

# LIFE SPRING CHURCH

LIFE SPRING CHURCH ADDITION

LOT 1, BLOCK 2

200 LIFE SPRING ROAD

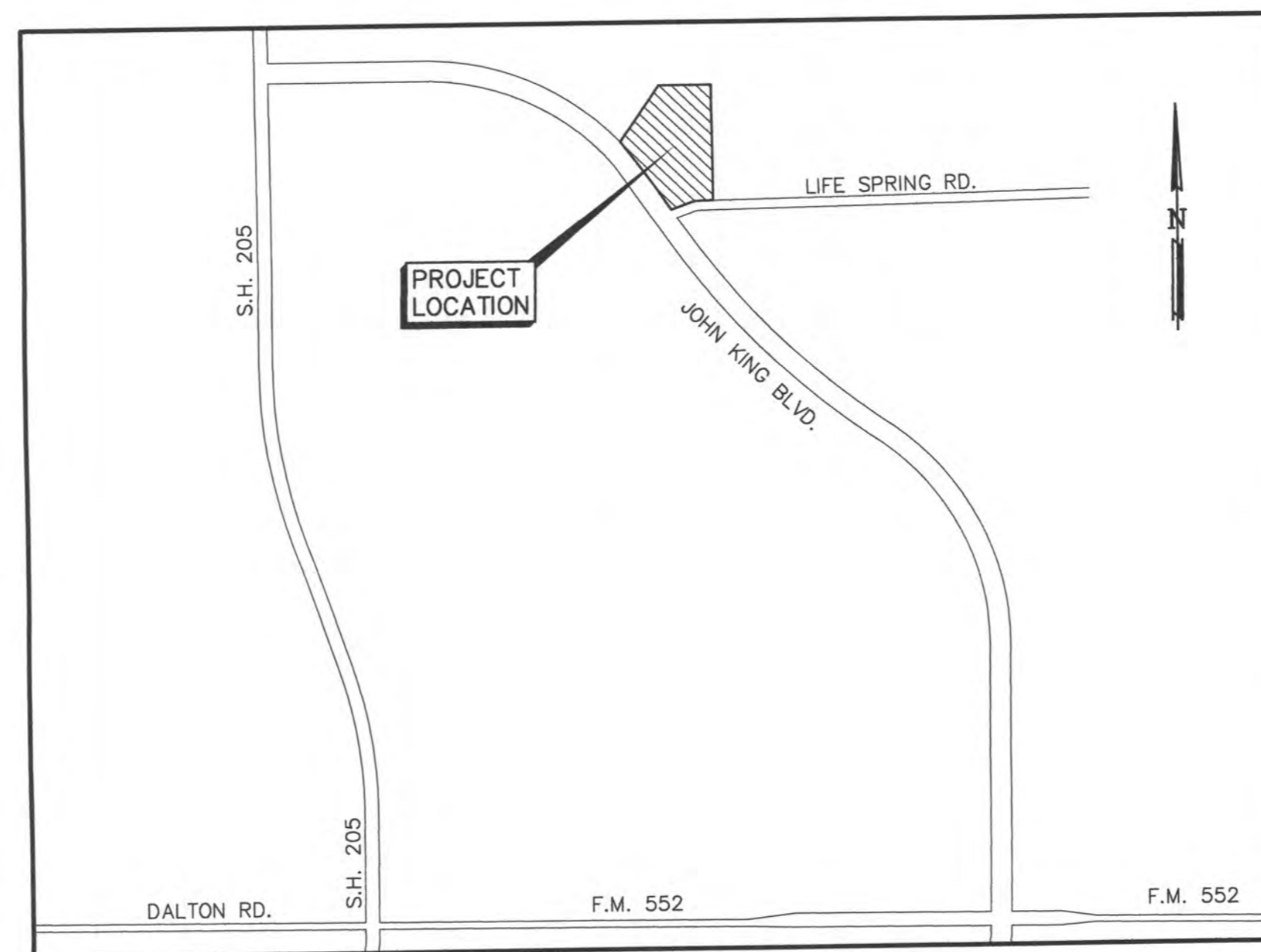
ROCKWALL, TEXAS 75087

SITE IMPROVEMENTS

SEPTEMBER 2015

**SHEET INDEX**

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VICINITY MAP  
N.T.S.



City of Rockwall  
The New Horizon

PREPARED BY :

LAM CONSULTING ENGINEERING

6804 WILHELMINA DRIVE

SACHSE, TEXAS 75048

(214) 766-1011

www.lamcivil.com

Firm# F-9763

NOTE:  
CITY OF ROCKWALL ENGINEERING DEPARTMENT LATEST STANDARD DETAILS AND NCTCOG 3RD EDITION SHALL BE USED FOR CONSTRUCTION OF THIS PROJECT UNLESS OTHERWISE NOTED WITHIN THESE PLANS. THE CONTRACTOR SHALL OBTAIN THE STANDARD DETAIL BOOK FROM THE CITY'S ENGINEERING DEPARTMENT.

LIFE SPRING CHURCH  
P.O. BOX 886  
ROCKWALL, TEXAS 75087  
(214) 497-7206

PLAN REVIEW	Approved	Dis-Comments
Submittal Name	Approved	Dis-Comments
City Engineer		
Assistant City Engineer		
Civil Engineer		
Water		
Wastewater		
Streets		
Electrical		
Fire Department		
Planning & Zoning		
Other		

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TJUAN P. LAM, P.E. 86968 ON 10/05/15. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

THE INFORMATION SHOWN ON THIS PLAN ARE FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS

SUBMITTAL #5

OCT - 5 2015

City of Rockwall Engineering Dept.

CITY COPY

LIFE SPRING CHURCH  
200 LIFE SPRING RD. - ROCKWALL, TEXAS

LIFE SPRING CHURCH ADDITION

LAM CONSULTING ENGINEERING  
PROJECT #0519-15



OWNER'S CERTIFICATE

State of Texas  
County of Rockwall

WHEREAS LIFE SPRING CHURCH, a Texas nonprofit corporation, is the owner of a tract of land situated in the JOSEPH STRICKLAND SURVEY, ABSTRACT NO. 187, Rockwall, Rockwall County, Texas, and being part of that certain 31.012 acre tract of land conveyed from Bruce A. Clark and Rose R. Clark to Life Spring Church, a Texas nonprofit corporation, by Warranty Deed With Vendor's Lien ("LSWD") recorded in Volume 6934, Page 206 of the Official Public Records of Rockwall County, Texas ("OPRRCT"), and being more particularly described as follows:

TRACT ONE

BEGINNING at a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found for the most southerly corner of said 31.012 acre tract as described in said LSDW, said rod being in the northeasterly right-of-way line of John King Boulevard (120' R.O.W.) as described in Warranty Deed to the City of Rockwall, Texas, recorded in Volume 5364, Page 123 of the OPRRCT, and also being in a curve to the right and concave to the northeast, said curve having a central angle of 02°20'16", a radius of 4,880.00', and a chord which bears N 38°27'54" W a distance of 199.11';

THENCE northwesterly with said curve to the right and northeasterly right-of-way line an arc distance of 199.12 feet to point for corner from which a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found bears S 88°22'04" E a distance of 0.56';

THENCE South 52 deg. 42 min. 14 sec. West with a northwesterly right-of-way line of John King Boulevard (120' R.O.W.) a distance of 60.00 feet to a 5/8" iron rod with yellow plastic cap stamped "RPLS 5405" ("5/8" YCIRS") set for corner, said rod being in the northeasterly right-of-way line of John King Boulevard (120' R.O.W.), and being in a curve to the right and concave to the northeast, said curve having a central angle of 02°40'18", a radius of 4940.00', and a chord which bears N 35°57'36" W a distance of 230.32';

THENCE with said curve to the right and northeasterly right-of-way line an arc distance of 230.34 feet to a 5/8" YCIRS at the southerly terminus of a right-of-way clip of Life Spring Drive (variable R.O.W.) as described in Right-Of-Way Plat of Life Spring Drive, recorded in County Clerk Instrument No. 2014000004816 of the OPRRCT;

THENCE North 11 deg. 13 min. 10 sec. East with said right-of-way clip of Life Spring Drive 41.95 feet to a 5/8" YCIRS for corner, said corner being the beginning of a curve to the right, said curve having a central angle of 08°09'12", a radius of 211.00', and a chord which bears N 64°25'58" E a distance of 30.00';

THENCE northeasterly with said curve to the right and right-of-way of Life Spring Drive an arc distance of 30.03 feet to a 5/8" YCIRS for corner and point of a reverse curve to the left, said curve being concave to the northwest and having a central angle of 13°33'08", a radius of 109.50', and a chord which bears N 61°43'57" E a distance of 25.84 feet;

THENCE northeasterly with said curve to the left and right-of-way of Life Spring Drive an arc distance of 25.90 feet to a 5/8" YCIRS for corner and point of reverse curve to the right, said curve being concave to the southeast and having a central angle of 34°17'31", a radius of 90.50', and a chord which bears N 72°06'04" E a distance of 53.36';

THENCE northeasterly with said curve to the right and right-of-way of Life Spring Drive an arc distance of 54.16 feet to a 5/8" YCIRS and PT of curve;

THENCE North 89 deg. 14 min. 49 sec. East with the south right-of-way line of Life Spring Drive (50' R.O.W. at this point) a distance of 153.08 feet to a 5/8" YCIRS for corner in the west line of Breezy Hill Phase IV, an addition to the City of Rockwall, Texas, as recorded in County Clerk File No. 2015000003964 of the OPRRCT, and also being the northwest corner of a 0.180 acre tract of land conveyed from Life Spring Church, a Texas nonprofit corporation, to BH Phase IV SF, Ltd., a Texas limited partnership, by Special Warranty Deed recorded in County Clerk Instrument No. 2014000004551 of the OPRRCT;

THENCE South 00 deg. 45 min. 11 sec. East with the west line of said 0.180 acre tract and Breezy Hill Phase IV a distance of 200.00 feet to a 5/8" YCIRS for corner and being in a curve to the right, said curve being concave to the south and having a central angle of 03°46'17", a radius of 600.00', and a chord which bears S 88°52'03" E a distance of 39.49';

THENCE easterly with said curve to the right and southerly line of said 0.180 acre tract and Breezy Hill Phase IV an arc distance of 39.49 feet to a 5/8" YCIRS for southeast corner of same;

THENCE South 00 deg. 52 min. 30 sec. West with the east line of said 31.012 acre tract and Breezy Hill Phase IV a distance of 189.97 to the PLACE OF BEGINNING, and containing 63,581 square feet or 1.4586 acres of land, more or less.

TRACT TWO

BEGINNING at 5/8" iron rod with yellow plastic cap set ("5/8" YCIRS") for corner in the northeasterly right-of-way line of John King Boulevard (120' R.O.W.) as described in Warranty Deed to the City of Rockwall, Texas, recorded in Volume 5364, Page 123 of the OPRRCT, and also being in a curve to the left and concave to the southwest, said curve having a central angle of 20°02'00", a radius of 1,660.00', and a chord which bears N 45°16'23" W a distance of 577.46';

THENCE northwesterly with said curve to the left and northeasterly right-of-way line an arc distance of 580.41 feet to a 5/8" YCIRS for corner, from which a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found bears S 71°21'15" E a distance of 1.47';

THENCE North 00 deg. 54 min. 03 sec. West with the west line of said 31.012 acre tract 1321.62 feet to a 3/8" iron rod found in barbed-wire fence line for the northwest corner of same as described in LSDW, as described in the Deed in Lieu Of Foreclosure to Bruce A. Clark and wife Rose R. Clark, recorded in Volume 5667, Page 135, and as described in Warranty Deed to Shennendoah Real Estate Partners, LP, a Texas limited partnership, recorded in Volume 5351, Page 114, of the OPRRCT;

THENCE North 89 deg. 15 min. 55 sec. East with the north line of said 31.012 acre tract 782.50 feet to a leaning 5/8" iron rod with yellow plastic cap stamped "DCA" found for the northeast corner, taken to be the same rod described in said LSDW, and being that same rod described as the northwest corner of Tract 1 in Special Warranty Deed With Vendor's Lien to BH Balance III LLC, a Texas limited liability company, recorded in County Clerk Instrument No. 20130000498889 of the OPRRCT;

THENCE South 00 deg. 52 min. 30 sec. East with the east line of said 31.012 acre tract and west line of said Tract 1, at a distance of 1,109.65 pass the northwest corner of Block D of Breezy Hill Phase IV, an addition to the City of Rockwall, Texas as recorded in County Clerk Instrument No. 2015000003964, and continuing with same for a total distance of 1,717.69 feet to a 5/8" YCIRS for corner in the north right-of-way line of Life Spring Drive (variable R.O.W.) as described in Right-Of-Way Plat of Life Spring Drive, recorded in County Clerk Instrument No. 2014000004816 of the OPRRCT, said rod corner being in a curve to the left, said curve being concave to the south and having a central angle of 02°37'29", a radius of 850.00', and a chord which bears N 89°26'27" W a distance of 38.93';

THENCE westerly with said curve to the left and north right-of-way line an arc distance of 38.94 feet to a 5/8" YCIRS for corner and PT of said curve;

THENCE South 89 deg. 14 min. 49 sec. West with said north right-of-way line 152.28 feet to a 5/8" YCIRS for corner and PC of a curve to the left, said curve being concave to the south and having a central angle of 5°25'24", a radius of 275.00', and a chord which bears S 86°32'09" W a distance of 26.02';

THENCE westerly with said curve to the left and north right-of-way line an arc distance of 26.03 feet to a 5/8" YCIRS for corner and point of reverse curve to the right, said curve being concave to the north and having a central angle of 14°46'00", a radius of 90.50', and a chord which bears N 88°47'28" W a distance of 23.26';

THENCE westerly with said curve to the right and north right-of-way line an arc distance of 23.32 feet to a 5/8" YCIRS for corner and point of reverse curve to the left, said curve being concave to the southeast and having a central angle of 31°16'08", a radius of 109.50', and a chord which bears S 82°57'31" W a distance of 59.02';

