

1 IN. = 1,000 FT.

MAP I.D.=3-5

PROBABLE START OF CONSTRUCTION: SEPTEMBER 2022

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C1.0	COVER SHEET
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C1.2	CITY OF ROCKWALL GENERAL NOTES
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C9.14	DETENTION DETAIL
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C9.16	SAFETY END TREATMENT DETAIL
C10.1	EROSION & SEDIMENT CONTROL PLAN
C10.2	EROSION CONTROL NOTES & DETAILS
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION PLAN
LP-1	LANDSCAPE PLANTING PLAN
LP-2	PLANTING SPECS & DETAILS

GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
TEXAS NORTH CENTRAL ZONE (4202).

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT"  
AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND  
WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE. N: 7020550.132. E: 2607463.893 ELEVATION: 595.63'

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE CITY OF CHICAGO. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING, IF POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



TBPE FIRM REGISTRATION  
#F-8396



11/10/2023

*RMA*

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

THESE RECORD  
DRAWINGS HAVE BEEN  
PREPARED BASED ON  
FIELD OBSERVATIONS AND  
INFORMATION PROVIDED  
BY THE CONTRACTOR.  
ELEVATIONS HAVE NOT  
BEEN VERIFIED.  
THE ORIGINAL SEALED  
CONSTRUCTIONS PLANS  
ARE ON FILE AT THE CITY  
OF FRISCO.

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

#	DATE	REVISION DESCRIPTION
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COVER SHEET

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

# C1.0



Drawing name: L:\PRUDENT DEVELOPMENT\2020-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\CS0\Sheet\Record Drawings\7-11\CAD\G1.2 COR GENERAL NOTES - PAVING.dwg Nov. 10, 2023 - 11:40am

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall’s Engineering Department’s “Standards of Design and Construction” and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Departments “Standards of Design and Construction” can be found online at: <http://www.rockwall.com/engr.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original “approved plans to be on-site”.
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state “from date of City acceptance” as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection’s reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a “Permanent Stand of Grass” is obtained at which time the project will be accepted by the City. A “Stand of Grass” (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1”) in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don’t grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not meet. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

- removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.
- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
  - During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am – 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES


- It is the CONTRACTOR’s responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and .or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren’t made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call – 811 – line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - No more than 500 linear feet of trench may be opened at one time.
  - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC – SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250’, manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR’s expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal.. Consheild must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City’s Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

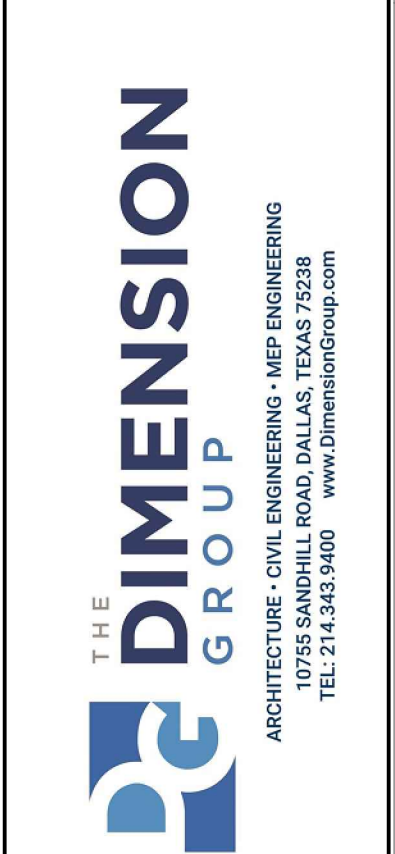


**GENERAL CONSTRUCTION NOTES**  
Sheet 1 of 2  
October 2020

**CITY OF ROCKWALL  
ENGINEERING DEPARTMENT**

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Rockwall, Texas 75087


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THE  
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TBPE FIRM REGISTRATION  
#F-8396



11/10/2023  
*Keaton L. Mai*

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**RECORD DRAWING**  
THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE CONTRACTOR. ELEVATIONS HAVE NOT BEEN VERIFIED. THE ORIGINAL SEALED CONSTRUCTIONS PLANS ARE ON FILE AT THE CITY OF FRISCO.

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP, INC.  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

#	DATE	REVISION DESCRIPTION	RECORD DRAWINGS	PROJECT NO.	DATE	DWG.
1	11/10/23			200-672	11/10/2023	- 11:40 am

CITY OF ROCKWALL GENERAL NOTES

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

C1.1



Drawing name: L:\PRUDENT DEVELOPMENT\2020\200-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\CAD\Sheet\Record Drawings\7-11\CAD\G1.2 COR GENERAL NOTES - PAVING.dwg Nov. 10, 2023 - 11:41am

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

1. All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
2. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
3. All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
4. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

1. All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlx installed prior to any concrete placement.
2. All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Streng th 28- Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

3. Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
4. No sand shall be allowed under any paving.
5. All concrete mix design shall be submitted to the City for review and approval prior to placement.
6. Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
7. All curb and gutter shall be integral (monolithic) with the pavement.
8. All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
9. All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
10. All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
11. All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
12. All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
13. Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
14. All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
15. Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
16. All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
17. CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
18. CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
19. CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

DRAINAGE / STORM SEWER NOTES


1. The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
2. All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
3. Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
4. All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
5. All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
6. All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
7. All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
8. All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

RETAINING WALLS

1. All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
2. All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
3. All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
4. All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
5. No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRWINGS/AS-BUILTS

1. Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
2. After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
3. Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
4. Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
5. The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
6. Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



GENERAL CONSTRUCTION NOTES  
Sheet 2 of 2  
October 2020


CITY OF ROCKWALL  
ENGINEERING DEPARTMENT

385 S. Goliad  
Rockwall, Texas 75087

P (972) 771-7746  
F (972) 771-7748



THE DIMENSION GROUP  
ARCHITECTURE - CIVIL ENGINEERING - MEP ENGINEERING  
TEL: 214.543.9400 www.dimensiongroup.com

11/10/2023  


THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE CONTRACTOR. ELEVATIONS HAVE NOT BEEN VERIFIED. THE ORIGINAL SEALED CONSTRUCTIONS PLANS ARE ON FILE AT THE CITY OF FRISCO.

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

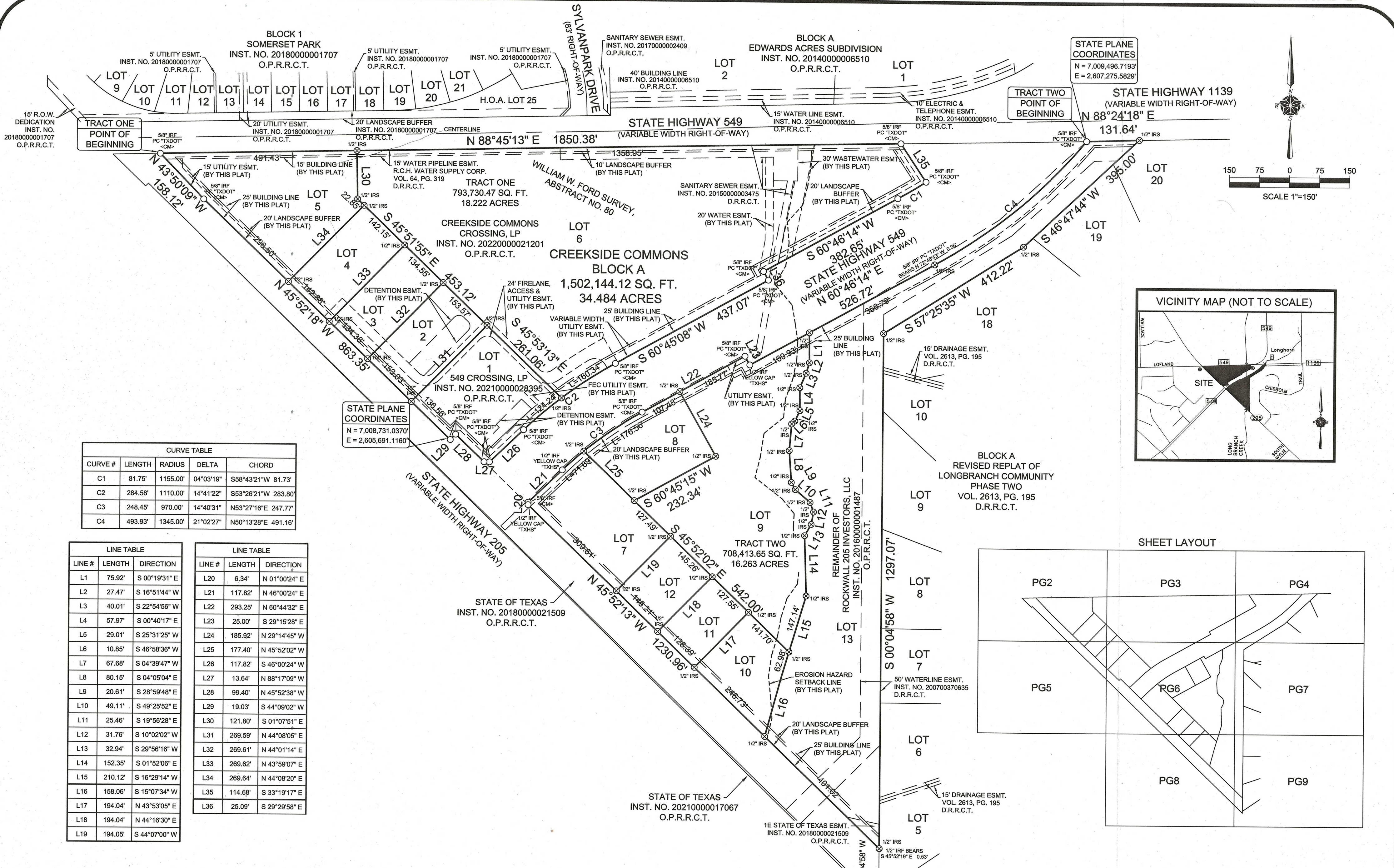
#	DATE	REVISION DESCRIPTION	RECORD DRAWINGS	project no.	date	dwg.
1	11/10/23			200-672	11/10/2023	- 11:41 am

CITY OF ROCKWALL GENERAL NOTES

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET  
C1.2





CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	81.75'	1155.00'	04°03'19"	S58°43'21"W 81.73'
C2	284.58'	1110.00'	14°41'22"	S53°26'21"W 283.80'
C3	248.45'	970.00'	14°40'31"	N53°27'16"E 247.77'
C4	493.93'	1345.00'	21°02'27"	N50°13'28"E 491.16'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	75.92'	S 00°19'31" E
L2	27.47'	S 16°51'44" W
L3	40.01'	S 22°54'56" W
L4	57.97'	S 00°40'17" E
L5	29.01'	S 25°31'25" W
L6	10.85'	S 46°58'36" W
L7	67.68'	S 04°39'47" W
L8	80.15'	S 04°05'04" E
L9	20.61'	S 28°59'48" E
L10	49.11'	S 49°25'52" E
L11	25.46'	S 19°56'28" E
L12	31.76'	S 10°02'02" W
L13	32.94'	S 29°56'16" W
L14	152.35'	S 01°52'06" E
L15	210.12'	S 16°29'14" W
L16	158.06'	S 15°07'34" W
L17	194.04'	N 43°53'05" E
L18	194.04'	N 44°16'30" E
L19	194.05'	S 44°07'00" W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L20	6.34'	N 01°00'24" E
L21	117.82'	N 46°00'24" E
L22	293.25'	N 60°44'32" E
L23	25.00'	S 29°15'28" E
L24	185.92'	S 29°14'45" W
L25	177.40'	N 45°52'02" W
L26	117.82'	S 46°00'24" W
L27	13.64'	N 88°17'09" W
L28	99.40'	N 45°52'38" W
L29	19.03'	S 44°09'02" W
L30	121.80'	S 01°07'51" E
L31	269.59'	N 44°08'05" E
L32	269.61'	N 44°01'14" E
L33	269.62'	N 43°59'07" E
L34	269.64'	N 44°08'20" E
L35	114.68'	S 33°19'17" E
L36	25.09'	S 29°29'58" E

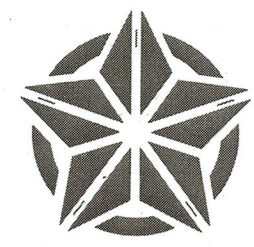
LEGEND:

IRF IRON ROD FOUND  
PC "TXDOT" IRON ROD FOUND WITH PINK CAP STAMPED "TXDOT"  
IRS IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"  
-CM- CONTROLLING MONUMENT  
D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS  
M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS  
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
INST. NO. INSTRUMENT NUMBER  
VOL., PG. VOLUME, PAGE  
ESMT. EASEMENT  
FEC FARMERS ELECTRIC COOPERATIVE  
L= LENGTH

ENGINEER  
THE DIMENSION GROUP  
10755 SANDILL ROAD  
DALLAS, TEXAS 75238  
attn: KEATON MAI

OWNER  
549 CROSSING, LP  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238

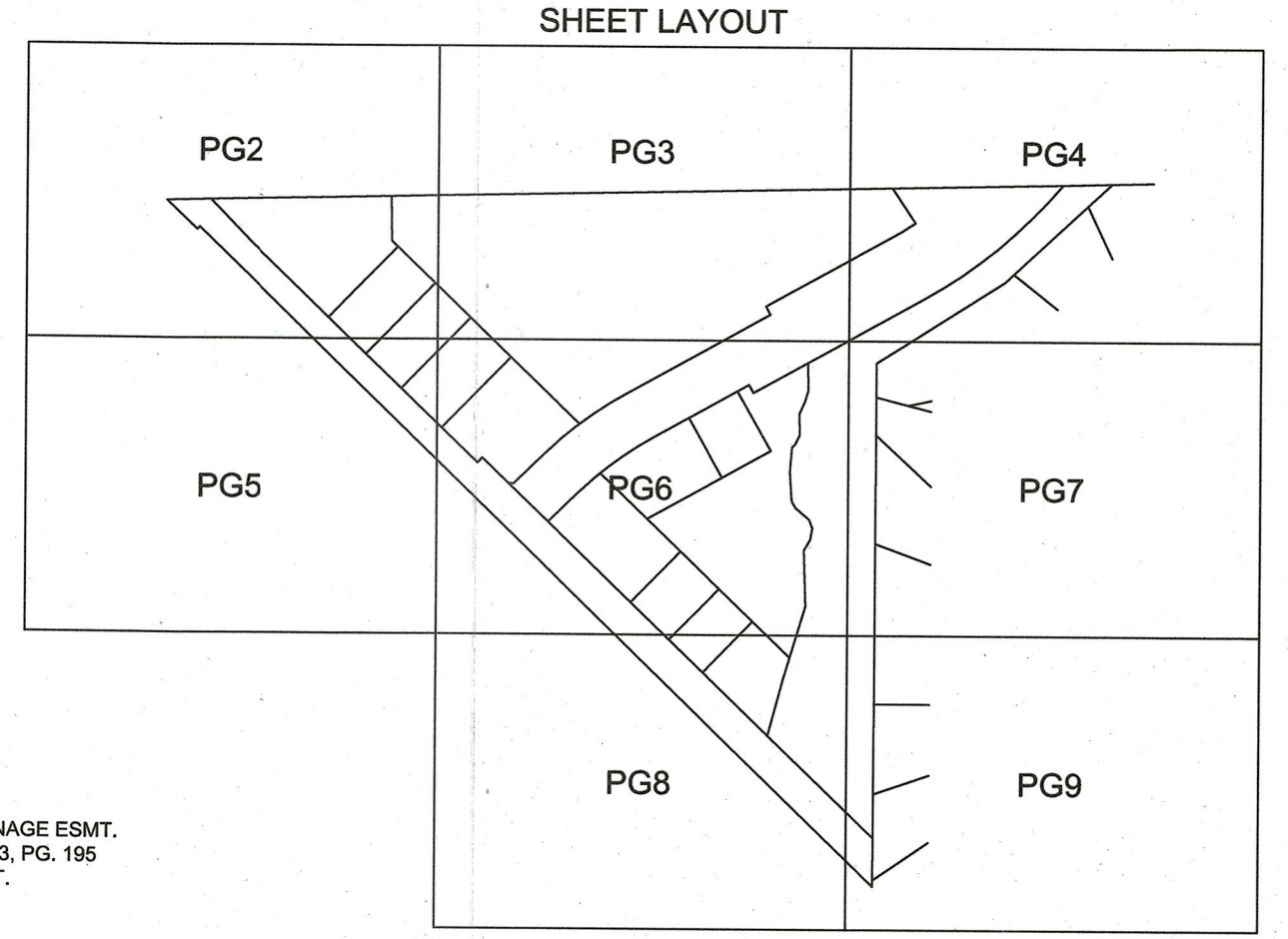
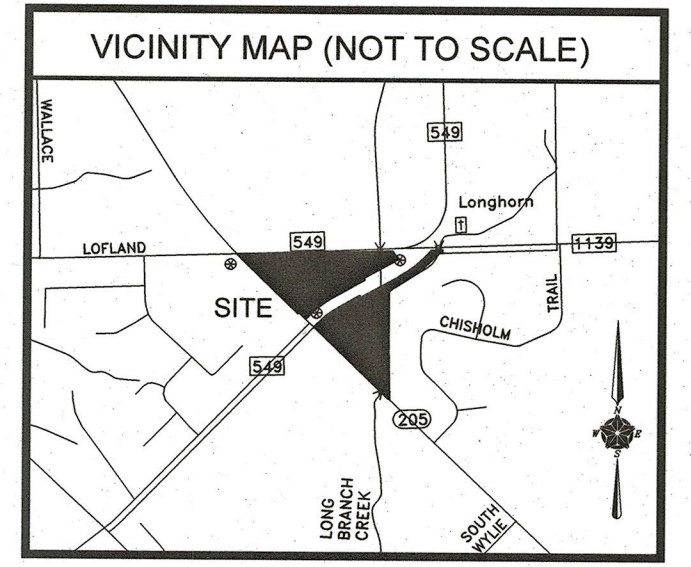
OWNER  
ROCKWALL 205 INVESTORS, LLC  
1 CANDLELITE TRAIL  
HEATH, TEXAS 75032



**TEXAS HERITAGE**  
SURVEYING, LLC

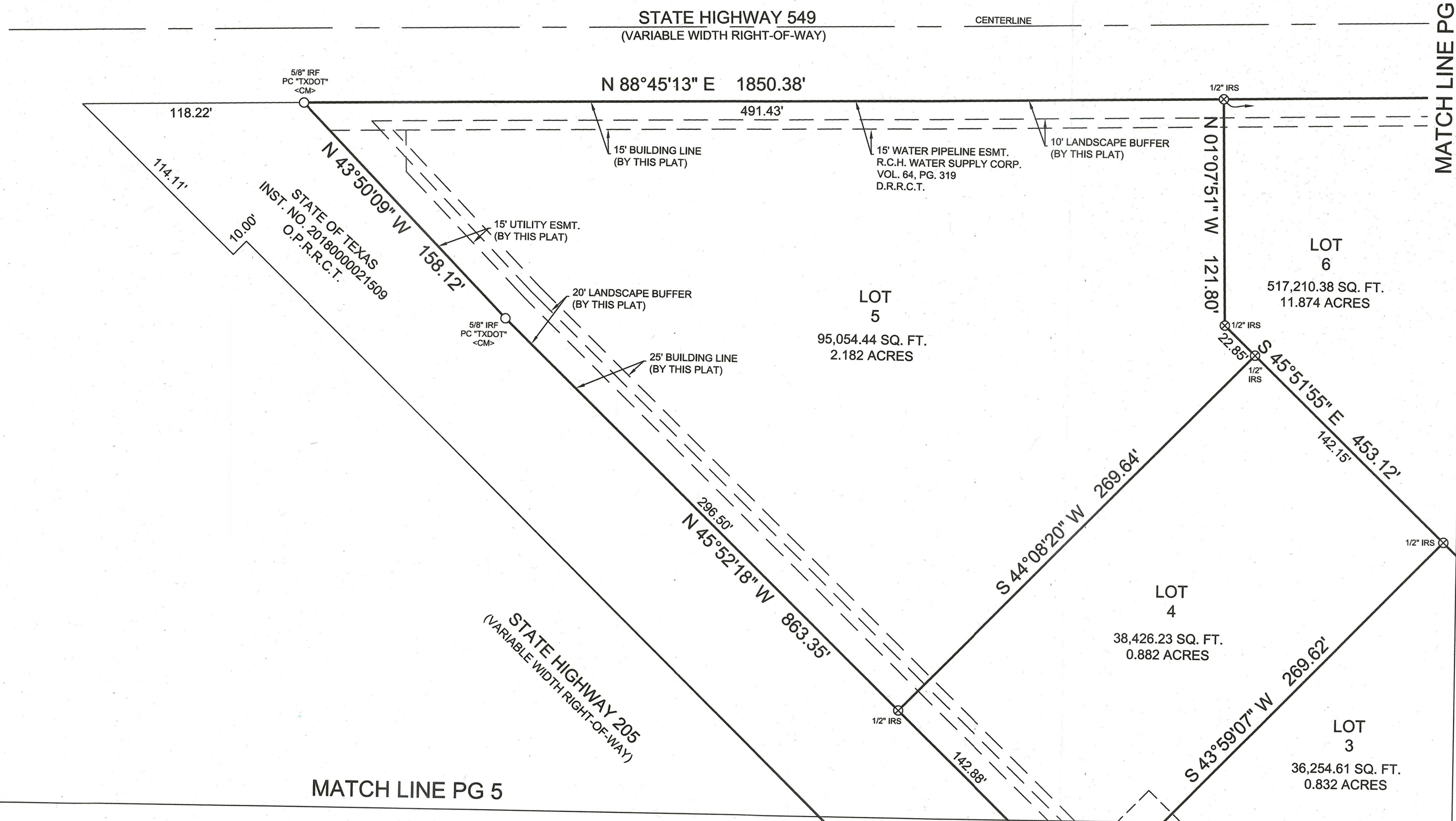
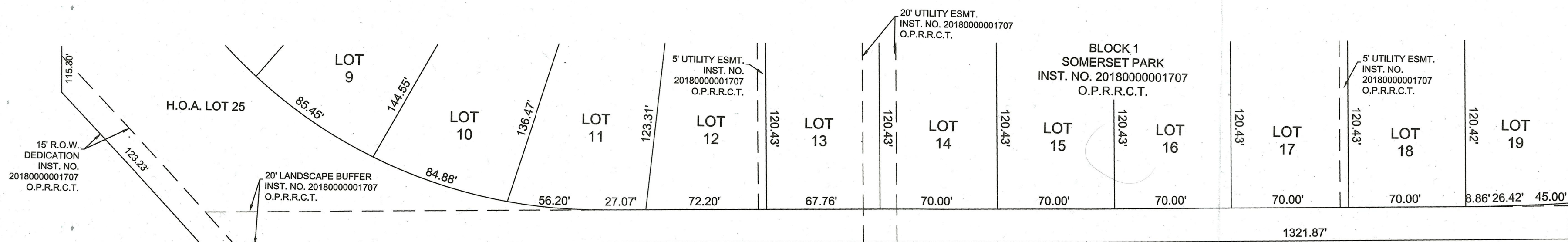
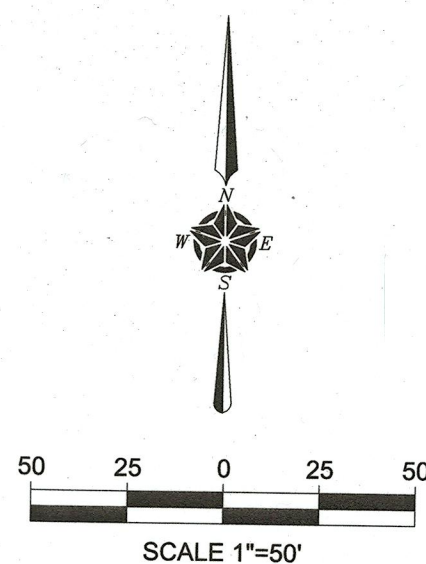
10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com  
Firm No. 10169300

CASE # P2022-052  
DATE: 5/1/2023 / JOB # 2002727-11 / SCALE: 1" = 150' / DRAWN: JACOB



FINAL PLAT  
**CREEKSIDE COMMONS**  
LOTS 1-13, BLOCK A  
34.484 ACRES / 1,502,144.12 SF  
13 LOTS  
SITUATED WITHIN TRACTS 17-5 & 17-8 OF THE  
W. W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS





LEGEND:

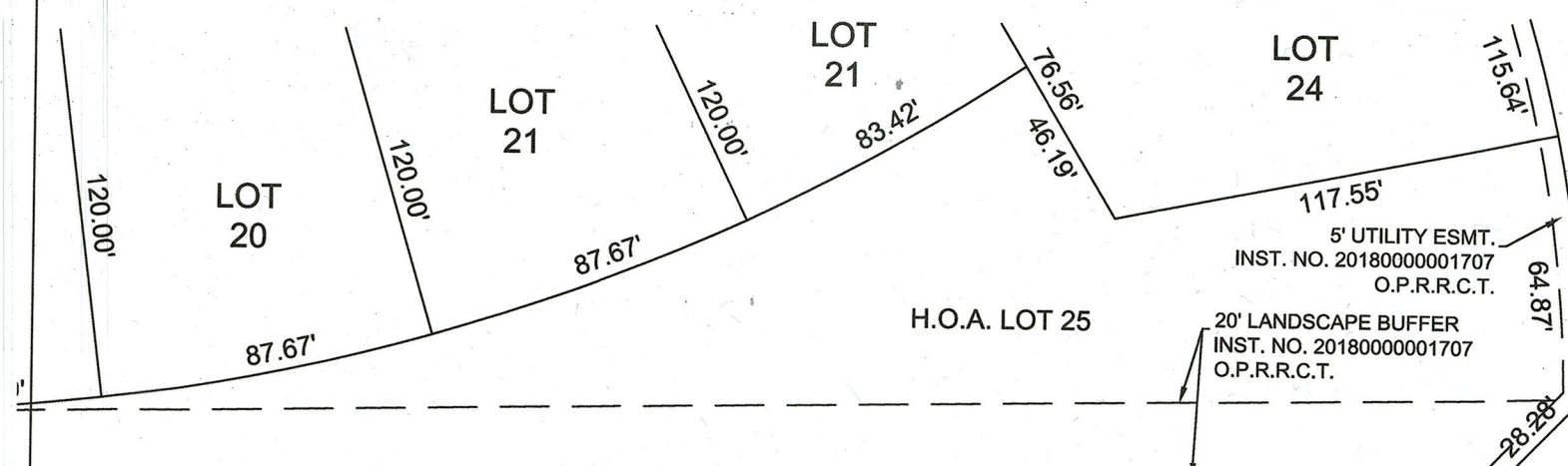
IRF	IRON ROD FOUND
PC "TXDOT"	IRON ROD FOUND WITH PINK CAP STAMPED "TXDOT"
IRS	IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"
<CM>	CONTROLLING MONUMENT
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
M.R.R.C.T.	MAP RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
INST. NO.	INSTRUMENT NUMBER
VOL., PG.	VOLUME, PAGE
ESMT.	EASEMENT





50 25 0 25 50  
SCALE 1"=50'

BLOCK 1  
SOMERSET PARK  
INST. NO. 2018000001707  
O.P.R.R.C.T.



