

CIVIL CONSTRUCTION PLANS

FOR

HAZEL AND OLIVE

503 NORTH GOLIAD STREET
LOT 1, BLOCK 19AR, AMICKS SUBDIVISION

IN

ROCKWALL, TEXAS

ROCKWALL COUNTY

FILE

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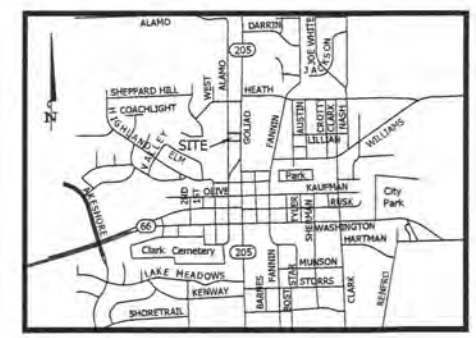
OWNER / DEVELOPER:
BEN McMILLAN PROPERTIES, LLC
304 NORTH SAN JACINTO
ROCKWALL, TEXAS 75087
CONTACT: TOM MORGAN
PHONE: (214) 613-0680

PREPARED BY:

BANNISTER
ENGINEERING

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

CONTACT: DAVID GREER, P.E.



VICINITY MAP
N.T.S.



RELEASED FOR CONSTRUCTION

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY DATE 10-2-15

INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

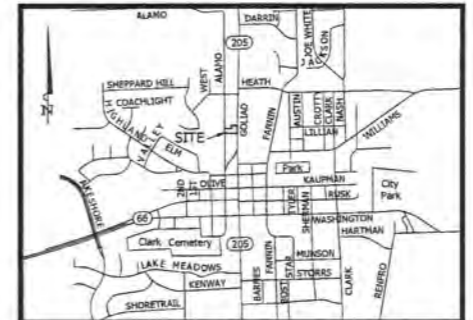
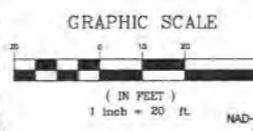
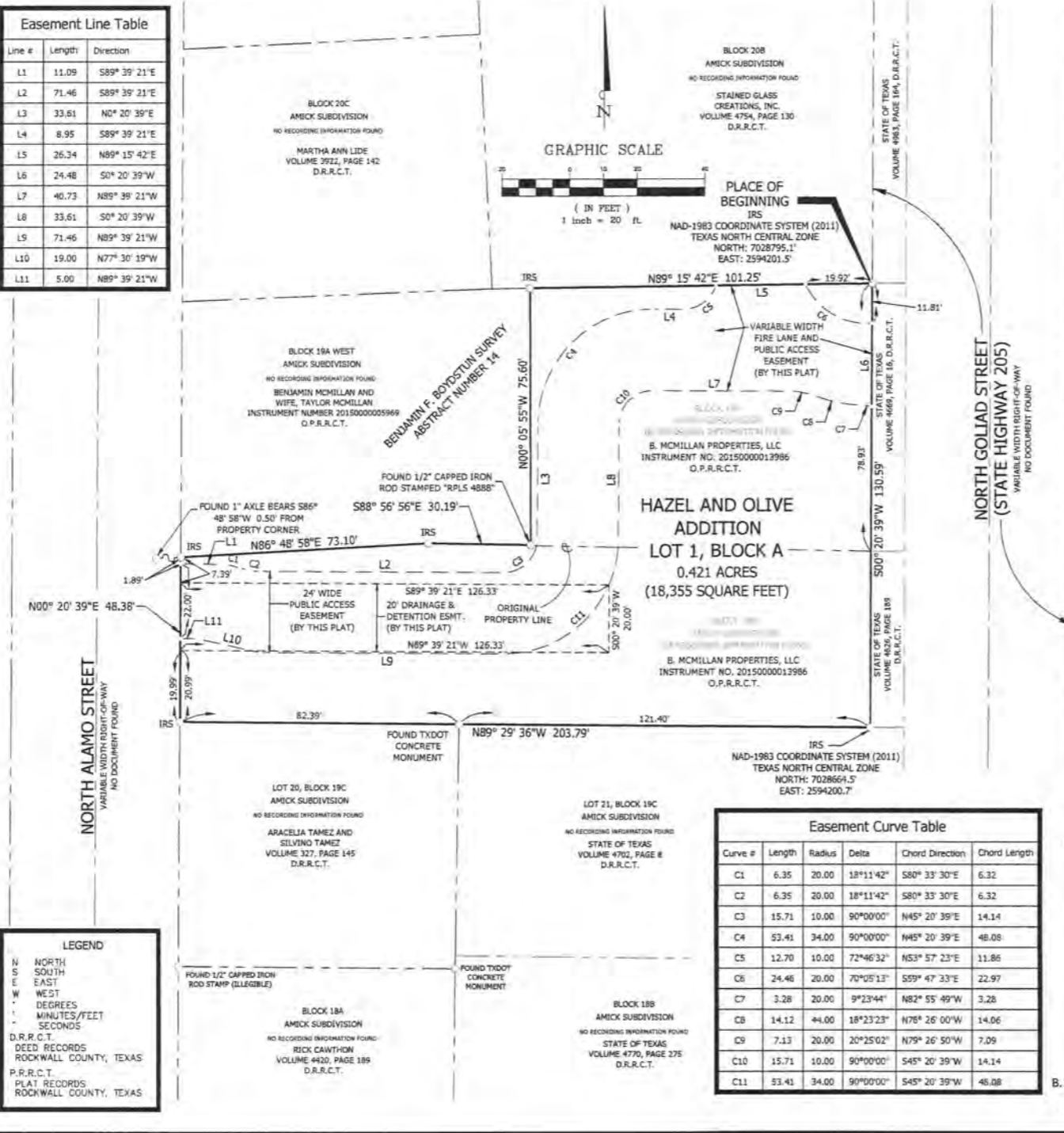
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

CONSTRUCTION SET
SEPTEMBER 30, 2015



**Know what's below.
Call before you dig.**
(@ least 48 hours prior to digging)

Line #	Length	Direction
L1	11.09	S89° 39' 21" E
L2	71.46	S89° 39' 21" E
L3	33.61	N0° 20' 39" E
L4	8.95	S89° 39' 21" E
L5	26.34	N89° 15' 42" E
L6	24.48	S0° 20' 39" W
L7	40.73	N89° 39' 21" W
L8	33.61	S0° 20' 39" W
L9	71.46	N89° 39' 21" W
L10	19.00	N77° 30' 19" W
L11	5.00	N89° 39' 21" W



- GENERAL NOTES:**
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48397C0040L, dated September 26, 2008. The property appears to lie within Zone "X" and the entire property lies within a "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
 - The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
 - All iron rods set (IRS) are 5/8-inch with a plastic cap stamped "RPLS 4838".
 - All coordinates and bearings shown herein are Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202). All distances shown herein are surface distances.
 - SOURCE BENCHMARK:** City of Rockwall monument No. Reset R005-1, Concrete monument with a brass cap stamped "Reset R005-1" found in the median of Summit Ridge Drive at the intersection of Summit Ridge Drive and F.M. Highway No. 740. Elevation = 578.631'

**FINAL PLAT
HAZEL AND OLIVE ADDITION
LOT 1, BLOCK A**

BEING A REPLAT OF BLOCK 19A & 19B,
AMICK SUBDIVISION, 0.421 ACRES (18,355 S.F.) OF
LAND SITUATED WITHIN THE BENJAMIN F.
BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. P2015-028
SHEET 1 OF 2

PREPARED BY: PROJECT NO. 062-15-06
BANNISTER
ENGINEERING
240 North Mitchell Road
Mansfield, TX 76063 817.842.2094
TBPLS REGISTRATION NO. 10193823

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	6.35	20.00	18°11'42"	S80° 33' 30" E	6.32
C2	6.35	20.00	18°11'42"	S80° 33' 30" E	6.32
C3	15.71	10.00	90°00'00"	N45° 20' 39" E	14.14
C4	53.41	34.00	90°00'00"	N45° 20' 39" E	48.08
C5	12.70	10.00	72°46'32"	N53° 57' 23" E	11.86
C6	24.46	20.00	70°05'13"	S59° 47' 33" E	22.97
C7	3.28	20.00	9°23'44"	N82° 55' 49" W	3.28
C8	14.12	44.00	18°23'23"	N78° 26' 00" W	14.06
C9	7.13	20.00	20°25'02"	N79° 26' 50" W	7.09
C10	15.71	10.00	90°00'00"	S45° 20' 39" W	14.14
C11	53.41	34.00	90°00'00"	S45° 20' 39" W	48.08

LEGEND
N NORTH
S SOUTH
E EAST
W WEST
° DEGREES
' MINUTES/FEET
" SECONDS
D.R.R.C.T.
DEED RECORDS
ROCKWALL COUNTY, TEXAS
P.R.R.C.T.
PLAT RECORDS
ROCKWALL COUNTY, TEXAS

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
OF ROCKWALL, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

CITY _____ DATE _____

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS **B. MCMILLAN PROPERTIES, LLC**, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING 0.421 acre or (18,355 square feet) of land in the Benjamin F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas; said 0.421 acre or (18,355 square feet) of land being a portion of that certain tract of land known as Block 19A (East) and Block 19B, AMICK SUBDIVISION (Unrecorded subdivision), (hereinafter referred to as Block 19A (East) and/or Block 19B); said 0.421 acre or (18,355 square feet) of land being all of that certain tract of land described in a General Warranty Deed to B. MCMILLAN PROPERTIES, LLC (hereinafter referred to as B. MCMILLAN tract), as recorded in instrument number 20150000013986, O.P.R.R.C.T.; said 0.421 acre or (18,355 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Northeast corner of said B. MCMILLAN tract, same being the Southeast corner of that certain tract of land described in a Correction Warranty Deed to Stained Glass Creations, Inc. (hereinafter referred to as Stained Glass Creations tract), as recorded in Volume 4754, Page 130, D.R.R.C.T., same also being the existing West right-of-way line of North Goliad Street, also known as State Highway 205, (Variable width right-of-way), as recorded in Volume 4669, Page 16, D.R.R.C.T.;

THENCE South 00 degrees 20 minutes 39 seconds West with the common line between said B. MCMILLAN tract and the existing West right-of-way line of said North Goliad Street, passing at a distance of 78.93 feet, the common line between said Block 19A (East) and said Block 19B and continue with said course for a total distance of 130.59 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Southeast corner of said B. MCMILLAN tract, same being the North line of that certain tract of land described in a deed to the State of Texas (hereinafter referred to as State of Texas tract), as recorded in Volume 4702, Page 8, D.R.R.C.T.;

THENCE North 89 degrees 29 minutes 36 seconds West, departing the existing West right-of-way line of said North Goliad Street and with the common line between said B. MCMILLAN tract and the North line of said State of Texas tract, passing at a distance of 121.40 feet, a Texas Department of Transportation concrete monument (TDCM) found for the Northwest corner of said State of Texas tract, same ostensibly being the Northeast corner of that certain tract of land described in a deed to Aracelia Tamez and Silvano Tamez, as recorded in Volume 327, Page 145, D.R.R.C.T. (hereinafter referred to as Tamez tract) and continuing with said course and the common line between said B. MCMILLAN tract and said Tamez tract, a total distance of 203.79 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Southwest corner of said B. MCMILLAN tract, same ostensibly being the Northwest corner of said Tamez tract, same also being the existing East right-of-way line of North Alamo Street (a variable width right-of-way);

THENCE North 00 degrees 20 minutes 39 seconds East with the common line between said B. MCMILLAN tract and the existing East right-of-way line of said North Alamo Street, a distance of 48.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Westerly Northwest corner of said B. MCMILLAN tract, same being the Southwest corner of that certain tract of land described in a General Warranty Deed to Benjamin McMillan and wife, Taylor McMillan, (hereinafter referred to as Benjamin & Taylor McMillan tract), as recorded in Instrument number 2015000005969, O.P.R.R.C.T., from which an 1" Axle found bears South 86 degrees 48 minutes 58 seconds West, a distance of 0.50 feet;

THENCE North 86 degrees 48 minutes 58 seconds East, departing the existing East right-of-way line of said North Alamo Street and with the common line between said B. MCMILLAN tract and said Benjamin & Taylor McMillan tract, a distance of 73.10 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for an angle point in the South line of said Benjamin & Taylor McMillan tract;

THENCE South 86 degrees 56 minutes 56 seconds East continuing with the common line between said B. MCMILLAN tract and said Benjamin & Taylor McMillan tract, a distance of 30.19 feet to a one-half inch iron rod with plastic cap stamped "RPLS 4888" found for the Southeast corner of said Benjamin & Taylor McMillan tract, same being an inner-ell corner of said B. MCMILLAN tract;

THENCE North 00 degrees 05 minutes 55 seconds West, continuing with the common line between said B. MCMILLAN tract and said Benjamin & Taylor McMillan tract, a distance of 75.60 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Northerly Northwest corner of said B. MCMILLAN tract, same being the Northeast corner of said Benjamin & Taylor McMillan tract, same also being in the South line of the aforesaid Stained Glass Creations tract;

THENCE North 89 degrees 15 minutes 42 seconds East with the common line between said B. MCMILLAN tract and said Stained Glass Creations, Inc. tract, a distance of 101.25 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 0.421 acre or (18,355 square feet) of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as the **HAZEL AND OLIVE ADDITION**, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **HAZEL AND OLIVE ADDITION** have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curbs and gutters, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit; should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

B. MCMILLAN PROPERTIES, LLC
a Texas Limited Liability Company

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2015.

Notary Public in and for the State of Texas My Commission Expires _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, **Michael Dan Davis**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

For: Bannister Engineering LLC



Michael Dan Davis
Registered Professional Land Surveyor
Texas Registration No. 4838

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2015.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2015.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

FINAL PLAT
HAZEL AND OLIVE ADDITION
LOT 1, BLOCK A

BEING A REPLAT OF BLOCK 19A & 19B,
AMICK SUBDIVISION, 0.421 ACRES (18,355 S.F.) OF
LAND SITUATED WITHIN THE BENJAMIN F.
BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. **P2015-028**

SHEET 2 OF 2

PREPARED BY: PROJECT NO. 062-15-06

OWNER/DEVELOPER
B. MCMILLAN PROPERTIES, LLC
176 HAMPTON DRIVE
ROCKWALL, TEXAS 75087

BANNISTER
ENGINEERING
1696 Country Club Drive
Mansfield, TX 76063 817.842.2094
TBPLS REGISTRATION NO. 10193823

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUATE
REMAINS WITH THE DESIGN ENGINEER
OF ROCKWALL, IN REVIEWING
PLANS FOR CONSTRUCTION.
RESPONSIBILITY FOR ADEQUATE
OF DESIGN.

