

CIVIL CONSTRUCTION DOCUMENTS

FOR

DYNAMIC RETAIL

ROCKWALL MARKET CENTER EAST

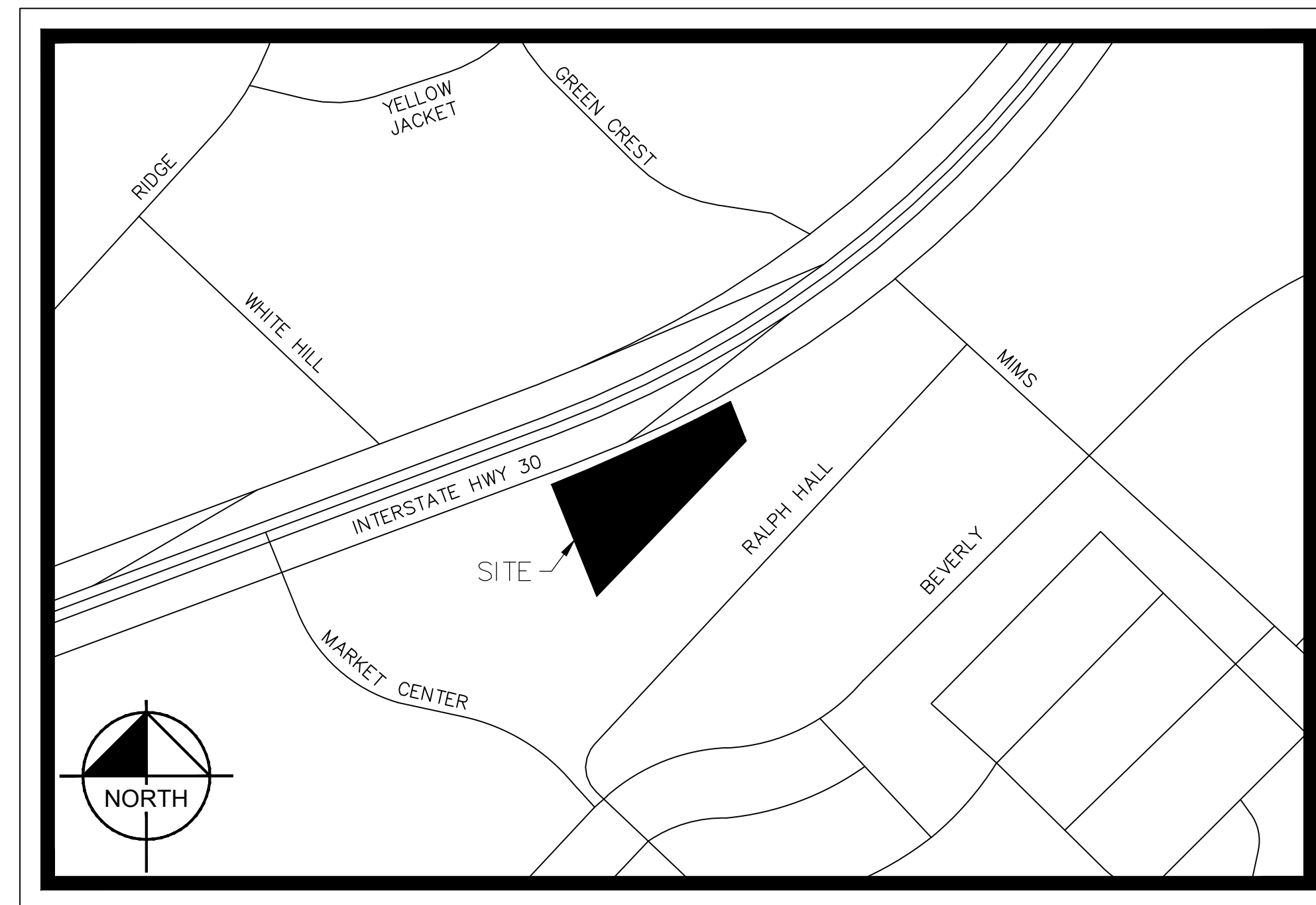
LOT 2, BLOCK A

CITY OF ROCKWALL, TX

CIVIL CONSTRUCTION PLANS

PLANS SUBMITTAL/REVIEW LOG

INITIAL CITY SUBMITTAL - NOT FOR CONSTRUCTION	12/28/2017
SECOND CITY SUBMITTAL - NOT FOR CONSTRUCTION	02/12/2018
THIRD CITY SUBMITTAL - NOT FOR CONSTRUCTION	03/13/2018
ISSUE FOR CONSTRUCTION	05/22/2018
AS- BUILTS	04/25/2019



LOCATION MAP
NOT-TO-SCALE

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C0.0	COVER SHEET
SP	SITE PLAN
---	REPLAT
LH1.01	HARDSCAPE PLAN
LP1.01	PLANTING PLAN
LP1.02	TREESCAPE PLAN
LP2.01	LANDSCAPE DETAILS & SPECIFICATIONS
C0.1	KHA GENERAL NOTES
C1.0	DEMOLITION PLAN
C2.0	EROSION CONTROL PLAN
C2.1	EROSION CONTROL DETAILS
C3.0	DIMENSION CONTROL & PAVING PLAN
C4.0	GRADING PLAN
C4.1	EXISTING DRAINAGE AREA MAP
C4.2	PROPOSED DRAINAGE AREA MAP
C5.0	DRAINAGE PLAN
C5.1	DRAINAGE PROFILES
C6.0	UTILITY PLAN
C6.1	UTILITY PROFILES
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
C7.3	CONSTRUCTION DETAILS
C7.4	CONSTRUCTION DETAILS

**819 E INTERSTATE 30
ROCKWALL, TX 75087**

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 4/25/2019 BY: [Signature]

OWNER
HAROLD E. WEINBERGER
& ELANA KROLL
1425 CAMINO LUJAN
SAN DIEGO, CA 92111-7648
CONTACT: HAROLD WEINBERGER
PHONE: (858) 277-7797

ARCHITECT
DYNAMIC
1725 21ST STREET
SANTA MONICA, CA 90404
CONTACT: KELLY HARRISON
PHONE: (310) 315-5411

PRIMARY CONTACT
JONATHAN KERBY, P.E.
JONATHAN.KERBY@KIMLEY-HORN.COM
PHONE: (972)-770-1370

PREPARED BY:

Kimley»Horn

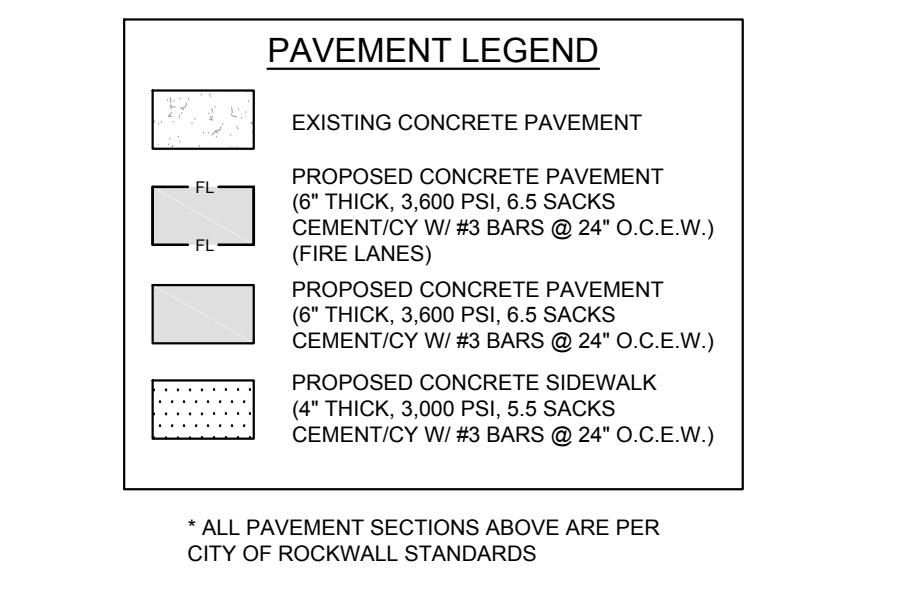
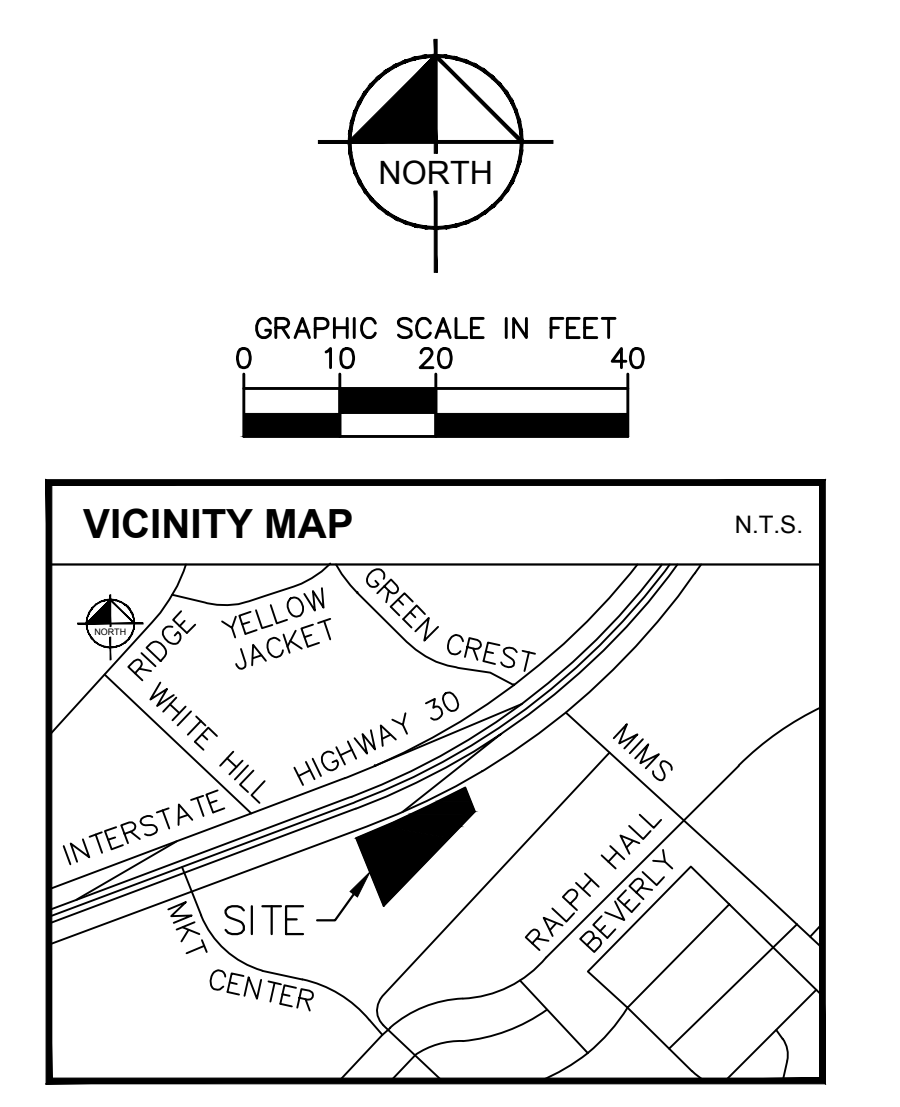
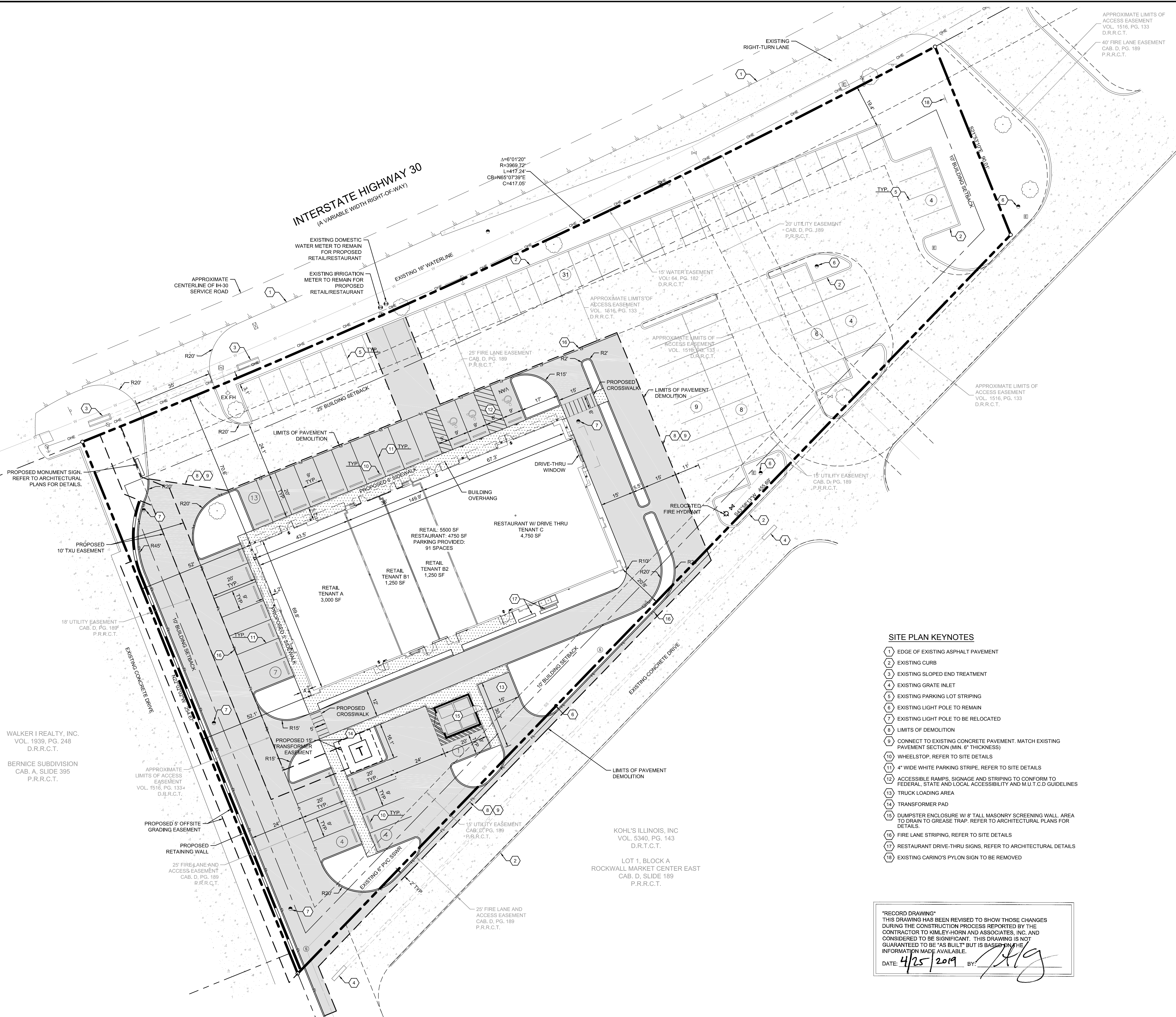
FIRM REGISTRATION NO. F-928
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: (972) 770-1300
FAX: (972) 239-3820

MAY 2018

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

C0.0

PROJECT: 2516 - XREF - Lighting - XREF - Lighting - XREF - Lighting - XREF - Lighting - XREF - Lighting - XREF - Lighting - XREF - Lighting
 DRAWN BY: KIMLEY-HORN AND ASSOCIATES, INC. CIVIL ENGINEER
 DATE: 05/22/2018
 LAST SAV: 5:22:20 PM
 THIS DOCUMENT TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED, RELIEF OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

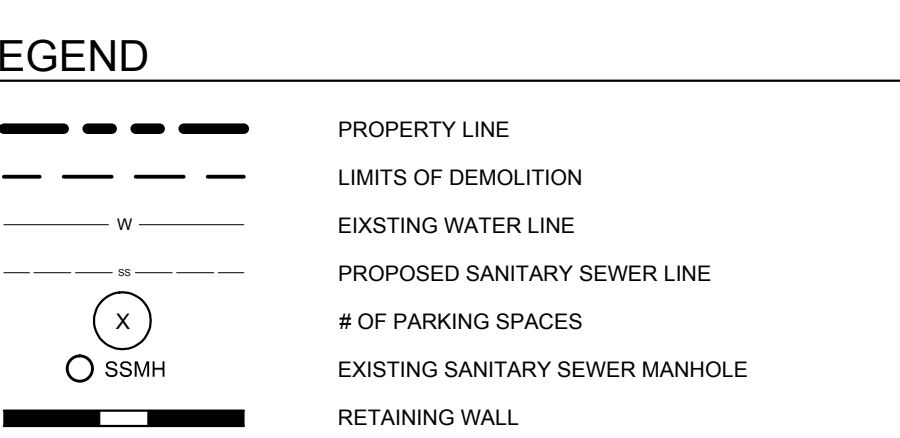


- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADIUS DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII ARE 2' OR 10' UNLESS OTHERWISE NOTED.
 - STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS.
 - ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND TxDOT SUPPLEMENT.
 - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.

SITE DATA TABLE

ZONING	C (COMMERCIAL) / IH30 OV
PROPOSED USE	RETAIL / RESTAURANT
LOT AREA (SF AND AC)	70,230 SF / 1.6123 AC
BUILDING AREA	10,250 SF
BUILDING HEIGHT	28'
LOT COVERAGE	14.59%
FLOOR AREA RATIO	1.0:15
IMPERVIOUS AREA	81.1%
PARKING:	
REQUIRED (RETAIL: 1/250 SF @ 5500 SF)	22 SPACES
REQUIRED (RESTAURANT: 1/100 SF @ 4750 SF)	48 SPACES
TOTAL REQUIRED	70 SPACES
TOTAL PROVIDED*	91 SPACES
TOTAL HANDICAP REQUIRED*	3 SPACES
TOTAL HANDICAP PROVIDED*	3 SPACES

*HANDICAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
 **INCLUDES HANDICAP SPACES



KEY

BFR	BARRIER FREE RAMP	SSMH	SANITARY SEWER MANHOLE
CI	CURB INLET	STMH	STORM MANHOLE
AI	AREA INLET	FH	FIRE HYDRANT
GI	GRATE INLET	FDC	FIRE DEPARTMENT CONNECTION

- SITE PLAN KEYNOTES**
- EDGE OF EXISTING ASPHALT PAVEMENT
 - EXISTING CURB
 - EXISTING SLOPED END TREATMENT
 - EXISTING GRATE INLET
 - EXISTING PARKING LOT STRIPING
 - EXISTING LIGHT POLE TO REMAIN
 - EXISTING LIGHT POLE TO BE RELOCATED
 - LIMITS OF DEMOLITION
 - CONNECT TO EXISTING CONCRETE PAVEMENT. MATCH EXISTING PAVEMENT SECTION (MIN. 6" THICKNESS)
 - WHEELSTOP, REFER TO SITE DETAILS
 - 4" WIDE WHITE PARKING STRIPE, REFER TO SITE DETAILS
 - ACCESSIBLE RAMPS, SIGNAGE AND STRIPING TO CONFORM TO FEDERAL, STATE AND LOCAL ACCESSIBILITY AND M.U.T.C.D GUIDELINES
 - TRUCK LOADING AREA
 - TRANSFORMER PAD
 - DUMPSTER ENCLOSURE W/ 8' TALL MASONRY SCREENING WALL. AREA TO DRAIN TO GREASE TRAP. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - FIRE LANE STRIPING, REFER TO SITE DETAILS
 - RESTAURANT DRIVE-THRU SIGNS, REFER TO ARCHITECTURAL DETAILS
 - EXISTING CARNO'S PYLON SIGN TO BE REMOVED

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 DATE: 4/25/2019 BY: [Signature]

Kimley»Horn
 © 2018 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: (214) 908-8800
 TEXAS REGISTERED ENGINEERS FIRST-928

SITE PLAN

PROJECT No: 09233013
 DATE: 06/22/2018
 SCALE: AS SHOWN
 DESIGNED BY: JCK
 DRAWN BY: RCL
 CHECKED BY: JCK

RETAIL
 ROCKWALL MARKET CENTER EAST
 E INTERSTATE 30
 CITY OF ROCKWALL, TX

SITE PLAN
 DYNAMIC RETAIL
 1.6123 Acres
 ROCKWALL MARKET CENTER EAST
 LOT 2, BLOCK A
 City of Rockwall, Rockwall County, Texas
 Submitted: 10/13/2017
 Revised: 11/08/2017

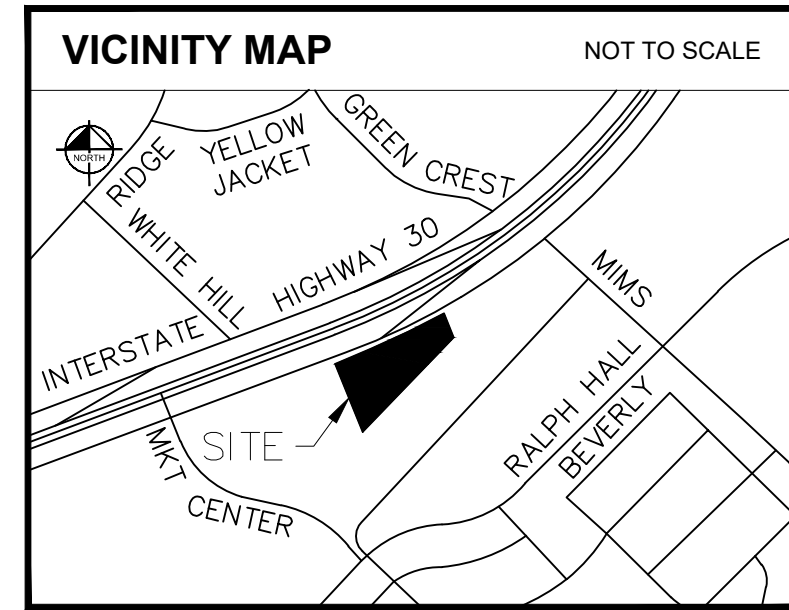
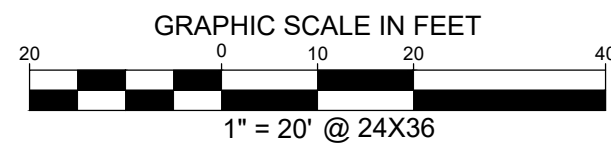
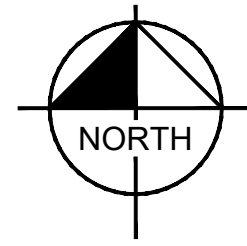
Owners:
 Harold E. Weisberger & Elana Kroll
 1425 Camino Lujan
 San Diego, CA 92111-7648
 Contact: Harold Weisberger
 Phone: (858) 277-7797

Developer:
 Dynamic
 1725 21st Street
 Santa Monica, CA 90404
 Contact: Kelly Harrison
 Phone: (310) 315-5411

Engineer:
 Kimley-Horn and Associates, Inc.
 13455 Noel Rd.
 Two Galleria Office Tower, Ste 700
 Dallas, Texas 75240
 Contact: Jonathan Kerby, P.E.
 Phone: (972) 770-1370

SHEET NUMBER
SP

CASE NO. SP2017-035



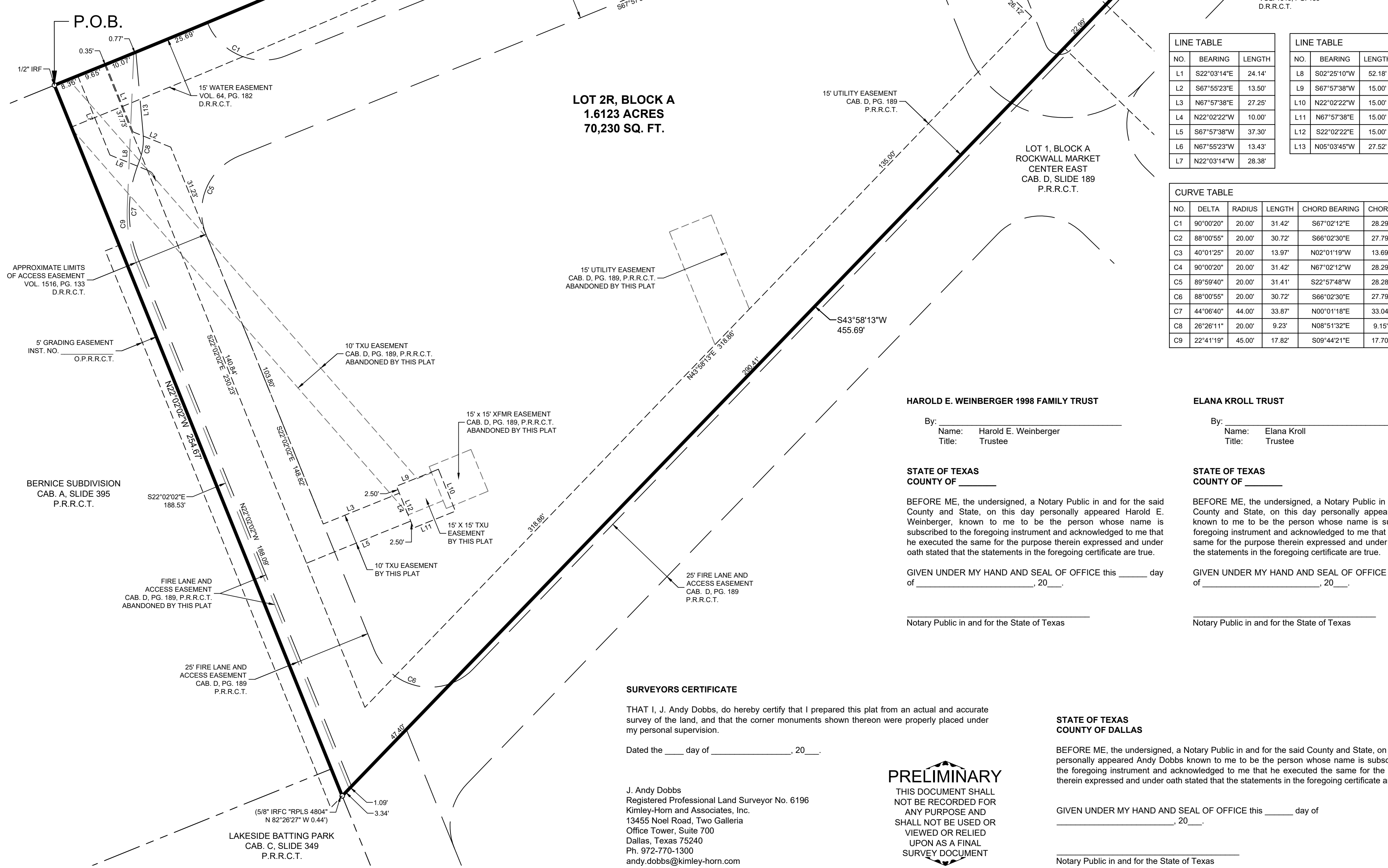
NOTES:

1. The purpose of this replat is to dedicate additional easements and abandon existing easements.
2. The basis of bearings is based on grid north of the Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 (2011).