SYLVANPARK DRIVE  
(83' RIGHT-OF-WAY)

SANITARY SEWER ESMT.  
INST. NO. 2017000002409  
O.P.R.R.C.T.

247.13'

40' BUILDING LINE  
INST. NO. 2014000006510  
O.P.R.R.C.T.

10' ELECTRIC &  
TELEPHONE ESMT.  
INST. NO. 2014000006510  
O.P.R.R.C.T.

LOT  
2

558.17'

15' WATER LINE ESMT.  
INST. NO. 2014000006510  
O.P.R.R.C.T.

BLOCK A  
EDWARDS ACRES SUBDIVISION  
INST. NO. 2014000006510  
O.P.R.R.C.T.

621.78'

123.28'

MATCH LINE PG 2

CENTERLINE

STATE HIGHWAY 549  
(VARIABLE WIDTH RIGHT-OF-WAY)

N 88°45'13" E 1850.38'

507.25'

1358.95'

10' LANDSCAPE BUFFER  
(BY THIS PLAT)

15' WATER PIPELINE ESMT.  
R.C.H. WATER SUPPLY CORP.  
VOL. 64, PG. 319  
D.R.R.C.T.

15' BUILDING LINE  
(BY THIS PLAT)

30.26'

594.40'

SANITARY SEWER ESMT.  
INST. NO. 2015000003475  
D.R.R.C.T.

WILLIAM W. FORD SURVEY,  
ABSTRACT NO. 80

TRACT ONE  
793,730.47 SQ. FT.  
18.222 ACRES  
CREEKSIDE COMMONS CROSSING, LP  
INST. NO. 20220000021201  
O.P.R.R.C.T.

LOT  
6  
517,210.38 SQ. FT.  
11.874 ACRES

S 45°51'55" E 134.55'  
36,254.61  
SQ. FT.  
0.832 ACRES  
LOT  
3

LOT  
2  
41,328.89 SQ. FT.  
0.949 ACRES

CREEKSIDE COMMONS  
BLOCK A  
1,502,144.12 SQ. FT.  
34.484 ACRES

MATCH LINE PG 6

MATCH LINE PG 4

L85

BFE = 519

SANITARY SEWER ESMT.  
INST. NO. 2015000003475  
D.R.R.C.T.

20' WATER ESMT.  
(BY THIS PLAT)

L57

L58

L59

L60

L61

L62

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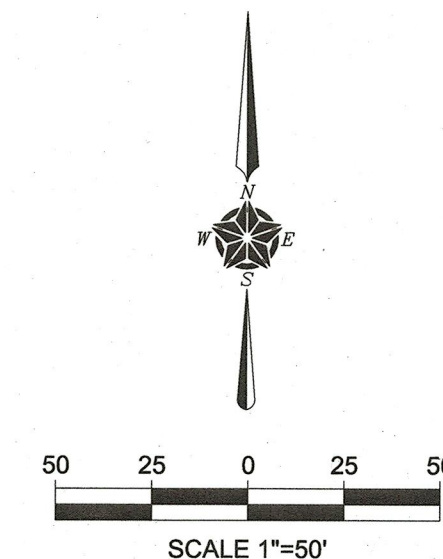
L322

L323

L324

L325





BLOCK A  
EDWARDS ACRES SUBDIVISION  
INST. NO. 20140000006510  
O.P.R.R.C.T.

LOT  
1

10' ELECTRIC &  
TELEPHONE ESMT.  
INST. NO. 20140000006510  
O.P.R.R.C.T.

15' WATER LINE ESMT.  
INST. NO. 20140000006510  
O.P.R.R.C.T.

40' BUILDING LINE  
INST. NO. 20140000006510  
O.P.R.R.C.T.

STATE HIGHWAY 549  
(VARIABLE WIDTH RIGHT-OF-WAY)

STATE HIGHWAY 1139  
(VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE PG 3

5/8" IRF  
PC "TXDOT"  
<CM>

5/8" IRF  
PC "TXDOT"  
<CM>

N 88°24'18" E 131.64' 1/2" IRS

15' BUILDING LINE  
(BY THIS PLAT)  
15' WATER PIPELINE ESMT.  
R.C.H. WATER SUPPLY CORP.  
VOL. 64, PG. 319 L92  
D.R.R.C.T.

517,210.38 SQ. FT.  
11.874 ACRES

20' LANDSCAPE BUFFER  
(BY THIS PLAT)  
UTILITY ESMT.  
(BY THIS PLAT)

25' BUILDING LINE  
(BY THIS PLAT)

S 60°46'14" W  
382.65'

L=81.75' R=1155.00'  
A=4°03'19"  
CH=S58°43'21" W 81.73'

CH=N50°13'28" E 491.16'  
L=495.93' R=1345.00'

LOT  
13

326,865.77 SQ. FT.  
7.504 ACRES

LOT  
19

S 46°47'44" W 395.00'

376.96'

STATE HIGHWAY 549  
(VARIABLE WIDTH RIGHT-OF-WAY)

50' WATERLINE ESMT.  
INST. NO. 200700370635  
D.R.R.C.T.

5/8" IRF PC "TXDOT" 1/2" IRS  
BEARS N 72°48'43" W 0.26'

20' LANDSCAPE BUFFER  
(BY THIS PLAT)

N 60°46'14" E 526.72'  
356.79'

25' BUILDING LINE  
(BY THIS PLAT)

S 57°25'35" W 412.22'

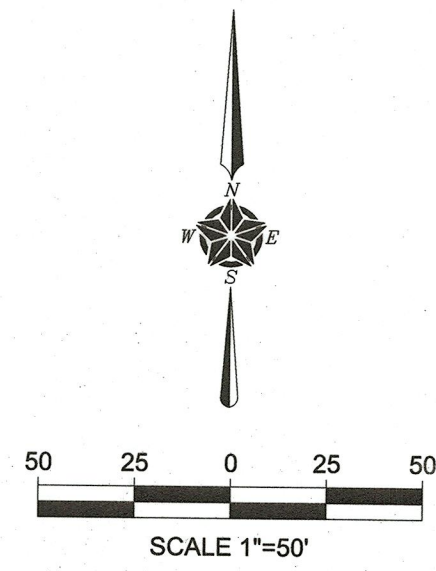
LOT  
18

BLOCK A  
REVISED REPLAT OF  
LONGBRANCH COMMUNITY  
PHASE TWO  
VOL. 2613, PG. 195  
D.R.R.C.T.

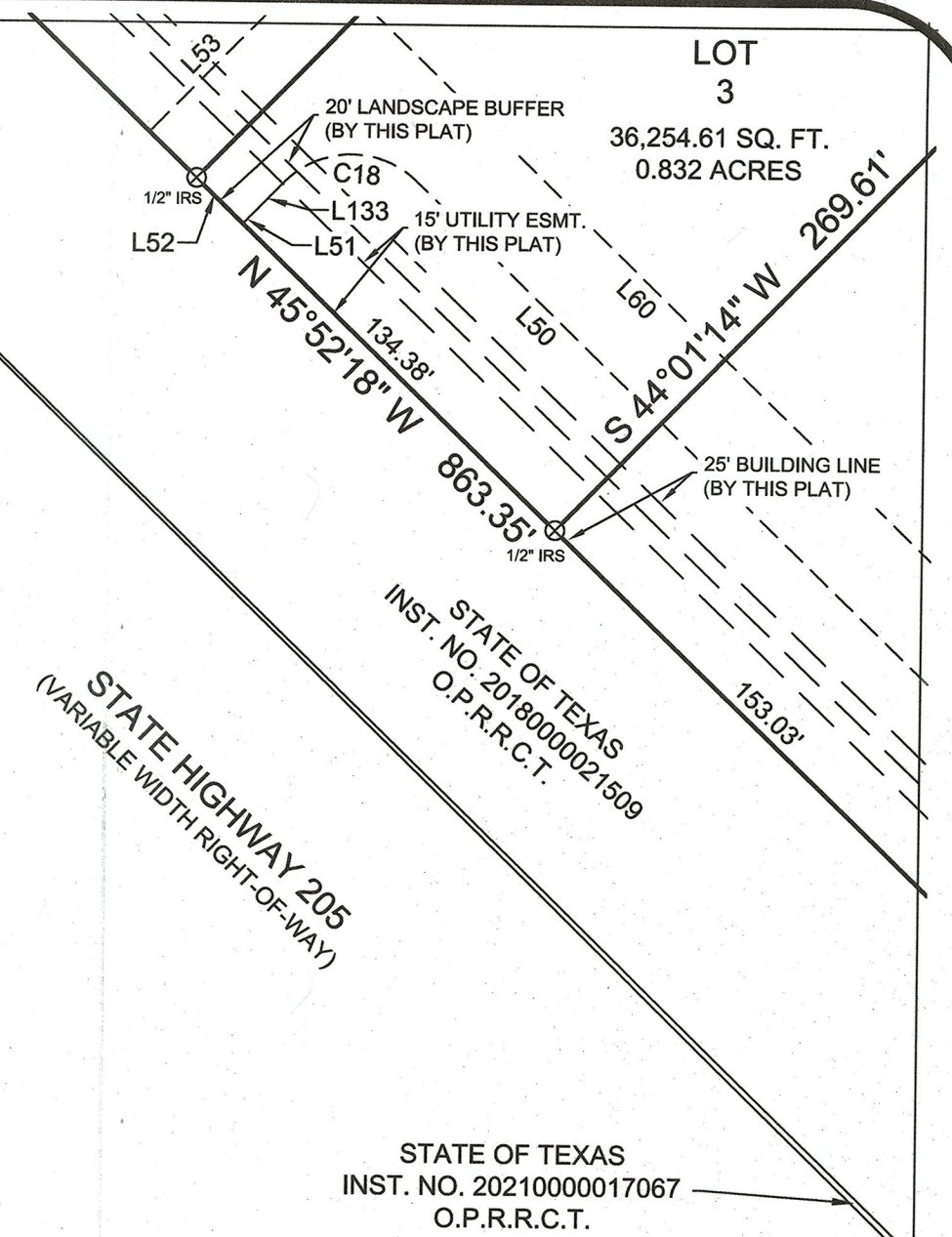
MATCH LINE PG 7



MATCH LINE PG 2



EASEMENT CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C5	71.03'	1133.58'	3°35'25"	N58° 58' 31"E 71.02'
C6	243.28'	935.72'	14°53'48"	N53° 27' 17"E 242.60'
C7	505.55'	1361.76'	21°16'15"	N50° 08' 06"E 502.65'
C8	156.06'	1129.92'	7°54'49"	N56° 49' 37"E 155.94'
C9	60.32'	1123.58'	3°04'33"	N59° 13' 57"E 60.31'
C10	35.08'	25.00'	80°24'27"	S86° 04' 08"E 32.28'
C11	153.50'	1217.83'	7°13'18"	N57° 20' 17"E 153.39'
C12	23.41'	1110.00'	1°12'29"	S60° 10' 48"W 23.41'
C13	48.20'	30.00'	92°03'14"	N75° 56' 55"W 43.18'
C14	88.11'	1187.83'	4°15'00"	S55° 53' 57"W 88.09'
C15	68.78'	49.00'	80°25'32"	S86° 00' 47"E 63.27'
C16	39.27'	25.00'	90°00'00"	S89° 08' 05"W 35.36'
C17	76.97'	49.00'	90°00'04"	S89° 08' 07"W 69.30'
C18	39.27'	25.00'	90°00'08"	S89° 08' 12"W 35.36'
C19	39.27'	25.00'	90°00'07"	N89° 07' 55"E 35.35'
C20	289.70'	1130.00'	14°41'20"	N53° 26' 20"E 288.91'
C21	25.92'	16.50'	90°00'00"	N88° 44' 15"E 23.34'
C22	25.92'	16.50'	90°00'00"	S1° 15' 34"E 23.33'
C23	113.79'	1106.94'	5°53'23"	N48° 57' 05"E 113.74'
C24	35.80'	1106.94'	1°51'11"	S50° 58' 11"W 35.80'



MATCH LINE PG 6







MATCH LINE PG 4

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L38	58.09'	S7°53'35"W
L39	52.52'	S5°12'37"E
L40	57.86'	S41°00'19"W
L41	50.06'	S14°21'43"W
L42	104.55'	S8°38'06"W
L43	427.07'	N60°45'08"E
L44	182.35'	S45°51'55"E
L45	70.46'	S29°55'18"E
L46	6.59'	S60°50'37"W
L47	9.73'	N29°55'18"W
L48	139.25'	N45°51'55"W
L49	143.09'	S44°08'02"W
L50	208.04'	N45°51'50"W
L51	4.00'	S44°06'49"W
L52	35.00'	N45°53'11"W
L53	64.54'	N44°06'49"E
L54	15.09'	N29°13'46"W
L55	4.21'	N60°46'14"E
L56	74.46'	N10°06'25"E
L57	208.50'	N0°05'08"E

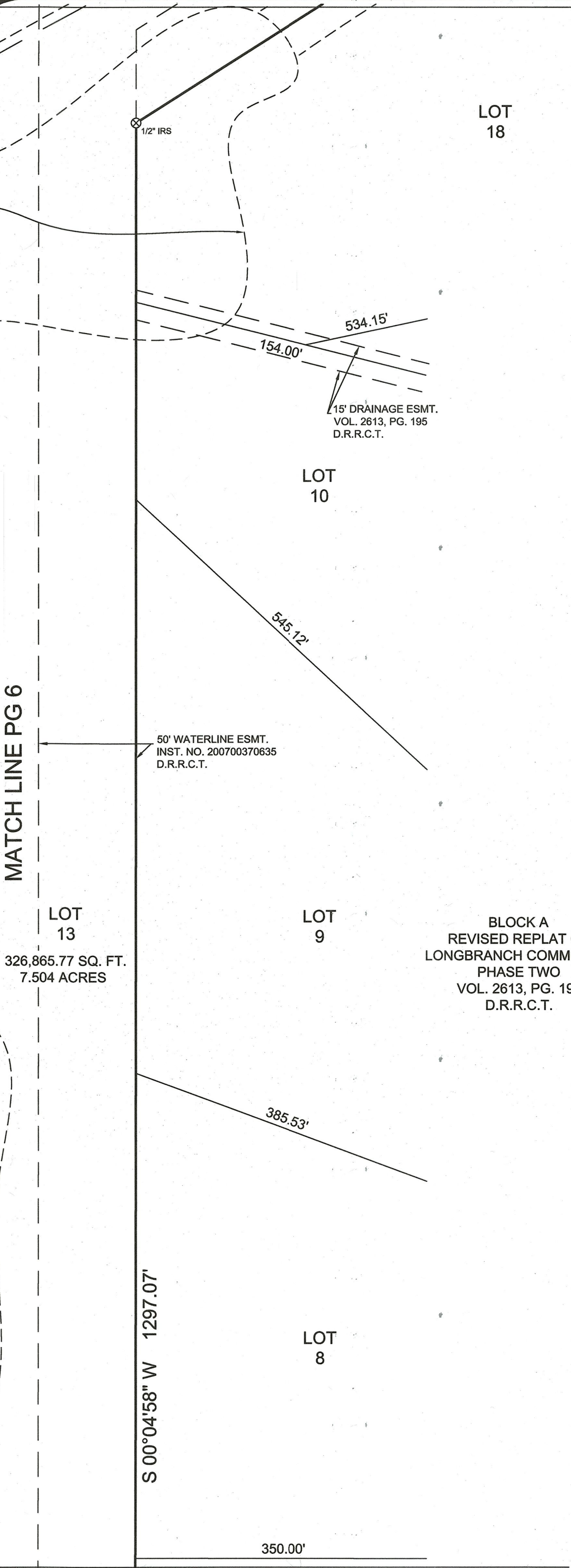
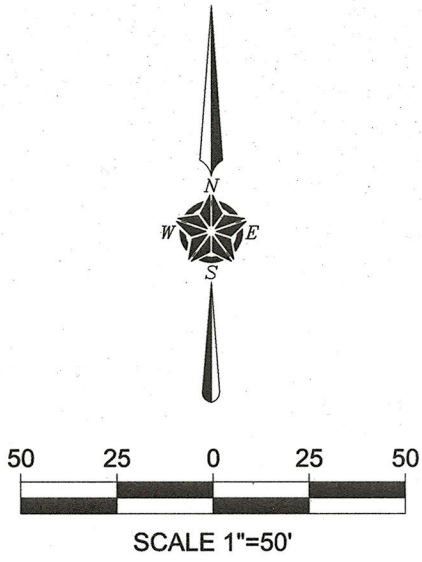
EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L58	151.54'	N0°05'08"E
L59	192.10'	N44°05'45"E
L60	268.07'	S45°52'02"E
L61	17.51'	S45°59'58"W
L62	9.30'	N45°52'38"W
L63	22.87'	N10°59'40"W
L64	60.33'	N44°05'55"E
L65	10.50'	N45°53'11"W
L66	90.21'	N44°07'24"E
L67	35.00'	S45°53'11"E
L68	139.95'	S44°06'49"W
L69	12.97'	S10°59'31"E
L70	59.83'	N10°06'25"E
L71	362.47'	N60°46'14"E
L72	93.20'	N33°19'17"W
L73	25.86'	N60°46'14"E
L74	34.98'	S29°15'28"E
L75	49.99'	N60°46'14"E
L76	102.56'	N88°24'18"E
L77	10.00'	N29°13'33"W

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L78	107.70'	N 46°00'24" E
L79	211.93'	S10°51'32"W
L80	6.95'	N89°50'07"E
L81	57.32'	N0°03'08"E
L82	19.37'	S1°14'41"E
L83	250.76'	S10°51'32"W
L84	7.65'	N45°52'13"W
L85	216.36'	N88°45'13"E
L86	101.78'	N46°00'24"E
L87	273.27'	N60°44'32"E
L88	24.99'	S29°15'28"E
L89	546.71'	N60°46'14"E
L90	25.09'	N29°13'46"W
L91	402.53'	N60°46'14"E
L92	89.33'	N33°19'17"W
L93	1195.44'	N45°52'13"W
L94	5.74'	N45°52'38"W
L95	10.50'	N45°53'11"W
L96	20.94'	S44°07'47"W
L97	11.21'	S44°06'49"W

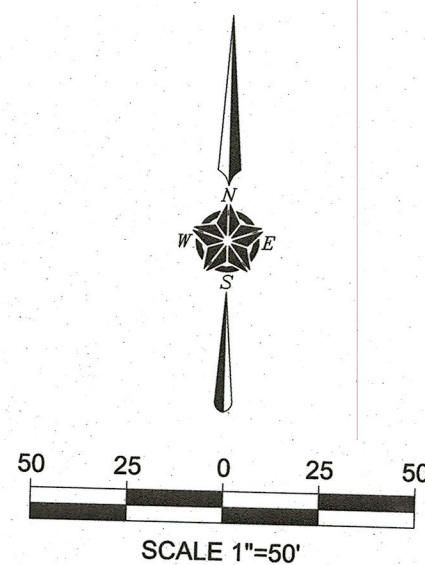
EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L98	34.53'	N45°52'02"W
L99	162.36'	N43°47'26"E
L100	15.00'	S46°15'34"E
L101	158.64'	S43°43'24"W
L102	53.86'	S29°22'22"W
L103	52.29'	S13°32'54"W
L104	53.58'	S3°57'56"E
L105	53.41'	S5°53'02"E
L106	51.52'	S7°48'14"W
L107	50.33'	S16°43'19"W
L108	48.99'	S10°05'04"W
L109	49.98'	S16°46'36"W
L110	44.78'	S35°07'49"W
L111	49.90'	S6°11'07"W
L112	52.17'	S16°56'45"E
L113	45.99'	S1°24'22"E
L114	32.33'	S2°47'42"W
L115	48.32'	S39°25'12"E
L116	85.80'	S52°19'37"E
L117	51.84'	S14°13'56"W

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L118	61.86'	S8°26'16"W
L119	63.29'	S50°19'42"W
L120	47.58'	S5°11'50"W
L121	51.87'	S19°51'38"W
L122	47.73'	S11°41'54"W
L123	50.26'	S2°46'22"W
L124	42.15'	S8°20'29"E
L125	50.04'	S10°07'11"E
L126	67.17'	S39°36'35"E
L127	25.11'	N45°53'13"W
L128	59.25'	N45°54'13"W
L129	112.34'	N46°00'24"E
L130	59.56'	N45°53'11"W
L131	10.00'	S44°06'49"W
L132	58.55'	S45°53'11"E
L133	11.54'	S44°08'51"W

MATCH LINE PG 9







MATCH LINE PG 6

STATE HIGHWAY 205  
(VARIABLE WIDTH RIGHT-OF-WAY)

24,831.12 SQ. FT.  
0.570 ACRES

LOT  
11

S 43°53'05" W 194.04'

N 45°52'13" W 1230.96'

STATE OF TEXAS  
INST. NO. 20180000021509  
O.P.R.C.T.

DRAINAGE EASEMENT/  
EROSION HAZARD  
SETBACK LINE  
(BY THIS PLAT)

LOT  
10

37,565.89 SQ. FT.  
0.862 ACRES

20' LANDSCAPE BUFFER  
(BY THIS PLAT)

25' BUILDING LINE  
(BY THIS PLAT)

LOT  
13

326,865.77 SQ. FT.  
7.504 ACRES

ZONE A  
(SFHA)

MATCH LINE PG 9

50' WATERLINE ESMT.  
INST. NO. 200700370635  
D.R.R.C.T.

BFE = 514

#### GENERAL NOTES:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

2) Bearings are based upon the Texas State Plane Coordinate System, Texas North Central Zone, (4202) North American Datum of 1983, (2011).

3) The purpose of this plat is to create 13 lots.

4) Benchmarks:

COR-8: Aluminum disk stamped "City of Rockwall Survey Monument" at the northerly intersection of Silver View Lane and Diamond Way Drive  $\pm$  1 foot north of curb line in center of curve.

