

CONSTRUCTION PLANS

2040 KRISTY LANE

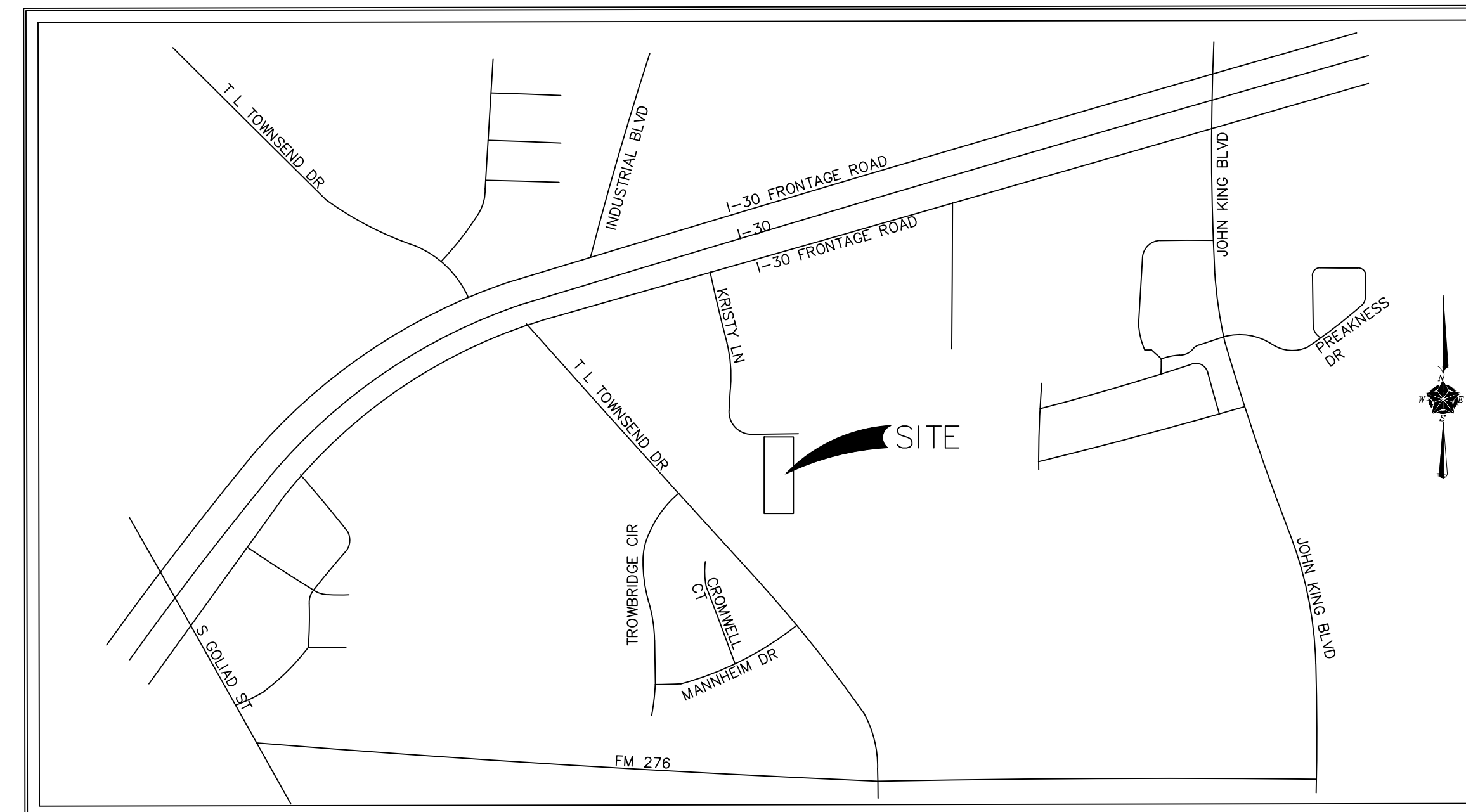
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

GENERAL NOTES (All Disciplines)

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS AND PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC.
3. ALL WORK SHALL CONFORM TO NCTCOG, 4TH EDITION, SPECIFICATIONS AND ANY WORK WITHIN TXDOT RIGHT OF WAY SHALL CONFORM TO TXDOT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE INDICATED ON APPROVED PLANS.
4. IF AN ITEM IS NOT COVERED IN THE CITY OF ROCKWALL SUBDIVISION REGULATIONS, THE CITY ENGINEER'S DECISION SHALL APPLY. IN CASE OF CONFLICT WITH THE CITY OF ROCKWALL SPECIFICATIONS, THE DESIGN ENGINEER SHALL BE NOTIFIED TO PROVIDE CLARIFICATION.
5. CONSTRUCTION INSPECTION MAY BE PERFORMED BY REPRESENTATIVES OF THE OWNER, ENGINEER, GEOTECHNICAL ENGINEER, AND REVIEWING AUTHORITIES AND AGENCIES. UNRESTRICTED ACCESS SHALL BE PROVIDED TO THEM AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND SCHEDULING REQUIRED INSPECTIONS.
6. CERTAIN CONSTRUCTION STAKING MAY BE PERFORMED BY THE OWNER'S ENGINEER. SEE THE CONTRACT DOCUMENTS FOR DETAILS OF THIS SERVICE.
7. IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
9. THE CONTRACTOR MUST CONFINE HIS ACTIVITY TO THE WORK AREA. NO ENCROACHMENTS ONTO ADJACENT PROPERTIES WILL BE ALLOWED UNLESS SPECIFIED IN THE PLANS. ANY DAMAGE RESULTING THEREFROM SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
10. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE TO ADJUST ANY EXISTING OR PROPOSED UTILITIES TO FINISHED GRADE.
11. ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.

INDEX OF PLANS

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AS BUILT DRAWINGS

TO THE BEST OF OUR KNOWLEDGE, ERIC L. DAVIS ENGINEERING INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

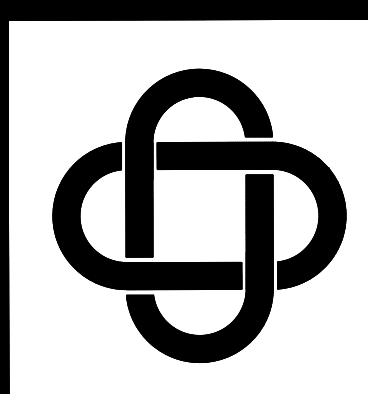
OWNER / DEVELOPER

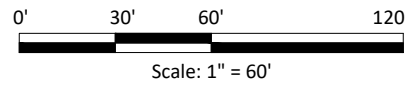
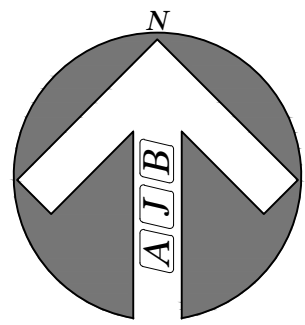
COPPER CANYON HOMES, LLC

PO BOX 1870
ROCKWALL, TX 75088

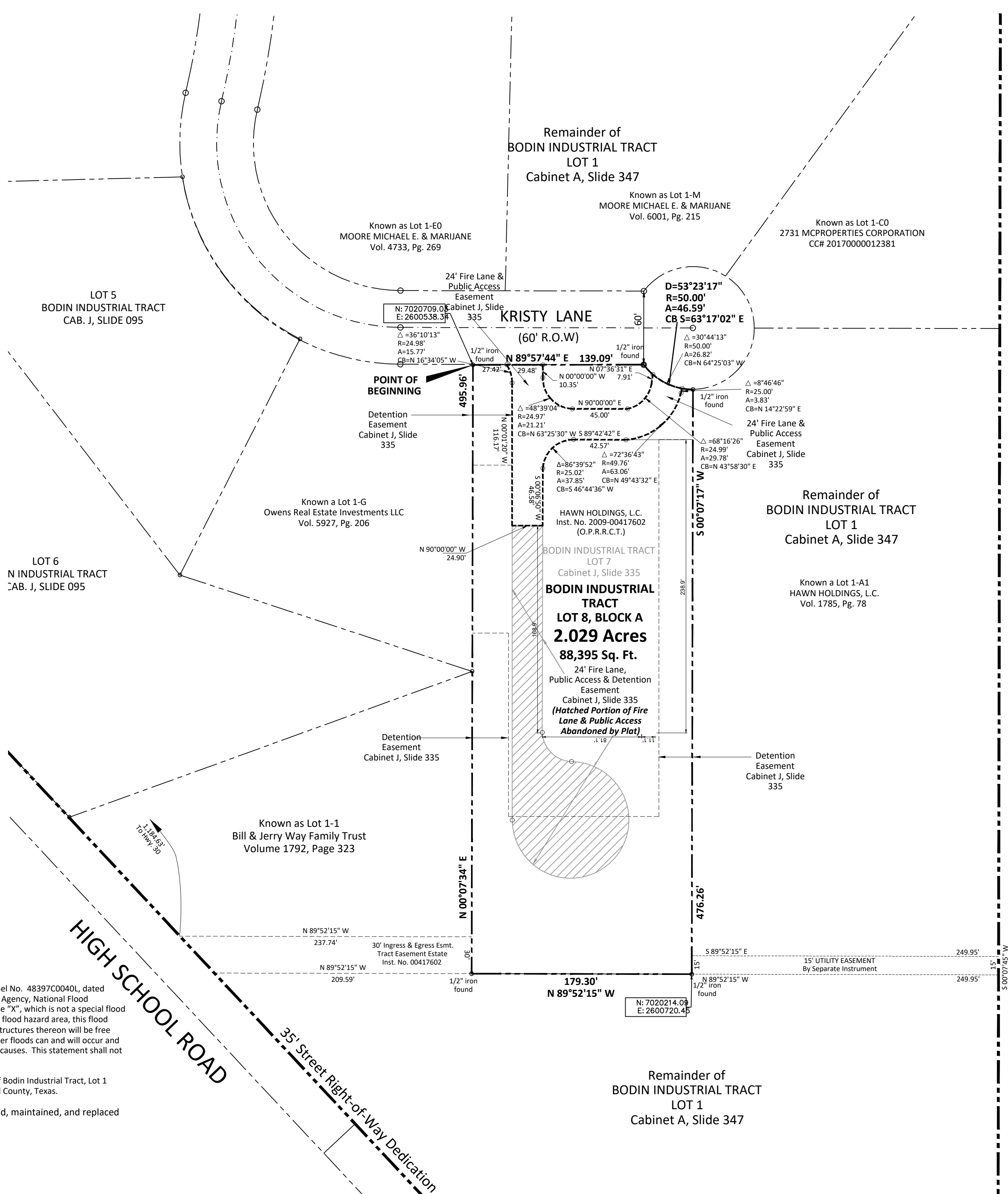
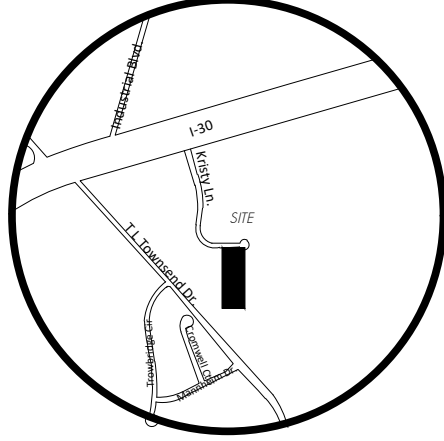
ERIC L. DAVIS ENGINEERING, INC.
F-3987

120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com





Vicinity Map
(Not to Scale)



NOTES:

- FLOOD STATEMENT:** According to Community Panel No. 48397C0040L, dated August 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.
- BASIS OF BEARINGS:** Bearings are based on the Plat of Bodin Industrial Tract, Lot 1 recorded in Cabinet J, Slide 335, Plat Records of Rockwall County, Texas.
- All Drainage/Detention** shall be owned, operated, maintained, and replaced by property owner.

**BODIN INDUSTRIAL TRACT
LOT 8, BLOCK A
2.029 ACRES**

BEING A REPLAT OF LOT 7, BLOCK A
BODIN INDUSTRIAL TRACT
CABINET J, SLIDE 335
2.029 ACRES OR 88,395 SQ. FT.
(1 LOT)
N.M. BALLARD SURVEY, ABSTRACT NO. A-24
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Owner: HAWN HOLDINGS, L.C. Engineer: ERIC L. DAVIS ENGINEERING, INC.
PO BOX 1688 120 EAST MAIN STREET
ROCKWALL, TEXAS 75087 FORNEY, TEXAS 75126

Scale: 1" = 60'	Checked By: A.J. Bedford
Date: July 9, 2019	P.C.: Cryer/Spradling
Technician: Spradling	File: BODIN INDUSTRIAL LOT 7 REPLAT
Drawn By: Bedford	Job No: 636-001
	GF No.

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225, www.ajbedfordgroup.com ajb@ajbedfordgroup.com

Sheet: 1
Of: 2

N:\ALL FILES\JOWERS REAL ESTATE\BODIN INDUSTRIAL LOT 7 REPLAT 2019-08-08.dwg, 2019 REPLAT, 8/15/2019 11:48:35 AM

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS HAWN HOLDING, L.C. are the owners of a 2.029 acre tract of land situated in the N.M. Ballard Survey, Abstract No. A-24 and being all of LOT 7 of BODIN INDUSTRIAL TRACT according to the plat recorded in Cabinet J, Slide 335 of the Plat Records of Rockwall County Texas and being all of Tract 1 (Fee Parcel) conveyed to Hawn Holdings, L.C. according to the deed recorded in Document 2009-00417602 of the Official Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for the northwest corner of said 2.029 acre tract of land and being located in the south line of Kristy Lane (60' wide);

THENCE along the south line of said Kristy Lane, NORTH 89°57'44" EAST a distance of 139.09 feet to a 1/2 inch iron rod found for the beginning of a non-tangent curve to the left having a radius of 50.00 feet and a chord bearing of South 63°17'02" East;

THENCE continuing with the south line of said Kristy Lane with said non-tangent curve to the left through a central angle of 53°23'17" for an arc length of 46.59 feet to a 1/2 inch iron rod found for the northeast corner of said 2.029 acre tract of land;

THENCE departing the south line of said Kristy Lane, SOUTH 00°07'17" WEST a distance of 476.26 feet to a 1/2 inch iron rod found for the southeast corner of said 2.029 acre tract of land;

THENCE NORTH 89°52'15" WEST a distance of 179.30 feet to a 1/2 inch iron rod found for the southwest corner of said 2.029 acre tract of land;

THENCE NORTH 00°07'34" EAST a distance of 495.96 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 2.029 acres or 88,395 square feet of land more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Austin J. Bedford, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Austin J. Bedford
Registered Professional Land Surveyor No. 4132
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087

NOTES:

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- BASIS OF BEARINGS: Bearings are based on the Plat of Bodin Industrial Tract, Lot 1 recorded in Cabinet J, Slide 335, Plat Records of Rockwall County, Texas.
- All Drainage/Detention shall be owned, operated, maintained, and replaced by property owner.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

We, HAWN HOLDINGS, L.C., the undersigned owner of the land shown on this plat, and designated herein as the BODIN INDUSTRIAL TRACT subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the BODIN INDUSTRIAL TRACT subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

- No buildings or structures shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for maintenance, repair, and replacement of the detention/drainage and storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;
- The property owner is responsible for the maintenance, repair, and replacement of the drainage and detention systems and easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

HAWN HOLDING, L.C.

Name: Raymond Jowers
Title: V.P.

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Raymond Jowers, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2019

Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2019.

Mayor, City of Rockwall City Secretary City Engineer

BODIN INDUSTRIAL TRACT
LOT 8, BLOCK A
2.029 ACRES

BEING A REPLAT OF LOT 7, BLOCK A
BODIN INDUSTRIAL TRACT
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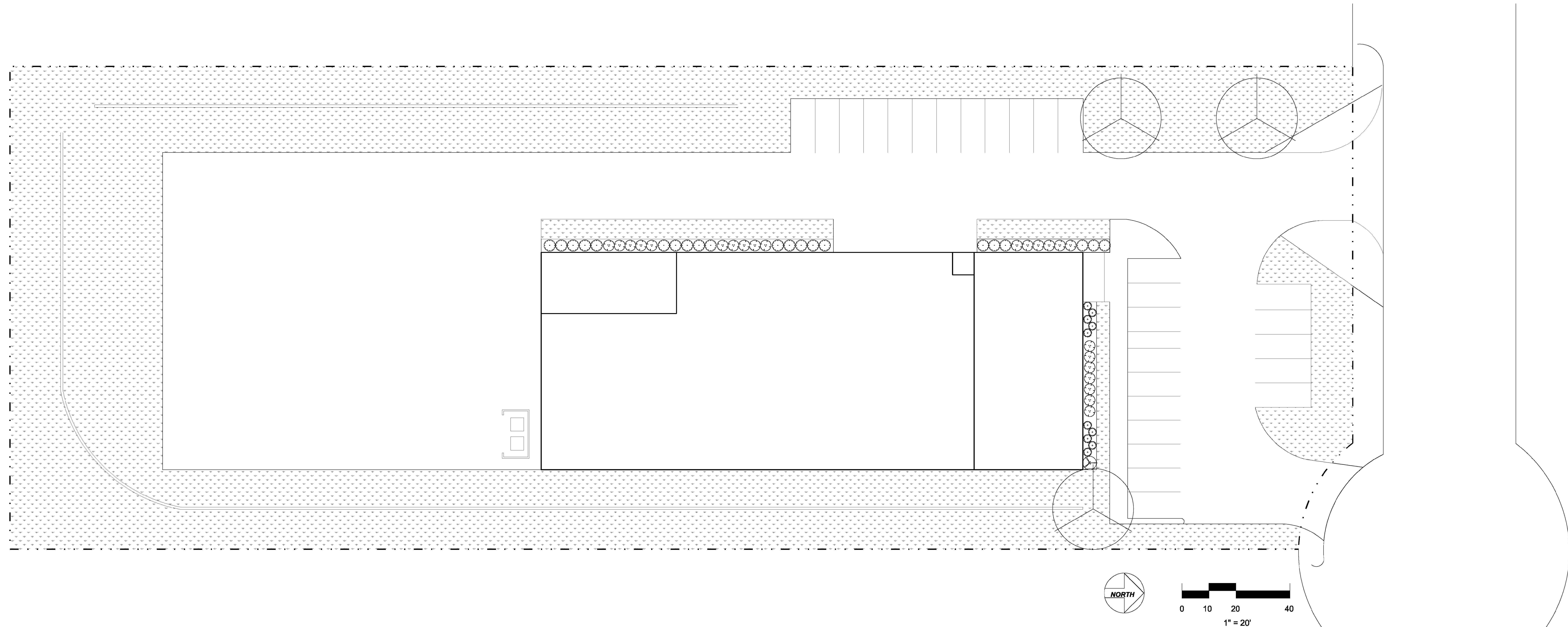
Owner: HAWN HOLDINGS, L.C. Engineer: ERIC L. DAVIS ENGINEERING, INC.
PO BOX 1688 120 EAST MAIN STREET
ROCKWALL, TEXAS 75087 FORNEY, TEXAS 75126

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Date: July 9, 2019
Checked By: A.J. Bedford
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Drawn By: Bedford Job No. 636-001
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Of: 2

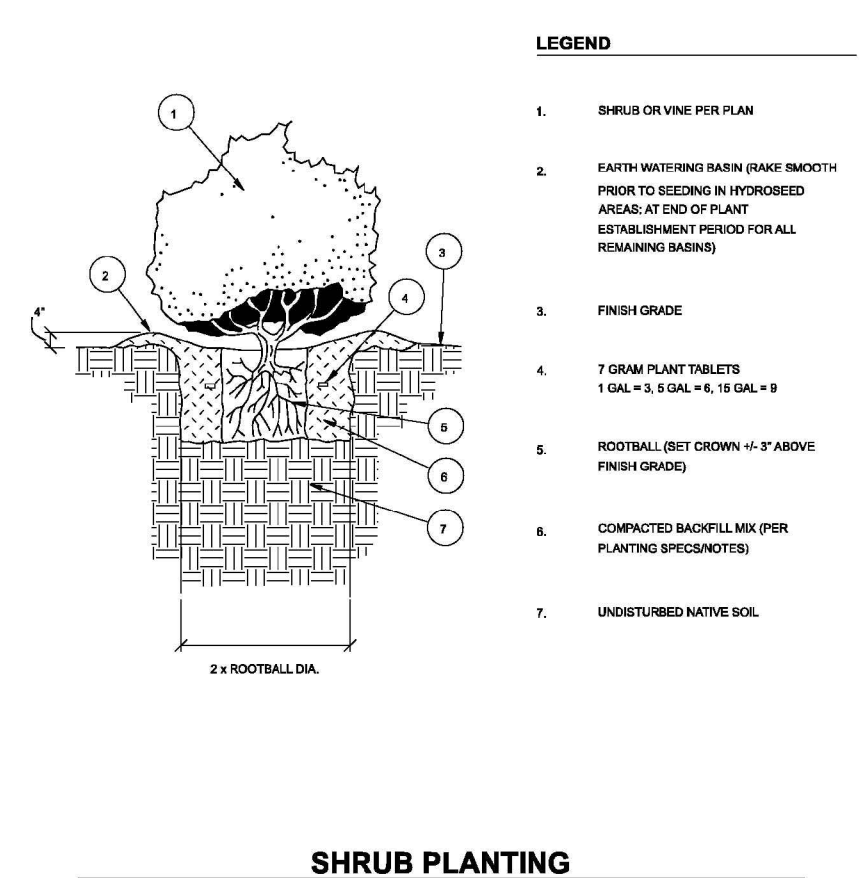
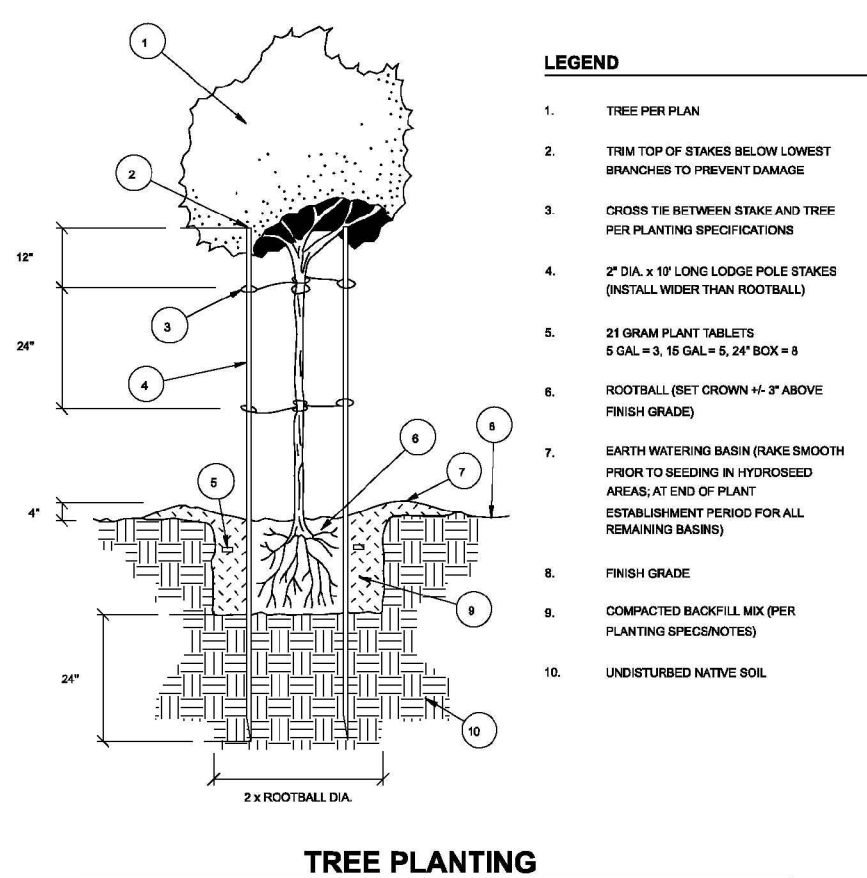