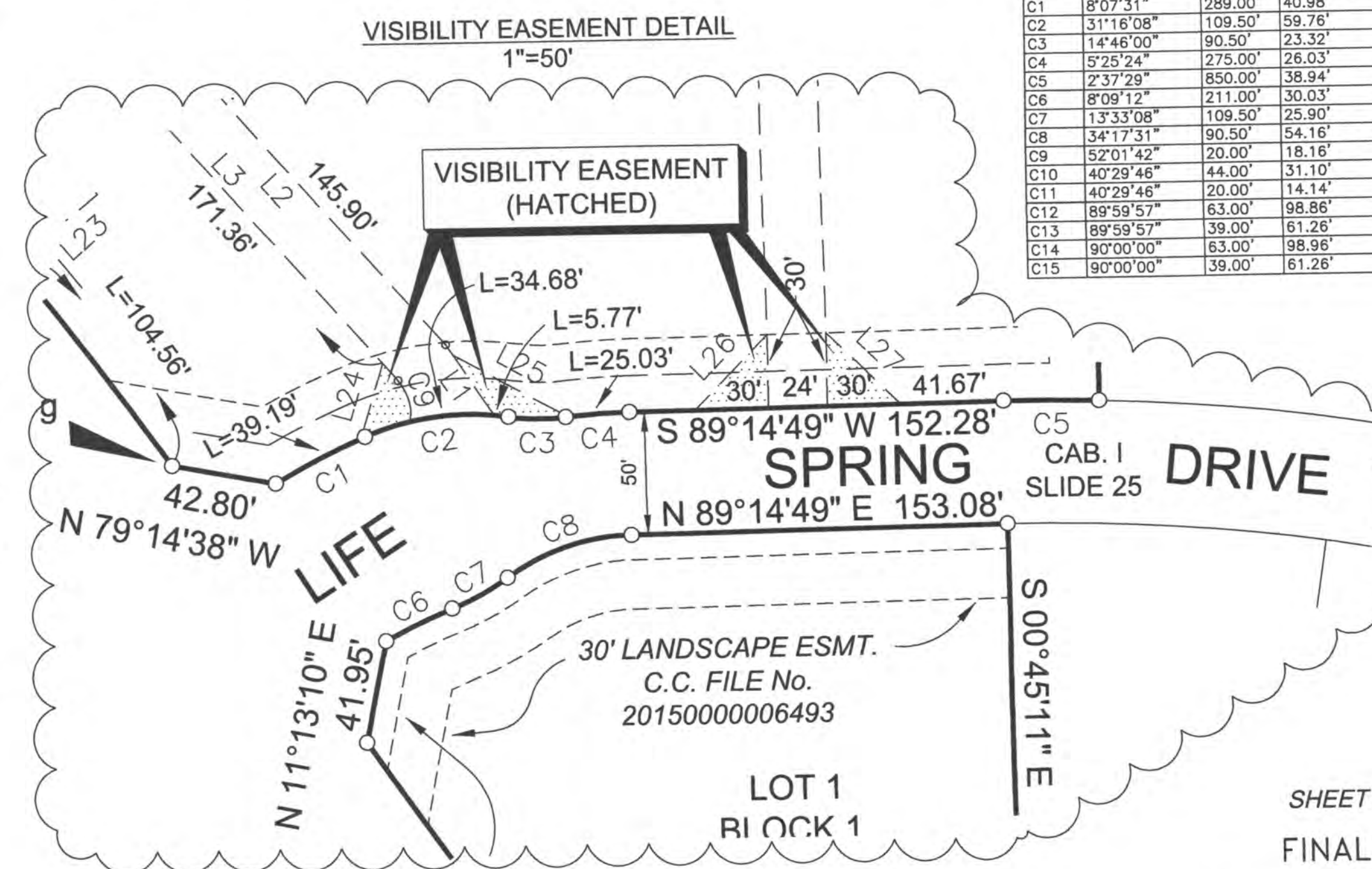
THENCE southwesterly with said curve to the left and northerly right-of-way line an arc distance of 59.76 feet to a 5/8" YCIRS for corner and point of compound curve to the left, said curve being concave to the southeast and having a central angle of 08°07'31", a radius of 289.00', and a chord which bears S 63°15'40" W a distance of 40.95';

THENCE southwesterly with said curve to the left and northerly right-of-way line an arc distance of 40.98 feet to a 5/8" YCIRS for corner and easterly terminus of a northerly right-of-way clip;

THENCE North 79 deg. 14 min. 38 sec. West with the said northerly right-of-way clip 42.80 feet to the PLACE OF BEGINNING, and containing 1,258,048 square feet or 28.8808 acres of land, more or less.

LINE	BEARING	DISTANCE
L1	S 34°07'28" E	35.11
L2	S 41°22'16" E	183.08
L3	S 41°22'16" E	180.95
L4	S 00°52'30" E	240.89
L5	S 00°52'30" E	240.89
L6	N 89°07'30" E	214.50
L7	S 89°07'30" W	214.50
L8	S 00°52'30" E	423.06
L9	S 00°52'30" E	423.11
L10	S 48°37'44" W	10.50
L11	S 41°22'16" E	15.00
L12	S 48°37'44" W	10.50
L13	N 00°52'30" W	10.50
L14	N 89°07'30" E	15.00
L15	N 00°52'30" W	10.50
L16	N 89°07'30" E	7.50
L17	S 00°52'30" E	15.00
L18	N 89°07'30" E	7.50
L19	S 44°23'32" E	58.84
L20	S 00°52'30" E	247.15
L21	S 29°09'47" E	42.58
L22	S 43°32'29" E	44.14
L23	S 51°08'05" W	44.04
L24	S 16°27'04" W	31.95
L25	S 61°00'53" E	53.51
L26	S 44°11'10" W	42.38
L27	S 45°48'50" E	42.47

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	8°07'31"	289.00'	40.98'	S 63°15'40" W	40.95'
C2	31°16'08"	109.50'	59.76'	S 82°57'31" W	59.02'
C3	14°46'00"	90.50'	23.32'	S 88°47'28" E	23.26'
C4	9°26'24"	275.00'	26.03'	S 86°32'09" W	26.02'
C5	2°37'29"	850.00'	38.94'	N 89°26'27" W	38.93'
C6	8°09'12"	211.00'	30.03'	S 64°25'58" W	30.00'
C7	13°33'08"	109.50'	25.90'	N 61°43'57" E	25.84'
C8	34°17'31"	90.50'	54.16'	S 72°06'04" W	53.36'
C9	32°01'42"	20.00'	18.16'	N 15°21'25" W	17.54'
C10	40°29'46"	44.00'	31.10'	S 21°07'23" E	30.46'
C11	40°29'46"	20.00'	14.14'	S 21°07'23" E	13.84'
C12	89°59'57"	63.00'	98.86'	S 44°07'30" W	88.09'
C13	89°59'57"	39.00'	61.26'	S 44°07'30" W	55.15'
C14	90°00'00"	63.00'	98.98'	N 45°52'30" W	89.10'
C15	90°00'00"	39.00'	61.26'	N 45°52'30" W	55.15'



LIFE SPRING CHURCH  
Rex Walker  
P.O. Box 886  
Rockwall, Texas

OWNER  
Pastor  
(214) 497-7206  
75087

DALLAS MAPPING & DESIGN  
1222 TERRACE MILL DR.  
MURPHY, TEXAS

SURVEYOR  
(972) 569-0281  
75094

T.B.P.L.S. FORM # 10063100 Oct. 3, 2015

SHEET 2 OF 3  
FINAL PLAT  
LIFE SPRING CHURCH  
LOT 1, BLOCK 1, & LOTS 1 & 2, BLOCK 2

SITUATED IN THE  
JOSEPH STRICKLAND SURVEY, ABSTRACT NO. 187  
IN THE  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY CASE No. \_\_\_\_\_

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the LIFE SPRING CHURCH subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LIFE SPRING CHURCH subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Owner: Rex Walker, Lead Pastor  
Life Spring Church, a Texas nonprofit corporation

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

Notary Public in and for the State of Texas My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL BY THESE PRESENTS:

THAT I, Glenn S. Breysacher, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed or found under my personal supervision.

PRELIMINARY PLAT FOR REVIEW ONLY  
NOT TO BE RECORDED FOR ANY PURPOSE Registered Professional Land Surveyor No. 5405

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Glenn S. Breysacher, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

Notary Public in and for the State of Texas My Commission Expires: \_\_\_\_\_

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date: \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall City Secretary City Engineer

THIS SPACE RESERVED  
FOR ROCKWALL COUNTY  
RECORDING LABEL

SHEET 3 OF 3

FINAL PLAT

LIFE SPRING CHURCH  
LOT 1, BLOCK 1, & LOTS 1 & 2, BLOCK 2

SITUATED IN THE  
JOSEPH STRICKLAND SURVEY, ABSTRACT NO. 187  
IN THE  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
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Rex Walker  
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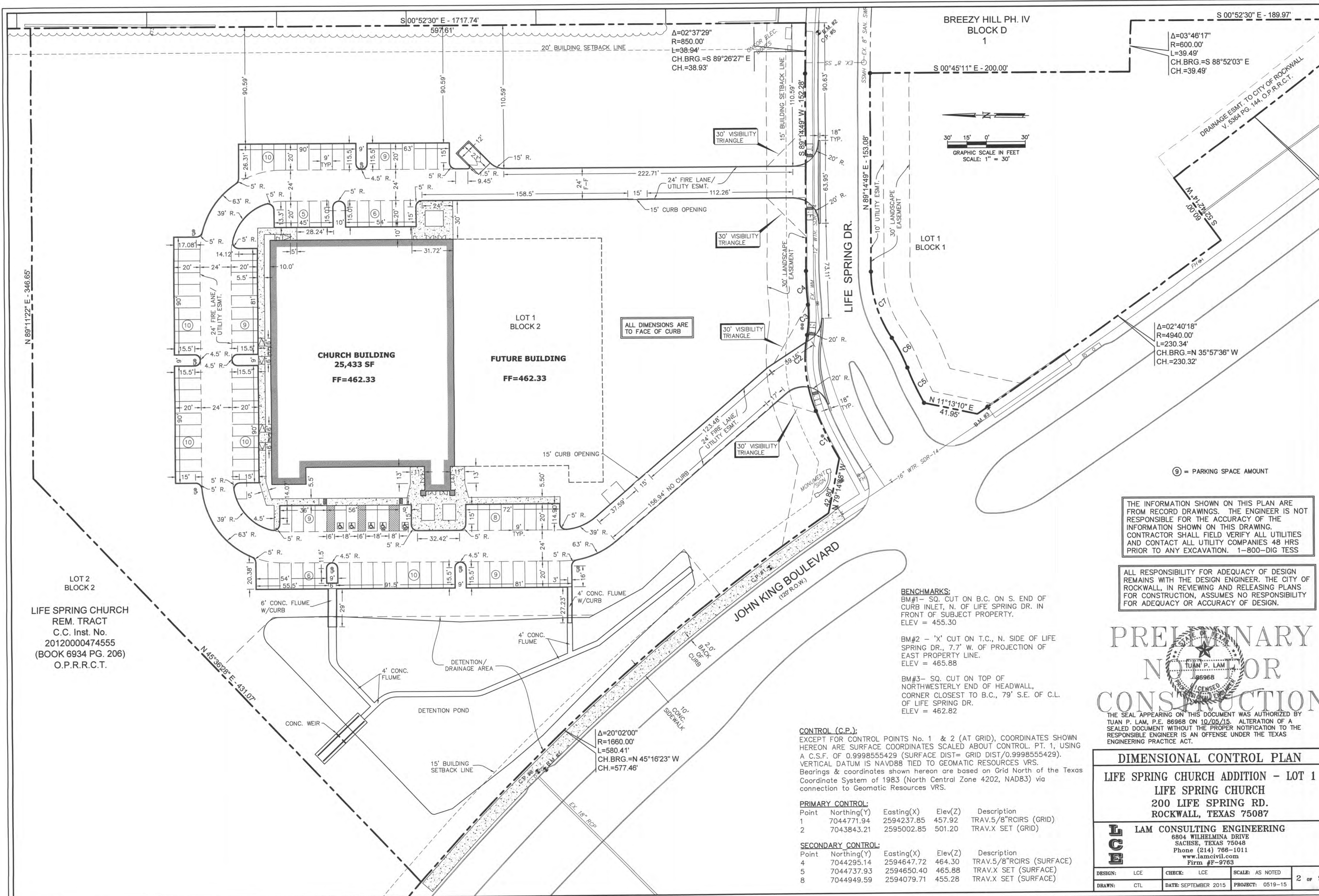
DALLAS MAPPING & DESIGN  
1222 TERRACE MILL DR.  
MURPHY, TEXAS



SURVEYOR  
(972) 569-0281  
75094

T.B.P.L.S. FIRM # 10093100

Oct. 3, 2015



$\Delta=02^{\circ}37'29''$   
 $R=850.00'$   
 $L=38.94'$   
 $CH.BRG.=S 89^{\circ}26'27'' E$   
 $CH.=38.93'$

$\Delta=03^{\circ}46'17''$   
 $R=600.00'$   
 $L=39.49'$   
 $CH.BRG.=S 88^{\circ}52'03'' E$   
 $CH.=39.49'$

$\Delta=02^{\circ}40'18''$   
 $R=4940.00'$   
 $L=230.34'$   
 $CH.BRG.=N 35^{\circ}57'36'' W$   
 $CH.=230.32'$

ALL DIMENSIONS ARE TO FACE OF CURB

⑨ = PARKING SPACE AMOUNT

THE INFORMATION SHOWN ON THIS PLAN ARE FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**BENCHMARKS:**  
 BM#1 - SQ. CUT ON B.C. ON S. END OF CURB INLET, N. OF LIFE SPRING DR. IN FRONT OF SUBJECT PROPERTY. ELEV = 455.30  
 BM#2 - 'X' CUT ON T.C., N. SIDE OF LIFE SPRING DR., 7.7' W. OF PROJECTION OF EAST PROPERTY LINE. ELEV = 465.88  
 BM#3 - SQ. CUT ON TOP OF NORTHWESTERLY END OF HEADWALL, CORNER CLOSEST TO B.C., 79' S.E. OF C.L. OF LIFE SPRING DR. ELEV = 462.82

**CONTROL (C.P.):**  
 EXCEPT FOR CONTROL POINTS No. 1 & 2 (AT GRID), COORDINATES SHOWN HEREON ARE SURFACE COORDINATES SCALED ABOUT CONTROL. PT. 1, USING A C.S.F. OF 0.9998555429 (SURFACE DIST= GRID DIST/0.9998555429). VERTICAL DATUM IS NAVD88 TIED TO GEOMATIC RESOURCES VRS. Bearings & coordinates shown hereon are based on Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202, NAD83) via connection to Geomatic Resources VRS.