CITY

GENERAL CONSTRUCTION NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF ROCKWALL DESIGN STANDARDS...
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT TO CONSTRUCT THE FACILITY AS SHOWN...
3. THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES AND CALL '811' TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION...
4. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT...
5. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES...
6. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS...
7. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY...
8. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA...
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION...
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS...
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER...
12. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER...
13. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR, CITY ENGINEERING INSPECTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY...
14. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES...
15. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS...
16. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION...
17. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER A COPY OF RECORD DRAWINGS SHOWING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS...
18. CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS...
19. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO PROVIDE A COMPLETE INSTALLATION OF SYSTEMS IN EVERY RESPECT...
20. CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS AND REGULATIONS...
21. CONTRACTOR SHALL COMPLY WITH TEXAS HEALTH AND SAFETY CODE, CURRENT EDITION AS OF THE DATE OF SEAL ON THESE PLANS...

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES...
2. CONTRACTOR SHALL REFERENCE EROSION CONTROL PLAN NOTES AND SPECIFICATIONS FOR GENERAL STORMWATER POLLUTION PREVENTION AND BEST MANAGEMENT PRACTICES (BMP)...
3. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION...
5. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH...
6. THE CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE/EXIT AT ALL POINTS OF CONSTRUCTION ACCESS TO THE SITE...
7. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS...
8. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS...
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION...
10. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLAN...

PAVING AND STRIPING NOTES

- 1. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER...
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES REQUIRED FOR THE PROJECT SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD)...
3. RAISED PAVEMENT MARKERS SHALL BE BOND TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING WITH THE MANUFACTURER'S RECOMMENDATIONS...
4. THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR...
5. ALL TRAFFIC STRIPING SHALL BE DILORIMATED RUBBER TRAFFIC PAINT OR APPROVED EQUAL...
6. SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, OR LOCAL JURISDICTION STANDARDS...
7. THE PAVING CONTRACTOR SHALL REFER TO THE IRRIGATION PLANS AND M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS...
8. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AND AROUND THE BUILDING AS SHOWN ON THE PLANS...
9. FIRE LANES SHALL BE MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX (6) INCHES IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE...
10. CURBS ADJACENT TO FIRE LANES SHALL BE PAINTED BRIGHT RED IN COLOR FROM THE CURB'S GUTTER LINE TO THE TOP, BACK OF CURB...
11. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE 2012 TEXAS ACCESSIBILITY STANDARDS AND 2010 AMERICANS WITH DISABILITIES ACT...
12. THE CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK...
13. ANY EXISTING CONCRETE OR ASPHALT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE...
14. THE PAVING CONTRACTOR AND THE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTORS TO ENSURE THAT ALL UTILITY SERVICE CONNECTIONS AND CONDUITS ARE IN PLACE PRIOR TO BEGINNING ANY PAVING ACTIVITIES...

WATER AND SANITARY SEWER NOTES

- 1. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES...
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES...
3. ALL UTILITY CONSTRUCTION, WATER TAPS, VALVES, MANHOLES, AND SERVICES SHALL BE INSTALLED BY THE CONTRACTOR AFTER APPROVAL FROM THE APPLICABLE FEDERAL, STATE, OR LOCAL JURISDICTION...
4. ALL FIRE LINES AND APPURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT THE APPLICABLE FEDERAL, STATE, OR LOCAL JURISDICTION REGULATIONS...
5. ALL WATER MAINS 8" - 12" DIA. SHALL MAINTAIN A MINIMUM COVER IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, OR LOCAL JURISDICTION REGULATIONS...
6. ALL SANITARY SEWER LINES SHALL BE A MINIMUM OF PVC (200-35) PIPE...
7. THE CONTRACTOR SHALL SEQUENCE CONSTRUCTION TO AVOID INTERRUPTION OF WATER AND SANITARY SEWER SERVICE TO SURROUNDING AREAS...
8. EXISTING AND/OR PROPOSED WATER MAINS SHALL BE LOWERED BELOW OR ABOVE PROPOSED SANITARY AND STORM SEWER LINES...
9. EXISTING MANHOLE TOPS, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER UTILITY APPURTENANCES SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES...
10. FOR EACH SEWER AND WATER CROSSING, CONTRACTOR SHALL CENTER ONE JOINT OF SEWER PIPE ON THE EXISTING OR PROPOSED WATER MAIN...
11. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE BUILDING NO LESS THAN 18", OR NO MORE THAN 48" ABOVE ADJACENT GRADE...
12. THE CONTRACTOR SHALL INSTALL CONCRETE COLLARS (OR OTHER APPROVED MEANS) ON THE UNDERGROUND UTILITIES TO PREVENT GROUND WATER FROM MIGRATING IN THE UTILITY TRENCH...
13. ALL WATER AND SANITARY SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING, UNLESS OTHERWISE NOTED...
14. ALL WATER LINES TO BE 6000 CLASS 200 DR 14...
15. CONTRACTOR SHALL INSTALL BLUE EMS MARKERS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT AND SERVICE CONNECTION...
16. CONTRACTOR SHALL INSTALL GREEN EMS MARKERS ON THE SANITARY SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT AND SERVICE CONNECTION...

GRADING NOTES

- 1. NO SLOPES SHALL BE GREATER THAN 3:1 UNLESS OTHERWISE SHOWN...
2. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS...
3. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION...
4. THE CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES TO DETERMINE THEIR BID...
5. THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL, STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PADS...
6. TOP AND TOE SPOTS INDICATE FINAL GROUND ELEVATION AT HIGH SIDE AND THE LOW SIDE, RESPECTIVELY...
7. ALL FILL TO BE COMPACTED TO A MINIMUM 95% STANDARD DENSITY USING A SHEEP'S FOOT ROLLER...

TRAFFIC CONTROL NOTES

- 1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS PRIOR TO ANY WORK IN A PUBLIC RIGHT-OF-WAY...
2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD)...
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF TRAFFIC CONTROL PLANS...
4. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND PERMANENT TRAFFIC CONTROL MEASURES, SIGNS, AND PAVEMENT MARKINGS REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS...
5. TRAFFIC BARRICADES WILL BE REQUIRED AT ALL PROPOSED DRIVEWAY CONNECTIONS TO STREETS...
6. CONTRACTOR SHALL OBTAIN LANE CLOSURE PERMITS WHEN REQUIRED...
7. CONTRACTOR SHALL COVER STREET EXCAVATIONS WITH ADEQUATELY ANCHORED STEEL PLATES DURING NONWORKING HOURS...
8. APPROVED COPIES OF 'TRAFFIC CONTROL PLANS' AND LANE/SIDEWALK CLOSURE PERMITS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE AT ALL TIMES...

FRANCHISE UTILITY NOTES

- 1. CONTRACTOR SHALL CONTACT FRANCHISE UTILITY COMPANIES PRIOR TO CONSTRUCTION...
2. ANY PROPOSED FRANCHISE UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE CONCEPTUAL ONLY...
3. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID, ALL ASSOCIATED COSTS TO INSTALL FRANCHISE UTILITY (GAS, ELEC, PHONE, CABLE) SERVICE TO THE PROPOSED BUILDING...

ACCESSIBILITY NOTES

- 1. IT IS THE ENGINEER'S INTENT THAT SURFACES AT ACCESSIBLE PARKING SPACES, AT DROP OFF AND PICK UP AREAS, ALONG ACCESSIBLE ROUTES, AND AT BUILDING ENTRANCES OR EXITS ARE CONSTRUCTED SUCH THAT THOSE SURFACES SHALL HAVE A SLOPE NOT GREATER THAN 2.00% IN ANY DIRECTION...
2. IN CASE OF DISCREPANCY WITH SPOT ELEVATIONS OR ELEVATION CONTOURS, THE ENGINEER'S INTENT DESCRIBED IN THIS NOTE SHALL GOVERN...
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS A PART OF THE CONTRACTOR'S CONSTRUCTION OVERSIGHT DUTIES, TO THOROUGHLY REVIEW ALL PROPOSED SLOPES AND ELEVATIONS PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS...
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLAN DISCREPANCIES OR DISCREPANCIES BETWEEN THE PLANS AND THE RULE DESCRIBED IN 'ACCESSIBILITY NOTE 1'...
5. THE ENGINEER'S PLANS HAVE BEEN PREPARED WITHOUT THE BENEFIT OF DETAILS REGARDING THE THRESHOLD TO BE INSTALLED AT BUILDING INGRESS/EGRESS LOCATIONS...
6. THE CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL LOCATIONS...
7. IT IS IMPERATIVE THAT THE CONTRACTOR COORDINATE ACCESSIBILITY CONCERNS WITH THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTING THE IMPROVEMENTS...

NOTES TO CONTRACTOR

- 1. INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN...
2. CONTRACTOR SHALL REFERENCE ALL IRRIGATION PLANS, MEP SITE PLANS, AND CIVIL ENGINEERING UTILITY PLANS FOR INFORMATION REGARDING SLEEVES AND BENCHMARE PAVEMENT...
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL FRANCHISE UTILITY COMPANIES AND ENSURING ALL NECESSARY UTILITIES ARE AVAILABLE FOR THIS PROJECT...

RELEASED FOR CONSTRUCTION. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



Know what's below. Call before you dig. (@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall equipment (see sheet K000-1) - Contains markers with a brass old Standard 'Texas' 8255-7" found in the median of State Loop Drive at the intersection of Summit Ridge Drive and P.M. Highway No. 76.

CITY DATE

BANNISTER ENGINEERING logo and contact information: 240 North Mitchell Road | Mesquite, TX 75051 | 817.842.2094 | 817.842.2095 fax

Hazel and Olive 503 North Gollard Street Rockwall, Texas

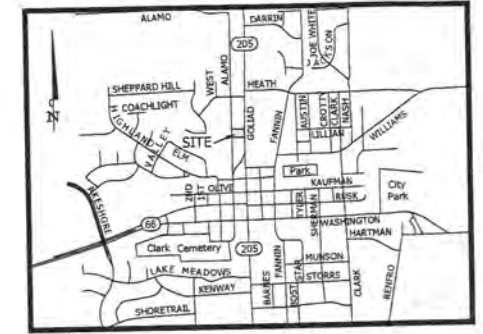
GENERAL NOTES

Table with 2 columns: No., Date, Revision Description

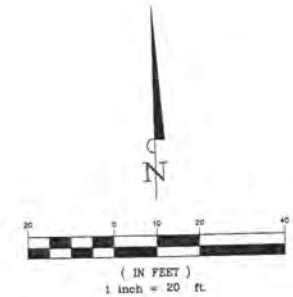


SHEET NO.

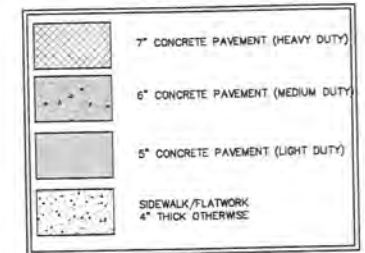
C-1.1



VICINITY MAP
NOT TO SCALE



LEGEND



NOTE:
ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), COMMUNITY PANEL NO. 48397C0040L DATED SEPTEMBER 26, 2008. THE PROPERTY APPEARS TO LIE WITHIN ZONE "X" AND THE ENTIRE PROPERTY LIES WITHIN A "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" ZONE AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SITE DATA		
	REQUIRED	PROVIDED
SITE AREA	-	0.421 Acres (18,355 sf)
PROPOSED USE	-	OFFICE (2,400 sf) / RETAIL (1,200 sf)
PROPOSED BUILDING	-	-
GROSS FLOOR AREA	-	3,600 sf
HEIGHT	-	1 STORY (8' MAX HEIGHT)
CONSTRUCTION TYPE	-	-
LOT COVERAGE	-	19.80%
FLOOR-TO-AREA RATIO	-	0.198 : 1
IMPERVIOUS COVER	15,602 sf (85% OF SITE - MAX.)	13,583 sf (74.0% OF SITE)
LANDSCAPE AREA	2,753 sf (15% OF SITE)	4,772 sf (26.0% OF SITE)
PARKING CALCULATIONS		
OFFICE USE (1 / 500 sf)	2,400 sf / 500 = 5 SPACES	
RETAIL USE (1 / 250 sf)	1,200 sf / 250 = 5 SPACES	
TOTAL	10 SPACES	10 SPACES
ACCESSIBLE SPACES*	1 SPACE	1 SPACE

* ACCESSIBLE SPACES ARE INCLUDED IN TOTAL PARKING SPACES REQUIRED / PROVIDED.

GENERAL NOTES:

- BUILDINGS 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED INTERNATIONAL BUILDING CODE.
- FIVE FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.5 FEET OFF THE PROPERTY LINE WITHIN THE RIGHTS-OF-WAY, UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY BARRIER-FREE RAMPS, PER CITY STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
- MECHANICAL UNITS, DUMPSTERS AND TRASH ENCLOSURES SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL SIGNAGE CONTINGENT UPON APPROVAL OF BUILDING INSPECTION DEPARTMENT.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDING FACADES WITHIN THIS DEVELOPMENT SHALL BE COMPATIBLE, AS PROVIDED IN THE RETAIL CORNER DESIGN GUIDELINES.
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 6-306 OF THE CODE OF ORDINANCES.
- PLEASE CONTACT THE BUILDING INSPECTION DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
- ALL ELECTRICAL TRANSMISSION, DISTRIBUTION AND SERVICE LINES MUST BE UNDERGROUND.
- USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 3-1300 OF THE ZONING CODE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARD MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION AND/OR OTHER PERFORMANCE STANDARDS.
- ALL SIGNS REQUIRE A SEPARATE SIGN PERMIT.