SHEET DESCRIPTION:
Landscape Design

PROJECT:
2040 Kristy Lane
Rockwall, TX 75087

Landscape		
Quantity	Symbol	Description
Shrubs Over 4 Feet		
1		Nellie R. Stevens Holly 3 Gallon
Shrubs Under 4 Feet		
21		Holly, Dwarf Yaupon 3 Gallon
23		Indian Hawthorne 'Clara' 3 Gallon
10		Obsession Nandina 3 Gallon
Trees		
3		Oak, Southern Live 3 IN CAL
Grass		
35,762sf		Bermuda 419



NOTE: NO TREES WITHIN 5' OF PUBLIC UTILITIES

REVISIONS:

DATE:
11/16/17

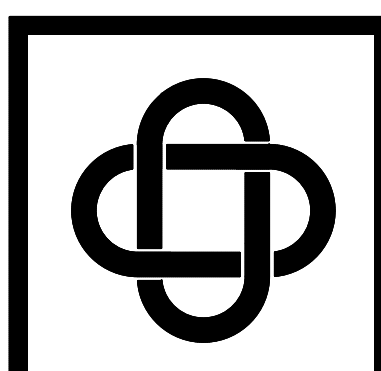
JOB NUMBER:
2040

DRAWN BY:
C Stanford

CHECKED BY:

SCALE:
1" = 20'

SHEET:
1 of 1



ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericadavis@eldengineering.com

DIMENSION CONTROL
ENGINEERED FOR:
2040 KRISTY LANE

BUILDER: WILLIAM ADAIR ARCHITECT	PLAN: DIMENSION CONTROL PLAN
ADDITION:	ELD JOB NO.: DIF17-1086
ADDRESS: 2040 KRISTY LANE	DRAWN BY: JL
LOT: BLOCK:	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TEXAS	

SCALE: 1"=20'

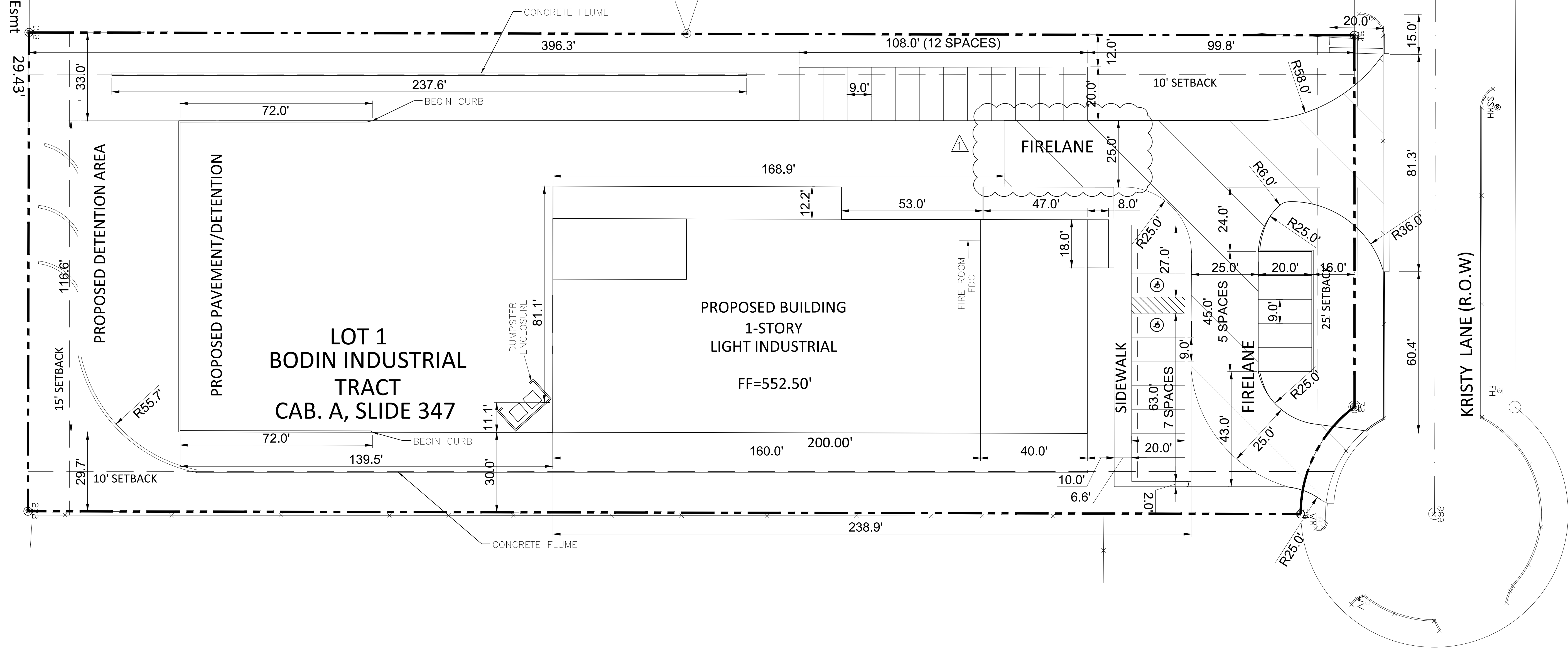
SHEET 05

LOT 6
BODIN INDUSTRIAL
TRACT
CAB. J, SLIDE 095

Known as Lot 1-1
Bill & Jerry Way Family Trust
Volume 1792, Page 323

Known a Lot 1-G
Owens Real Estate
Vol. 5927, Pg. 206

30' Ingress & Egress Smt
29.43'

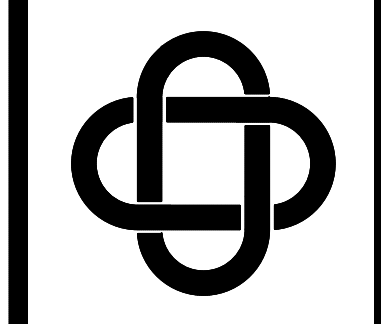


AS BUILT DRAWINGS



*ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS NOTED OTHERWISE
*WHEEL STOPS REQUIRED 2' FROM END OF ALL PARKING SPACES ABUTTING SIDEWALK.

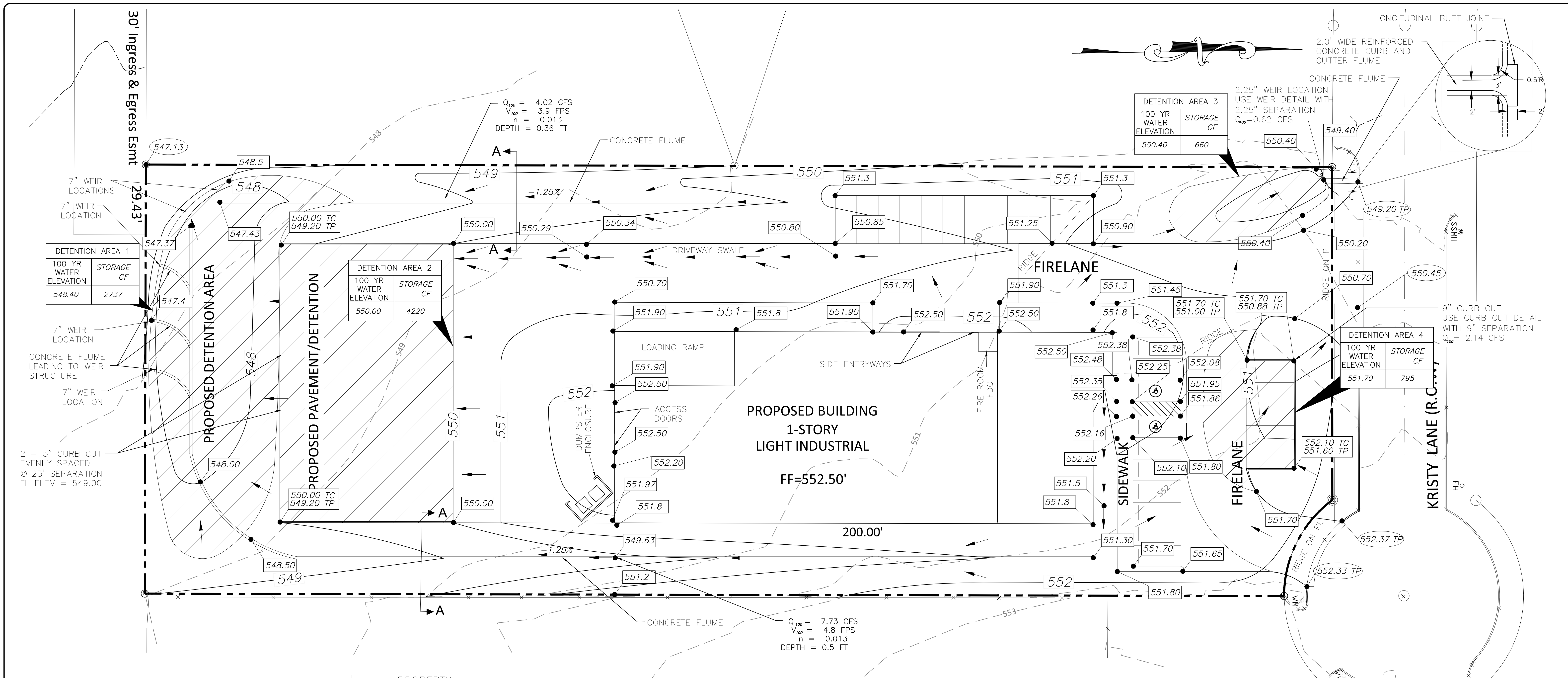
REVISION NOTES
△ 08/07/19 REVISED FIRE LANE



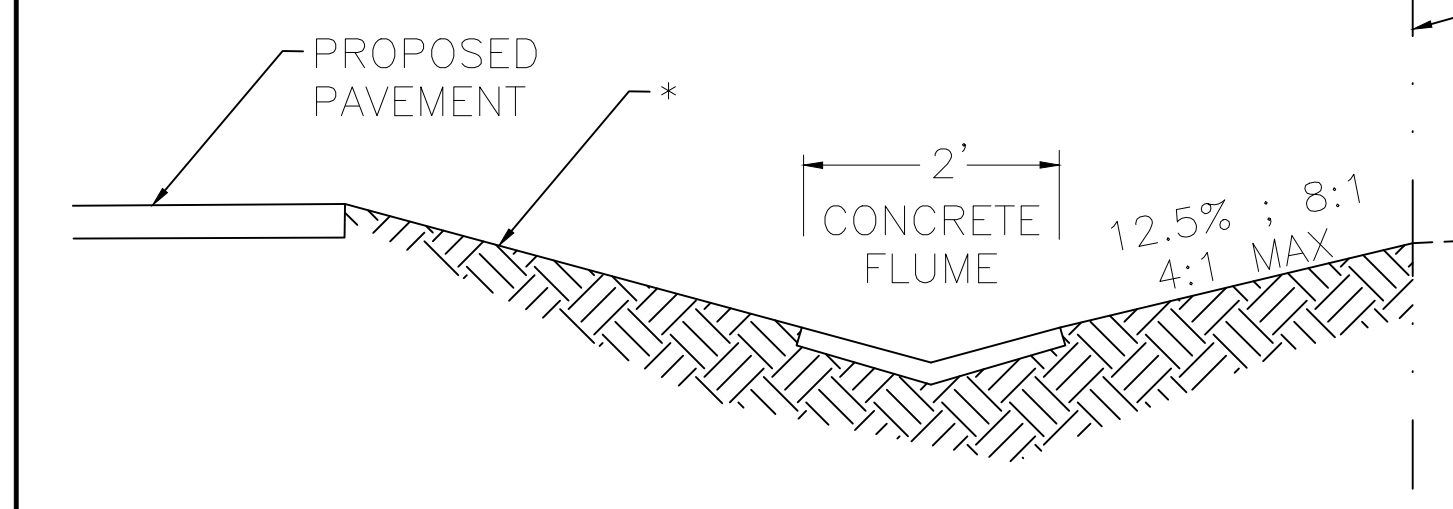
ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericadavis@eldengineering.com

GRADING PLAN
ENGINEERED FOR:
2040 KRISTY LANE

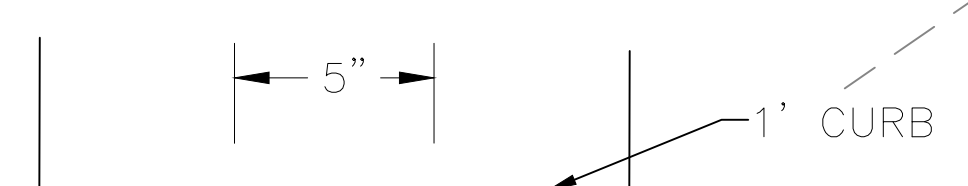
PLAN: GRADING PLAN
ELD JOB NO.: DIF17-1086
DRAWN BY: JL
FIRM REGISTRATION #: 3987
BUILDER: WILLIAM ADAIR ARCHITECT
ADDRESS: 2040 KRISTY LANE
LOT: BLOCK:
CITY: ROCKWALL, TEXAS
SCALE: 1"=20'
SHEET 06



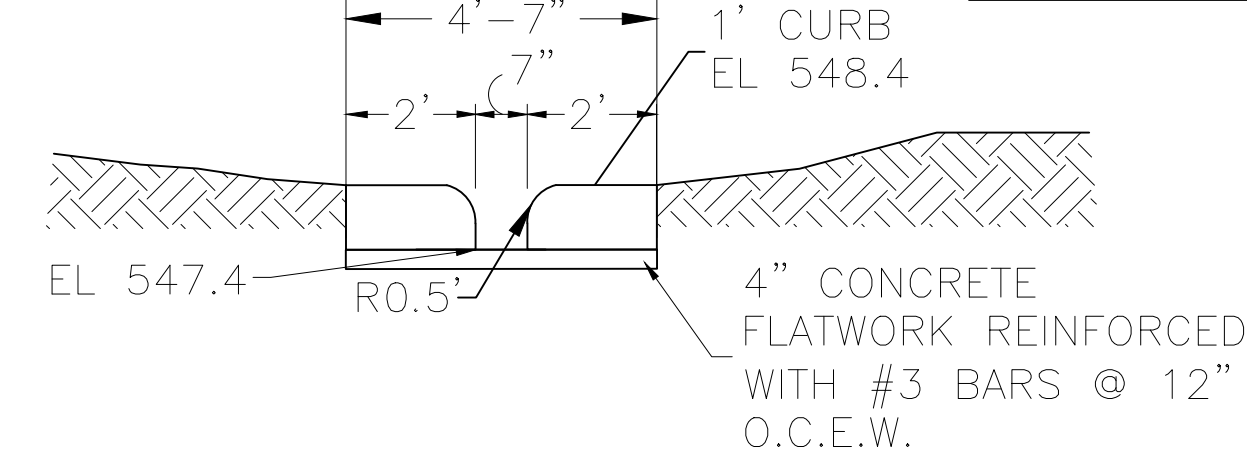
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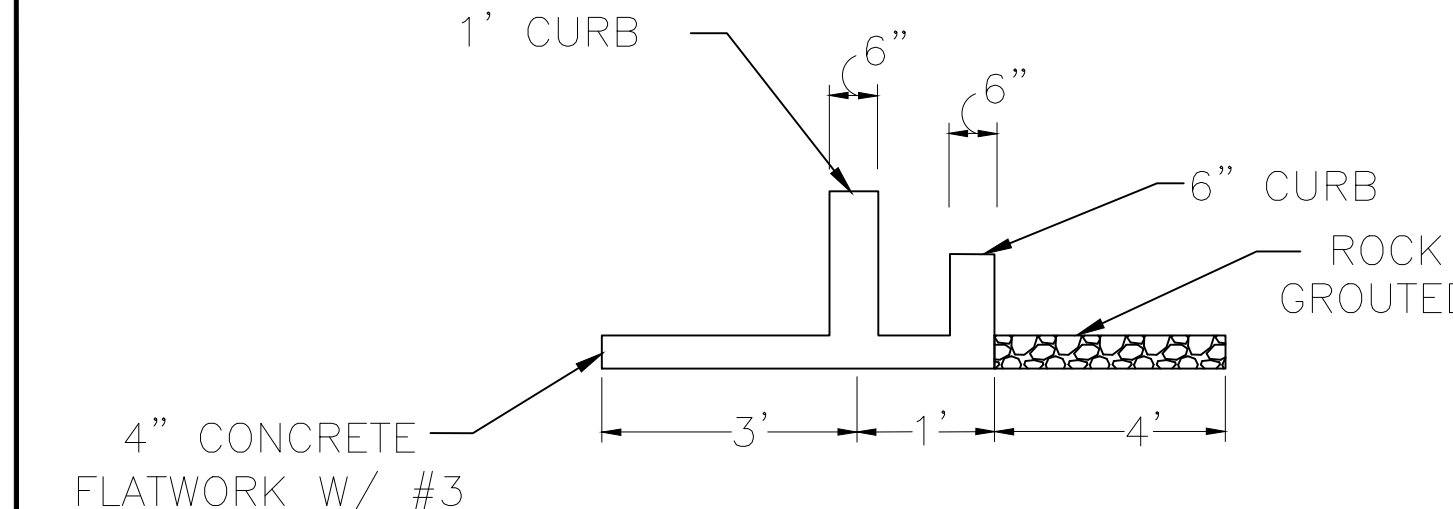
SECTION A-A
N.T.S.