**PRIMARY CONTROL:**

Point	Northing(Y)	Easting(X)	Elev(Z)	Description
1	7044771.94	2594237.85	457.92	TRAV.5/8"RCIRS (GRID)
2	7043843.21	2595002.85	501.20	TRAV.X SET (GRID)

**SECONDARY CONTROL:**

Point	Northing(Y)	Easting(X)	Elev(Z)	Description
4	7044295.14	2594647.72	464.30	TRAV.5/8"RCIRS (SURFACE)
5	7044737.93	2594650.40	465.88	TRAV.X SET (SURFACE)
8	7044949.59	2594079.71	455.28	TRAV.X SET (SURFACE)

PRELIMINARY NOT FOR CONSTRUCTION

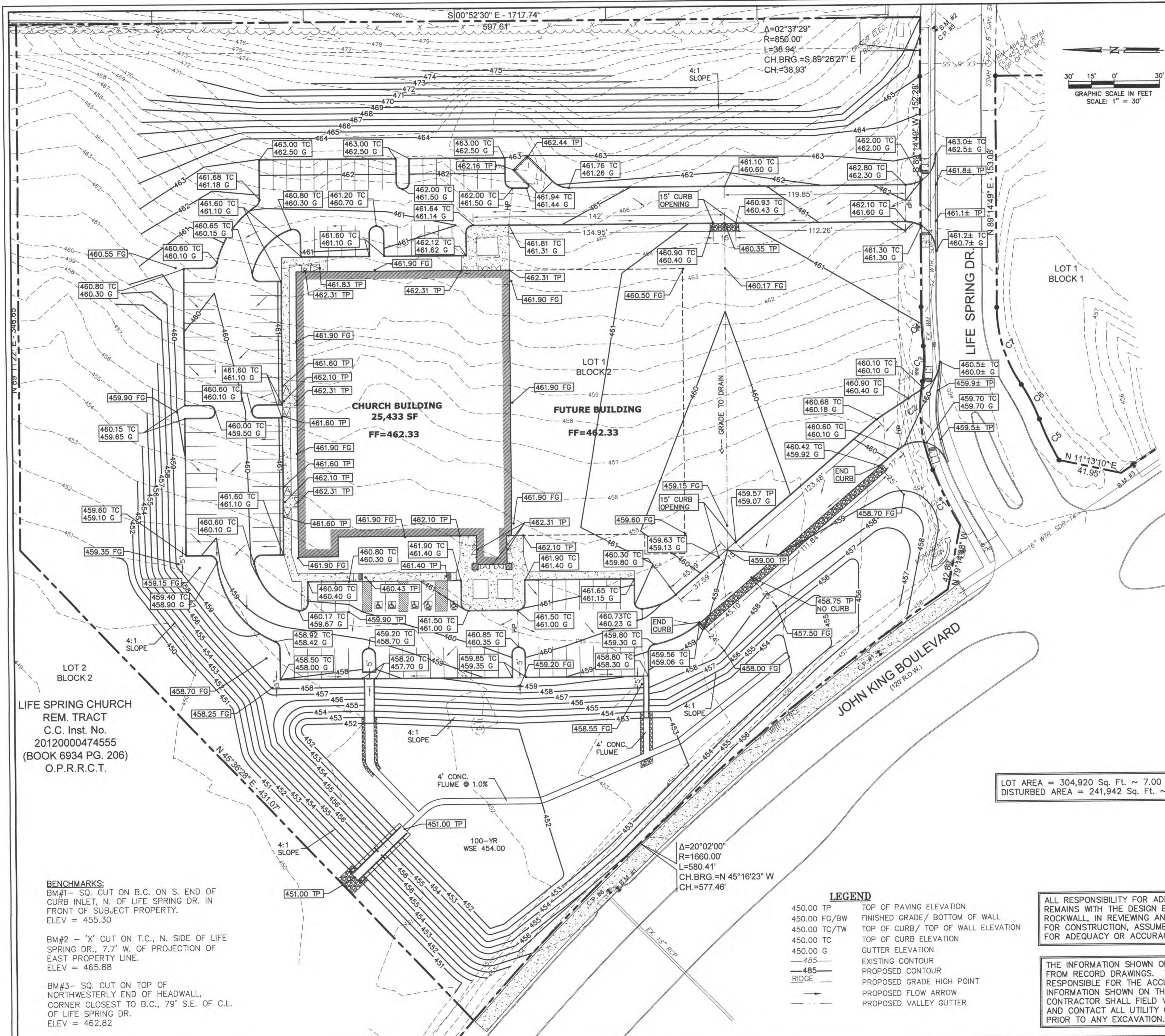
TUAN P. LAM  
 198968  
 LICENSED PROFESSIONAL ENGINEER

**DIMENSIONAL CONTROL PLAN**  
 LIFE SPRING CHURCH ADDITION - LOT 1  
 LIFE SPRING CHURCH  
 200 LIFE SPRING RD.  
 ROCKWALL, TEXAS 75087

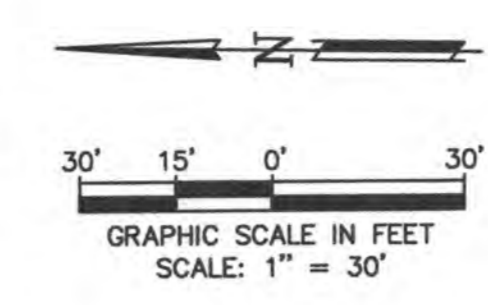
**LAM CONSULTING ENGINEERING**  
 6804 WILHELMINA DRIVE  
 SACHSE, TEXAS 75048  
 Phone (214) 766-1011  
 www.lamcivil.com  
 Firm #F-9763

DESIGN: LCE    CHECK: LCE    SCALE: AS NOTED  
 DRAWN: CTL    DATE: SEPTEMBER 2015    PROJECT: 0519-15    2 of 9

LOT 2 BLOCK 2  
 LIFE SPRING CHURCH  
 REM. TRACT  
 C.C. Inst. No.  
 20120000474555  
 (BOOK 6934 PG. 206)  
 O.P.R.R.C.T.



- GRADING NOTES:**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S PLANS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN AND APPROVED BY THE CITY AND NCTCOG 3RD EDITION.
  2. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
  3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
  4. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
  5. GEOTECH REPORT TO BE PROVIDED BY OTHERS. ALL RECOMMENDATIONS CONTAINED WITHIN GEOTECHNICAL REPORT SHALL BE FOLLOWED IN THE CONSTRUCTION OF THIS PROJECT. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
  6. THE SUBGRADE IN AREAS TO BE FILLED SHOULD BE STRIPPED OF VEGETATION AND ANY MAJOR ROOT SYSTEMS. IT SHOULD THEN BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT PUMPING AREAS SHOULD BE UNDERCUT AND PROPERLY BACKFILLED. THE SUBGRADE SHOULD THEN BE SCARIFIED TO A MINIMUM +2 PERCENTAGE POINTS ABOVE THE SOIL'S OPTIMUM MOISTURE DETERMINED BY THAT TEST.
  7. ALL BACKFILL SHALL BE COMPACTED TO 95% PROCTOR DENSITY. BACKFILL SHOULD BE STRIPPED OF VEGETATION AND ANY MAJOR ROOT SYSTEMS. IT SHOULD THEN BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT PUMPING AREAS SHOULD BE UNDERCUT AND PROPERLY BACKFILLED. THE BACKFILL SHOULD THEN BE SCARIFIED TO A MINIMUM +2 PERCENTAGE POINTS ABOVE THE SOIL'S OPTIMUM MOISTURE DETERMINED BY THAT TEST. THE FILL MATERIALS SHOULD THEN BE SPREAD IN LOOSE LIFTS, LESS THAN 8 INCHES THICK, AND UNIFORMLY COMPACTED TO THE SAME CRITERIA. IF FILLING IS SUSPENDED AND THE SUBGRADE BECOMES DESICCATED OR RUTTED, IT SHOULD BE REWORKED PRIOR TO PLACEMENT OF A SUBSEQUENT LIFT. ALL FILL TO BE COMPACTED USING A SHEEP FOOT ROLLER.
  8. COMPACTION TEST SHALL BE DONE FOR EACH 8" OF FILL, BUT NOT LESS THAN ONE TEST FOR EVERY CUBIC YARDS, OR MORE FREQUENTLY IF REQUIRED BY THE SOILS ENGINEER.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR THE INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE SOILS REPORT.
  10. ALL PROPOSED SPOT SHOTS ARE TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
  11. ALL DISTURBED AREAS SHALL BE STABILIZED WITH BROADCAST SEED AND FERTILIZER UPON COMPLETION OF GRADING AND PAVING. CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO ESTABLISH PERMANENT VEGETATION. 75%-80% OF ALL DISTURBED AREA TO HAVE 1" TALL ESTABLISHED GRASS PRIOR TO ENGINEERING ACCEPTANCE. ALL RIGHT-OF-WAYS TO BE SODDED.
  12. DETENTION SYSTEMS TO BE FULLY INSTALLED WITH EITHER SOD OR ANCHORED SEEDED CURLEX ON THE SIDES AND BOTTOM AND FUNCTIONING PER PLAN PRIOR TO ANY PAVING INSTALLATION.



LOT 2  
BLOCK 2

LIFE SPRING CHURCH  
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LOT AREA = 304,920 Sq. Ft. ~ 7.00 Ac.  
DISTURBED AREA = 241,942 Sq. Ft. ~ 5.55 Ac.

**BENCHMARKS:**  
BM#1 - SQ. CUT ON B.C. ON S. END OF CURB INLET, N. OF LIFE SPRING DR. IN FRONT OF SUBJECT PROPERTY. ELEV = 455.30  
BM#2 - 'X' CUT ON T.C., N. SIDE OF LIFE SPRING DR., 7.7' W. OF PROJECTION OF EAST PROPERTY LINE. ELEV = 465.88  
BM#3 - SQ. CUT ON TOP OF NORTHWESTERLY END OF HEADWALL, CORNER CLOSEST TO B.C., 79' S.E. OF C.L. OF LIFE SPRING DR. ELEV = 462.82

**LEGEND**

450.00 TP	TOP OF PAVING ELEVATION
450.00 FG/BW	FINISHED GRADE/ BOTTOM OF WALL
450.00 TC/TW	TOP OF CURB/ TOP OF WALL ELEVATION
450.00 TC	TOP OF CURB ELEVATION
450.00 G	GUTTER ELEVATION
-485-	EXISTING CONTOUR
-485-	PROPOSED CONTOUR
—RIDGE—	PROPOSED GRADE HIGH POINT
→	PROPOSED FLOW ARROW
---	PROPOSED VALLEY GUTTER

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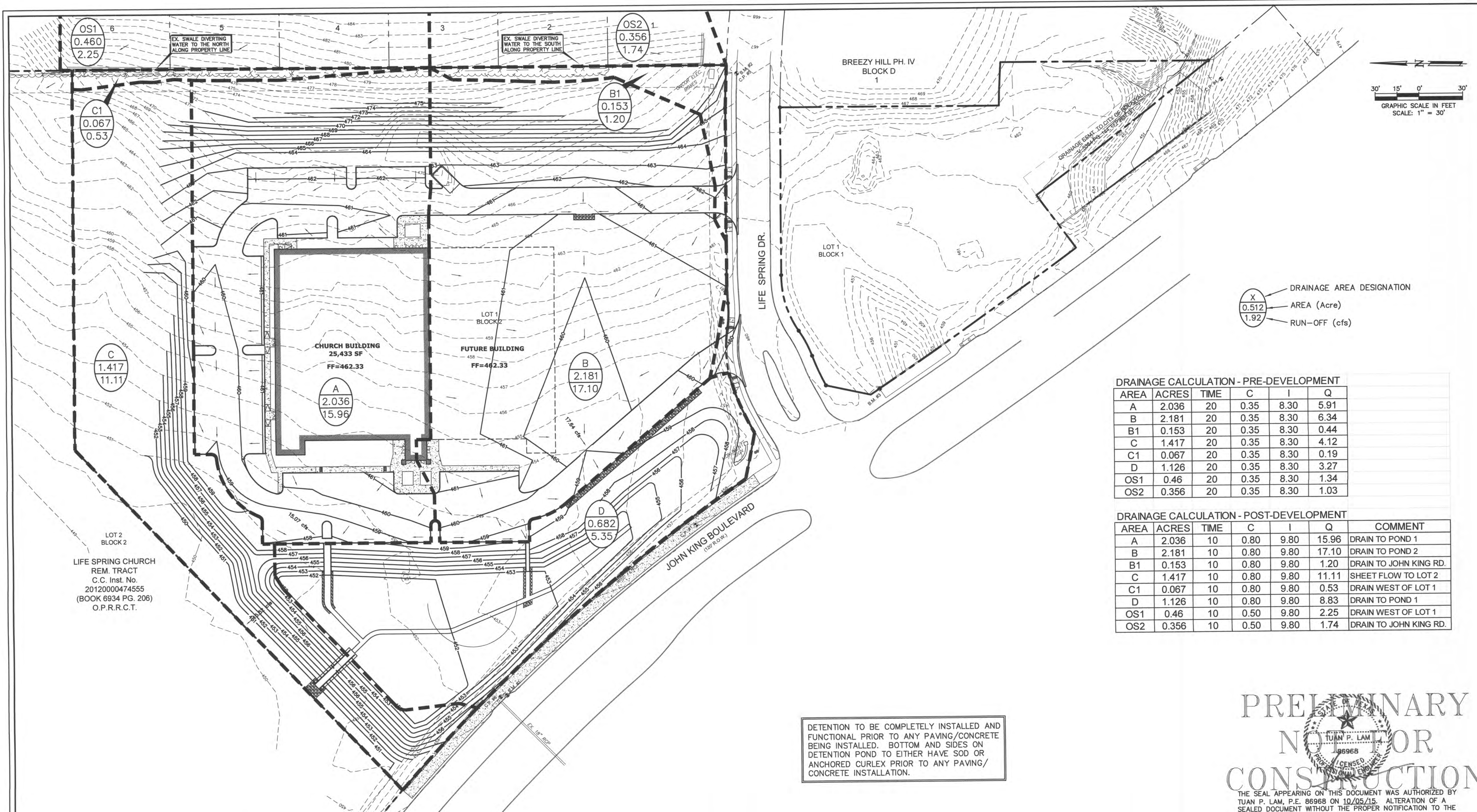
**GRADING PLAN**

**LIFE SPRING CHURCH ADDITION - LOT 1**

**LIFE SPRING CHURCH**  
**200 LIFE SPRING RD.**  
**ROCKWALL, TEXAS 75087**

**LCE** LAM CONSULTING ENGINEERING  
6804 WILHELMINA DRIVE  
SACHSE, TEXAS 75048  
Phone (214) 766-1011  
www.lamcivil.com  
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	3 of 9
DRAWN: CTL	DATE: SEPTEMBER 2015	PROJECT: 0519-15	



LOT 2 BLOCK 2  
LIFE SPRING CHURCH  
REM. TRACT  
C.C. Inst. No.  
2012000474555  
(BOOK 6934 PG. 206)  
O.P.R.R.C.T.