OWNER / DEVELOPER:
BEN McMILLAN PROPERTIES, LLC
304 NORTH SAN JACINTO
ROCKWALL, TX 75087

ENGINEER:
BANNISTER ENGINEERING, LLC
1696 COUNTRY CLUB DRIVE
MANSFIELD, TX 76063
(817) 842-2094
(817) 842-2095 - FAX
CONTACT: DAVID GREER

BANNISTER ENGINEERING
1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

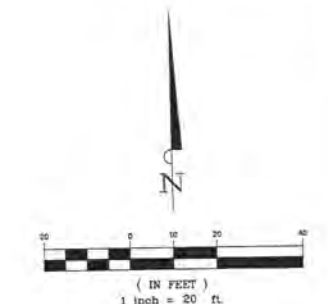
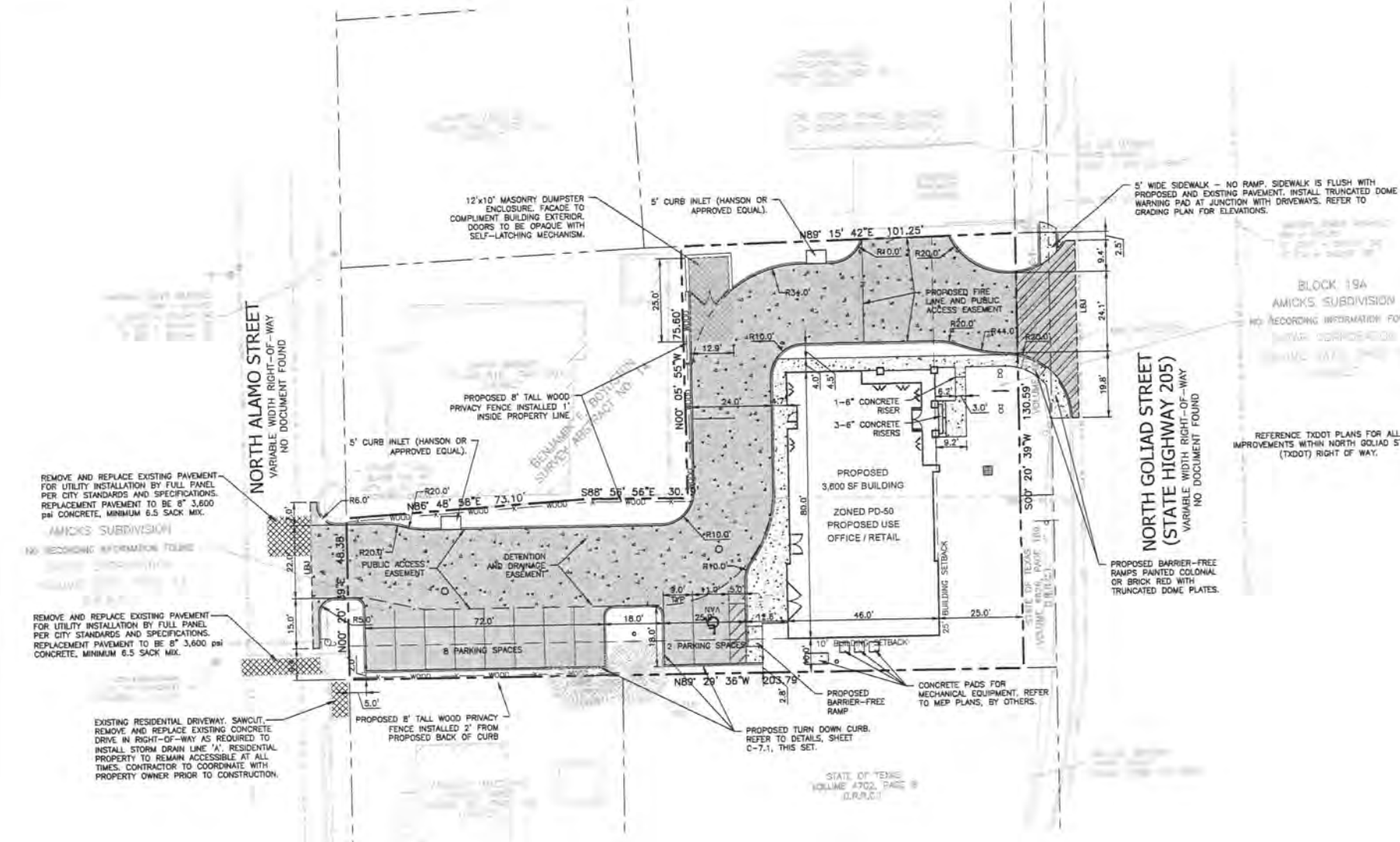
RELEASED FOR CONSTRUCTION
THE RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SITE PLAN
FOR
AMICK'S SUBDIVISION
LOT 1, BLOCK 19A
0.421 ACRES OUT OF
BENJAMIN F. BOYDSTUN SURVEY,
ABSTRACT NO. 14
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
CASE NO. SP215-011

DATE _____

MAY 5, 2015

SHEET 1 OF 1



LEGEND

- 7" CONCRETE PAVEMENT (HEAVY DUTY)
(3,600 psi, MINIMUM 6.5 SACKS)
- CONCRETE PAVEMENT TO MATCH EXISTING
10' GOLIAD STREET SECTION
(3,600 psi, MINIMUM 6.5 SACKS)
- 6" CONCRETE PAVEMENT (MEDIUM DUTY)
(3,600 psi, MINIMUM 6.5 SACKS)
- 5" CONCRETE PAVEMENT (LIGHT DUTY)
(3,600 psi, MINIMUM 6.5 SACKS)
- 4" SIDEWALK/FLATWORK
(3,000 psi, MINIMUM 6.5 SACKS)
- DENOTES HANDICAP PARKING SPACE
- FIRE LANE STRIPING
- SITE LIGHTING. SEE NOTE 8, THIS SHEET.
- LONGITUDINAL BUTT JOINT

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. REFER TO SHEET C-1.1 FOR ADDITIONAL NOTES.
4. ALL SIDEWALKS TO BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.0%.
5. FIRE LANES SHALL REMAIN OPEN AND ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
6. FIRE LANE SHALL BE INSTALLED AND ACCEPTED BY THE CITY PRIOR TO ANY CONSTRUCTION ABOVE THE FOUNDATION.
7. ALL WORK WITHIN THE NORTH GOLIAD STREET RIGHT OF WAY TO BE PER TXDOT PERMIT.
8. SITE LIGHTING IS SHOWN ON THIS PLAN FOR REFERENCE ONLY. REFER TO SITE LIGHTING PLAN, BY OTHERS, FOR POLE AND BASE DESIGN, POWER REQUIREMENTS, CONDUIT LOCATIONS AND EXACT POLE LOCATIONS.
9. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

PAVEMENT NOTES

REFERENCE PROJECT GEOTECHNICAL REPORT BY ALPHA TESTING (REPORT NO. G150778, DATED APRIL 30, 2015) FOR ALL SUBGRADE PREPARATION, REINFORCING STEEL REQUIREMENTS, AND PAVEMENT JOINT SPACING.

PER SECTION 6.6.2 LIME TREATED SUBGRADE CAN BE ELIMINATED BY INCREASING PAVEMENT THICKNESS BY 1-INCH.

PAVEMENT JOINT SPACING SHOULD NOT EXCEED 15 FEET.

PAVEMENT CONCRETE REINFORCEMENT TO BE #3 BARS AT 18 INCHES ON CENTER EACH WAY.

NO SAND UNDER PAVEMENT.

NOTES TO CONTRACTOR

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3. CONTRACTOR SHALL REFERENCE ALL IRRIGATION PLANS, MEP SITE PLANS, AND CIVIL ENGINEERING UTILITY PLANS FOR INFORMATION REGARDING SLEEVES BENEATH PAVEMENT.

SITE DATA		
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PROPOSED BUILDING	-	-
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FLOOR-TO-AREA RATIO	-	0.198 : 1
IMPERVIOUS COVER	15,602 sf (85% OF SITE MAX.)	13,583 sf (74.0% OF SITE)
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PARKING CALCULATIONS		
OFFICE USE (1/500sf)	2,400 sf / 500 = 5 SPACES	
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TOTAL	10 SPACES	10 SPACES
ACCESSIBLE SPACES*	1 SPACE	1 SPACE

* ACCESSIBLE SPACES ARE INCLUDED IN TOTAL PARKING SPACES REQUIRED / PROVIDED.

NOTE: ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 48397C0040L, DATED SEPTEMBER 26, 2008, THE PROPERTY APPEARS TO LIE WITHIN A "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" ZONE AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

RELEASED FOR CONSTRUCTION
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**Know what's below.
Call before you dig.**
(@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument No. 8005-1, Concrete monument with a brass cap stamped "Height 8005-1" found in the median of Summit Ridge Drive at the intersection of Summit Ridge Drive and F.M. Highway No. 740.
Elevation = 578.81'

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

Hazel and Olive
503 North Goliad Street
Rockwall, Texas

PAVING PLAN

No.	Date	Revision Description

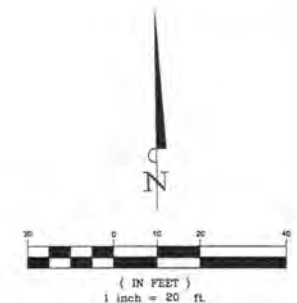
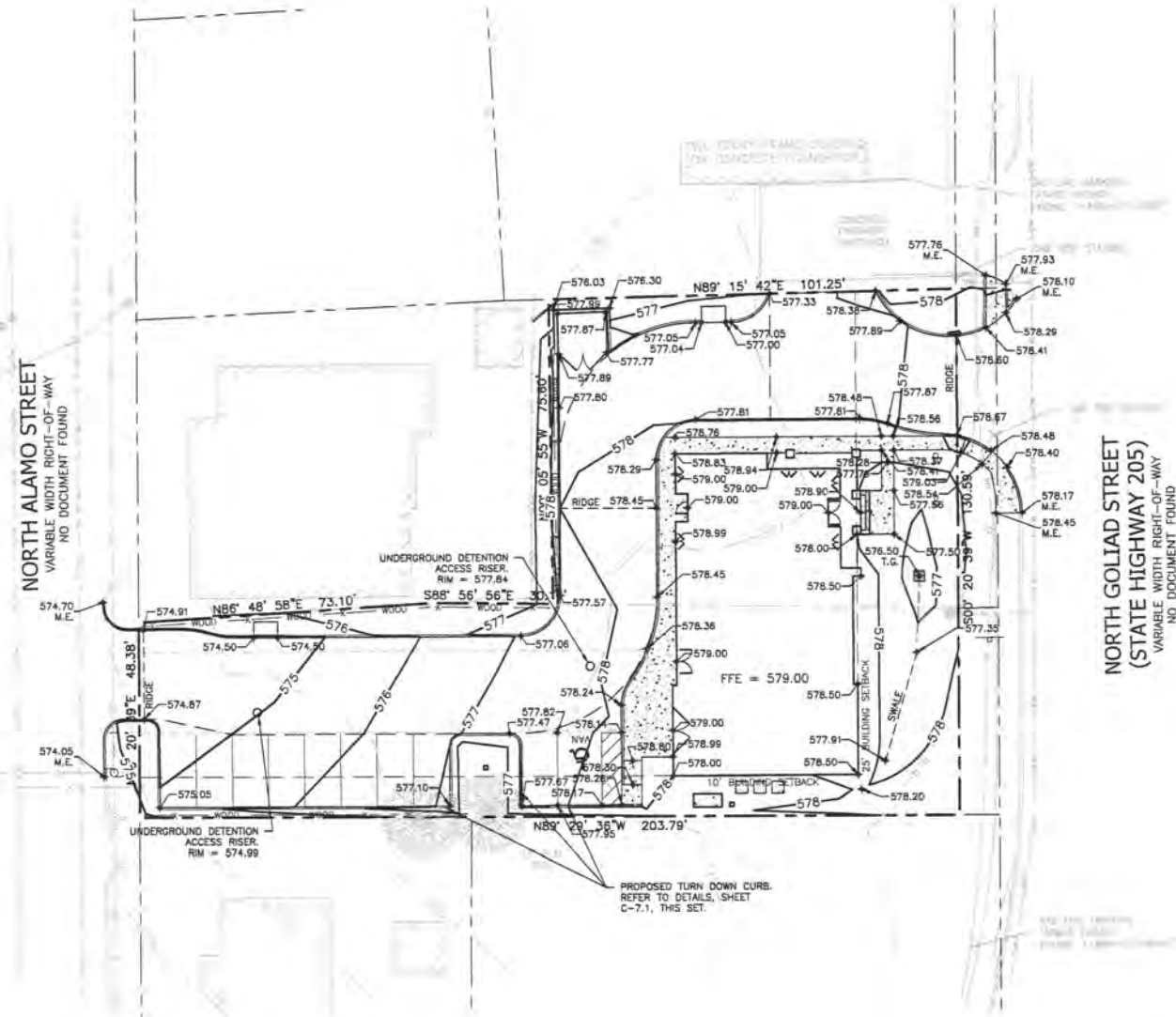


SHEET NO.

C-2.2

CITY _____ DATE _____

PROJECT NO.: 062-15-00



LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOURS
	DIRECTION OF FLOW
	TOP OF PAVEMENT OR PROPOSED GRADE
	MATCH EXISTING

NOTES

1. ALL SLOPES WITHIN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS. ALL SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5.0% LONGITUDINALLY AND 2.0% IN CROSS-SLOPE.
2. ALL SIDEWALKS TO BE CONSTRUCTED WITH A MAXIMUM CROSS-SLOPE OF 2.0%.
3. REFER TO PROJECT GEOTECHNICAL REPORT FOR FILL PLACEMENT AND SLOPING REQUIREMENTS.
4. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT (GUTTER LINES) UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB.
5. REFER TO SHEET C-1.1 FOR SITE ACCESSIBILITY STANDARDS AND ADDITIONAL NOTES.
6. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

NOTES TO CONTRACTOR

1. INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
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RELEASED FOR CONSTRUCTION
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CITY _____ DATE _____



**Know what's below.
 Call before you dig.**
 (@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument No. 8009-1, Concrete monument with a brass cap (Bench) "Reset 8009-1" found in the median of Summit Ridge Drive at the intersection of Summit Ridge Drive and F.M. Highway No. 740.
 Elevation = 578.631'

BANNISTER
ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # P-10599 (TEXAS)

Hazel and Olive
 503 North Goliad Street
 Rockwall, Texas

GRADING PLAN

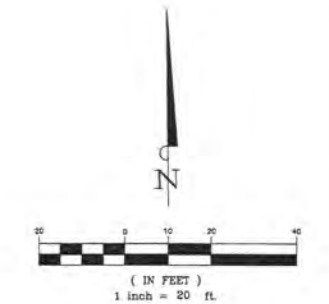
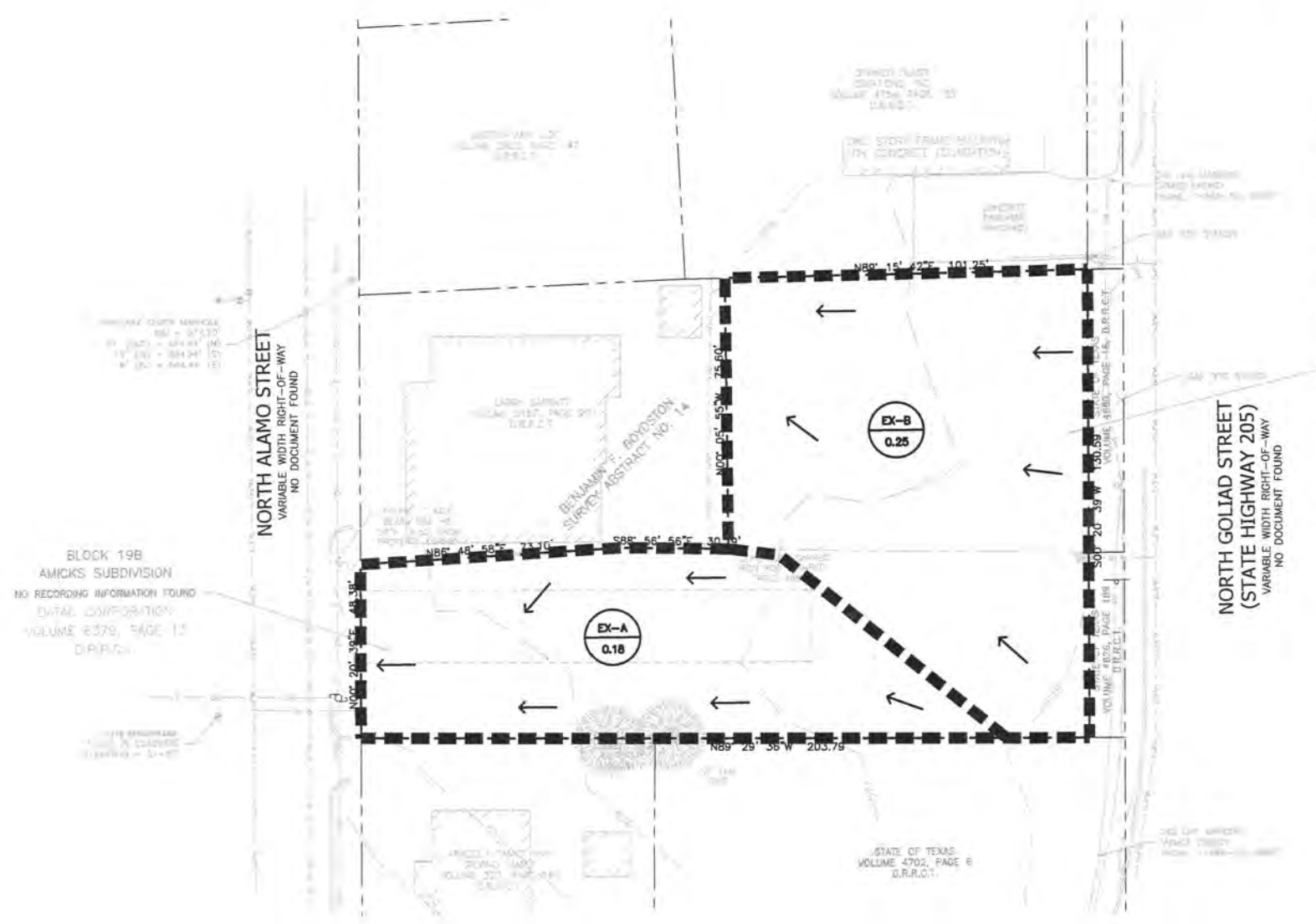
No.	Date	Revision Description



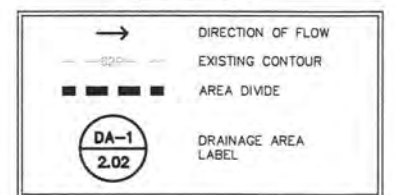
SHEET NO.