LEGEND

P.O.B. = POINT OF BEGINNING
 VOL. = VOLUME
 PG. = PAGE
 CAB. = CABINET
 SQ. FT. = SQUARE FEET
 INST. NO. = INSTRUMENT NUMBER
 IRSC = 5/8" IRON ROD WITH CAP STAMPED "KHA" SET
 IRFC = IRON ROD WITH CAP FOUND
 IRF = IRON ROD FOUND
 P.R.R.C.T. = PLAT RECORDS OF ROCKWALL COUNTY, TEXAS
 D.R.R.C.T. = DEED RECORDS OF ROCKWALL COUNTY, TEXAS
 O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

INTERSTATE HIGHWAY NO. 30
 (A VARIABLE WIDTH RIGHT-OF-WAY)



LOT 2R, BLOCK A
1.6123 ACRES
70,230 SQ. FT.

LOT 1, BLOCK A
ROCKWALL MARKET CENTER EAST
CAB. D, SLIDE 189
P.R.R.C.T.

NO.	BEARING	LENGTH
L1	S22°03'14"E	24.14'
L2	S67°55'23"E	13.50'
L3	N67°57'38"E	27.25'
L4	N22°02'22"W	10.00'
L5	S67°57'38"W	37.30'
L6	N67°55'23"W	13.43'
L7	N22°03'14"W	28.38'

NO.	BEARING	LENGTH
L8	S02°25'10"W	52.18'
L9	S67°57'38"W	15.00'
L10	N22°02'22"W	15.00'
L11	N67°57'38"E	15.00'
L12	S22°02'22"E	15.00'
L13	N05°03'45"W	27.52'

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	90°00'20"	20.00'	31.42'	S67°02'12"E	28.29'
C2	88°00'55"	20.00'	30.72'	S66°02'30"E	27.79'
C3	40°01'25"	20.00'	13.97'	N02°01'19"W	13.69'
C4	90°00'20"	20.00'	31.42'	N67°02'12"W	28.29'
C5	89°59'40"	20.00'	31.41'	S22°57'48"W	28.28'
C6	88°00'55"	20.00'	30.72'	S66°02'30"E	27.79'
C7	44°06'40"	44.00'	33.87'	N00°01'18"E	33.04'
C8	26°26'11"	20.00'	9.23'	N08°51'32"E	9.15'
C9	22°41'19"	45.00'	17.82'	S09°44'21"E	17.70'

HAROLD E. WEINBERGER 1998 FAMILY TRUST
 By: _____
 Name: Harold E. Weinberger
 Title: Trustee

ELANA KROLL TRUST
 By: _____
 Name: Elana Kroll
 Title: Trustee

STATE OF TEXAS
COUNTY OF _____
 BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Harold E. Weinberger, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

STATE OF TEXAS
COUNTY OF _____
 BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Elana Kroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

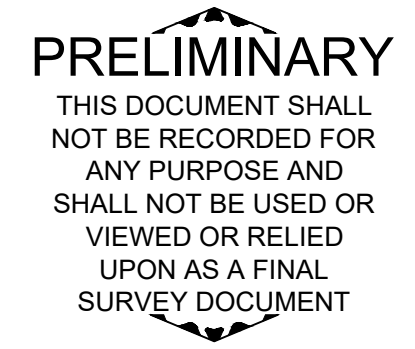
 Notary Public in and for the State of Texas

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

 Notary Public in and for the State of Texas

SURVEYORS CERTIFICATE
 THAT I, J. Andy Dobbs, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
 Dated the ____ day of _____, 20__.

J. Andy Dobbs
 Registered Professional Land Surveyor No. 6196
 Kimley-Horn and Associates, Inc.
 13455 Noel Road, Two Galleria
 Office Tower, Suite 700
 Dallas, Texas 75240
 Ph. 972-770-1300
 andy.dobbs@kimley-horn.com



STATE OF TEXAS
COUNTY OF DALLAS
 BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Andy Dobbs known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.
 GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

 Notary Public in and for the State of Texas

OWNERS CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS THE HAROLD E. WEINBERGER 1998 FAMILY TRUST AND THE ELANA KROLL TRUST, being the owner of a tract of land situated in the E. P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, and being all of Lot 2, Block A, Rockwall Market Center East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet A, Slide 395 of said Plat Records, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found in the southeast right-of-way line of Interstate Highway No. 30 (a variable width right-of-way), for the northeast corner of Bernice Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet A, Slide 395 of said Plat Records, and being the beginning of a non-tangent curve to the left having a central angle of 6°01'20", a radius of 3969.72 feet, a chord bearing and distance of North 65°07'39" East, 417.05 feet;

THENCE in a northeasterly direction, with said southeast right-of-way line of Interstate Highway No. 30 and said curve to the left, an arc distance of 417.24 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 4804" found for the northeast corner of said Lot 2;

THENCE departing said southeast right-of-way line of Interstate Highway No. 30 and with the northeast line of said Lot 2, South 21°53'10" East, a distance of 90.01 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 4804" found for the southeast corner of said Lot 2;

THENCE with the southeast line of said Lot 2, South 43°58'13" West, a distance of 455.69 feet to a point in the east line of Lakeside Batting Park, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 349 of said Plat Records, and being the southwest corner of said Lot 2; from said point a 5/8-inch iron rod with plastic cap stamped "RPLS 4804" found bears North 82°26'27" West, a distance of 0.44 feet;

THENCE with the east line of said Lakeside Batting Park and Bernice Subdivision, North 22°02'02" West, a distance of 254.67 feet to the **POINT OF BEGINNING** and containing 1.6123 acres or 70,230 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the **ROCKWALL MARKET CENTER EAST, LOT 2, BLOCK A** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL MARKET CENTER EAST, LOT 2, BLOCK A** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 20__.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 20__.

Mayor, City of Rockwall

City Secretary

City Engineer

OWNER/APPLICANT:
THE HAROLD E. WEINBERGER
1998 FAMILY TRUST
1425 CAMINO LUJAN
SAN DIEGO, CALIFORNIA 92111
CONTACT: HAROLD WEINBERGER
PHONE: _____

REPLAT
LOT 2R, BLOCK A
ROCKWALL MARKET CENTER EAST
BEING ALL OF LOT 2, BLOCK A
ROCKWALL MARKET CENTER EAST
E.P. GAINES CHISUM SURVEY,
ABSTRACT NO. 64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER/APPLICANT:
ELANA KROLL TRUST

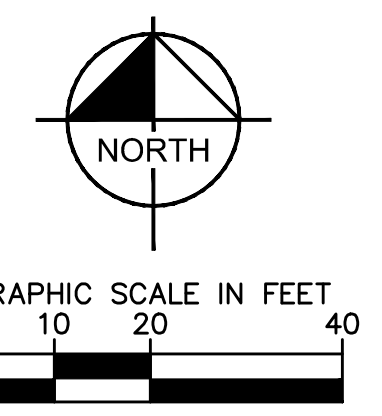
CONTACT: ELANA KROLL
PHONE: _____

ENGINEER:
KIMLEY-HORN AND ASSOC., INC.
13455 NOEL ROAD,
TWO GALLERIA OFFICE TOWER, SUITE 700,
DALLAS, TEXAS 75240
CONTACT: JONATHAN KERBY, P.E.
PHONE: 972-770-1300

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

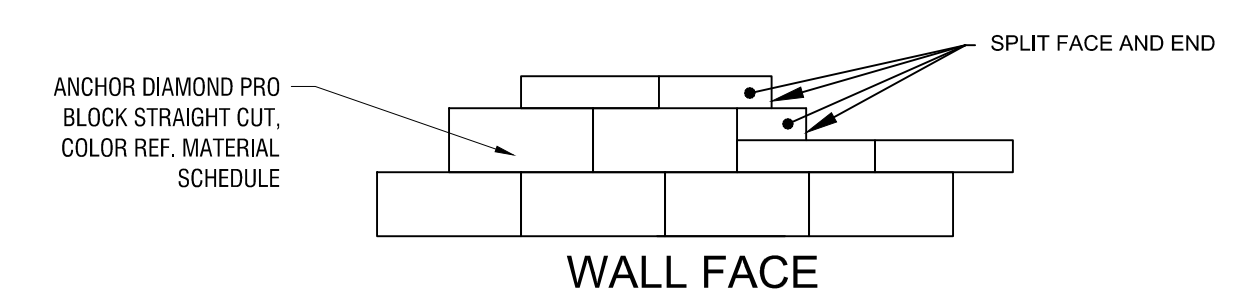
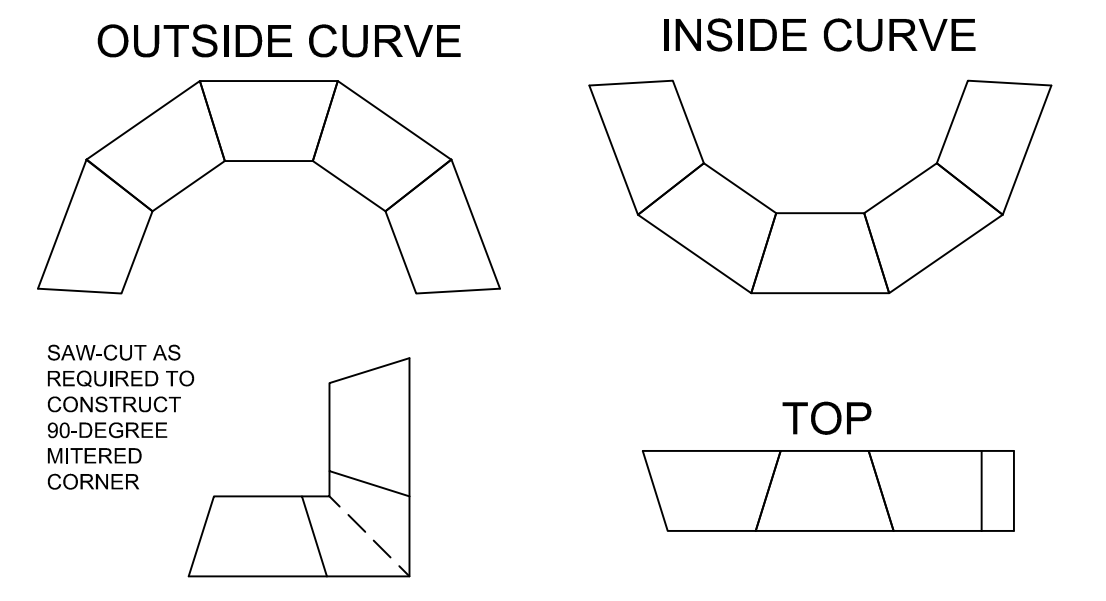
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 20'	JBH	JAD	FEB. 2018	092932013	1 OF 1



SITE DATA TABLE	
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TOTAL HANDICAP PROVIDED*	3 SPACES

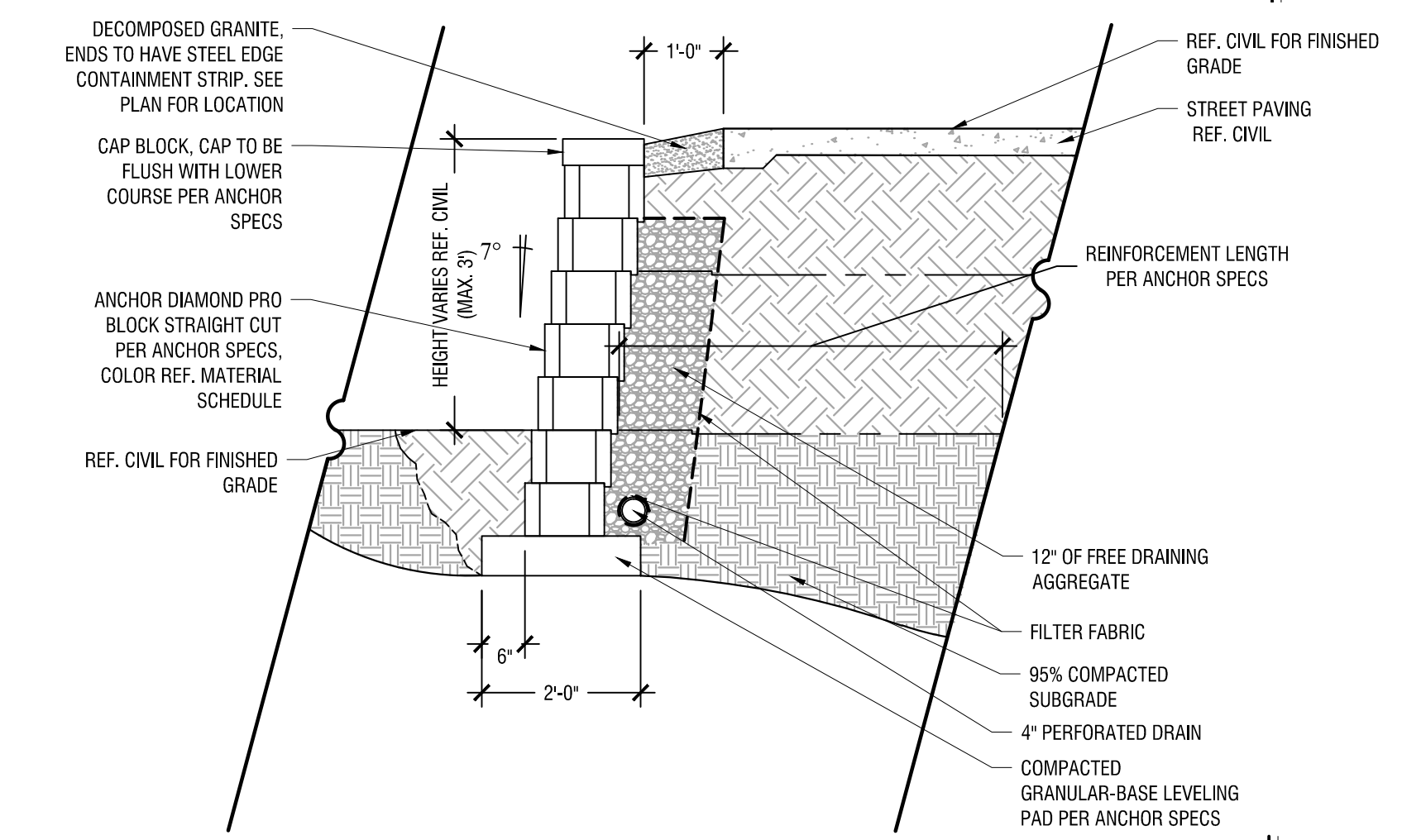
*HANDICAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
 **INCLUDES HANDICAP SPACES

NOTE:
 ALL DRAWINGS ARE FOR DESIGN INTENT ONLY. CONTRACTOR TO SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. ALL STRUCTURAL FOOTING, REINFORCEMENT, AND CONNECTION BY OTHERS.



1. ALWAYS START CAPPING WALL FROM THE LOWEST ELEVATION.
2. LAY OUT CAPS PRIOR TO USING ADHESIVE.
3. CUT CAPS TO FIT. VARIOUS COMBINATIONS OF LONG AND SHORT CAP FACES WILL BE NECESSARY FOR RADII GREATER THAN THE MINIMUM.
4. ALTERNATE SHORT AND LONG CAP FACES EVERY OTHER CAP TO ACHIEVE A STRAIGHT ROW OF CAPS.
5. USE EXTERIOR-GRADE CONSTRUCTION ADHESIVE TO SECURE CAPS.

ANCHOR DIAMOND PRO TERRACED WALL SYSTEM B



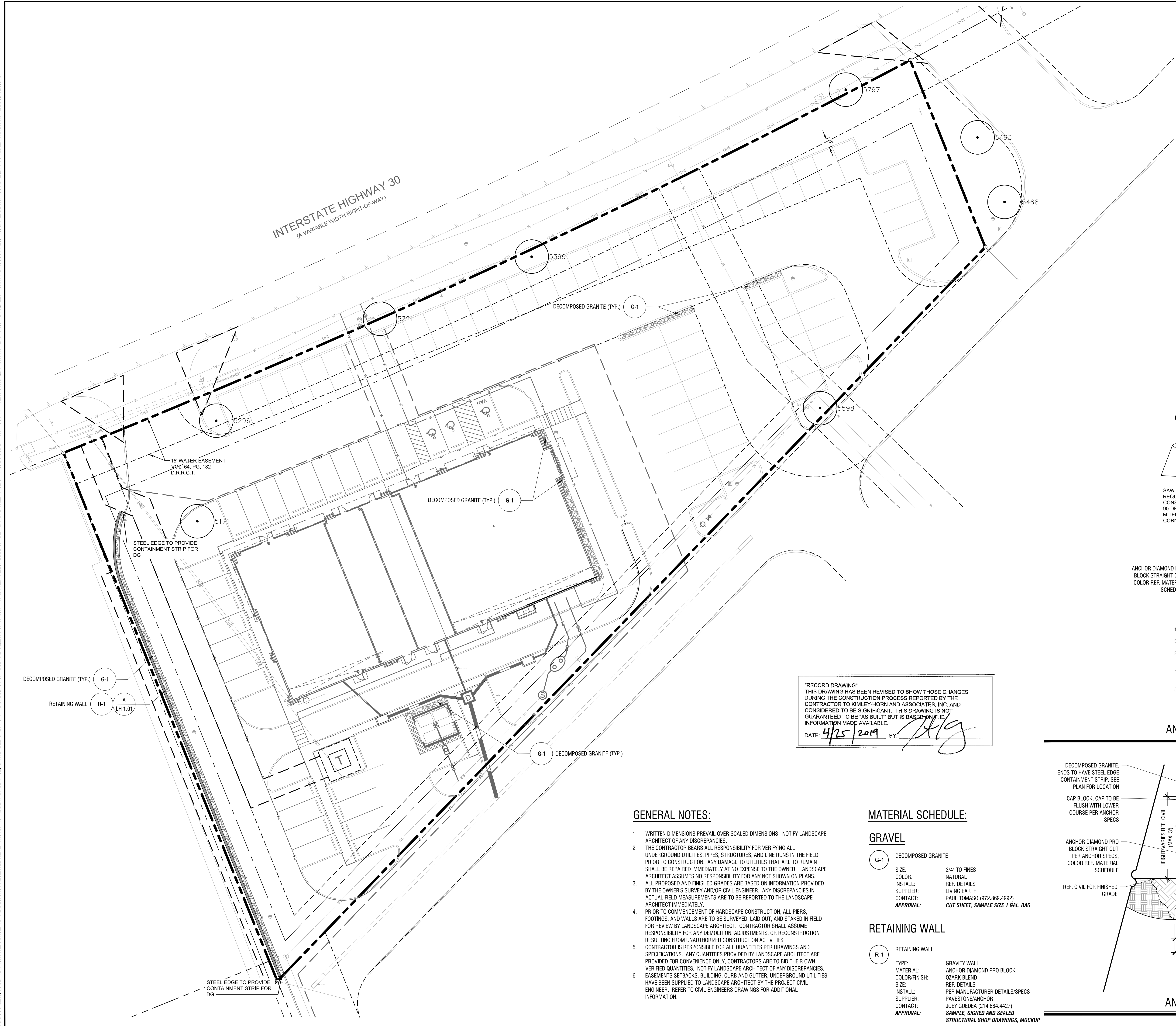
ANCHOR DIAMOND PRO TERRACED WALL SYSTEM A

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 DATE: 4/25/2019 BY: [Signature]

- GENERAL NOTES:**
1. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 2. THE CONTRACTOR BEARS ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
 3. ALL PROPOSED AND FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
 4. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN FIELD FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
 5. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY LANDSCAPE ARCHITECT ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 6. EASEMENTS SETBACKS, BUILDING, CURB AND GUTTER, UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO LANDSCAPE ARCHITECT BY THE PROJECT CIVIL ENGINEER. REFER TO CIVIL ENGINEERS DRAWINGS FOR ADDITIONAL INFORMATION.

- MATERIAL SCHEDULE:**
- GRAVEL**
- G-1 DECOMPOSED GRANITE
- SIZE: 3/4" TO FINES
 COLOR: NATURAL
 INSTALL: REF. DETAILS
 SUPPLIER: LIVING EARTH
 CONTACT: PAUL TOMASO (972.869.4992)
 APPROVAL: CUT SHEET, SAMPLE SIZE 1 GAL. BAG

- RETAINING WALL**
- R-1 RETAINING WALL
- TYPE: GRAVITY WALL
 MATERIAL: ANCHOR DIAMOND PRO BLOCK
 COLOR/FINISH: OZARK BLEND
 REF. DETAILS: PER MANUFACTURER DETAILS/SPECS
 INSTALL: PAVESTONE/ANCHOR
 SUPPLIER: JOEY GUEDEA (214.684.4427)
 CONTACT: JOEY GUEDEA (214.684.4427)
 APPROVAL: SAMPLE, SIGNED AND SEALED
 STRUCTURAL SHOP DRAWINGS, MOCKUP



NO.	REVISIONS	DATE	BY

Kimley»Horn
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 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: (214) 393-9800
 TEXAS REGISTERED ENGINEERING FIRM E-028

PROJECT No.:	064500160
DATE:	02/12/2018
SCALE:	AS SHOWN
DESIGNED BY:	SM
DRAWN BY:	SM, MB
CHECKED BY:	LVC

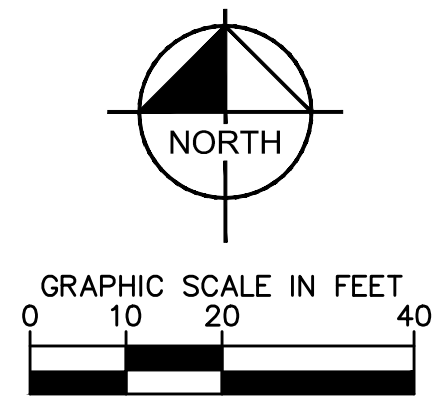
HARDSCAPE PLAN

RETAIL
 ROCKWALL MARKET CENTER EAST
 E INTERSTATE 30
 CITY OF ROCKWALL, TX

SHEET NUMBER
LH 1.01

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SITE DATA TABLE

ZONING	C (COMMERCIAL) / IH30 OV
PROPOSED USE	RETAIL / RESTAURANT
LOT AREA (SF AND AC)	70,230 SF / 1.6123 AC
BUILDING AREA	10,250 SF
BUILDING HEIGHT	28'
LOT COVERAGE	14.59%
FLOOR AREA RATIO	1.0, 15
IMPERVIOUS AREA	81.1%
PARKING:	
REQUIRED (RETAIL: 1/250 SF @ 5500 SF)	22 SPACES
REQUIRED (RESTAURANT: 1/100 SF @ 4750 SF)	48 SPACES
TOTAL REQUIRED	70 SPACES
TOTAL PROVIDED**	91 SPACES
TOTAL HANDICAP REQUIRED*	3 SPACES
TOTAL HANDICAP PROVIDED*	3 SPACES

*HANDICAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
 **INCLUDES HANDICAP SPACES

ROCKWALL, TEXAS - LANDSCAPE REQUIREMENTS

REQUIRED	PROVIDED
15% OF THE TOTAL SITE AREA SHALL BE LANDSCAPING (TOTAL SITE AREA: 70,217 SF 70,217 SF x .15 = 10,533 SF LANDSCAPING)	10,533 SF 12,780 SF
OFF-STREET LOADING DOCKS IN COMMERCIAL ZONING MUST BE SCREENED FROM ALL PUBLIC STREETS.	YES YES
A STREET LANDSCAPE BUFFER STRIP WITH A MINIMUM WIDTH OF 10' MUST BE PROVIDED ALONG THE ENTIRE LENGTH OF THE PROPERTY TO BE DEVELOPED THAT IS ADJACENT TO A MAJOR ARTERIAL OR COLLECTOR STREET.	10' BUFFER NOT MET*
LARGE TREES SHALL BE PROVIDED IN THE REQUIRED STREET BUFFER AT ONE TREE FOR EVERY 50' OF STREET FRONTAGE. (420 LF / 50 = 8.4 TREES)	9 TREES 6 TREES*
ALL STREET RIGHTS-OF-WAY LOCATED ADJACENT TO THE PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS OR GROUND COVER MATERIAL AND SHALL BE MAINTAINED.	YES YES
5% INTERIOR PARKING LANDSCAPE (10,533 X 0.05 = 526.65 SF)	527 SF (5%) 5,187 SF (43%)
IF PARKING AND MANEUVERING SPACE EXCEEDS 20,000 SF, ONE LARGE CANOPY TREE FOR EVERY 10 REQUIRED PARKING SPACES SHALL BE REQUIRED INTERNAL TO THE PARKING LOT. (93 SPACES / 10 = 9.3 TREES)	10 TREES 7 (PROPOSED)** 3 (EXISTING) 10 TREES
NO LESS THAN 50% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG SIDE BUILDINGS WITH STREET FRONTAGE.	YES YES
ROCKWALL, TEXAS - IH-30 OVERLAY DISTRICT	
THE BUFFER STRIP SHALL BE A MINIMUM OF 20' WIDE AND INCLUDE A "BUILT-UP" BERM AND/OR SHRUBBERY OR A COMBINATION OF BOTH ALONG THE ENTIRE LENGTH OF THE PROPERTY'S FRONTAGE ALONG THE IH-30 RIGHT-OF-WAY.	YES NO*
BERM AND/OR SHRUBS SHALL BE A MINIMUM HEIGHT OF 30" AND A MAXIMUM HEIGHT OF 48"	SHRUBS OR BERM 30" SHRUBS
2 CANOPY TREES AND 4 ACCENT TREES SHALL BE REQUIRED PER 100' OF THE IH-30 RIGHT-OF-WAY. (418 LF / 100 = 4.18 4.18 x 2 = 8.36 CANOPY TREES 4.18 x 4 = 16.72 ACCENT TREES)	9 CANOPY 17 ACCENT 3 CANOPY (EXISTING) 2 CANOPY (PROPOSED)** 18 ACCENT*
CANOPY TREES MUST BE 4" CALIPER	YES YES
ACCENT TREES MUST BE 4" IN HEIGHT	YES YES
SHRUBS MUST BE 2 GALLONS MINIMUM	YES YES
*VARIANCE FOR 30' BUFFER STRIP DUE TO UTILITY EASEMENTS AND OVERHEAD POWER LINES. TREES CANNOT BE PLACED ALONG IH-30 AND ARE PLACED ELSEWHERE ON SITE. ACCENT TREES ARE PLACED ALONG IH-30 WHERE POSSIBLE.	
**ONE PROPOSED CANOPY TREE LOCATED ELSEWHERE ON SITE DUE TO EXISTING LIGHTPOLE TO REMAIN (ONE ACCENT TREE PLACED IN ITS PLACE).	