N= 7,018,063.113; E= 2,609,533.682; Elevation= 600.48'

COR-9: Brass disk stamped "City of Rockwall Survey Monument" on the south side of Discovery Boulevard at the southeaster corner of curb inlet  $\pm$  180 feet east intersection of Discovery/Corporate.

N= 7,020,550.132; E= 2,607,463.893; Elevation= 595.63'

5) Zoning: Commercial (C) District

6) Property owner shall be responsible for maintenance, repairs, and reconstruction of drainage and detention easements.

7) Base Flood Elevation information per FEMA GIS, FIRM Panel #48397C0045L.



MATCH LINE PG 7

50' WATERLINE ESMT.  
INST. NO. 200700370635  
D.R.R.C.T.

LOT  
13

326,865.77 SQ. FT.  
7.504 ACRES

LOT  
7

350.00'

BLOCK A  
REVISED REPLAT OF  
LONGBRANCH COMMUNITY  
PHASE TWO  
VOL. 2613, PG. 195  
D.R.R.C.T.

LOT  
6

LOT  
5

15' DRAINAGE ESMT.  
VOL. 2613, PG. 195  
D.R.R.C.T.

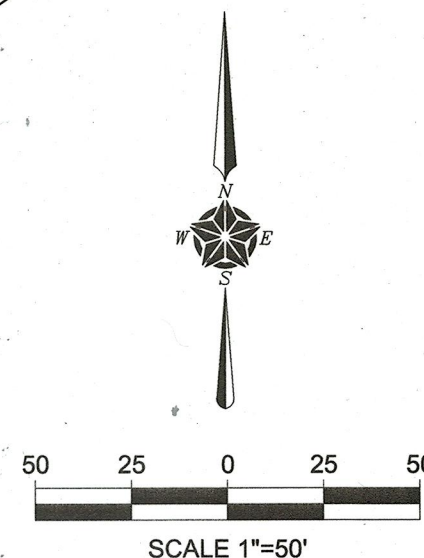
1E STATE OF TEXAS ESMT.  
INST. NO. 20180000021509  
O.P.R.R.C.T.

1/2" IRF BEARS  
S 45°52'19" E 0.53'

STATE OF TEXAS  
INST. NO. 20180000021509  
O.P.R.R.C.T.

MEAS. = S 00°04'58" W  
118.93'

497.90'



# OWNER'S CERTIFICATE:

STATE OF TEXAS  
COUNTY OF ROCKWALL

## TRACT ONE

WHEREAS, Creekside Commons Crossing, LP and 549 CROSSING, LP are the owners of that tract of land situated in the William W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, being that same tract of land described in Special Warranty Deed to Creekside Commons Crossing, LP recorded in Instrument Number 20220000021201 of the Official Public Records of Rockwall County, Texas, together with that tract of land described in Special Warranty Deed to 549 CROSSING, LP recorded in Instrument Number 20210000028395 of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being in the northeast corner of said State of Texas Parcel 1 Part 1 tract, said corner also being in the south right-of-way line of existing State Highway 549 (variable width right-of-way);

Thence North 88 degrees 45 minutes 13 seconds East, along the south right-of-way line of said existing State Highway 549, a distance of 1,850.38 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being the northwest corner of said State of Texas Parcel 1 Part 2 tract, said corner also being in a northwest right-of-way line of new State Highway 549 (variable width right-of-way);

Thence, along the northwest line of said State of Texas Parcel 1 Part 2 tract and along the northwest line of said new State Highway 549, the following courses and distances:

Thence South 33 degrees 19 minutes 17 seconds East, a distance of 114.68 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being the beginning of a non-tangent curve to the right, having a delta of 04 degrees 03 minutes 19 seconds, a radius of 1,155.00 feet and a chord bearing and distance of South 58 degrees 43 minutes 21 seconds West, 81.73 feet;

Thence, in a southwesterly direction, along said curve to the right, an arc length of 81.75 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence South 60 degrees 46 minutes 14 seconds West, a distance of 382.65 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence South 29 degrees 29 minutes 58 seconds East, a distance of 25.09 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence South 60 degrees 45 minutes 08 seconds West, a distance of 437.07 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being the beginning of a non-tangent curve to the left, having a delta of 14 degrees 41 minutes 22 seconds, a radius of 1,110.00 feet and a chord bearing and distance of South 53 degrees 26 minutes 21 seconds West, 283.80 feet;

Thence, in a southwesterly direction, along said curve to the left, an arc length of 284.58 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence South 46 degrees 00 minutes 24 seconds West, a distance of 117.82 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence North 88 degrees 17 minutes 09 seconds West, a distance of 13.64 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being in a northeast line of said State of Texas Parcel 1 Part 1 tract;

Thence North 45 degrees 52 minutes 38 seconds West, along a northeast line of said State of Texas Parcel 1 Part 1 tract, a distance of 99.40 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence South 44 degrees 09 minutes 02 seconds West, along a northeast line of said State of Texas Parcel 1 Part 1 tract, a distance of 19.03 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence North 45 degrees 52 minutes 18 seconds West, along a northeast line of said State of Texas Parcel 1 Part 1 tract, a distance of 863.35 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence North 45 degrees 50 minutes 09 seconds West, along a northeast line of said State of Texas Parcel 1 Part 1 tract, a distance of 158.12 feet back to the POINT OF BEGINNING and containing 793,730.47 square feet or 18.222 acres of land.

## TRACT TWO

WHEREAS, Rockwall 205 Investors, LLC is the owner of that tract of land situated in the William W. Ford Survey, Abstract No. 80, Rockwall County, Texas, being that same tract of land described in General Warranty Deed to Rockwall 205 Investors, LLC recorded in Instrument Number 20160000001487 of the Official Public Records of Rockwall County, Texas, less that tract of land described as Parcel 1 Part 1 and Parcel 1 Part 2 in deed to the State of Texas recorded in Instrument Number 20180000021509 of the Official Public Records of Rockwall County, Texas, and the remaining being more particularly described by metes and bounds as follows:

Beginning at a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being in the northeast corner of said State of Texas Parcel 1 Part 2 tract, said corner also being in the south right-of-way line of State Highway 1139 (variable width right-of-way);

Thence North 88 degrees 24 minutes 18 seconds East, along the south right-of-way line of State Highway 1139 (variable width right-of-way), a distance of 131.64 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner, said corner being in the north line of Lot 20, Block A of Revised Replat of Longbranch Community Phase Two, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Volume 2613, Page 195 of the Deed Records of Rockwall County, Texas;

Thence South 46 degrees 47 minutes 44 seconds West, along the northwest line of Lots 20, 19 and 18, Block A of said Revised Replat of Longbranch Community Phase Two, a distance of 395.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner, said corner being in a northwest line of said Lot 18;

Thence South 57 degrees 25 minutes 35 seconds West, along a northwest line of said Lot 18, a distance of 412.22 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner, said corner being in the west line of said Lot 18;

Thence South 00 degrees 04 minutes 58 seconds West, along a west line of Lots 18, 10, 9, 8, 7, 6, and 5 of Block A of said Revised Replat of Longbranch Community Phase Two, a distance of 1,297.07 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner, from which lies a 1/2 inch iron rod found which bears South 45 degrees 52 minutes 19 seconds East, 0.53 feet;

Thence North 45 degrees 52 minutes 13 seconds West, along the northeast line of said State of Texas Parcel 1 Part 1 tract, a distance of 1,230.96 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner;

Thence North 01 degrees 00 minutes 24 seconds East, along a northeast line of said State of Texas Parcel 1 Part 1 tract, a distance of 6.34 feet to a 5/8 inch iron rod found for corner;

Thence, along the southeastern line of said State of Texas Parcel 1 Part 2 tract and along the southeast line of said new State Highway 549, the following courses and distances:

Thence North 46 degrees 00 minutes 24 seconds East, a distance of 117.82 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner, said corner being the beginning of a non-tangent curve to the right, having a delta of 14 degrees 40 minutes 31 seconds, a radius of 970.00 feet and a chord bearing and distance of North 53 degrees 27 minutes 16 seconds East, 247.77 feet;

Thence, in a northeasterly direction, an arc length of 248.45 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence North 60 degrees 44 minutes 32 seconds East, a distance of 293.25 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

Thence South 29 degrees 15 minutes 28 seconds East, a distance of 25.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner;

Thence North 60 degrees 46 minutes 14 seconds East, a distance of 526.72 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner, from which lies a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found which bears North 72 degrees 48 minutes 43 seconds West, 0.26 feet, said corner being the beginning of a non-tangent curve to the left, having a delta of 21 degrees 02 minutes 27 seconds, a radius of 1,345.00 feet and a chord bearing and distance of North 50 degrees 13 minutes 28 seconds East, 491.16 feet;

Thence, in a northeasterly direction, along the southeast line of said State of Texas Parcel 1 Part 2 tract, along said curve to the left, an arc length of 493.93 feet back to the POINT OF BEGINNING and containing 708,413.65 square feet or 16.263 acres of land.

SURVEYOR

**TEXAS HERITAGE**  
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com  
Firm No. 10169300

CASE # P2022-052

DATE: 5/1/2023 / JOB # 2002727-11 / SCALE= 1" = 50' / DRAWN: JACOB

FINAL PLAT

**CREEKSIDE COMMONS ADDITION**  
LOTS 1-13, BLOCK A  
34.484 ACRES / 1,502,144.12 SF  
13 LOTS

SITUATED WITHIN TRACTS 17-5 & 17-8 OF THE  
W. W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PAGE 9 OF 10



OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the CREEKSIDE COMMONS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the CREEKSIDE COMMONS subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage or cause of action that I may have as a result of the dedication of exactions made herein.

Rockwall 205 Investors, LLC

Justin Webb  
Manager

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, on this day personally appeared Justin Webb, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 11<sup>th</sup> day of May, 2023.

Kathy Bowen  
Notary Signature



549 CROSSING, LP

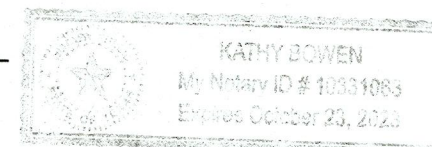
Jassem Setayesh  
President/CEO

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared Jassem Setayesh, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 11<sup>th</sup> day of May, 2023.

Kathy Bowen  
Notary Signature



Creekside Commons Crossing, LP

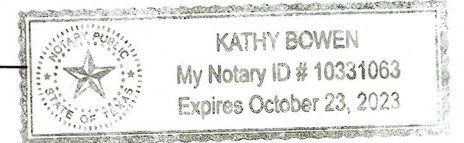
Jassem Setayesh  
President/CEO

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared Jassem Setayesh, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 11<sup>th</sup> day of May, 2023.

Kathy Bowen  
Notary Signature



SURVEYORS CERTIFICATE:

I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Gary E. Johnson  
Gary E. Johnson, R.P.L.S. No. 5299



Approved:

[Signature]  
Planning and Zoning Commission, Chairman

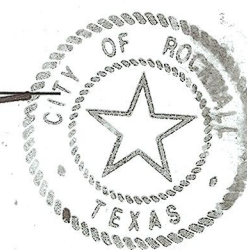
5.30.2023  
Date

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 7<sup>th</sup> day of November, 2023.

The approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eight (180) days from said date of final approval.

WITNESS OUR HANDS, this 25<sup>th</sup> day of May, 2023.

[Signature]  
Mayor, City of Rockwall



[Signature]  
City Secretary

[Signature]  
City Engineer

SURVEYOR

TEXAS HERITAGE  
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com  
Firm No. 10169300

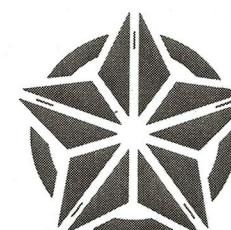
CASE # P2022-052  
DATE: 5/1/2023 / JOB # 2002727-11 / SCALE= 1" = 50' / DRAWN: JACOB

FINAL PLAT  
CREEKSIDE COMMONS  
LOTS 1-13, BLOCK A  
34.484 ACRES / 1,502,144.12 SF  
13 LOTS  
SITUATED WITHIN TRACTS 17-5 & 17-8 OF THE  
W. W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PAGE 10 OF 10

ENGINEER  
THE DIMENSION GROUP  
10755 SANDILL ROAD  
DALLAS, TEXAS 75238  
attn: KEATON MAI

OWNER  
ROCKWALL 205 INVESTORS, LLC  
1 CANDLELITE TRAIL  
HEATH, TEXAS 75032



Filed and Recorded  
Official Public Records  
Jennifer Fogg, County Clerk  
Rockwall County, Texas  
05/31/2023 03:42:43 PM  
\$500.00  
20230600008813



[Signature]

COPY



[24x36Tbs - RD.dwg] [V-BASE.dwg] Drawing name: L:\PROJECT DEVELOPMENT\2020\200-672 & 200-673 - T&E - Rockwall, TX (205 & 549)\02 Civil\3D\Sheet\CD\21-DEMOLITION PLAN.dwg Nov 10, 2023 -- 11:37am

#### CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



LINE TABLE				
LINE	BEARING	DISTANCE		
L1	S 44°06'49" W	19.00'		
L2	N 88°54'39" W	13.54'		

CURVE CHART				
CURVE	RADIUS	DELTA	LENGTH	BEARING
C1	1100.00'	6°24'51"	124.26'	S 49°16'11" W
				CHORD 124.20'

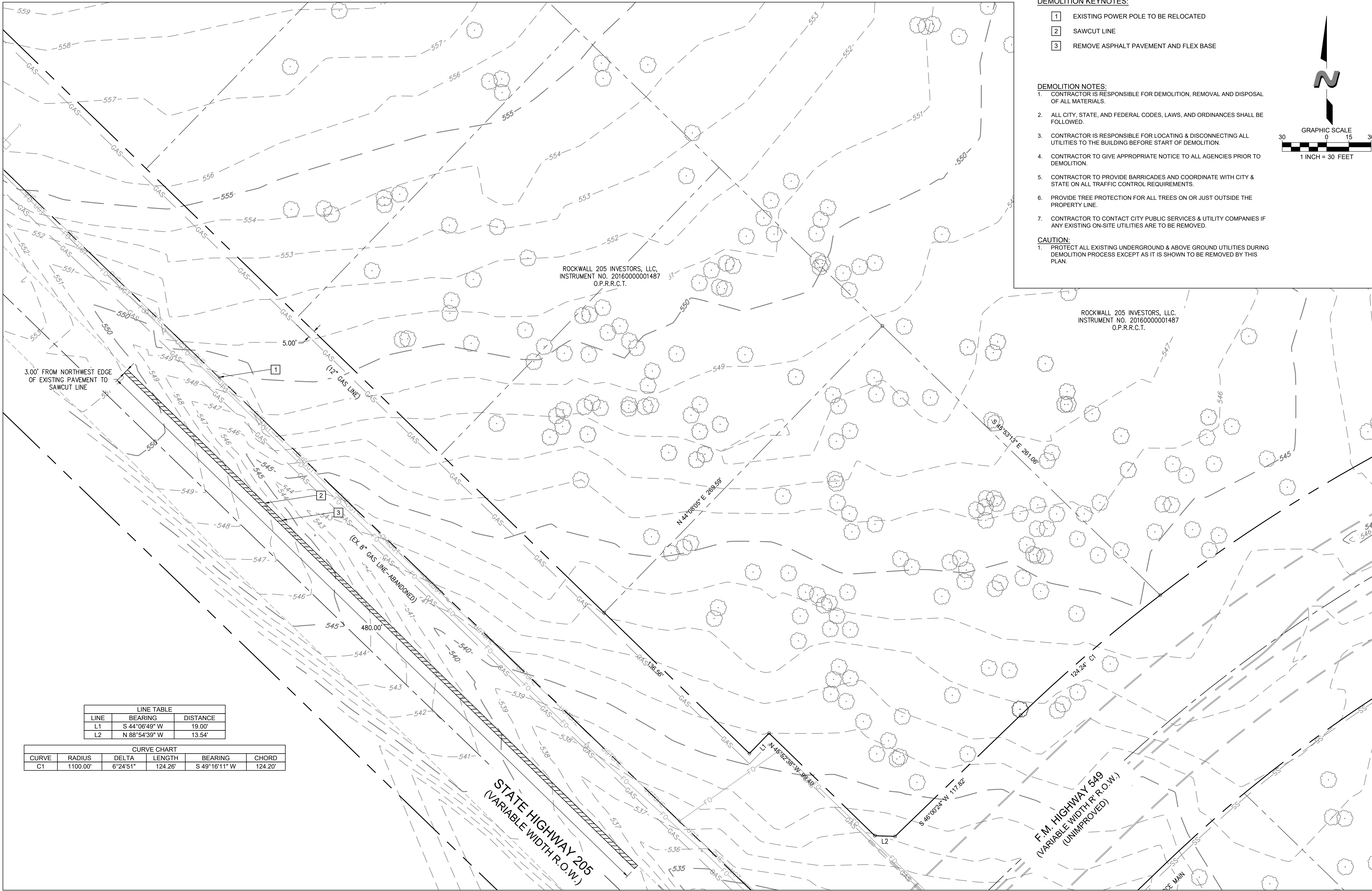
#### CITY OF ROCKWALL MONUMENTS:

GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
TEXAS NORTH CENTRAL ZONE (4202).

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.  
N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



#### DEMOLITION KEYNOTES:

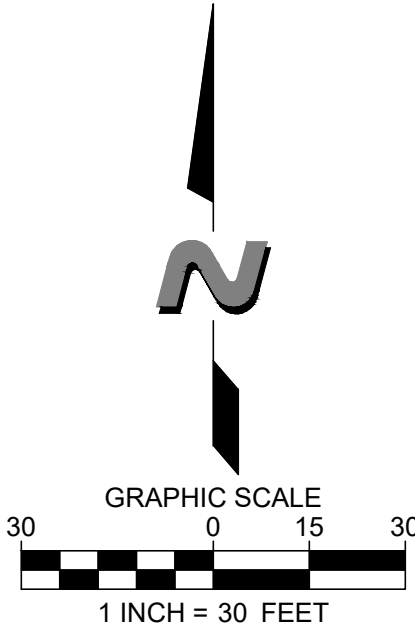
- 1 EXISTING POWER POLE TO BE RELOCATED
- 2 SAWCUT LINE
- 3 REMOVE ASPHALT PAVEMENT AND FLEX BASE

#### DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL OF ALL MATERIALS.
2. ALL CITY, STATE, AND FEDERAL CODES, LAWS, AND ORDINANCES SHALL BE FOLLOWED.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING & DISCONNECTING ALL UTILITIES TO THE BUILDING BEFORE START OF DEMOLITION.
4. CONTRACTOR TO GIVE APPROPRIATE NOTICE TO ALL AGENCIES PRIOR TO DEMOLITION.
5. CONTRACTOR TO PROVIDE BARRICADES AND COORDINATE WITH CITY & STATE ON ALL TRAFFIC CONTROL REQUIREMENTS.
6. PROVIDE TREE PROTECTION FOR ALL TREES ON OR JUST OUTSIDE THE PROPERTY LINE.
7. CONTRACTOR TO CONTACT CITY PUBLIC SERVICES & UTILITY COMPANIES IF ANY EXISTING ON-SITE UTILITIES ARE TO BE REMOVED.

#### CAUTION:

1. PROTECT ALL EXISTING UNDERGROUND & ABOVE GROUND UTILITIES DURING DEMOLITION PROCESS EXCEPT AS IT IS SHOWN TO BE REMOVED BY THIS PLAN.



THE

**DIMENSION**

GROUP

ARCHITECTURE - CIVIL ENGINEERING - MEP ENGINEERING

TEL: 214.243.9400    www.DimensionGroup.com

11/10/2023

*Keaton L. Mai*

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**RECORD DRAWING**

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ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

#	DATE	REVISION DESCRIPTION
1	11/10/23	RECORD DRAWINGS

project no.	200-672
date	11/10/2023
dwg.	11:37 am

DEMOLITION PLAN

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

**C2.1**



[24x36Tbs - RD.dwg] [C-BASE-OFFSITE.dwg] [C-BASE-PRUDENT.dwg] [C-BASE.dwg] [C-BASE-SITE PLAN.dwg] Nov 10, 2023 - 10:04am  
Drawing name: L:\PRUDENT DEVELOPMENT\2020\200-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\3D\Sheet\CD\C3.1-SITE PLAN.dwg

#### SITE PLAN KEYNOTES:

- 1 CONSTRUCT 6" CURB & GUTTER
- 2 CONSTRUCT 6" CONCRETE PAVEMENT SECTION (RE: GEOTECH)
- 3 INSTALL PEDESTRIAN SIDEWALK PAVEMENT
- 4 NEW UNDERGROUND FUEL STORAGE TANKS
- 5 NEW TANK VENTS
- 6 INSTALL AIR & WATER MACHINE
- 7 INSTALL (16) U-SHAPED BOLLARDS. REF. FUEL PLANS
- 8 INSTALL HANDICAP VAN AND CAR SIGN (RE: A.D.A. PLAN)
- 9 4" WHITE PAVEMENT SOLID PARKING STRIPES
- 10 HANDICAP VAN PARKING
- 11 STANDARD AREA LIGHT POLE (RE: PHOTOMETRIC PLAN)
- 12 NEW GASOLINE CANOPY
- 13 (8) NEW TRASH CANS
- 14 (8) NEW MULTI-PRODUCT DISPENSERS
- 15 NEW 4" WIDE FIRE LANE STRIPE
- 16 NEW BARRIER FREE RAMPS
- 17 NEW 6" BOLLARDS IN PARKING SPACES (REF. ARCH. PLANS)
- 18 NEW FIRE HYDRANT LOCATION
- 19 NEW ICE MERCHANDISER
- 20 NEW CO2 & NITROGEN CAGES
- 21 NEW PROPANE CAGE
- 22 TRANSFORMER PAD
- 23 PILOT CHANNEL

USE	COMMERCIAL (CONVENIENCE STORE W/FUEL SALES)
LOT AREA	65,466 S.F. (1.50 ACRES)
BUILDING SQUARE FOOTAGE	5,206 S.F.
CANOPY SQUARE FOOTAGE	3,640 S.F.
FAR	0.13:1
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-6"
TOTAL PERVIOUS COVER	15,754 S.F. OR 24%
TOTAL IMPERVIOUS COVER	49,712 S.F. OR 76%
PARKING REQUIRED	21 SPACES (1/250 G.F.A.)
PARKING PROVIDED	27 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	2 SPACES

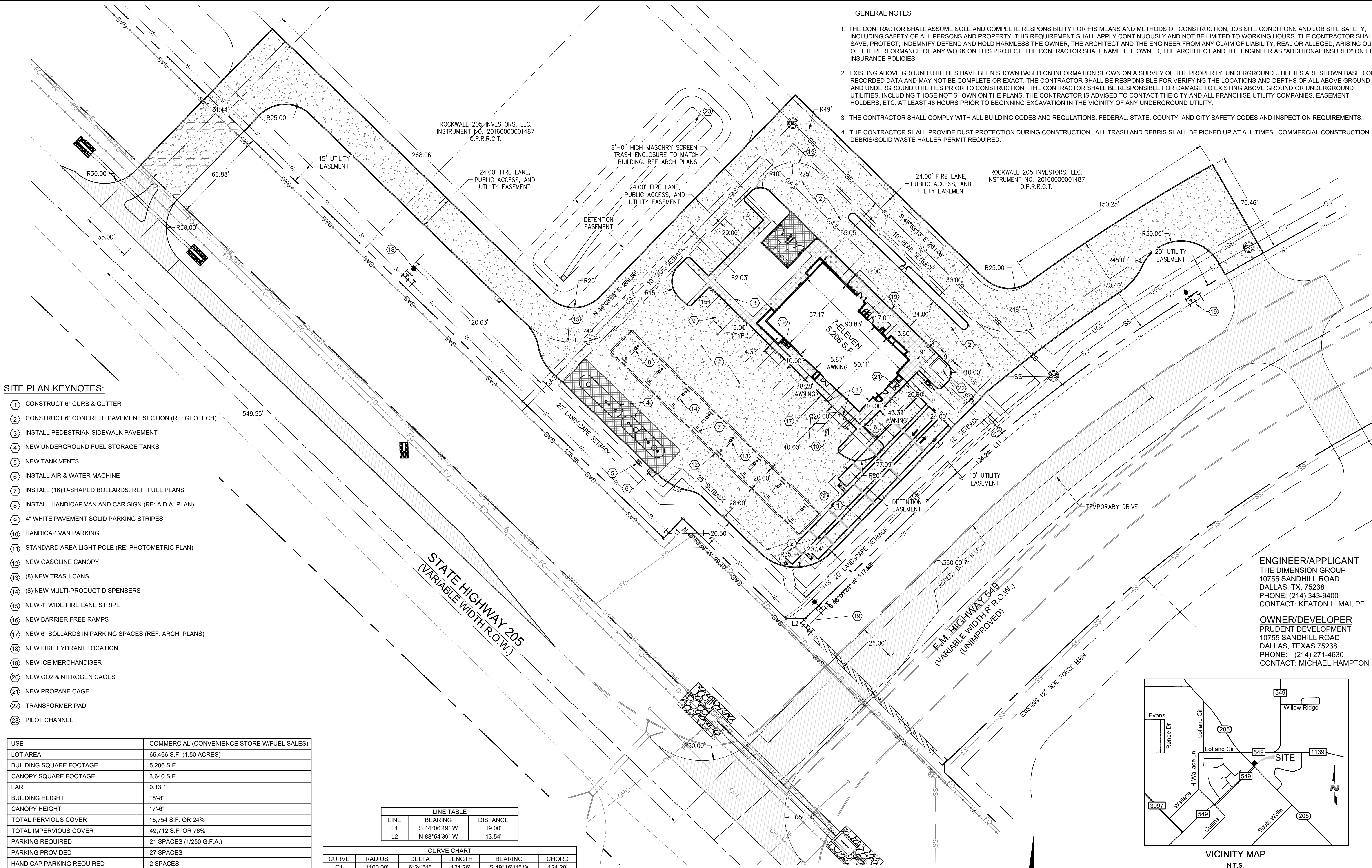
LINE TABLE			
LINE	BEARING	DISTANCE	
L1	S 44°06'49" W	19.00'	
L2	N 88°54'39" W	13.54'	

CURVE CHART					
CURVE	RADIUS	DELTA	LENGTH	BEARING	CHORD
C1	1100.00'	6°24'51"	124.26'	S 49°16'11" W	124.20'

**CITY OF ROCKWALL MONUMENTS:**  
GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
TEXAS NORTH CENTRAL ZONE (4202).