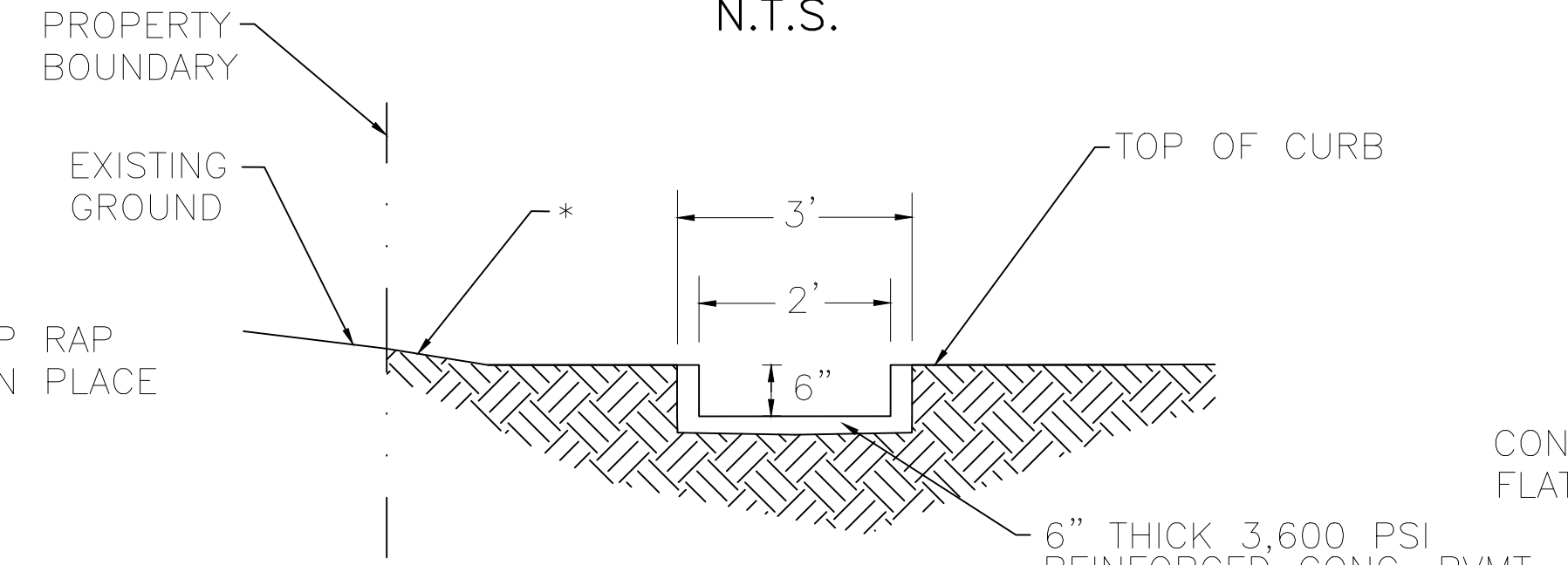
5" CURB CUT DETAIL
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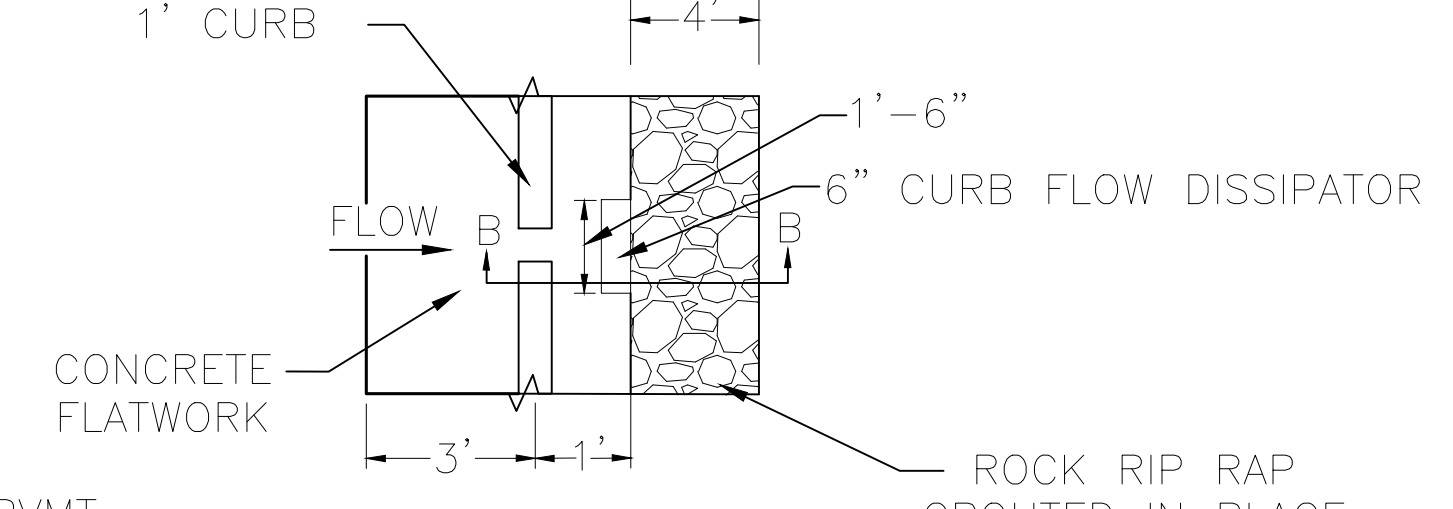
COMPLETE WEIR STRUCTURE
N.T.S.



SECTION B-B
N.T.S.

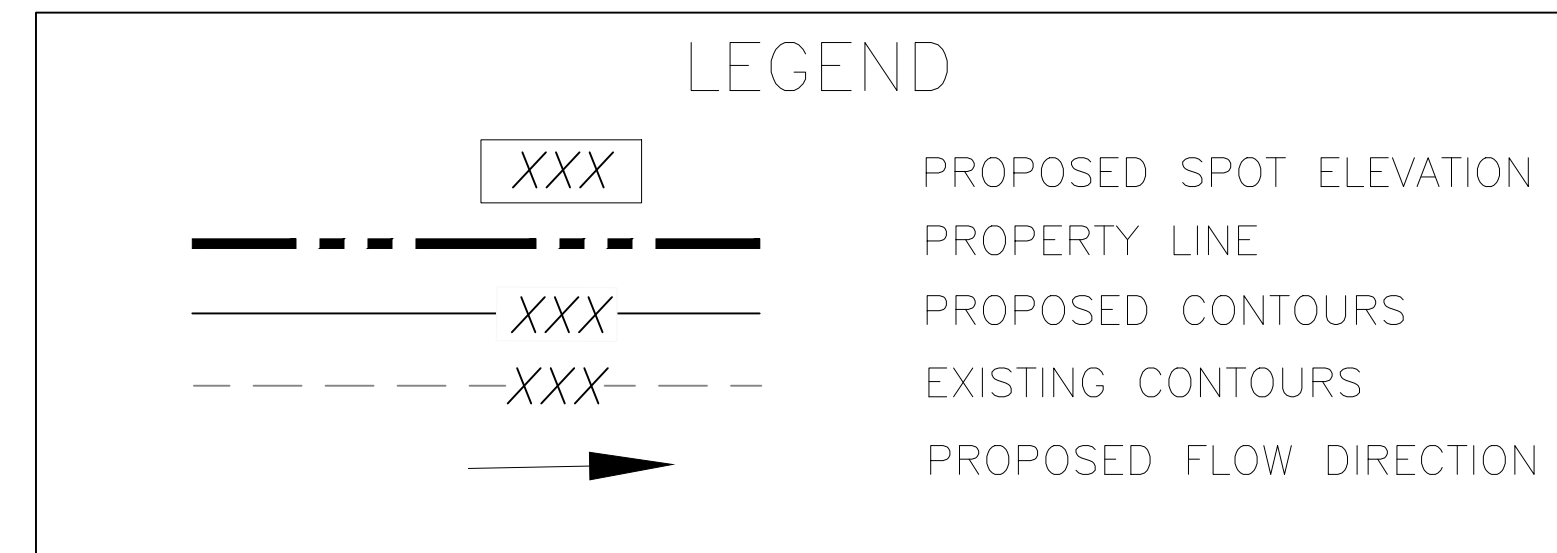
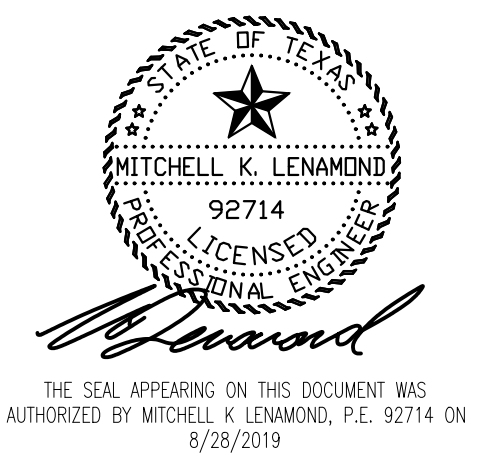


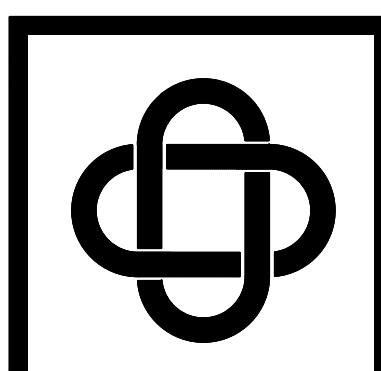
SECTION C-C
N.T.S.



INDIVIDUAL WEIR STRUCTURE
N.T.S.

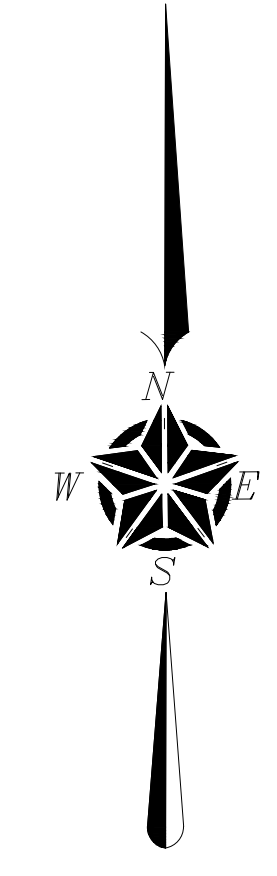
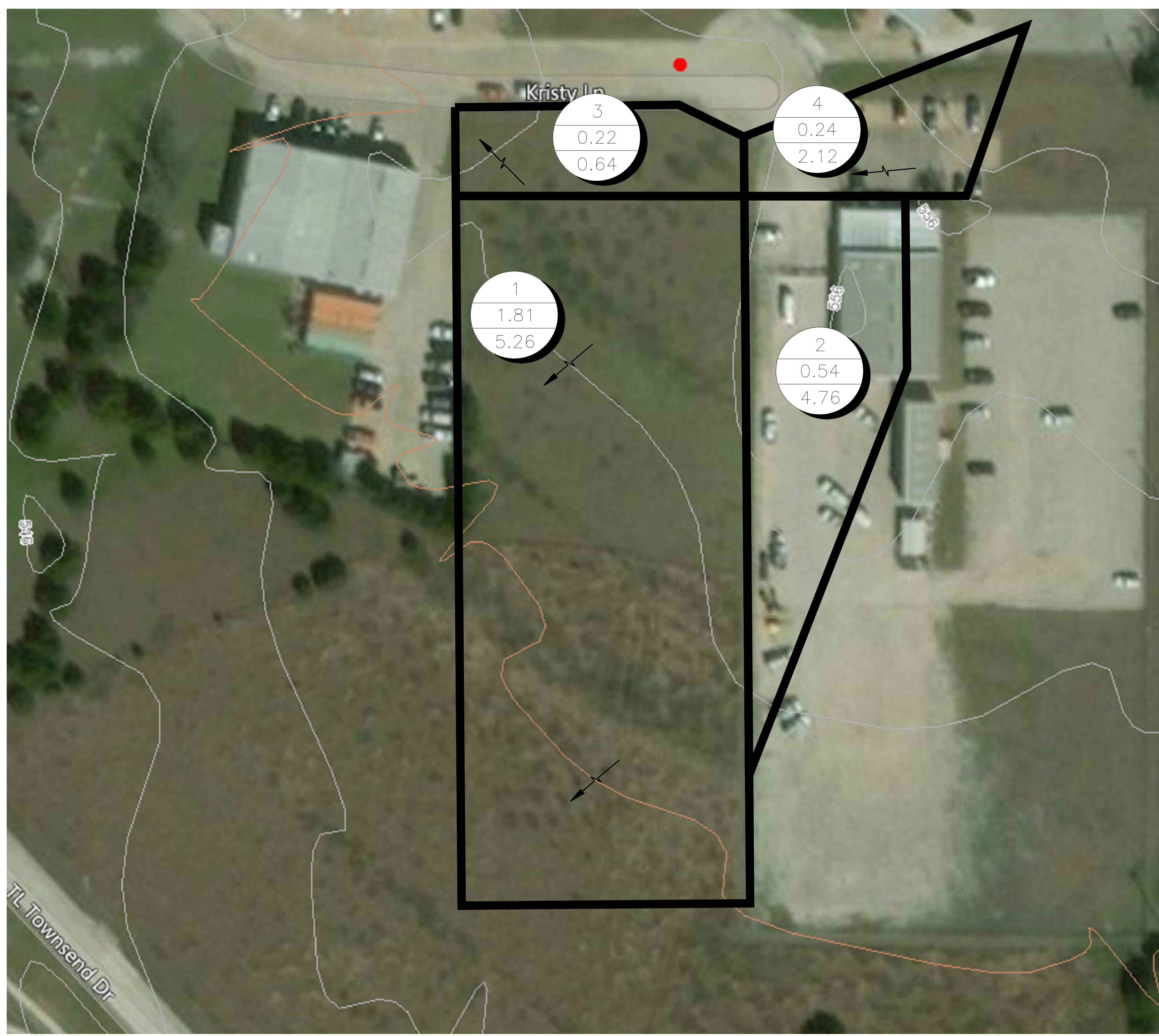
*NOTE: ALL EXPOSED FINISHED GRADE MUST BE STABILIZED WITH HYDROMULCH, SOD, ANCHORED SEEDED CURLEX OR APPROVED EQUIVLENT.





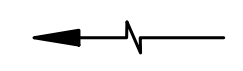
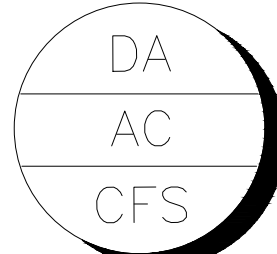
ERIC L. DAVIS ENGINEERING, INC.
 F-3987
 120 East Main Street
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail eric@eldeng.com

EXISTING DRAINAGE AREA MAP
 ENGINEERED FOR:
2040 KRISTY LANE



PRE-DEVELOPMENT DRAINAGE CALCULATIONS

DRAINAGE AREA NO.	AREA ACRES	"C"	Tc MIN.	I ₁₀₀	EXIST Q ₁₀₀ (CFS)
1	1.81	0.35	20	8.3	5.26
2	0.54	0.9	10	9.8	4.76
3	0.22	0.35	20	8.3	0.64
4	0.24	0.9	10	9.8	2.12

 DIRECTION OF FLOW
 DRAINAGE AREA NO.
 AREA (ACRES)
 Q₁₀₀ (CFS)

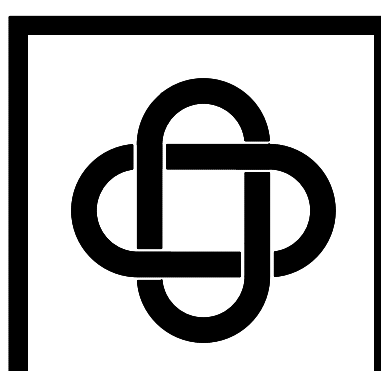
AS BUILT DRAWINGS



BUILDER: WILLIAM ADAIR ARCHITECT
 ADDITION:
 ADDRESS: 2040 KRISTY LANE
 LOT: BLOCK:
 CITY: ROCKWALL, TEXAS
 PLAN: EXISTING DAM PLAN
 ELD JOB NO.: DIF17-1086
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: 1"=40'

SHEET 07



ERIC L. DAVIS ENGINEERING, INC.
 F-3987
 120 East Main Street
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PROPOSED DRAINAGE AREA MAP
 ENGINEERED FOR:
2040 KRISTY LANE

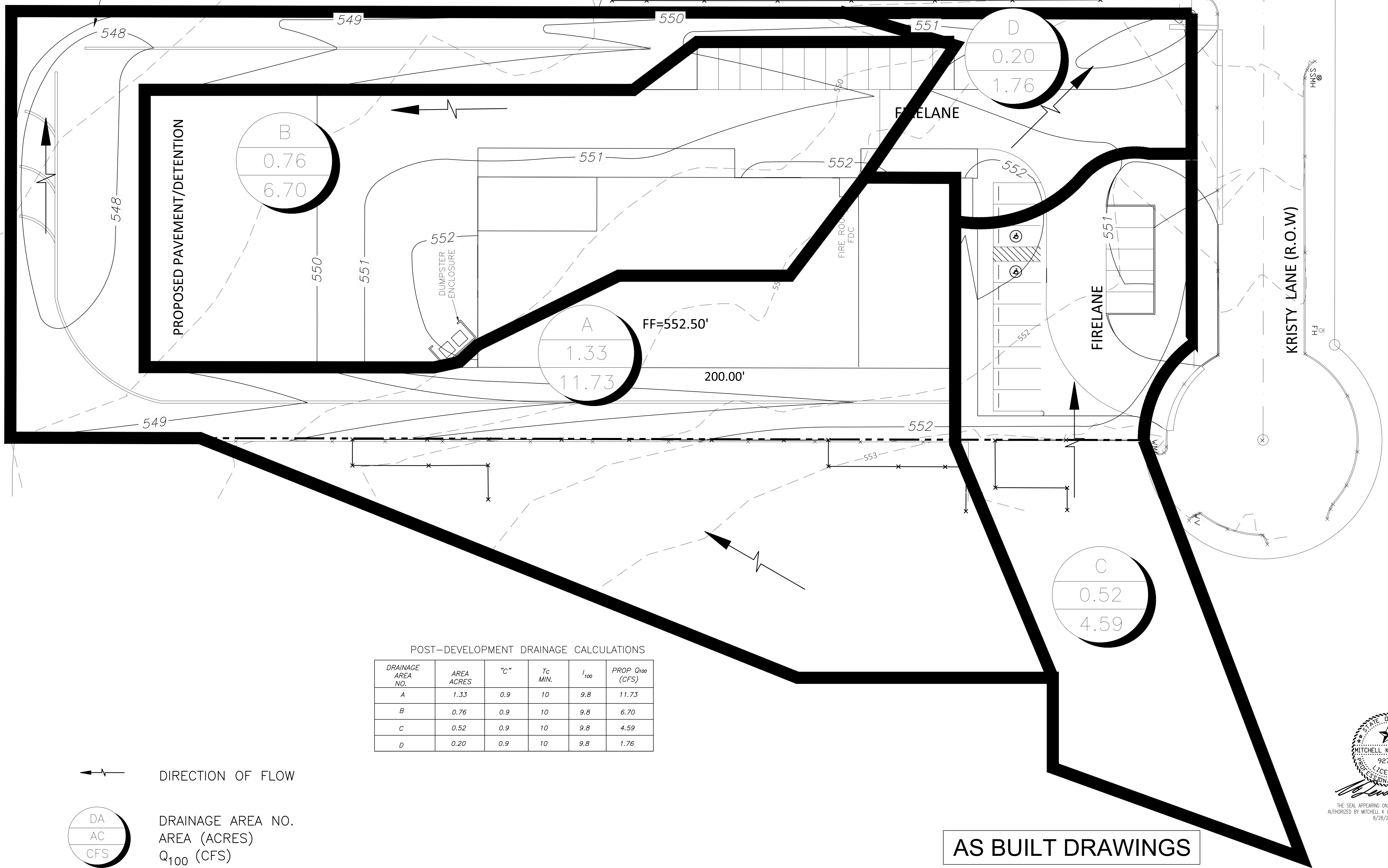
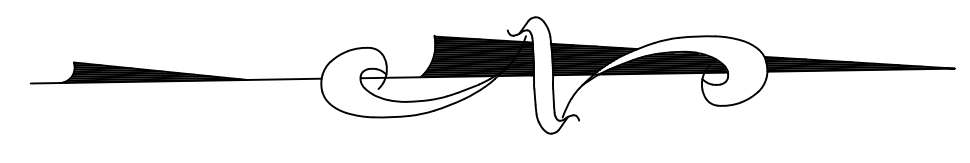
PLAN: PROPOSED DAM PLAN
 ELD JOB NO.: DIF17-1086
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

BUILDER: WILLIAM ADAIR ARCHITECT
 ADDITION:
 ADDRESS: 2040 KRISTY LANE
 LOT: BLOCK:
 CITY: ROCKWALL, TEXAS

SCALE: 1"=20'

SHEET 08

SEE OUTFALL STRUCTURE DETAILS INCLUDING FLOW DISSIPATORS ON GRADING PLAN SHEET NO. 05



POST-DEVELOPMENT DRAINAGE CALCULATIONS

DRAINAGE AREA NO.	AREA ACRES	"C"	Tc MIN.	I ₁₀₀	PROP Q ₁₀₀ (CFS)
A	1.33	0.9	10	9.8	11.73
B	0.76	0.9	10	9.8	6.70
C	0.52	0.9	10	9.8	4.59
D	0.20	0.9	10	9.8	1.76

DIRECTION OF FLOW

DRAINAGE AREA NO.
 AREA (ACRES)
 Q₁₀₀ (CFS)

AS BUILT DRAWINGS



ALLOWABLE DRAINAGE TO SOUTH OF LOT (100 YEAR) = 10.02 CFS

PROPOSED DRAINAGE AREA A (SEE PROPOSED DRAINAGE AREA MAP)

CHECK VARIOUS DURATION STORMS						
	I 100	Q	INFLOW	OUTFLOW	STORAGE	
	IN/HR	CFS	CF	CF	CF	
10 MIN	9.8	14.200	8520	8016	504.12	
15 MIN	9.5	13.766	12389	10020	2368.95	Max <---- Storage Volume Required
20 MIN	8.2	11.882	14258	12024	2234.16	
30 MIN	6.6	9.563	17214	16032	1182.12	
40 MIN	5.5	7.970	19127	20040	-913.20	
50 MIN	4.8	6.955	20866	24048	-3182.40	
60 MIN	4.3	6.231	22431	28056	-5625.48	
70 MIN	3.9	5.651	23735	32064	-8329.38	
80 MIN	3.5	5.072	24343	36072	-11728.80	
90 MIN	3.3	4.782	25821	40080	-14258.82	
100 MIN	3	4.347	26082	44088	-18006.00	
110 MIN	2.8	4.057	26778	48096	-21318.48	

DETENTION AREA 1

	ALLOWABLE	ACTUAL		
	EXIST Q (cfs)	PROPOSED DISCHARGE (cfs)	WATER HEIGHT (ft)	STAGE STORAGE OF POND (cf)
100 YR	10.02	10.02	0.91	2369
25 YR	8.22	8.22	0.76	1605
10 YR	7.19	7.19	0.69	996
5 YR	6.07	6.07	0.62	551

NOTE: DRAINAGE FROM OFFSITE AREA TO EAST FLOWS INTO DETENTION AREA 1. DETENTION VOLUME REQUIRED INCLUDES VOLUME FROM OFFSITE DRAINAGE.

NOTE: ALLOWED DRAINAGE FROM DETENTION AREA 1 AT 100 YEAR STORM EVENT IS 10.02 CFS. PROPOSED DRAINAGE AREA A CONTRIBUTES 11.73 CFS TO DETENTION AREA 1. DETENTION AREA 2 CONTRIBUTES AT A RATE OF 2.47 CFS, MAKING THE TOTAL Q CONTRIBUTION TO DETENTION AREA 1 EQUAL TO 14.20 CFS.

