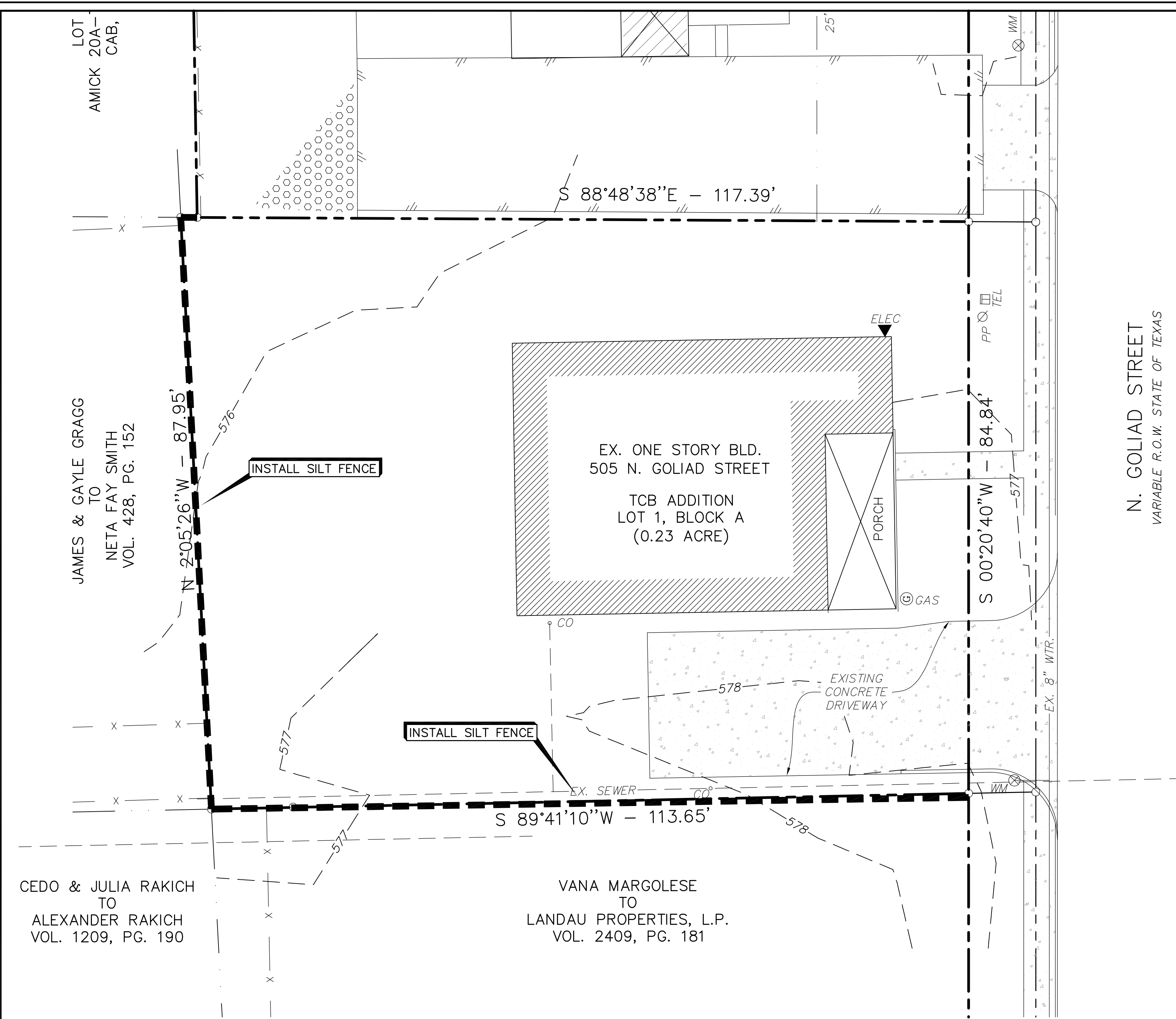
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PAVING PLAN