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT"  
AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND  
WAVE DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

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THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER  
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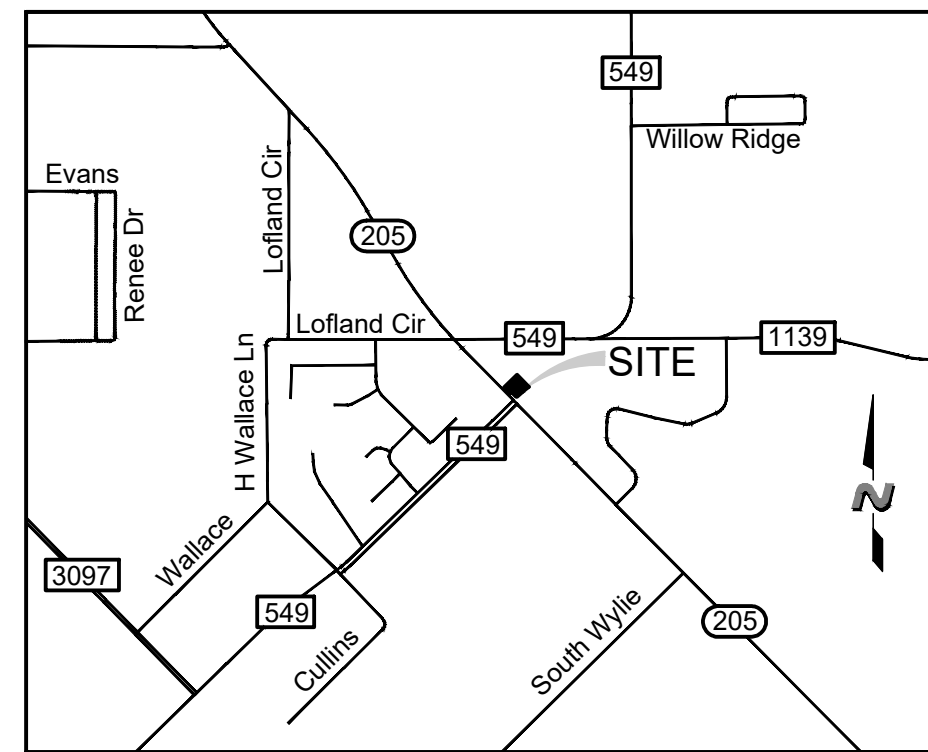


#### GENERAL NOTES

1. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR HIS MEANS AND METHODS OF CONSTRUCTION, JOB SITE CONDITIONS AND JOB SITE SAFETY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL SAVE, PROTECT, INDEMNIFY DEFEND AND HOLD HARMLESS THE OWNER, THE ARCHITECT AND THE ENGINEER FROM ANY CLAIM OF LIABILITY, REAL OR ALLEGED, ARISING OUT OF THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL NAME THE OWNER, THE ARCHITECT AND THE ENGINEER AS "ADDITIONAL INSURED" ON HIS INSURANCE POLICIES.
2. EXISTING ABOVE GROUND UTILITIES HAVE BEEN SHOWN BASED ON INFORMATION SHOWN ON A SURVEY OF THE PROPERTY. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORDED DATA AND MAY NOT BE COMPLETE OR EXACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ABOVE GROUND OR UNDERGROUND UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS ADVISED TO CONTACT THE CITY AND ALL FRANCHISE UTILITY COMPANIES, EASEMENT HOLDERS, ETC. AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION IN THE VICINITY OF ANY UNDERGROUND UTILITY.
3. THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES AND REGULATIONS, FEDERAL, STATE, COUNTY, AND CITY SAFETY CODES AND INSPECTION REQUIREMENTS.
4. THE CONTRACTOR SHALL PROVIDE DUST PROTECTION DURING CONSTRUCTION. ALL TRASH AND DEBRIS SHALL BE PICKED UP AT ALL TIMES. COMMERCIAL CONSTRUCTION DEBRIS/SOLID WASTE HAULER PERMIT REQUIRED.

**ENGINEER/APPLICANT**  
THE DIMENSION GROUP  
10755 SANDHILL ROAD  
DALLAS, TX, 75238  
PHONE: (214) 343-9400  
CONTACT: KEATON L. MAI, PE

**OWNER/DEVELOPER**  
PRUDENT DEVELOPMENT  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
PHONE: (214) 271-4630  
CONTACT: MICHAEL HAMPTON



VICINITY MAP  
N.T.S.

## SITE PLAN

LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION  
NWC STATE HIGHWAY 205 & F.M. 549  
A 1.50 ACRE TRACT OF LAND IN THE  
WILLIAM W. FORD SURVEY, ABST. NO 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT #SP2021-021  
April 17, 2023



TBPE FIRM REGISTRATION  
#F-8396



11/10/2023  
*Keaton L. Mai*

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ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

DATE	REVISION DESCRIPTION	RECORD DRAWINGS
11/10/23		
#		
project no.	200-672	
date	11/10/2023	
dwg		

SITE PLAN

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

C3.1



[24x36Tbs - rd.dwg] [V-BASE.dwg] [C-BASE.dwg] [C-BASE-OFFSITE.dwg] [C-BASE-PRUDENT.dwg]  
Drawing name: L: PRUDENT DEVELOPMENT\2020\200-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\C3D\Sheet\CD\C4.1-HORIZONTAL CONTROL PLAN.dwg Nov 10, 2023 - 10:04am

#### CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



#### CITY OF ROCKWALL MONUMENTS:

GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
TEXAS NORTH CENTRAL ZONE (4202).

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
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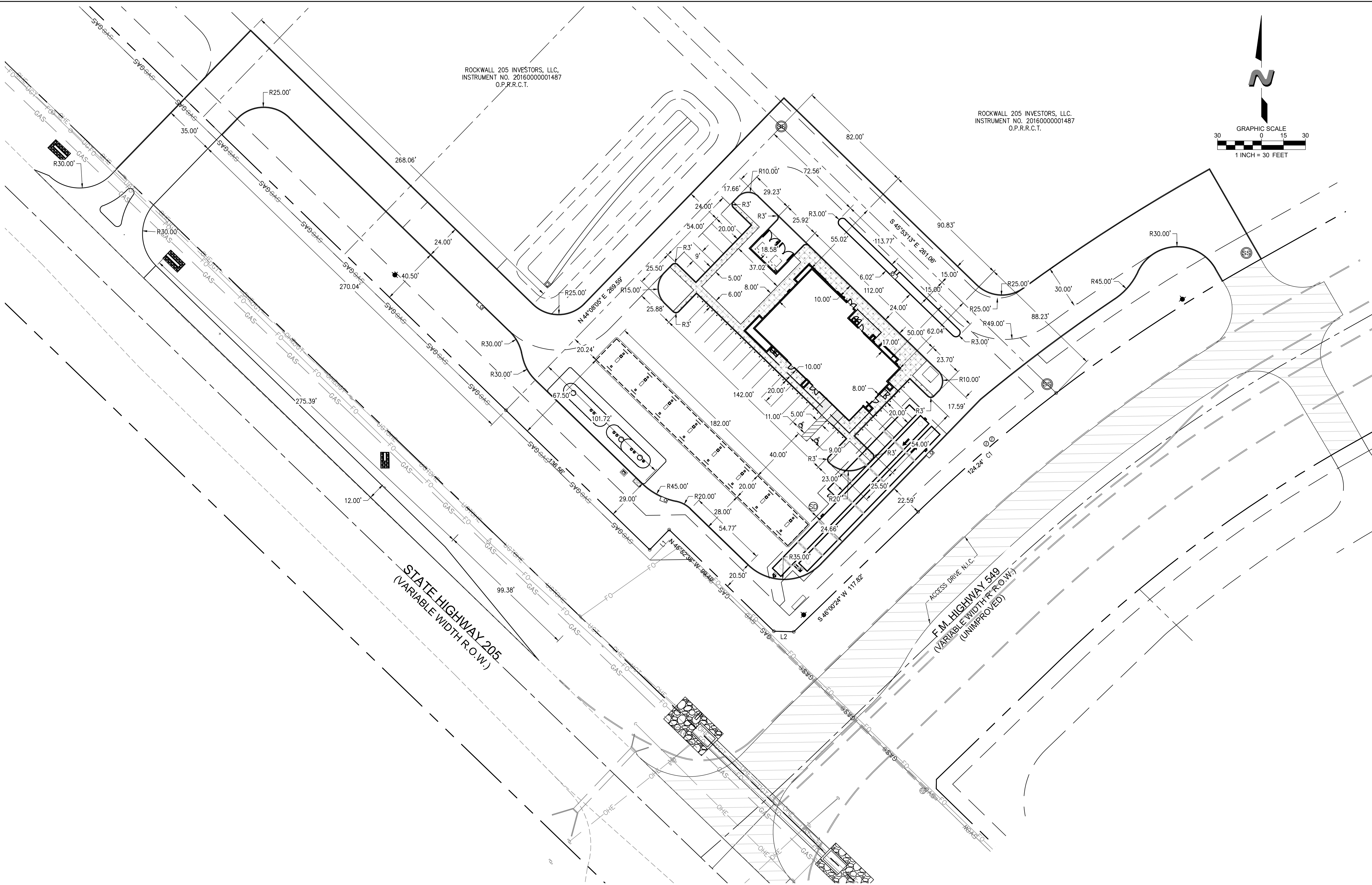
LINE TABLE		
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L2	N 88°54'39" W	13.54'

CURVE CHART					
CURVE	RADIUS	DELTA	LENGTH	BEARING	CHORD
C1	1100.00'	6°24'51"	124.26'	S 49°16'11" W	124.20'

#### HORIZONTAL CONTROL NOTES:

- SEE DETAILS ON SITE SHEET C7.2.
- WHERE CONSTRUCTION DETAILS AND SPECIFICATIONS ARE NOT NOTED ON THESE PLANS USE CITY OF ROCKWALL STANDARD DRAWINGS FOR DESIGN AND CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL SITE PLAN FOR SPECIFIC SITE DETAILS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

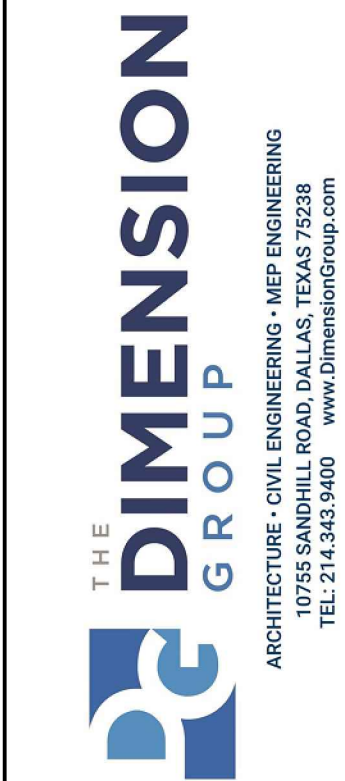


HORIZONTAL CONTROL PLAN

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

C4.1



TBPE FIRM REGISTRATION  
#F-8396



11/10/2023

KEATON L. MAI, P.E.  
THE DIMENSION GROUP, INC.  
DATE: November 10, 2023

RECORD DRAWING  
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1. REFER TO GEOTECHNICAL ENGINEERING REPORT PREPARED BY ALPHA TESTING REPORT NO. G211152 DATED MAY 24, 2021 FOR SITE WORK.

- [illegible]

GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
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1. THIS SHEET IS FOR DETAILED GRADING REFERENCE ONLY. ALL EROSION AND SEDIMENT CONTROL SHALL BE COMPLETE PER SHEET C10.1.
2. CURB SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS ARE TO FINISHED GRADE OF SURFACE UNLESS OTHERWISE NOTED.
4. CONTRACTOR MUST OBTAIN CONSTRUCTION ACTIVITIES STORMWATER DISCHARGE PERMIT.
5. GRADE BREAKS ARE IDENTIFIED AS      — GB —
6. TANK LID AND DISPENSER ELEVATIONS SHOWN ARE AT GRADE. RAISED LIDS AND DISPENSERS ONE INCH ABOVE THESE ELEVATIONS AND SLOPE CONCRETE AWAY FROM LIDS AND DISPENSERS DOWN TO NORMAL GRADE. REFER TO FUEL PLANS.

1.5 ACRE LOT  
1.5 ACRES OF DISTURBED LAND ON SITE  
1.90 ACRES OF DISTURBED LAND OFFSITE  
3.40 ACRES OF DISTURBED LAND TOTAL

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TBPE FIRM REGISTRATION  
 #F-8396



11/10/2023

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DISBURSEMENT GROUP.

THESE RECORD  
DRAWINGS HAVE BEEN  
PREPARED BASED ON  
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INFORMATION PROVIDED  
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ELEVATIONS HAVE NOT  
BEEN VERIFIED.  
THE ORIGINAL SEALED  
CONSTRUCTIONS PLANS  
ARE ON FILE AT THE CITY  
OF FRISCO.

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

#	DATE	REVISION DESCRIPTION
1	11/10/23	RECORD DRAWINGS
△		
△		
△		
project no. 200-672		
date 11/10/2023 – 10:04 am		
drawn		