"RECORD DRAWING"
 THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS BUILT" BUT IS BASED UPON THE INFORMATION MADE AVAILABLE.
 DATE: 4/25/2019 BY: [Signature]

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
[Symbol]	AG	10	Acer rubrum 'October Glory' TM / October Glory Maple	4" cal, 15' ht, 6" spr	Full, Straight, Single Leader
[Symbol]	QV	5	Quercus virginiana / Southern Live Oak	4" cal, 15' ht, 6" spr	Full, Straight, Single Leader
UNDERSTORY TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
[Symbol]	IV	18	Ilex vomitoria / Yaupon Holly	4" ht x 4" spr	Full, Multi-Trunk 3 Cane Min, (1" Canes)
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
[Symbol]	LR	108	Loropetalum chinense 'Purple Diamond' / Chinese Fringe Flower	30" ht, 24" spr, 30" oc	Full and matching
[Symbol]	RHA	82	Rhaphiolepis indica / Indian Hawthorn	18" ht, 18" spr, 24" oc	Full
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
[Symbol]	EUIF	175	Euonymus fortunei 'Colorata' / Purple-leaf Winter Creeper	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
SOD/SEED	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
[Symbol]	SOD	TBD	Cynodon dactylon / Bermuda Grass		Solid sod rolled tight with sand-filled joints, 100% weed, disease, and pest free. Trees within sod to receive a 4" dia. mulch ring.
MISC	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
[Symbol]	MULCH	TBD	Hardwood Mulch		3" Depth, See Detail
[Symbol]	SE	TBD	Steel Edge		3/16" Min. Thickness, Black

PLANTING NOTES

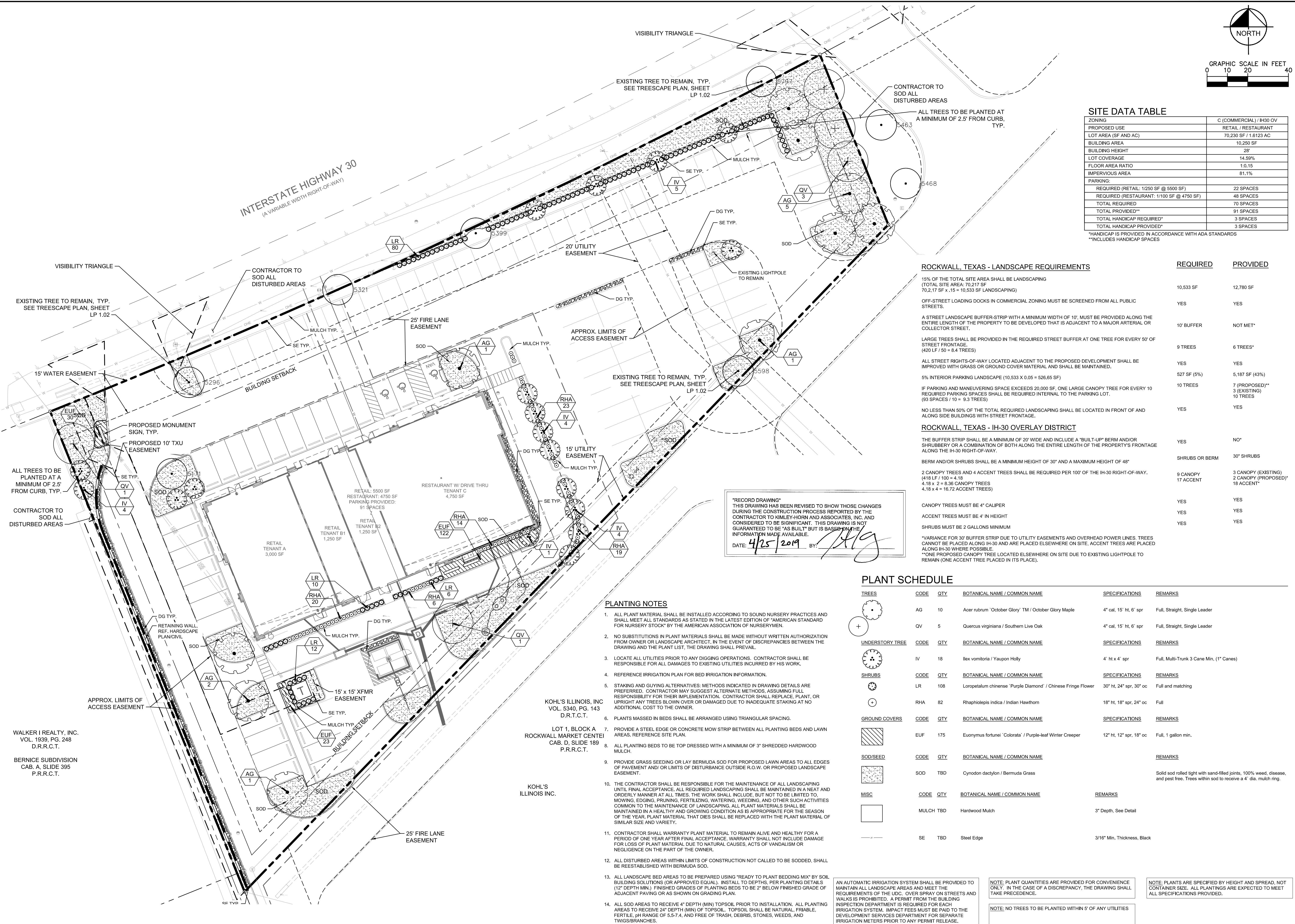
- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
- PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANT PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD.
- ALL LANDSCAPE BED AREAS TO BE PREPARED USING "READY TO PLANT BEDDING MIX" BY SOIL BUILDING SOLUTIONS (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. ALL PLANTING AREAS TO RECEIVE 24" DEPTH (MIN) OF TOPSOIL. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS AND MEET THE REQUIREMENTS OF THE UDC. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: NO TREES TO BE PLANTED WITHIN 5' OF ANY UTILITIES



NO.	REVISIONS	DATE	BY

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 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 972.968.9800
 TEXAS REGISTERED ENGINEERING FIRM 5-928

PROJECT NO.:	064500160
DATE:	02/12/2018
SCALE:	AS SHOWN
DESIGNED BY:	SM
DRAWN BY:	SM, MB
CHECKED BY:	LMC

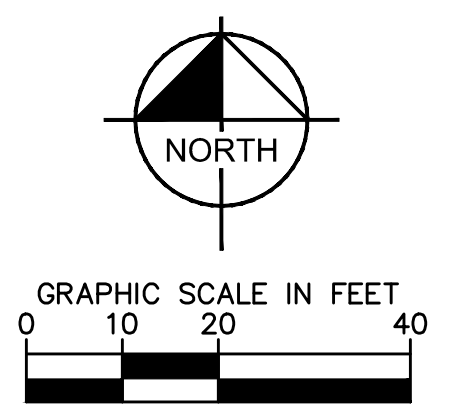
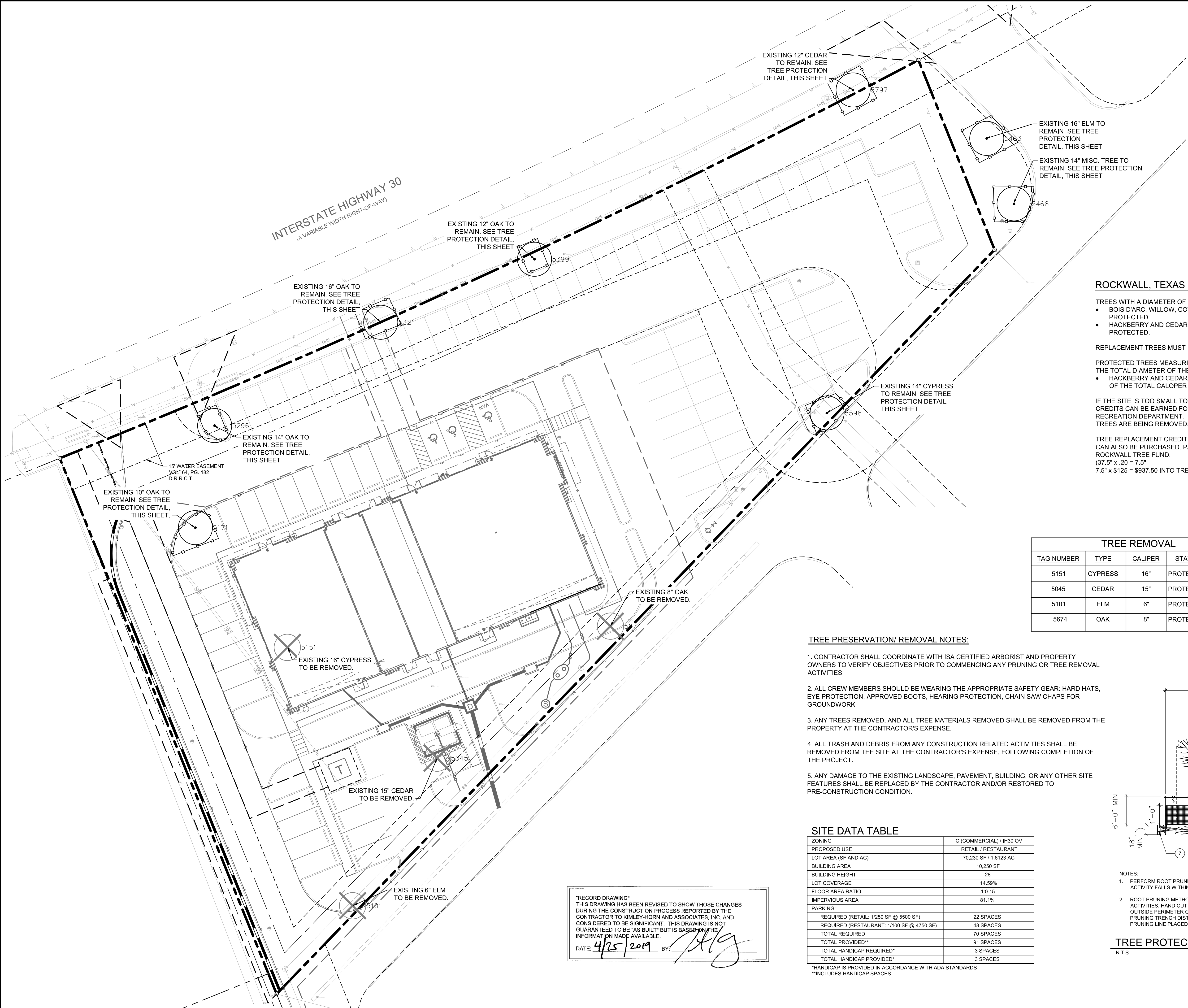
PLANTING PLAN

RETAIL
 ROCKWALL MARKET CENTER EAST
 E INTERSTATE 30
 CITY OF ROCKWALL, TX

SHEET NUMBER
LP 1.01

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LEGEND

	EXISTING TREE TO REMAIN/ PROTECT
	EXISTING TREE TO BE REMOVED
5045	TREE TAG NUMBER
	TREE PROTECTION FENCE

ROCKWALL, TEXAS - TREE PRESERVATION

TREES WITH A DIAMETER OF 4" DBH OR LARGER ARE PROTECTED TREES AND MUST BE REPLACED.

- BOIS D'ARC, WILLOW, COTTONWOOD, LOCUST, AND CHINABERRY ARE NOT CONSIDERED PROTECTED
- HACKBERRY AND CEDAR SPECIES THAT ARE LESS THAN 11" DBH ARE NOT CONSIDERED PROTECTED.

REPLACEMENT TREES MUST BE A MINIMUM OF 3" CALIPER.

PROTECTED TREES MEASURING 4" - 29" DHB SHALL BE REPLACED WITH CALIPER INCHES EQUAL TO THE TOTAL DIAMETER OF THE TREE(S) REMOVED.

- HACKBERRY AND CEDAR TREES THAT ARE 11" DBH OR LARGER, SHALL BE REPLACED AT 50% OF THE TOTAL CALIPER INCHES BEING REMOVED.

IF THE SITE IS TOO SMALL TO ACCOMMODATE THE NUMBER OF REPLACEMENT TREES REQUIRED, CREDITS CAN BE EARNED FOR TREES PLANTED OTHER AREAS DETERMINED BY THE PARKS AND RECREATION DEPARTMENT. THE LOCATION SHALL BE WITHIN ONE MILE OF THE AREA WHERE THE TREES ARE BEING REMOVED.

TREE REPLACEMENT CREDITS NOT EXCEEDING 20 PERCENT OF THE TOTAL REPLACEMENT INCHES CAN ALSO BE PURCHASED. PAYMENTS OF \$125.00 PER CALIPER INCH MAY BE PAID TO THE CITY OF ROCKWALL TREE FUND.

(37.5" x .20 = 7.5"
7.5" x \$125 = \$937.50 INTO TREE FUND)

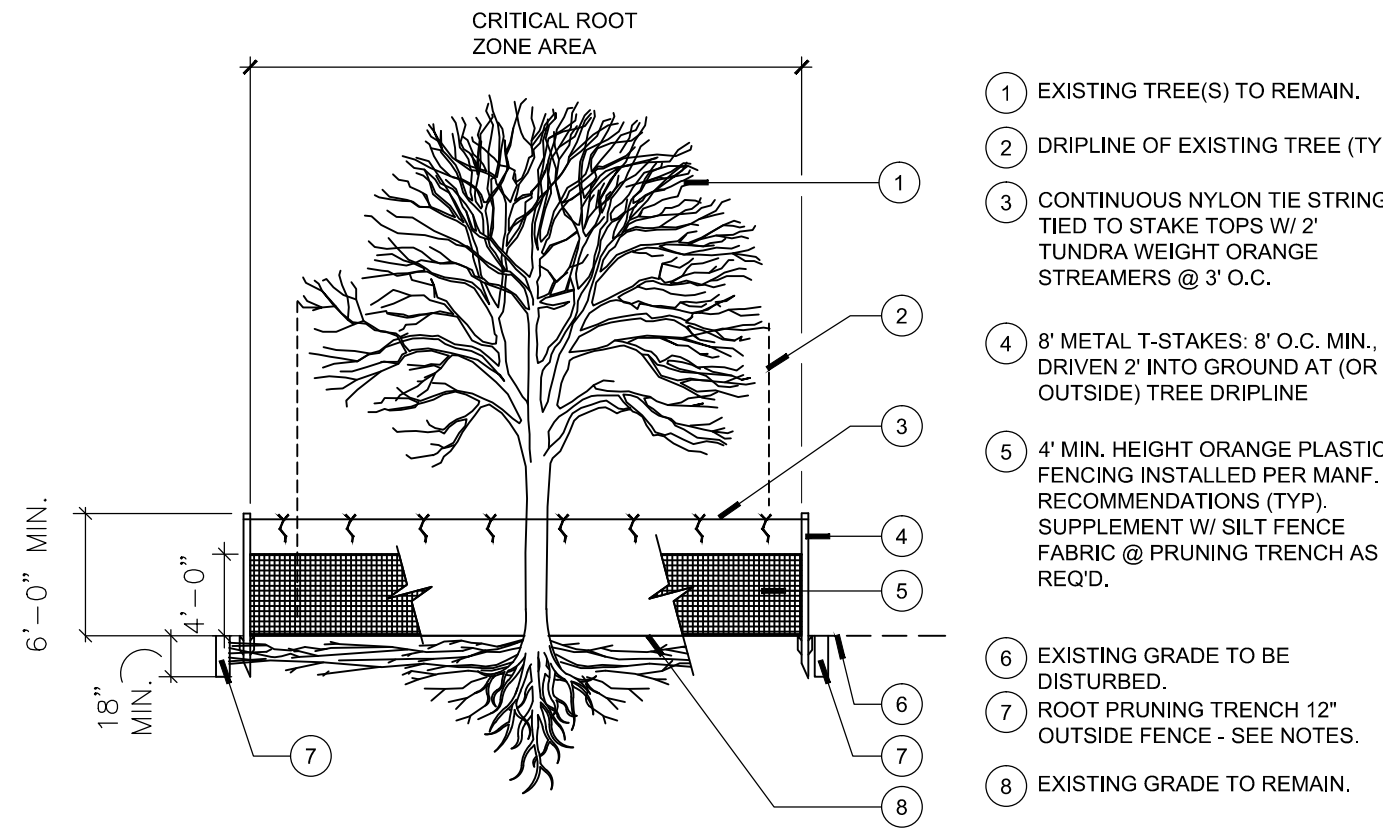
REPLACEMENT INCHES (3 TREES):	30"
REPLACEMENT INCHES (CEDAR)	7.5"
TOTAL REPLACEMENT INCHES	37.5"
REPLACEMENT INCHES - TREE CREDITS (\$937.50 INTO TREE FUND)	37.5" - 7.5" = 30"
REPLACEMENT TREES REQUIRED (4" CAL)	10 TREES
REPLACEMENT INCHES ON SITE 15" PROVIDED BY UPSIZING CODE TREES ON SITE TO 4" CAL.	15" PROVIDED
15" REMAINING TO BE PAID INTO FUND (\$1,875)	15" REMAINING TO BE PAID
TOTAL TO BE PAID (\$2,812.50)	

TAG NUMBER	TYPE	CALIPER	STATUS	MITIGATION
5151	CYPRESS	16"	PROTECTED	16"
5045	CEDAR	15"	PROTECTED	7.5"
5101	ELM	6"	PROTECTED	6"
5674	OAK	8"	PROTECTED	8"

- TREE PRESERVATION/ REMOVAL NOTES:**
1. CONTRACTOR SHALL COORDINATE WITH ISA CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.
 2. ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.
 3. ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE.
 4. ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.
 5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.

ZONING	C (COMMERCIAL) / IH30 OV
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TOTAL HANDICAP REQUIRED*	3 SPACES
TOTAL HANDICAP PROVIDED*	3 SPACES

*HANDICAP IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
**INCLUDES HANDICAP SPACES



TREE PROTECTION DETAIL

N.T.S.

NOTES:

1. PERFORM ROOT PRUNING ON ALL EXISTING TREES TO REMAIN WHERE CONSTRUCTION ACTIVITY FALLS WITHIN DRIP LINE OF EXISTING TREES.
2. ROOT PRUNING METHOD: 2 MONTHS MIN. PRIOR TO EXCAVATION & CONSTRUCTION ACTIVITIES. HAND CUT ROOTS BY DIGGING A 18" x 24" DEEP x 8" WIDE TRENCH ALONG THE OUTSIDE PERIMETER OF EXISTING TREE(S) ADJACENT TO CONSTRUCTION AREAS. MAXIMIZE PRUNING TRENCH DISTANCE FROM TRUNK TO THE FULLEST EXTENT POSSIBLE, W/ THE ROOT PRUNING LINE PLACED AT THE EDGE OF CONSTRUCTION LIMITS.

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.

DATE: 4/25/2019 BY: [Signature]

Kimley Horn

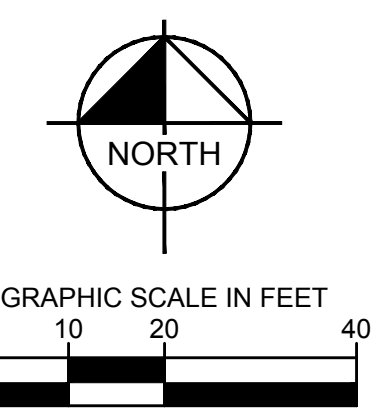
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DALLAS, TEXAS 75240
PHONE: 972.382.9890
TEXAS REGISTERED ENGINEERING FIRM E-928

PROJECT No.:	064500160
DATE:	02/12/2018
SCALE:	AS SHOWN
DESIGNED BY:	SM
DRAWN BY:	SM, MB
CHECKED BY:	LVC

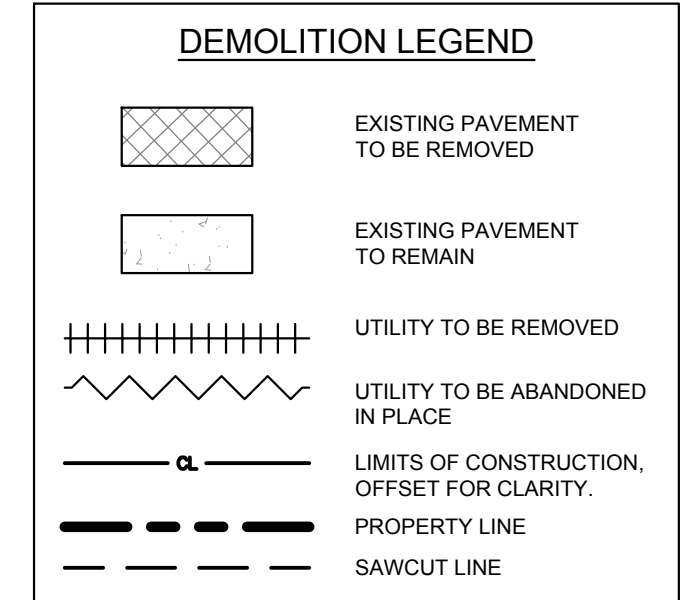
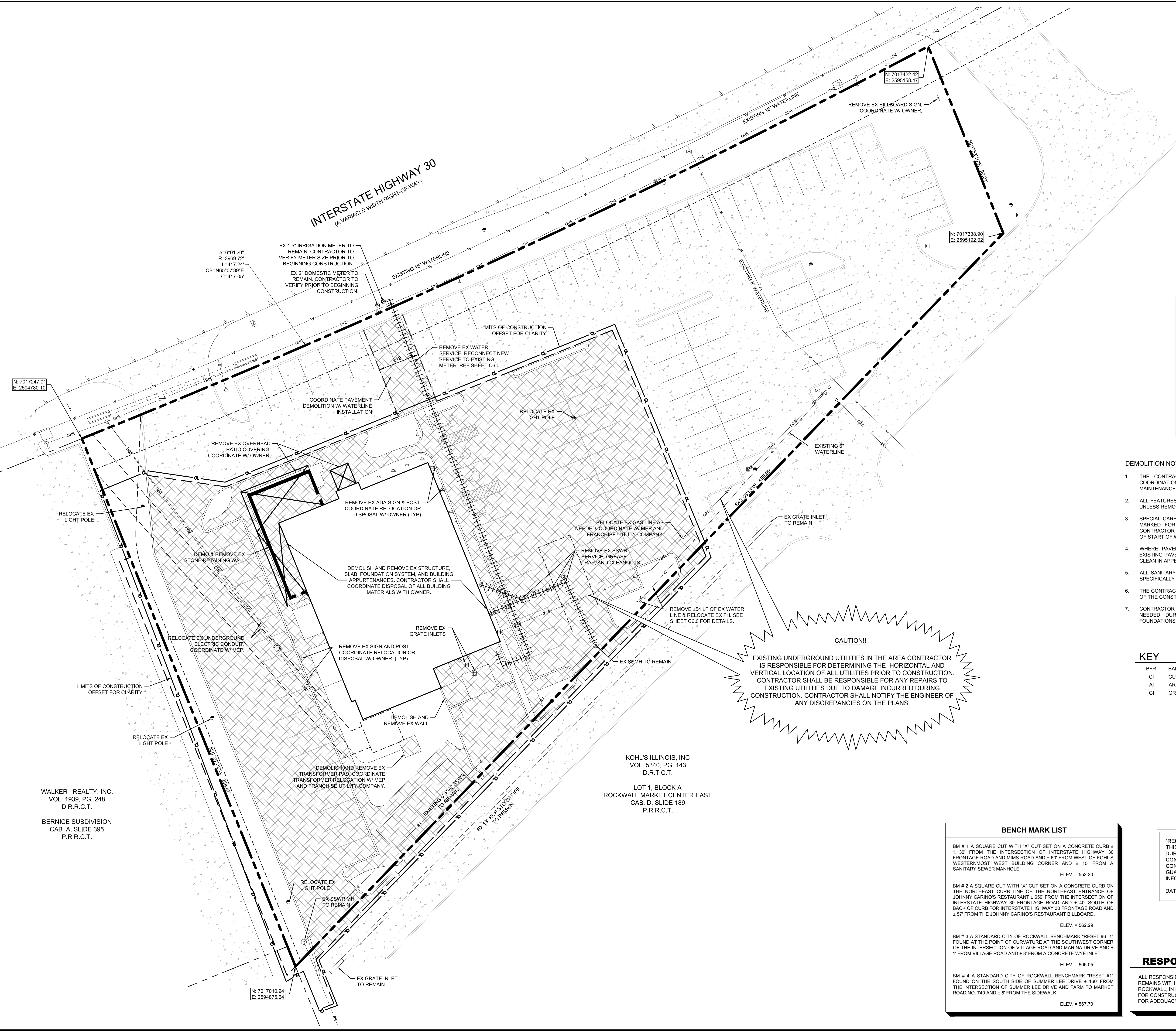
TREESCPE PLAN

RETAIL
ROCKWALL MARKET CENTER EAST
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CITY OF ROCKWALL, TX

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INTERSTATE HIGHWAY 30
(A VARIABLE WIDTH RIGHT-OF-WAY)



DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDING AND EROSION CONTROL.
2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
4. WHERE PAVEMENT REMOVAL AREAS AND OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
5. ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.
7. CONTRACTOR TO COORDINATE WITH ARCHITECT, STRUCTURAL ENGINEER, AND GEOTECH AS NEEDED DURING DEMOLITION OF ANY BUILDING SYSTEMS, APPURTENANCES, AND FOUNDATIONS.