PROPOSED DRAINAGE AREA B (SEE PROPOSED DRAINAGE AREA MAP)

CHECK VARIOUS DURATION STORMS						
	I 100	Q	INFLOW	OUTFLOW	STORAGE	
	IN/HR	CFS	CF	CF	CF	
10 MIN	9.8	6.703	4022	1976	2045.92	
15 MIN	9.5	6.498	5848	2470	3378.20	
20 MIN	8.2	5.609	6731	2964	3766.56	
30 MIN	6.6	4.514	8126	3952	4173.92	Max <---- Storage Volume Required
40 MIN	5.5	3.762	9029	4940	4088.80	
50 MIN	4.8	3.283	9850	5928	3921.60	
60 MIN	4.3	2.941	10588	6916	3672.32	
70 MIN	3.9	2.668	11204	7904	3299.92	
80 MIN	3.5	2.394	11491	8892	2599.20	
90 MIN	3.3	2.257	12189	9880	2308.88	
100 MIN	3	2.052	12312	10868	1444.00	
110 MIN	2.8	1.915	12640	11856	784.32	

DETENTION AREA 2

	EXIST Q (cfs)	PROPOSED DISCHARGE (cfs)	WATER HEIGHT (ft)	STAGE STORAGE OF POND (cf)
100 YR	6.70	2.47	0.91	4174
25 YR	5.68	2.09	0.81	2773
10 YR	4.86	1.79	0.73	2252
5 YR	4.17	1.53	0.66	1841

ALLOWABLE COMBINED DRAINAGE TO KRISTY LANE (100 YEAR) = 2.76 CFS

PROPOSED DRAINAGE AREA C (SEE PROPOSED DRAINAGE AREA MAP)

CHECK VARIOUS DURATION STORMS						
	I 100	Q	INFLOW	OUTFLOW	STORAGE	
	IN/HR	CFS	CF	CF	CF	
10 MIN	9.8	4.586	2752	2568	183.84	
15 MIN	9.5	4.446	4001	3210	791.40	Max <---- Storage Volume Required
20 MIN	8.2	3.838	4605	3852	753.12	
30 MIN	6.6	3.089	5560	5136	423.84	
40 MIN	5.5	2.574	6178	6420	-242.40	
50 MIN	4.8	2.246	6739	7704	-964.80	
60 MIN	4.3	2.012	7245	8988	-1743.36	
70 MIN	3.9	1.825	7666	10272	-2606.16	
80 MIN	3.5	1.638	7862	11556	-3693.60	
90 MIN	3.3	1.544	8340	12840	-4500.24	
100 MIN	3	1.404	8424	14124	-5700.00	
110 MIN	2.8	1.310	8649	15408	-6759.36	

DETENTION AREA 4

	ALLOWABLE	ACTUAL		
	EXIST Q (cfs)	PROPOSED DISCHARGE (cfs)	WATER HEIGHT (ft)	STAGE STORAGE OF POND (cf)
100 YR	2.14	2.14	0.82	791
25 YR	1.75	1.72	0.75	705
10 YR	1.48	1.48	0.68	632
5 YR	1.26	1.26	0.62	564

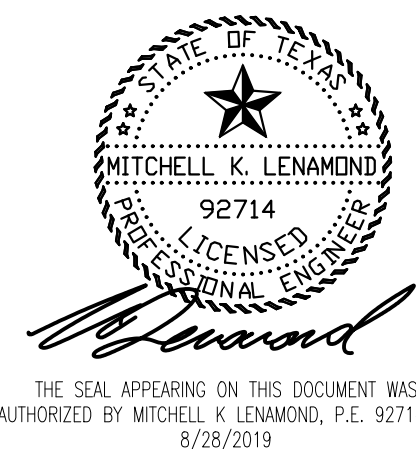
PROPOSED DRAINAGE AREA D (SEE PROPOSED DRAINAGE AREA MAP)

CHECK VARIOUS DURATION STORMS						
	I 100	Q	INFLOW	OUTFLOW	STORAGE	
	IN/HR	CFS	CF	CF	CF	
10 MIN	9.8	1.764	1058	744	314.40	
15 MIN	9.5	1.710	1539	930	609.00	
20 MIN	8.2	1.476	1771	1116	655.20	Max <---- Storage Volume Required
30 MIN	6.6	1.188	2138	1488	650.40	
40 MIN	5.5	0.990	2376	1860	516.00	
50 MIN	4.8	0.864	2592	2232	360.00	
60 MIN	4.3	0.774	2786	2604	182.40	
70 MIN	3.9	0.702	2948	2976	-27.60	
80 MIN	3.5	0.630	3024	3348	-324.00	
90 MIN	3.3	0.594	3208	3720	-512.40	
100 MIN	3	0.540	3240	4092	-852.00	
110 MIN	2.8	0.504	3326	4464	-1137.60	

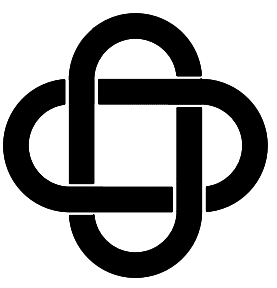
DETENTION AREA 3

	ALLOWABLE	ACTUAL		
	EXIST Q (cfs)	PROPOSED DISCHARGE (cfs)	WATER HEIGHT (ft)	STAGE STORAGE OF POND (cf)
100 YR	0.62	0.62	1.00	655
25 YR	0.50	0.50	0.88	504
10 YR	0.44	0.44	0.81	453
5 YR	0.38	0.38	0.74	416

AS BUILT DRAWINGS



06/05/2018



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E-Mail eric@ericlavisengineering.com

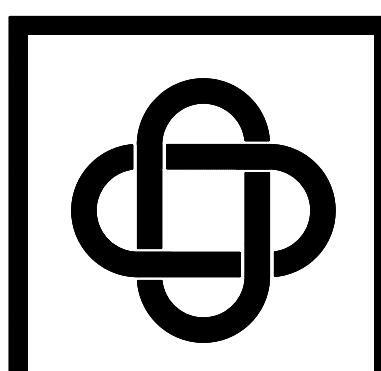
DETENTION PLAN
ENGINEERED FOR:

2040 KRISTY LANE

BUILDER: WILLIAM ADAIR ARCHITECT
ADDITION:
ADDRESS: 2040 KRISTY LANE
LOT: BLOCK:
CITY: ROCKWALL, TEXAS
PLAN: DETENTION PLAN
ELD JOB NO.: DIF17-1086
DRAWN BY: JL
FIRM REGISTRATION #: 3987

SCALE: N/A

SHEET 09



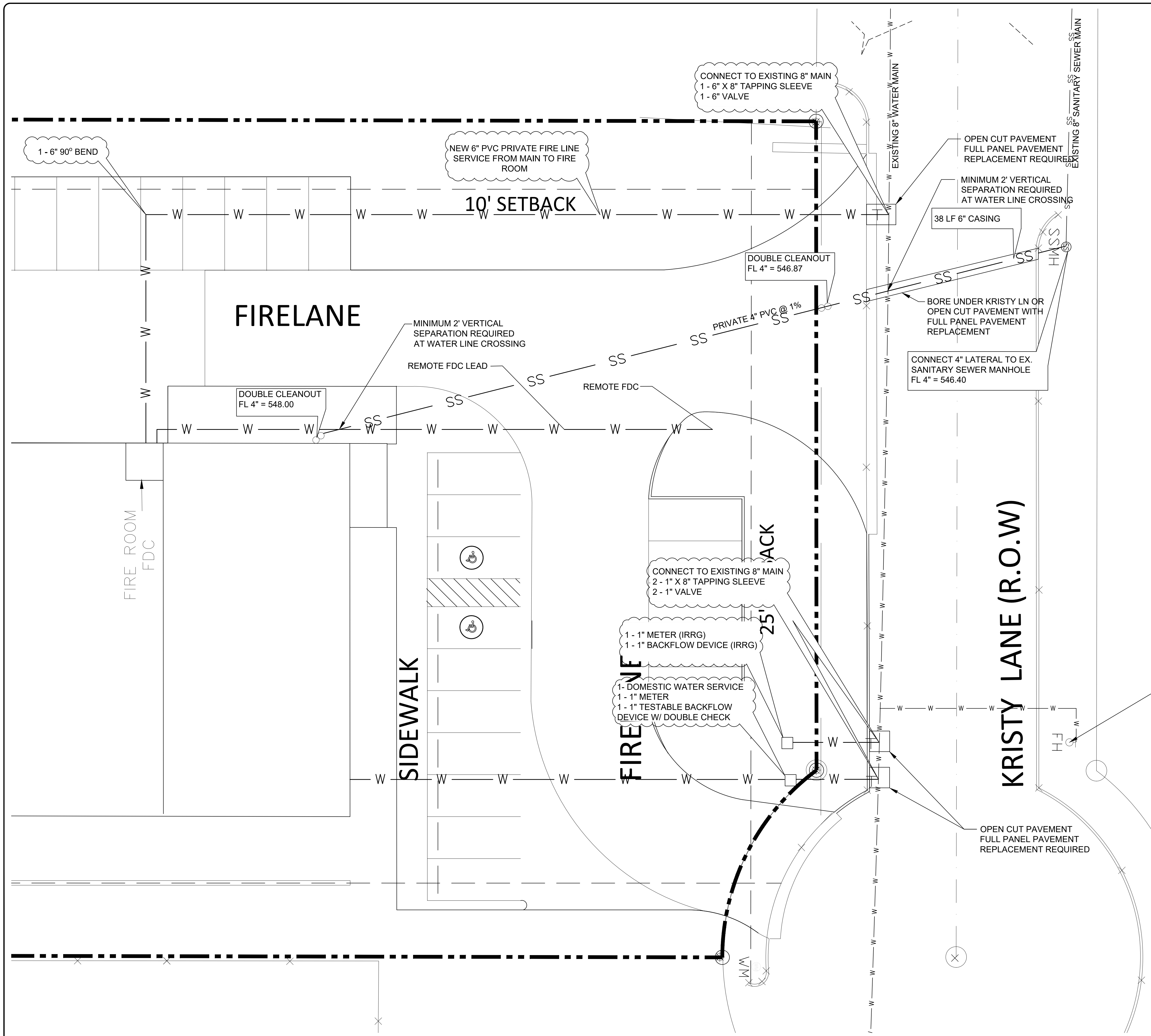
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Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

UTILITY PLAN
ENGINEERED FOR:
2040 KRISTY LANE

BUILDER: WILLIAM ADAIR ARCHITECT	PLAN: UTILITY PLAN
ADDITION:	ELD JOB NO.: DIF17-1086
ADDRESS: 2040 KRISTY LANE	DRAWN BY: JL
LOT: BLOCK:	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TEXAS	

SCALE: 1"=10'

SHEET 10



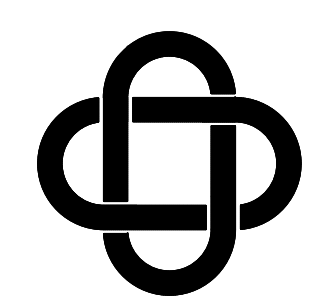
CAUTION!!!
CALL: TEXAS ONE CALL @
1-800-245-4545
48 HRS PRIOR TO CONSTRUCTION

!!! CAUTION !!!
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. AND DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.

NOTE: ANY PAVEMENT CUT WILL REQUIRE THAT THE FULL PANEL BE REPLACED WITH 7" THICK 3,600 PSI (MIN 6.5 SACK MIX) AND TIE INTO EXISTING WITH LONGITUDINAL BUTT JOINTS.

AS BUILT DRAWINGS





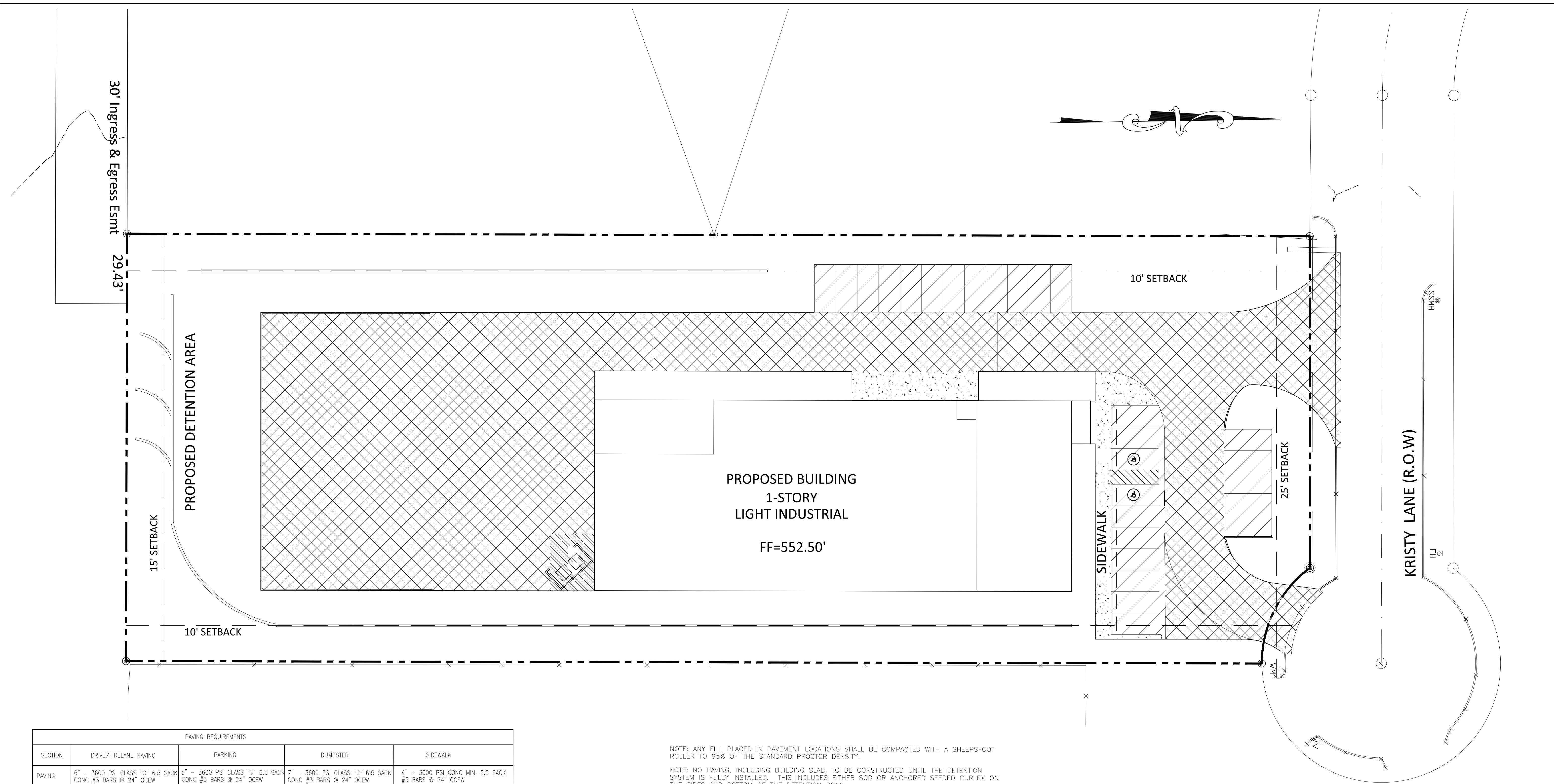
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 120 East Main Street
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail ericdavis@eldengineering.com

PAVING PLAN
 ENGINEERED FOR:
2040 KRISTY LANE

PLAN: PAVING PLAN
 ELD JOB NO.: DIF17-1086
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987



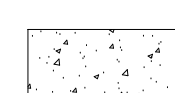

BUILDER: WILLIAM ADAIR ARCHITECT
 ADDITION:
 ADDRESS: 2040 KRISTY LANE
 LOT: BLOCK:
 CITY: ROCKWALL, TEXAS

SCALE: 1"=20'
 SHEET 11



PAVING REQUIREMENTS				
SECTION	DRIVE/FIRELANE PAVING	PARKING	DUMPSTER	SIDEWALK
PAVING	6" - 3600 PSI CLASS "C" 6.5 SACK CONC #3 BARS @ 24" OCEW DRIVE APPROACH #4 BARS @ 18" OCEW	5" - 3600 PSI CLASS "C" 6.5 SACK CONC #3 BARS @ 24" OCEW	7" - 3600 PSI CLASS "C" 6.5 SACK CONC #3 BARS @ 24" OCEW	4" - 3000 PSI CONC MIN. 5.5 SACK #3 BARS @ 24" OCEW
SUBGRADE	6"-6% MINIMUM LIME STABILIZED SUBGRADE TO PI < 15 AT +2 OR HIGHER OF OPTIMUM.			COMPACTED TO 95% STANDARD PROCTOR

ESTIMATED AMOUNT OF LIME TO TREAT UPPER 6" OF SUBGRADE IS 27 POUNDS PER SQUARE YARD (TO BE DETERMINED BY GEOTECHNICAL TESTING LAB)
 NO SAND ALLOWED UNDER PAVING
 SEE TABLE 2.3 OF CITY OF ROCKWALL, "STEEL REINFORCED CONCRETE DESIGN."

-  - PARKING
-  - DRIVE PAVING
-  - SIDEWALK / PATIO
-  - DUMPSTER PAVING

NOTE:
 FIRE LANES SHALL BE MARKED BY 6" WIDE, DURABLE RED STRIPE RUNNING THE ENTIRE LENGTH OF THE FIRE LANE ON BOTH SIDES. THE WORDS "FIRE LANE NO PARKING" SHALL BE APPLIED IN 4" WHITE LETTERING AT 30' INTERVALS. WHENEVER POSSIBLE ALL MARKINGS WILL BE PLACED ON CURBS.

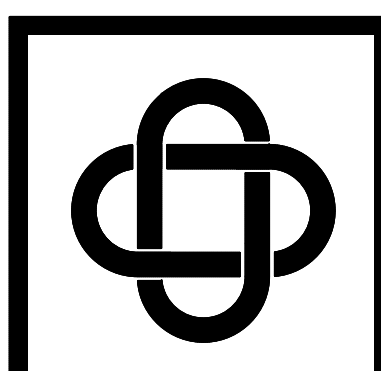
NOTE: ANY FILL PLACED IN PAVEMENT LOCATIONS SHALL BE COMPACTED WITH A SHEEPSFOOT ROLLER TO 95% OF THE STANDARD PROCTOR DENSITY.
 NOTE: NO PAVING, INCLUDING BUILDING SLAB, TO BE CONSTRUCTED UNTIL THE DETENTION SYSTEM IS FULLY INSTALLED. THIS INCLUDES EITHER SOD OR ANCHORED SEEDED CURLEX ON THE SIDES AND BOTTOM OF THE DETENTION POND.

- SUBGRADE PREPARATION, AS A MINIMUM, SHOULD INCLUDE:
- STRIP VEGETATION AND ORGANIC MATERIALS.
 - WHERE EXISTING FILL IS TO REMAIN, EXCAVATE 2' OF EXISTING FILL.
 - PROOFROLL EXPOSED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS.
 - SCARIFY EXPOSED SUBGRADE TO A DEPTH OF 6". WATER AND COMPACT AS NECESSARY TO ACHIEVE 95% OF ASTM D-698 DENSITY AT +2% OR HIGHER OF OPTIMUM MOISTURE.
 - EXCAVATED AREAS MAY BE BACKFILLED WITH CLEAN ON-SITE SOILS PLACED IN LOOSE LIFTS NO GREATER THAN 8" THICK AND COMPACTED AS OUTLINED ABOVE.
- REF: FARGO CONSULTANTS, INC GEOTECHNICAL REPORT NO. G17-2956

AS BUILT DRAWINGS



METHODS AND PLACEMENT SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, LATEST EDITION UNLESS SUPERSEDED BY CITY OF FORNEY SPECIFICATIONS



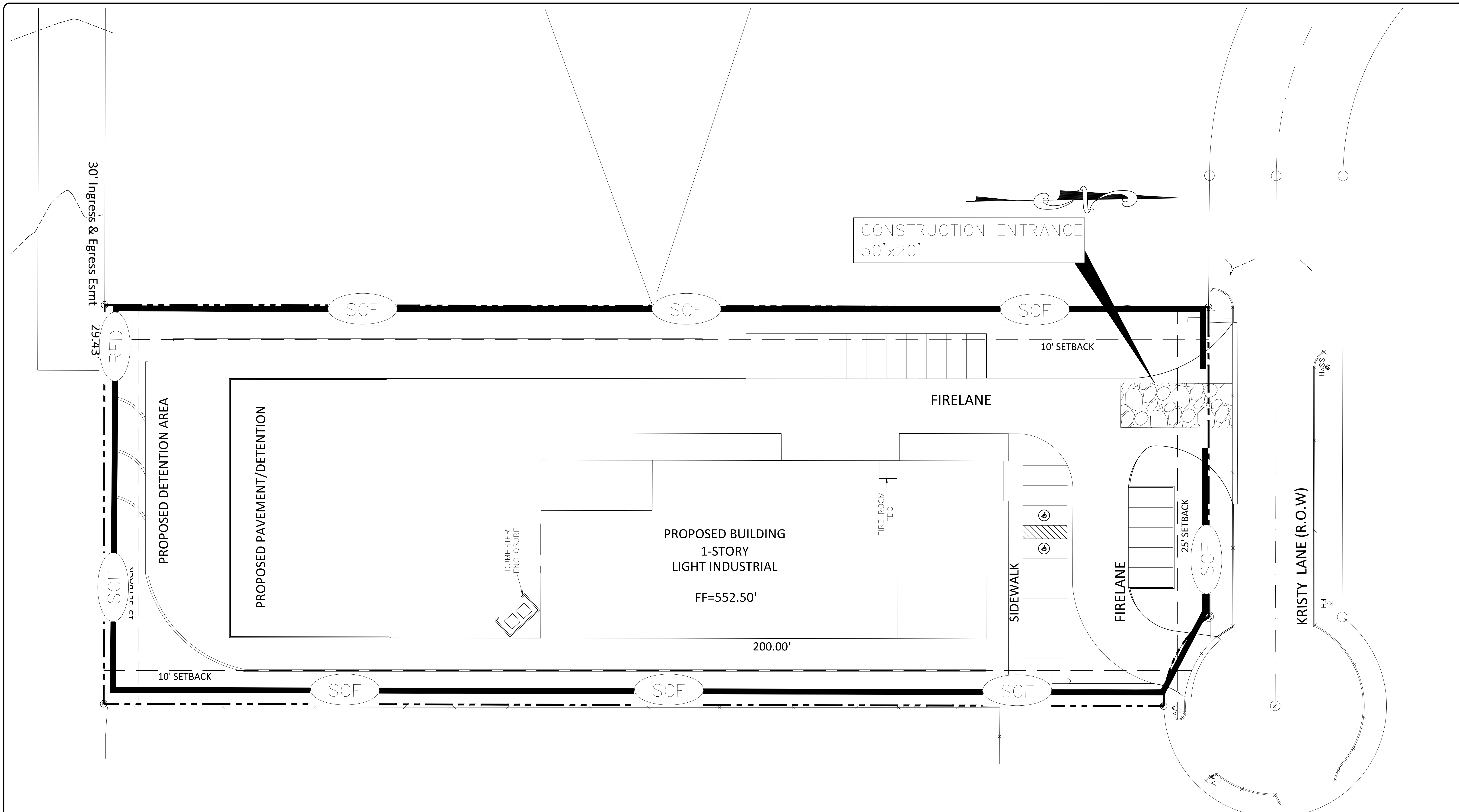
ERIC L. DAVIS ENGINEERING, INC.
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972/564-0592 Fax 972/564-6523
E-Mail ericadavis@eldengineering.com

EROSION CONTROL PLAN
ENGINEERED FOR:
2040 KRISTY LANE

BUILDER: WILLIAM ADAIR ARCHITECT	PLAN: EROSION CONTROL PLAN
ADDITION:	ELD JOB NO.: DIF17-1086
ADDRESS: 2040 KRISTY LANE	DRAWN BY: JL
LOT: BLOCK:	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TEXAS	

SCALE: 1"=20'

SHEET 12



AS BUILT DRAWINGS

PLAN SHEET LEGEND

	SILT FENCE
	ROCK FILTER DAM TXDOT STANDARD



SITE DESCRIPTION

PROJECT NAME & LOCATION: 2040 KRISTY LANE
ROCKWALL, TEXAS

OPERATOR NAME & ADDRESS: COPPER CANYON HOMES, LLC
PO BOX 1870
ROCKWALL, TEXAS 75088

PROJECT DESCRIPTION: COMMERCIAL DEVELOPMENT

SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES: SOIL DISTURBING ACTIVITIES WILL INCLUDE EXCAVATION, FILL, CULVERT, UTILITIES AND PAVEMENT CONSTRUCTION.