## DETAILED GRADING PLAN

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

## C6.2







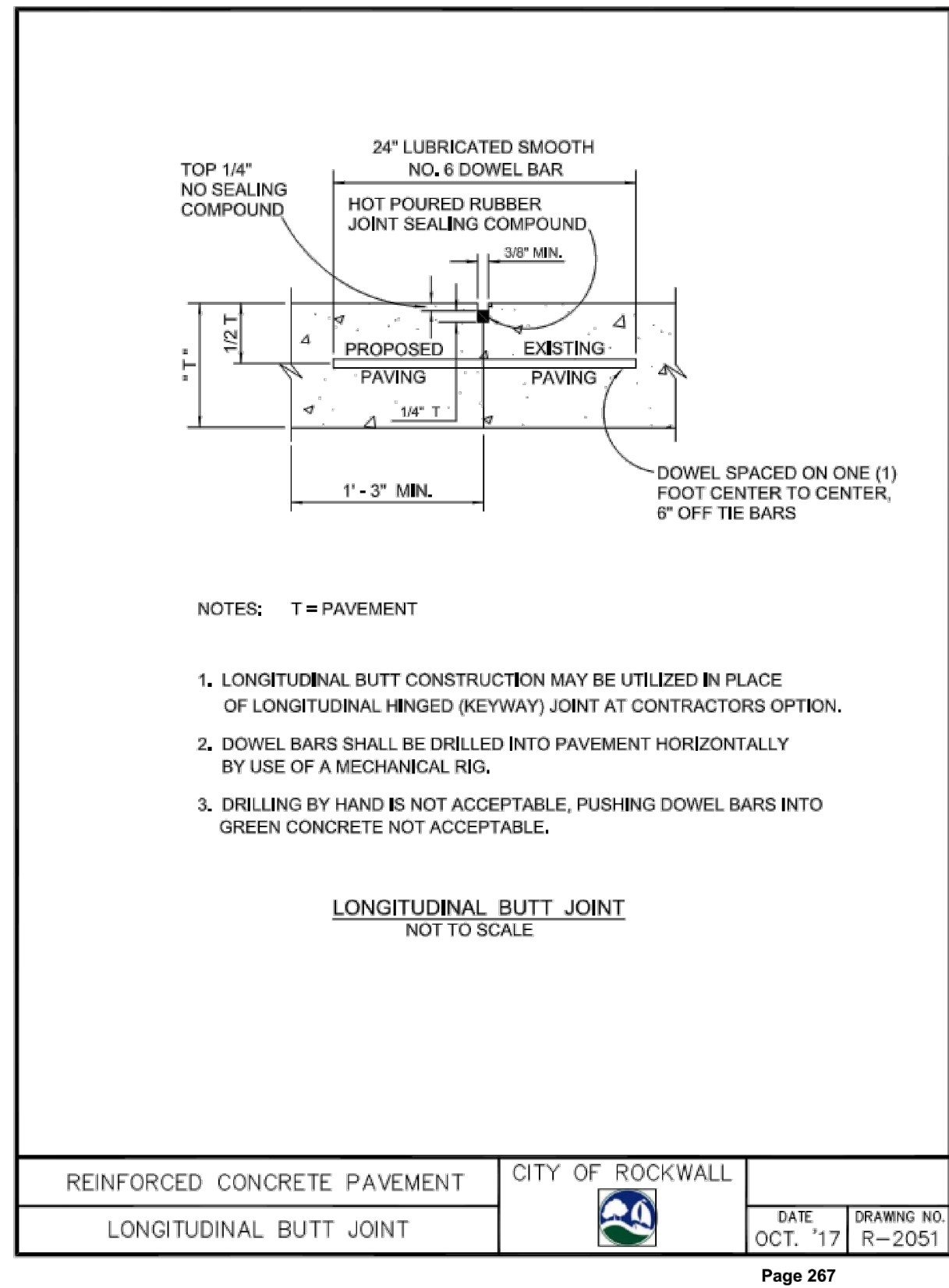
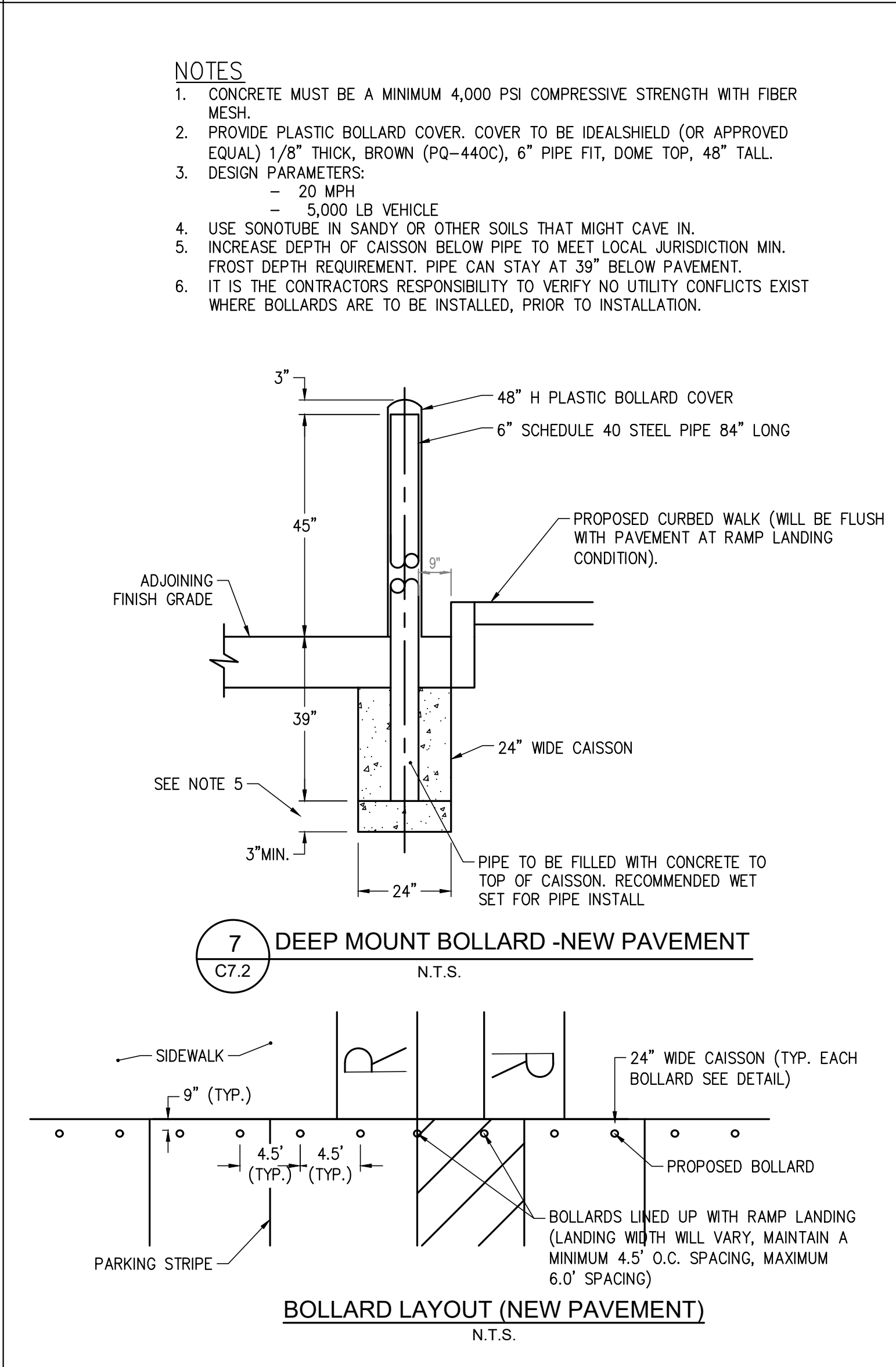
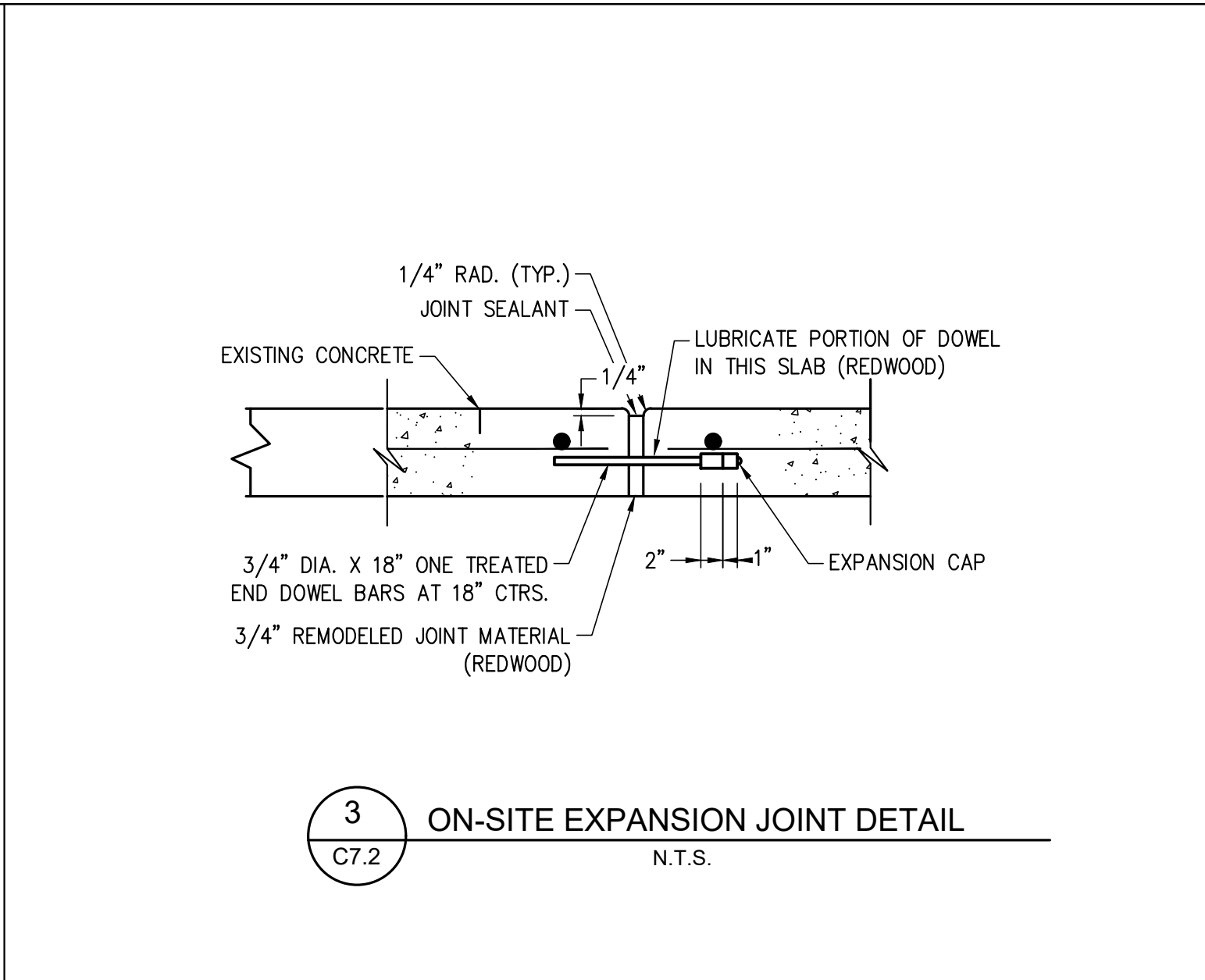
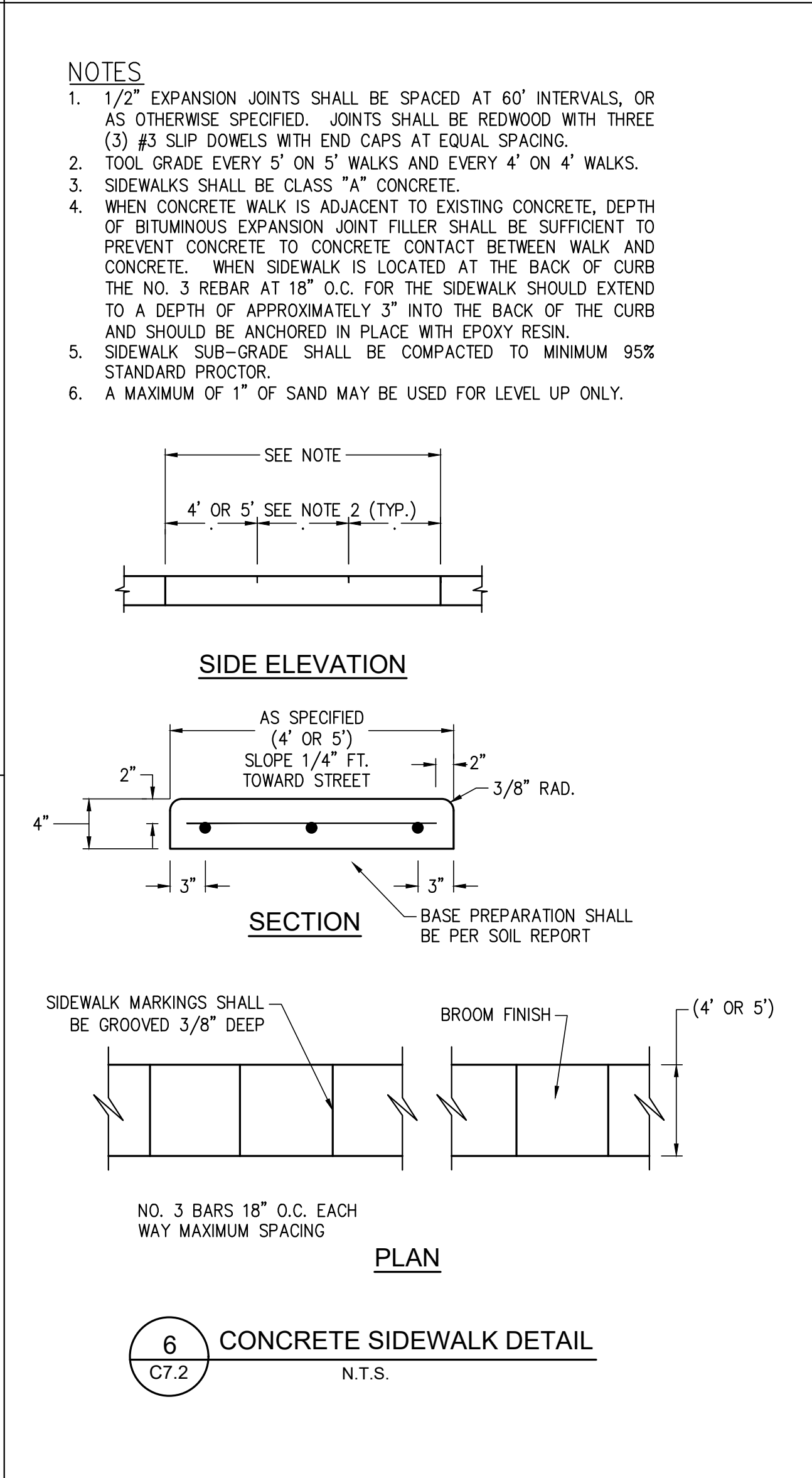
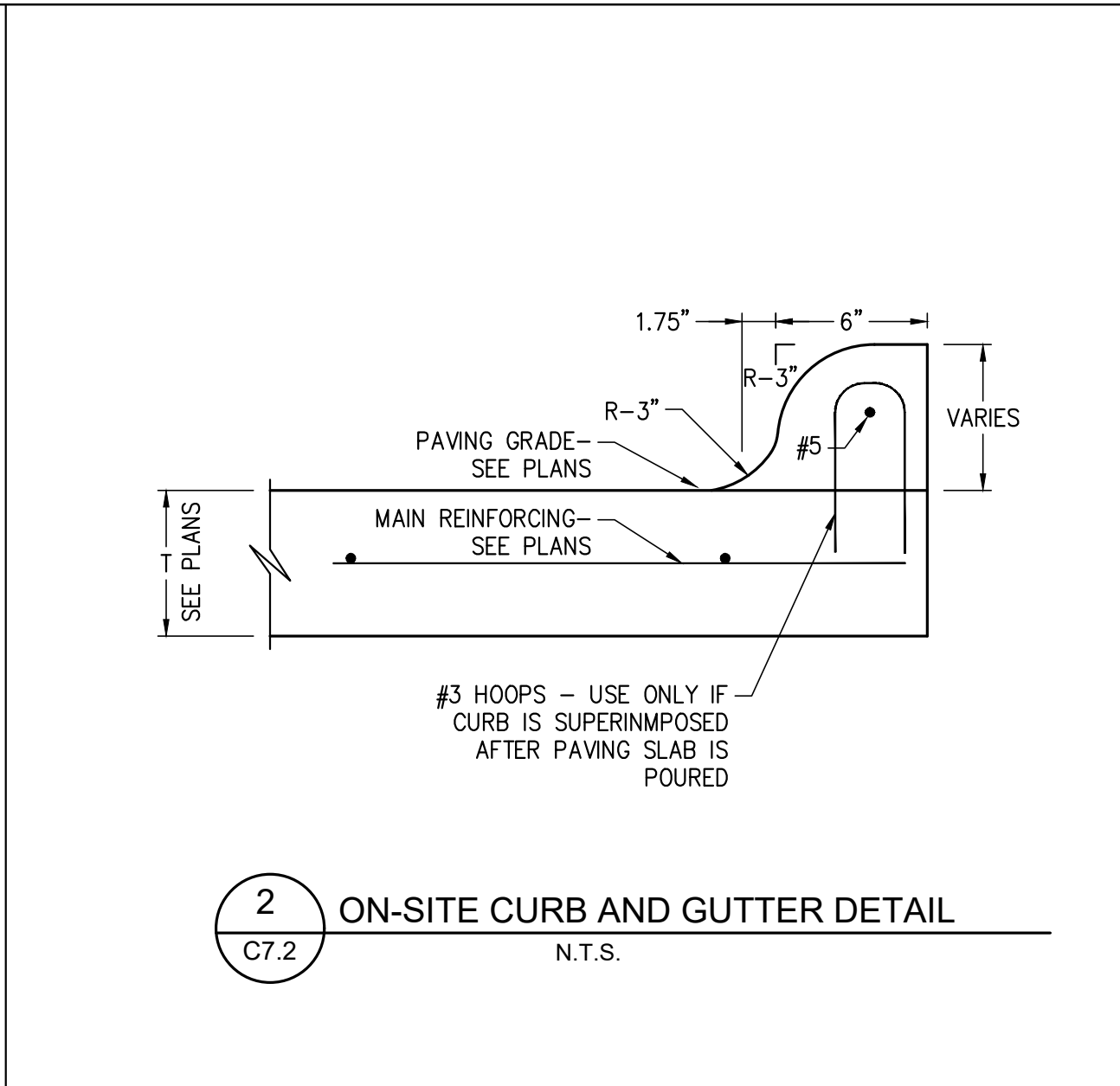
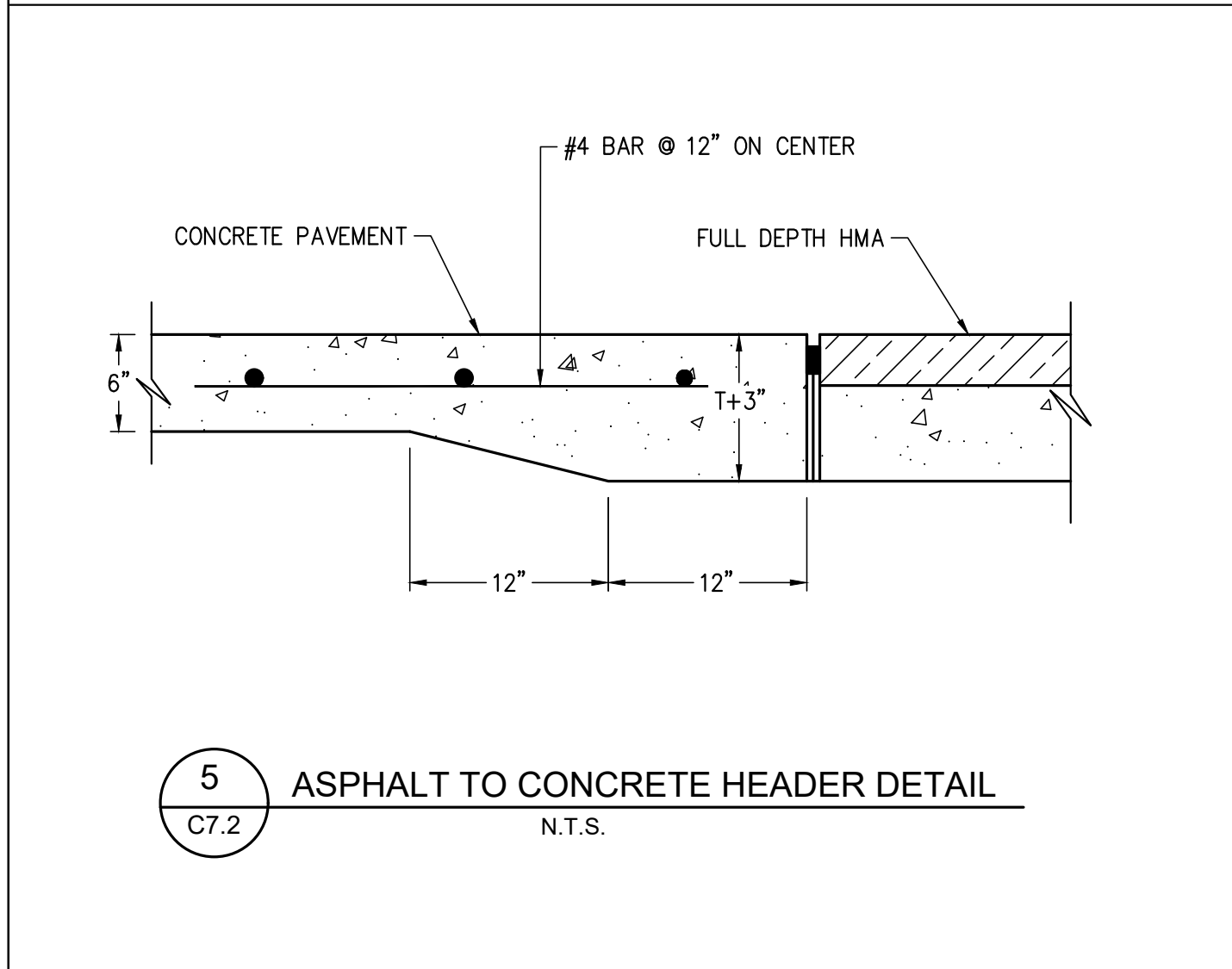
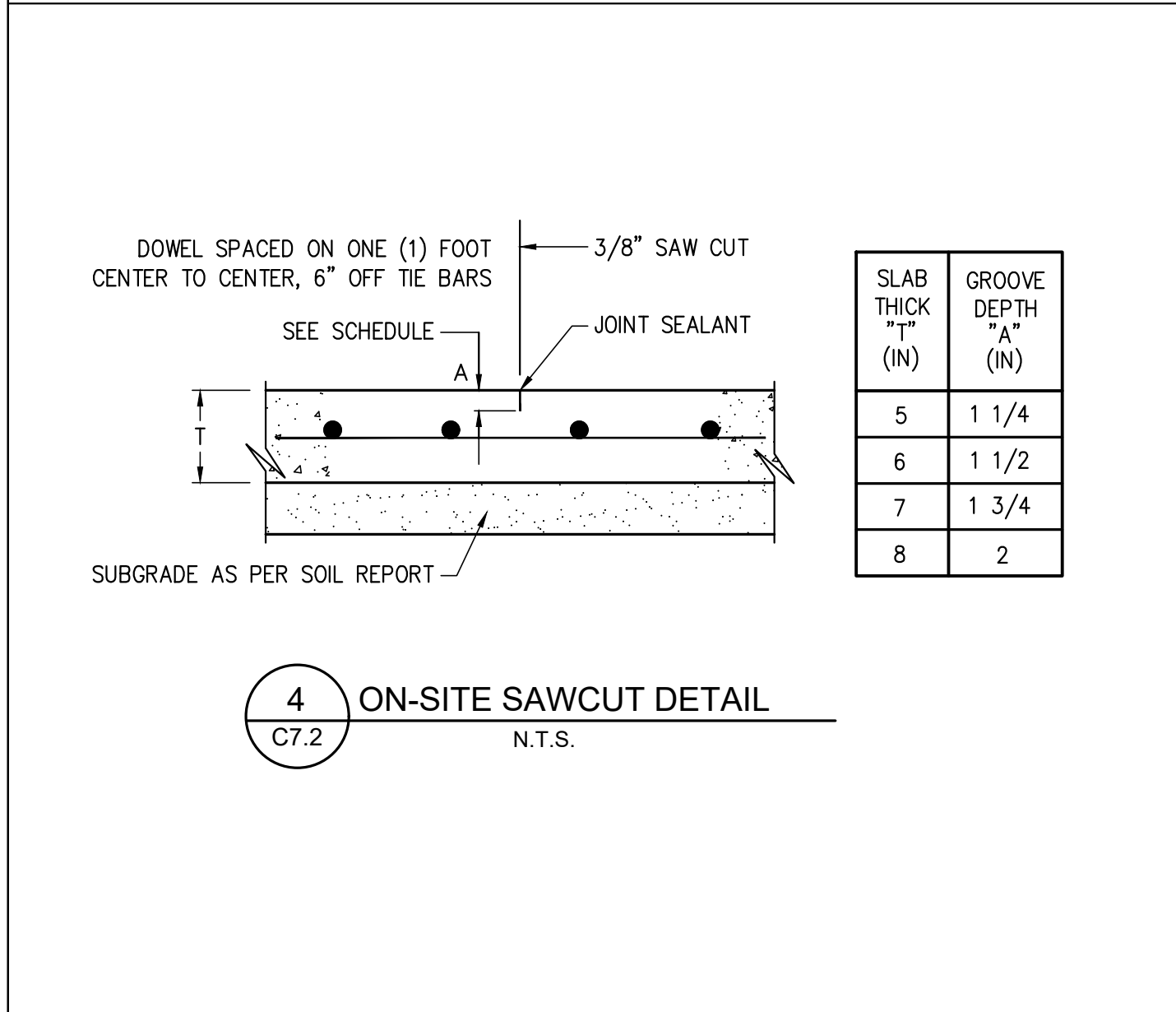
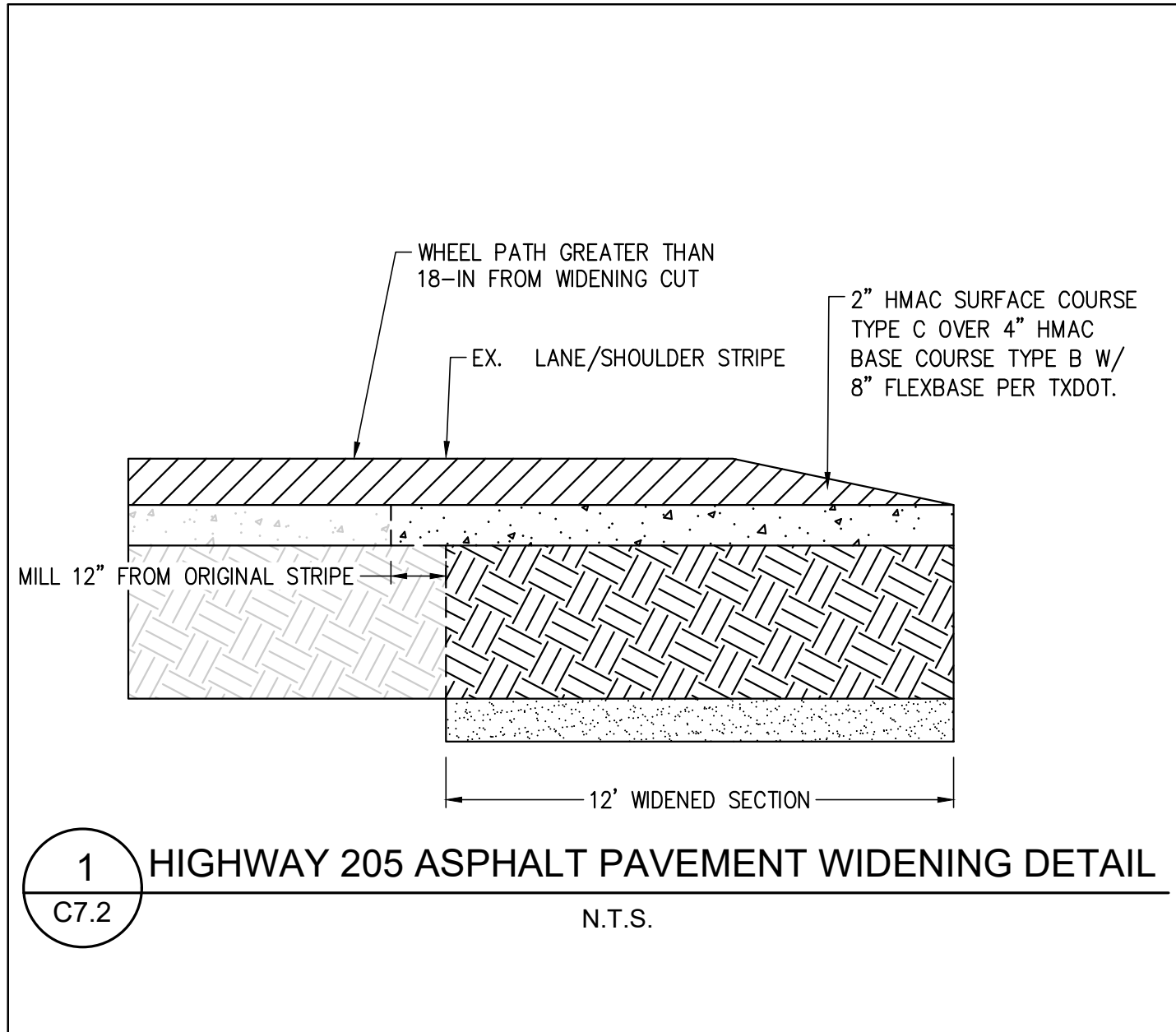
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811

CALL BEFORE YOU DIG



THE DIMENSION GROUP

ARCHITECTURE - CIVIL ENGINEERING - MEP ENGINEERING

TEL: 214.543.9400 www.DimensionGroup.com

TBPE FIRM REGISTRATION #F-8396

STATE OF TEXAS

KEATON L. MAI

125077

LICENSED PROFESSIONAL ENGINEER

11/10/2023

RECORD DRAWING

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ENGINEER OF RECORD: KEATON L. MAI, P.E. THE DIMENSION GROUP, INC. TBPE FIRM F-8396 DATE: November 10, 2023

DATE	REVISION DESCRIPTION	RECORD DRAWINGS
11/10/23		

DATE	PROJECT NO.	DATE	DATE
11/10/23	200-672	11/10/2023	10:05 am

PAVING DETAILS

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

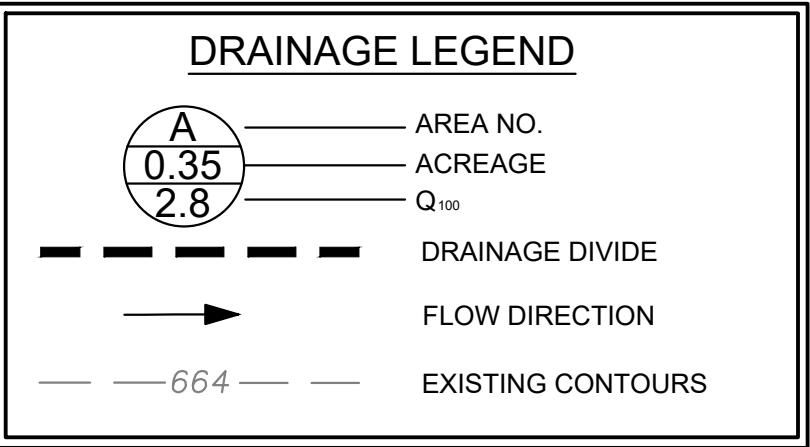
C7.2





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EXISTING DRAINAGE AREAS						
DA	AREA	C	Tc	I100	Q100	COMMENTS
NAME	(acres)		(min)	(in/hr)	(cfs)	
1	9.62	0.35	20.0	8.3	27.95	Overland flow to TxDOT ditch and 8'x4' RBC culvert
2	2.30	0.35	20.0	8.3	6.68	Overland flow to TxDOT ditch and 8'x4' RBC culvert
3	1.38	0.90	10.0	9.8	12.17	Drains across FM 549 to TxDOT ditch
<b>Total</b>	<b>13.30</b>				<b>46.80</b>	

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3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL STANDARDS, SPECIFICATIONS AND DETAILS FOR STORM SEWER CONSTRUCTION.
4. THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES AND REGULATIONS, FEDERAL STATE, COUNTY AND CITY SAFETY CODES AND INSPECTION REQUIREMENTS.
5. TRENCH SAFETY: IF ANY TRENCH ON THIS JOB SITE, INCLUDING OPEN EXCAVATIONS WHOSE DIMENSIONS CAUSE THEM TO BE CONSIDERED TRENCHES BY OSHA, REGARDLESS OF WHETHER FOR THE INSTALLATION OF UTILITIES, FOUNDATIONS OR ANY OTHER SITE ELEMENT, IS EQUAL TO OR GREATER THAN 5.0' DEPTH, THEN THE CONTRACTOR SHALL NOT PERFORM ANY TRENCHING ON THIS SITE UNTIL HE HAS FIRST OBTAINED DETAILED PLANS AND SPECIFICATIONS FOR TRENCH SAFETY SYSTEMS CONFORMING TO OSHA REQUIREMENTS. SUCH PLANS AND SPECIFICATIONS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER EMPLOYED BY OR CONTRACTED BY THE CONTRACTOR AND SHALL BE CONSIDERED A PART OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION. IF THIS PROJECT IS OFFERED FOR BID, THE BIDS MUST CONTAIN A SEPARATE UNIT PRICE PAY ITEM FOR TRENCH SAFETY.
6. WHERE CONSTRUCTION DETAILS AND SPECIFICATIONS ARE NOT NOTED ON THESE PLANS USE CITY OF ROCKWALL STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.