**DRAINAGE CALCULATION - PRE-DEVELOPMENT**

AREA	ACRES	TIME	C	I	Q
A	2.036	20	0.35	8.30	5.91
B	2.181	20	0.35	8.30	6.34
B1	0.153	20	0.35	8.30	0.44
C	1.417	20	0.35	8.30	4.12
C1	0.067	20	0.35	8.30	0.19
D	1.126	20	0.35	8.30	3.27
OS1	0.46	20	0.35	8.30	1.34
OS2	0.356	20	0.35	8.30	1.03

**DRAINAGE CALCULATION - POST-DEVELOPMENT**

AREA	ACRES	TIME	C	I	Q	COMMENT
A	2.036	10	0.80	9.80	15.96	DRAIN TO POND 1
B	2.181	10	0.80	9.80	17.10	DRAIN TO POND 2
B1	0.153	10	0.80	9.80	1.20	DRAIN TO JOHN KING RD.
C	1.417	10	0.80	9.80	11.11	SHEET FLOW TO LOT 2
C1	0.067	10	0.80	9.80	0.53	DRAIN WEST OF LOT 1
D	1.126	10	0.80	9.80	8.83	DRAIN TO POND 1
OS1	0.46	10	0.50	9.80	2.25	DRAIN WEST OF LOT 1
OS2	0.356	10	0.50	9.80	1.74	DRAIN TO JOHN KING RD.

**DETENTION CALCULATION:**  
Based on 100-yr storm requirements

Present Conditions (Open land)		Time			
Q (cfs)	Tc	15	20	30	40
C	0.35	9.00	8.30	6.90	5.80
I	8.30	50.33	46.41	38.58	32.43
A	6.990	30066	37421	45086	47382
Tc	20				
Future Conditions (Church)		Time			
Q (cfs)	Tc	15	20	30	40
C	0.80	5.00	4.50	4.00	3.70
I	9.80	27.96	25.16	22.37	20.69
A	6.990	47329	47948	44888	44771
Tc	10				

**DETENTION POND VOLUME**

ELEV	AREA	VOL. (CF)
452.00	12955.05	6477.52
453.00	21608.38	17281.72
454.00	27030.44	24319.41
<b>TOTAL</b>		<b>48078.66</b>

**VOLUME PROVIDED = 48079**  
**VOLUME REQUIRED = 47948**

$Q = 3.367 \cdot b \cdot h^2 \cdot (666)$   
Side slope 1:4 (horz:vert)  
**TRAPEZOIDAL WEIR - ACTUAL**

YEAR	h (Ft.)	b (Ft.)	Q	Elevation
100	3.00	2.9	20.29	454.00
25	2.15	2.9	16.26	453.15
10	1.75	2.9	14.18	452.75
5	1.36	2.9	11.99	452.36

**RUN-OFF CALCULATIONS - ALLOWED**

YEAR	TIME	C	I	AREA (Ac.)	Q (cfs)
100	20	0.35	8.30	6.990	20.31
25	20	0.35	6.65	6.99	16.27
10	20	0.35	5.80	6.99	14.19
5	20	0.35	4.90	6.99	11.99

DETENTION TO BE COMPLETELY INSTALLED AND FUNCTIONAL PRIOR TO ANY PAVING/CONCRETE BEING INSTALLED. BOTTOM AND SIDES ON DETENTION POND TO EITHER HAVE SOD OR ANCHORED CURLEX PRIOR TO ANY PAVING/CONCRETE INSTALLATION.

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**PRELIMINARY NOT FOR CONSTRUCTION**

TUAN P. LAM  
86968  
REGISTERED PROFESSIONAL ENGINEER  
CENSUS

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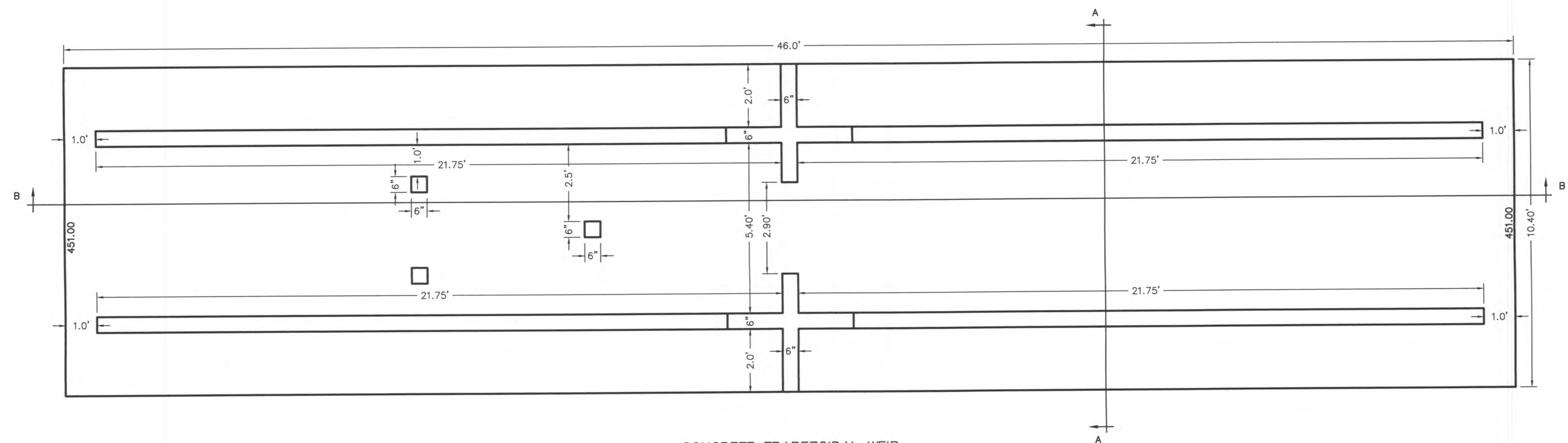
**DRAINAGE AREA MAP**

**LIFE SPRING CHURCH ADDITION - LOT 1**  
**LIFE SPRING CHURCH**  
**200 LIFE SPRING RD.**  
**ROCKWALL, TEXAS 75087**

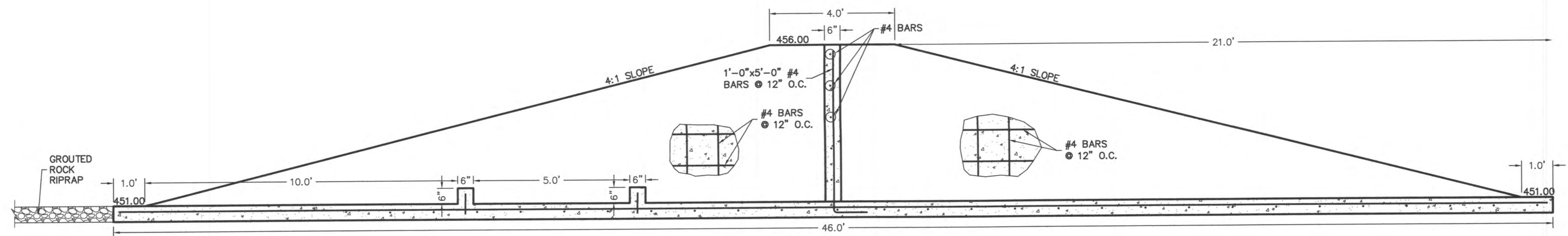
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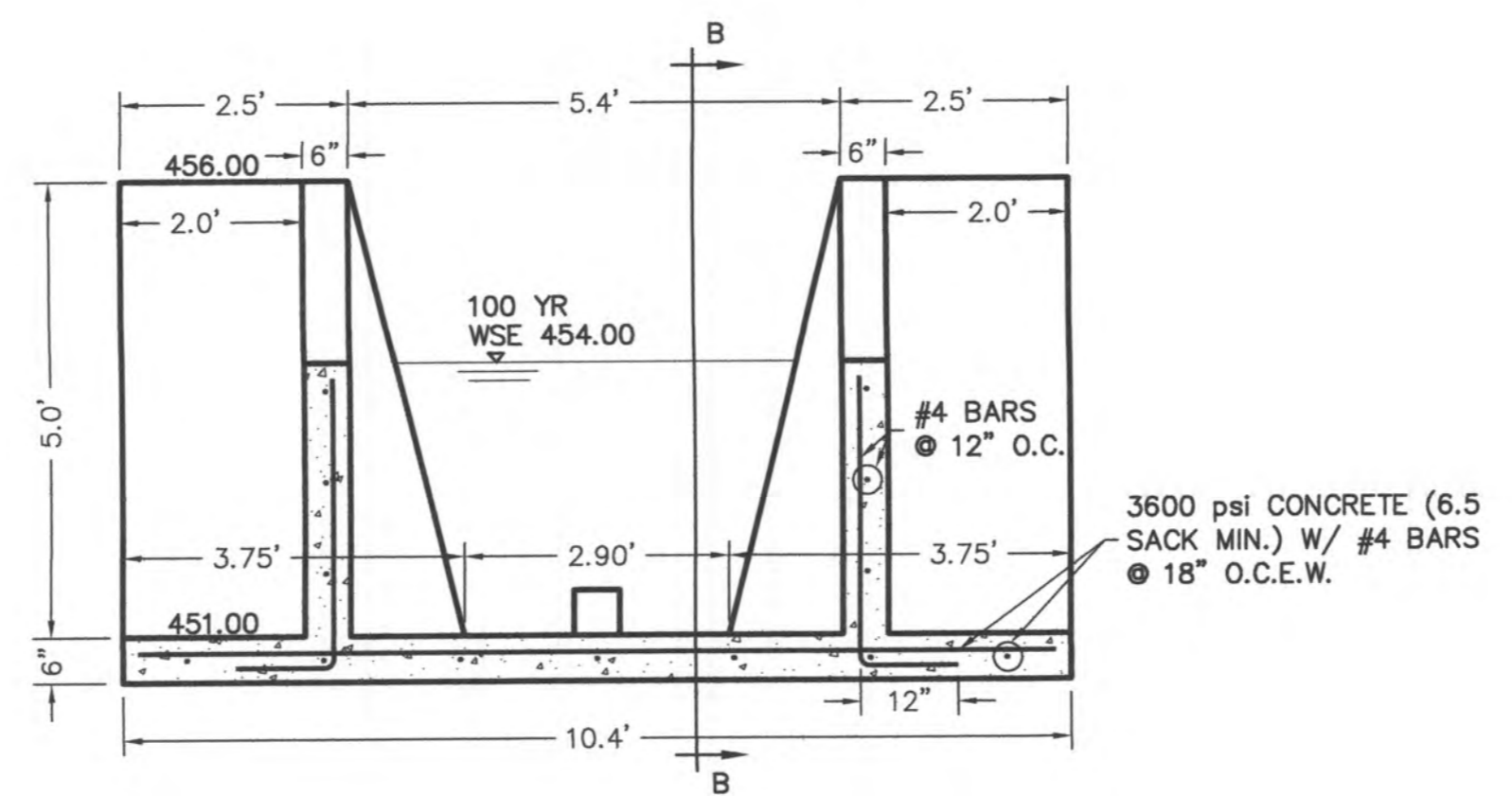
4 of 9



CONCRETE TRAPEZOIDAL WEIR  
PLAN VIEW  
N.T.S.



SECTION B-B  
N.T.S.



SECTION A-A  
N.T.S.