TCB ADDITION - LOT 1, BLOCK A
BONAFIDE BETTIES PIES CO.
505 N. GOLIAD STREET
ROCKWALL, TEXAS 75087

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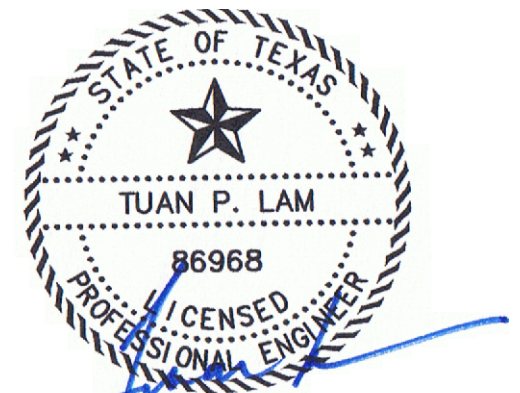
- GENERAL NOTES:**
1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
 2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY ENGINEERING DIVISION.
 3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
 4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE CITY'S EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
 5. EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.
 6. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION
 7. THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING OR OTHER APPROVED EROSION CONTROL PRODUCTS AS NEEDED. TEMPORARY EROSION CONTROL DEVICES INSTALLED BY THE CONTRACTOR ON THIS PROJECT SHALL ALSO BE REMOVED BY THE CONTRACTOR AT THE APPROPRIATE TIME AS INCIDENTAL TO THE RESPECTIVE EROSION CONTROL DEVICE ITEM.
 8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE PROJECT ENGINEER DURING ON-SITE INSPECTIONS.
 9. WETLANDS ARE NOT PRESENT ON-SITE NOR ADJACENT TO THIS PROJECT.
 10. ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE CITY'S EROSION AND SEDIMENT CONTROL MANUAL.
 11. CONTRACTOR SHALL ADD OR REMOVE EROSION CONTROL DEVICES AS NEEDED DURING THE CONSTRUCTION PHASES.

CONTRACTOR SHALL KEEP EXISTING STREET, ADJACENT TO THE CONSTRUCTION SITE, CLEAN OF MUD AND DIRT AT ALL TIME.

LOT AREA = 10,019 Sq. Ft.
DISTURBED AREA = 5,965 Sq. Ft.

AS-BUILT PLANS
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LEGEND

■■■■ SILT FENCE

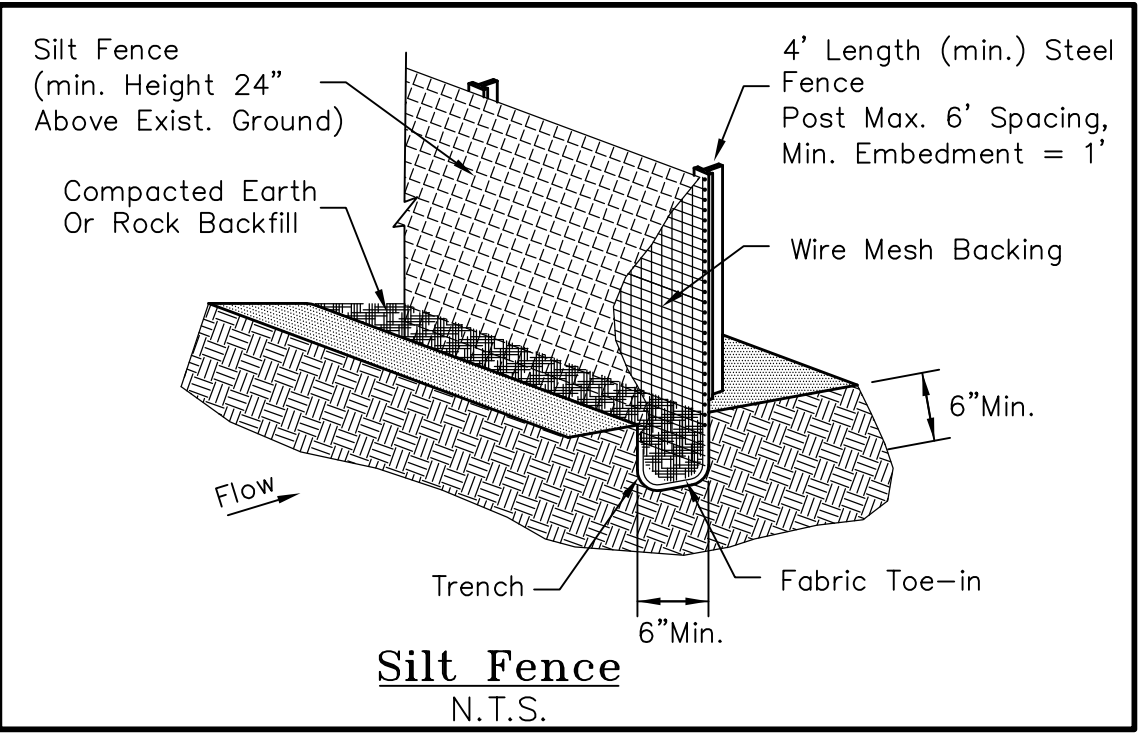
CONSTRUCTION SCHEDULE & PHASING

- PHASE 1: INSTALL SILT FENCE FOR ROUGH GRADING.
- PHASE 2: PAVE PARKING LOT AND DRIVEWAY.
- PHASE 3: CLEANUP SITE AND REMOVE EROSION CONTROL DEVICES

TCB CONSTRUCTION GROUP, LLC.
906 N. GOLIAD STREET
ROCKWALL, TEXAS 75087
(972) 961-0200

B.M.P. MAINT. SCHED.

BMP	MAINT. FREQ.	BY:



EROSION CONTROL PLAN

TCB ADDITION - LOT 1, BLOCK A
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