KEY

BFR	BARRIER FREE RAMP	SSMH	SANITARY SEWER MANHOLE
CI	CURB INLET	STMH	STORM MANHOLE
AI	AREA INLET	FH	FIRE HYDRANT
GI	GRATE INLET	FDC	FIRE DEPARTMENT CONNECTION

CAUTION!!
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

BENCHMARK LIST

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DATE: 4/25/2019 BY: [Signature]

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WALKER I REALTY, INC.
VOL. 1939, PG. 248
D.R.R.C.T.

BERNICE SUBDIVISION
CAB. A, SLIDE 395
P.R.R.C.T.

KOHL'S ILLINOIS, INC
VOL. 5340, PG. 143
D.R.T.C.T.

LOT 1, BLOCK A
ROCKWALL MARKET CENTER EAST
CAB. D, SLIDE 189
P.R.R.C.T.

No.	REVISIONS	DATE	BY

Kimley»Horn
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13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: (214) 270-9899
FAX: (214) 270-9898
TEXAS REGISTERED ENGINEERING FIRM #928

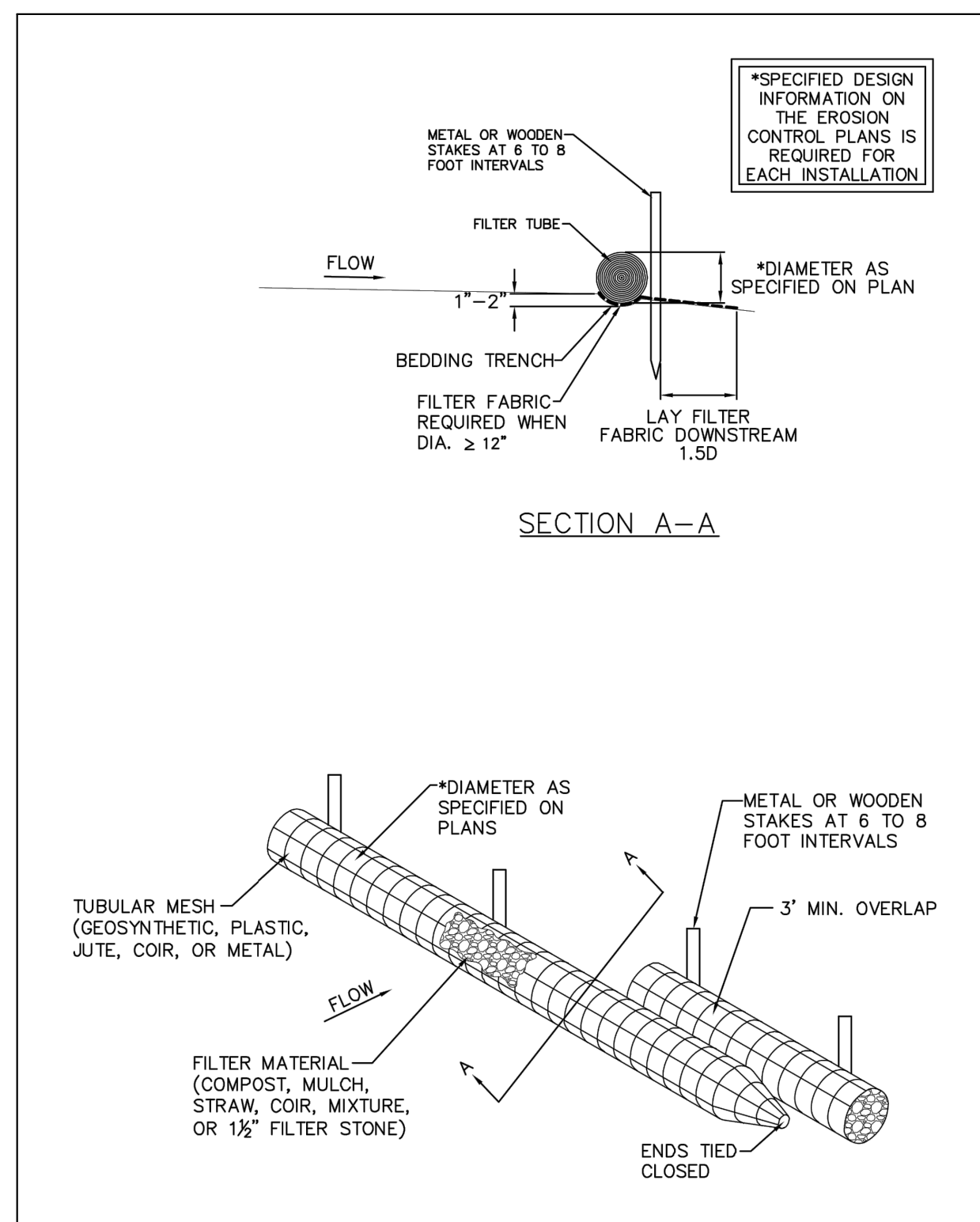
PROJECT No:	06233013
DATE:	06/22/2018
SCALE:	AS SHOWN
DESIGNED BY:	JCK
DRAWN BY:	RCL
CHECKED BY:	JCK

DEMOLITION PLAN

RETAIL
ROCKWALL MARKET CENTER EAST
E INTERSTATE 30
CITY OF ROCKWALL, TX

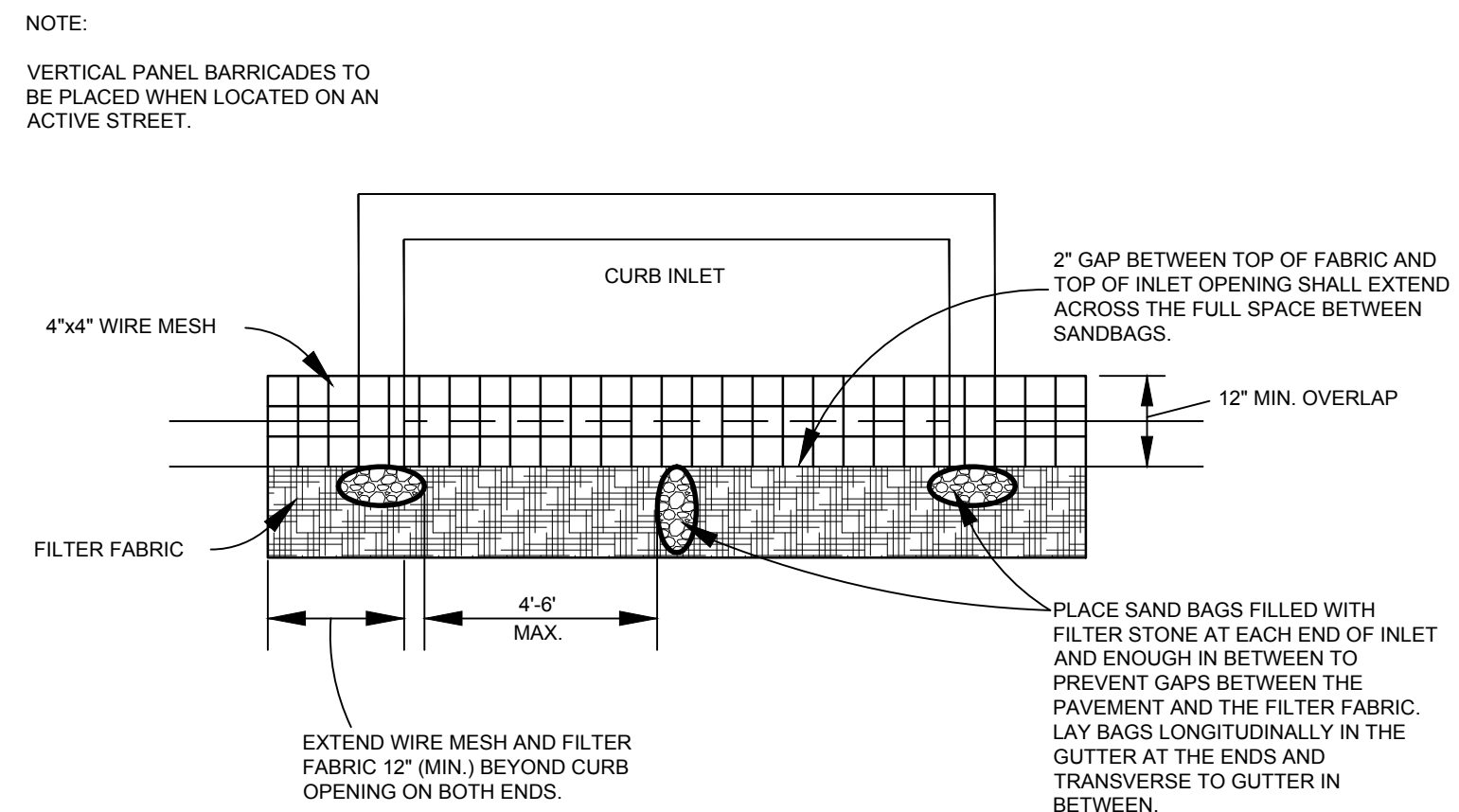
SHEET NUMBER
C1.0

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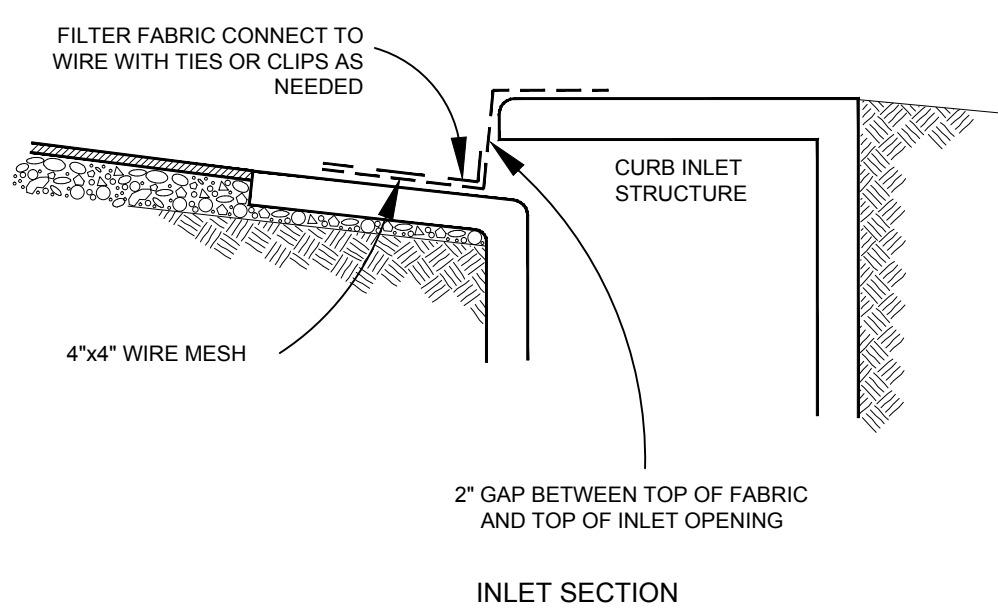
FILTER TUBE DETAILS

N.T.S.

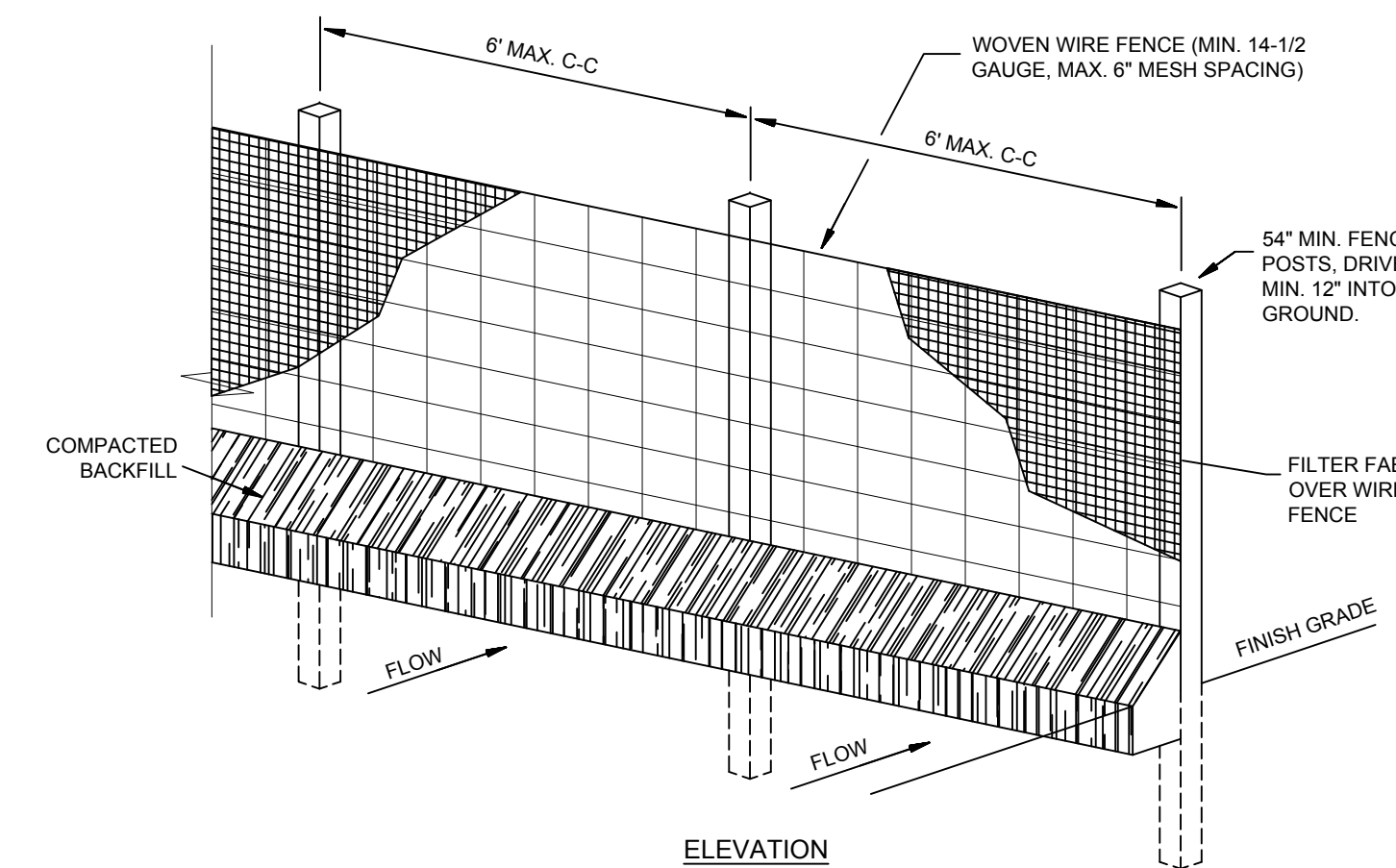


TYPE "C" CURB INLET PROTECTION DETAILS

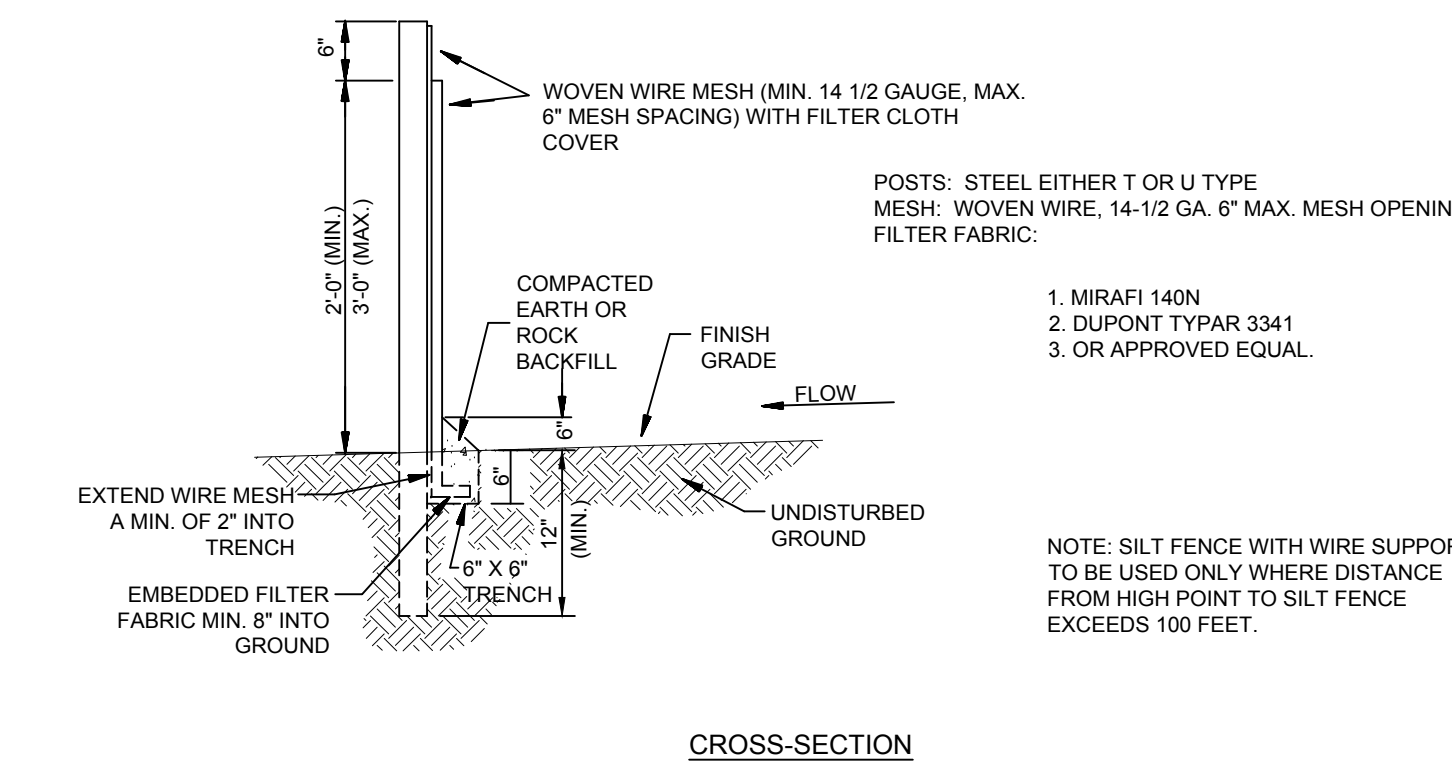
N.T.S.



INLET SECTION



ELEVATION



CROSS-SECTION

SEDIMENTATION/SILT FENCE WITH WIRE MESH

N.T.S.

SILT FENCE GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT. POSTS SHALL BE METAL. NO WOODEN POSTS ALLOWED.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE BY USING WIRE TIES OR STAPLES SPACED EVERY 24\"/>
- 5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2\"/>
- 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

NOTE:
VERTICAL PANEL BARRICADES TO BE PLACED WHEN LOCATED ON AN ACTIVE STREET.

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PHONE: 214.777.9899
TEXAS REGISTERED ENGINEERING FIRM # 928

PROJECT No:	06232013
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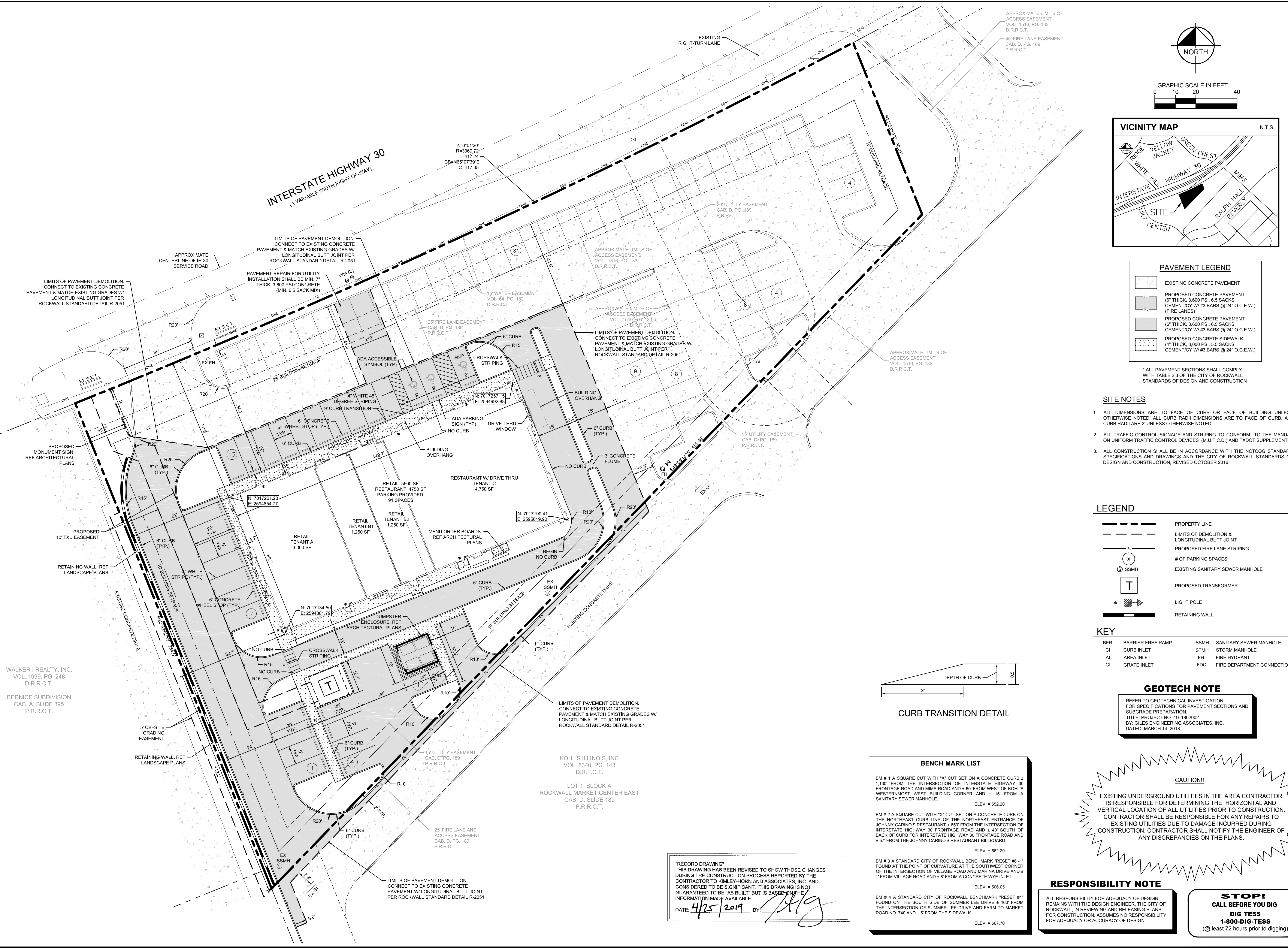
**EROSION CONTROL
DETAILS**

RETAIL
ROCKWALL MARKET CENTER EAST
E INTERSTATE 30
CITY OF ROCKWALL, TX

SHEET NUMBER
C2.1

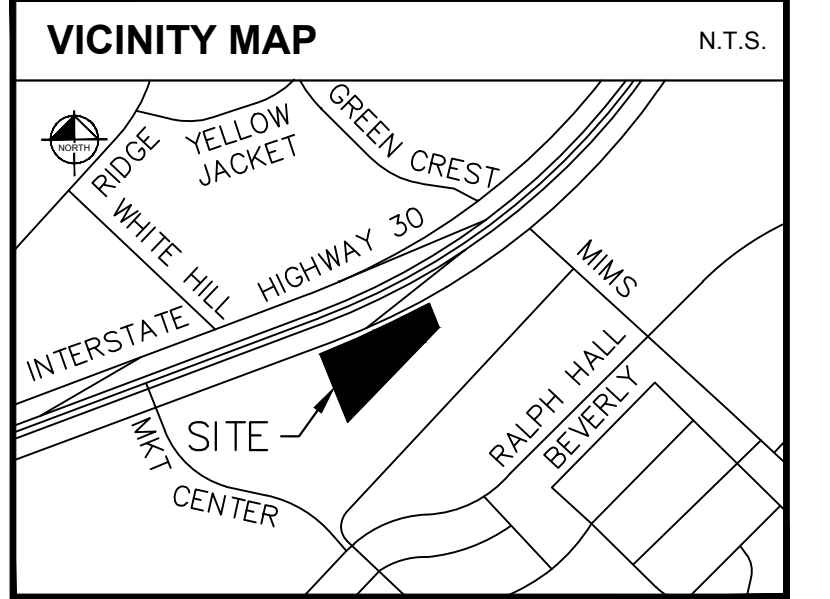
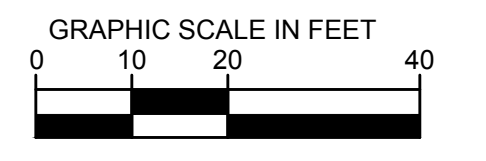
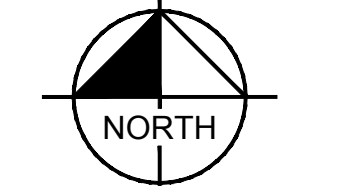
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APPROXIMATE LIMITS OF ACCESS EASEMENT VOL. 1516, PG. 133 D.R.R.C.T.

40' FIRE LANE EASEMENT CAB. D. PG. 189 P.R.R.C.T.



[Symbol]	EXISTING CONCRETE PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVEMENT (6" THICK, 3,600 PSI, 6.5 SACKS CEMENT/CI W/ #3 BARS @ 24" O.C.E.W.) (FIRE LANES)
[Symbol]	PROPOSED CONCRETE PAVEMENT (6" THICK, 3,600 PSI, 6.5 SACKS CEMENT/CI W/ #3 BARS @ 24" O.C.E.W.)
[Symbol]	PROPOSED CONCRETE SIDEWALK (4" THICK, 3,000 PSI, 5.5 SACKS CEMENT/CI W/ #3 BARS @ 24" O.C.E.W.)