INTENDED SCHEDULE OR SEQUENCE OF ACTIVITIES THAT WILL DISTURB SOILS:
CONSTRUCTION ENTRANCE / EXIT, EXCAVATION OR FILL, CONSTRUCT CULVERTS

DESCRIPTION OF POTENTIAL POLLUTANTS: FUEL

PRE-DEVELOPMENT RUNOFF COEFFICIENT: 0.35

FINAL RUNOFF COEFFICIENT AFTER CONSTRUCTION: 0.90

TOTAL PROJECT AREA: ± 2.03 ACRES

TOTAL AREA TO BE DISTURBED: ± 2.03 ACRES

DESCRIPTION OF EXISTING SOIL: MODERATLY PLASTIC BROWN CLAY

DESCRIPTION OF STABILIZATION OF EXISTING DRAINAGE WAYS: N/A

WILL STORMWATER DISCHARGES FROM THIS PROJECT EFFECT PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES. ___ YES NO

DESCRIPTION OF LOCATIONS WHERE STORMWATER DISCHARGES FROM PROJECT DRAIN DIRECTLY TO SURFACE WATER BODIES (WATERS OF THE U.S. OR SURFACE WATERS IN THE STATE).

N/A

NAME OF RECEIVING WATERS: LAKE RAY HUBBARD

ADDITIONAL COMMENTS: NONE

ESTIMATED PROJECT START DATE: DECEMBER, 2017

ESTIMATED PROJECT END DATE: MARCH, 2018

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES

DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.

TEMPORARY PERMANENT

___	<input checked="" type="checkbox"/>	SEED OR SOD
___	___	VEGETATION OTHER THAN SEED OR SOD
___	<input checked="" type="checkbox"/>	EROSION CONTROL MATS
___	___	PRESERVATION OF NATURAL VEGETATION
___	___	OTHER (DESCRIBE)

PROPOSED SCHEDULE OF STABILIZATION PRACTICE IMPLEMENTATION

STABILIZATION PRACTICES TO COMPLY WITH SECTION F NUMBER 2 LETTER B OF THE TPDES GENERAL PERMIT #150,000

STRUCTURAL PRACTICES

TEMPORARY PERMANENT

<input checked="" type="checkbox"/>	___	SILT FENCE
<input checked="" type="checkbox"/>	___	ROCK BERMS
___	___	DIVERSION, INTERCEPTOR, OR PERIMETER DIKES
___	___	DIVERSION, INTERCEPTOR, OR PERIMETER SWALES
___	___	PIPE SLOPE DRAIN
___	___	TRIANGULAR SEDIMENT FILTER DIKE
___	___	INLET PROTECTION
___	___	STONE OUTLET SEDIMENT TRAP
___	___	SEDIMENT BASIN (REQUIRED FOR 10 ACRES OR LARGER WHERE FEASIBLE, WRITTEN EXPLANATION REQUIRED IF DECLARED NOT FEASIBLE)
___	___	CHECK DAM
___	___	TEMPORARY SEDIMENT TANK
<input checked="" type="checkbox"/>	___	STABILIZED CONSTRUCTION ENTRY
___	___	SANDBAG BERM
___	___	OTHER (DESCRIBE):

OTHER ADDITIONAL STORM WATER MANAGEMENT FEATURES

PERMANENT

___	CURB & GUTTER
___	STORM SEWER INLETS
___	STORM SEWER
___	CULVERTS
<input checked="" type="checkbox"/>	STORM WATER DETENTION POND
___	VELOCITY DISSIPATION DEVICES
<input checked="" type="checkbox"/>	DETENTION, RETENTION AND AMENITY POND
___	IF A DETENTION OR RETENTION FACILITY OR AMENITY POND WILL BE PART OF A DEVELOPMENT, THE DEVELOPER SHALL CONSTRUCT THE FACILITY DURING THE INITIAL PHASES OF CONSTRUCTION OF THE DEVELOPMENT, AND SHALL ENSURE THAT THE FACILITY IS FULLY FUNCTIONAL AS DESIGNED, INCLUDING THE ESTABLISHMENT OF A STABILIZED COVER, PRIOR TO ANY CONCRETE BEING PLACED INCLUDING SLAB. THE DETENTION SHALL BE MAINTAINED THROUGHOUT THE REMAINING PHASES OF CONSTRUCTION
___	OTHER (DESCRIBE):

OTHER BEST MANAGEMENT (HOUSEKEEPING) PRACTICES

THE FOLLOWING INDICATED PRACTICES SHALL BE FOLLOWED:

LIME STABILIZATION

BMP S-11 FROM NCTCOG CONSTRUCTION BMP MANUAL
___ OTHER (DESCRIBE):

SOLID WASTE MANAGEMENT

BMP W-1 FROM NCTCOG CONSTRUCTION BMP MANUAL
___ OTHER (DESCRIBE):

HAZARDOUS WASTE MANAGEMENT

BMP W-2 FROM NCTCOG CONSTRUCTION BMP MANUAL
___ STORAGE AREAS (DESCRIBE):
___ OTHER (DESCRIBE):

CONCRETE WASTE MANAGEMENT

BMP W-3 FROM NCTCOG CONSTRUCTION BMP MANUAL
___ OTHER (DESCRIBE):

SANDBLASTING WASTE MANAGEMENT

___ BMP W-4 FROM NCTCOG CONSTRUCTION BMP MANUAL
 OTHER (DESCRIBE): NONE

DUST REDUCTION MEASURES

DISTURBED AREAS DAMPENED PERIODICALLY FOR DUST CONTROL
 EXCESS DIRT ON ADJACENT ROADS REMOVED DAILY
___ OTHER (DESCRIBE):

OTHER BEST MANAGEMENT PRACTICES (DESCRIBE):

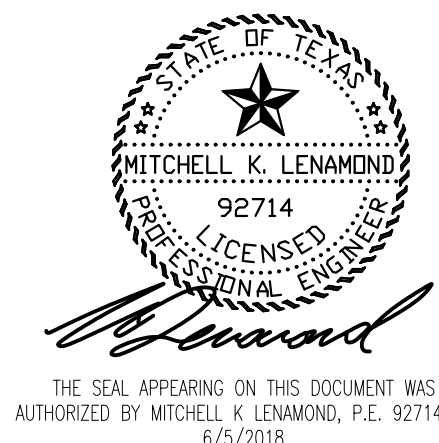
WILL THIS PROJECT HAVE A BATCH PLANT? ___ YES NO

IF YES, PROVIDE PROPOSED LOCATION OF BATCH PLANT ON EROSION CONTROL PLAN

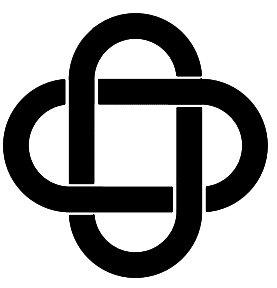
NOTE: TCEQ REQUIRES STORM WATER RUNOFF SAMPLE ANALYSIS FOR ALL BATCH PLANT OPERATIONS

OFF-SITE FACILITIES: MATERIAL WASTE, BORROW, FILL OR EQUIPMENT STORAGE AREAS? ___ YES NO

IF YES, PROVIDE PROPOSED LOCATION ON EROSION CONTROL PLAN



06/05/2018



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F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericadavis@eldengineering.com

EROSION CONTROL NARRATIVE
ENGINEERED FOR:

2040 KRISTY LANE

BUILDER: WILLIAM ADAIR ARCHITECT	PLAN: EROSION CONTROL NARRATIVE	ELD JOB NO.: DIF17-1086
ADDITION:	DRAWN BY: JL	FIRM REGISTRATION #: 3987
ADDRESS: 2040 KRISTY LANE	CITY: ROCKWALL, TEXAS	
LOT: BLOCK:		

SCALE: N/A

SHEET 13

EROSION AND SEDIMENT CONTROLS

MAINTENANCE/INSPECTION PROCEDURES

1. THE OPERATOR SHALL PROVIDE AND MAINTAIN A RAIN GAUGE UTILIZING MIN. 0.1 INCH INCREMENTS AT THE PROJECT SITE.
 2. CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALANDER DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF 0.5 INCH OR GREATER. IF A REPAIR IS NECESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE.
 3. INSPECTION SHALL BE PERFORMED BY THE OPERATOR'S REPRESENTATIVE. AN INSPECTION AND MAINTENANCE REPORT SHALL BE MADE FOR EACH INSPECTION AND KEPT AT THE PROJECT SITE. THE INSPECTOR SHALL USE THE OPERATOR INSPECTION FORM IN THE NCTCOG CONSTRUCTION BMP MANUAL OR OTHER FORM APPROVED BY THE CITY.
 4. THE OPERATOR SHALL MAINTAIN RECORDS OF CONSTRUCTION ACTIVITY AT THE SITE INCLUDING:
 - A. DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
 - B. DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE.
 - C. DATES WHEN STABILIZATION MEASURES ARE INITIATED.
 5. THE OPERATOR SHALL SIGN AND POST ON-SITE THE APPROPRIATE TCEQ SITE NOTICE.
 6. THE OPERATOR SHALL SIGN AND POST ON-SITE A COPY OF THE TCEQ NOI (FOR PROJECTS THAT DISTURB 5 ACRES OR MORE).
 7. THE OPERATOR SHALL PROVIDE THE CITY WITH A COPY OF ANALYSIS OF STORM WATER RUNOFF SAMPLES REQUIRED BY TCEQ FOR BATCH PLANT OPERATIONS.
- OTHER (DESCRIBE)

ALLOWABLE NON-STORM WATER DISCHARGES

- DISCHARGES FROM FIRE FIGHTING ACTIVITIES.
- FIRE HYDRANT FLUSHINGS. *
- WATER USED TO CONTROL DUST.
- POTABLE WATER SOURCES (INCLUDING WATERLINE FLUSHINGS CONTAINING LESS THAN 1000 GALLONS). *
- UNCONTAMINATED GROUND WATER (INCLUDING DEWATERING GROUNDWATER INFILTRATION).
- FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS.
- SPRINGS, RIPARIAN HABITATS, WETLANDS AND UNCONTAMINATED GROUNDWATER.
- IRRIGATION WATER.
- EXTERIOR BUILDING OR VEHICLE WASH DOWN WITHOUT DETERGENTS.
- PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILL MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED.
- AIR CONDITIONING CONDENSATE.

* HEAVILY CHLORINATED WATER (3.5 MG/L OR GREATER FREE CHLORINE) RESULTING FROM WATER LINE STERILIZATION SHALL BE DIRECTED UNDER PERMIT TO THE SANITARY SEWER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL APPLY TO THE ENGINEERING DEPARTMENT FOR A SANITARY SEWER DISCHARGE PERMIT AFTER THE MANDATORY CHLORINE RETENTION TIME (USUALLY 24 HOURS). THE HEAVILY CHLORINATED WATER MAY BE DISCHARGED TO THE SANITARY SEWER, BEGINNING TWO WORKING DAYS AFTER PERMIT APPLICATION.

GENERAL

THE SW3P FOR THIS PROJECT HAS BEEN DEVELOPED BASED ON THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) CONSTRUCTION BMP MANUAL. THE 2 NARRATIVE SHEETS WERE DEVELOPED AS AN AID FOR THOSE IMPLEMENTING STORM WATER POLLUTION PREVENTION PLANS (SW3P'S) FOR VARIOUS CONSTRUCTION ACTIVITIES. THEIR USE DOES NOT RELIEVE THE OPERATOR(S) FROM COMPLYING WITH THE NCTCOG BMP MANUAL OR THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES) GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES.

PRIOR TO THE COMMENCEMENT OF WORK ON PROJECTS 5 ACRES OR LARGER THE OPERATOR SHALL SUBMIT NOTICES OF INTENT (NOI) TO DISCHARGE STORM WATER FROM A CONSTRUCTION SITE UNDER THE TPDES PERMIT.

SEQUENCE AND TIMING OF INDICATED EROSION CONTROL PRACTICES AND/OR FEATURES (INCLUDE TREATMENT OF STOCKPILED DIRT FOR FUTURE USE)

PRIOR TO BEGINNING CONSTRUCTION, A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN ON APPROVED PLANS AND ALL SILT FENCING MATERIAL SHALL BE IN PLACE.

DETAILED DESCRIPTION OF BMP MAINTENANCE PROTOCOLS

REFER TO PART 3 SEC. E & F OF THE TCEQ GENERAL PERMIT NO. TXR150000

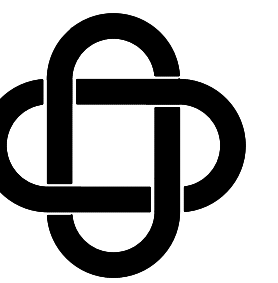
DESCRIPTION OF METHODS USED TO MODIFY STORM WATER POLLUTION CONTROLS

IF EXISTING CONTROLS ARE DETERMINED INADEQUATE

IF EXISTING CONTROLS ARE DETERMINED INADEQUATE BY THE ENGINEER OF RECORD OR CITY AND STATE OFFICIALS, THE OWNER OR OWNERS REPRESENTATIVES SHALL MODIFY STORM WATER POLLUTION CONTROLS IMMEDIATLY.

SITE RATING FACTOR UTILIZING INDICATED EROSION CONTROL & MEASURES = .75
(MUST BE 0.70 OR LARGER)

06/05/2018



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EROSION CONTROL NARRATIVE
ENGINEERED FOR:

2040 KRISTY LANE

PLAN: EROSION CONTROL NARRATIVE
ELD JOB NO.: DIF17-1086
DRAWN BY: JL
FIRM REGISTRATION #: 3987

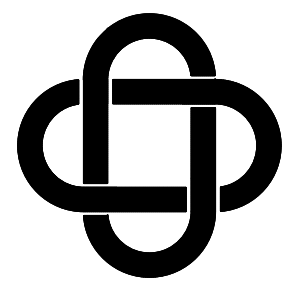
BUILDER: WILLIAM ADAIR ARCHITECT
ADDRESS: 2040 KRISTY LANE
LOT: BLOCK:
CITY: ROCKWALL, TEXAS

SCALE: N/A

SHEET 14



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 6/5/2018



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EROSION CONTROL DETAILS
 ENGINEERED FOR:

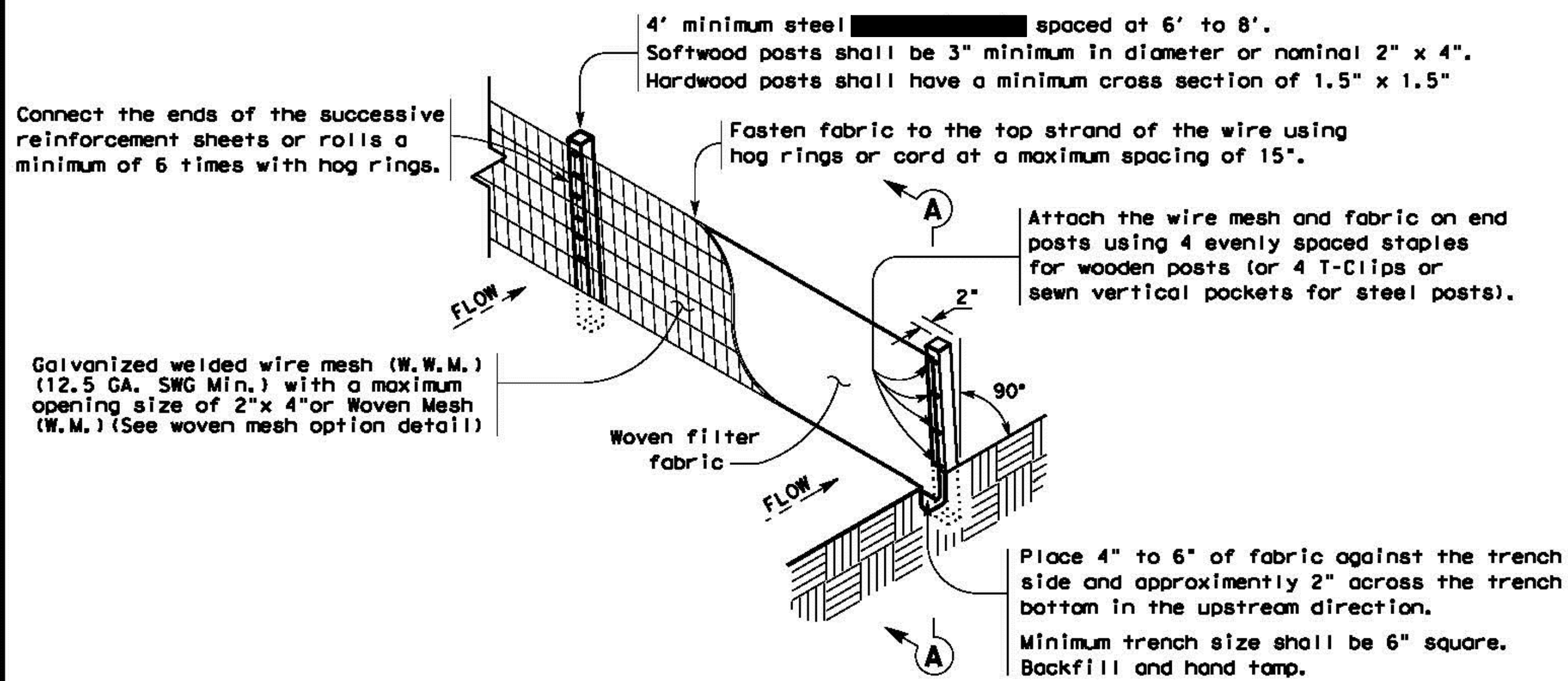
2040 KRISTY LANE

PLN: EROSION CONTROL DETAILS
 ELD JOB NO.: DIF17-1086
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: N/A

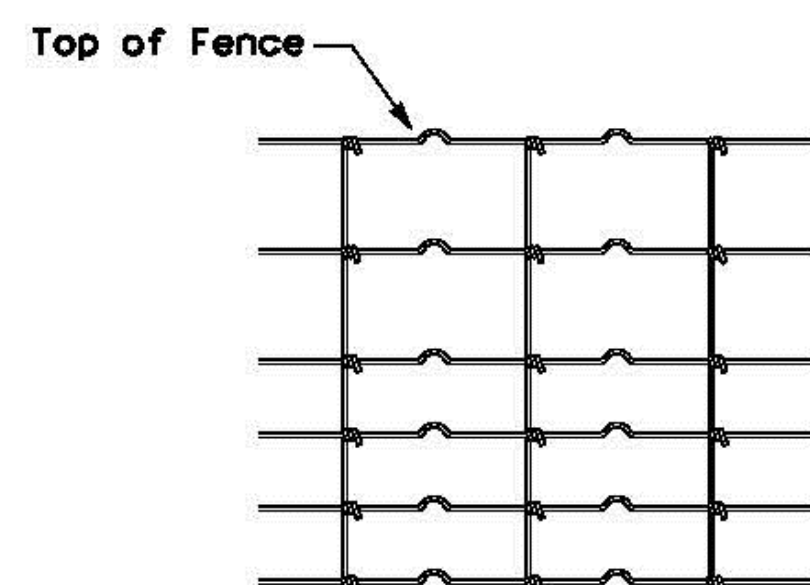
SHEET 15

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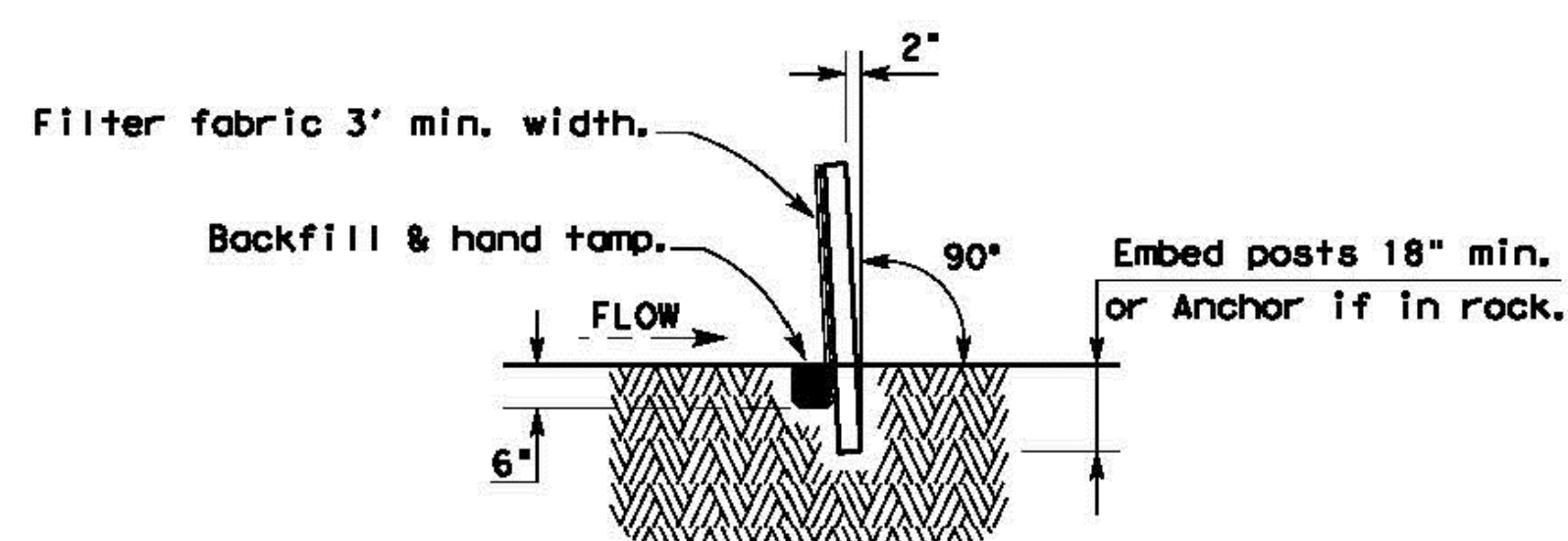
TEMPORARY SEDIMENT CONTROL FENCE