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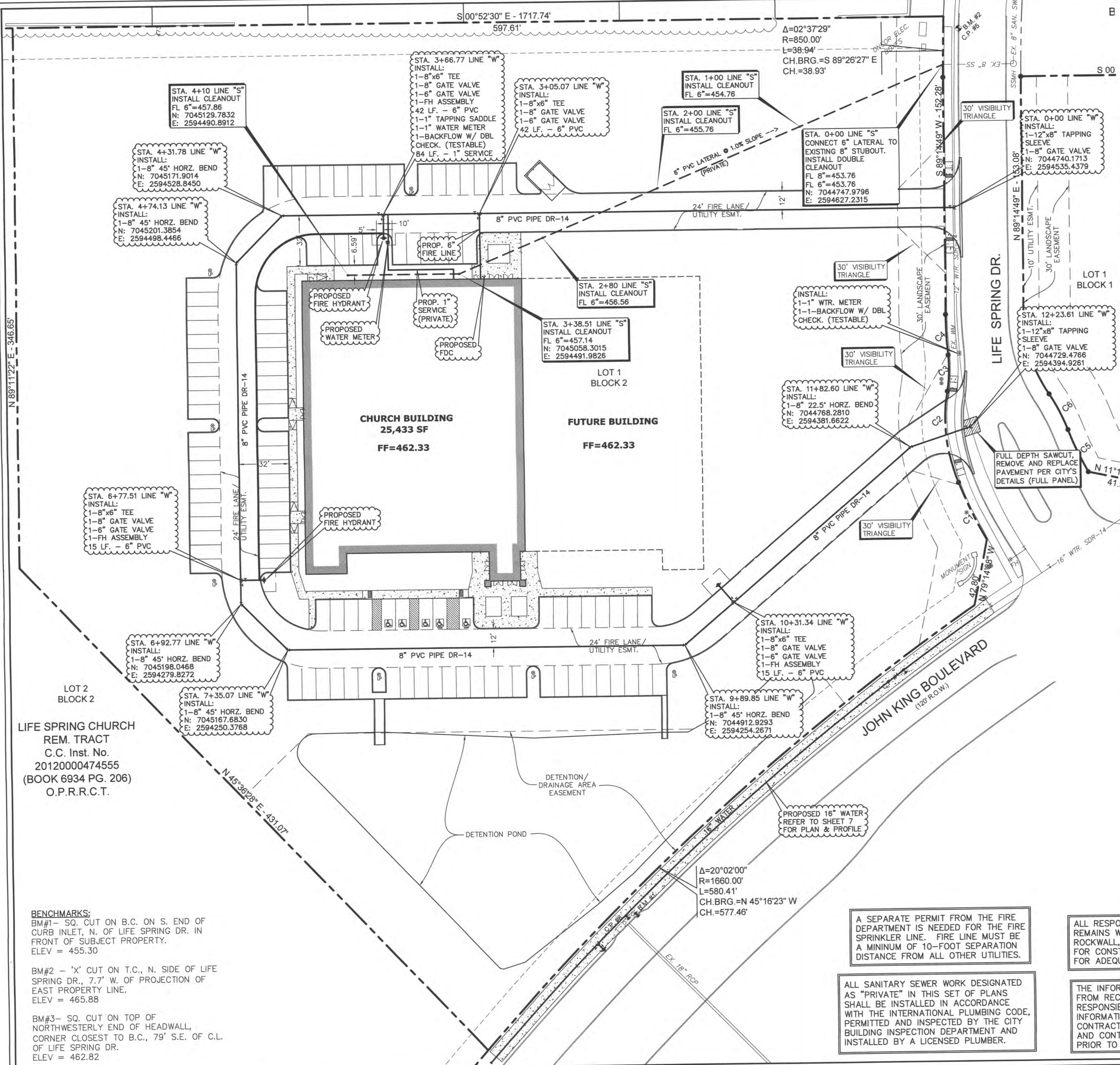
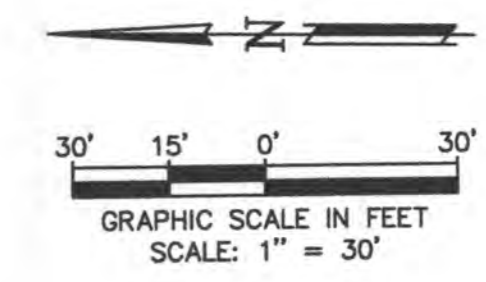
DETENTION STRUCTURE DETAILS  
LIFE SPRING CHURCH ADDITION - LOT 1  
LIFE SPRING CHURCH  
200 LIFE SPRING RD.  
ROCKWALL, TEXAS 75087

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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
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FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY  
FOR ADEQUACY OR ACCURACY OF DESIGN.

DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED	5 of 9
DRAWN:	CTL	DATE:	SEPTEMBER 2015	PROJECT:	0519-15	





**WATER & SANITARY SEWER NOTES:**

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
3. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC INFRASTRUCTURE IN THE CONSTRUCTION OF THIS PROJECT.
5. ANY UTILITY INSTALLED OUTSIDE OF AN EASEMENT SHALL BE INSTALLED BY A PLUMBER AND INSPECTED BY BUILDING DEPT.
6. BACKFILL FOR UTILITY LINES SHOULD BE CAREFULLY PLACED SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6\"/>
- 7. IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE BACKFILLED ONLY WITH QUALITY TOPSOIL.
- 8. ALL WATER MAINS SHALL MEET AWWA C-900, PVC DR-14 CLASS 200. ALL FITTINGS SHALL MEET ASTM F477 SPECIFICATIONS.
- 9. ALL DUCTILE IRON FITTINGS SHALL BE OF THE MECHANICAL JOINT TYPE OR SLIP JOINT AND SHALL BE CLASS D, OR CLASS 250 ON SIZES 12\"/>
- 10. EMBEDMENT FOR PVC WATER MAIN SHALL COMPLY WITH THE CITY DETAILS AND SPECIFICATIONS.
- 11. ALL WATER METERS TO BE PLACED IN A NON-TRAFFIC AREA.
- 12. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42\", OR SUFFICIENT COVER TO CLEAR OTHER UTILITIES AS MEASURED FROM TOP OF PIPE TO EXISTING GROUND LEVEL OR FINISHED GRADE, WHICHEVER IS GREATER.
- 13. ALL WATER AND SANITARY SEWER MAINS AND SERVICES SHALL HAVE A 10' MIN. LATERAL SEPARATION DISTANCE.
- 14. ALL SANITARY SEWER PIPES AND FITTINGS SHALL MEET ASTM D 3034, PVC SEWER PIPE SDR35. PIPE OVER 10' IN DEPTH, USE ASTM D 2241, PVC PIPE, SDR 26 (160).
- 15. ALL WATER AND SANITARY SEWER TESTINGS SHALL BE ACCOMPLISHED BY A TESTING LAB APPROVED BY THE CITY AND PAID BY CONTRACTOR.
- 16. REFER TO MECHANICAL PLANS FOR EXACT WATER AND SEWER SERVICE LOCATIONS.

LIFE SPRING CHURCH  
REM. TRACT  
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**BENCHMARKS:**  
BM#1- SQ. CUT ON B.C. ON S. END OF CURB INLET, N. OF LIFE SPRING DR. IN FRONT OF SUBJECT PROPERTY. ELEV = 455.30  
BM#2 - 'X' CUT ON T.C., N. SIDE OF LIFE SPRING DR., 7.7' W. OF PROJECTION OF EAST PROPERTY LINE. ELEV = 465.88  
BM#3- SQ. CUT ON TOP OF NORTHWESTERLY END OF HEADWALL, CORNER CLOSEST TO B.C., 79' S.E. OF C.L. OF LIFE SPRING DR. ELEV = 462.82

A SEPARATE PERMIT FROM THE FIRE DEPARTMENT IS NEEDED FOR THE FIRE SPRINKLER LINE. FIRE LINE MUST BE A MINIMUM OF 10-FOOT SEPARATION DISTANCE FROM ALL OTHER UTILITIES.

ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.

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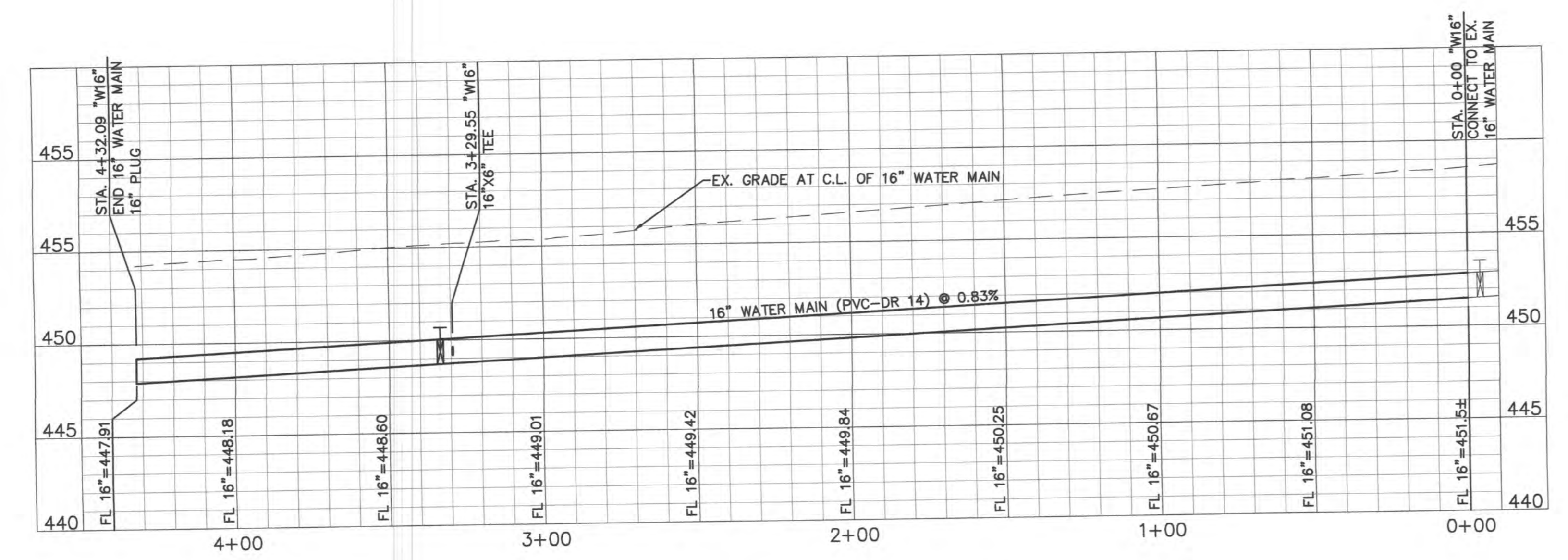
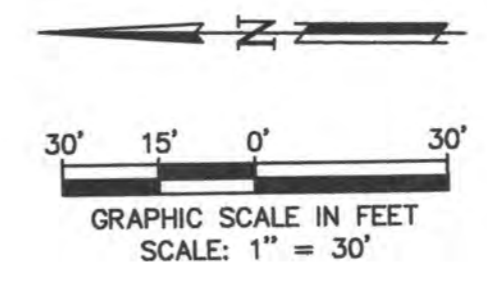
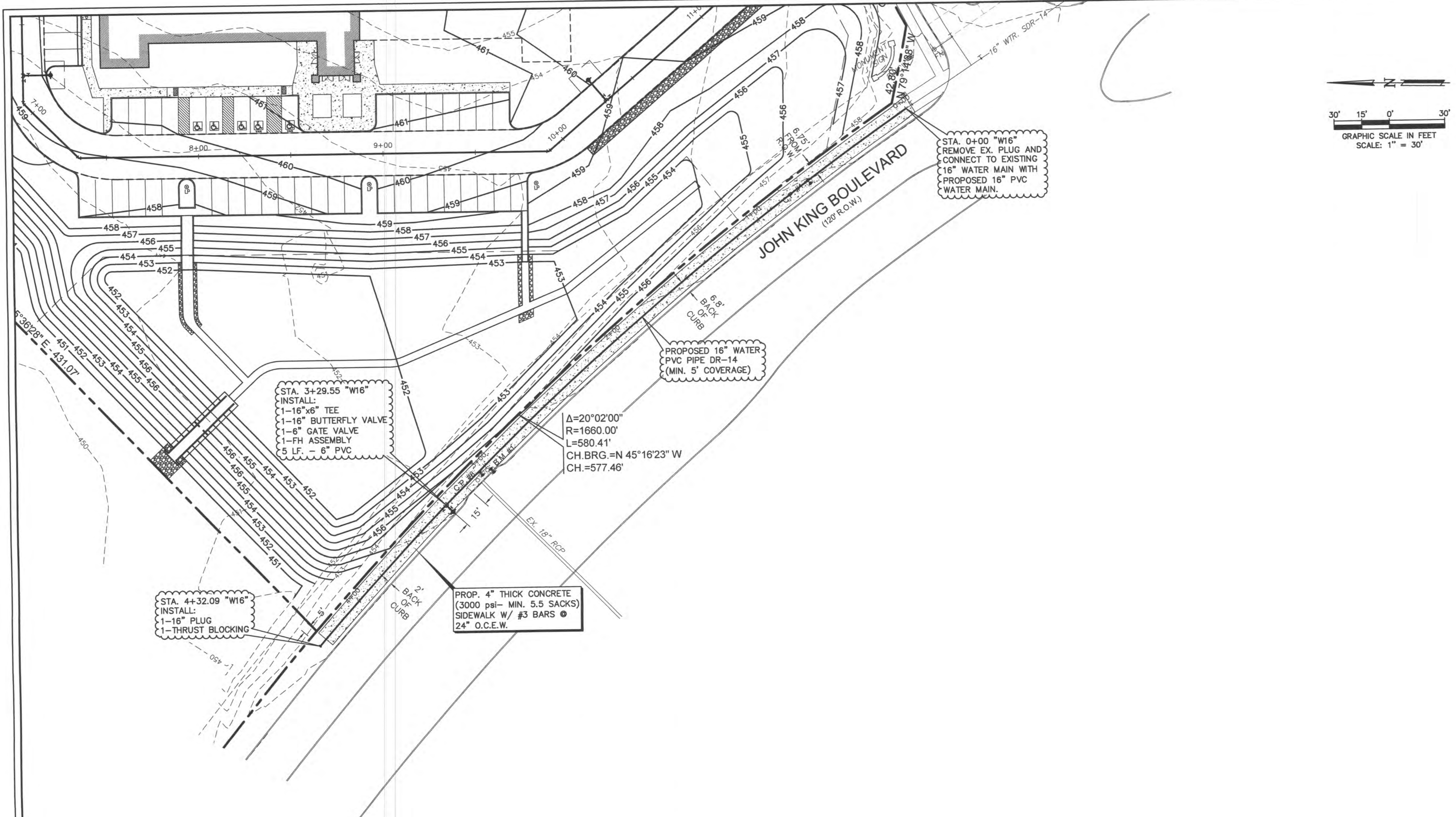


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**UTILITY PLAN**  
**LIFE SPRING CHURCH ADDITION - LOT 1**  
**LIFE SPRING CHURCH**  
**200 LIFE SPRING RD.**  
**ROCKWALL, TEXAS 75087**

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DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	6 of 9
DRAWN: CTL	DATE: SEPTEMBER 2015	PROJECT: 0519-15	



**16" WATER MAIN PROFILE**  
SCALE: H=30" V=5"

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**16" WATER PLAN & PROFILE**

**LIFE SPRING CHURCH ADDITION - LOT 1**  
**LIFE SPRING CHURCH**  
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**ROCKWALL, TEXAS 75087**