* ALL PAVEMENT SECTIONS SHALL COMPLY WITH TABLE 2.3 OF THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION

SITE NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADII DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
- 2. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND TXDOT SUPPLEMENT.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MCTOGG STANDARD SPECIFICATIONS AND DRAWINGS AND THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION, REVISED OCTOBER 2016.

LEGEND

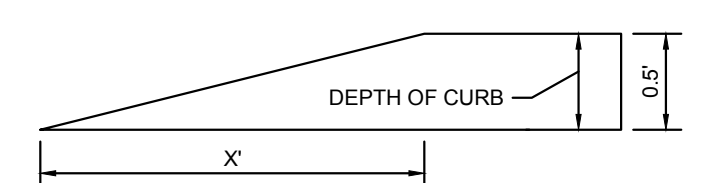
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[Symbol]	LIMITS OF DEMOLITION & LONGITUDINAL BUTT JOINT
[Symbol]	PROPOSED FIRE LANE STRIPING
[Symbol]	# OF PARKING SPACES
[Symbol]	EXISTING SANITARY SEWER MANHOLE
[Symbol]	PROPOSED TRANSFORMER
[Symbol]	LIGHT POLE
[Symbol]	RETAINING WALL

KEY

BFR	BARRIER FREE RAMP	SSMH	SANITARY SEWER MANHOLE
CI	CURB INLET	STMH	STORM MANHOLE
AI	AREA INLET	FH	FIRE HYDRANT
GI	GRATE INLET	FDC	FIRE DEPARTMENT CONNECTION

GEOTECH NOTE

REFER TO GEOTECHNICAL INVESTIGATION FOR SPECIFICATIONS FOR PAVEMENT SECTIONS AND SUBGRADE PREPARATION. TITLE: PROJECT NO. 4G-1802002 BY: GILES ENGINEERING ASSOCIATES, INC. DATED: MARCH 14, 2018



CURB TRANSITION DETAIL

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(at least 72 hours prior to digging)

PROJECT No: 09233013
DATE: 06/22/2018
SCALE: AS SHOWN
DESIGNED BY: JCK
DRAWN BY: RCL
CHECKED BY: JCK

Kimley»Horn

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2018 KIMLEY-HORN
DALLAS, TEXAS 75240
PHONE: 772.760.9999
TEXAS REGISTERED ENGINEERS FIRM # 928

DIMENSION CONTROL & PAVING PLAN

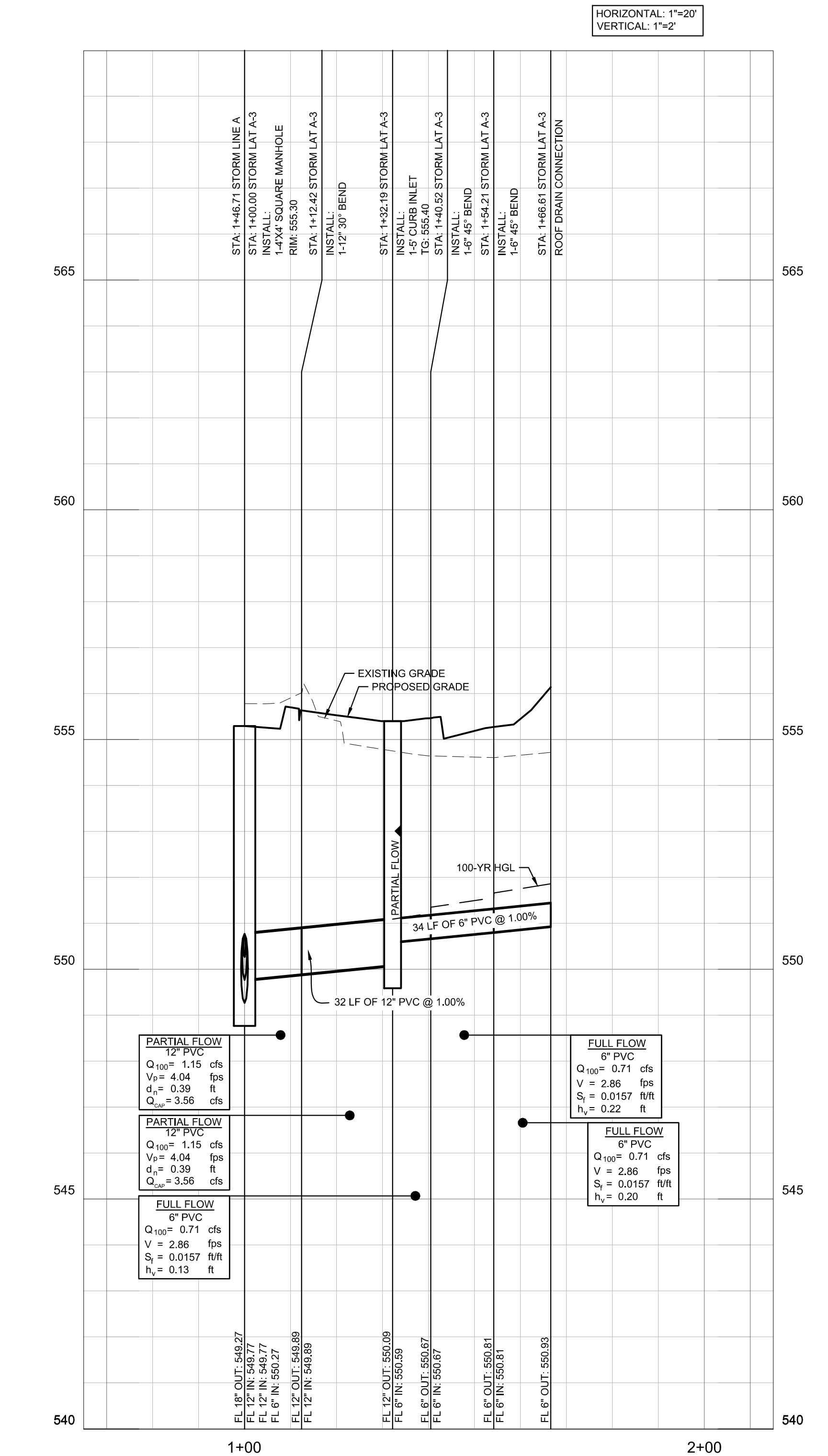
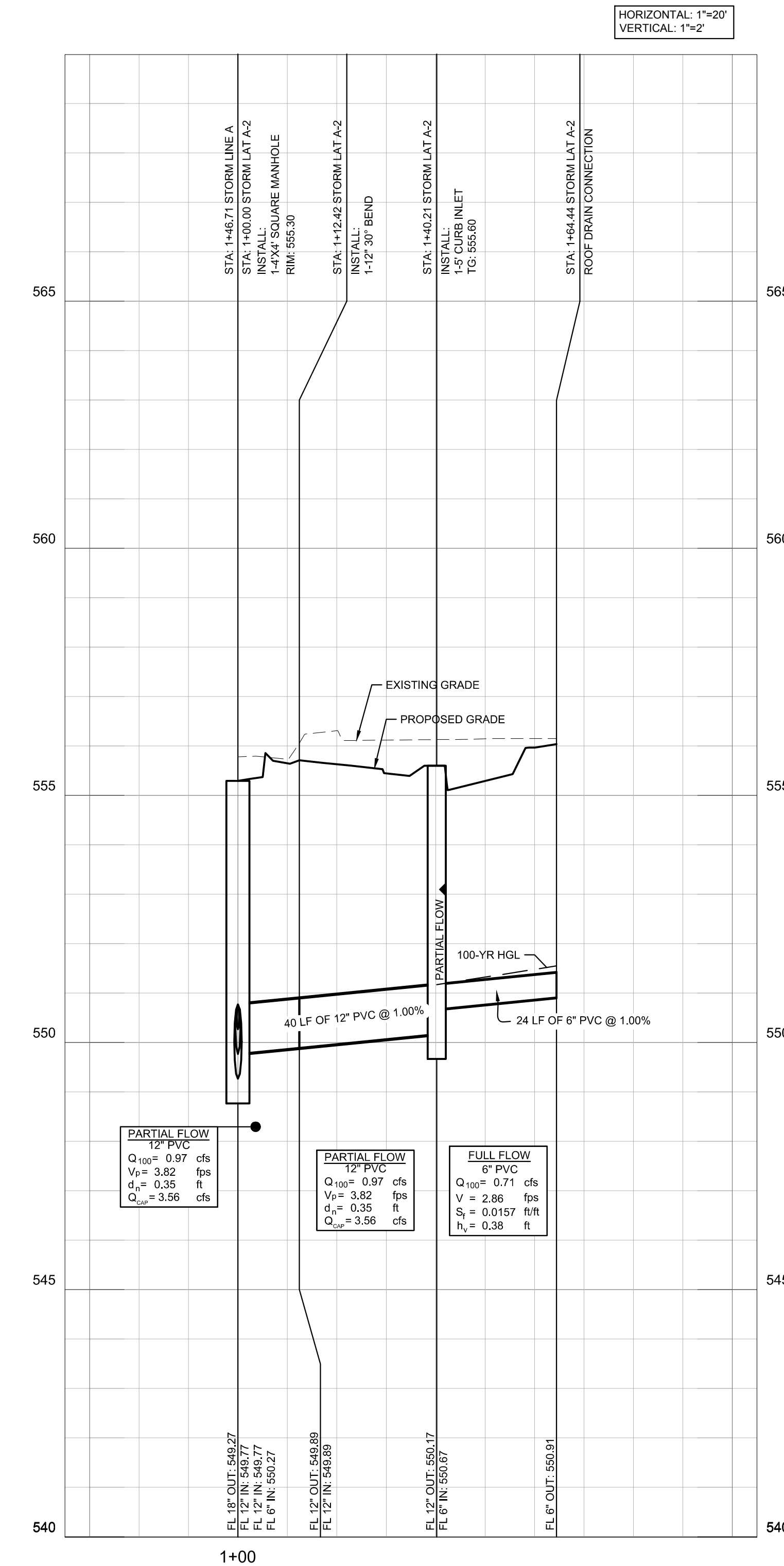
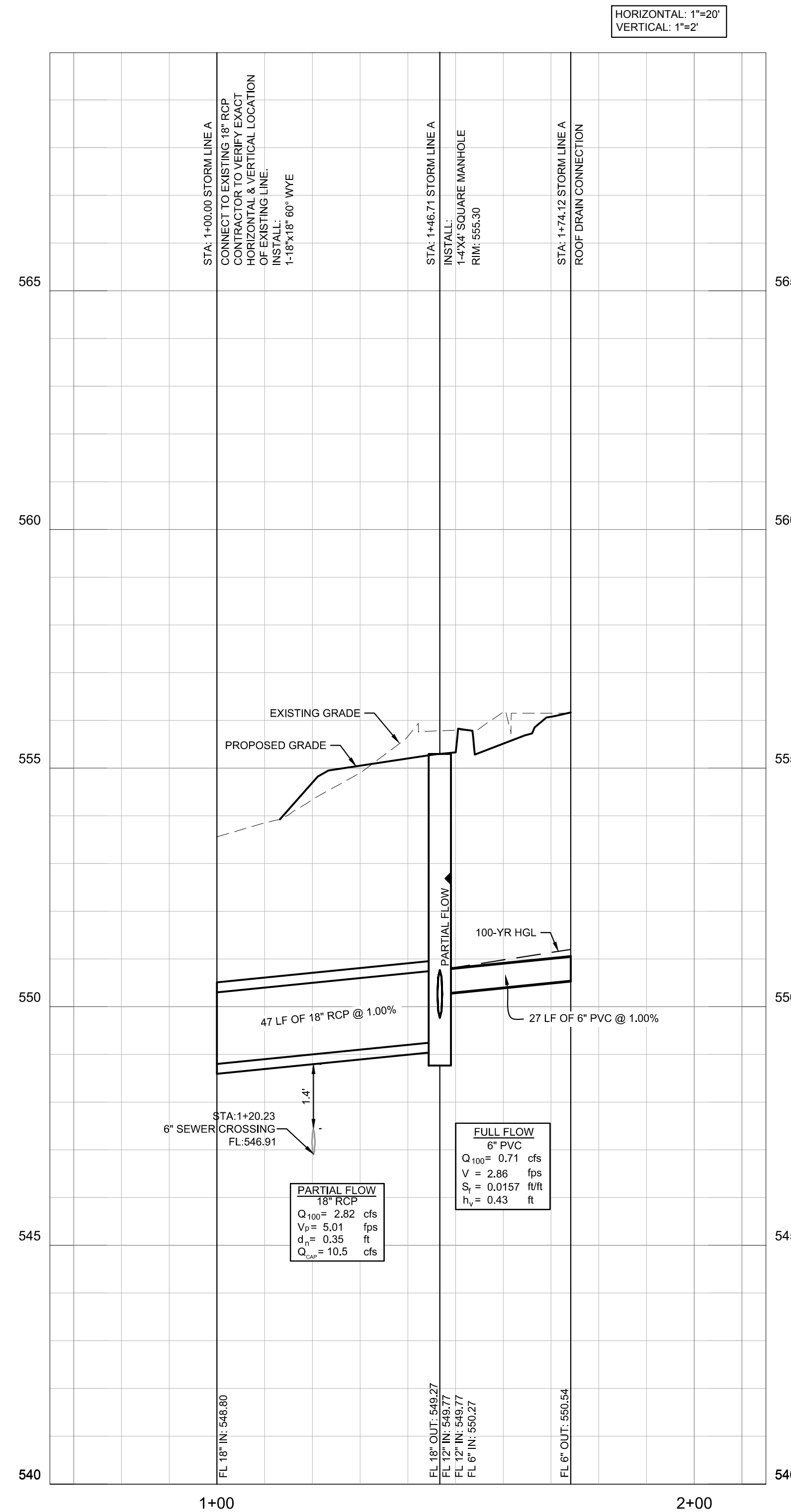
RETAIL
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E INTERSTATE 30
CITY OF ROCKWALL, TX

SHEET NUMBER
C3.0

NO.	REVISIONS	DATE	BY

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 DRAWN BY: KIMLEY-HORN
 DATE: 05/22/2018
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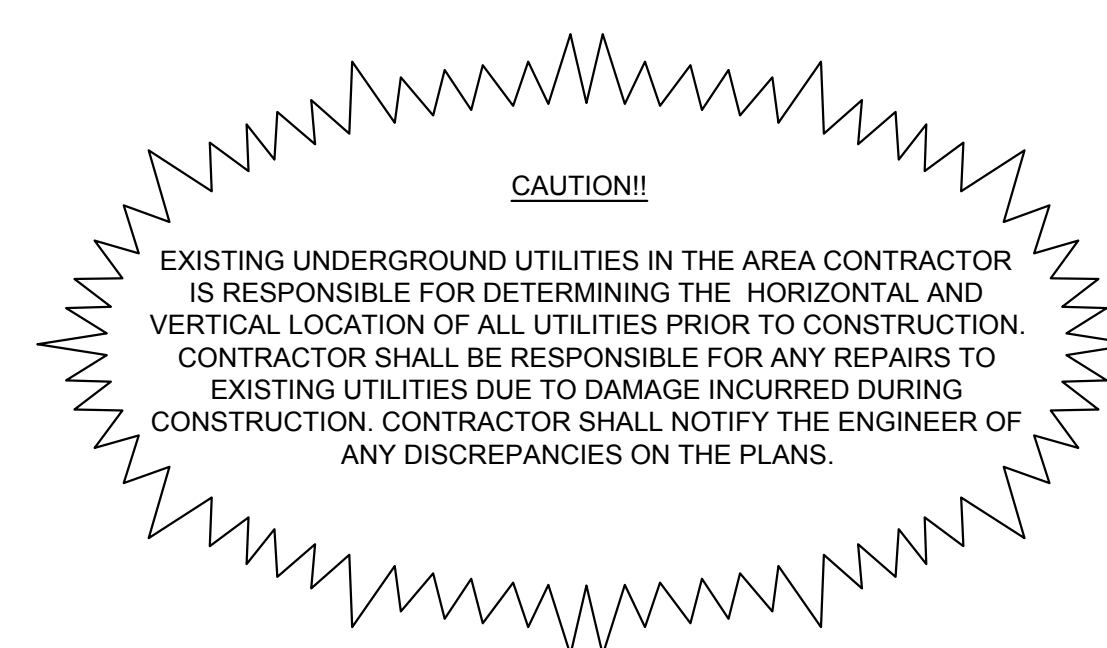
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 PHONE: 214.935.9899
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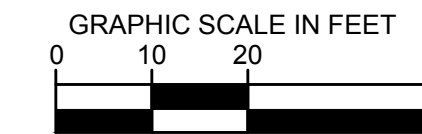
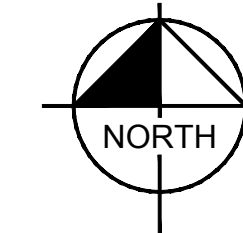
PROJECT No: 09232013
 DATE: 05/22/2018
 SCALE: AS SHOWN
 DESIGNED BY: JCK
 DRAWN BY: RCL
 CHECKED BY: JCK

DRAINAGE PROFILES

RETAIL
 ROCKWALL MARKET CENTER EAST
 E INTERSTATE 30
 CITY OF ROCKWALL, TX

SHEET NUMBER
C5.1

NO. REVISIONS DATE BY



SITE LEGEND	
	PROPERTY LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	FIRE HYDRANT
	SANITARY SEWER MANHOLE

NOTES

- SEE MEP AND ARCHITECTURAL PLANS FOR ROOF DRAIN AND DOWNSPOUT CONNECTIONS TO BUILDINGS.
- WATER AND SEWER LINES STUB 5 FEET FROM BUILDING AT CONNECTIONS.
- CONTRACTOR TO ADJUST MANHOLE RIM ELEVATIONS TO MATCH FINISH GRADE.
- ALL MANHOLES SHALL BE CONSTRUCTED PER CITY OF ROCKWALL STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY PAVEMENT REMOVAL REQUIRED FOR UTILITY INSTALLATION, INCLUDING REMOVALS NOT SPECIFICALLY NOTED ON THE DEMOLITION PLAN, SHEET C1.0. IN THIS CASE, CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION AND EXISTING GRADES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

CAUTION!

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AI	AREA INLET	FH	FIRE HYDRANT
GI	GRATE INLET	FDC	FIRE DEPARTMENT CONNECTION

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REVISIONS	DATE	BY

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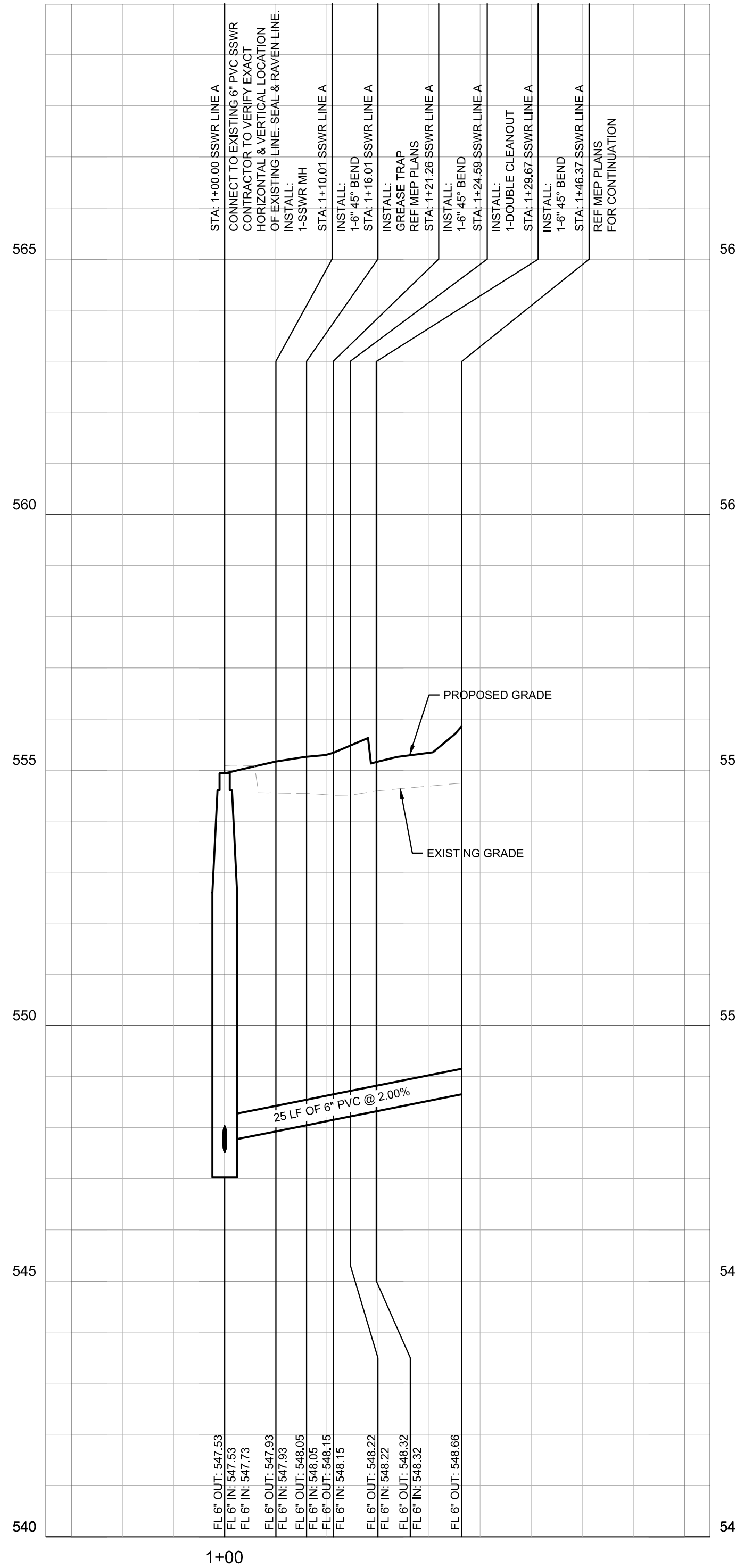
UTILITY PLAN			
PROJECT NO.	09232013	DATE	06/22/2018
SCALE	AS SHOWN	DESIGNED BY:	JCK
DRAWN BY:	RCL	CHECKED BY:	JCK

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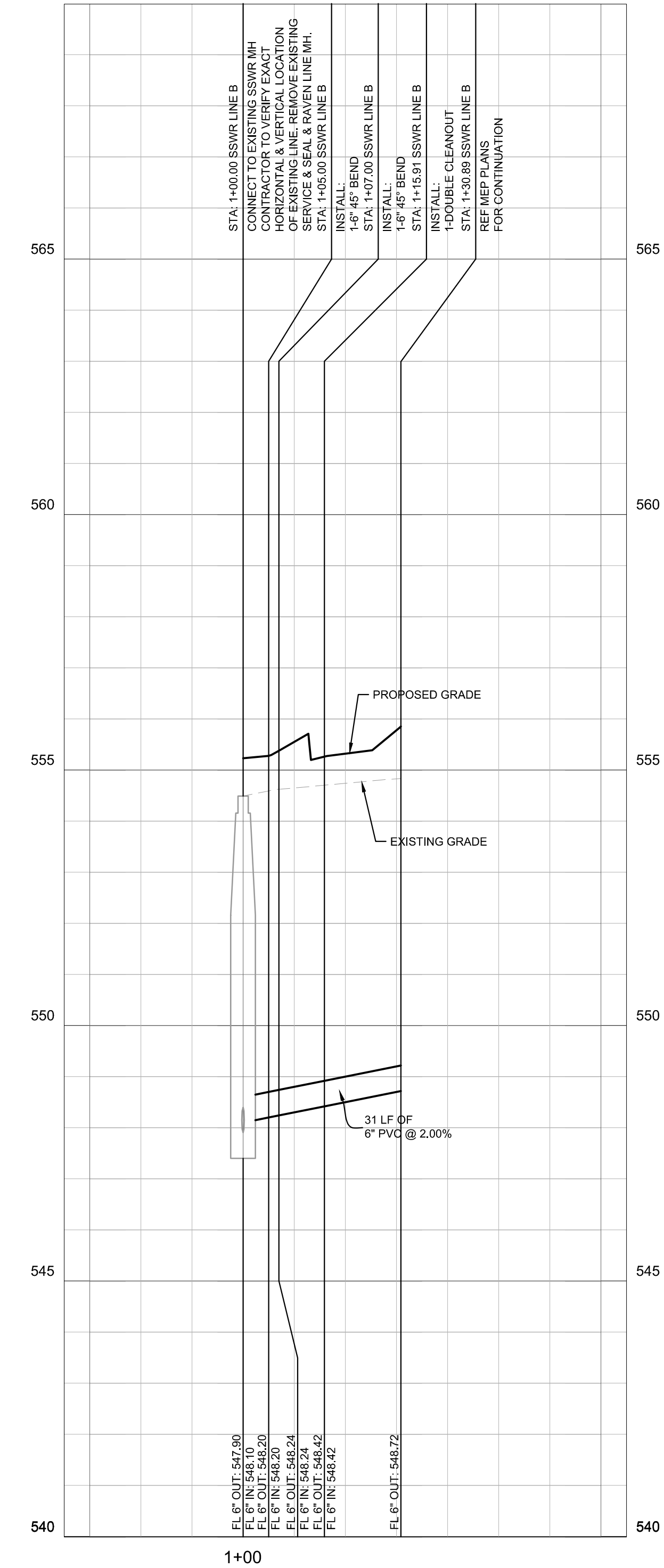
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HORIZONTAL: 1"=20'
VERTICAL: 1"=2'



SSWR LINE A
(PRIVATE)

HORIZONTAL: 1"=20'
VERTICAL: 1"=2'



SSWR LINE B
(PRIVATE)

BENCHMARK LIST

BM # 1 A SQUARE CUT WITH "X" CUT SET ON A CONCRETE CURB ± 1.130' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND MIMS ROAD AND ± 60' FROM WEST OF KOHL'S WESTERNMOST WEST BUILDING CORNER AND ± 15' FROM A SANITARY SEWER MANHOLE. ELEV. = 552.20