SCF



HINGE JOINT KNOT WOVEN MESH (OPTION) DETAIL

Galvanized hinge joint knot woven mesh (12.5 GA. SWG Min.) requires a minimum of five horizontal wires spaced at a maximum of 12 inches apart and all vertical wires spaced at a maximum of 12 inches apart.



SEDIMENT CONTROL FENCE USAGE GUIDELINES

A sediment control fence may be constructed near the downstream perimeter of a disturbed area along a contour to intercept sediment from overland runoff. A 2 year storm frequency may be used to calculate the flow rate to be filtered.

Sediment control fence should be sized to filter a maximum flow through rate of 100 GPM/FT². Sediment control fence is not recommended to control erosion from a drainage area larger than 2 acres.

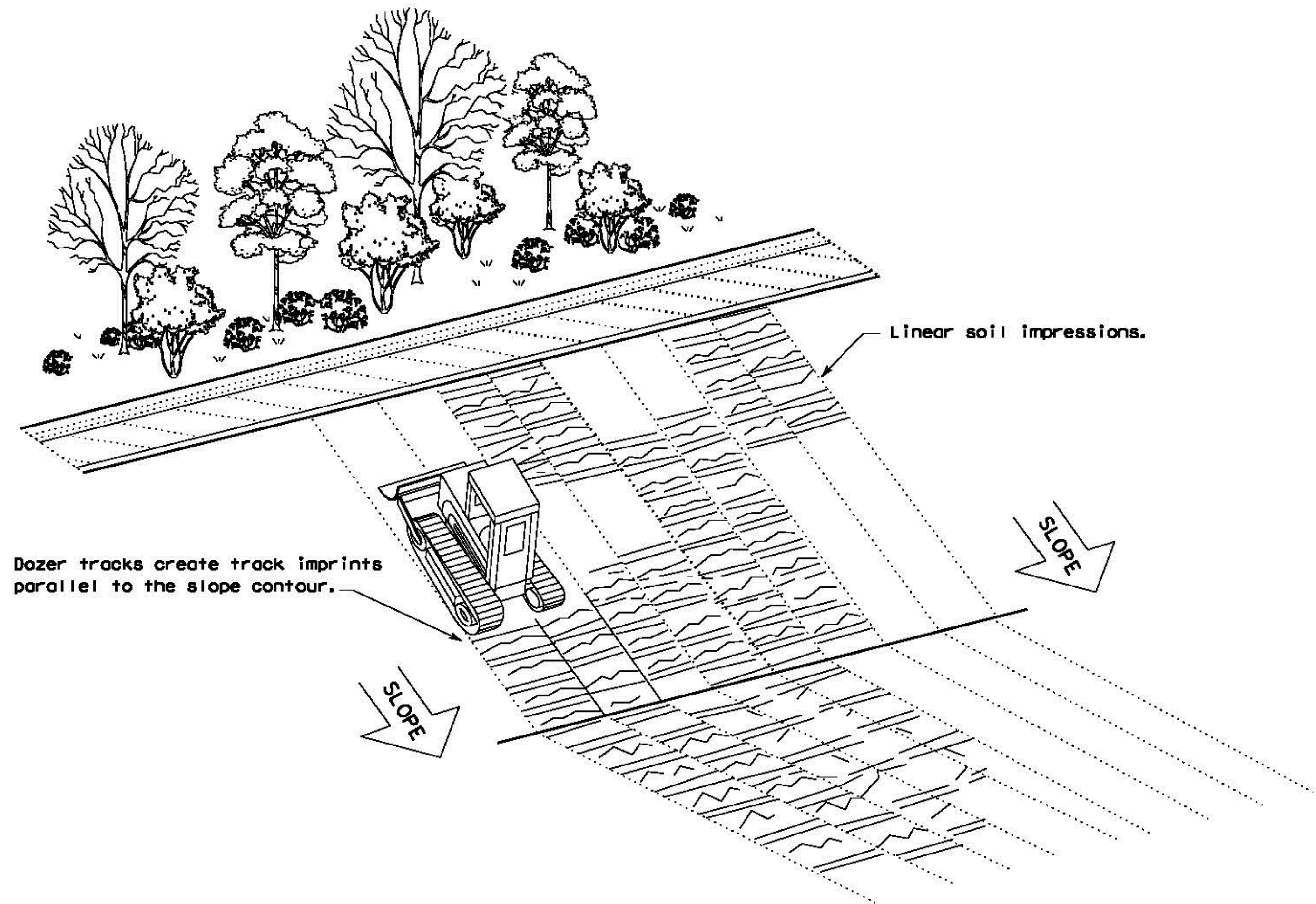
LEGEND

Sediment Control Fence

SCF

GENERAL NOTES

1. Vertical tracking is required on projects where soil distributing activities have occurred unless otherwise approved.
2. Perform vertical tracking on slopes to temporarily stabilize soil.
3. Provide equipment with a track undercarriage capable of producing linear soil impressions measuring a minimum of 12" in length by 2" in width by 1/2" to 2" in depth.
4. Do not exceed 12" between track impressions.
5. Install continuous linear track impressions where the minimum 12" length impressions are perpendicular to the slope or direction of water flow.

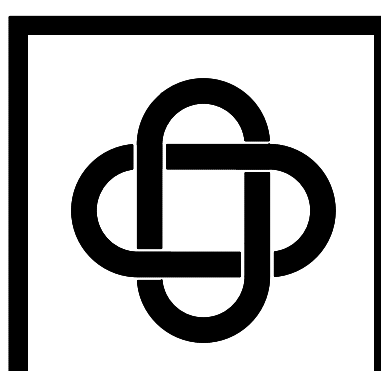


VERTICAL TRACKING

Texas Department of Transportation
 Design Division Standard

TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES FENCE & VERTICAL TRACKING
EC(1)-16

FILE# ec116	DN# TxDOT	CK# KM	DN# VP	DN# CK# LS
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EROSION CONTROL DETAILS
 ENGINEERED FOR:
 2040 KRISTY LANE

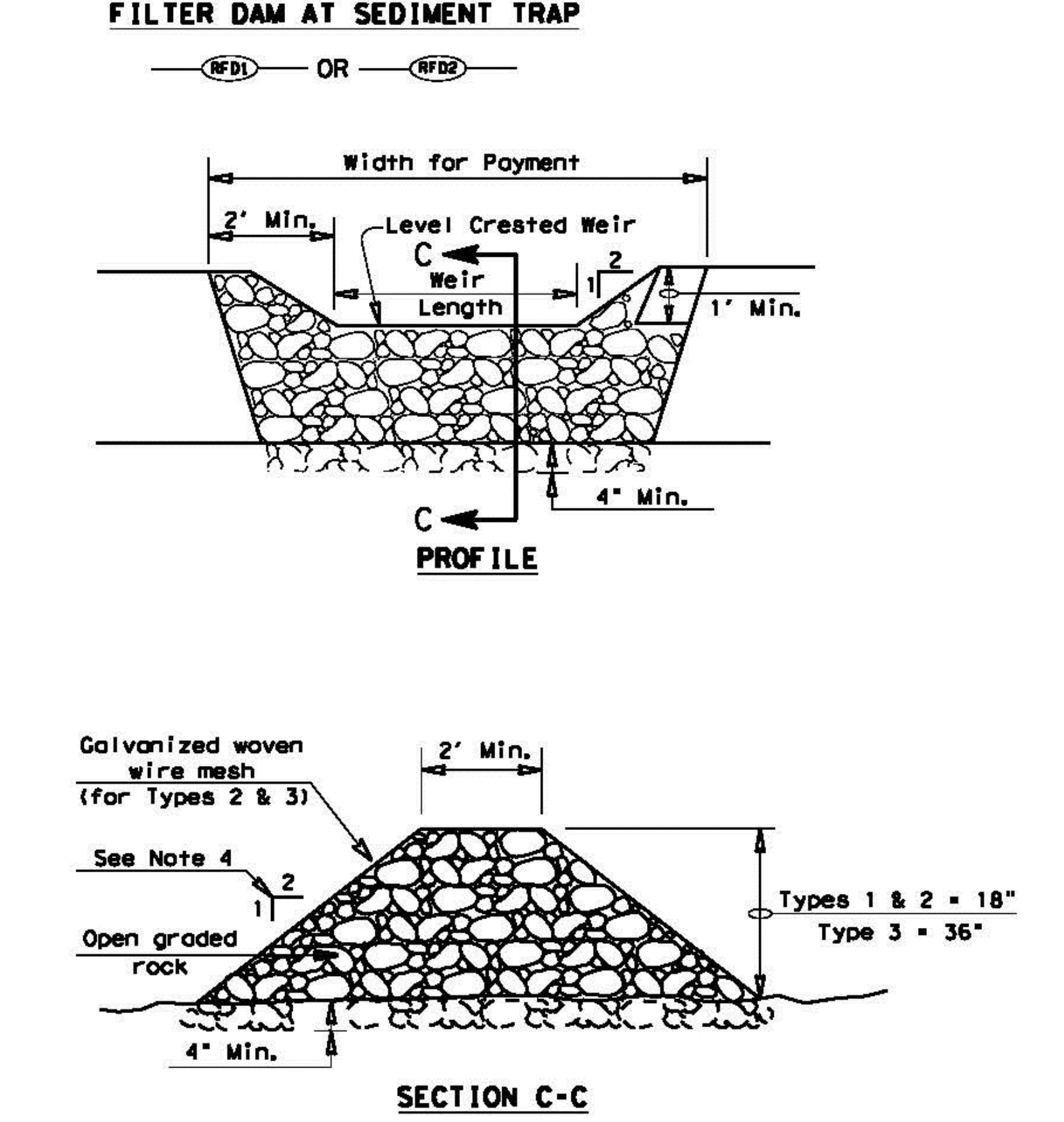
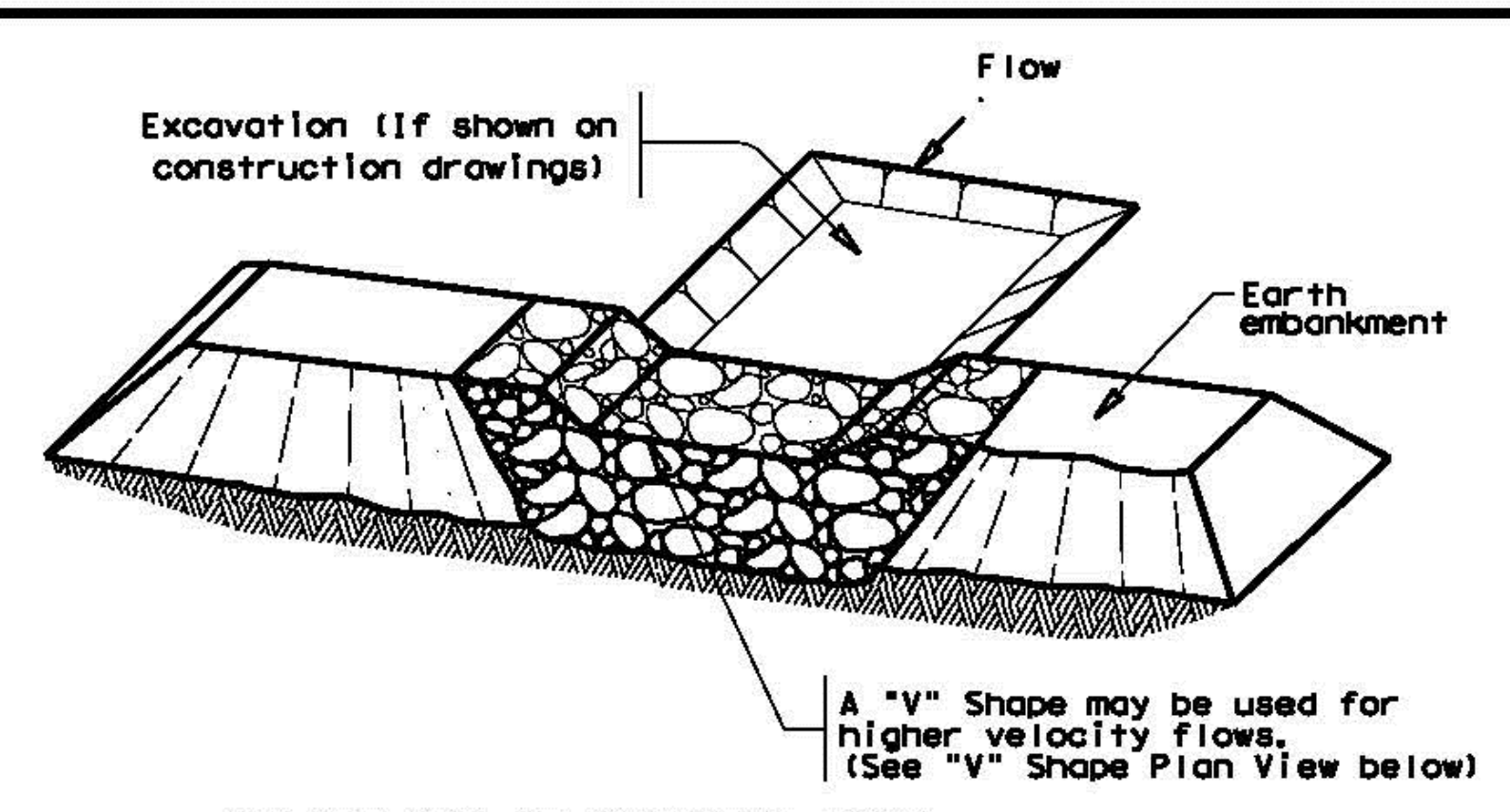
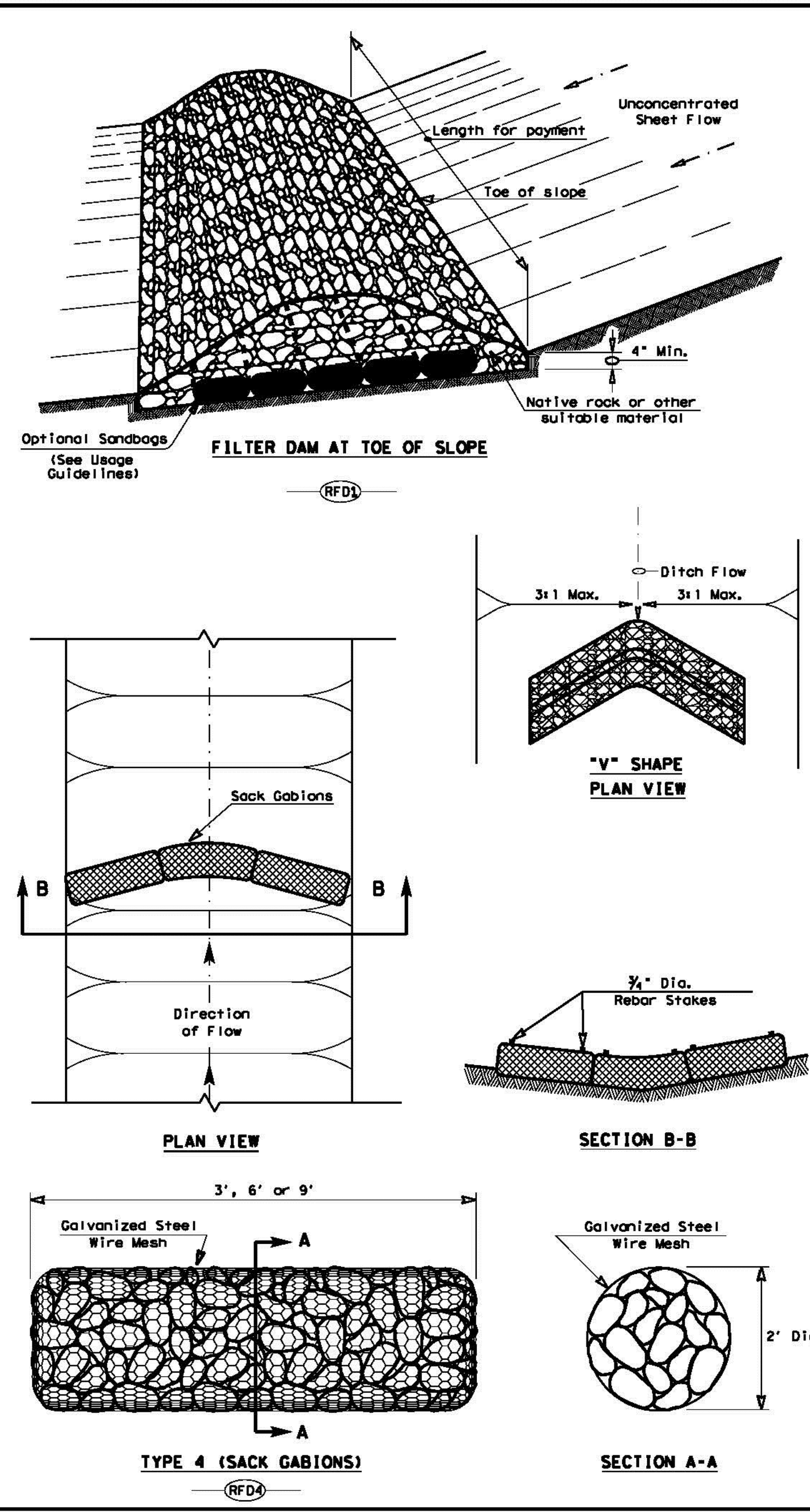
PLAN: EROSION CONTROL DETAILS
 ELD JOB NO.: DIF17-1086
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: N/A

SHEET 16

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DATE: FILE:



ROCK FILTER DAM USAGE GUIDELINES

Rock Filter Dams should be constructed downstream from disturbed areas to intercept sediment from overland runoff and/or concentrated flow. The dams should be sized to filter a maximum flow through rate of 60 GPM/FT² of cross sectional area. A 2 year storm frequency may be used to calculate the flow rate.

Type 1 (18" high with no wire mesh) (3" to 6" aggregate): Type 1 may be used at the toe of slopes, around inlets, in small ditches, and at dike or swale outlets. This type of dam is recommended to control erosion from a drainage area of 5 acres or less. Type 1 may not be used in concentrated high velocity flows (approximately 8 Ft/Sec or more) in which aggregate wash out may occur. Sandbags may be used at the embedded foundation (4" deep min.) for better filtering efficiency of low flows if called for on the plans or directed by the Engineer.

Type 2 (18" high with wire mesh) (3" to 6" aggregate): Type 2 may be used in ditches and at dike or swale outlets.

Type 3 (36" high with wire mesh) (4" to 8" aggregate): Type 3 may be used in stream flow and should be secured to the stream bed.

Type 4 (Sack gabions) (3" to 6" aggregate): Type 4 May be used in ditches and smaller channels to form an erosion control dam.

Type 5: Provide rock filter dams as shown on plans.