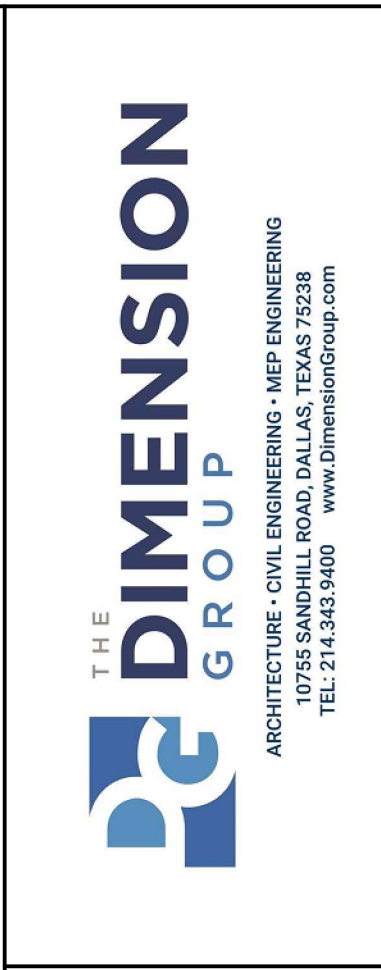
**CAUTION NOTICE TO CONTRACTORS**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.









STATE OF TEXAS  
★  
KEATON L. MAI  
125077  
LICENSED  
PROFESSIONAL ENGINEER

Kamari

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

DATE	REVISION DESCRIPTION
11/10/23	RECORD DRAWINGS

#	STORM DRAINAGE PLAN
1	BREEKSIDE COMMONS UTILITY EXTENSIONS
2	NWC STATE HIGHWAY 205 & FM 549
3	ROCKWALL, TEXAS

SHEET  
C9.3

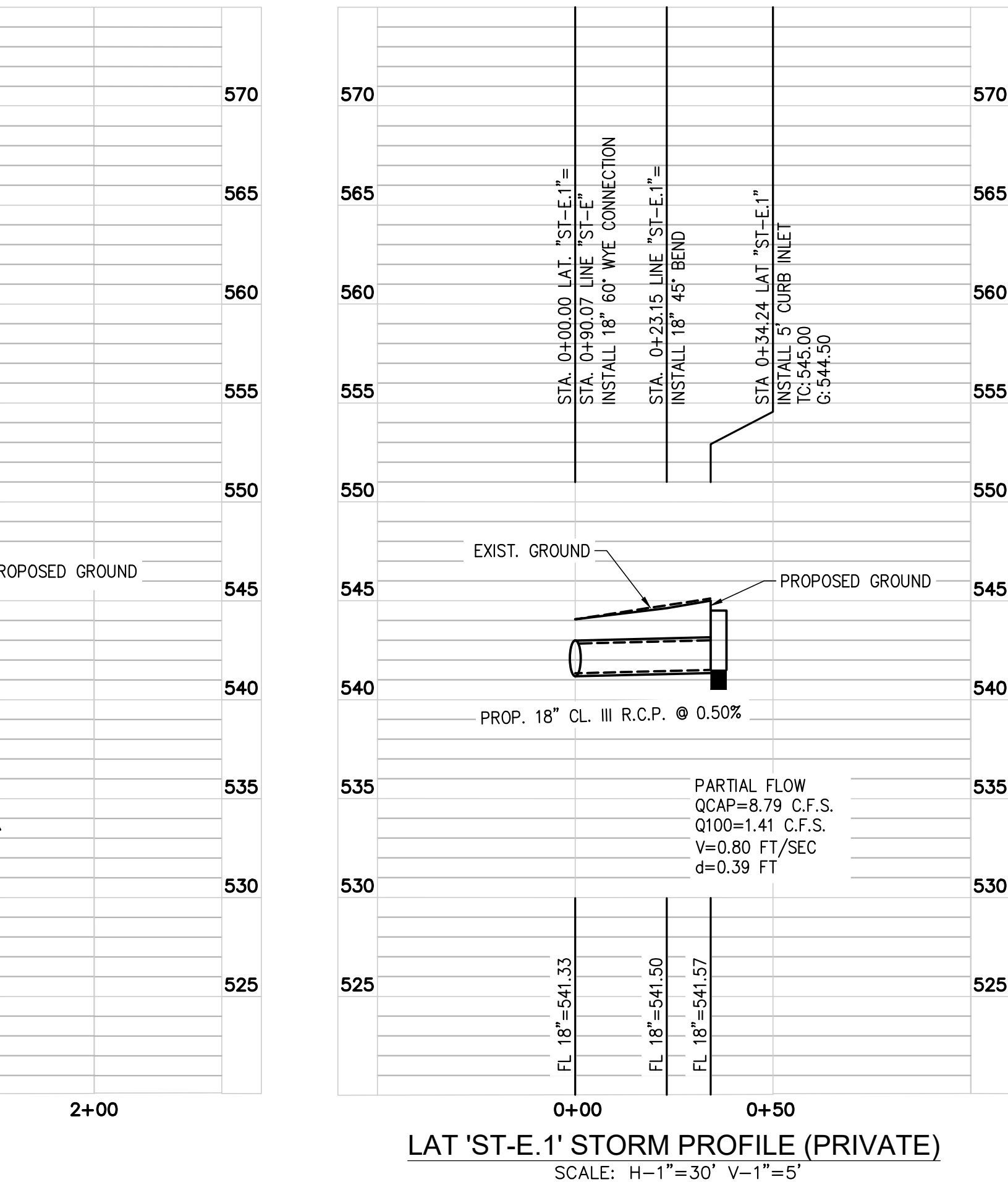
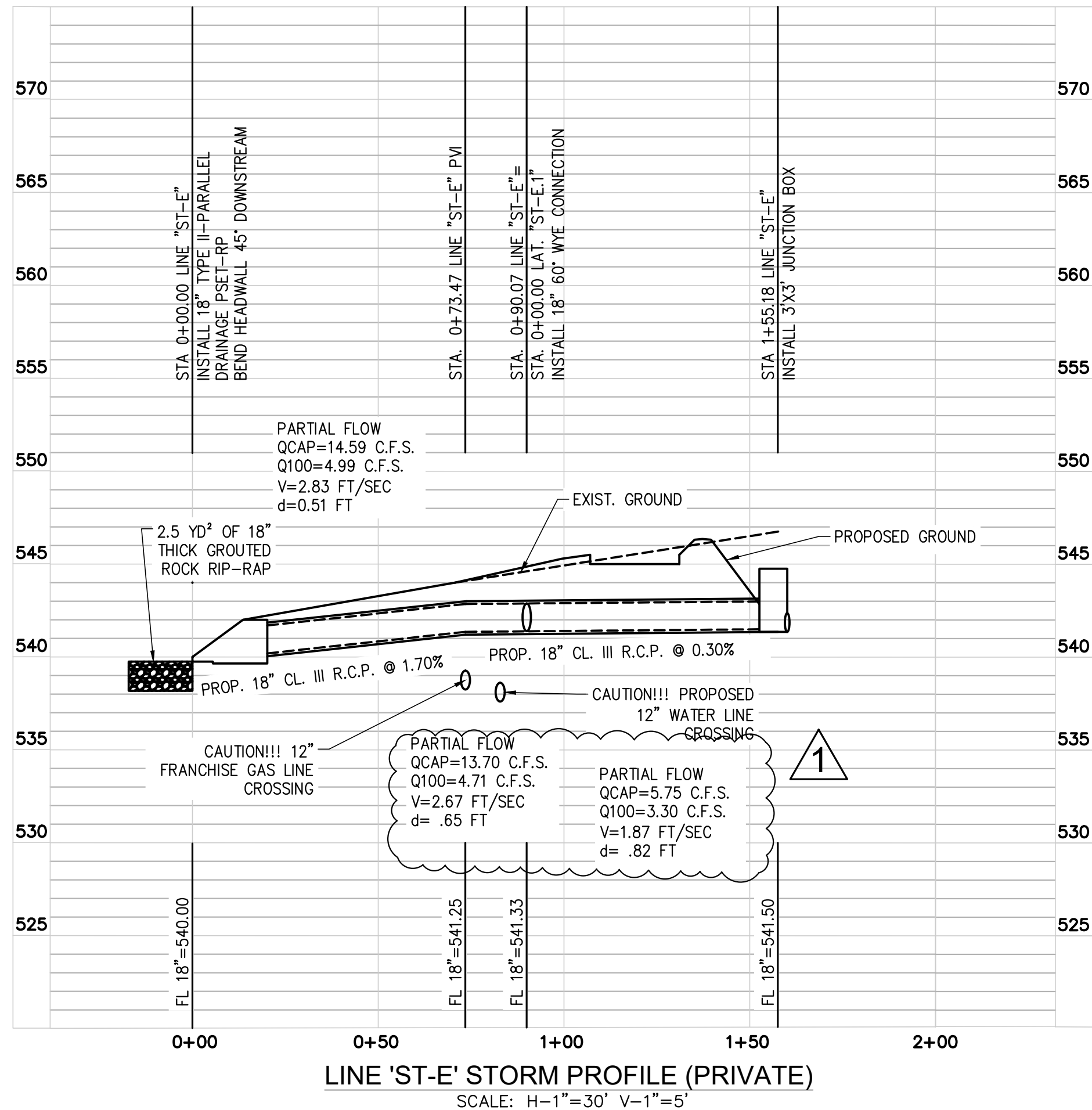
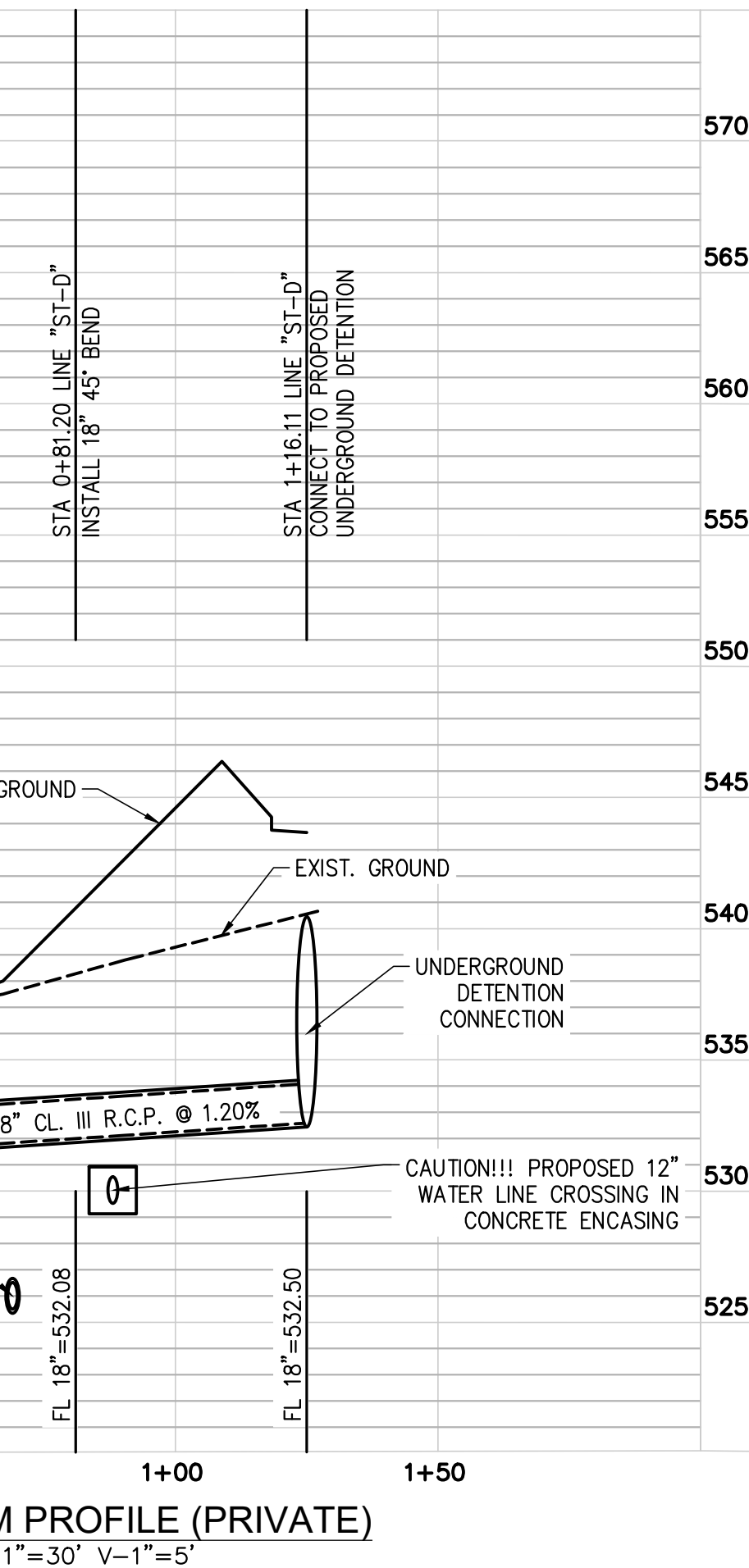
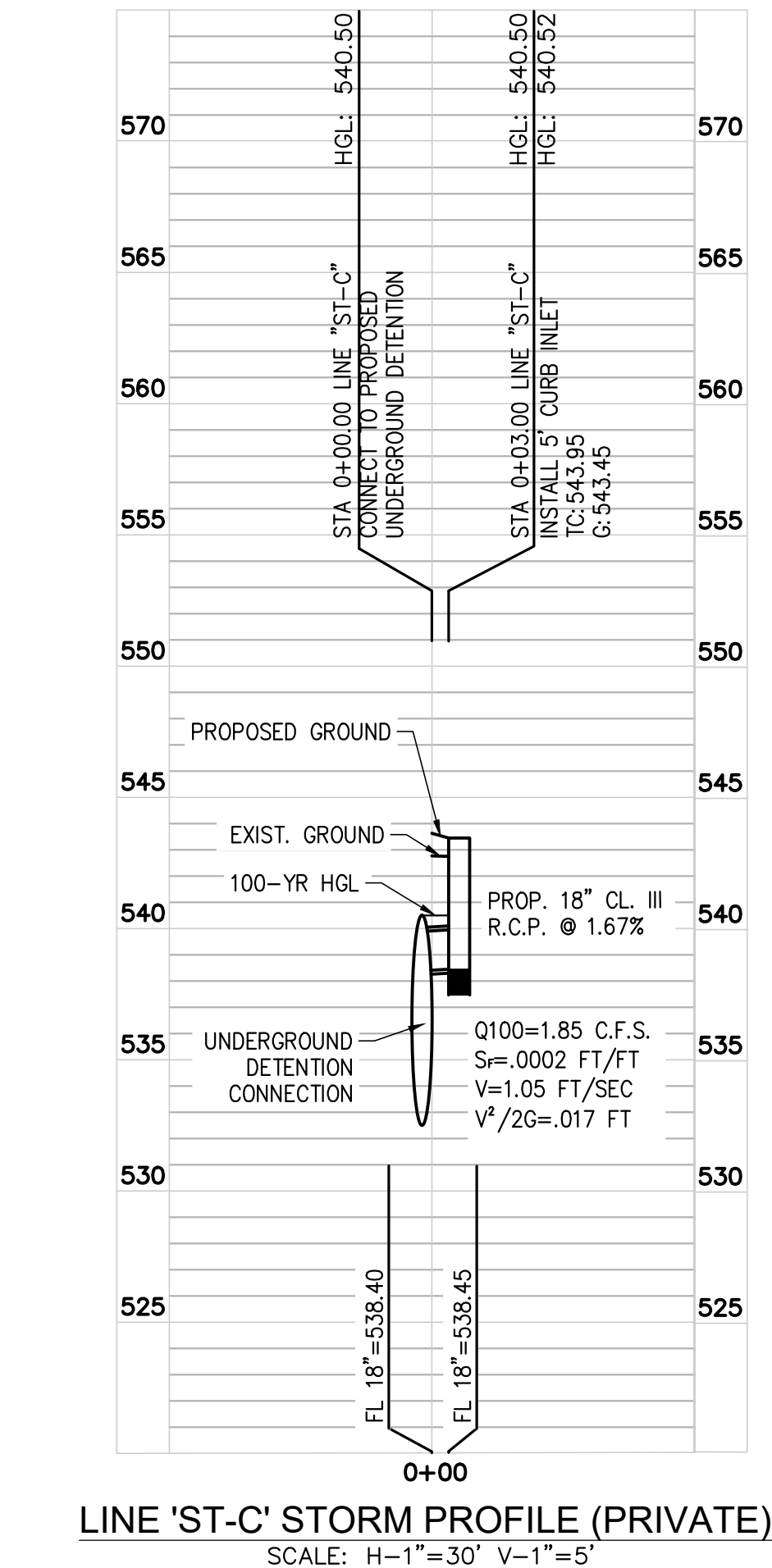
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**CAUTION NOTICE TO CONTRACTORS**

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[24x36]Bs - RD.dwg [v-base.dwg] [C-BASE.dwg] [C-BASE-OFFSITE.dwg] [C-BASE-PRUDENT.dwg]  
Drawing name: L:\PRUDENT DEVELOPMENT\2020\200-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\C3D Sheet\CD\C9.3-STORM DRAINAGE PLAN.dwg Nov 10, 2023 - 10:06am





COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE. N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



[24x36Tbs - RD.dwg] [C-BASE.dwg] [C-BASE-OFFSITE.dwg] [C-BASE-PRUDENT.dwg]  
Drawing name: L:\PRUDENT DEVELOPMENT\2020\200-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\CSD\Sheet\CD\CD-3-1-STORM DRAINAGE PLAN.dwg Nov. 10, 2023 -- 10:06am

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CITY OF ROCKWALL MONUMENTS:  
GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
TEXAS NORTH CENTRAL ZONE (4202).

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.  
N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