BM # 2 A SQUARE CUT WITH "X" CUT SET ON A CONCRETE CURB ON THE NORTHEAST CURB LINE OF THE NORTHEAST ENTRANCE OF JOHNNY CARINO'S RESTAURANT ± 650' FROM THE INTERSECTION OF INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 40' SOUTH OF BACK OF CURB FOR INTERSTATE HIGHWAY 30 FRONTAGE ROAD AND ± 57' FROM THE JOHNNY CARINO'S RESTAURANT BILLBOARD. ELEV. = 562.29

BM # 3 A STANDARD CITY OF ROCKWALL BENCHMARK "RESET #1" FOUND AT THE POINT OF CURVATURE AT THE SOUTHWEST CORNER OF THE INTERSECTION OF VILLAGE ROAD AND MARINA DRIVE AND ± 1' FROM VILLAGE ROAD AND ± 8' FROM A CONCRETE WYE INLET. ELEV. = 506.05

BM # 4 A STANDARD CITY OF ROCKWALL BENCHMARK "RESET #1" FOUND ON THE SOUTH SIDE OF SUMMER LEE DRIVE ± 160' FROM THE INTERSECTION OF SUMMER LEE DRIVE AND FARM TO MARKET ROAD NO. 740 AND ± 5' FROM THE SIDEWALK. ELEV. = 567.70

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISIONED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 4/25/2019 BY: *[Signature]*

CAUTION!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

RESPONSIBILITY NOTE

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STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

UTILITY PROFILES

PROJECT No:	06232013
DATE:	05/22/2018
SCALE:	AS SHOWN
DESIGNED BY:	JCK
DRAWN BY:	RCL
CHECKED BY:	JCK

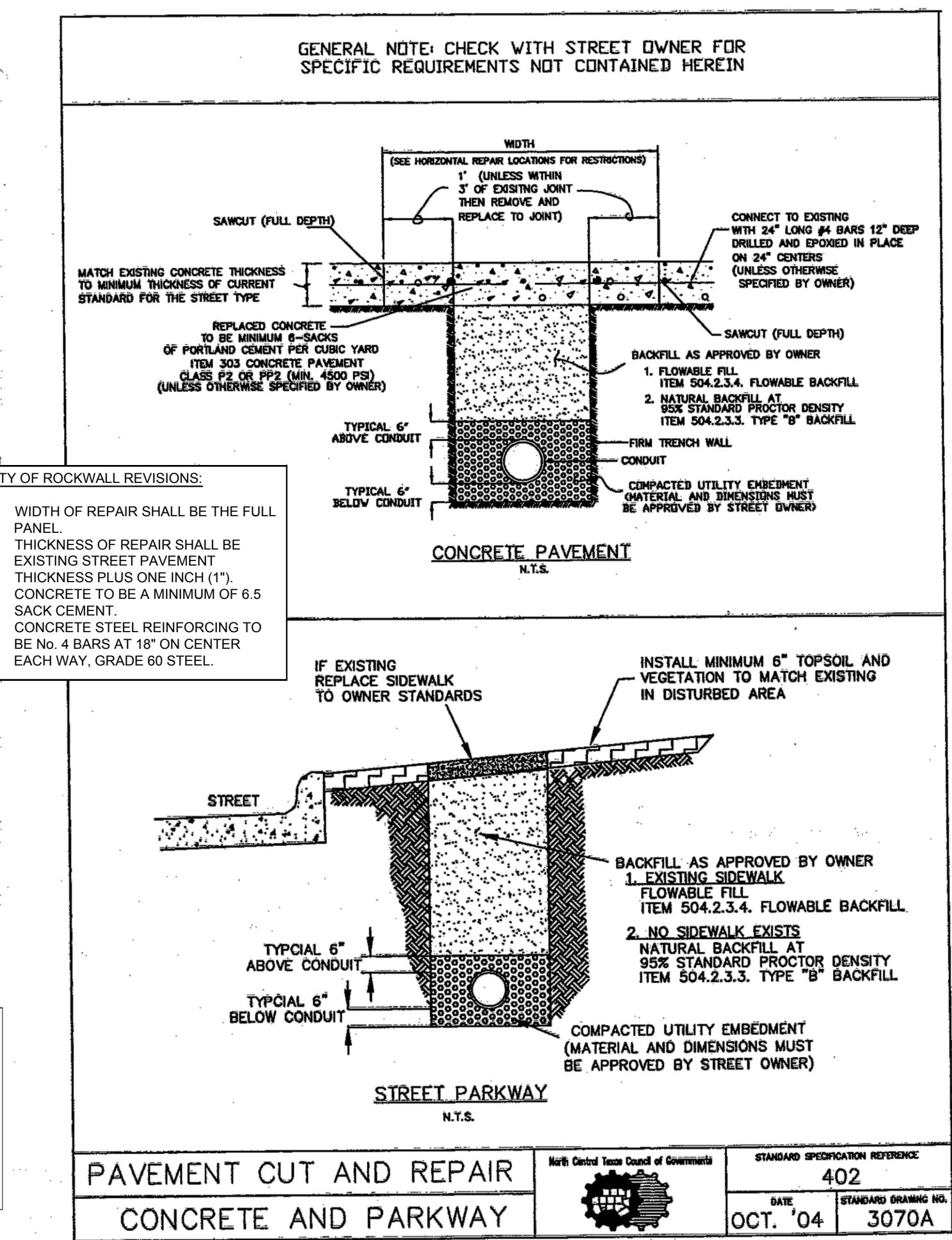
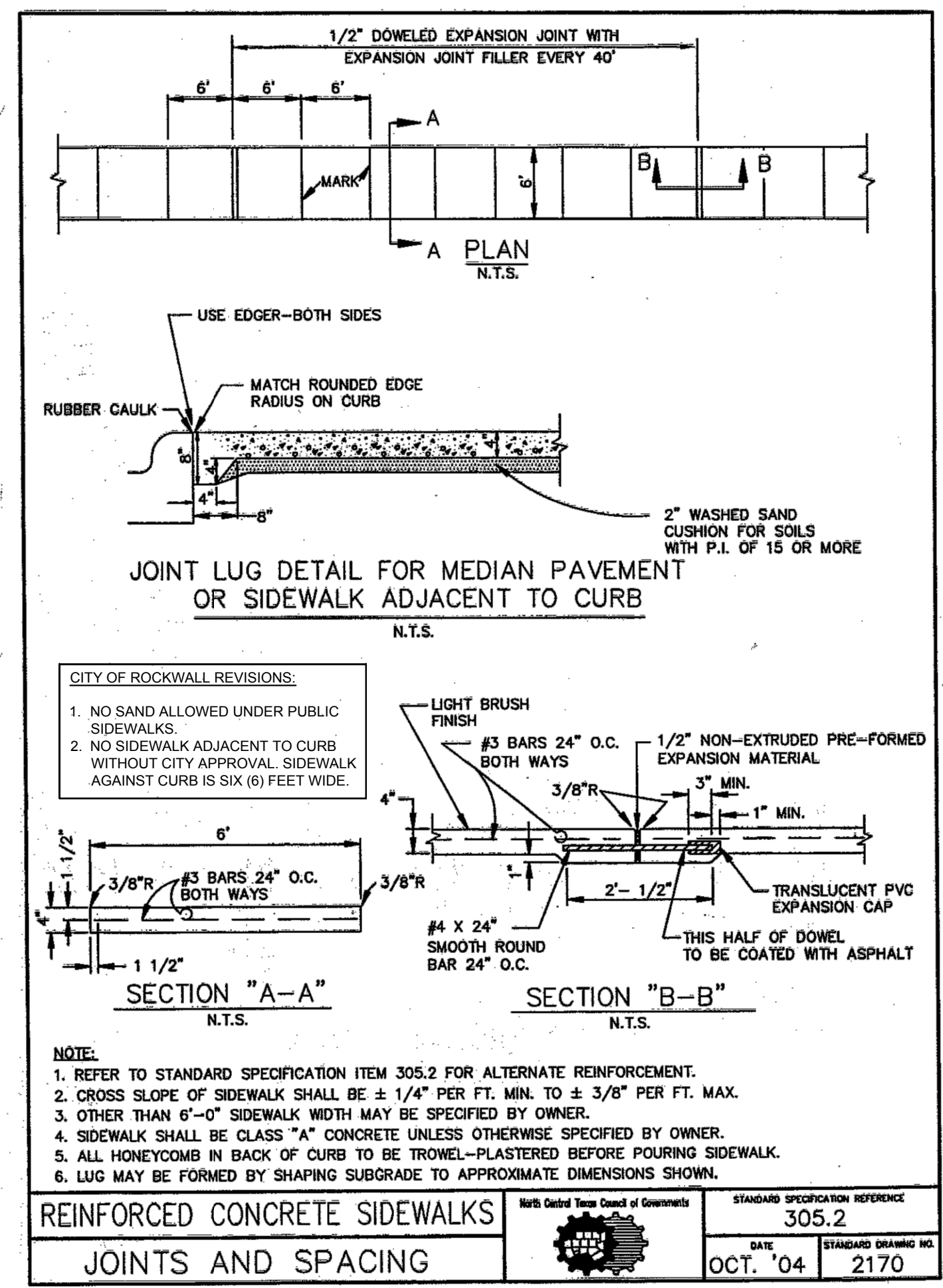
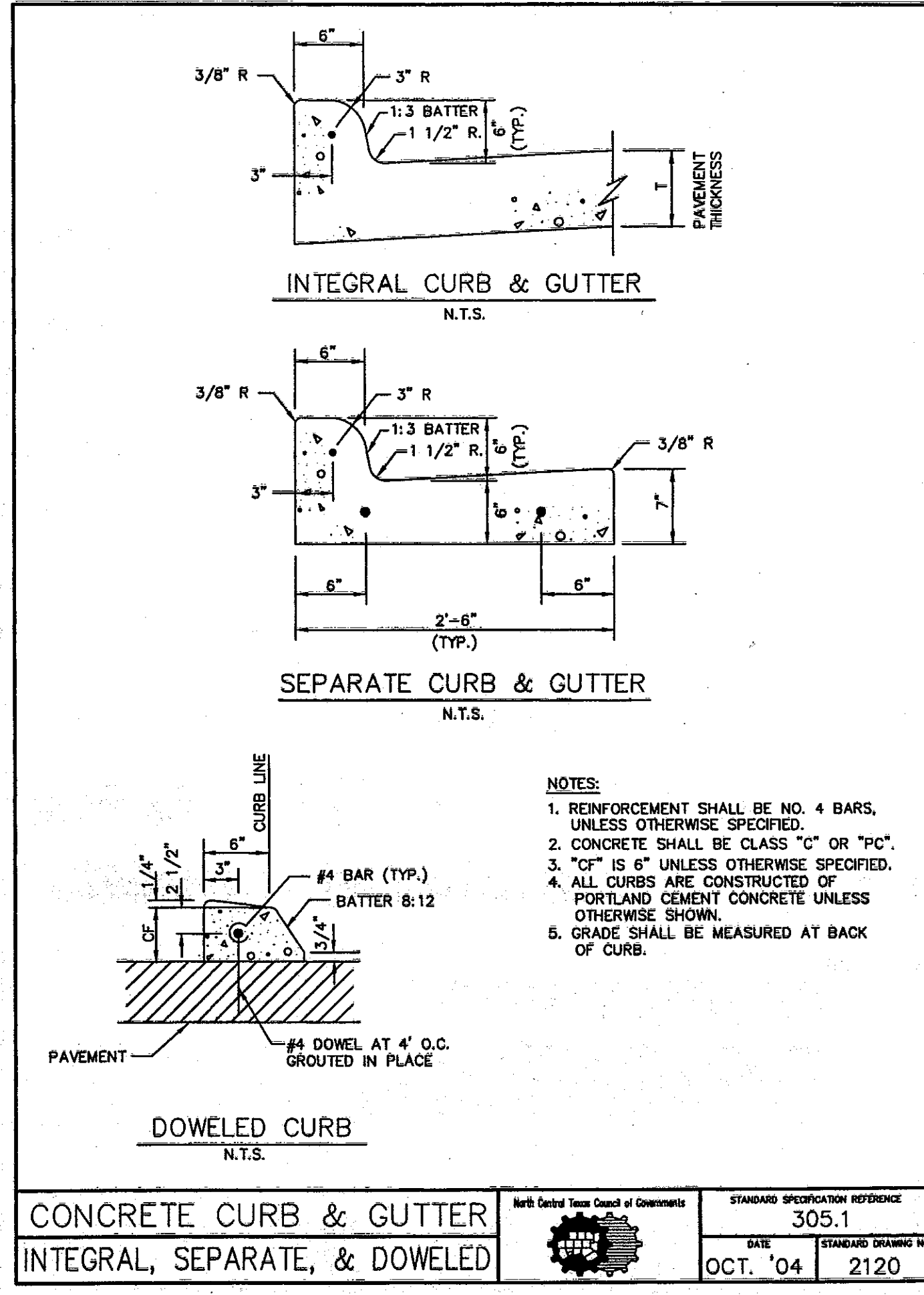
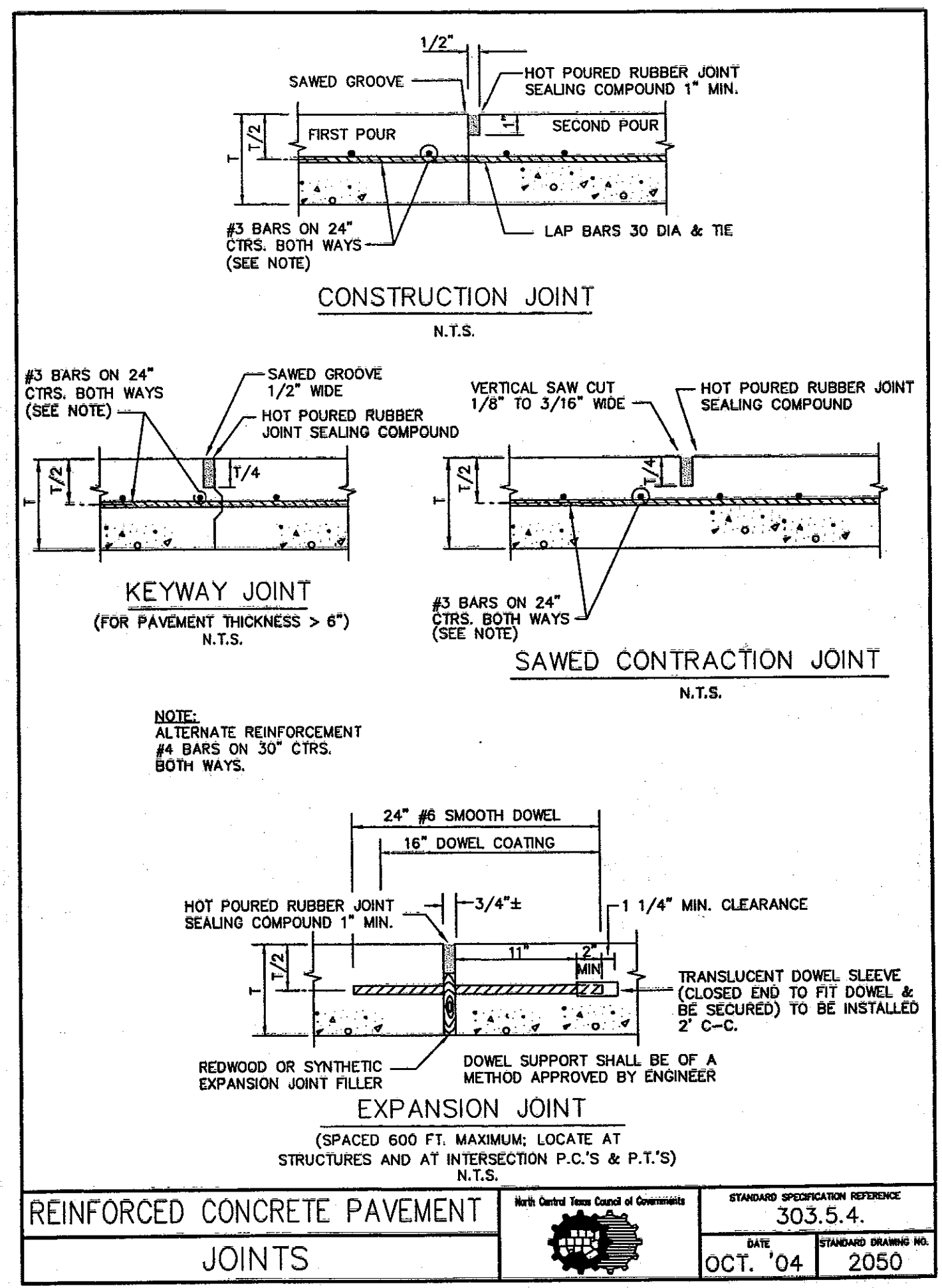
RETAIL
ROCKWALL MARKET CENTER EAST
E INTERSTATE 30
CITY OF ROCKWALL, TX

SHEET NUMBER
C6.1

Kimley»Horn
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13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 214.733.9899
TEXAS REGISTERED ENGINEERING FIRM F-928

No.	REVISIONS	DATE	BY

IMAGES XREFS BY KSWL CIVIL/2018/05/22/DYNAMIC/ROCKWALL RETAIL/CA/PLANS/SHEETS/CS.1/UTILITY PROFILES.DWG
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PHONE: 972.968.9890
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CONSTRUCTION DETAILS

RETAIL
ROCKWALL MARKET CENTER EAST
E INTERSTATE 30
CITY OF ROCKWALL, TX

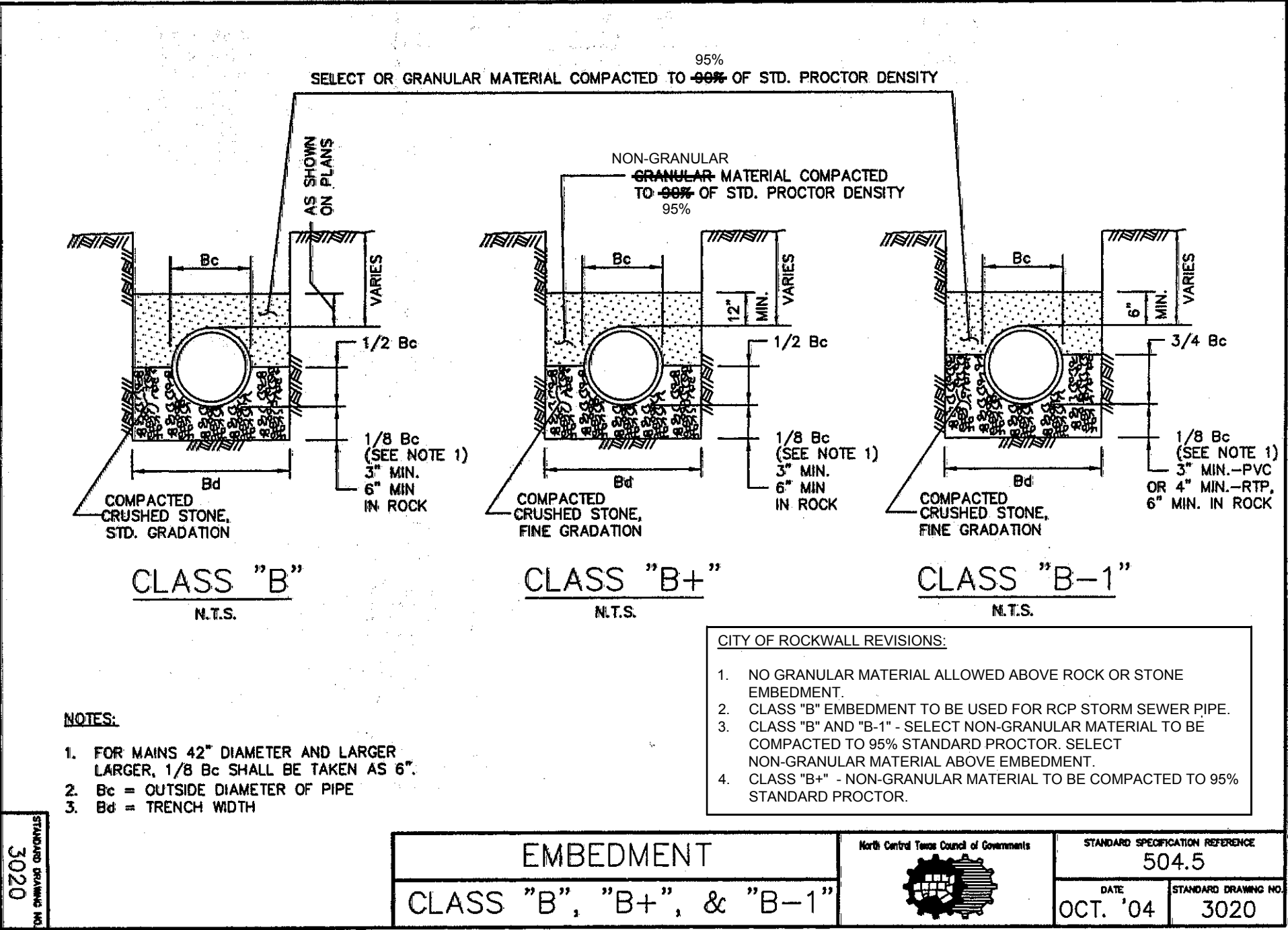
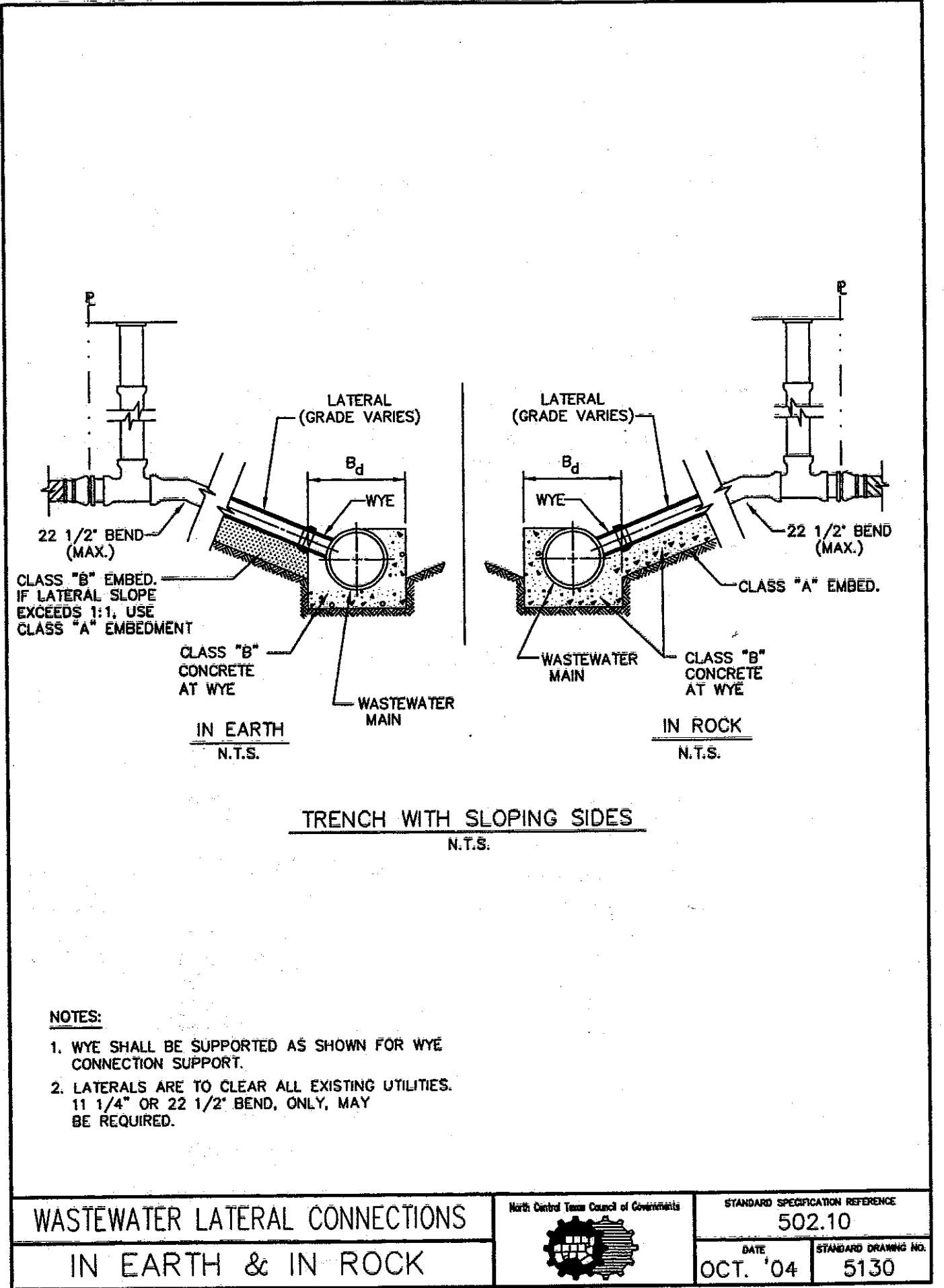
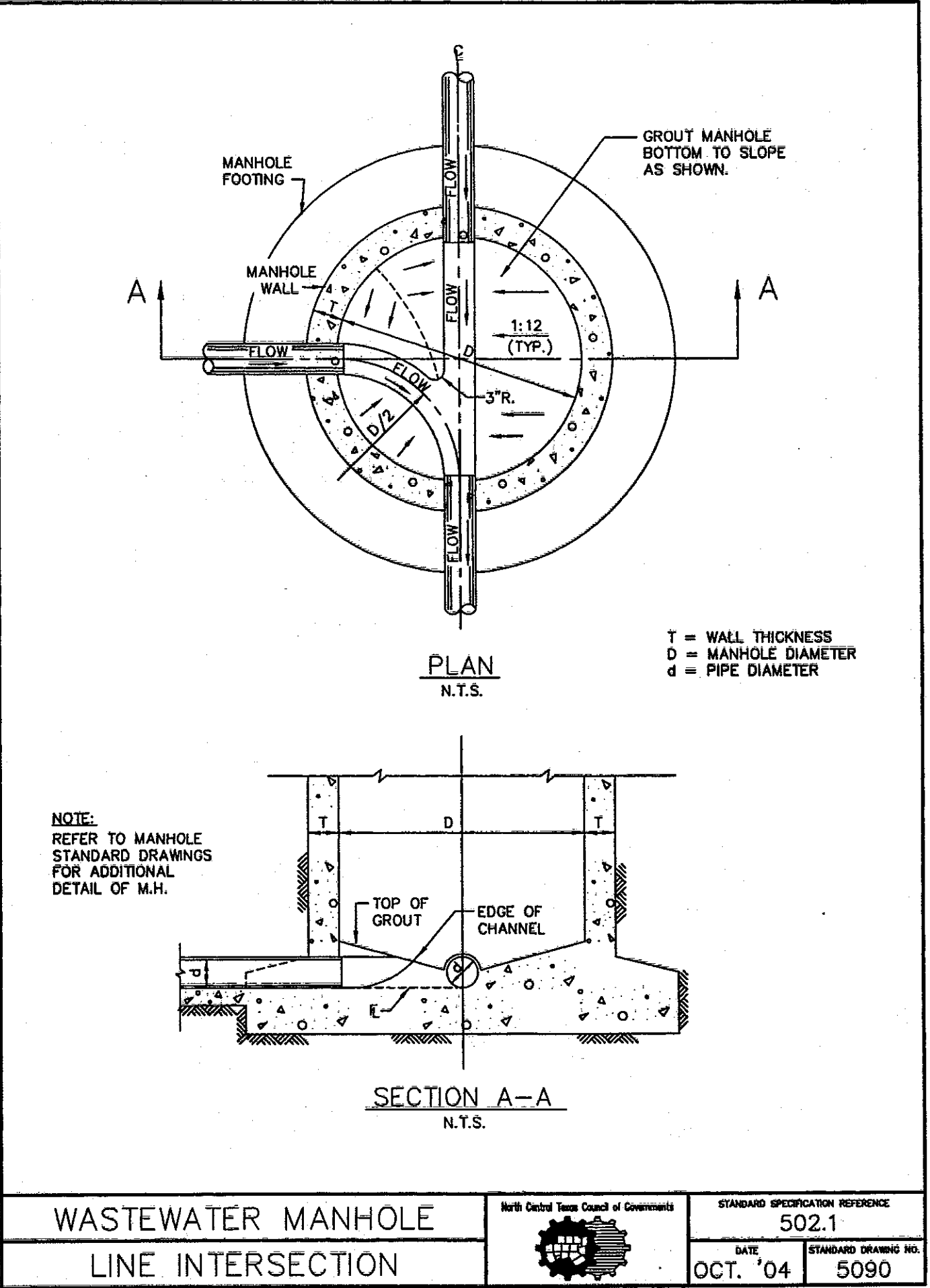
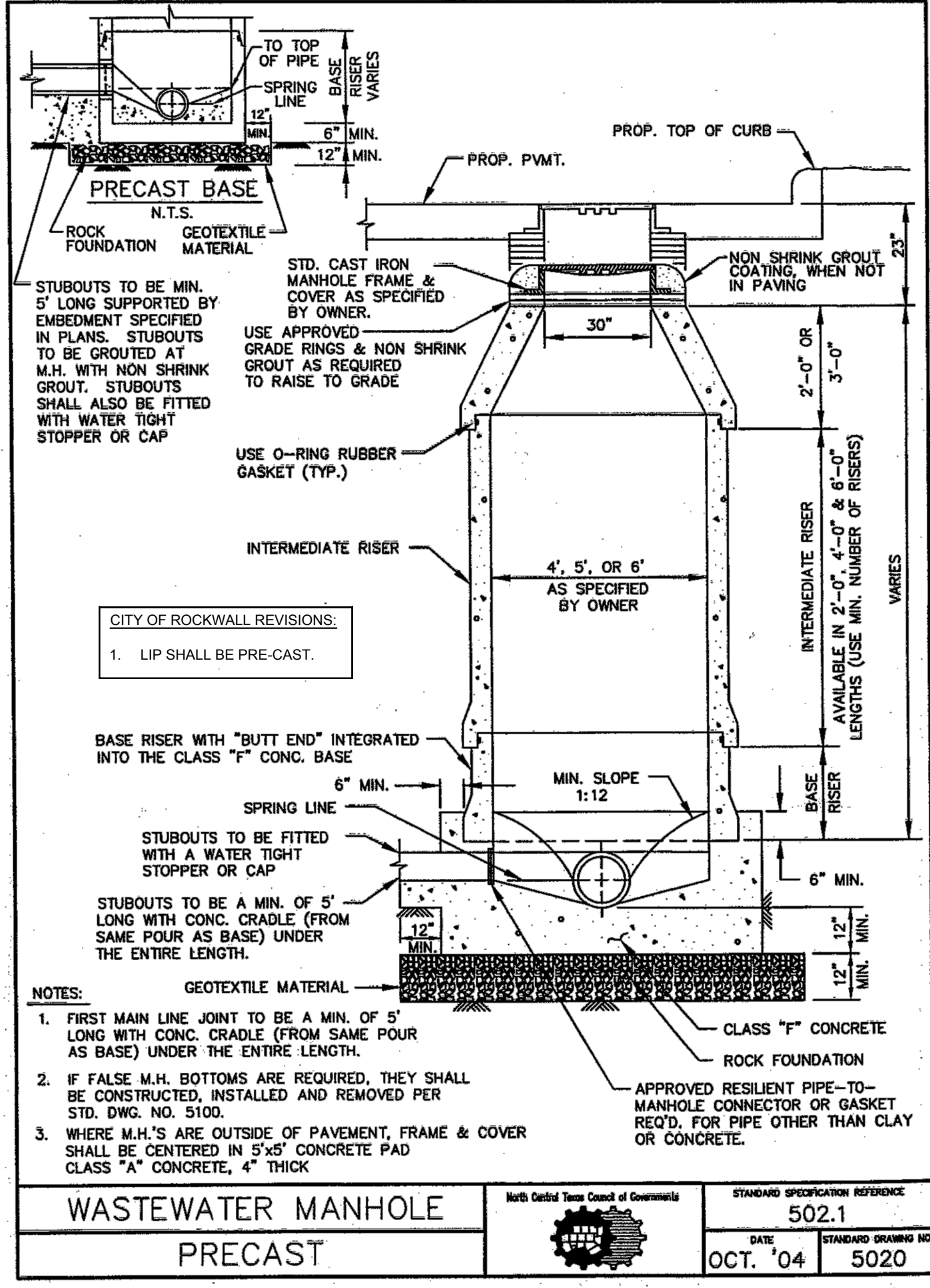
PROJECT No. 092832013
DATE: 06/22/2018
SCALE: AS SHOWN
DESIGNED BY: JCK
DRAWN BY: RCL
CHECKED BY: JCK