C-3.1

PROJECT NO.: 002-15-06



LEGEND



NOTES

1. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

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EXISTING RUNOFF													
DRAINAGE AREA	AREA (ACRES)	C	CA	Tc (MIN)	I5	Q5 (CFS)	I10	Q10 (CFS)	I25	Q25 (CFS)	I100	Q100 (CFS)	NOTES
EX-A	0.18	0.35	0.06	20	4.9	0.30	5.9	0.36	6.6	0.41	8.3	0.51	TO NORTHWEST CORNER OF LOT TO NORTH ALAMO STREET
EX-B	0.25	0.35	0.09	20	4.9	0.42	5.9	0.51	6.6	0.57	8.3	0.71	
TOTAL	0.42					0.72		0.87		0.97		1.23	

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____



**Know what's below.
 Call before you dig.**
 (@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument No. 8020-L, Concrete monument with a brass cap stamped "West 8020-L" found in the median of Summit Ridge Drive at the intersection of Summit Ridge Drive and F.M. Highway No. 780.
 Elevation = 578.631'

BANNISTER ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.7095 fax
 REGISTRATION # F-10599 (TEXAS)

Hazel and Olive
 503 North Goliad Street
 Rockwall, Texas

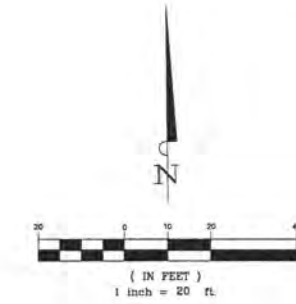
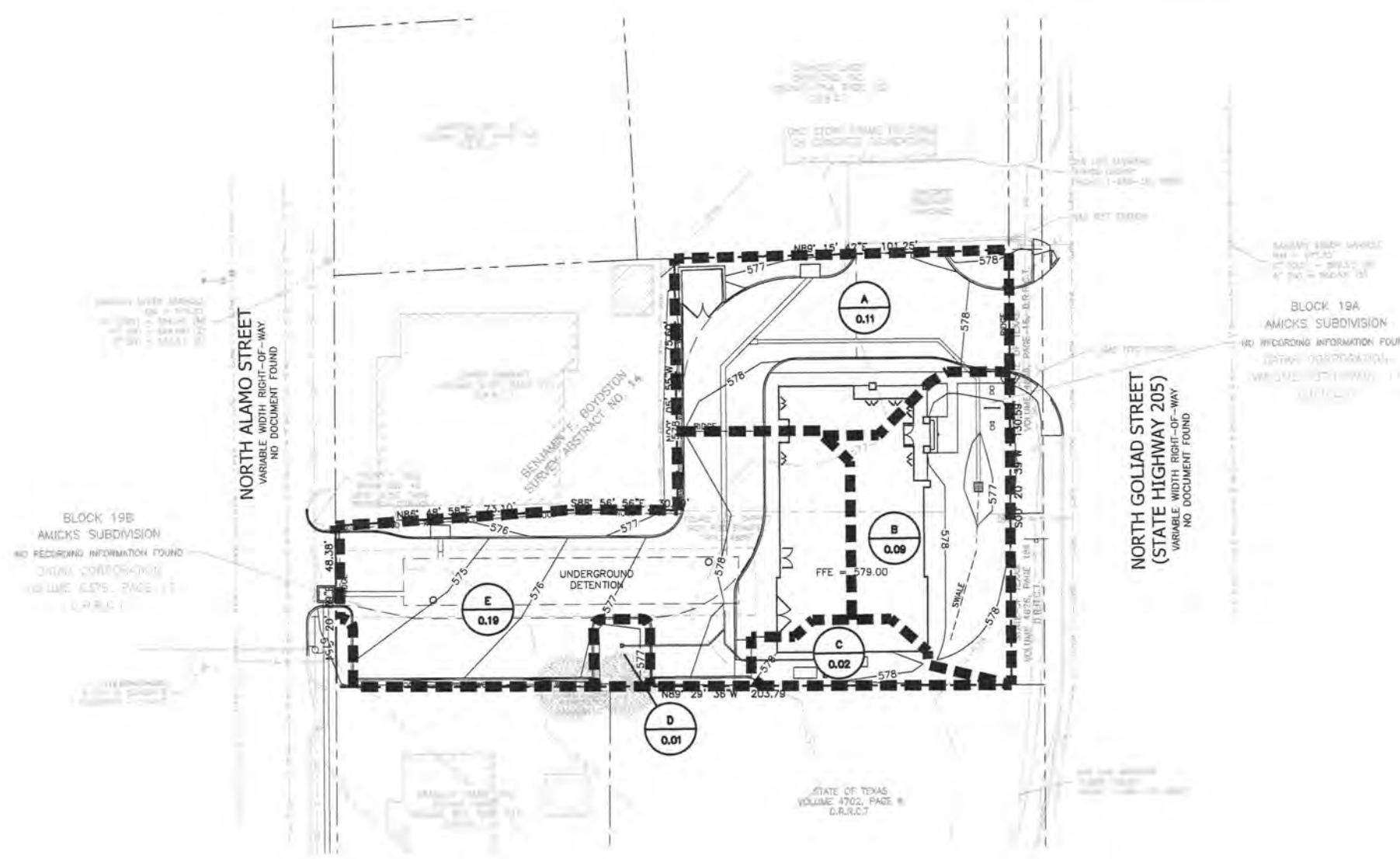
EXISTING DRAINAGE MAP

No.	Date	Revision Description



SHEET NO.
C-4.1

PROJECT NO.: 962-15-06



LEGEND

- DIRECTION OF FLOW
- EXISTING CONTOUR
- AREA DIVIDE
- DRAINAGE AREA LABEL

NOTES

- ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

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PROPOSED RUNOFF													
DRAINAGE AREA	AREA (ACRES)	C	CA	Tc (MIN)	i5	Q5 (CFS)	I10	Q10 (CFS)	I25	Q25 (CFS)	I100	Q100 (CFS)	NOTES
A	0.11	0.9	0.10	10	6.1	0.60	7.1	0.70	8.3	0.82	9.8	0.97	TO PROPOSED AREA INLET 'A'
B	0.09	0.9	0.08	10	6.1	0.49	7.1	0.58	8.3	0.67	9.8	0.79	TO PROPOSED CURB INLET 'B'
C	0.02	0.9	0.02	10	6.1	0.11	7.1	0.13	8.3	0.15	9.8	0.18	TO PROPOSED AREA INLET 'C'
D	0.01	0.9	0.01	10	6.1	0.05	7.1	0.06	8.3	0.07	9.8	0.09	TO PROPOSED AREA INLET 'D'
E	0.19	0.9	0.17	10	6.1	1.04	7.1	1.21	8.3	1.42	9.8	1.68	TO PROPOSED CURB INLET 'E'
TOTAL	0.42					2.31		2.68		3.14		3.70	

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____



**Know what's below.
 Call before you dig.**
 (@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument No. 8005-1, Concrete monument with a brass cap stamped "Year: 8005-1" found in the median of Summit Ridge Drive at the intersection of Summit Ridge Drive and F.M. Highway No. 76.
 Elevation = 578.631'

BANNISTER ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Hazel and Olive
 503 North Goliad Street
 Rockwall, Texas

PROPOSED DRAINAGE MAP

No.	Date	Revision Description



SHEET NO.

C-4.2

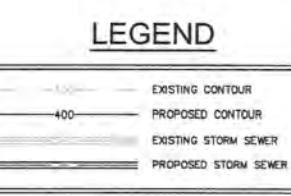
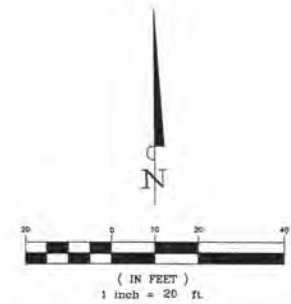
PROJECT NO.: 002-15-06

No.	Date	Revision Description



SHEET NO.

C-4.3

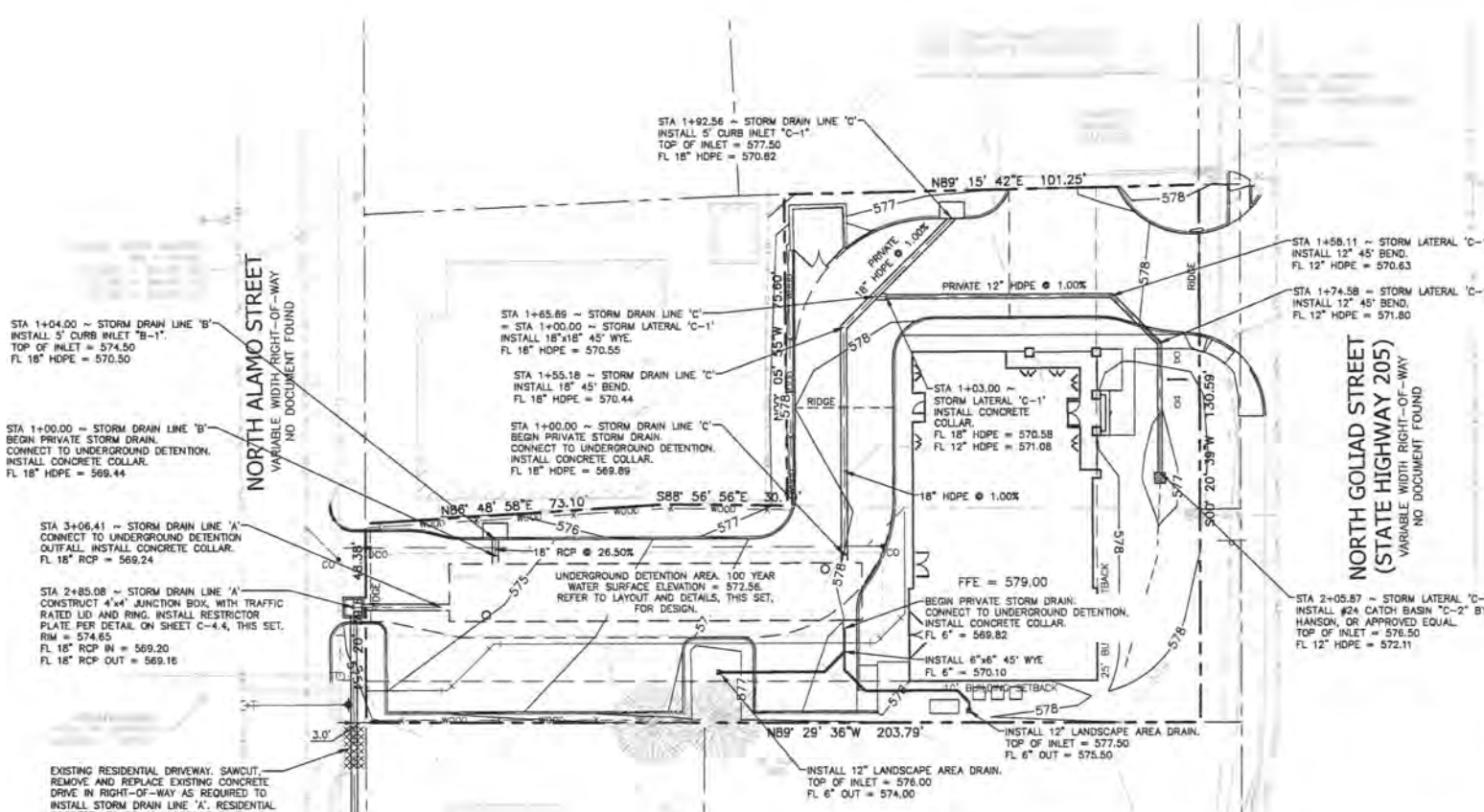


- NOTES**
1. DETENTION SYSTEM TO BE INSTALLED AND FULLY FUNCTIONING PRIOR TO ANY PAVING INSTALLATION.
 2. REFER TO SHEET C-1.1 FOR ADDITIONAL NOTES.
 3. CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION AND DEPTHS OF ALL EXISTING UTILITIES WITHIN THE PROJECT WORK AREA BEFORE COMMENCING CONSTRUCTION.
 4. ALL UTILITIES SHALL BE CONSTRUCTED BEGINNING AT THE DE-IN LOCATION TO EXISTING UTILITIES (DOWNSTREAM) AND PROCEED TO PROPOSED STRUCTURES (UPSTREAM).
 5. VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN WITH ARCHITECTURAL PLANS BEFORE COMMENCING CONSTRUCTION.
 6. PRIVATE STORM AND DETENTION SYSTEM TO BE MAINTAINED BY PROPERTY OWNER.
 7. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

- NOTES TO CONTRACTOR**
1. INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
 2. CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.

RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____



INLET DESIGN CALCULATIONS

INLET No.	Location	Design Storm Frequency (yrs)	AREA RUNOFF					Carry-Over from Upstream Inlet (c.f.s.)	Total Outer Flow (c.f.s.)	Outer Capacity (c.f.s.)	Outer Slope (ft./ft.)	Crown Type	Length (feet)	Type	Selected Inlet			Carry-Over to Downstream Inlet (c.f.s.)
			Time of Conc. (min.)	Intensity "I" (in./hr)	Runoff Coeff. "C"	Area (ac.)	"Q" (c.f.s.)								Actual Pond Depth (feet)	Allowable Pond Depth (feet)	Sag or On Grade	
D-1	Sta. 1+05.00	100	10	9.8	0.9	0.19	1.68	0	N/A	N/A	N/A	3	1A	18	0.23	0.80	Sag	0
D-1	Sta. 1+08.87	100	10	9.8	0.9	0.11	0.87	0	N/A	N/A	N/A	3	1A	18	0.16	0.80	Sag	0
D-2	Sta. 2+05.87	100	10	9.8	0.9	0.09	0.79	0	N/A	N/A	N/A	8	V	10	0.10	1.00	Sag	0

STORM SEWER CALCULATIONS

UPSTREAM STATION	DOWNSTREAM STATION	Distance Between Collection Points	INCREMENTAL DRAINAGE AREA					Accumulated "CA"	Time at Upstream Station (minutes)	Design Storm Frequency (years)	Intensity "I" (in./hr.)	Storm Water Runoff "Q" (c.f.s.)	Slope of Hydraulic Gradient (ft./ft.)	Selected Storm Sewer Size (in.)	Pipe Material	Pipe Slope	Manning's "n" Value	Velocity in Sewer Between Collection Points "V" (feet/sec.)	Head Loss Coeff. (ft.)	Velocity Head Loss at Upstream Station (ft.)	Flow Time in Sewer (minutes)	Time at Downstream Station (minutes)	HYDRAULIC GRADE		Remarks
			Area Number	Drainage Area (Acres)	Runoff Coeff. "C"	Incremental "CA"	Upstream																Downstream		
3+06.41	2+85.08	21.33	A-E	0.42	0.36	0.18	0.15	10	100	8.3	1.22	0.00145	18	RCP	0.19%	0.013	0.66	1.25	0.01	0.61	10.51	570.17	570.16	Underground detention outlet with restrictor plate to junction box	
2+85.08	1+07.07	178.01	A-E	0	0.36	0.00	0.15	10	100	8.3	1.22	0.00138	18	RCP	0.20%	0.013	0.66	0.50	0.00	4.30	14.30	570.16	570.13	Junction box to 45 degree bend	
1+07.07	1+00.00	7.07	A-E	0	0.36	0.00	0.15	10	100	8.3	1.22	0.00130	18	RCP	0.20%	0.013	0.66	1.00	0.01	0.17	10.17	570.10	570.10	45 degree bend to system outlet at existing curb inlet	
1+04.00	1+00.00	4.00	E	0.19	0.9	0.17	0.17	10	100	9.8	1.68	0.00250	18	RCP	25.50%	0.013	0.90	1.25	0.02	0.07	10.07	570.94	570.94	3 curv inlet to underground detention	
1+85.08	1+55.18	27.87	A	0.11	0.9	0.10	0.10	10	100	9.8	0.97	0.00085	18	HOPE	1.00%	0.012	0.65	1.25	0.01	0.85	10.85	571.44	571.44	5' curb inlet to 45 degree wye	
1+55.18	1+55.18	10.51	B	0.09	0.9	0.08	0.18	10	100	9.8	1.76	0.00282	18	HOPE	1.00%	0.012	1.00	0.60	0.01	0.18	10.18	571.42	571.42	45 degree wye to 45 degree bend	
1+55.18	1+00.00	55.18		0	0.9	0.00	0.18	10	100	9.8	1.76	0.00282	18	HOPE	1.00%	0.012	1.00	0.80	0.01	0.92	10.92	571.41	571.39	45 degree bend to underground detention	
2+05.87	1+74.58	31.29	B	0.09	0.9	0.08	0.08	10	100	9.8	0.79	0.000423	12	HOPE	1.00%	0.012	1.01	1.25	0.02	0.82	10.82	571.52	571.51	Area inlet to 45 degree bend	
1+74.58	1+58.11	16.47		0	0.9	0.00	0.08	10	100	9.8	0.79	0.000423	12	HOPE	1.00%	0.012	1.01	0.80	0.01	0.27	10.27	571.49	571.48	45 degree bend to 45 degree bend	
1+58.11	1+03.00	55.11		0	0.9	0.00	0.08	10	100	9.8	0.79	0.000423	12	HOPE	1.00%	0.012	1.01	0.80	0.01	0.91	10.91	571.47	571.44	45 degree bend to 18"x12" reducer	
1+03.00	1+00.00	3.00		0	0.9	0.00	0.08	10	100	9.8	0.79	0.00046	18	HOPE	1.00%	0.012	0.45	0.80	0.00	0.11	10.11	571.42	571.42	18"x12" reducer to 45 degree wye	

EXISTING RESIDENTIAL DRIVEWAY. SAWCUT, REMOVE AND REPLACE EXISTING CONCRETE DRIVE IN RIGHT-OF-WAY AS REQUIRED TO INSTALL STORM DRAIN LINE 'A'. RESIDENTIAL PROPERTY TO REMAIN ACCESSIBLE AT ALL TIMES. CONTRACTOR TO COORDINATE WITH PROPERTY OWNER PRIOR TO CONSTRUCTION.

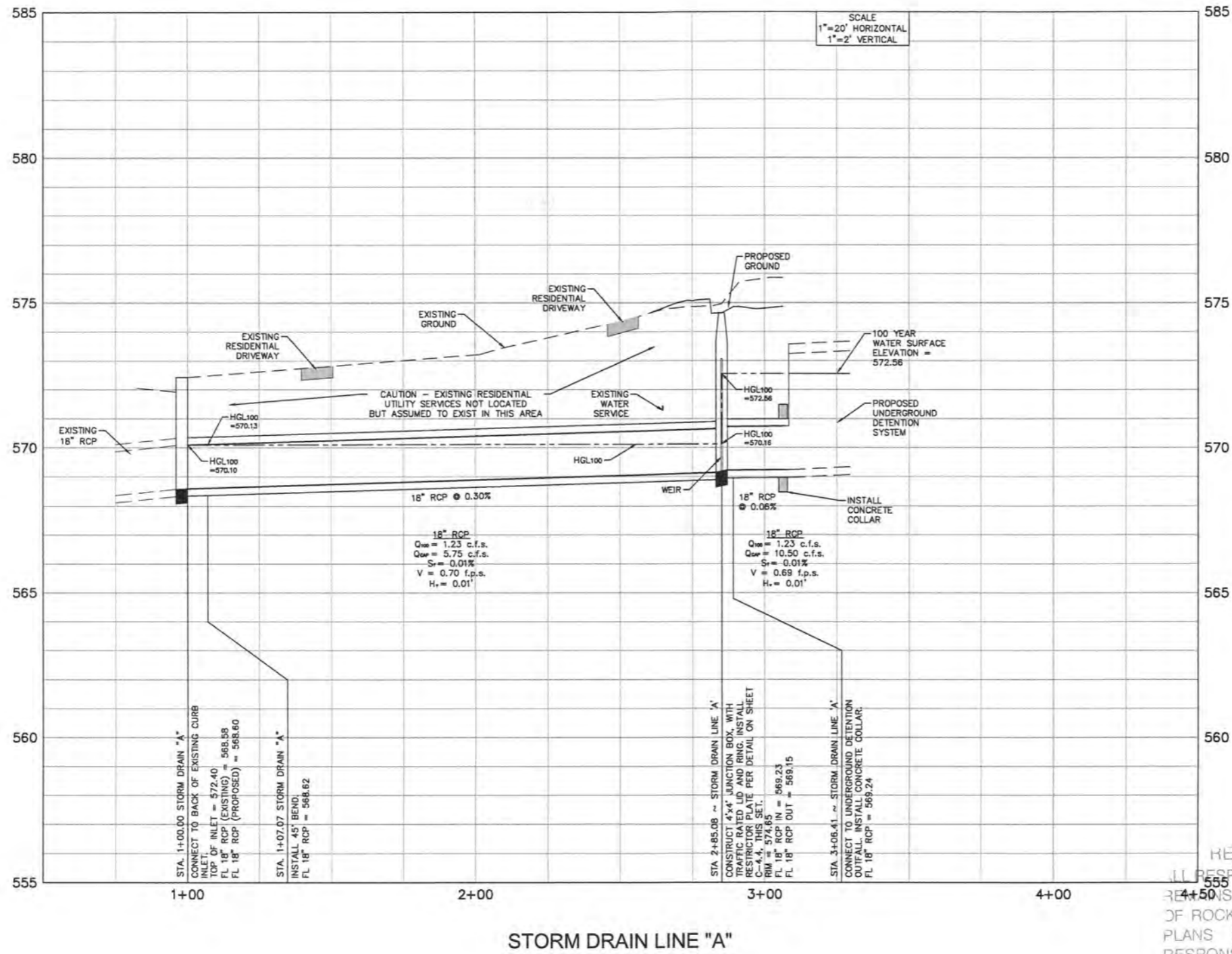
STA 1+00.00 ~ STORM DRAIN LINE 'A' CONNECT TO BACK OF EXISTING CURB INLET. TOP OF INLET = 572.40 FL EX 18" RCP = 568.58 FL PR 18" RCP = 568.60



Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument has, based 8005-L, concrete monument with a brass cap stamped "West 8005-L" found in the median of Summer Ridge Drive at the intersection of Summer Ridge Drive and J.M. Highway No. 740. Elevation = 578.431'



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY
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PLANS FOR CONSTRUCTION, ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

CITY _____ DATE _____



Know what's below.
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BENCHMARK

SOURCE BENCHMARK: City of Rockwall measurement No. 8009-1,
Concrete monument with a brass cap stamped "8009-1" found in the
middle of Summit Ridge Drive at the intersection of Summit Ridge Drive and
F.M. Highway No. 740.
Elevation = 570.631'

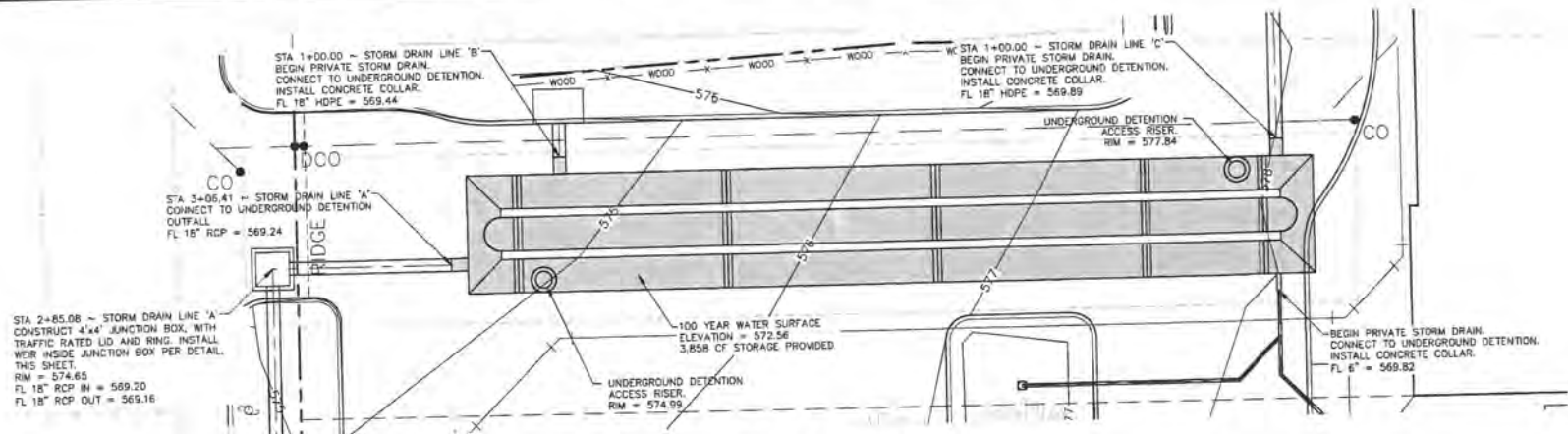
Hazel and Olive
503 North Goliad Street
Rockwall, Texas

STORM DRAIN PROFILE

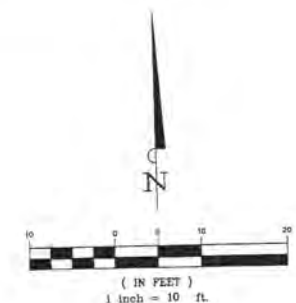
No.	Date	Revision Description



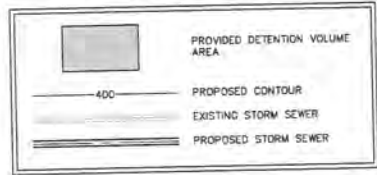
PROJECT NO.: 062-15-06



UNDERGROUND DETENTION
1" = 10'



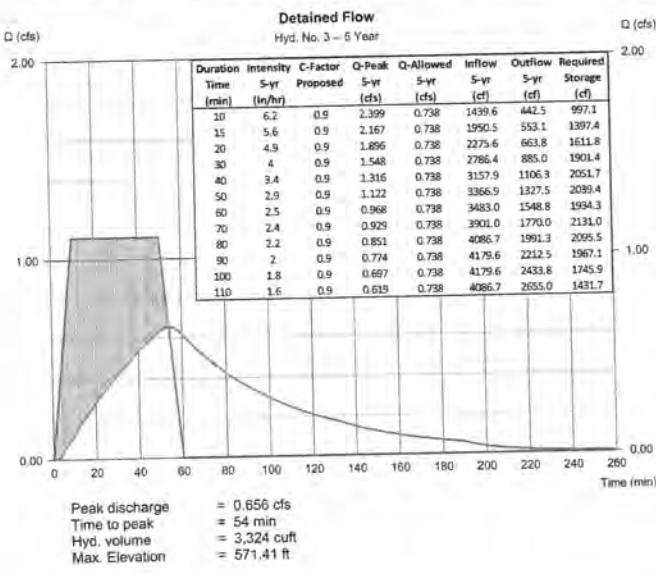
LEGEND



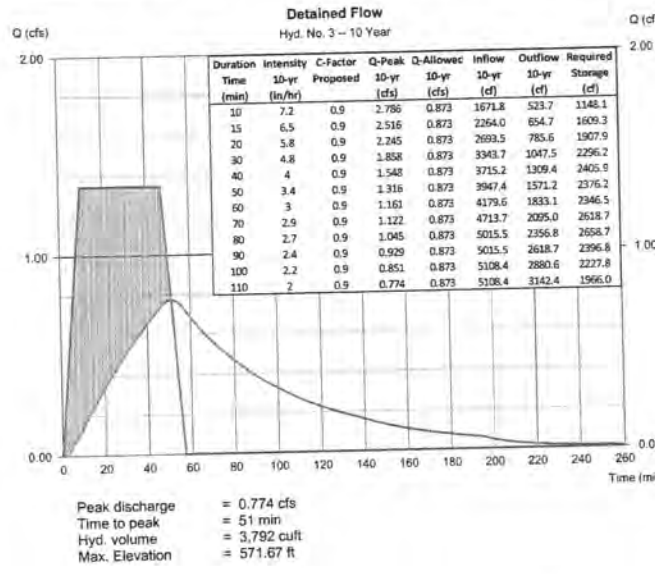
NOTES

- REFER TO SHEET C-1.1 FOR ADDITIONAL NOTES.
- CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION AND DEPTHS OF ALL EXISTING UTILITIES WITHIN THE PROJECT WORK AREA BEFORE COMMENCING CONSTRUCTION.
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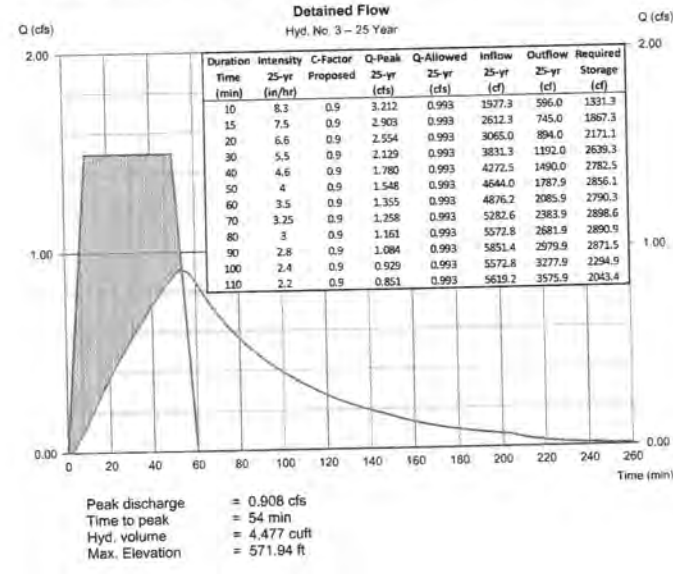
5-YR EVENT DETENTION CALCULATIONS