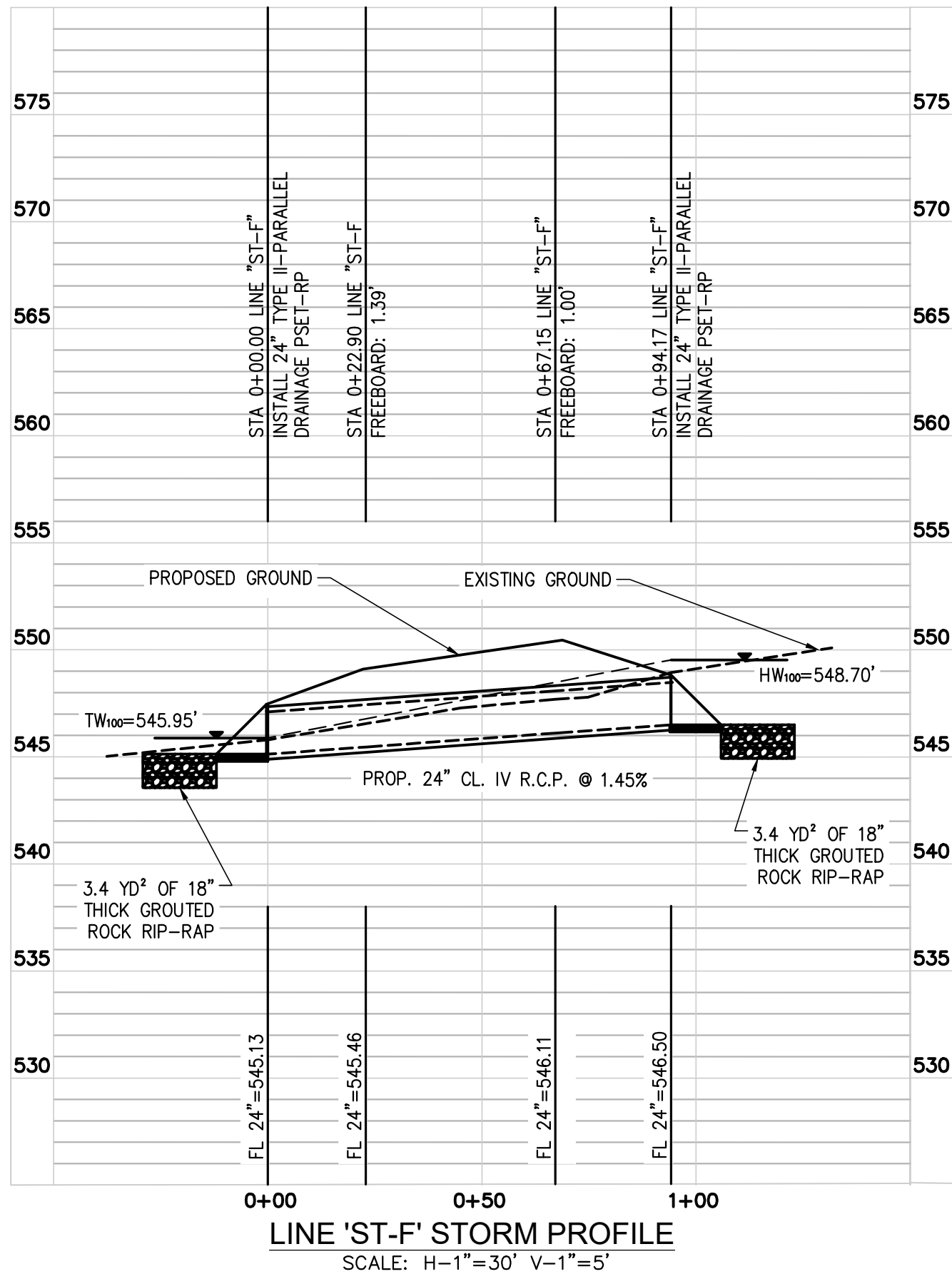
SYSTEM ID	Collection Point Station		Conduit Properties											Incremental Drainage Area										Up-Stream Tc	Design Storm Freq.	Intensity I	Runoff Q	Conduit Capacity Qc	Partial Flow	Velocity V	Time in Conduit	Friction Slope Sr	Friction Head-Loss	HGL		Headloss Calculations					Design HGL	Top of Curb Elev.	HGL Depth Below T/C
			Length	# of Barrels	Pipe Size	Box		Type	Area	Wetted Perimeter Pw	Hydraulic radius	Manning's n	Flowline Elevation		Slope	Inlet ID	Area	Runoff Coeff. C	Incremental C*A	Accum - ulated C*A	U/S	D/S	V <sub>1</sub> <sup>2</sup> / 2g											V <sub>2</sub> <sup>2</sup> / 2g	Jct. Type	Coeff. KJ	Head-loss HL						
	Span	Rise				Up-Stream	Down-Stream						Area	Runoff Coeff. C										Incremental C*A	Accum - ulated C*A	U/S	D/S	V <sub>1</sub> <sup>2</sup> / 2g	V <sub>2</sub> <sup>2</sup> / 2g	Jct. Type	Coeff. KJ	Head-loss HL											
	U/S	D/S	(ft)	(inches)	(ft)	(ft)	(ft²)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(acres)	(min)	(yr)	(in/hr)	(cfs)	(cfs)	(Yes/No)	(ft/s)	(min)	(ft/ft)	(ft)	32	33	(ft)	(ft)	36	37	38	39	40	41									
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41			
LINE ST-A																																											
Proposed 10' Curb Inlet	1+49.1	1+30.5	18.64	1	24			RCP	3.14	6.28	0.5	0.013	538.65	538.53	0.006	LINE ST-A	0.86	0.9	0.774	0.77	10	100-Year	9.8	7.59	28.89	No	2.41	0.13	0.0011	0.021	540.87	540.85	0.091	0.091	Proposed 5' Curb Inlet	1.25	0.11	540.986	543.15	2.164			
45 Degree Bend	1+30.5	1+23.4	7.07	1	24			RCP	3.14	6.28	0.5	0.013	538.53	538.48	0.007		0.86	0.9	0.774	0.77	10	100-Year	9.8	7.59	30.28	No	2.41	0.05	0.0011	0.008	540.82	540.81	0.091	0.091	45 Degree Bend	0.37	0.03	540.852					
45 Degree Bend	1+23.4	0+56.4	67.02	1	24			RCP	3.14	6.28	0.5	0.013	538.48	538.00	0.007		0.86	0.9	0.774	0.77	10	100-Year	9.8	7.59	30.47	No	2.41	0.46	0.0011	0.075	540.78	540.70	0.091	0.091	45 Degree Bend	0.37	0.03	540.811					
45 Degree Bend	0+56.4	0+49.3	7.07	1	24			RCP	3.14	6.28	0.5	0.013	538.00	537.94	0.008		0.86	0.9	0.774	0.77	10	100-Year	9.8	7.59	33.17	No	2.41	0.05	0.0011	0.008	540.67	540.66	0.091	0.091	45 Degree Bend	0.37	0.03	540.702					
45 Degree Bend	0+49.3	0+10.5	38.82	1	24			RCP	3.14	6.28	0.5	0.013	537.94	537.67	0.007		0.86	0.9	0.774	0.77	10	100-Year	9.8	7.59	30.03	No	2.41	0.27	0.0011	0.043	540.63	540.58	0.091	0.091	45 Degree Bend	0.37	0.03	540.661					
Oil/Water Separator	0+10.5	0+00.0	10.51	1	24			RCP	3.14	6.28	0.5	0.013	537.67	537.6	0.007	LINE ST-A.1	0.88	0.9	0.788	0.79	10	100-Year	9.8	7.73	29.39	No	2.46	0.07	0.0012	0.012	540.51	540.50	0.094	0.094	Oil/Water Separator	0.25	0.07	540.583					
LINE ST-A.1																																											
Proposed 2 Grate Inlet	2+23.0	1+33.3	89.72	1	6			PVC	0.20	1.57	0.125	0.01	541.65	540.05	0.018	LINE ST-A.1	0.02	0.9	0.014	0.014	10	100-Year	9.8	0.14	0.98	Yes	0.72	2.08	0.0004	0.033	540.67	540.64	0.008	0.008	Grate Inlet	1.25	0.01	540.682	545.15	4.468			
45 Degree Bend	1+33.3	1+23.3	9.96	1	6			PVC	0.20	1.57	0.125	0.01	540.05	539.87	0.018		0.02	0.9	0.014	0.014	10	100-Year	9.8	0.14	0.98	Yes	0.72	0.23	0.0004	0.004	540.64	540.63	0.008	0.008	45 Degree Bend	0.37	0.003	540.638					
45 Degree Bend	1+23.3	0+00.0	123.31	1	6			PVC	0.20	1.57	0.125	0.01	539.87	537.67	0.018		0.02	0.9	0.014	0.014	10	100-Year	9.8	0.14	0.98	Yes	0.72	2.86	0.0004	0.046	540.63	540.58	0.008	0.008	45 Degree Bend	0.37	0.003	540.632					
LINE ST-B																																											
#12 Catch Basin	1+33.4	1+27.5	5.86	1	18			RCP	1.77	4.71	0.375	0.013	540.30	540.21	0.016	LINE ST-B	0.45	0.9	0.405	0.405	10	100-Year	9.8	3.97	20.93	Yes	2.25	0.04	0.0014	0.008	540.81	540.80	0.078	0.078	Proposed 5' Curb Inlet	1.25	0.098	540.903	544.90	3.997			
45 Degree Bend	1+27.5	1+24.0	3.54	1	18			RCP	1.77	4.71	0.375	0.013	540.21	540.15	0.016		0.45	0.9	0.405	0.405	10	100-Year	9.8	3.97	21.43	Yes	2.25	0.03	0.0014	0.005	540.77	540.76	0.078	0.078	45 Degree Bend	0.37	0.029	540.797					
45 Degree Bend	1+24.0	0+48.0	76.04	1	18			RCP	1.77	4.71	0.375	0.013	540.15	538.96	0.016		0.45	0.9	0.405	0.405	10	100-Year	9.8	3.97	20.92	Yes	2.25	0.56	0.0014	0.108	540.73	540.63	0.078	0.078	45 Degree Bend	0.37	0.029	540.763					
45 Degree Bend	0+48.0	0+40.9	7.07	1	18			RCP	1.77	4.71	0.375	0.013	538.96	538.85	0.016		0.45	0.9	0.405	0.405	10	100-Year	9.8	3.97	20.85	Yes	2.25	0.05	0.0014	0.010	540.60	540.59	0.078	0.078	45 Degree Bend	0.37	0.029	540.626					
45 Degree Bend	0+40.9	0+00.0	40.88	1	18			RCP	1.77	4.71	0.375	0.013	538.85	538.21	0.016		0.45	0.9	0.405	0.405	10	100-Year	9.8	3.97	20.92	Yes	2.25	0.30	0.0014	0.058	540.56	540.50	0.078	0.078	45 Degree Bend	0.37	0.029	540.587					
LINE ST-C																																											
Proposed 5' Curb Inlet	0+03.0	0+00.0	3.00	1	18			RCP	1.77	4.71	0.375	0.013	538.45	538.40	0.017	LINE ST-C	0.21	0.9	0.189	0.189	10	100-Year	9.8	1.85	21.58	No	1.05	0.05	0.0003	0.001	540.50	540.50	0.017	0.017	Proposed 5' Curb Inlet	1.25	0.021	540.522	543.95	3.428			
LINE ST-D																																											
Underground Detention	1+16.1	0+81.2	34.91	1	18			RCP	1.77	4.71	0.375	0.013	532.50	532.08	0.012	LINE ST-D					10	100-Year	9.8	3.32	18.34	Yes	1.88	0.31	0.0010	0.035	532.50	531.08	0.055	0.055	Underground Detention	1.25	0.069	532.569	540.50	7.931			
45 Degree Bend	0+81.2	0+00.0	81.20	1	18			RCP	1.77	4.71	0.375	0.013	532.08	531	0.013	LINE ST-D					10	100-Year	9.8	3.32	19.28	Yes	1.88	0.72	0.0010	0.081	531.08	531.00	0.055	0.055	45 Degree Bend	0.37	0.020	531.101					
LINE ST-E																																											
Detention Pond (Orifice)	1+55.2	0+90.1	65.11	1	18			RCP	1.77	4.71	0.375	0.013	541.50	541.33	0.003	LINE ST-E					10	100-Year	9.8	3.30	8.54	Yes	1.87	0.58	0.0010	0.064	541.97	541.91	0.054	0.054	Detention Pond	1.25	0.068	542.042	546.50	4.458			
60 Degree Wye Connection	0+90.1	0+73.5	16.60	1	18			RCP	1.77	4.71	0.375	0.013	541.33	541.25	0.003	LINE ST-E.1	0.16	0.9	0.144	0.144	10	100-Year	9.8	4.71	9.16	Yes	2.67	0.10	0.0020	0.033	541.74	541.70	0.110	0.110	Wye Connection	0.37	0.041	541.776					
Slope Change	0+73.5	0+00.0	73.47	1	18			RCP	1.77	4.71	0.375	0.013	541.25	540.00	0.017		0.16	0.9	0.144	0.144	10	100-Year	9.8	4.71	21.81	Yes	2.67	0.46	0.0020	0.147	541.65	541.50	0.110	0.110	Slope Change	0.5	0.055	541.702					
LINE ST-E.1																																											
Proposed 5' Curb Inlet	0+34.2	0+00.0	34.24	1	18			RCP	1.77	4.71	0.375	0.013	541.50	541.43	0.002	LINE ST_E.1	0.16	0.9	0.144	0.144	10	100-Year	9.8	1.41	7.56	Yes	0.80	0.71	0.0002	0.006	541.71	541.70	0.010	0.010	Proposed 5' Curb Inlet	1.25	0.012	541.721	545.00	3.279			
45 Degree Bend	0+23.2	0+00.0	23.15	1	18			RCP	1.77	4.71	0.375	0.013	541.43	541.33	0.004	LINE ST_E.1	0.16	0.9	0.144	0.144	10	100-Year	9.8	1.41	10.99	Yes	0.80	0.48	0.0002	0.004	541.50	541.50	0.010	0.010	45 Degree Bend	0.37	0.004	541.508					

Inlet ID	Location			Design Freq.	Area Runoff					Upstream Bypass C*A	Total Gutter Flow Qa	Gutter Flow										Inlets Capacity										Inlet By-pass				Remarks				
	Alignment	Station	Offset		C	Area ID	Time of Concentration Tc	Intensity I	Area A			Runoff Q	Thoroughfare Type	On-Grade/ Sag	Manning's n	Long Slope S	Crown Type	Cross Slope Sx	Depression		Ponding Width/ Spread		Depth of Gutter Flow		Max. Allowable Flow based on Max. Allowable Ponding Width Qallow gutter	Depressed Gutter Section		Section Beyond Depression		Conveyance		Ratio of Depression flow to Total Flow Eo	Equivalent Cross-slope, Se	Inlet Length			Inlet Capacity Qc	Flow Qbypass	C*A	To Inlet ID
																			Depth a	Width W	(allow) Tallow	(actual) Tactual	(allow) Yallow	(actual) Yactual		Area	Wetted Perimeter	Area	Wetted Perimeter	Depression Section Kw	Section Beyond Depression Ko			Required Lreq'd	Actual Lactual					
(yr)	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41
Curb Inlet #1	Line B	1+31.1	N/A	100- yr	0.9	DA 1	10	9.8	0.45	3.97	0	3.97	Parking	Sag	0.0175	0.011	N/A	0.018	0.5	2	45.45	13.08	0.82	0.24	109.19	0.94	2.07	1.11	11.08	46.73	20.20	0.70	0.19	11.50	5	14.64	N/A	N/A	N/A	
Curb Inlet #2	Line C	0+03.4	N/A	100- yr	0.9	DA 2	10	9.8	0.21	1.85	0	1.85	Parking	Sag	0.0175	0.016	N/A	0.028	0.5	2	32.05	7.07	0.88	0.19	103.80	0.83	2.08	0.35	5.07	38.53	5.07	0.88	0.25	5.80	5	16.37	N/A	N/A	N/A	
Curb Inlet #3	Lat. E.1	0+23.2	N/A	100- yr	0.9	OS 14	10	9.8	0.16	1.41	0	1.41	Parking	Sag	0.0175	0.022	N/A	0.020	0.5	2	22.73	7.30	0.45	0.15	28.99	0.75	2.07	0.28	5.30	32.49	3.37	0.91	0.25	7.40	5	6.06	N/A	N/A	N/A	
Curb Inlet #4	Line A	1+49.1	N/A	100- yr	0.9	DA 3	10	9.8	0.86	7.59	0	7.59	Parking	Sag	0.0175	0.012	N/A	0.012	0.5	2	41.67	21.37	0.49	0.25	44.73	0.98	2.07	2.21	19.37	50.65	44.26	0.53	0.15	22.45	10	10.78	N/A	N/A	N/A	



TRIAL CULVERT										HEADWATER CALCULATIONS																	The Greater Controlling Head Water (Inlet or Outlet) (feet)	SELECTED CONDUIT SIZE
Trial Area of Opening T=Ac=Q/Vmax (sq. ft.)	Channel Width "W" (feet)	DEPTH RANGE		Try Depth "D" (feet)	POSSIBLE CULVERT SIZES					INLET CONTROL (See Figure 25&26)					OUTLET CONTROL (See Figure 27, 28, 29, & 30)													
		T*Ac W	AHW (feet)		No. Openings	Width of Box "B" (feet)	Box Depth or Pipe Dia. "D" (feet)	Total Culvert Area "Ac" (sq. ft.)	"Q" Each Opening (c.f.s.)	Entrance Type	Case No.	Q B (c.f.s.)	HW D (figure 25&26)	HW	Entrance Coeff. Ke	Case III				Case IV								
																"H" (feet) (figure 27&28)	"TW" (feet)	L x So (feet)	HW (feet)	"H" (feet) (figure 27&28)	dc (feet) (figure 29&30)	dc+D 2 (feet)	TW (feet)	ho (feet)	L x So (feet)	"HW" (feet)		
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29
2.91	2	1.45	3.08	2	1	N/A	2	3.14	23.24	5	II	N/A	1.5	3	0.2	1.6	0.85	1.37	1.08	1.6	0.85	1.43	0.85	1.43	1.37	1.66	3.00	24" pipe

CULVERT DESIGN			
CULVERT LOCATION:		SH 205- 7-Eleven Driveway	
LENGTH, L	94.17 ft		
TOTAL DISCHARGE, Q	23.24	DESIGN STORM FREQ.	100 yr
ROUGHNESS COEFF., n	0.013	MAX. VEL.	8 F.P.S.
TAILWATER	0.85	D.S. CHANNEL WIDTH	2'
ENTRANCE DESCRIPTION		Bell end with headwall, type 5	
RDWY. ELEV. 550.58		U.S. CULV. F.L. 546.50	
U.S. CULV. F.L. 546.50		D.S. CULV. F.L. 545.13	
DIFFERENCE 4.08		DIFFERENCE 1.37 f.t.	
REQ'D FREEBOARD 1 F.T.		CULV. SLOPE, So= $\frac{\text{DIFF. FT}}{\text{LENGTH FT}}$	
ALLOW. HEADWATER 3.08 F.T.		S <sub>o</sub> = 0.015	



STORM DRAIN NOTES:

1. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR HIS MEANS AND METHODS OF CONSTRUCTION, JOB SITE CONDITIONS AND JOB SITE SAFETY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL SAVE, PROTECT, INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER, THE ARCHITECT AND THE ENGINEER FROM ANY CLAIM OF LIABILITY, REAL OR ALLEGED, ARISING OUT OF THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL NAME THE OWNER, THE ARCHITECT AND THE ENGINEER AS "ADDITIONAL INSURED" ON HIS INSURANCE POLICIES.
2. EXISTING ABOVE GROUND UTILITIES HAVE BEEN SHOWN BASED ON INFORMATION SHOWN ON A SURVEY OF THE PROPERTY BY OTHERS. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA AND MAY NOT BE COMPLETE OR EXACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES AND ESTABLISHING THEIR EXACT LOCATION AND DEPTH PRIOR TO SETTING ANY FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ABOVE GROUND OR UNDERGROUND UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS ADVISED TO CONTACT THE CITY AND ALL FRANCHISE UTILITY COMPANIES, EASEMENT HOLDERS, ETC. AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION IN THE VICINITY OF ANY UNDERGROUND UTILITY.
3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL STANDARDS, SPECIFICATIONS AND DETAILS FOR STORM SEWER CONSTRUCTION.
4. THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES AND REGULATIONS, FEDERAL STATE, COUNTY AND CITY SAFETY CODES AND INSPECTION REQUIREMENTS.
5. TRENCH SAFETY: IF ANY TRENCH ON THIS JOB SITE, INCLUDING OPEN EXCAVATIONS WHOME DIMENSIONS CAUSE THEM TO BE CONSIDERED TRENCHES BY OSHA, REGARDLESS OF WHETHER FOR THE PROTECTION OF UTILITIES OR ANY OTHER SITE ELEMENT, IS EQUAL TO OR GREATER THAN 5.00' DEPTH, THEN THE CONTRACTOR SHALL NOT PERFORM ANY TRENCHING ON THIS SITE UNTIL HE HAS FIRST OBTAINED DETAILED PLANS AND SPECIFICATIONS FOR TRENCH SAFETY SYSTEMS CONFORMING TO OSHA REQUIREMENTS. SUCH PLANS AND SPECIFICATIONS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER EMPLOYED BY OR CONTRACTED BY THE CONTRACTOR AND SHALL BE CONSIDERED A PART OF THE CONTRACTOR'S MEANS AND METHOD'S OF CONSTRUCTION. IF THIS PROJECT IS OFFERED FOR BID, THE BIDS MUST CONTAIN A SEPARATE UNIT PRICE PAY ITEM FOR TRENCH SAFETY.
6. WHERE CONSTRUCTION DETAILS AND SPECIFICATIONS ARE NOT NOTED ON THESE PLANS USE CITY OF ROCKWALL STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION.

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## CITY OF ROCKWALL MONUMENTS:

GEODETIC CONTROL MONUMENTS - NORTH AMERICAN DATUM - 1983 (2011)  
TEXAS NORTH CENTRAL ZONE (4202).

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT"  
AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND  
WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON  
 THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER  
 OF CURB INLET  $\pm 180$  FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.  
 N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



11/10/2023

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## RECORD DRAWING

THESE RECORD  
DRAWINGS HAVE BEEN  
PREPARED BASED ON  
FIELD OBSERVATIONS AND  
INFORMATION PROVIDED  
BY THE CONTRACTOR.  
ELEVATIONS HAVE NOT  
BEEN VERIFIED.  
THE ORIGINAL SEALED  
CONSTRUCTIONS PLANS  
ARE ON FILE AT THE CITY  
OF FRISCO.

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

#	DATE	REVISION DESCRIPTION
1	11/10/23	RECORD DRAWINGS
2		
3		
4		
5		
project no. 200-672		
date 11/10/2023		10:06 am

## CULVERT PROFILE AND CALCULATIONS

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

## C9.6



5 YR. MODIFIED RATIONAL METHOD- POND 1			
EXISTING SITE CONDITIONS (5 YR CRITERIA)			
C	i	A	Q
0.35	4.90	1.72	2.95
Areas 1-6 are evaluated for detention calculations			
PROPOSED SITE CONDITIONS (100 YR CRITERIA)			
Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		1.72	acres
Bypass Drainage Areas 4-5 (A) =		0.19	acres
Detained Drainage Area (A) =		1.53	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CIA)		1.04	cfs
Max Allowable Outflow Rate (Q=CIA)		1.91	cfs

25 YR. MODIFIED RATIONAL METHOD- POND 1			
EXISTING SITE CONDITIONS (25 YR CRITERIA)			
C	i	A	Q
0.35	6.60	1.72	3.97
Areas 1-6 are evaluated for detention calculations			
PROPOSED SITE CONDITIONS (100 YR CRITERIA)			
Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		1.72	acres
Bypass Drainage Areas 4-5 (A) =		0.19	acres
Detained Drainage Area (A) =		1.53	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CiA)		1.42	cfs
Max Allowable Outflow Rate (Q=CiA)		2.55	cfs

**CITY OF ROCKWALL MONUMENTS:**  
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C	i	A	Q
0.35	5.90	1.72	3.55
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Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		1.72	acres
Bypass Drainage Areas 4-5 (A) =		0.19	acres
Detained Drainage Area (A) =		1.53	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CIA)		1.21	cfs
Max Allowable Outflow Rate (Q=CIA)		2.34	cfs

<b>EXISTING SITE CONDITIONS (100 YR CRITERIA)</b>			
C	i	A	Q
0.35	8.30	1.72	5.00
Areas 1-6 are evaluated for detention calculations			
<b>PROPOSED SITE CONDITIONS (100 YR CRITERIA)</b>			
Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		1.72	acres
Bypass Drainage Areas 4-5 (A) =		0.19	acres
Detained Drainage Area (A) =		1.53	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CIA)		1.68	cfs
<b>Max Allowable Outflow Rate (Q=CIA)</b>		<b>3.32</b>	<b>cfs</b>

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TBPE FIRM REGISTRATION  
 #F-8396



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**RECORD DRAWING**

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THE ORIGINAL SEALED CONSTRUCTIONS PLANS ARE ON FILE AT THE CITY OF FRISCO.

ENGINEER OF RECORD:  
KEATON L. MAI, P.E.  
THE DIMENSION GROUP,  
INC. TBPE FIRM F-8396  
DATE: November 10, 2023

#	DATE	REVISION DESCRIPTION
1	11/10/23	RECORD DRAWINGS
2		
3		
4		
5		
project no. 200-672		
date 11/10/2023		10:06 am

POND 1 DETENTION CALCULATIONS

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CREEKSIDE COMMONS UTILITY EXTENSION  
 NWC STATE HIGHWAY 205 & FM 549  
 ROCKWALL, TEXAS

SHEET

C9.7

[24x36Tb - RD.dwg] [v-base.dwg] [c-BASE.dwg] [C-BASE-OFFSITE.dwg] [C-BASE-PRUDENT.dwg]  
Drawing name: L:\PRUDENT DEVELOPMENT\2020\200-672 & 200-673 - TBD - Rockwall, TX (205 & 549)\02 Civil\C30\Sheet\CD\C9.3-STORM DRAINAGE PLAN.dwg Nov 10, 2023 - 10:06am

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5 YR. MODIFIED RATIONAL METHOD- POND 2			
EXISTING SITE CONDITIONS (5 YR CRITERIA)			
C	i	A	Q
0.35	4.90	3.20	5.49
Areas OS2, OS6-OS9, & OS14 are evaluated for offsite detention calculations			
PROPOSED SITE CONDITIONS (5 YR CRITERIA)			
Runoff Coefficient (C) =	0.9		
Total Drainage Area (A) =	3.20		acres
Bypass Drainage Areas OS6-OS9 & OS14 (A) =	0.68		acres
Detained Drainage Area (A) =	2.52		acres
Time of Concentration (tc) =	10		minutes
100 Yr Bypass Rate (Q=CIA)	3.73		cfs
Max Allowable Outflow Rate (Q=CIA)	1.75		cfs

25 YR. MODIFIED RATIONAL METHOD- POND 2			
EXISTING SITE CONDITIONS (25 YR CRITERIA)			
C	i	A	Q
0.35	6.60	3.20	7.39
Areas OS2, OS6-OS9, & OS14 are evaluated for offsite detention calculations			
PROPOSED SITE CONDITIONS (25 YR CRITERIA)			
Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		3.20	acres
Bypass Drainage Areas OS6-OS9 & OS14 (A) =		0.68	acres
Detained Drainage Area (A) =		2.52	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CIA)		5.08	cfs
Max Allowable Outflow Rate (Q=CIA)		2.31	cfs

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10 YR. MODIFIED RATIONAL METHOD- POND 2			
EXISTING SITE CONDITIONS (10 YR CRITERIA)			
C	i	A	Q
0.35	5.90	3.20	6.61
Areas OS2, OS6-OS9, & OS14 are evaluated for offsite detention calculations			
PROPOSED SITE CONDITIONS (10 YR CRITERIA)			
Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		3.20	acres
Bypass Drainage Areas OS6-OS9 & OS14 (A) =		0.68	acres
Detained Drainage Area (A) =		2.52	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CIA)		4.35	cfs
Max Allowable Outflow Rate (Q=CIA)		2.26	cfs

100 YR. MODIFIED RATIONAL METHOD- POND 2			
EXISTING SITE CONDITIONS (100 YR CRITERIA)			
C	i	A	Q
0.35	8.30	3.20	9.30
Areas OS2, OS6-OS9, & OS14 are evaluated for offsite detention calculations			
PROPOSED SITE CONDITIONS (100 YR CRITERIA)			
Runoff Coefficient (C) =		0.9	
Total Drainage Area (A) =		3.20	acres
Bypass Drainage Areas OS6-OS9 & OS14 (A) =		0.68	acres
Detained Drainage Area (A) =		2.52	acres
Time of Concentration (tc) =		10	minutes
100 Yr Bypass Rate (Q=CIA)		6.00	cfs
Max Allowable Outflow Rate (Q=CIA)		3.30	cfs

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**DETENTION NOTE**  
POND 2 IS DESIGNED TO PROVIDE DETENTION VOLUME FOR THE TWO OFFSITE DRIVES SERVING LOT 1. THE POND WILL REMAIN IN PLACE UNTIL LOT 2 IS DEVELOPED OR A REGIONAL DETENTION POND IS CONSTRUCTED. ANY FUTURE DEVELOPMENT THAT ELIMINATES POND 2 WOULD BE REQUIRED TO OFFSET THE DETENTION PROVIDED BY POND 2.