SHEET NUMBER
C7.0

NO.	REVISIONS	DATE	BY

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RETAIL
ROCKWALL MARKET CENTER EAST
E INTERSTATE 30
CITY OF ROCKWALL, TX
SHEET NUMBER
C7.1

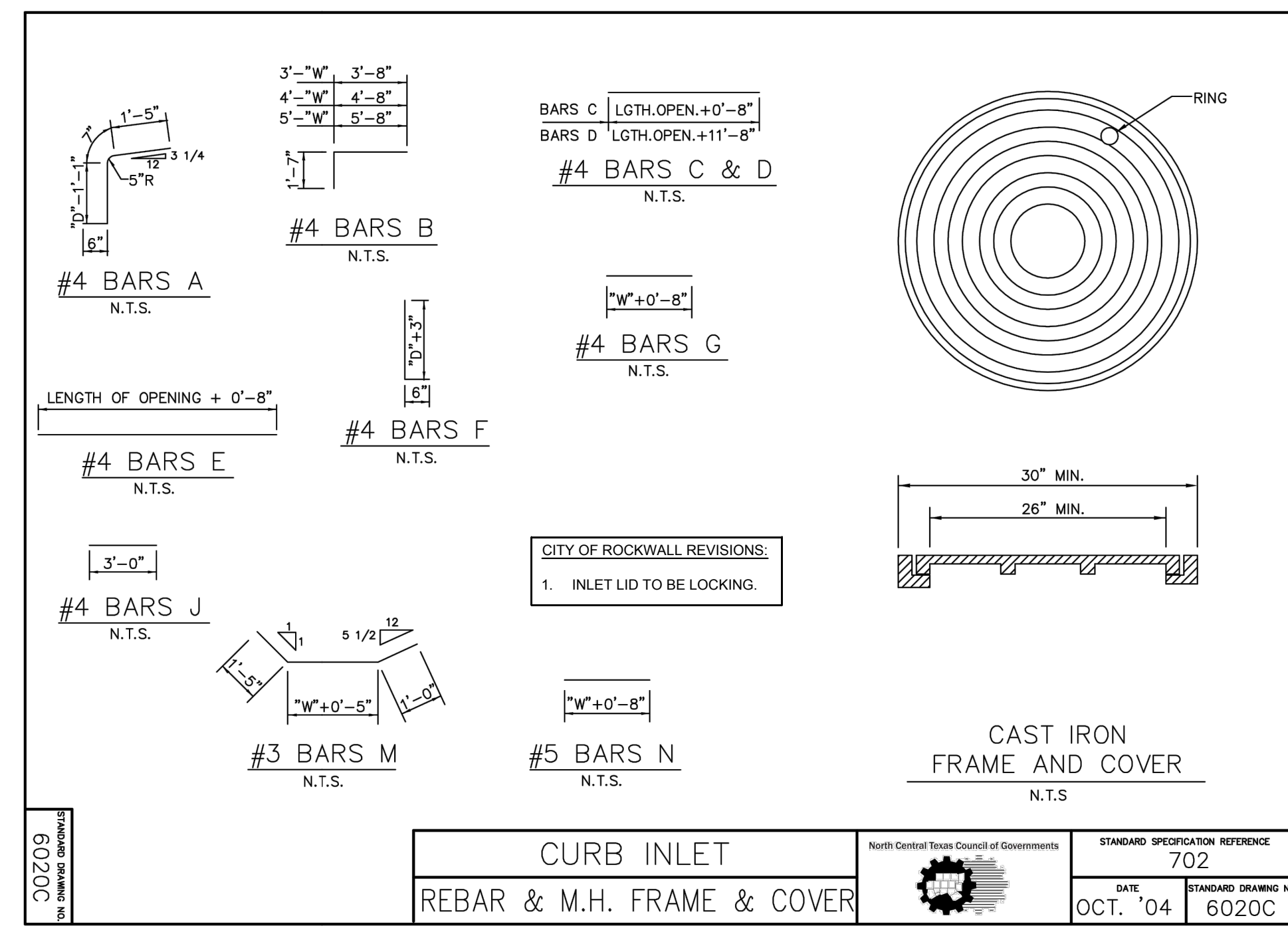
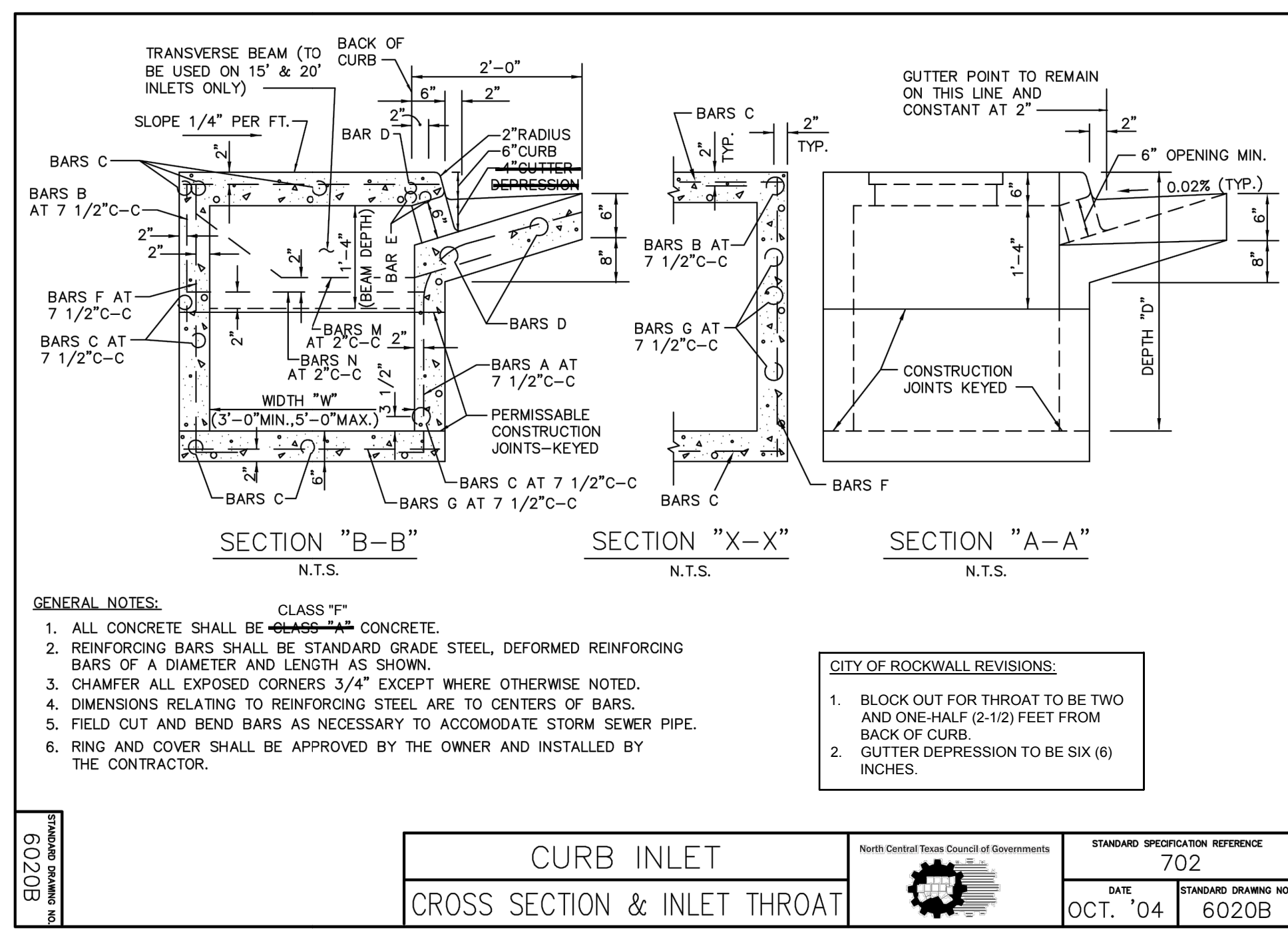
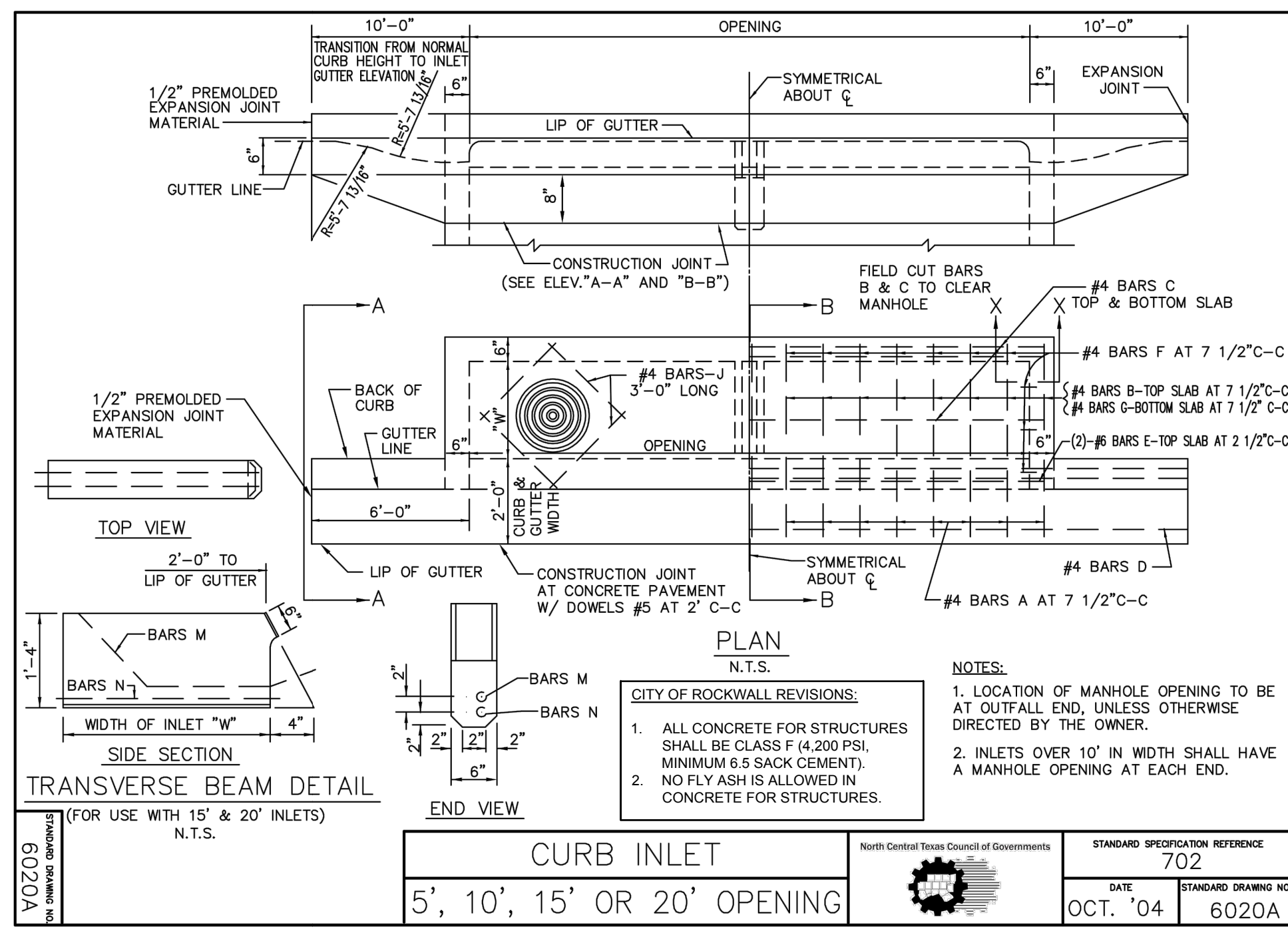
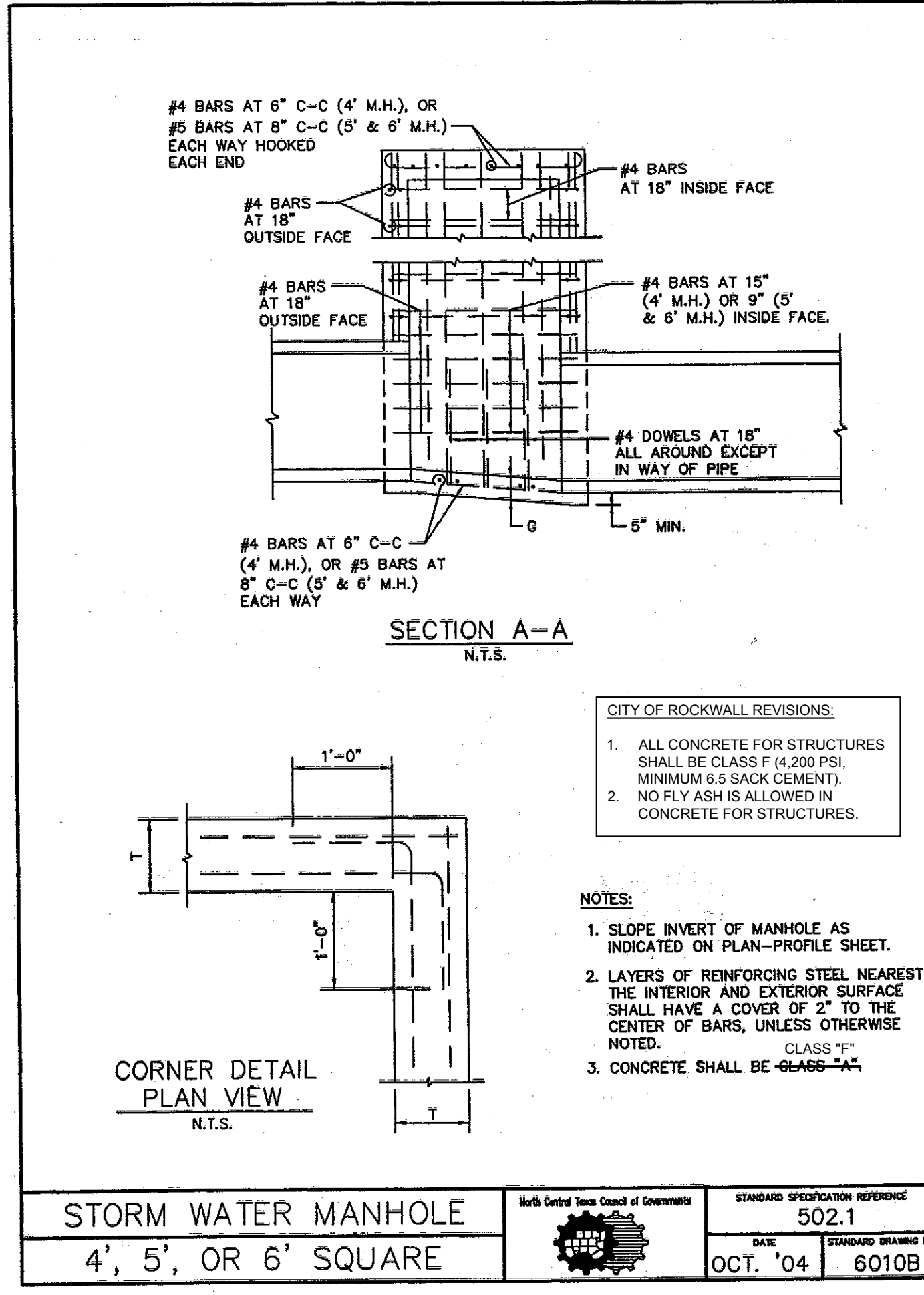
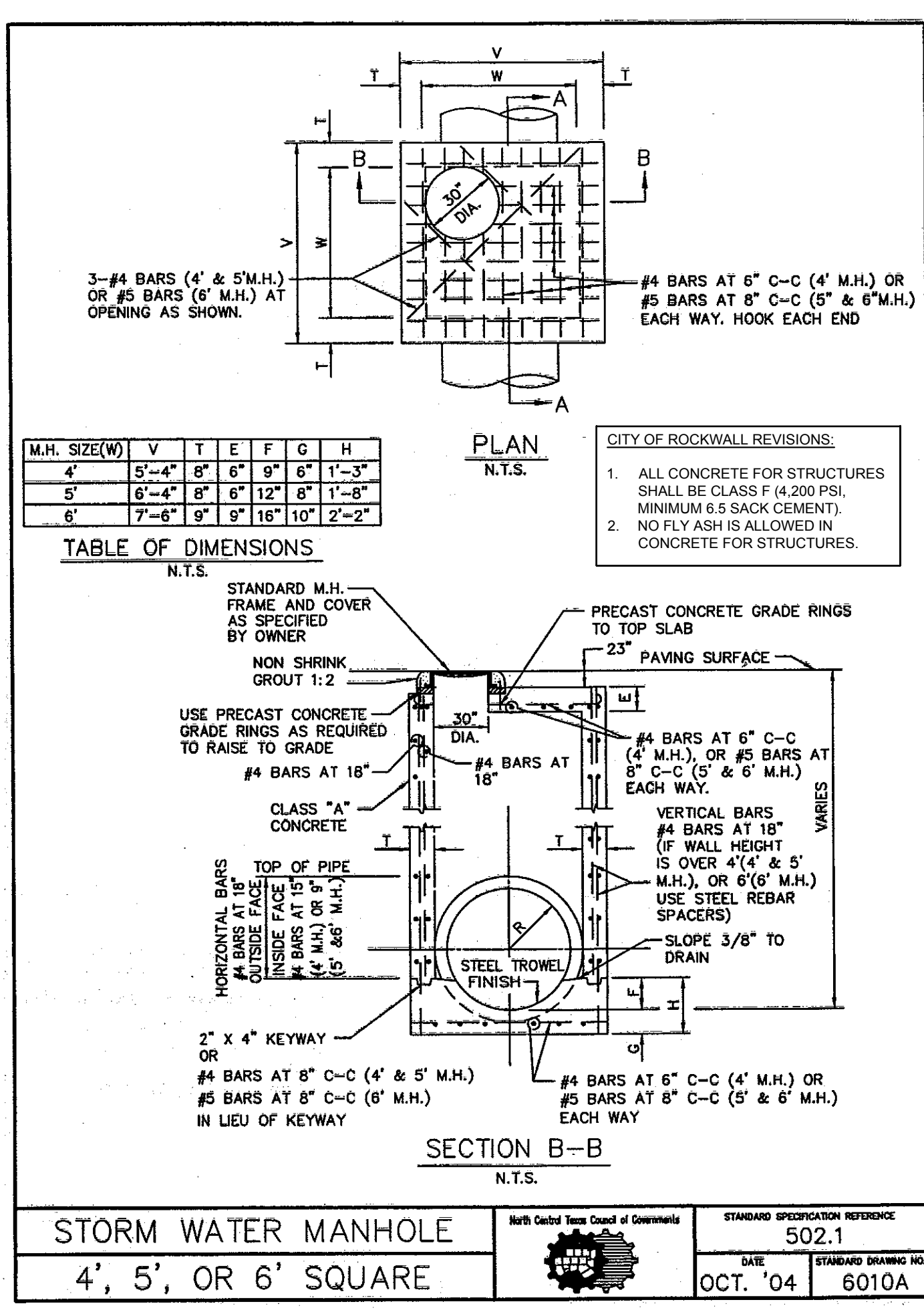
PROJECT No.	06222018
DATE:	06/22/2018
SCALE:	AS SHOWN
DESIGNED BY:	JCK
DRAWN BY:	RCL
CHECKED BY:	JCK