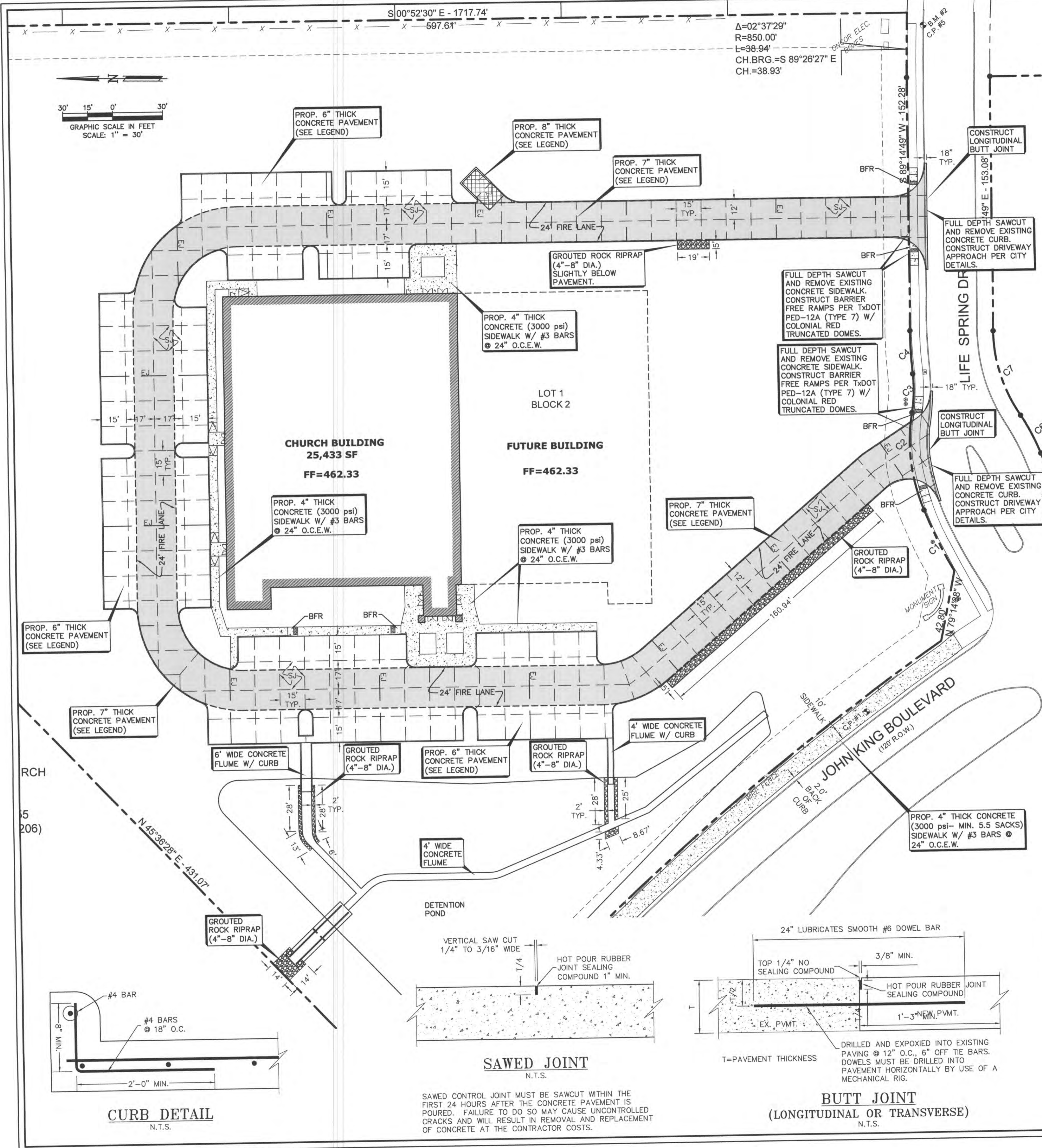
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CONTRACTOR SHALL PAY ALL PERMIT FEES AND WILL SETUP PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK.

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

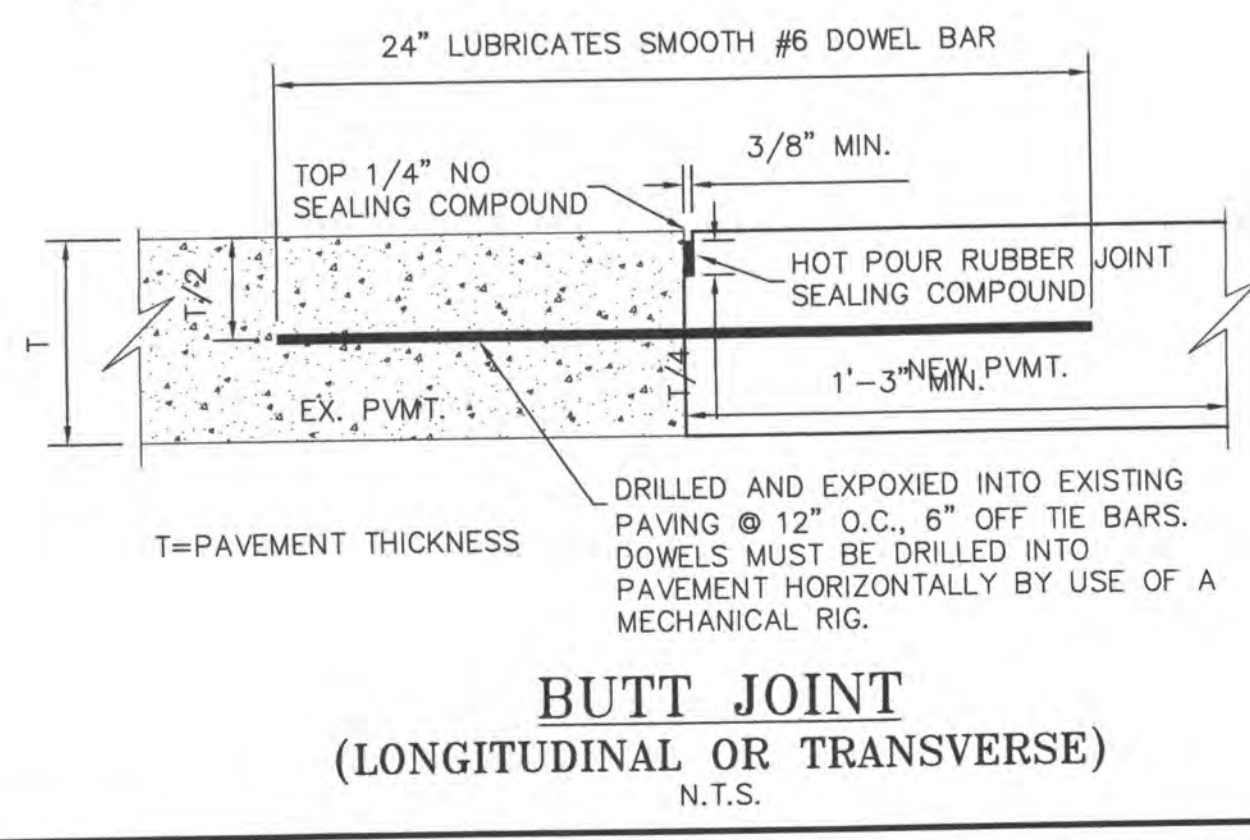
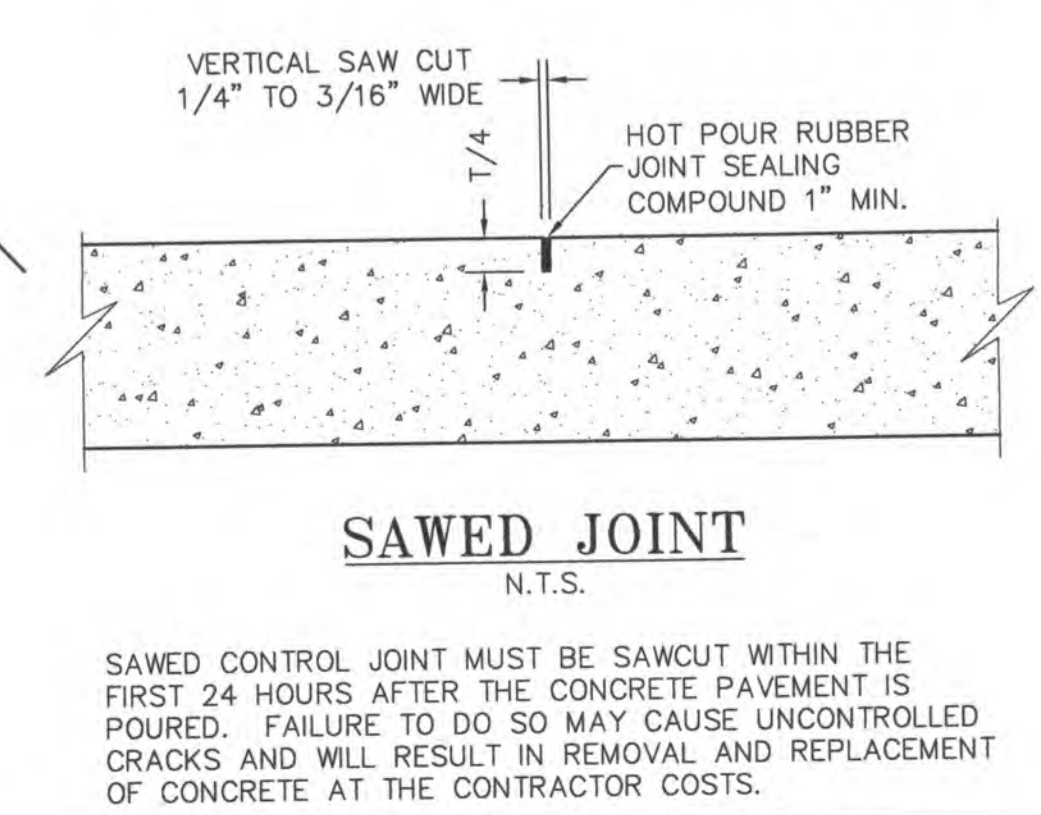
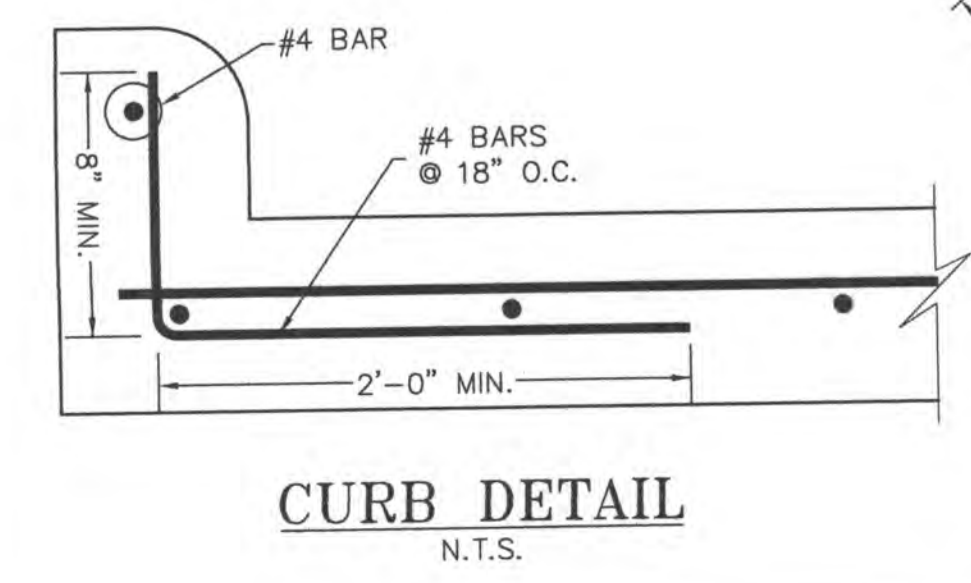
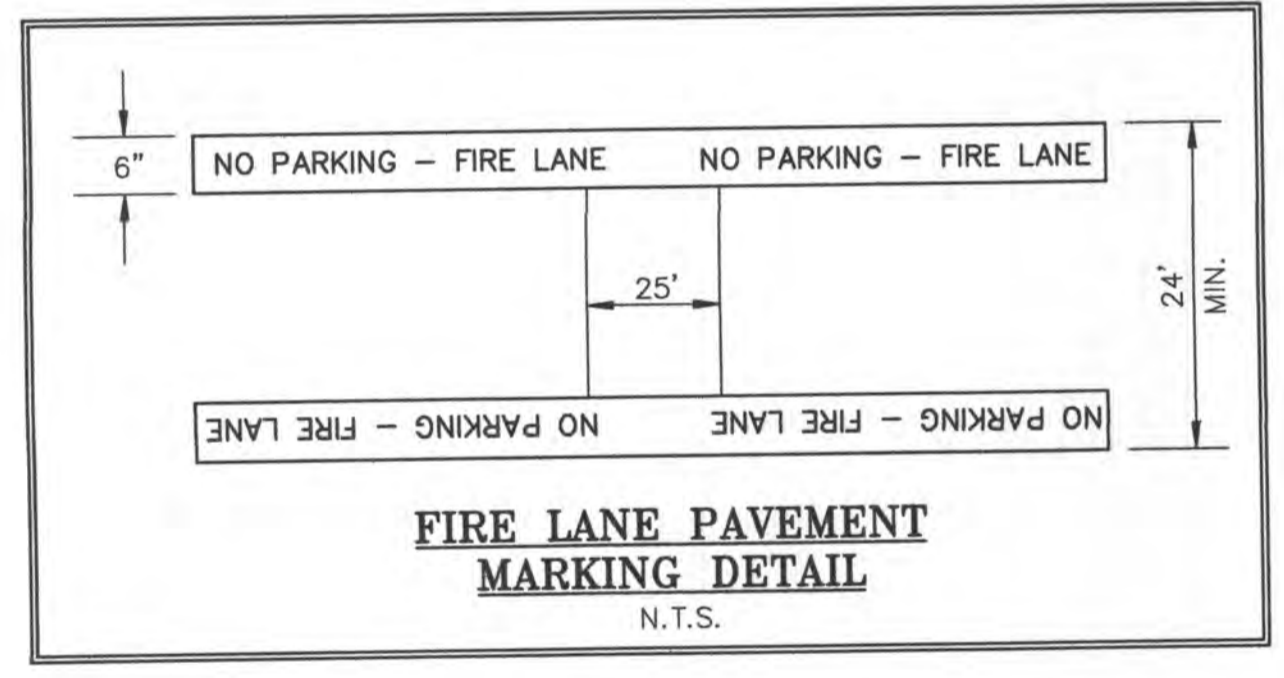
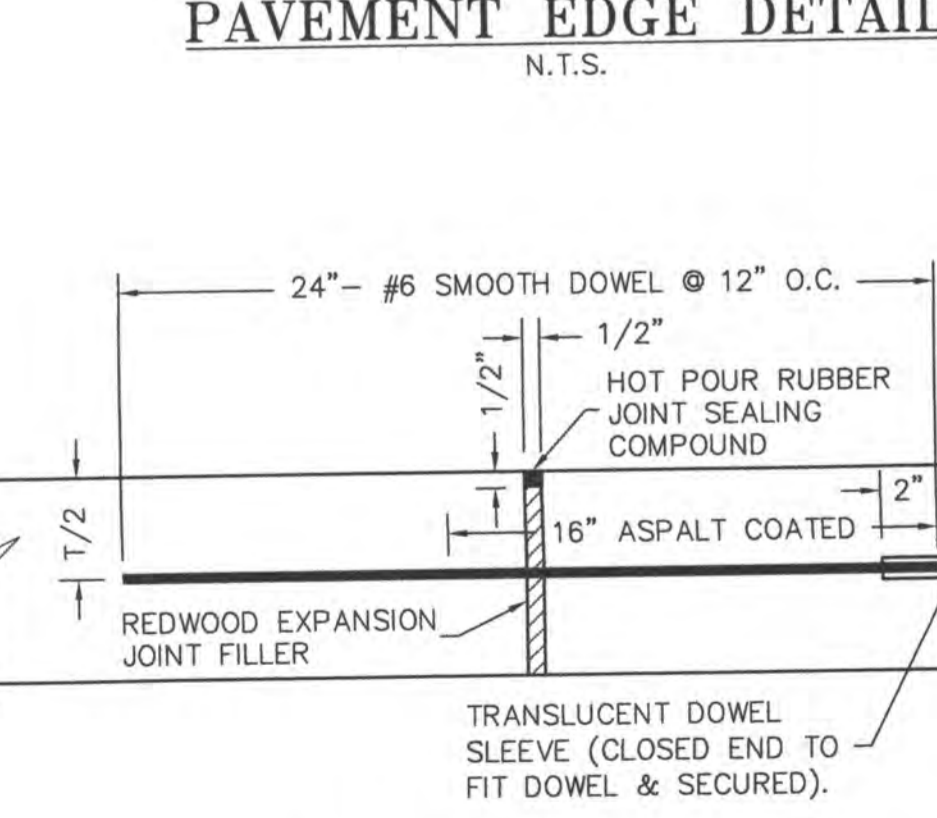
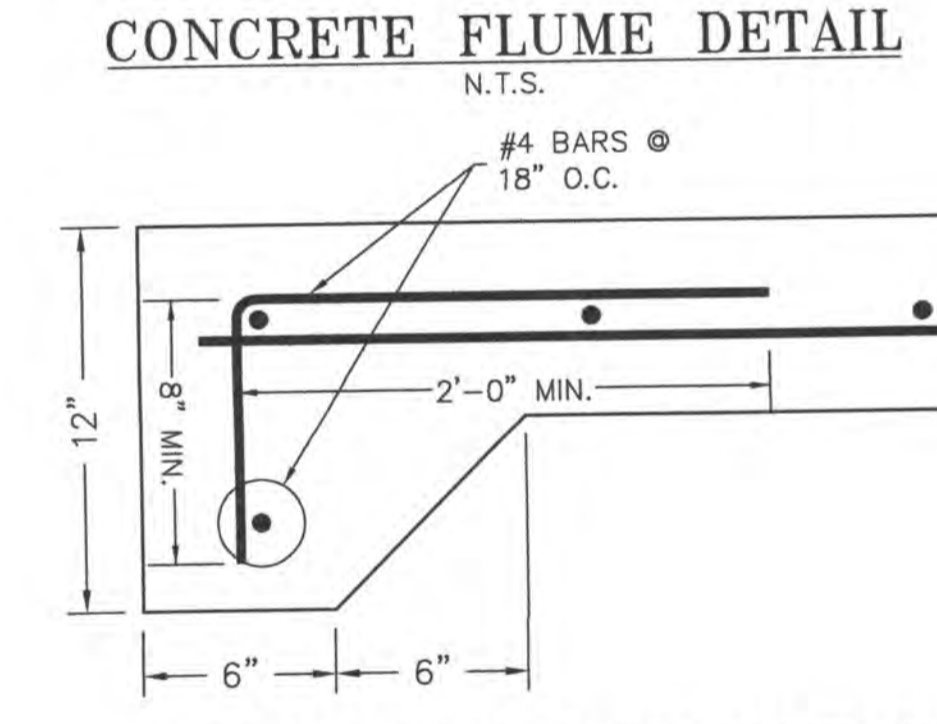
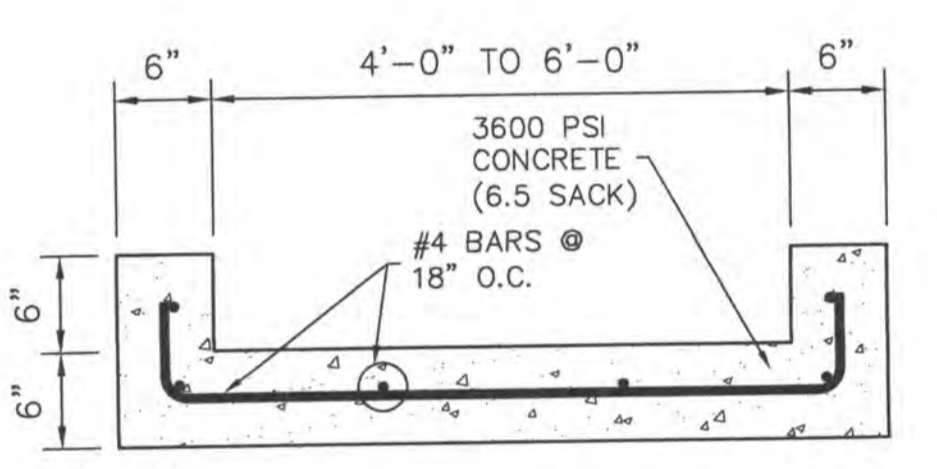
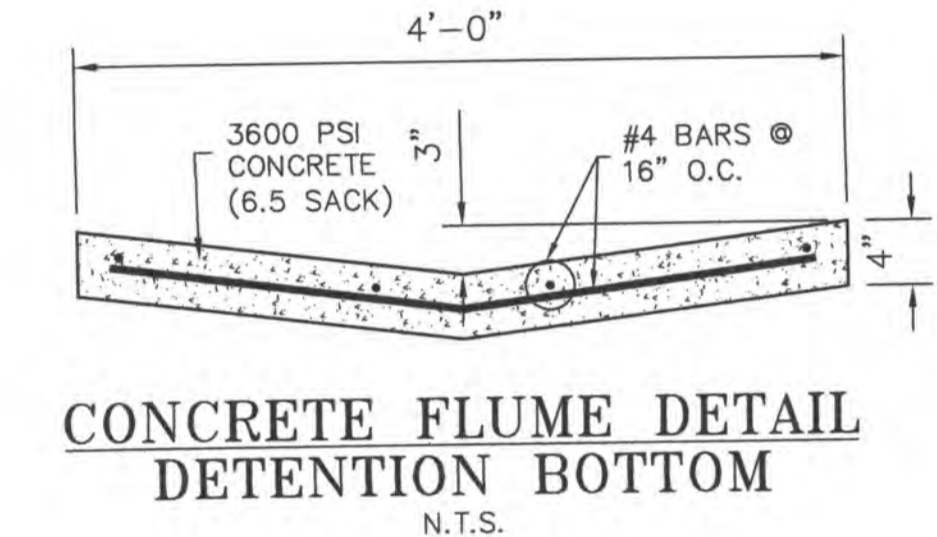
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DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	7 of 9
DRAWN: CTL	DATE: SEPTEMBER 2015	PROJECT: 0519-15	