10-YR EVENT DETENTION CALCULATIONS



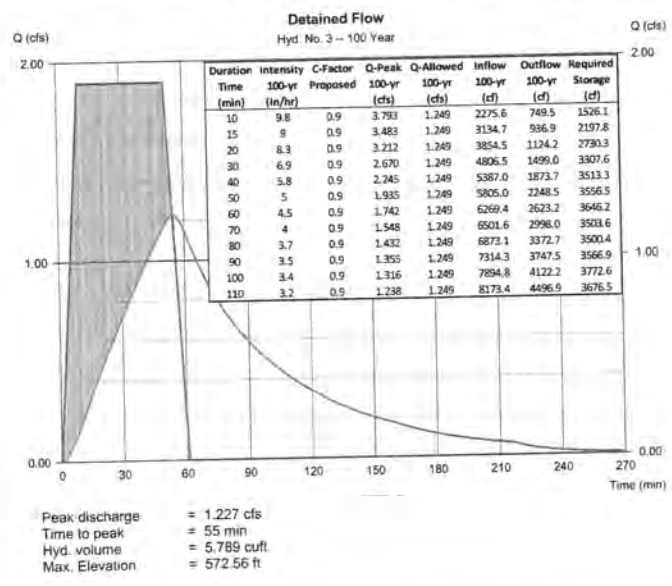
25-YR EVENT DETENTION CALCULATIONS



NOTES TO CONTRACTOR

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100-YR EVENT DETENTION CALCULATIONS



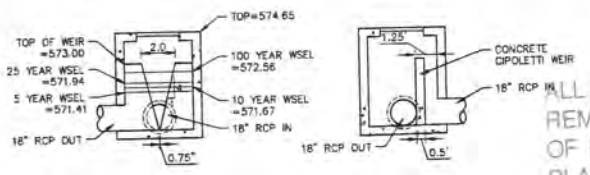
DETENTION STORAGE TABLE

Pond No. 1 - Detention
Pond Data
UG Chambers - invert elev. = 569.20 ft. Rise x Spill = 4.00 x 4.00 ft. Barrel Len = 101.00 ft. No. Barrels = 3. Slope = 0.50%. Headwall = Yes

Stage (ft)	Elevation (ft)	Contour area (sqft)	Instr. Storage (cuft)	Total storage (cuft)
0.00	569.20	n/a	0	0
0.45	569.65	n/a	99	99
0.90	570.10	n/a	353	452
1.35	570.55	n/a	493	945
1.80	571.00	n/a	565	1510
2.25	571.45	n/a	597	2106
2.70	571.90	n/a	564	2703
3.15	572.35	n/a	493	3297
3.60	572.80	n/a	352	4112
4.05	573.25	n/a	96	4210

Weir Structures [A]
Crest Len (ft) = 0.00
Crest Elev. (ft) = 569.20
Weir Coeff. = 3.33
Weir Type = Cipri
Multi-Stage = No

POND AND DETENTION CALCULATIONS PERFORMED USING THE MODIFIED RATIONAL METHOD PER HYDRAFLOW HYDROGRAPHS EXTENSION FOR AUTOCAD CIVIL 3D 2014



JUNCTION BOX / WEIR
1" = 5'

RELEASED FOR CONSTRUCTION
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CITY _____ DATE _____



Know what's below.
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(@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall measurement No. 109928-1, Concrete monument with a brass cap located 'Near 8000' in front of the middle of Summit Ridge Drive at the intersection of Summit Ridge Drive and P.M. Highway No. 740.
Elevation = 574.31'

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

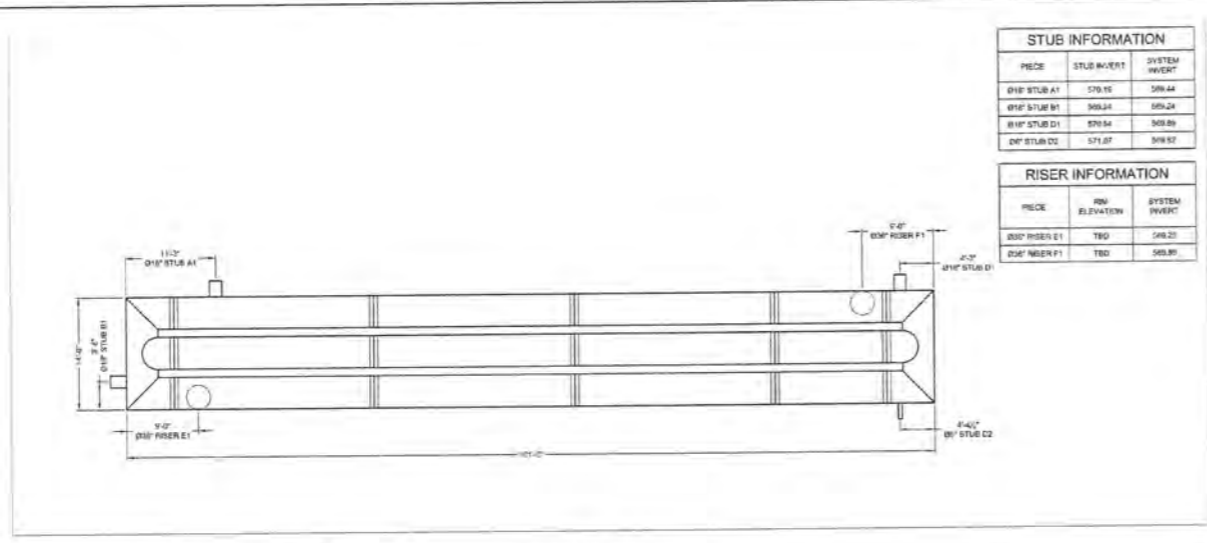
Hazel and Olive
503 North Gollad Street
Rockwall, Texas

UNDERGROUND DETENTION PLAN

No.	Date	Revision Description



SHEET NO.
C-4.5



STUB INFORMATION		
PIECE	STUB INVERT	SYSTEM INVERT
01# STUB A1	575.15	568.44
01# STUB M1	569.24	565.24
01# STUB D1	570.54	568.86
01# STUB D2	571.87	568.87

RISER INFORMATION		
PIECE	RISER ELEVATION	SYSTEM INVERT
01# RISER E1	780	568.23
01# RISER F1	780	568.89

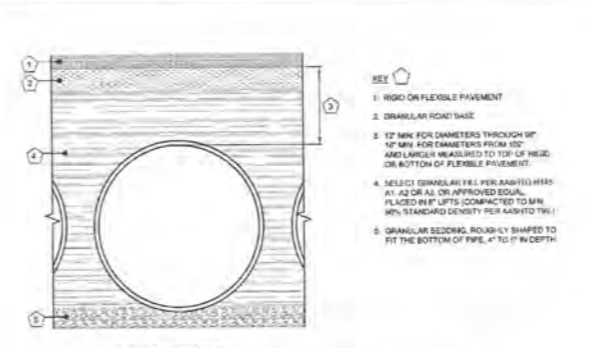
THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (3) PAGES INCLUDING THE FOLLOWING:

- VOLUME = 3,858 CF
- MAINLINE PIPE GAUGE = 16
- WALL TYPE = SOLID
- DIAMETER = 48"
- FINISH = ALT2

ASSEMBLY
SCALE: 1"=10'
VOLUME: 3,858
LOADING: H20H25
SYSTEM INV. VARIES

- NOTES:**
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
 - ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND HOLETS, SHALL BE CHECKED BY THE ENGINEER OR RECORDS PRIOR TO RELEASE FOR FABRICATION.
 - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A888.
 - ALL RISERS AND STUBS ARE 15'-1" CONFIGURATION AND 16 GAUGE UNLESS OTHERWISE NOTED.
 - RISERS TO BE FIELD TRIMMED TO GRADE.
 - QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. CON SYSTEM AS DETAIL. PROVIDED NORMAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.

CONTECH ENGINEERED SOLUTIONS LLC
11515 WE Green, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000
503 N GOLIAD, ROCKWALL, TX
SITE DESIGNATION: UGDS



FOUNDATION BEDDING PREPARATION

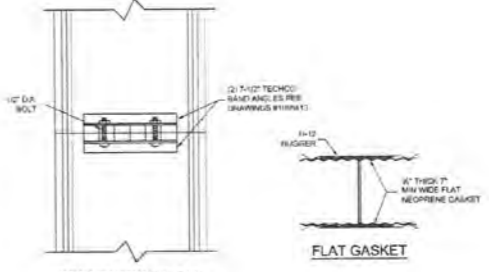
PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNDESIRABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, IF 2" OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL

THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER AASHTO M140, OR A WELL-GRADED GRANULAR FILL AS APPROVED BY THE SITE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL BE PLACED BY 12" LIFTS AND COMPACTED TO 98% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL, IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE FRANCHISE. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO (2) FT DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

1 BACKFILL DETAIL
SCALE: N.T.S.

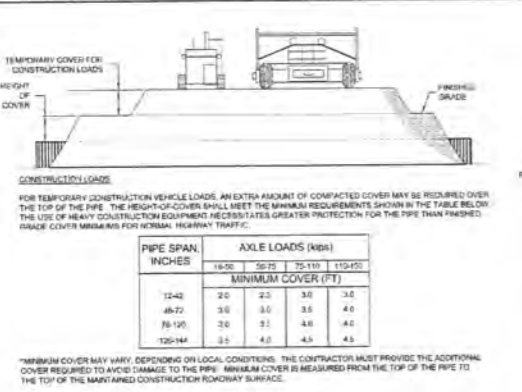


CONNECTION DETAIL
SINGLE
7-1/2" TECHCO ANGLE

- GENERAL NOTES:**
- BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
12" THRU 48" 3-PIECE
48" THRU 60" 3-PIECE
60" THRU 72" 3-PIECE
 - BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, REINFORCING OR HAND WELDS.
 - REINFORCED ANNUAL END CONFIGURATIONS ARE NORMALLY 24" X 24" DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.

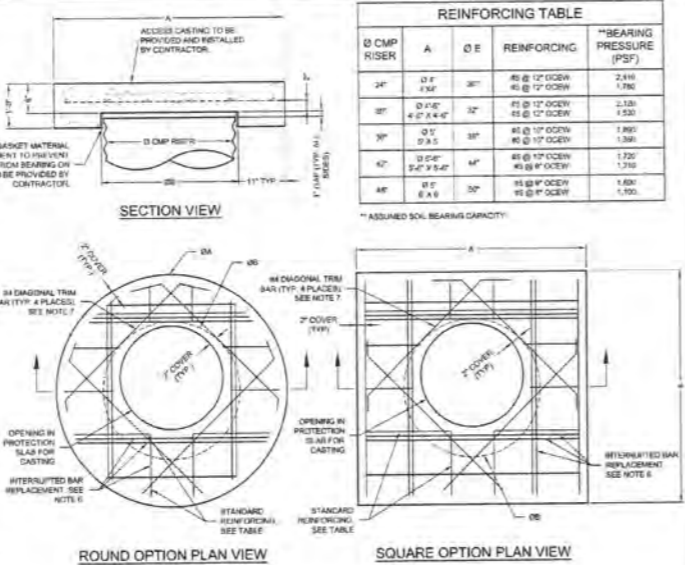
2 H-12 HUGGER BAND DETAIL
SCALE: N.T.S.

