

GENERAL NOTES:

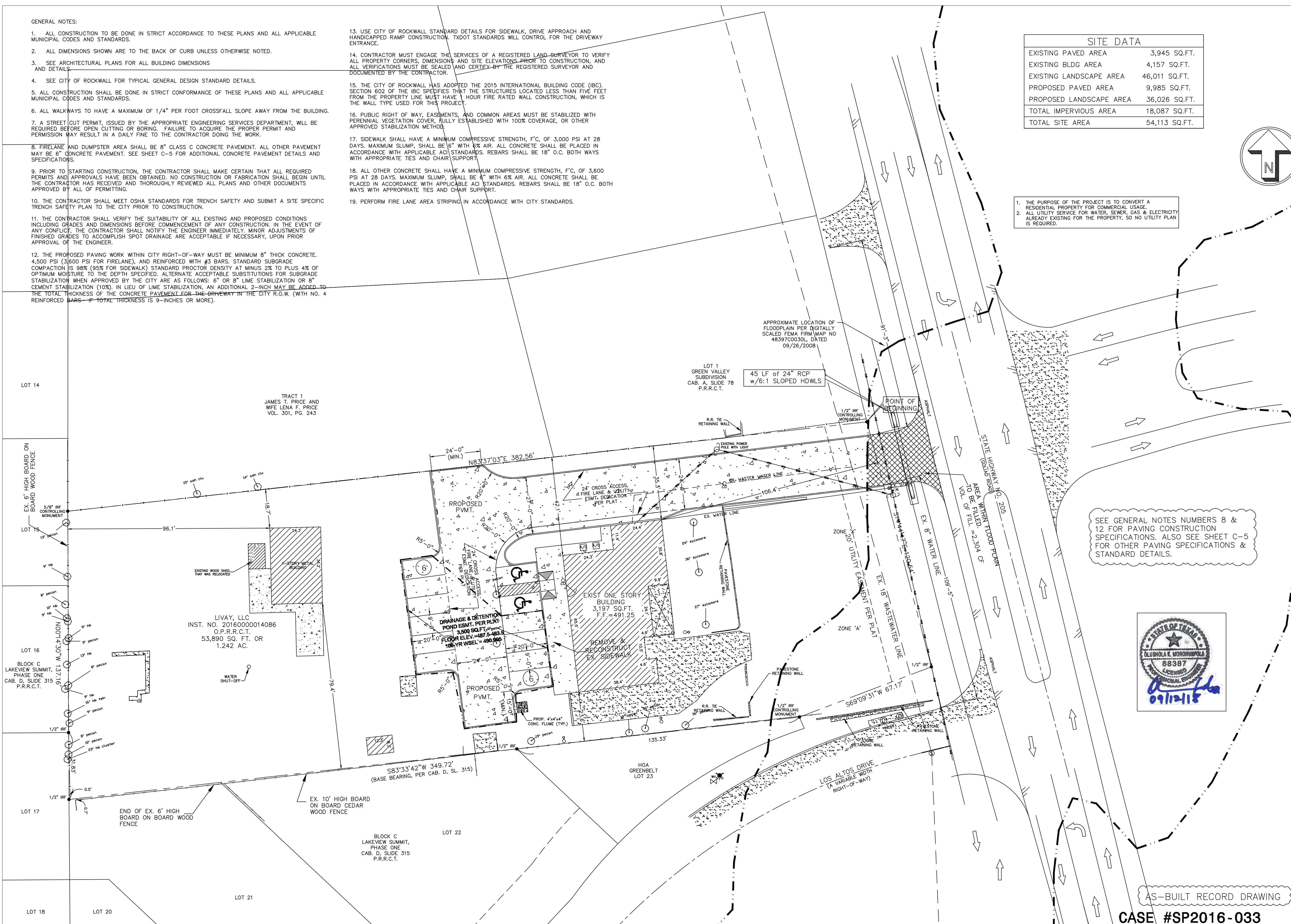
1. ALL CONSTRUCTION TO BE DONE IN STRICT ACCORDANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
2. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
3. SEE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
4. SEE CITY OF ROCKWALL FOR TYPICAL GENERAL DESIGN STANDARD DETAILS.
5. ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE OF THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
6. ALL WALKWAYS TO HAVE A MAXIMUM OF 1/4" PER FOOT CROSSFALL SLOPE AWAY FROM THE BUILDING.
7. A STREET CUT PERMIT, ISSUED BY THE APPROPRIATE ENGINEERING SERVICES DEPARTMENT, WILL BE REQUIRED BEFORE OPEN CUTTING OR BORING. FAILURE TO ACQUIRE THE PROPER PERMIT AND PERMISSION MAY RESULT IN A DAILY FINE TO THE CONTRACTOR DOING THE WORK.
8. FIRELANE AND DUMPSTER AREA SHALL BE 8" CLASS C CONCRETE PAVEMENT. ALL OTHER PAVEMENT MAY BE 6" CONCRETE PAVEMENT. SEE SHEET C-5 FOR ADDITIONAL CONCRETE PAVEMENT DETAILS AND SPECIFICATIONS.
9. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF PERMITTING.
10. THE CONTRACTOR SHALL MEET OSHA STANDARDS FOR TRENCH SAFETY AND SUBMIT A SITE SPECIFIC TRENCH SAFETY PLAN TO THE CITY PRIOR TO CONSTRUCTION.
11. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. MINOR ADJUSTMENTS OF FINISHED GRADES TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER.
12. THE PROPOSED PAVING WORK WITHIN CITY RIGHT-OF-WAY MUST BE MINIMUM 8" THICK CONCRETE, 4,500 PSI (3,600 PSI FOR FIRELANE), AND REINFORCED WITH #3 BARS. STANDARD SUBGRADE COMPACTION IS 98% (95% FOR SIDEWALK) STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED. ALTERNATE ACCEPTABLE SUBSTITUTIONS FOR SUBGRADE STABILIZATION WHEN APPROVED BY THE CITY ARE AS FOLLOWS: 6" OR 8" LIME STABILIZATION OR 2" CEMENT STABILIZATION (10%). IN LIEU OF LIME STABILIZATION, AN ADDITIONAL 2-INCH MAY BE ADDED TO THE TOTAL THICKNESS OF THE CONCRETE PAVEMENT FOR THE DRIVEWAY IN THE CITY R.O.W. (WITH NO. 4 REINFORCED BARS—IF TOTAL THICKNESS IS 9-INCHES OR MORE).