- LEGEND**
- 8" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #4 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (DUMPSTER) - NO SAND CUSHION UNDER PAVING
  - 7" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #4 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (DRIVE) - NO SAND CUSHION UNDER PAVING
  - 6" REINF. CONC. PAVEMENT (6.5 SACK-3600 psi) W/ #4 BARS @ 18" O.C.E.W. OVER 6" SUBGRADE, SCARIFIED AND COMPACTED TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (PARKING) - NO SAND CUSHION UNDER PAVING
  - 4" REINF. CONC. SIDEWALK (5.5 SACK-3000 psi) W/ #3 BARS @ 24" O.C.E.W. OVER SCARIFIED AND COMPACTED SUBGRADE TO 95% STD. PROCTOR DENSITY (ASTM-D698). W/ +2% to +4% OPTIMUM MOISTURE CONTENT. (SIDEWALK) - NO SAND CUSHION UNDER SIDEWALK
  - SAWED CONTRACTION JOINT
  - EXPANSION JOINT

- PAVING NOTES**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARDS AND SPECIFICATIONS AND NCTCOG 3RD EDITION.
  2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATIONS. DIG TESS (1-800-545-6005)
  4. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE UTILITY CONTRACTOR TO INSURE ALL CONDUIT FOR IRRIGATION HAS BEEN INSTALLED PRIOR TO PLACEMENT OF PERMANENT PAVING.
  5. ALL EARTHWORK OPERATIONS, PAVEMENT AND BUILDING SUBGRADE PREPARATION SHALL COMPLY WITH ALL RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT, PROVIDED BY OTHERS.
  6. TRAFFIC BARRICADES WILL BE REQUIRED FOR PAVING AND UTILITY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN IN THE LATEST TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS CURRENTLY AMENDED BY THE TEXAS DEPARTMENT OF TRANSPORTATION. CONTACT CITY TRANSPORTATION DEPARTMENT PRIOR TO SETTING BARRICADES IN THE RIGHT OF WAY.
  7. ALL DRIVE AREAS AND ISLANDS SHALL HAVE 6" CONCRETE CURB, UNLESS OTHERWISE NOTED ON PLANS.
  8. CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS AS SHOWN IN THE DRAWINGS. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS. EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM SPACING OF 100' CENTER TO CENTER. ALL JOINTS SHALL BE SEALED WITH HOT Poured RUBBER JOINT SEALING COMPOUND.
  9. CONTRACTOR SHALL INSTALL ALL CONDUITS PRIOR TO THE PLACEMENT OF PAVEMENT. ALL SLEEVES SHOWN ON PLANS SHALL BE SCHEDULE 40 PVC WITH PULLED WIRES & CAPPED. REFER TO LANDSCAPE & MECHANICAL PLANS FOR LOCATIONS AND SIZE OF CONDUITS.
  10. FIRE LANE PAVEMENT MARKINGS SHALL BE PAINTED LINES OF RED TRAFFIC PAINT, 6" WIDE, TO SHOW THE EXACT BOUNDARY LINES OF THE FIRE LANE. THESE BOUNDARY LINES MAY BE ON THE CURB OR FLAT PAVEMENT. THE LINES SHALL BE MARKED BY PAINTED 4" HIGH LETTERING USING A 1" WIDE STROKE OF WHITE TRAFFIC PAINT ON THE CONTRASTING RED BACKGROUND STATING "NO PARKING - FIRE LANE". THIS MARKING SHALL BE PLACED AT 25' INTERVALS ALONG EACH BOUNDARY LINE -SEE DIMENSIONAL CONTROL PLAN FOR DETAILS AND LOCATION.



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

TUAN P. LAM  
Professional Engineer  
No. 86968  
State of Texas

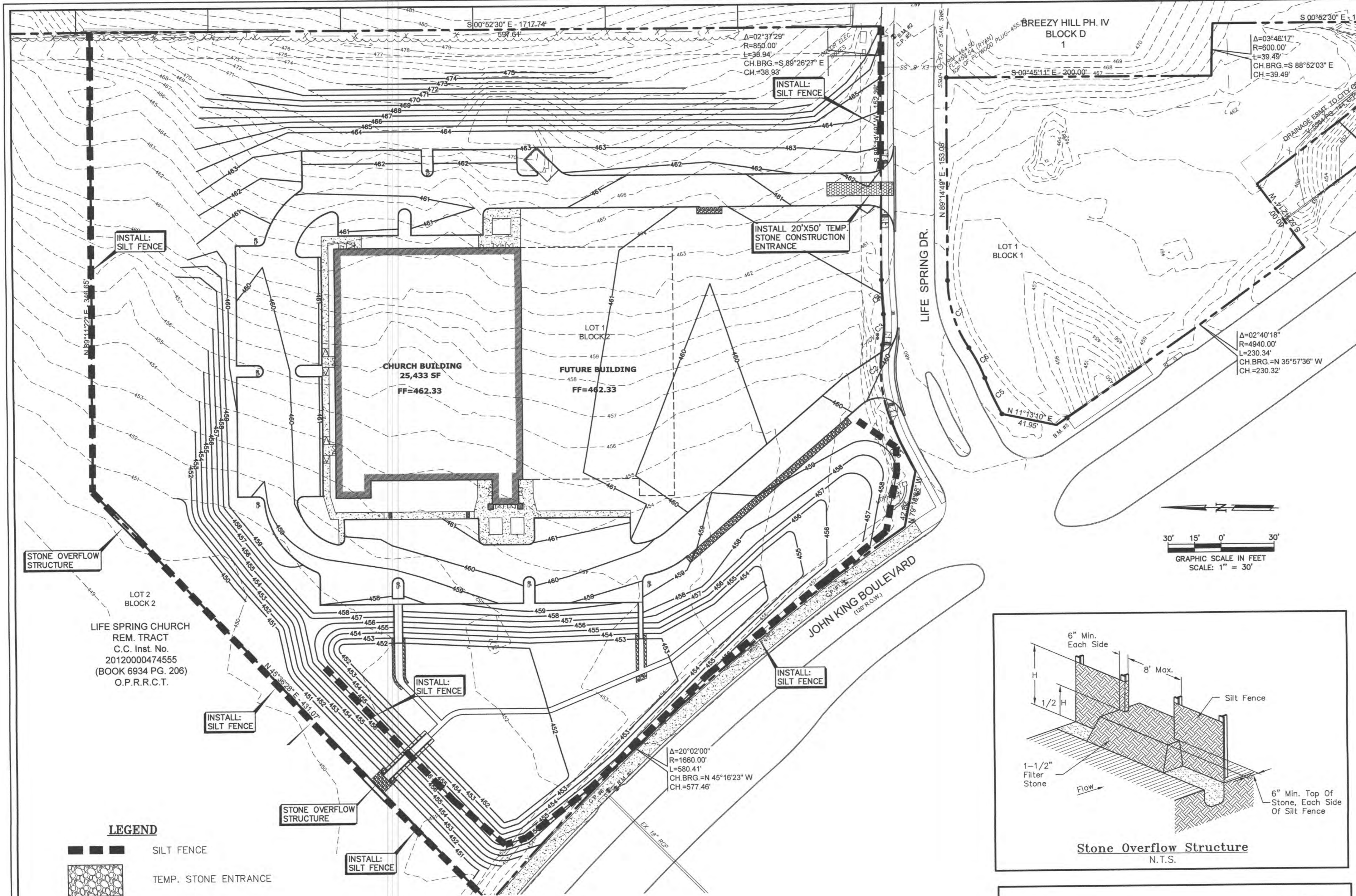
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**PAVING PLAN**