CONTECH ENGINEERED SOLUTIONS LLC
11515 WE Green, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000
503 N GOLIAD, ROCKWALL, TX
SITE DESIGNATION: UGDS



PIPE SPAN INCHES	AXLE LOADS (KIPS)			MINIMUM COVER (FT)
	18-30	50-75	75-110	
12-42	2.0	2.3	3.0	3.2
48-72	3.0	3.0	3.6	4.0
78-102	3.0	3.1	4.0	4.4
102-144	2.5	4.0	4.5	5.5

3 CONSTRUCTION LOADING DIAGRAM
SCALE: N.T.S.



Ø CMP RISER	A	Ø E	REINFORCING		*BEARING PRESSURE (PSF)
			Ø	S	
24"	Ø 7"	30"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	2,416
30"	Ø 7 1/2"	36"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,780
36"	Ø 8"	32"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,530
42"	Ø 8 1/2"	38"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,330
48"	Ø 9"	34"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,080
54"	Ø 9 1/2"	40"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,020
60"	Ø 10"	36"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,210
66"	Ø 10 1/2"	42"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,080
72"	Ø 11"	38"	Ø 5 @ 12" OC	Ø 5 @ 12" OC	1,100

4 MANHOLE CAP DETAIL
SCALE: N.T.S.

CONTECH ENGINEERED SOLUTIONS LLC
11515 WE Green, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000, P.O. Box 1000
503 N GOLIAD, ROCKWALL, TX
SITE DESIGNATION: UGDS

RELEASED FOR CONSTRUCTION
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CITY _____ DATE _____

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10999 (TEXAS)

Hazel and Olive
503 North Goliad Street
Rockwall, Texas

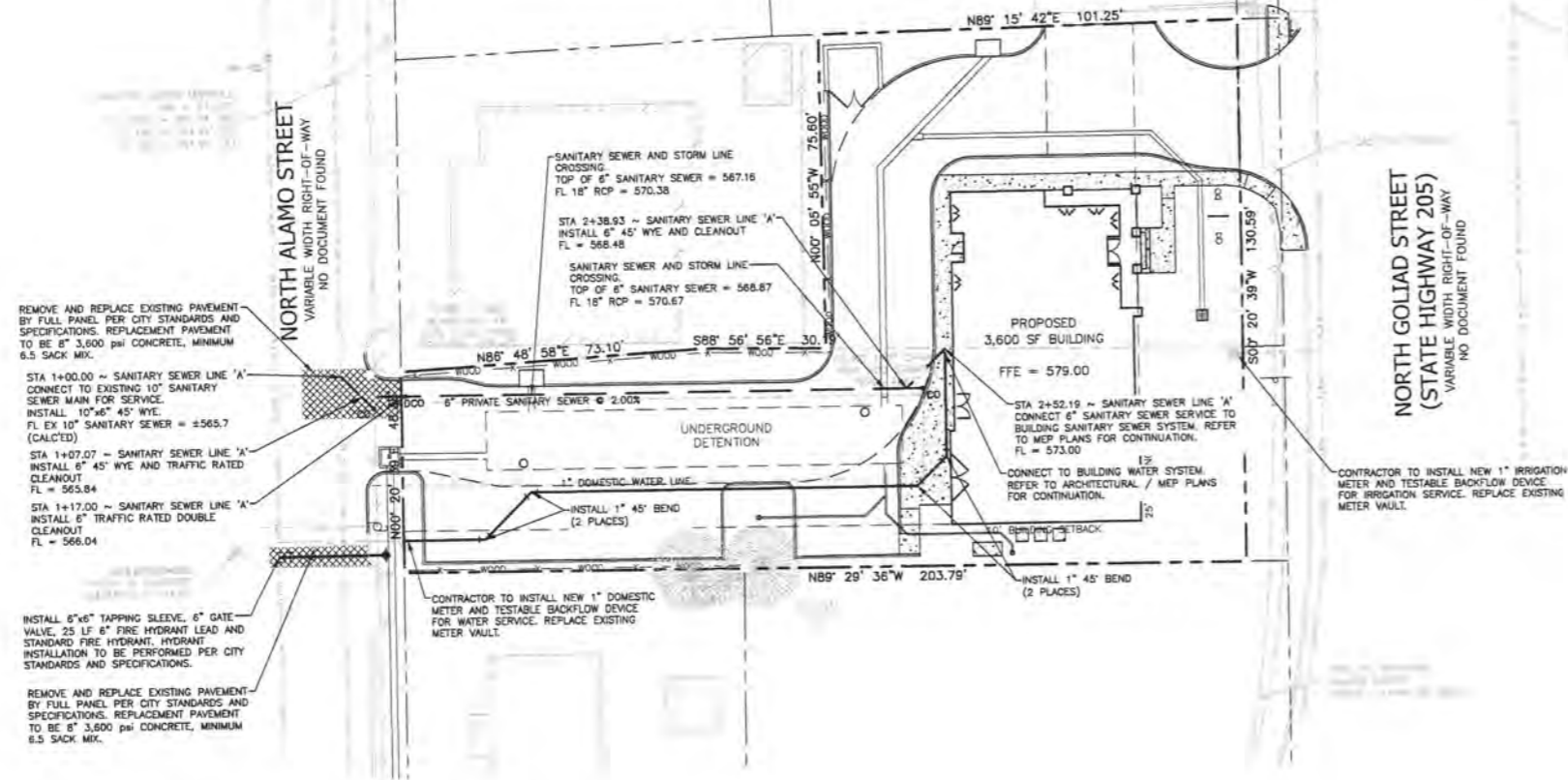
UNDERGROUND DETENTION DETAILS

No.	Revision Description	Date



SHEET NO.
C-4.6

PROJECT NO.: 090-15-05



REMOVE AND REPLACE EXISTING PAVEMENT BY FULL PANEL PER CITY STANDARDS AND SPECIFICATIONS. REPLACEMENT PAVEMENT TO BE 6\"/>

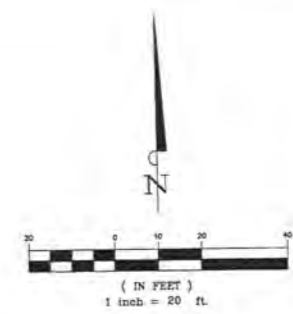
STA 1+00.00 ~ SANITARY SEWER LINE 'A' CONNECT TO EXISTING 10\"/>

STA 1+07.07 ~ SANITARY SEWER LINE 'A' INSTALL 6\"/>

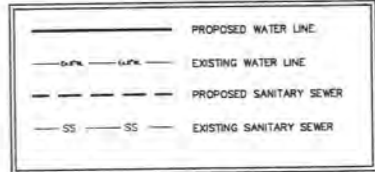
STA 1+17.00 ~ SANITARY SEWER LINE 'A' INSTALL 6\"/>

INSTALL 6\"/>

REMOVE AND REPLACE EXISTING PAVEMENT BY FULL PANEL PER CITY STANDARDS AND SPECIFICATIONS. REPLACEMENT PAVEMENT TO BE 6\"/>



LEGEND



NOTES

- REFER TO SHEET C-1.1 FOR ADDITIONAL NOTES.
- ALL UTILITY LINES TO BE CONSTRUCTED BEGINNING AT THE PUBLIC TIE-IN POINT (DOWNSTREAM) AND PROCEED TO THE PROPOSED IMPROVEMENT (UPSTREAM). CONTRACTOR TO NOTIFY ENGINEER OF RECORD IF EXISTING UTILITIES ARE NOT AS REPRESENTED BY RECORD INFORMATION.
- ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.
- ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

NOTES TO CONTRACTOR

- INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
- CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____



**Know what's below.
 Call before you dig.**
 (@ least 48 hours prior to digging)

BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument No. 8000-1, Concrete monument with a brass cap stamped "8000-1" found in the median of Suisun Bridge Drive at the intersection of Suisun Bridge Drive and F.M. Highway No. 742.
 Elevation = 578.03'

Hazel and Olive
 503 North Goliad Street
 Rockwall, Texas

WATER AND WASTEWATER PLAN

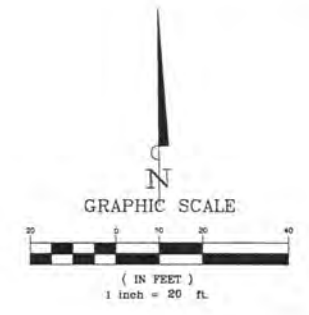
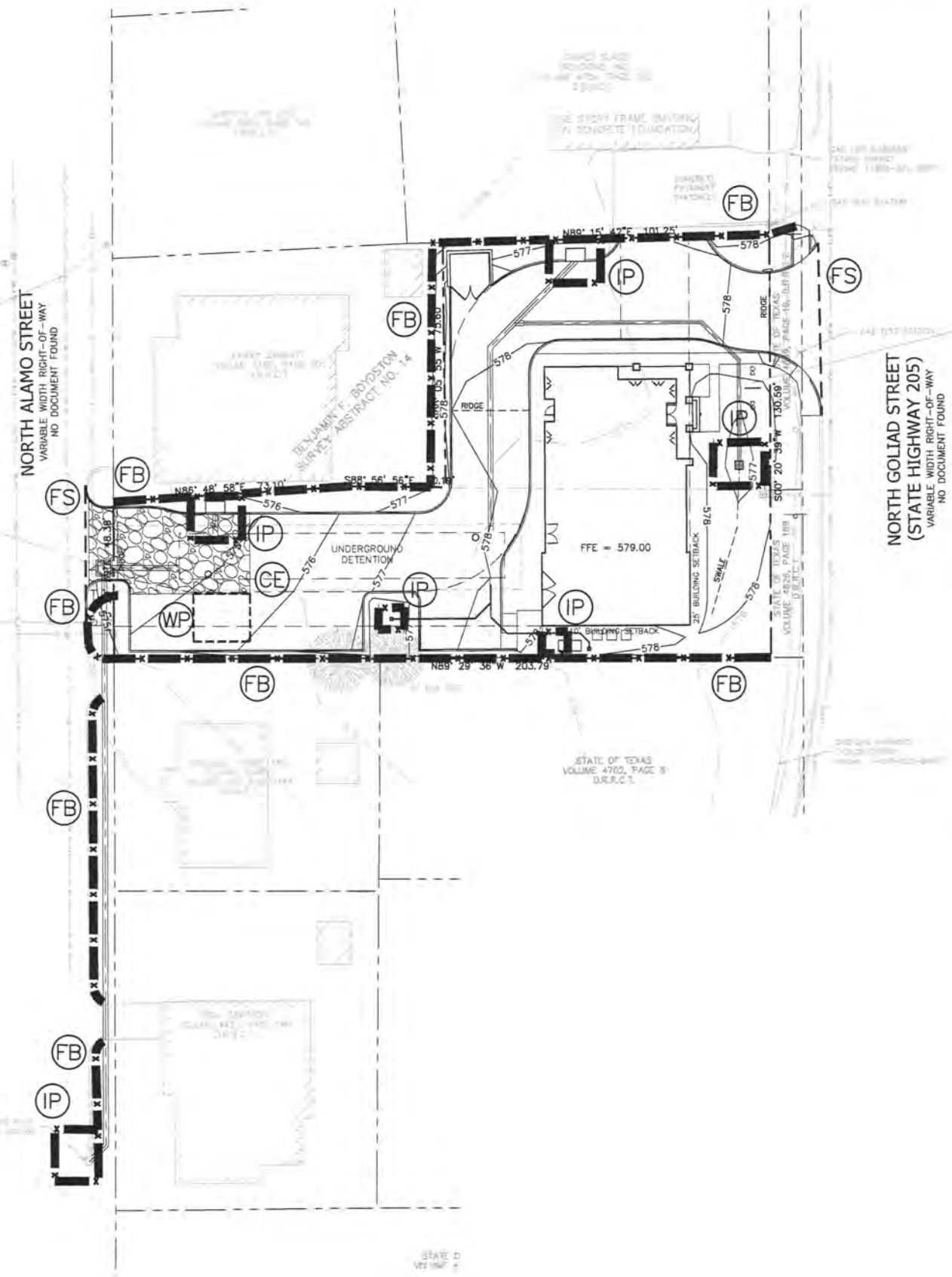
No.	Date	Revision Description



SHEET NO.

C-5.1

PROJECT NO.: 002-15-00



LEGEND

	FILTER BARRIER (SILT FENCE)
	FILTER SOCK
	INLET PROTECTION
	CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT PIT

- NOTES**
- TOTAL DISTURBED AREA = 0.50 ACRES.
 - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BY SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
 - CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
 - ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OR DESIGN.

- NOTES TO CONTRACTOR**
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RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
 REMAINS WITH THE DESIGN ENGINEER. THE CITY
 OF ROCKWALL, IN REVIEWING AND RELEASING
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 OF DESIGN.

CITY _____ DATE _____



**Know what's below.
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BENCHMARK

SOURCE BENCHMARK: City of Rockwall monument No. 8005-1, Concrete monument with a brass cap stamped "8005-1" found in the middle of Sunset Ridge Drive at the intersection of Sunset Ridge Drive and F.M. Highway No. 742.
 Elevation = 578.021'

BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Hazel and Olive
 503 North Goliad Street
 Rockwall, Texas

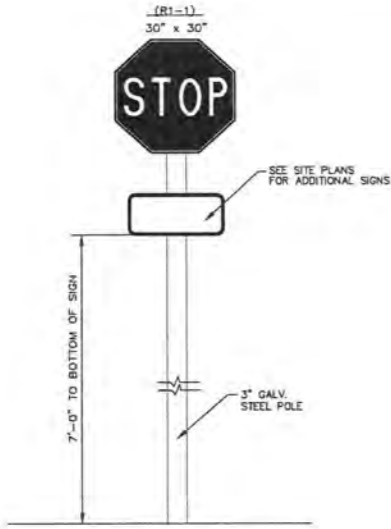
EROSION CONTROL PLAN

No.	Date	Revision Description



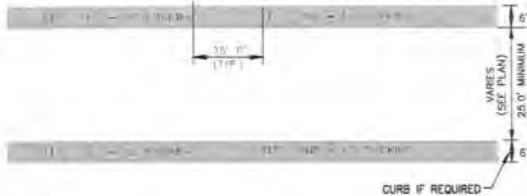
SHEET NO.
C-6.1

PROJECT NO.: 002-15-08

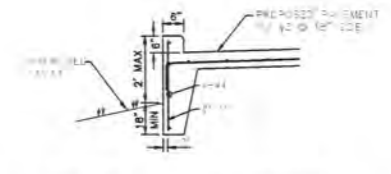


TYP. SIGN DETAIL
SCALE: NONE
(SEE SIGN BASE DETAILS THIS SHEET)

SITE STOP SIGN DETAIL
N.T.S.

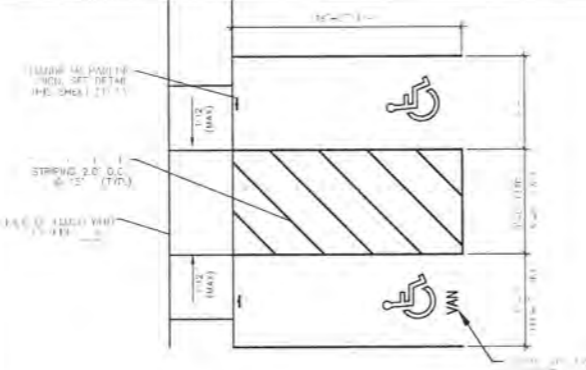


FIRE LANE STRIPING
N.T.S.



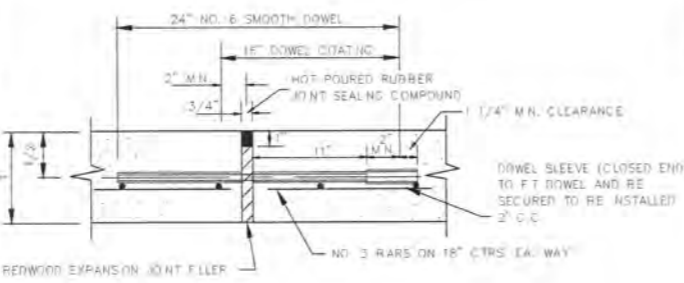
PRIVATE TURN DOWN CURB DETAIL
SCALE: NONE

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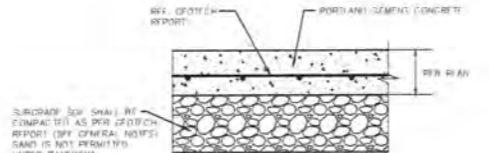
HANDICAPPED PARKING DETAILS
N.T.S.

WARNING: PAVING DEPTH & FACEDNESS OF THE PERCENT (7%) IN ANY DIRECTION WILL BE CAUSE FOR REJECTION OF ALL PARKING STRIPS. CONTRACTOR TO VERIFY SPOT DIMENSIONS PRIOR TO PAVING AND TO ENSURE COMPLIANCE.