FILTER DAM AT CHANNEL SECTIONS
 (RFD1) OR (RFD2) OR (RFD3)

GENERAL NOTES

1. If shown on the plans or directed by the Engineer, filter dams should be placed near the toe of slopes where erosion is anticipated, upstream and/or downstream at drainage structures, and in roadway ditches and channels to collect sediment.
2. Materials (aggregate, wire mesh, sandbags, etc.) shall be as indicated by the specification for "Rock Filter Dams for Erosion and Sedimentation Control".
3. The rock filter dam dimensions shall be as indicated on the SW3P plans.
4. Side slopes should be 2:1 or flatter. Dams within the safety zone shall have sideslopes of 6:1 or flatter.
5. Maintain a minimum of 1' between top of rock filter dam weir and top of embankment for filter dams at sediment traps.
6. Filter dams should be embedded a minimum of 4" into existing ground.
7. The sediment trap for ponding of sediment laden runoff shall be of the dimensions shown on the plans.
8. Rock filter dam types 2 & 3 shall be secured with 20 gauge galvanized woven wire mesh with 1" diameter hexagonal openings. The aggregate shall be placed on the mesh to the height & slopes specified. The mesh shall be folded at the upstream side over the aggregate and tightly secured to itself on the downstream side using wire ties or hog rings. For in stream use, the mesh should be secured or staked to the stream bed prior to aggregate placement.
9. Sack Gabions should be staked down with 3/4" dia. rebar stakes, and have a double-twisted hexagonal weave with a nominal mesh opening of 2 1/2" x 3 1/4"
10. Flow outlet should be onto a stabilized area (vegetation, rock, etc.).
11. The guidelines shown hereon are suggestions only and may be modified by the Engineer.

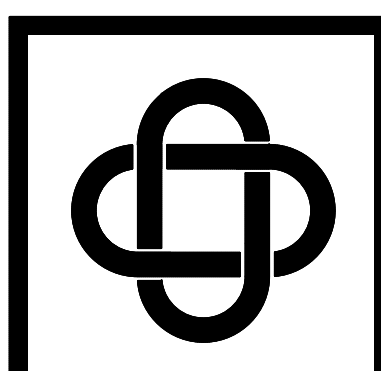
PLAN SHEET LEGEND

Type 1 Rock Filter Dam (RFD1)
 Type 2 Rock Filter Dam (RFD2)
 Type 3 Rock Filter Dam (RFD3)
 Type 4 Rock Filter Dam (RFD4)

Texas Department of Transportation
 Design Division Standard

**TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES
 ROCK FILTER DAMS
 EC(2)-16**

FILE: ec216	DN: TxDOT	CK: KW	DN: VP	DN/CK: LS
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EROSION CONTROL DETAILS
 ENGINEERED FOR:
 2040 KRISTY LANE

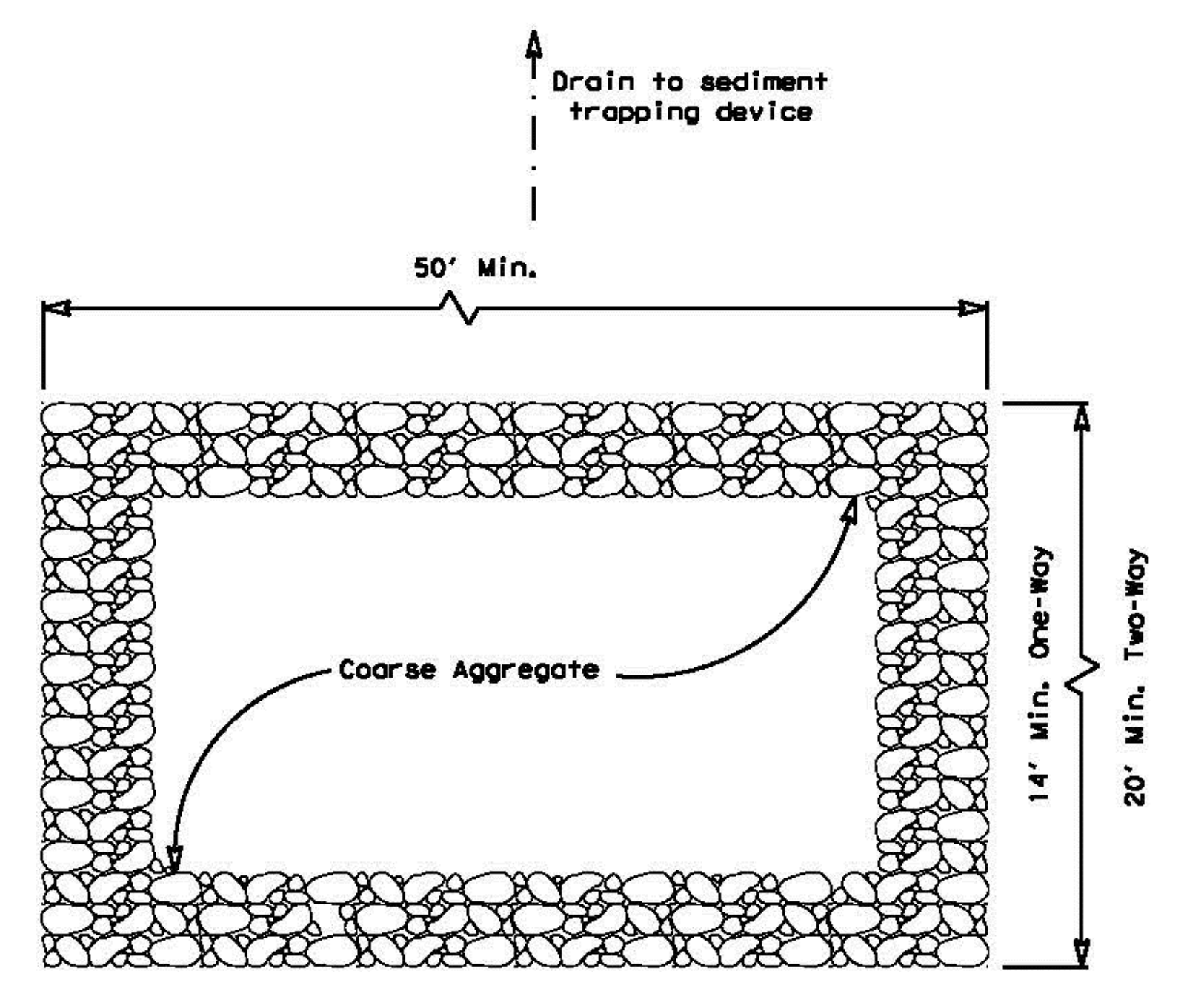
PLAN: EROSION CONTROL DETAILS
 ELD JOB NO.: DIF17-1086
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: N/A

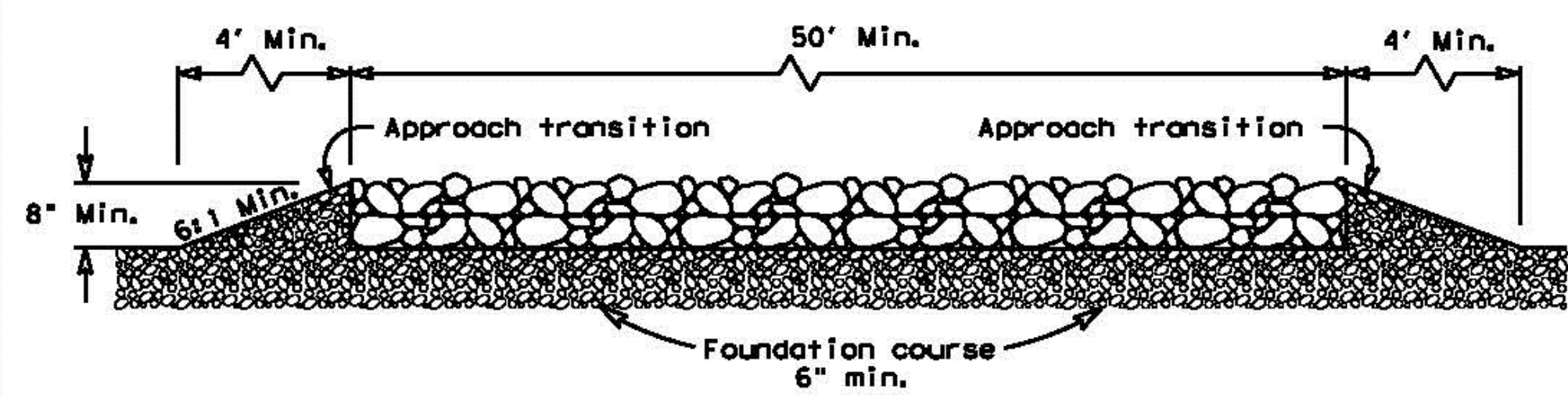
SHEET 17

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PLAN VIEW

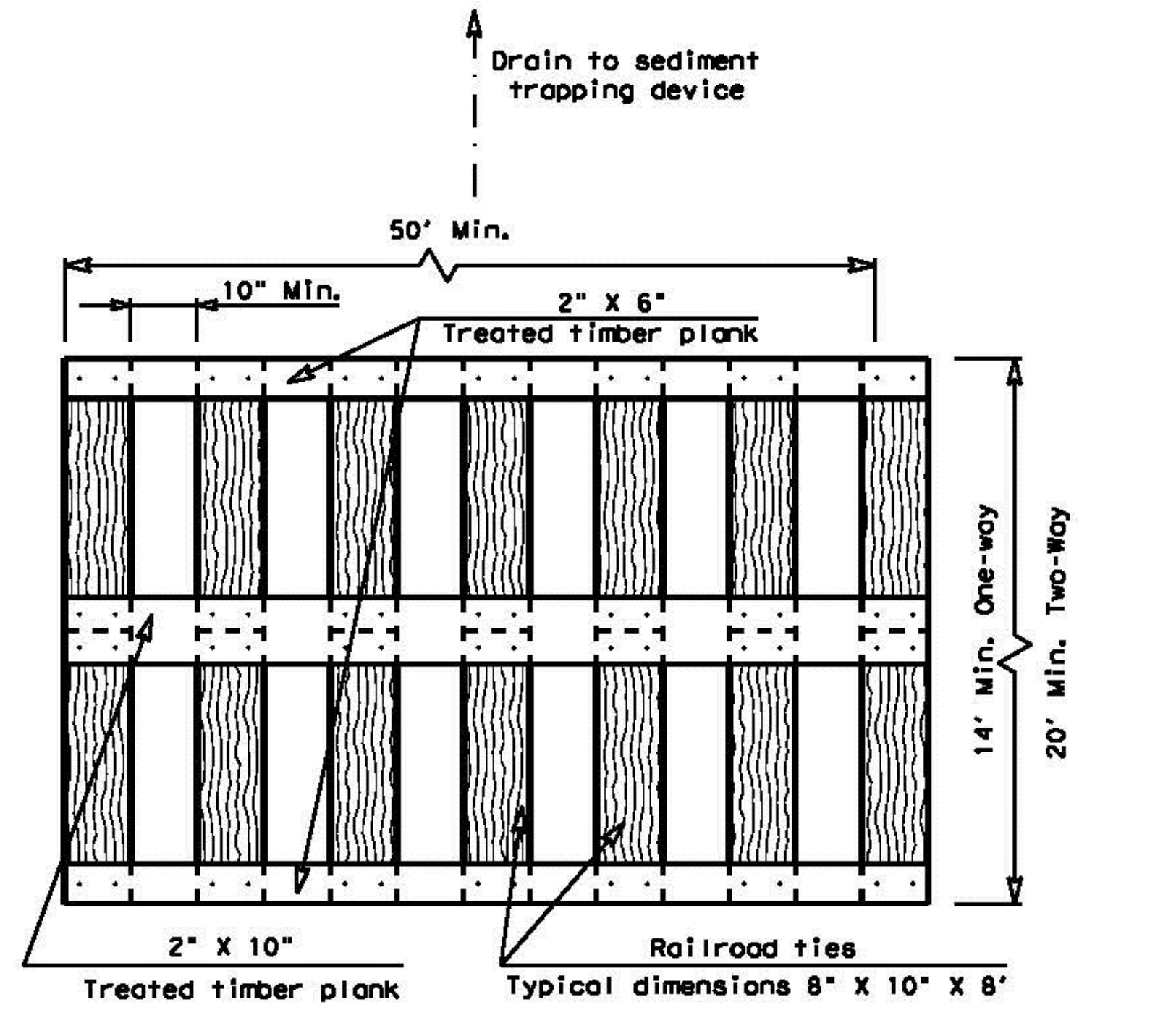


ELEVATION VIEW

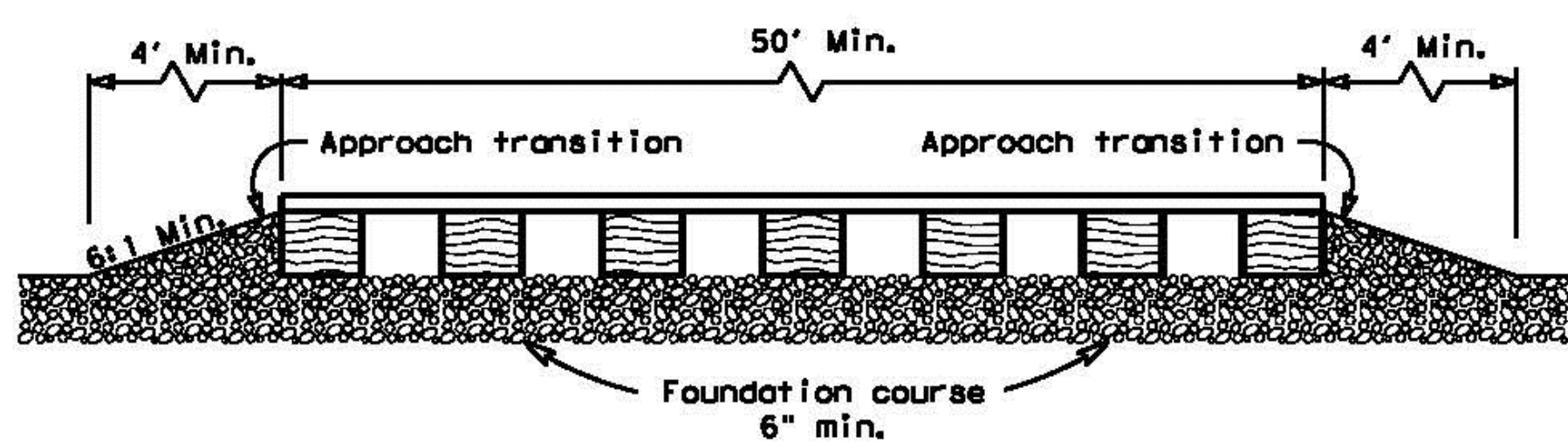
CONSTRUCTION EXIT (TYPE 1)
 ROCK CONSTRUCTION (LONG TERM)

GENERAL NOTES (TYPE 1)

1. The length of the type 1 construction exit shall be as indicated on the plans, but not less than 50'.
2. The coarse aggregate should be open graded with a size of 4" to 8".
3. The approach transitions should be no steeper than 6:1 and constructed as directed by the Engineer.
4. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other materials approved by the Engineer.
5. The construction exit shall be graded to allow drainage to a sediment trapping device.
6. The guidelines shown hereon are suggestions only and may be modified by the Engineer.
7. Construct exits with a width of at least 14 ft. for one-way and 20 ft. for two-way traffic for the full width of the exit, or as directed by the engineer.



PLAN VIEW

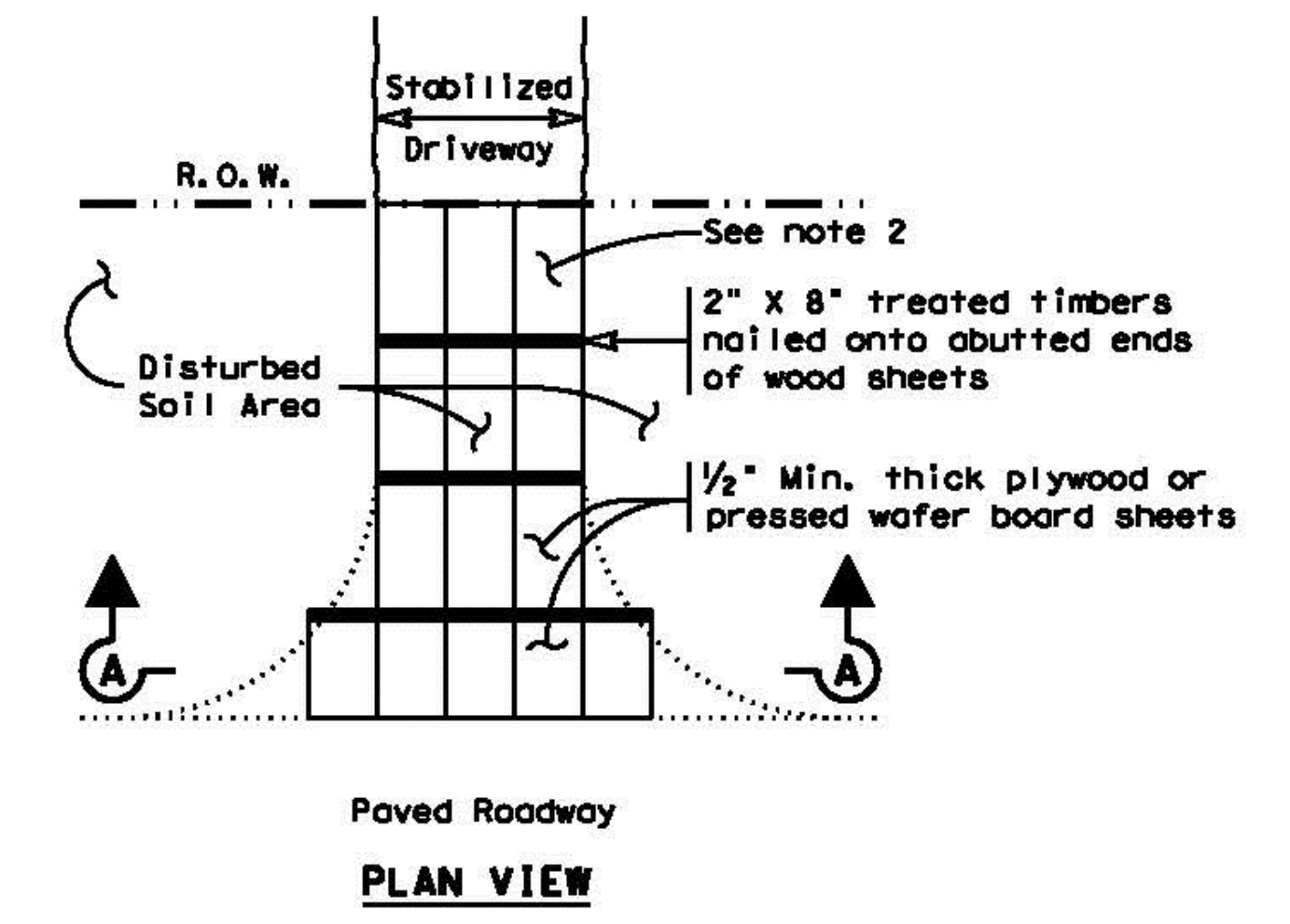


ELEVATION VIEW

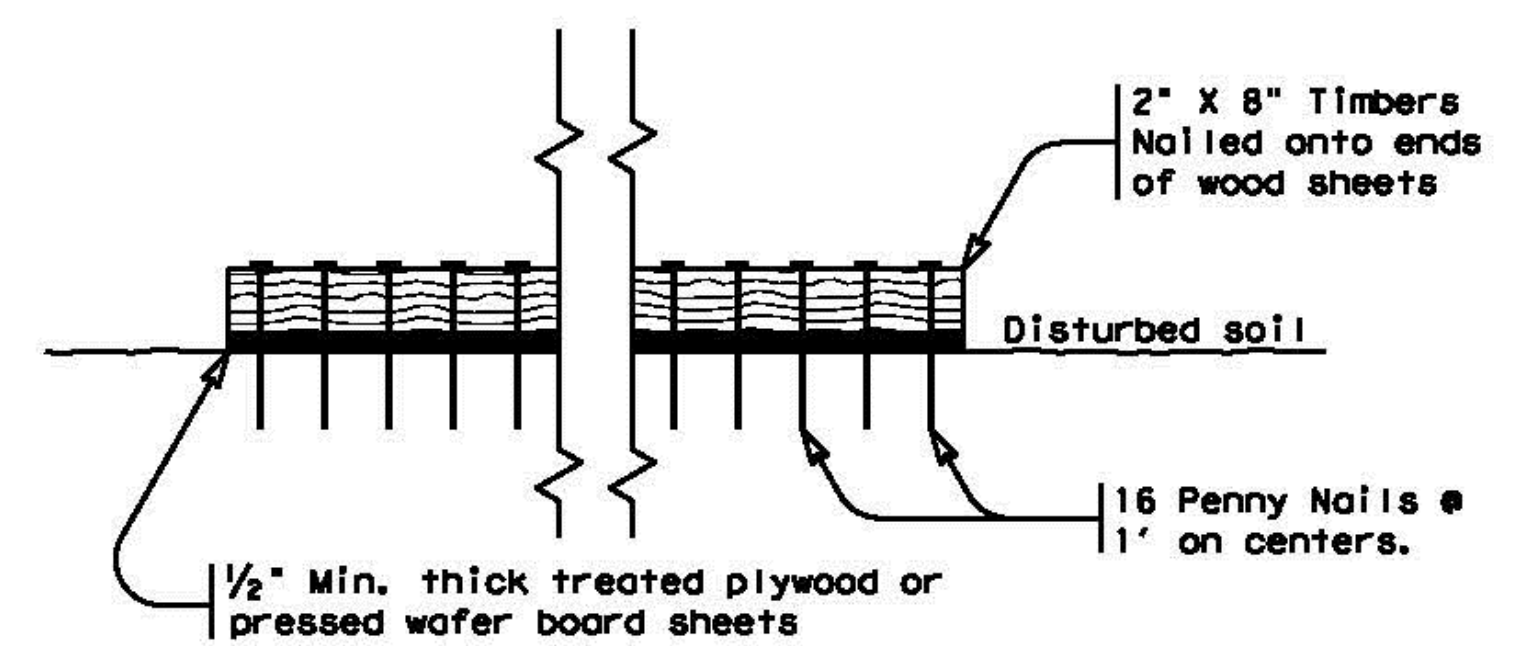
CONSTRUCTION EXIT (TYPE 2)
 TIMBER CONSTRUCTION (LONG TERM)

GENERAL NOTES (TYPE 2)

1. The length of the type 2 construction exit shall be as indicated on the plans, but not less than 50'.
2. The treated timber planks shall be attached to the railroad ties with 1/2" x 6" min. lag bolts. Other fasteners may be used as approved by the Engineer.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The approach transitions shall be no steeper than 6:1 and constructed as directed by the Engineer.
5. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other material as approved by the Engineer.
6. The construction exit should be graded to allow drainage to a sediment trapping device.
7. The guidelines shown hereon are suggestions only and may be modified by the Engineer.
8. Construct exits with a width of at least 14 ft. for one-way and 20 ft. for two-way traffic for the full width of the exit, or as directed by the engineer.