13. USE CITY OF ROCKWALL STANDARD DETAILS FOR SIDEWALK, DRIVE APPROACH AND HANDICAPPED RAMP CONSTRUCTION. TxDOT STANDARDS WILL CONTROL FOR THE DRIVEWAY ENTRANCE.
14. CONTRACTOR MUST ENGAGE THE SERVICES OF A REGISTERED LAND SURVEYOR TO VERIFY ALL PROPERTY CORNERS, DIMENSIONS AND SITE ELEVATIONS PRIOR TO CONSTRUCTION, AND ALL VERIFICATIONS MUST BE SEALED AND CERTIFY BY THE REGISTERED SURVEYOR AND DOCUMENTED BY THE CONTRACTOR.
15. THE CITY OF ROCKWALL HAS ADOPTED THE 2015 INTERNATIONAL BUILDING CODE (IBC). SECTION 602 OF THE IBC SPECIFIES THAT THE STRUCTURES LOCATED LESS THAN FIVE FEET FROM THE PROPERTY LINE MUST HAVE 1 HOUR FIRE RATED WALL CONSTRUCTION, WHICH IS THE WALL TYPE USED FOR THIS PROJECT.
16. PUBLIC RIGHT OF WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD.
17. SIDEWALK SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, F'C, OF 3,000 PSI AT 28 DAYS. MAXIMUM SLUMP, SHALL BE 6" WITH 6% AIR. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS. REBARS SHALL BE 18" O.C. BOTH WAYS WITH APPROPRIATE TIES AND CHAIR SUPPORT.
18. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, F'C, OF 3,600 PSI AT 28 DAYS. MAXIMUM SLUMP, SHALL BE 4" WITH 6% AIR. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS. REBARS SHALL BE 18" O.C. BOTH WAYS WITH APPROPRIATE TIES AND CHAIR SUPPORT.
19. PERFORM FIRE LANE AREA STRIPING IN ACCORDANCE WITH CITY STANDARDS.