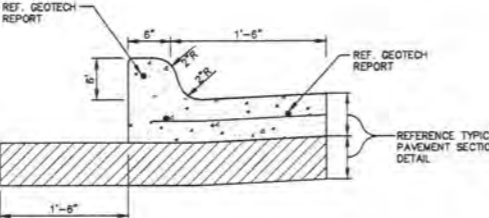


EXPANSION JOINT
N.T.S.

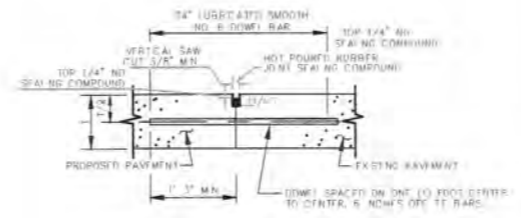
NOTE: DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE. REF. GEOTECH REPORT FOR JOINT SPACING.



TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.

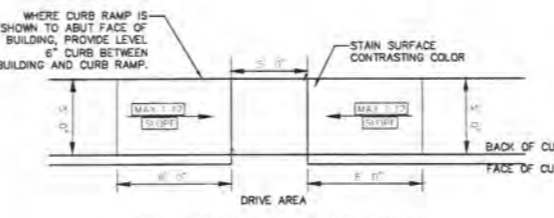


CONCRETE CURB AND GUTTER DETAIL
N.T.S.



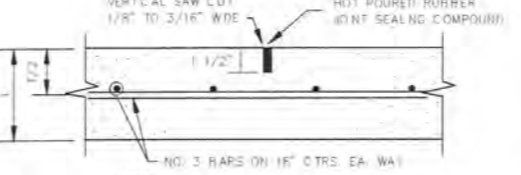
LONGITUDINAL BUTT JOINT
N.T.S.

NOTE: 1. LONGITUDINAL BUTT CONSTRUCTION MAY BE USED IN PLACE OF LONGITUDINAL JOINTS (KEYWAYS) AT CONTRACTOR'S OPTION. 2. DOWEL BARS SHALL BE DRILLED AND PAVED MONOLITHICALLY BY USE OF A MECHANICAL REC. DRILLER BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



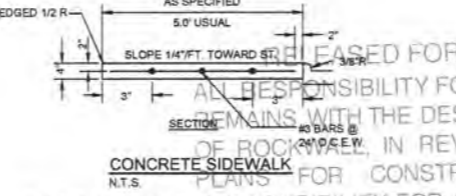
PARALLEL CURB RAMP DETAIL
N.T.S.

RAMP SHALL BE CONSTRUCTED TO 4" THICK 3000 PSI CONCRETE WITH 6"x6" W/3.0"x6" W/6" W/6" W/6"



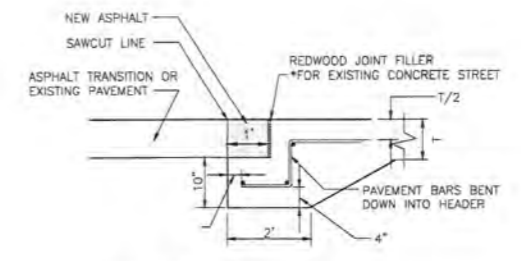
SAWED DUMMY (CONTROL) JOINT
N.T.S.

NOTE: REF. GEOTECH REPORT FOR JOINT SPACING.



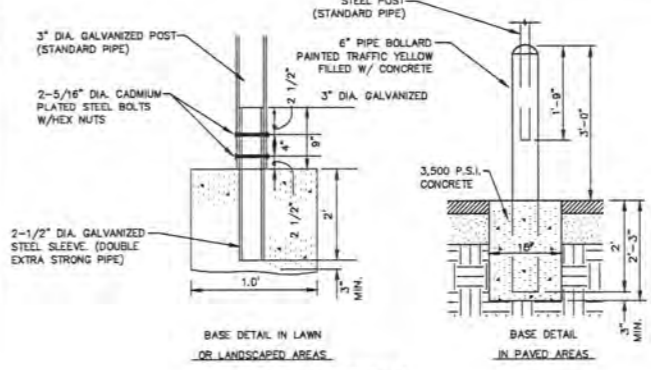
CONCRETE SIDEWALK
N.T.S.

CONCRETE TO BE MINIMUM 3,000 PSI MINIMUM 5 BAG MIX

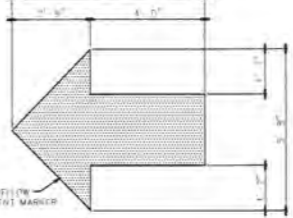


ASPHALT CONCRETE HEADER
N.T.S.

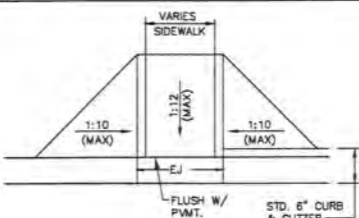
NOTE: PAVEMENT & HEADER TO BE POURED MONOLITHICALLY.



SIGN BASE DETAILS
N.T.S.



TYPICAL PAVING ARROW DETAIL
N.T.S.



1. RAMPS SHALL BE SLIP RESISTANT AND SHALL CONTRAST WITH ADJOINING SURFACES.
2. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE AND SHALL BE RIVER RED.
3. ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED PER CITY STANDARDS.
4. "WINGS" ON SIDES OF RAMP ARE ONLY NECESSARY FOR AREAS WITH CROSS PEDESTRIAN TRAFFIC.

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DESIGNED FOR CONSTRUCTION BY THE CITY OF ROCKWALL, TEXAS. THE CITY OF ROCKWALL, TEXAS, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY _____ DATE _____

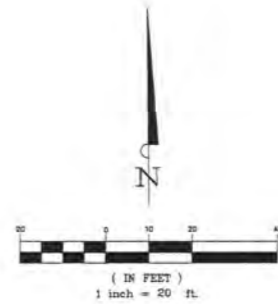
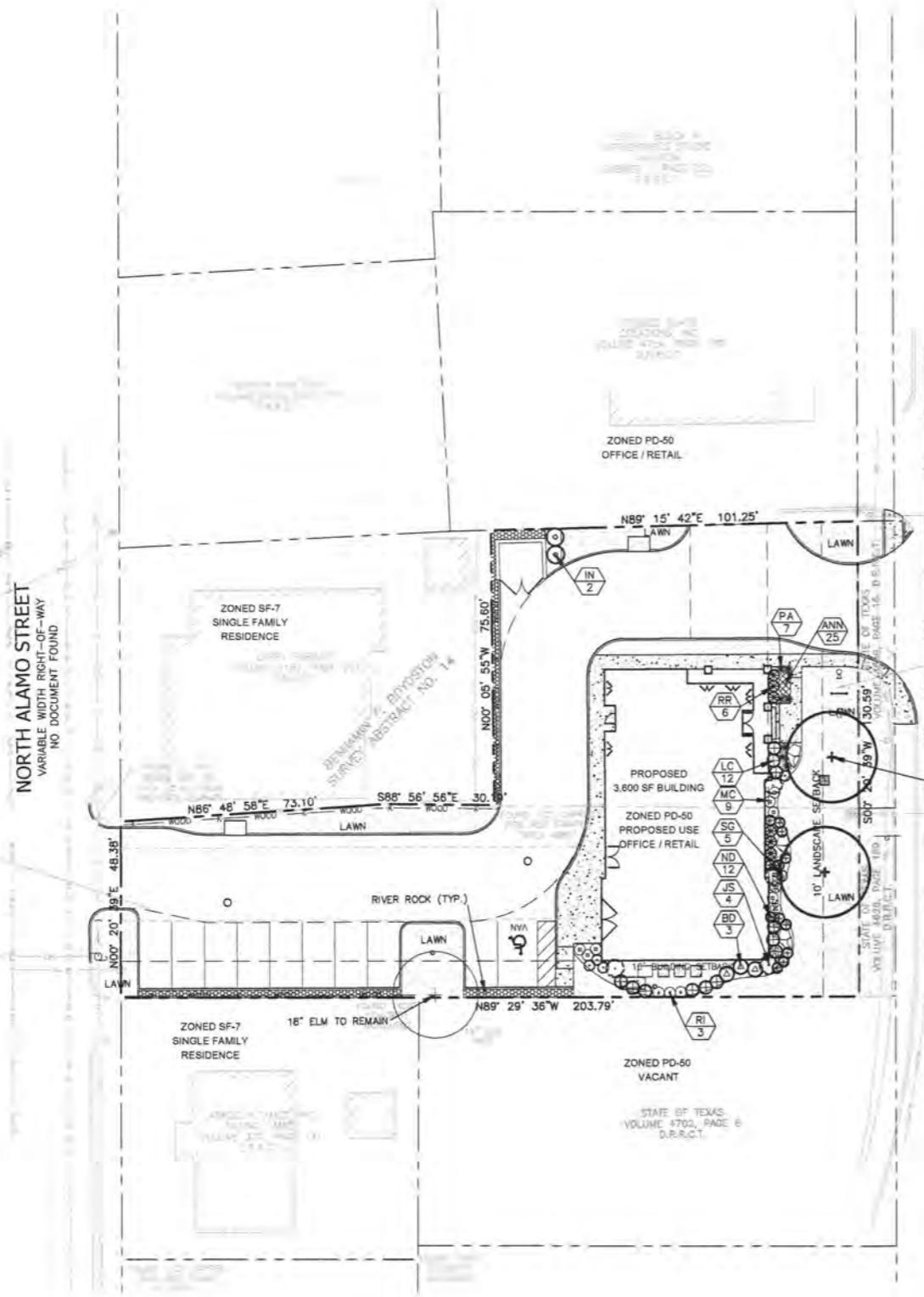
No.	Date	Revision Description



SHEET NO.

C-7.1

PROJECT NO.: 042-15-08



LANDSCAPE TABULATIONS:

TOTAL LOT AREA:	18,355.4 SF (0.42 AC)
LANDSCAPE AREA PROVIDED:	4,885.8 SF (26.6%)
STREET TREES REQUIRED: 1/50LF (104 LF)	2 TREES
STREET TREES PROVIDED:	2 TREES
TREE MITIGATION REQUIRED:	0 CAL PER INCHES
TREE MITIGATION PROVIDED:	0 CAL PER INCHES
TOTAL LANDSCAPE PROVIDED:	2 SHADE TREES 46 SHRUBS

PLANTS AND SPECIFICATIONS:

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPECIFICATION
TREES					
QV	2	Quercus virginiana	LIVE OAK	45 GAL	3" CAL., 10'-12' HT., FULL MATCHING, SYMMETRICAL
SHRUBS					
ND	12	Nandina domestica 'Firepower'	NANDINA 'FIREPOWER'	3 GAL	24" HT., 30" O.C., TRIANGULAR SPACING
RR	8	Rose 'Radrizz' PPR11836	DOUBLE KNOCKOUT ROSE 'RED'	3 GAL	24" HT., 30" O.C., TRIANGULAR SPACING
LC	12	Loropetalum chinensis 'Purple Diamond'	LOROPETALUM	3 GAL	24" HT., 30" O.C., TRIANGULAR SPACING
SG	5	Salvia greggii 'Red'	AUTUMN SAGE 'RED'	1 GAL	18"-24" HT., 30" O.C., TRIANGULAR SPACING
PA	7	Pennisetum alopecuroides 'Hameln'	DWARF FOUNTAIN GRASS	1 GAL	18"-24" HT., 30" O.C., TRIANGULAR SPACING
RI	3	Rhaphiolepis indica 'Clara'	INDIAN HAWTHORN 'CLARA'	3 GAL	24" HT., 30" O.C., TRIANGULAR SPACING
IN	2	Ilex x 'Nellie R. Stevens'	NELLIE R. STEVENS HOLLY	7 GAL	36" HT., 48" SPACING
JS	4	Juniperus scopulorum 'Wichita Blue'	WICHITA BLUE JUNIPER	15 GAL	MIN. 48" HT.
MC	8	Muhlenbergia capillaris	GULF MUHLY	3 GAL	24" HT., 30" O.C., TRIANGULAR SPACING
BD	3	Buddleja davidii	BUTTERFLY BUSH	3 GAL	24" HT., 30" O.C., TRIANGULAR SPACING
GROUND COVER					
ANN	25		SEASONAL ANNUALS	4" POTS	10" O.C., TRIANGULAR SPACING
LAWN	PER PLAN	Cynodon transvaalensis x C. dactylon	TIFWAY 419		SOD OR SEED PER PLAN
STEEL EDGING	PER PLAN		STEEL EDGING		4" STEEL EDGING TO BE BURIED 3" DEEP. CONTRACTOR TO INSTALL STEEL STAKES AT THE END OF EACH SECTION
BOULDER	PER PLAN				3-4" DIA., BURIED IN SOIL TO PREVENT MOVEMENT
RIVER ROCK	PER PLAN				2-4" COLORADO RIVER ROCK WITH PERMEABLE WEED MATTING

No.	Date	Revision Description



SHEET NO.

L-1.0



**Know what's below.
Call before you dig.**
(@ least 48 hours prior to digging)

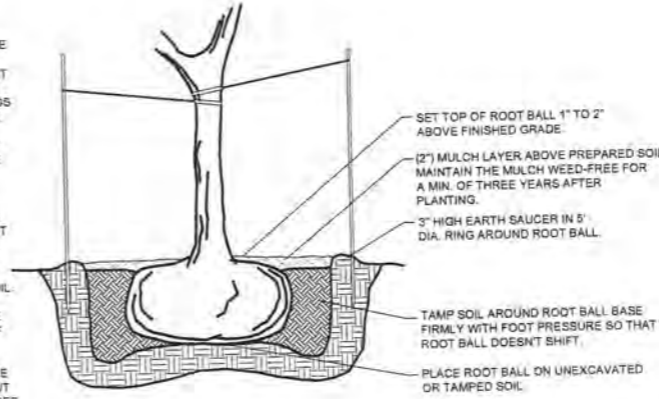
PROJECT NO. 062-15-06

GENERAL NOTES:

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
 - 3" of organic compost
 - 20 pounds of organic fertilizer / 1,000 sf of bed area
 - Till bed to a depth of 6" to 8"
 - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 3" of Native Hardwood Mulch.
13. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.
14. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
15. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
16. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
17. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
19. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
20. Landscape areas shall be kept free of trash, litter and weeds.
21. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on non-permeable surfaces is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.

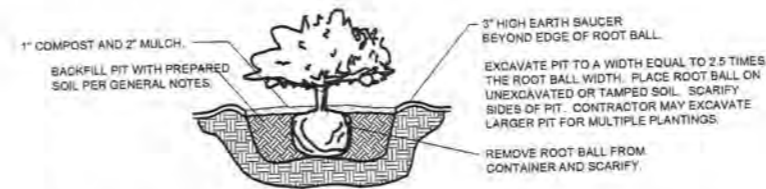
NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN IT INTO PLANTING HOLE.



A TREE PLANTING DETAIL

NOT TO SCALE



B SHRUB PLANTING DETAIL

NOT TO SCALE

No.	Date	Revision Description

PROJECT NO.: 062-15-06



SHEET NO.

L-1.1



**Know what's below.
 Call before you dig.**

(@ least 48 hours prior to digging)