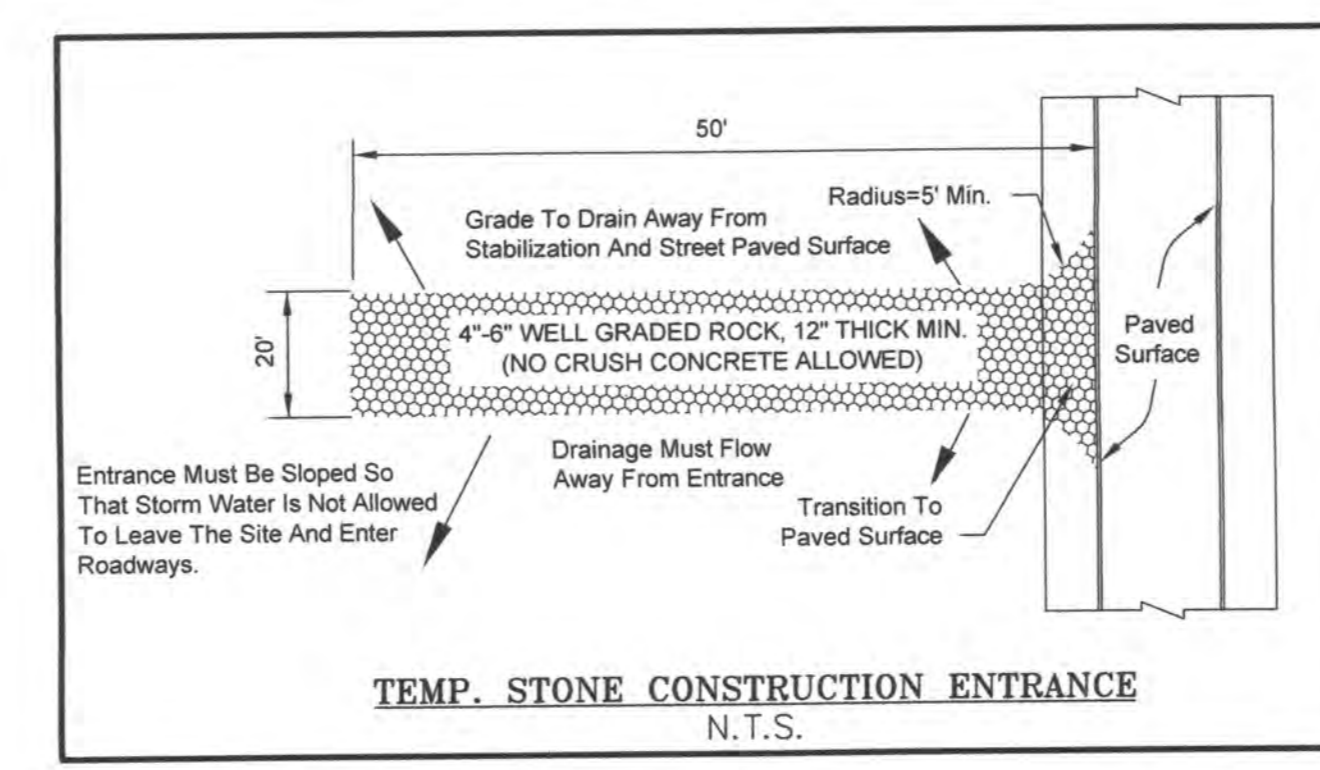
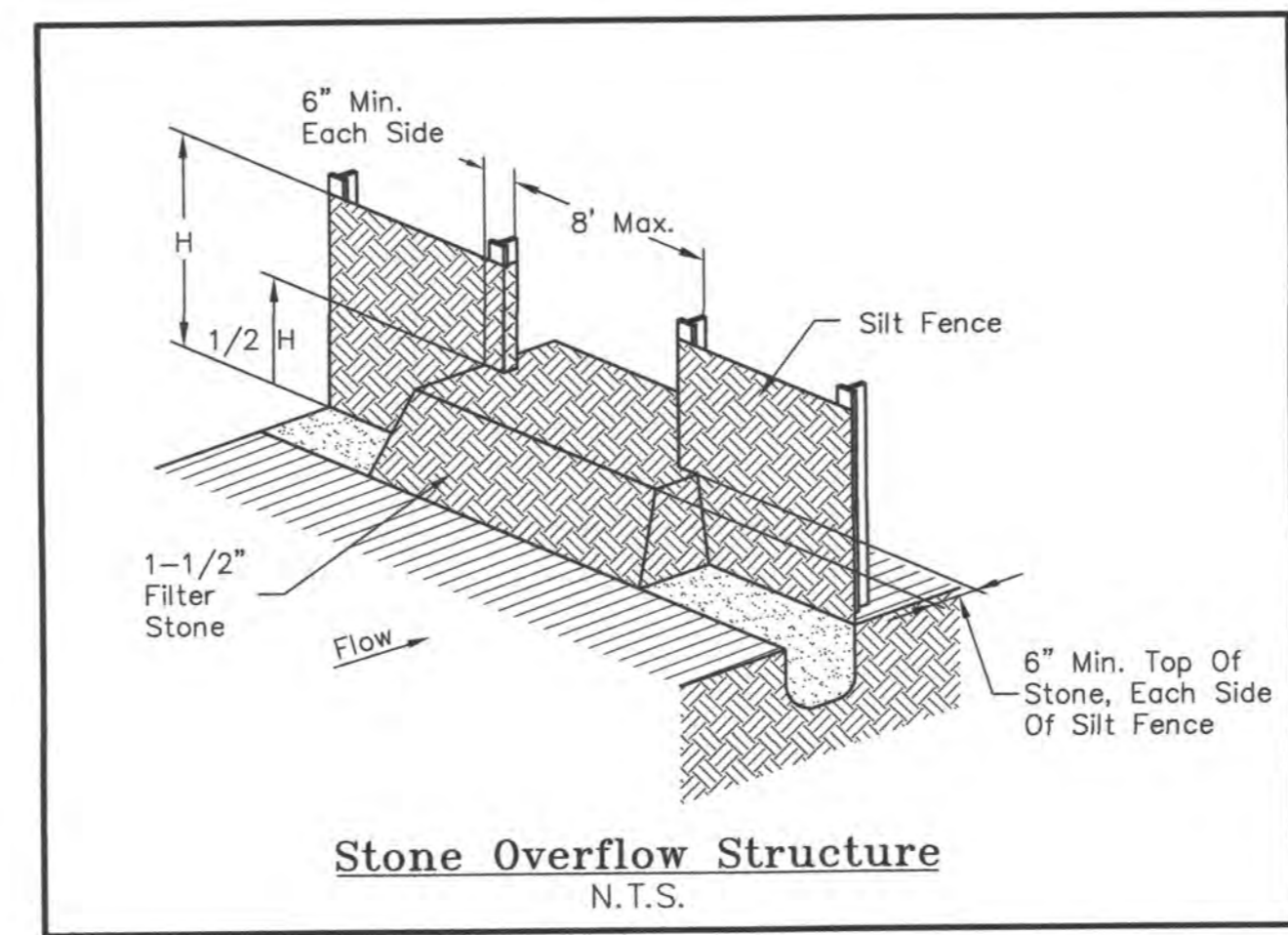
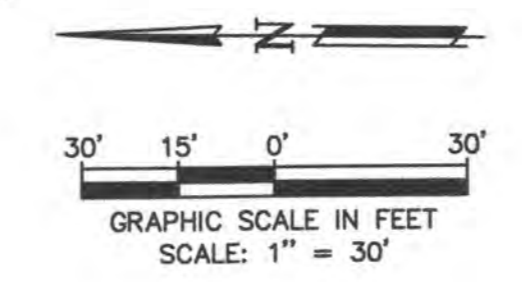
**LIFE SPRING CHURCH ADDITION - LOT 1**  
**LIFE SPRING CHURCH**  
**200 LIFE SPRING RD.**  
**ROCKWALL, TEXAS 75087**

**LAM CONSULTING ENGINEERING**  
 8804 WILHELMINA DRIVE  
 SACHSE, TEXAS 75048  
 Phone (214) 766-1011  
 www.lamcivil.com  
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	8 of 9
DRAWN: CTL	DATE: SEPTEMBER 2015	PROJECT: 0519-15	



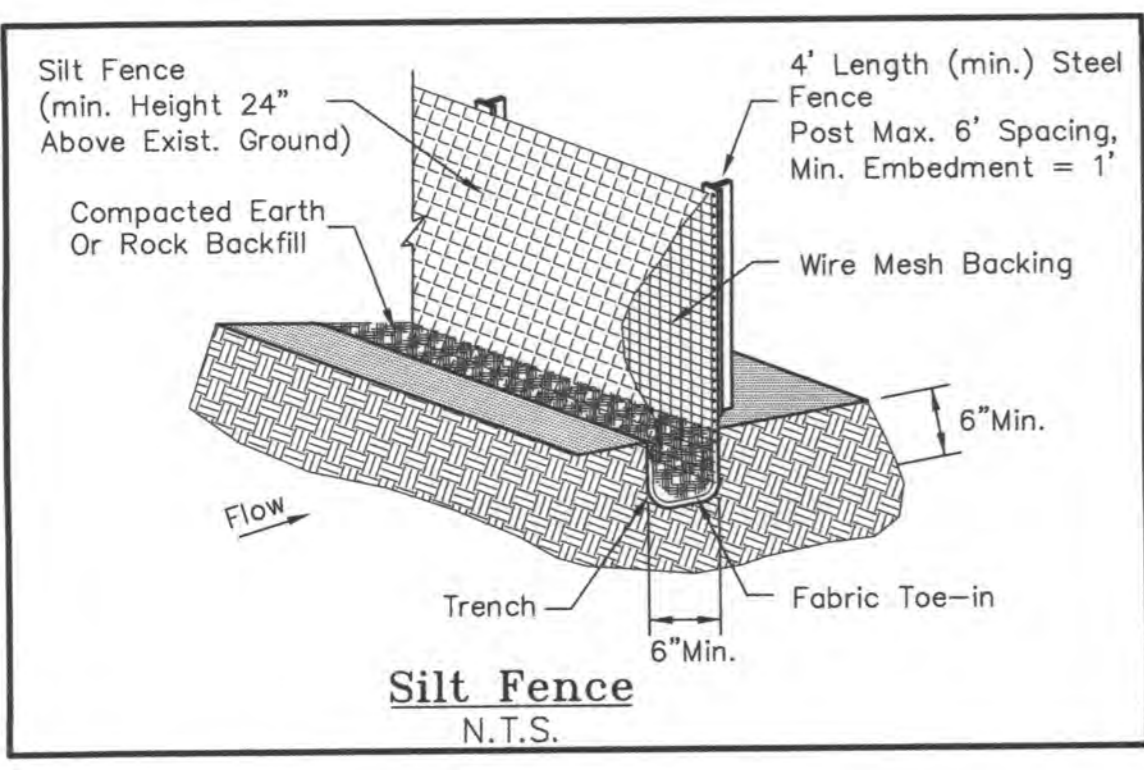
- GENERAL NOTES:**
1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
  2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY ENGINEERING DIVISION.
  3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
  4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE CITY'S EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
  5. EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.
  6. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
  7. THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING OR OTHER APPROVED EROSION CONTROL PRODUCTS AS NEEDED. TEMPORARY EROSION CONTROL DEVICES INSTALLED BY THE CONTRACTOR ON THIS PROJECT SHALL ALSO BE REMOVED BY THE CONTRACTOR AT THE APPROPRIATE TIME AS INCIDENTAL TO THE RESPECTIVE EROSION CONTROL DEVICE ITEM.
  8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE PROJECT ENGINEER DURING ON-SITE INSPECTIONS.
  9. WETLANDS ARE NOT PRESENT ON-SITE NOR ADJACENT TO THIS PROJECT.
  10. ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE CITY'S EROSION AND SEDIMENT CONTROL MANUAL.
  11. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
  12. CONTRACTOR SHALL ADD OR REMOVE EROSION CONTROL DEVICES AS NEEDED DURING THE CONSTRUCTION PHASES.



**LEGEND**

- SILT FENCE
- TEMP. STONE ENTRANCE

LOT AREA = 304,920 Sq. Ft. ~ 7.00 Ac.  
DISTURBED AREA = 241,942 Sq. Ft. ~ 5.55 Ac.



- CONSTRUCTION SCHEDULE & PHASING**
- PHASE 1: INSTALL SILT FENCE AND STONE CONSTRUCTION ENTRANCE FOR ROUGH GRADING.
  - PHASE 2: FULLY INSTALL DETENTION PONDS W/ SIDES AND BOTTOM STABILIZED WITH ANCHORED SEEDED CURLEX.
  - PHASE 3: INSTALL UTILITY.
  - PHASE 4: PAVE PARKING LOT AND DRIVEWAY.
  - PHASE 5: CONSTRUCT BUILDING FOUNDATION.
  - PHASE 6: ESTABLISH GROUND COVER AND REMOVE EROSION CONTROL DEVICES

**NOTE:**  
CONTRACTOR SHALL PROVIDE CONSTRUCTION SITE NOTICE TO THE CITY PRIOR TO START OF CONSTRUCTION.

**LIFE SPRING CHURCH**  
P.O. BOX 886  
ROCKWALL, TEXAS 75087  
(214) 497-7206

**B.M.P. MAINT. SCHED.**

BMP	MAINT. FREQ.	BY:

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**EROSION CONTROL PLAN**

**LIFE SPRING CHURCH ADDITION - LOT 1**  
LIFE SPRING CHURCH  
200 LIFE SPRING RD.  
ROCKWALL, TEXAS 75087

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