CONSTRUCTION DETAILS

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DEPTH "D"	BILL OF REINFORCING STEEL																														
	OPENING LENGTH "L" = 5 ft							OPENING LENGTH "L" = 10 ft							OPENING LENGTH "L" = 15 ft							OPENING LENGTH "L" = 20 ft									
	ALL AND LENGTHS	Widths "W"			Widths "W"				Widths "W"			Widths "W"				Widths "W"			Widths "W"												
3'-6"	17	3	2	4	20	24	28	10	10	20	28	32	36	18	18	28	36	40	44	26	26	36	2	2	44	48	34	44	2	2	
3'-9"	18									20						28					36									44	
4'-0"	19									24						32					40									48	
4'-3"	19									24						32					40									48	
4'-6"	21									26						34					42									50	
4'-9"	21									26						34					42									50	
5'-0"	21									26						34					42									50	
5'-3"	23									28						36					44									52	
5'-6"	23									28						36					44									52	
5'-9"	25									30						38					46									54	
6'-0"	25									30						38					46									54	
6'-3"	26									30						38					46									54	
6'-6"	27									32						40					48									56	
6'-9"	27									32						40					48									56	
7'-0"	29									34						42					50									58	
7'-3"	29									34						42					50									58	
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8'-6"	33									38						46					54									62	
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9'-0"	35									40						48					56									64	
9'-3"	36									40						48					56									64	
9'-6"	37									42						50					58									66	
10'-0"	38									42						50					58									66	

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PHONE: 972.414.8950 FAX: 972.414.8950
TEXAS REGISTERED ENGINEERS FIRST 928

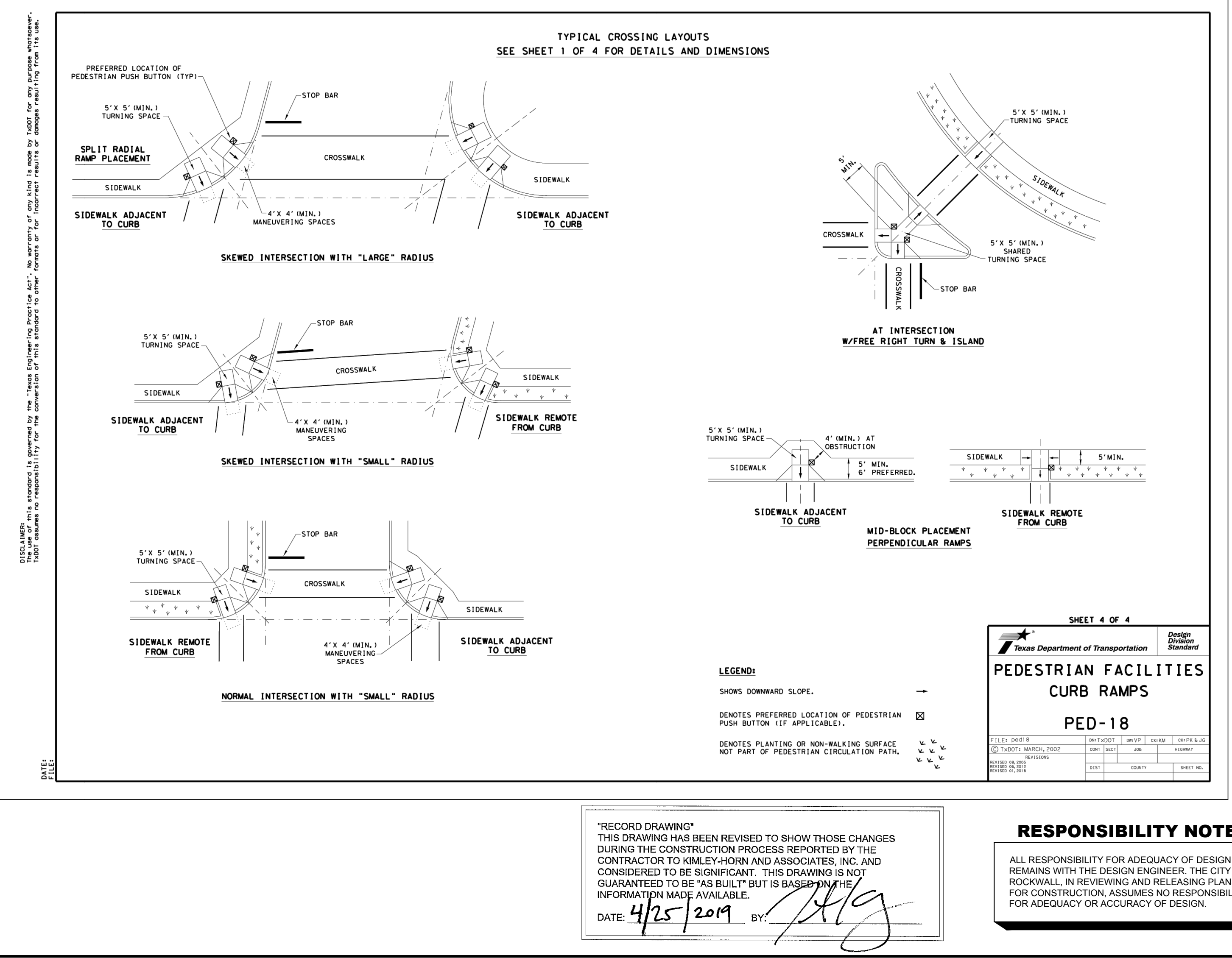
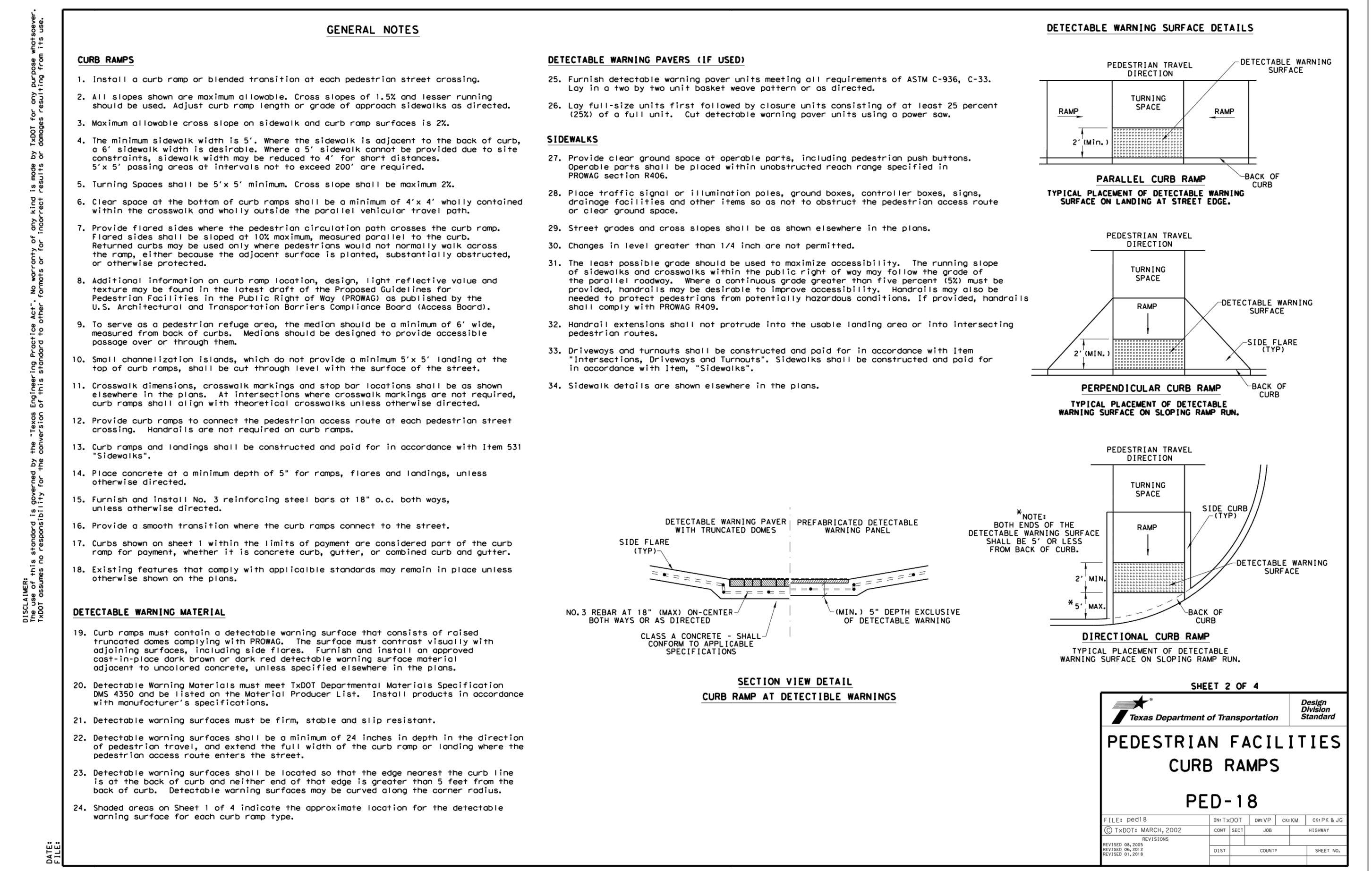
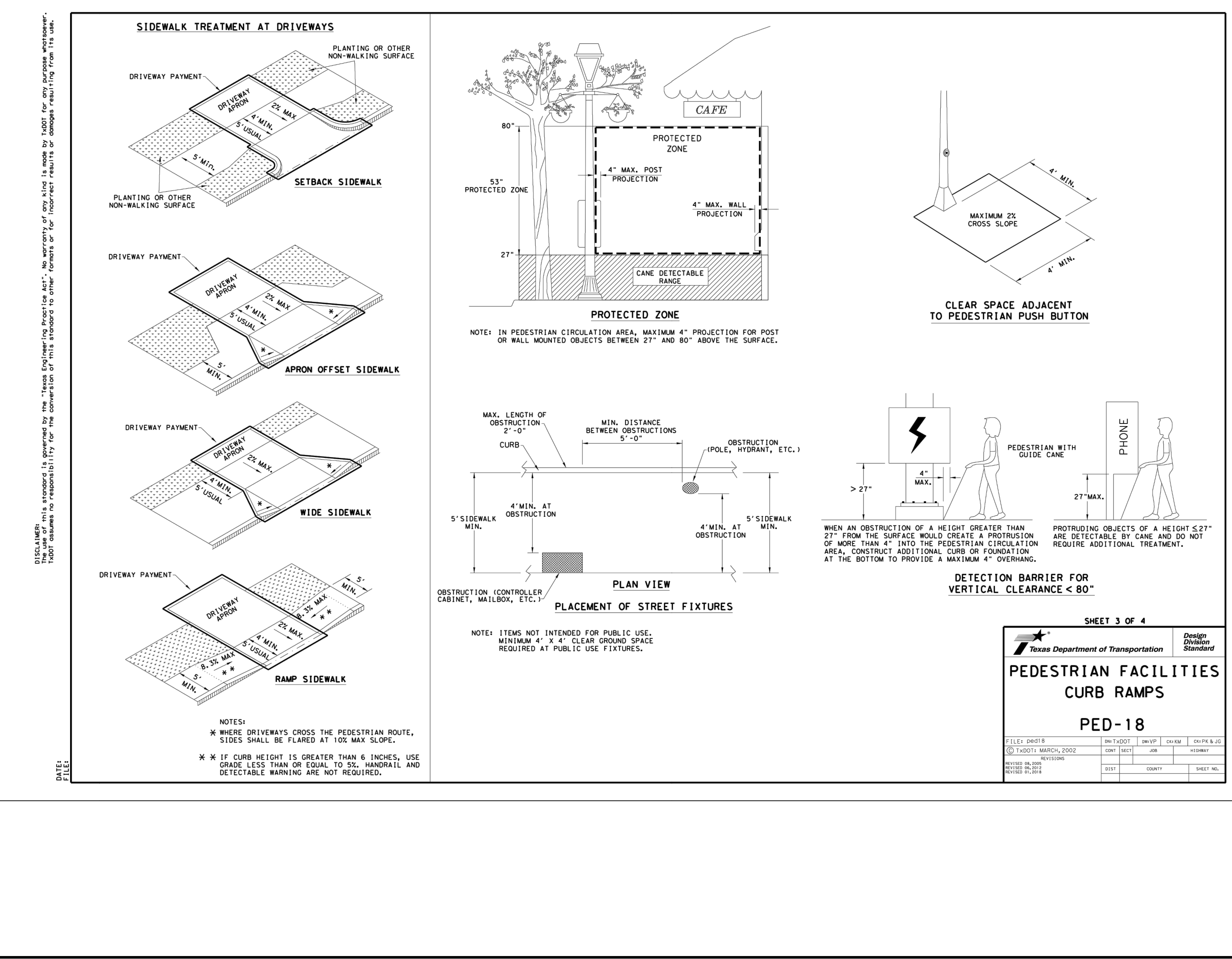
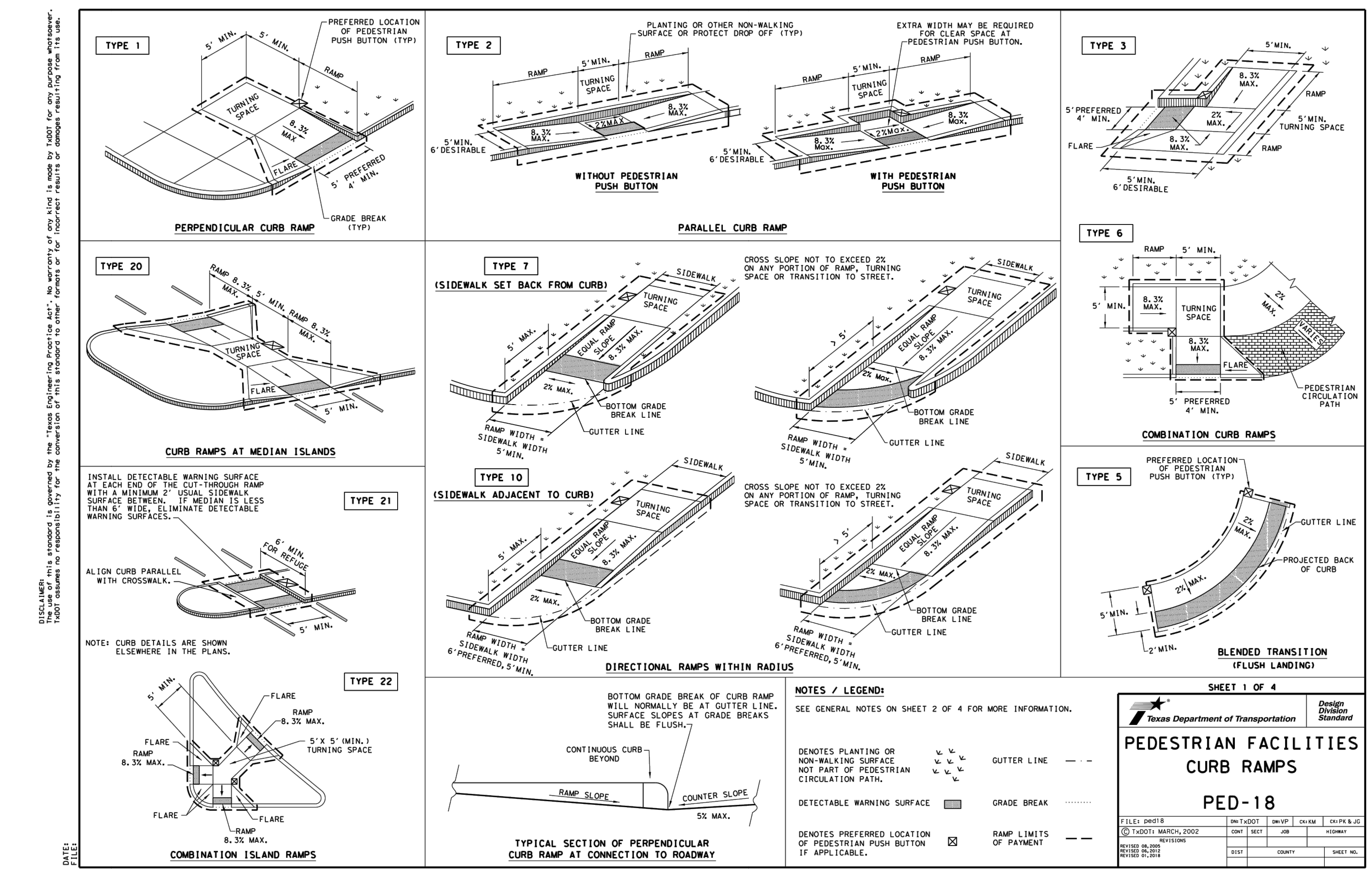
CONSTRUCTION DETAILS

PROJECT No. 09292013
DATE: 09/22/2018
SCALE: AS SHOWN
DESIGNED BY: JCK
DRAWN BY: RCL
CHECKED BY: JCK

RETAIL
ROCKWALL MARKET CENTER EAST
E INTERSTATE 30
CITY OF ROCKWALL, TX

SHEET NUMBER
C7.2

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PROJECT NO: 09292013
 DATE: 08/22/2018
 SCALE: AS SHOWN
 DESIGNED BY: JCK
 DRAWN BY: RCL
 CHECKED BY: JCK

RECORD DRAWING
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 CITY OF ROCKWALL, TX

CONSTRUCTION
 DETAILS

PEDESTRIAN FACILITIES
 CURB RAMPS
 PED-18

PEDESTRIAN FACILITIES
 CURB RAMPS
 PED-18

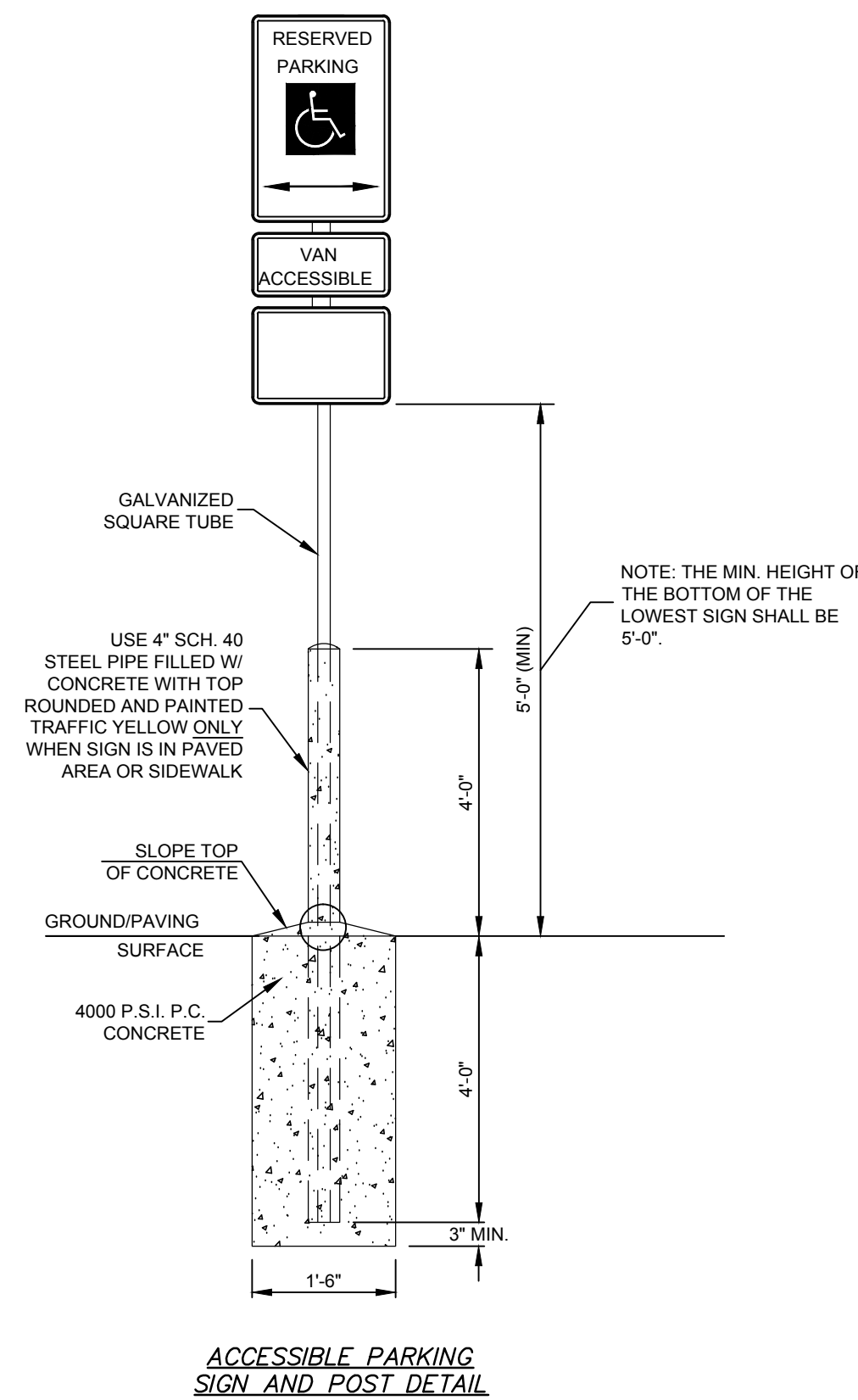
PEDESTRIAN FACILITIES
 CURB RAMPS
 PED-18

PEDESTRIAN FACILITIES
 CURB RAMPS
 PED-18

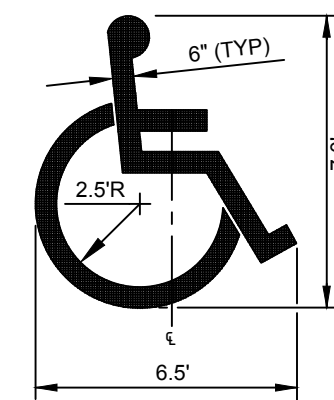
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 13405 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 972.968.8800
 TEXAS REGISTERED ENGINEERS: FR14928

Kimley-Horn

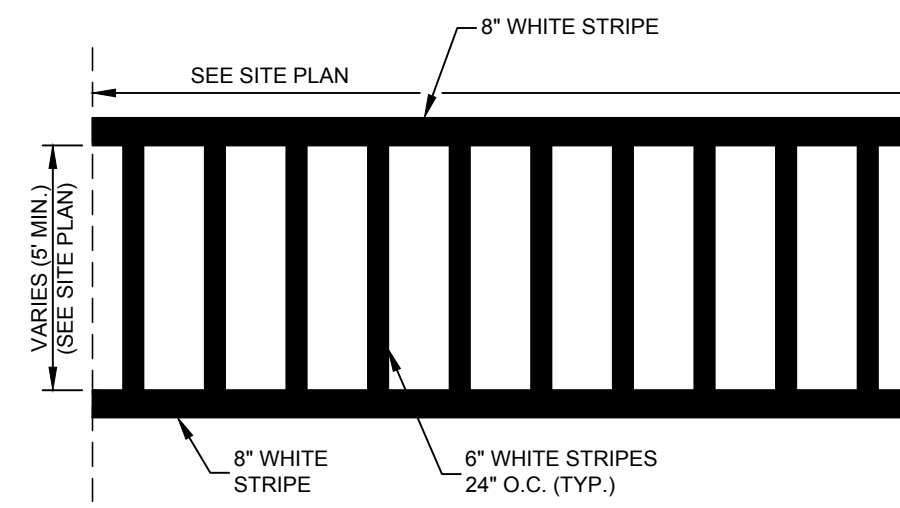
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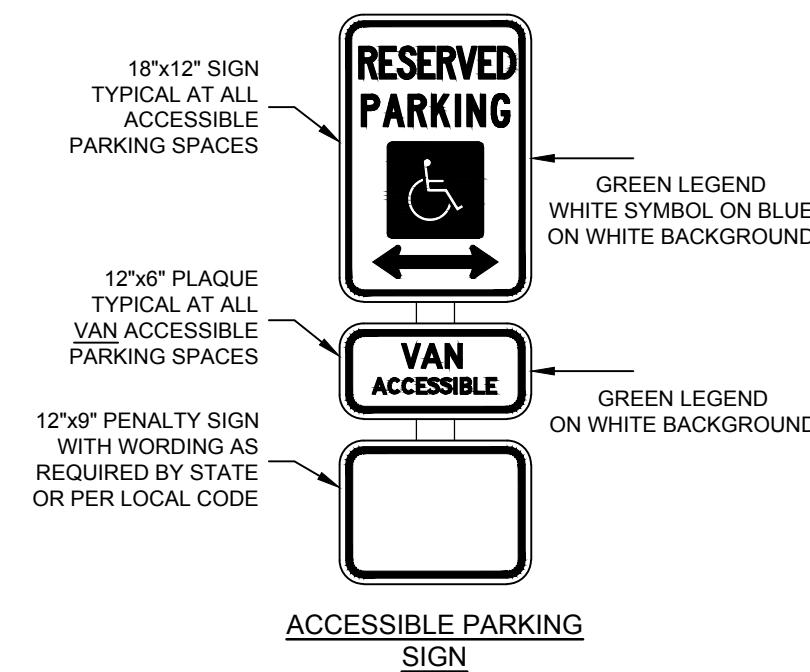
NOTES:
 GALVANIZED SQUARE TUBE
 POST TUBES - 2"x2"x1/16" 14ga
 POST TUBE SHALL MEET ASTM A1011 GRADE 50.
 POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
 ANCHOR TUBE - 2-1/4"x2-1/4"x3/16" 14ga
 HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
 STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.
 THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 48" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



ACCESSIBLE PARKING SYMBOL
 (LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING)



CROSSWALK MARKING
 W/LONGITUDINAL STRIPES



ACCESSIBLE PARKING SIGN

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 DATE: 4/25/2019 BY: [Signature]

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No.	REVISIONS	DATE	BY

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 DALLAS, TEXAS 75240
 PHONE: 214.343.9899
 TEXAS REGISTERED ENGINEERING FIRM F-928

PROJECT No. 092932013	DATE 06/22/2018	SCALE AS SHOWN	DESIGNED BY JCK	DRAWN BY RCL	CHECKED BY JCK
--------------------------	--------------------	-------------------	--------------------	-----------------	-------------------

**CONSTRUCTION
 DETAILS**

RETAIL
 ROCKWALL MARKET CENTER EAST
 E INTERSTATE 30
 CITY OF ROCKWALL, TX

SHEET NUMBER
C7.4