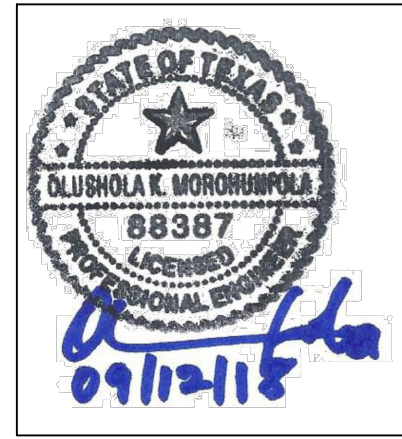
SITE DATA	
EXISTING PAVED AREA	3,945 SQ.FT.
EXISTING BLDG AREA	4,157 SQ.FT.
EXISTING LANDSCAPE AREA	46,011 SQ.FT.
PROPOSED PAVED AREA	9,985 SQ.FT.
PROPOSED LANDSCAPE AREA	36,026 SQ.FT.
TOTAL IMPERVIOUS AREA	18,087 SQ.FT.
TOTAL SITE AREA	54,113 SQ.FT.

1. THE PURPOSE OF THE PROJECT IS TO CONVERT A RESIDENTIAL PROPERTY FOR COMMERCIAL USAGE.
2. ALL UTILITY SERVICE FOR WATER, SEWER, GAS & ELECTRICITY ALREADY EXISTING FOR THE PROPERTY, SO NO UTILITY PLAN IS REQUIRED.

LEGEND	
---436---	EXISTING CONTOUR LINE
→	DRAINAGE / GRADING DIRECTION
+ 437.00	EXISTING SPOT ELEVATION
● 655.35	PROPOSED SPOT ELEVATION
-----	DRAINAGE DIVIDE LINE
B	DRAINAGE AREA NO.
---436---	PROPOSED CONTOUR LINE
[Pattern]	NEW CONCRETE PAVEMENT
[Pattern]	EXISTING CONCRETE PAVEMENT
[Pattern]	ASPHALT PAVEMENT
[Pattern]	LANDSCAPE AREA
○	EXISTING CHAIN LINKED FENCE
---	EXISTING WOODEN FENCE
---	PROPERTY LINE
T.O.C.	TOP OF CURB ELEVATION
□	TELEPHONE PEDESTAL
○	POWER POLE
□	SIGN
○	EXISTING SAN. SEWER MANHOLE
○	FIRE HYDRANT
T.O.W.	TOP OF WALL
B.O.W.	BOTTOM OF WALL



SEE GENERAL NOTES NUMBERS 8 & 12 FOR PAVING CONSTRUCTION SPECIFICATIONS. ALSO SEE SHEET C-5 FOR OTHER PAVING SPECIFICATIONS & STANDARD DETAILS.



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REVISIONS	
Date	Description

Project Name & Address:
PROPOSED OFFICE (REAL ESTATE)
1201 N. GOLIAD STREET
LIZARDO OEMENO ADDITION
LOT 1, BLOCK A
ROCKWALL, TX 75087

Sheet Title:
SITE, PAVING & DIMENSION CONTROL PLAN

Date: **AUGUST 30, 2017**

Scale: **1" = 20'** Sheet No.:

OKM Project No.: **17-150** **C-1**

Owner's Project No.: **N/A**

AS-BUILT RECORD DRAWING
CASE #SP2016-033