PLAN VIEW



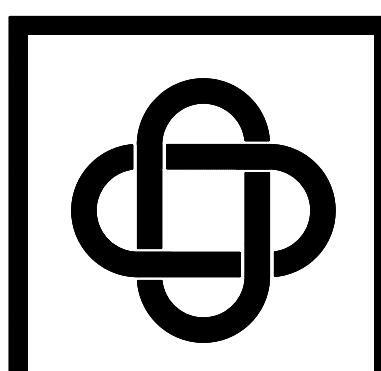
SECTION A-A

CONSTRUCTION EXIT (TYPE 3)
 SHORT TERM

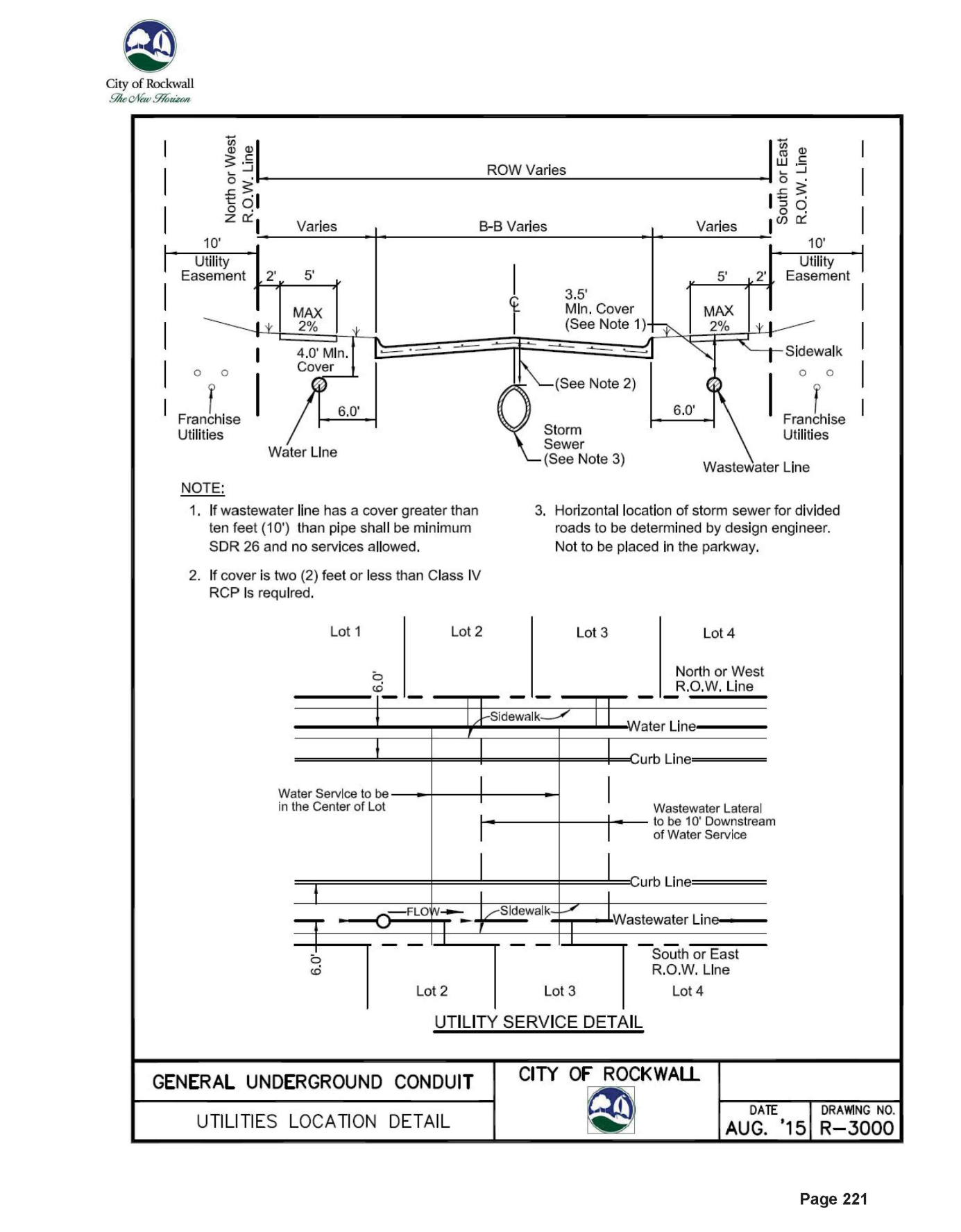
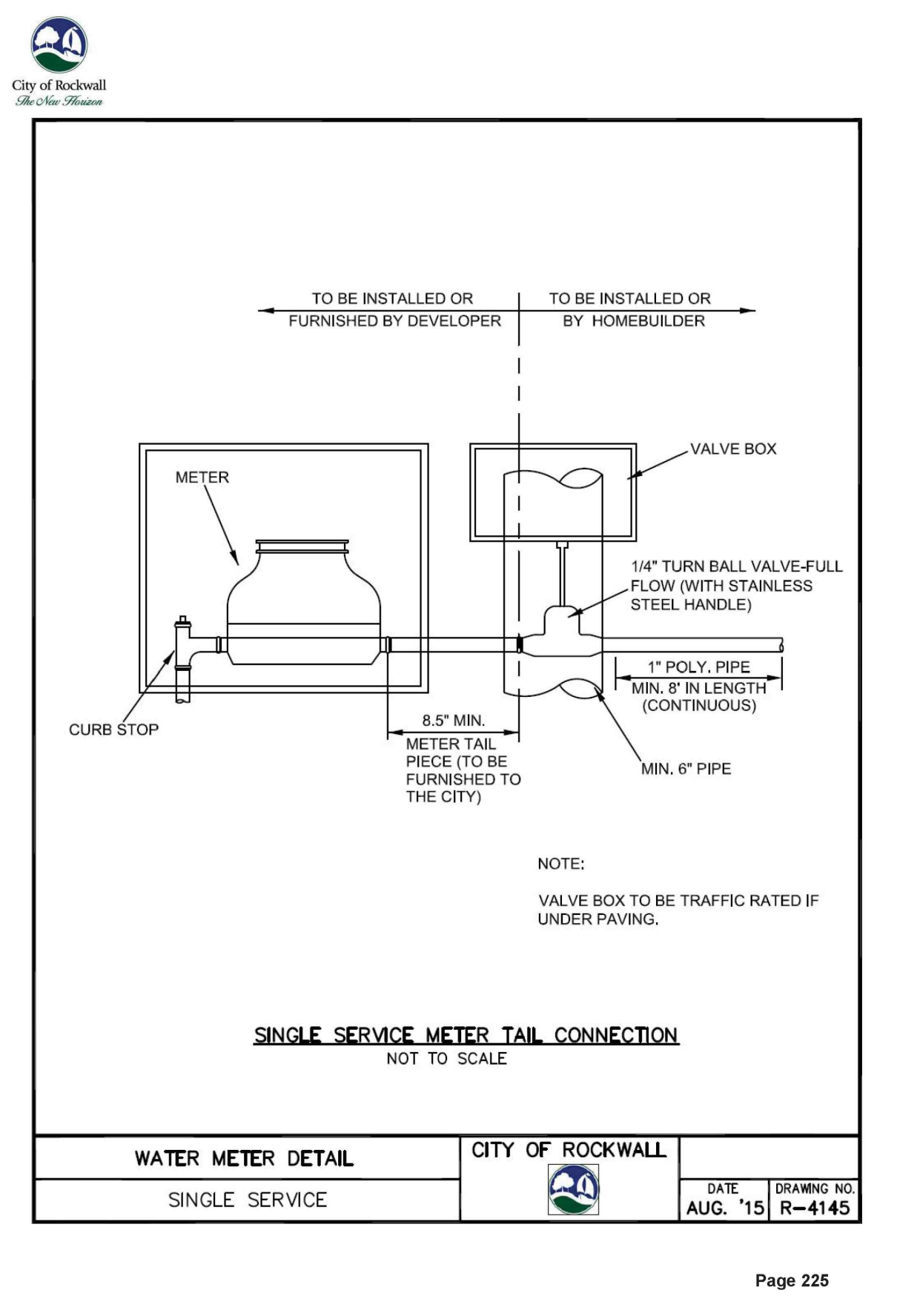
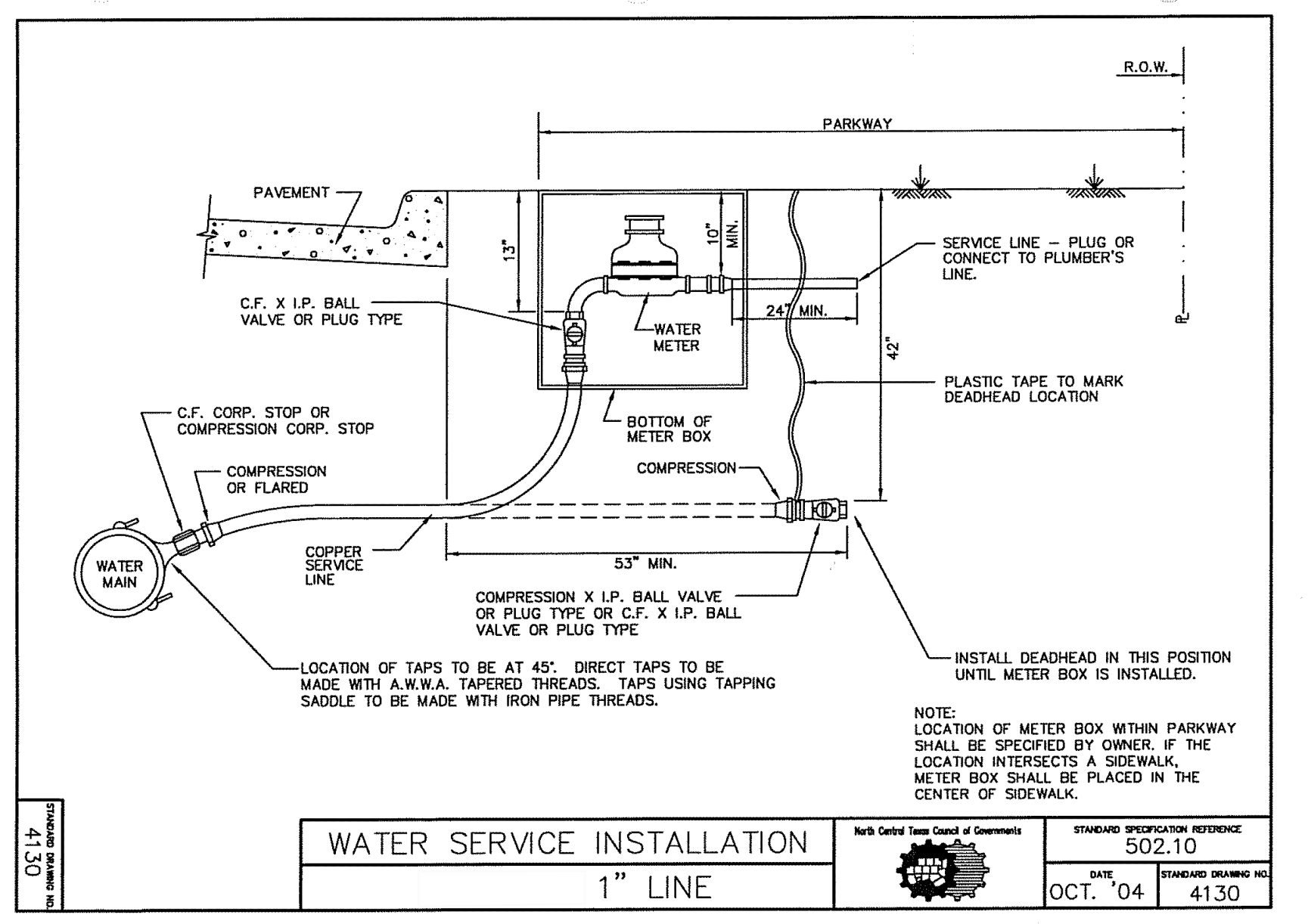
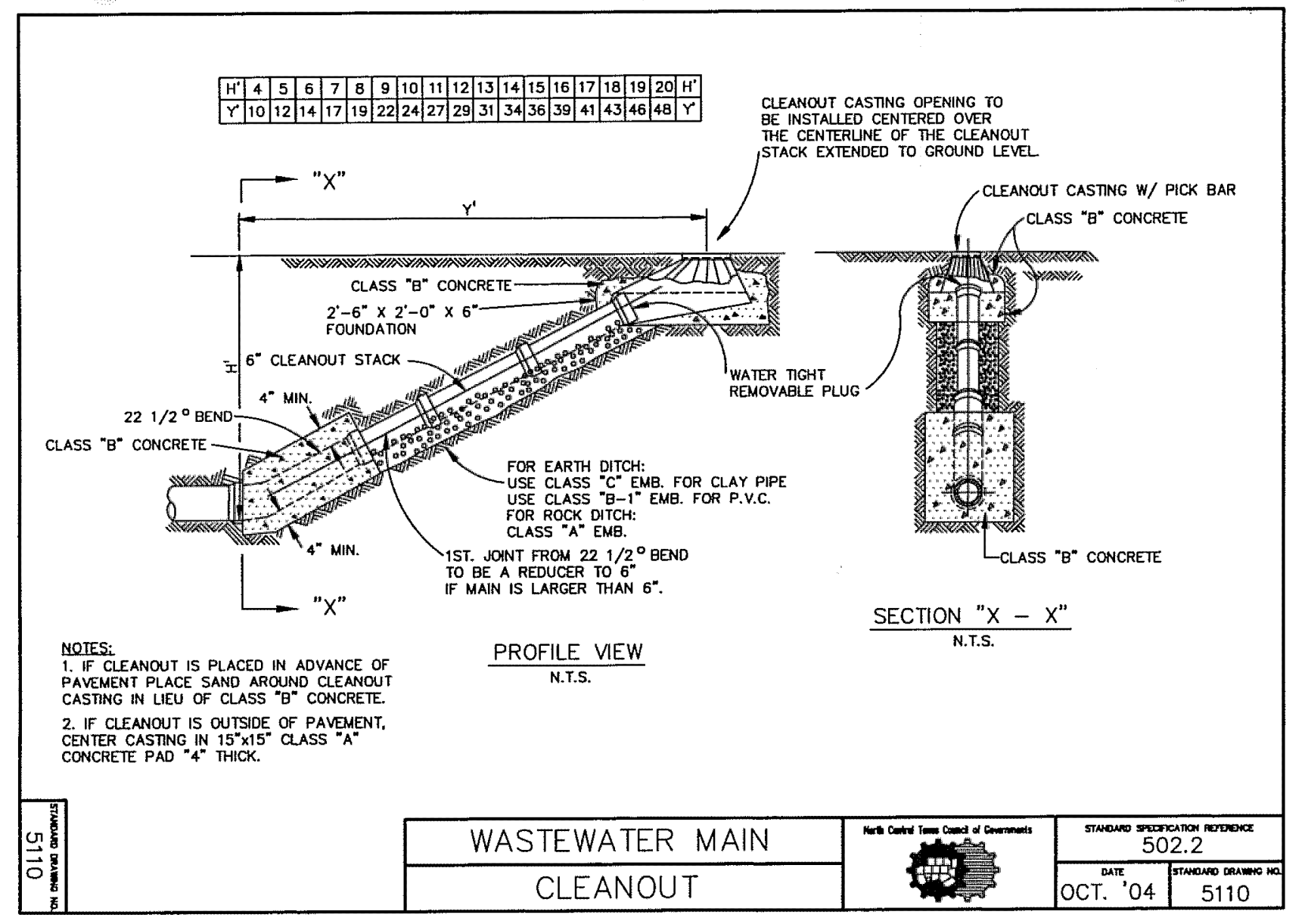
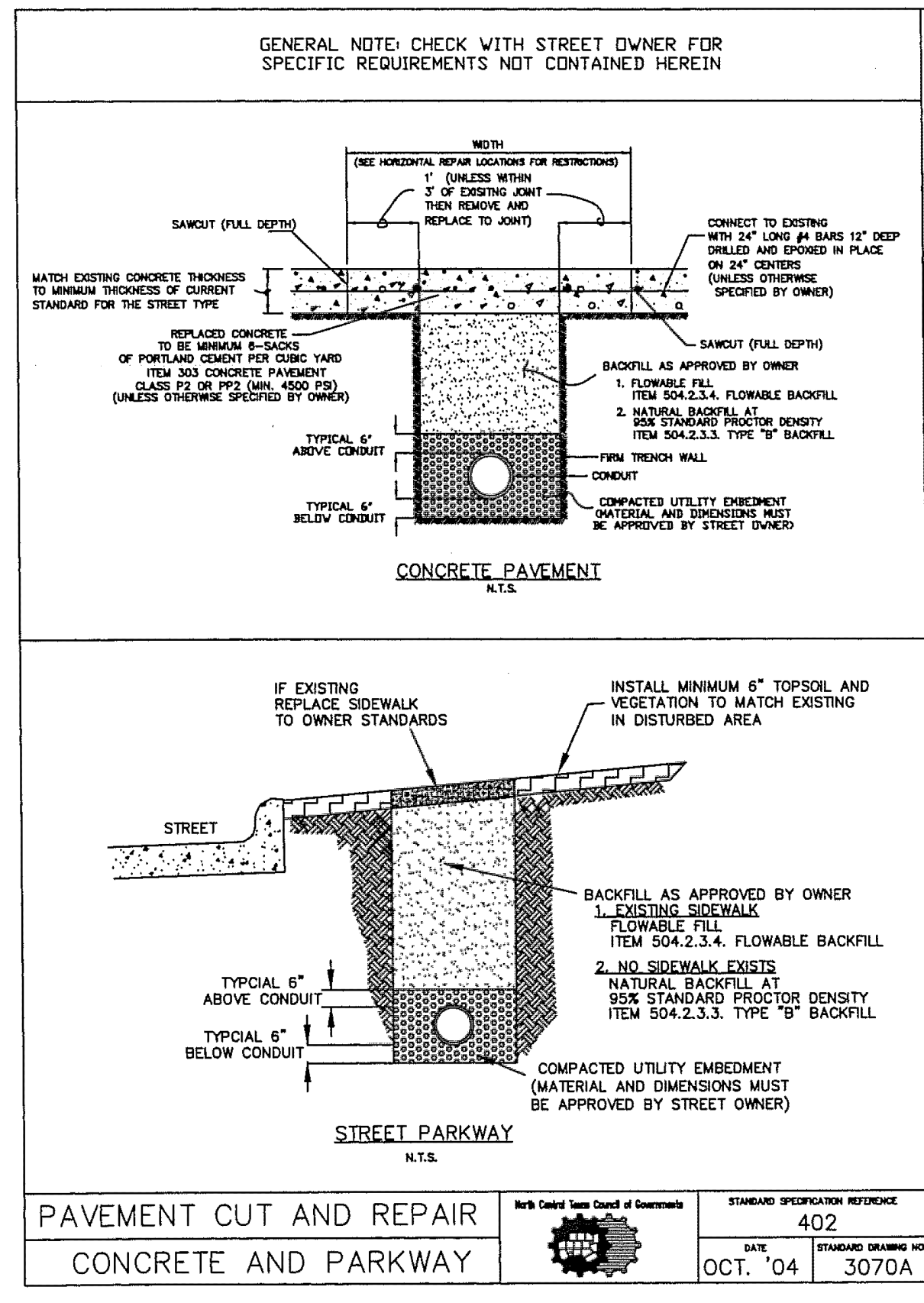
GENERAL NOTES (TYPE 3)

1. The length of the type 3 construction exit shall be as shown on the plans, or as directed by the Engineer.
2. The type 3 construction exit may be constructed from open graded crushed stone with a size of two to four inches spread a min. of 4" thick to the limits shown on the plans.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The guidelines shown hereon are suggestions only and may be modified by the Engineer.

		Design Division Standard	
TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES CONSTRUCTION EXITS EC (3) - 16			
FILE: ec316	DW: TxDOT	CHK: KM	DW: VP
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NCTCOG DETAILS
 ENGINEERED FOR:
2040 KRISTY LANE

BUILDER:	WILLIAM ADAIR ARCHITECT
ADDITION:	ELD JOB NO.: DIF17-1086
ADDRESS:	2040 KRISTY LANE
LOT:	BLOCK: FIRM REGISTRATION #: 3987
CITY:	ROCKWALL, TEXAS

SCALE: N/A

SHEET 18