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## C9.8





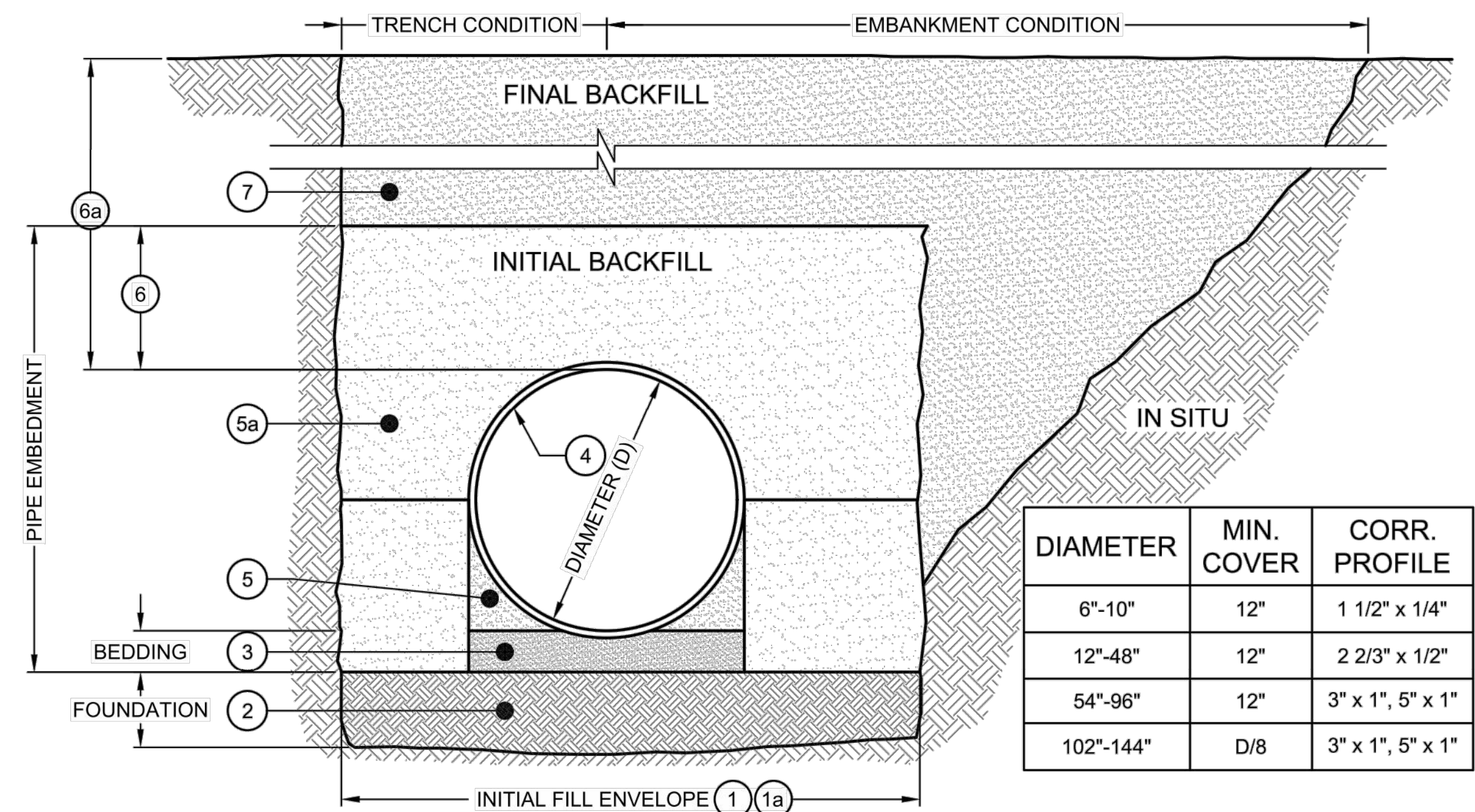












- 1 MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE.  
THE MINIMUM TRENCH WIDTH (12.6.6.1):  
PIPE  $\leq 12"$ :  $D + 16"$   
PIPE  $> 12"$ :  $1.5D + 12"$
- 1a MINIMUM EMBANKMENT WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE (12.6.6.2):  
PIPE  $< 24"$ :  $3.0D$   
PIPE  $24" - 144"$ :  $D + 4'0"$   
PIPE  $> 144"$ :  $D + 10'0"$
- 2 THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (26.5.2).
- 3 ENGINEER TO DETERMINE IF BEDDING IS REQUIRED. BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORRUGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRUGATION DEPTH (26.3.8.1, 26.5.3).
- 4 CORRUGATED STEEL PIPE (CSP / HEL-COR).
- 5 HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (26.5.4).
- 5a INITIAL BACKFILL FOR PIPE EMBEDMENT TO MEET AASHTO A-1, A-2 OR A-3 CLASSIFICATION, OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (T 99). MAXIMUM PARTICLE SIZE NOT TO EXCEED 3" (12.4.1.2). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN 8" UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADING, AND THE LESSER OF 1/3 THE DIAMETER OR 24" AS THE MAXIMUM DIFFERENTIAL SIDE-TO-SIDE (26.5.4).
- 6 INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL (AND RIGID PAVEMENT IF APPLICABLE). SEE TABLE ABOVE.
- 6a TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT (12.6.6.3).
- 7 FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (26.5.4.1).

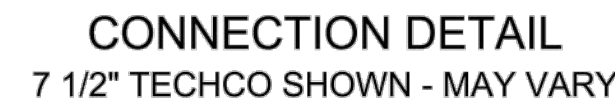
- TYPICAL BACKFILL DETAIL**  
NOT TO SCALE

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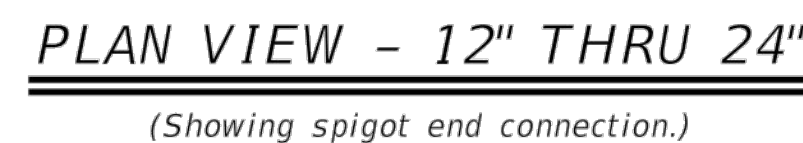


C9.15



[24x36TBS - RD.dwg] [v-base.dwg] [C-BASE.dwg] [C-BASE-OFFSITE.dwg] [C-BASE-PRUDENT.dwg]

DATE: \_\_\_\_\_  
FILE: \_\_\_\_\_



- 

(If required,



(If required)

Pipe I.D.	Min Wall Thickness	Min O.D.	Min O.D. at Tapered End	Min Reinf Requirements (sq. in. per ft. of Pipe)	Max Slope	Min Length of Unit	Pipe Runner Requirements		Required Pipe Runner Sizes		
							Single Pipe	Multiple Pipe	Nominal Dia	O.D.	I.D.
12"	2"	16"	16"	0.07 Circ.	6:1	4' - 0"	No	(5)	3" STD	3.500"	3.068"
15"	2 ¼"	19 ½"	19"	0.07 Circ.	6:1	5' - 8"	No	(5)	3" STD	3.500"	3.068"
18"	2 ½"	23"	21 ½"	0.07 Circ.	6:1	7' - 3"	No	(5)	3" STD	3.500"	3.068"
24"	3"	30"	27"	0.07 Circ.	6:1	10' - 6"	No	(5)	3" STD	3.500"	3.068"
30"	3 ½"	37"	31"	0.18 Circ.	6:1	12' - 1"	No	Yes	4" STD	4.500"	4.026"
36"	4"	44"	36"	0.19 Ellip.	6:1	15' - 4"	Yes	Yes	4" STD	4.500"	4.026"
42"	4 ½"	51"	41 ½"	0.23 Ellip.	6:1	18' - 7"	Yes	Yes	4" STD	4.500"	4.026"

Cast in place concrete end treatment for reinforced concrete pipe (RCP) may be used for TYPE II end treatment as specified in Item 467, "Safety End Treatment".

When precast safety end treatment is used as a Contractor's alternate to mitered RCP, riprap will not be required unless noted otherwise on the plans.

Manufacture precast concrete end sections in accordance with Item 464, "Reinforced Concrete Pipe" and in accordance with ASTM Specification C-76, Class III, Wall B for circular pipe.

Provide precast concrete end sections with a spigot or bell end for compatibility to upstream or downstream end conditions with sufficient annular space to allow for grout, mortar, cold applied asphalt joint compound or pre-formed plastic gasket material.

Methods of lifting shall be provided by the manufacturer for ease of loading, unloading and installation.

Pipe runners are designed for a traversing load of 10,000 Lbs at yield as recommended by Research Report 280-2F, "Safety Treatment of Roadside Parallel-Drainage Structures", Texas Transportation Institute, March 1981.

**Bridge  
Division  
Standard**

# PRECAST SAFETY END TREATMENT

TYPE II ~ PARALLEL DRAINAGE

**PSET-RP**

FILE: psetrpss-20.dgn	DN: RLW	CK: KLR	DW: JTR	CK: GAF
©TxDOT February 2020	CONT	SECT	JOB	HIGHWAY
REVISIONS	DIST	COUNTRY		SHEET NO.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

#	DATE	REVISION DESCRIPTION
1	11/10/23	RECORD DRAWINGS
project no.	200-672	
date	11/10/2023 - 10:07 am	

## SAFETY END TREATMENT DETAIL

CREEKSIDE COMMONS UTILITY EXTENSIONS  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

C9.16

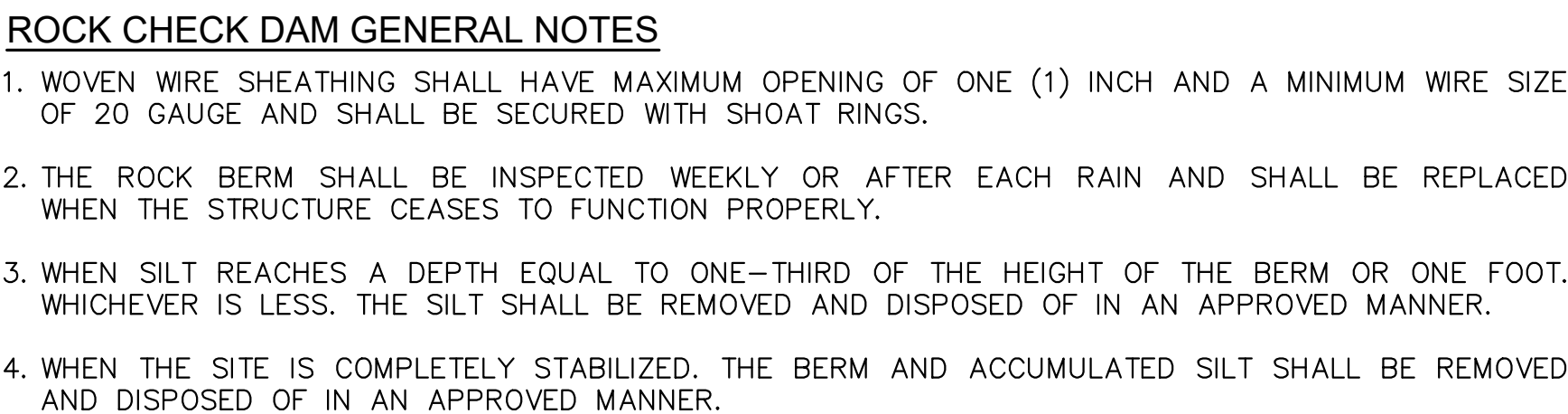
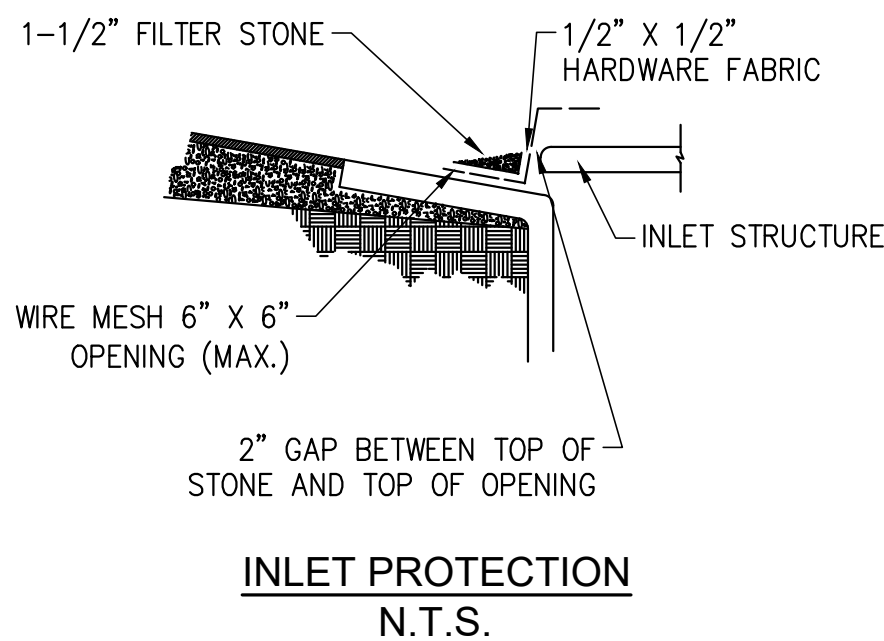








11. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. & ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A.. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. STORM WATER POLLUTION PREVENTION REQUIREMENTS.
12. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF THE EROSION OF THE CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.





**CAUTION NOTICE TO CONTRACTORS**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUCH CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL  
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:

FM HWY 549 - ±242' OF STREET FRONTAGE:

SH-205 OVERLAY ZONE:  
±236' OF STREET FRONTAGE

PROVIDED 20' BUFFER - SH 205:

05.02 LANDSCAPE SCREENING  
REQ. HEADLIGHT SCREENING

PROVIDED SCREENING

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT

TOTAL SITE AREA: 65,466 SF  
LANDSCAPE AREA REQUIRED TOTAL SITE: 13,093.2 SF (20%)  
LANDSCAPE PROVIDED, TOTAL SITE: 14,381.2 SF (21.9%)

LOCATION OF LANDSCAPING:

MIN. SIZE OF AREAS

DETENTION BASINS

PARKING LOT LANDSCAPING

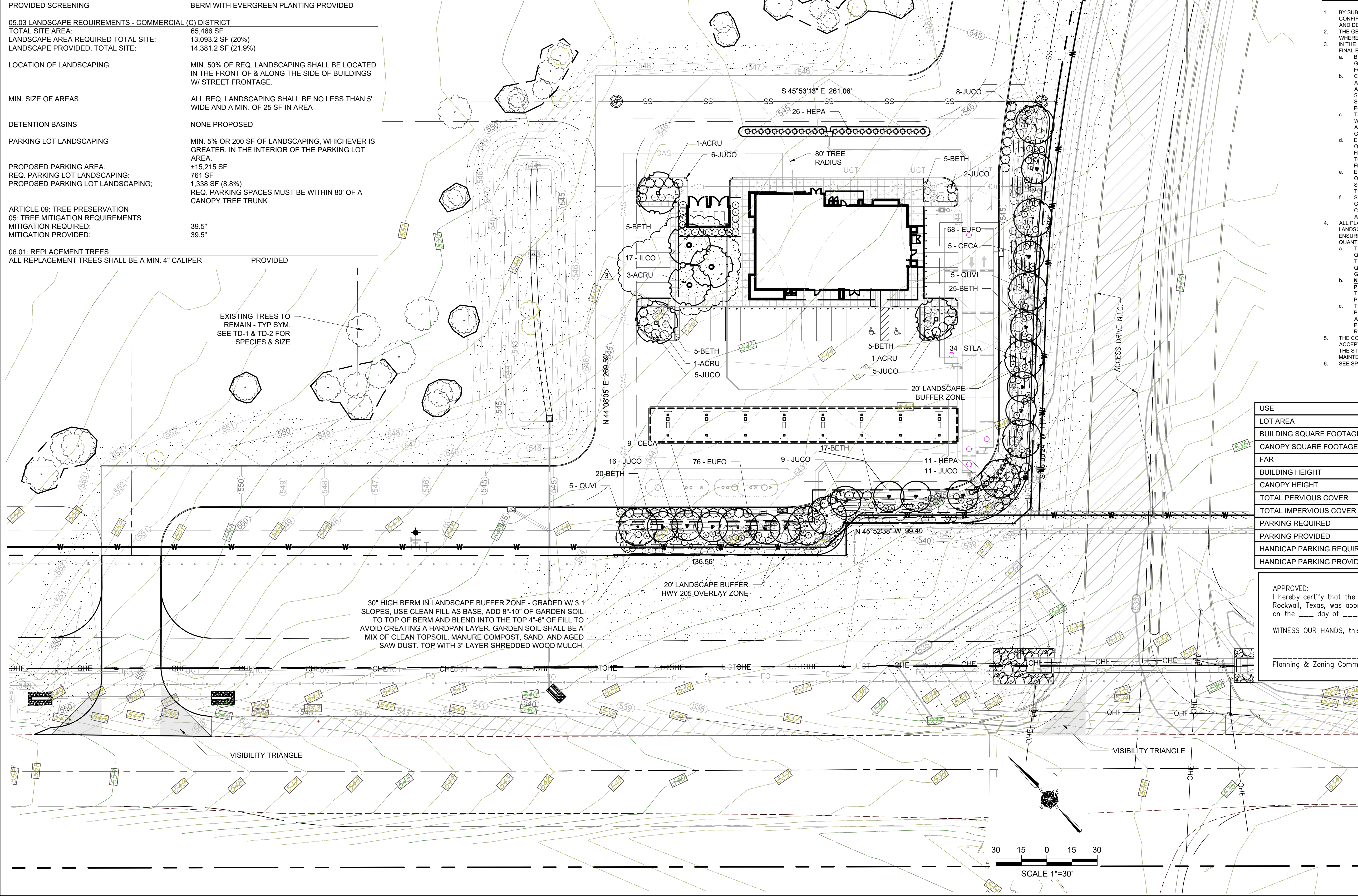
PROPOSED PARKING AREA:  
REQ. PARKING LOT LANDSCAPING:  
PROPOSED PARKING LOT LANDSCAPING:

ARTICLE 09: TREE PRESERVATION  
05: TREE MITIGATION REQUIREMENTS  
MITIGATION REQUIRED:  
MITIGATION PROVIDED:

06.01: REPLACEMENT TREES  
ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER

PLANTING LEGEND					
SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
TREES					
ACRU	Acer rubrum 'October Glory'	October Glory Maple	4" cal., 14' high	6	CANOPY TREE
CECA	Cercis Canadensis	Eastern Redbud	2" cal., 6'-8' high	14	ACCENT TREE
QUVI	Quercus Virginiana	Live Oak	4" cal., 14' high	10	CANOPY TREE
SHRUBS					
BETH	Berberis thun. 'Crimson Pygmy'	Crimson Pygmy Barberry	5 gallon	82	
HEPA	Hesperaloe parviflora	Red Yucca	5 gallon	37	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon	17	
JUCO	Juniperus conferta 'Pacific Blue'	Pacific Blue Shore Juniper	5 gallon	62	
EUFO	Eunonymus fortunei 'Monce'	Golden Prince Wintercreeper	5 gallon	144	
TURF & GROUND COVER					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
STLA	Stemodia lanata (tomentosa)	Woolly Stemodia	1 gallon	34	

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.



MITIGATION FOR REMOVAL OF EXISTING TREES

MITIGATION REQUIRED FOR REMOVAL OF 433' OF PRIMARY & SECONDARY TREES = 62 5' MITIGATION SHALL BE ACHIEVED AS FOLLOWS:

6 - 4" CALIPER ACER RUBRUM 'OCTOBER GLORY'  
10 - 4" CALIPER QUERCUS VIRGINIANA

PROPOSED TREE MITIGATION PROVIDED: 64"  
SEE PLANTING PLANS FOR PROPOSED TREE LOCATIONS.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

DATA SUMMARY TABLE

USE	COMMERCIAL (CONVENIENCE STORE W/FUEL SALES)
LOT AREA	65,466 S.F. (1.50 ACRES)
BUILDING SQUARE FOOTAGE	5,206 S.F.
CANOPY SQUARE FOOTAGE	3,640 S.F.
FAR	0.13:1
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-8"
TOTAL PERVIOUS COVER	15,734 S.F. OR 24%
TOTAL IMPERVIOUS COVER	49,732 S.F. OR 76%
PARKING REQUIRED	21 SPACES (1/250 G.F.A.)
PARKING PROVIDED	40 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	4 SPACES

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 20\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 20\_\_.

Planning & Zoning Commission, Chairman \_\_\_\_\_ Director of Planning and Zoning \_\_\_\_\_

CASE # : SP2021-021

OWNER:	
PRUDENT GROUP 10755 SANDHILL ROAD DALLAS, TX 75238	PHONE: 214-271-4630 CONTACT: MICHAEL HAMPTON
APPLICANT:	
THE DIMENSION GROUP 10755 SANDHILL ROAD DALLAS, TX 75238	PHONE: 214-343-9400 CONTACT: KEATON L. MAI, PE
LEGAL DESCRIPTION:	
LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION NWC STATE HIGHWAY 205 & F.M. 549 1.50 ACRE TRACT OF LAND	
CITY: ROCKWALL	STATE: TEXAS
COUNTY: ROCKWALL	SURVEY: WILLIAM W. FORD
ABSTRACT NO. 80	

**THE DIMENSION GROUP**

ARCHITECTURE, CIVIL ENGINEERING, AND POWER DESIGN  
15455 Dallas Pkwy, Ste. 400  
Addicks, TX 75001  
TEL: 714.536.3180  
www.dimensiongroup.com

**EVERGREEN DESIGN GROUP**

6009 (08/6/20)  
15455 Dallas Pkwy, Ste. 400  
Addicks, TX 75001  
www.evergreendesigngroup.com

**REGISTERED LANDSCAPE ARCHITECT**

STARCY R. BRANDON  
34223  
09/21/2023

BY	REVISION DESCRIPTION
	TREES RELOCATED
DATE	9/21/23
#	1

LANDSCAPE PLANTING PLAN

7-ELEVEN STORE  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET

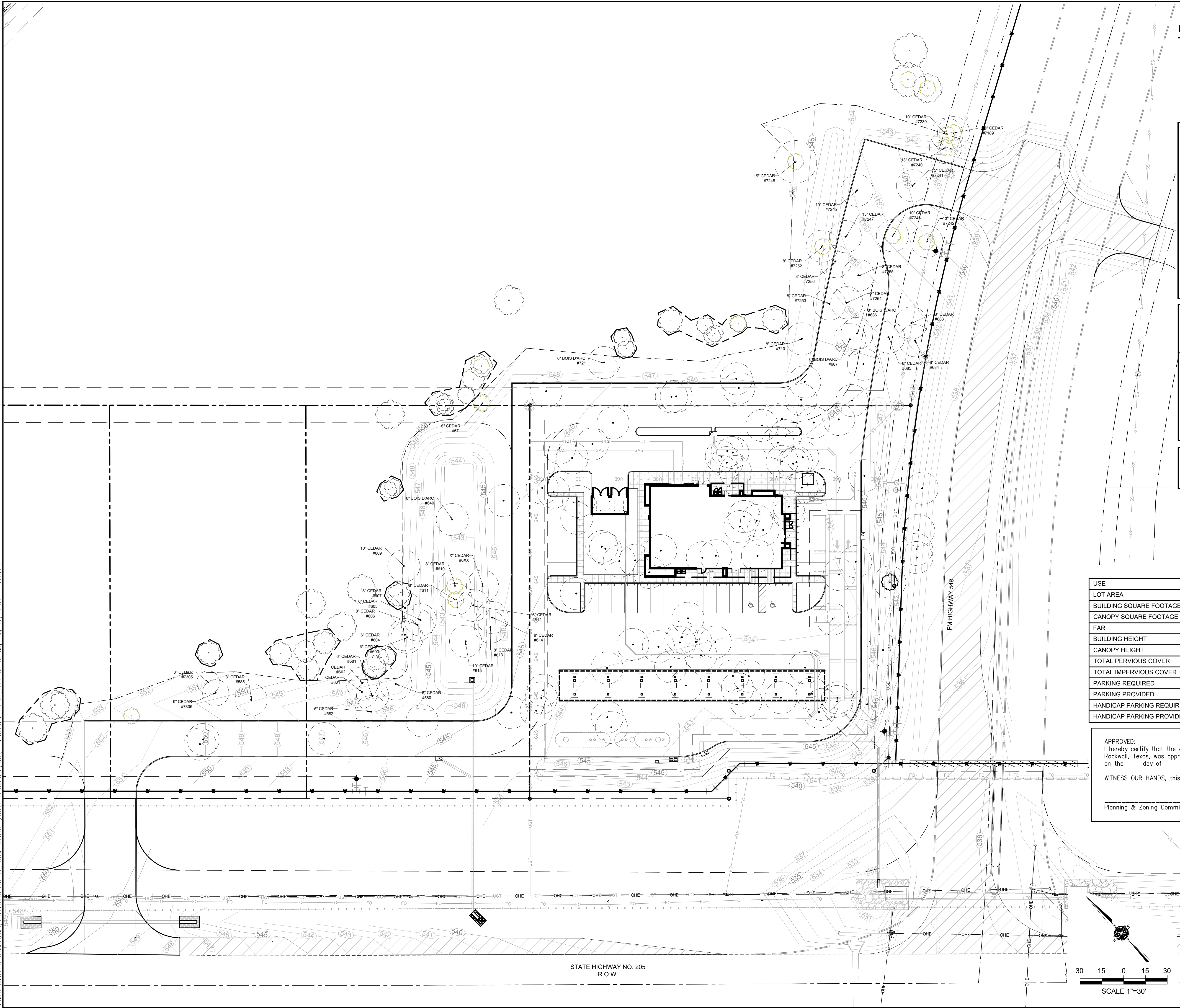
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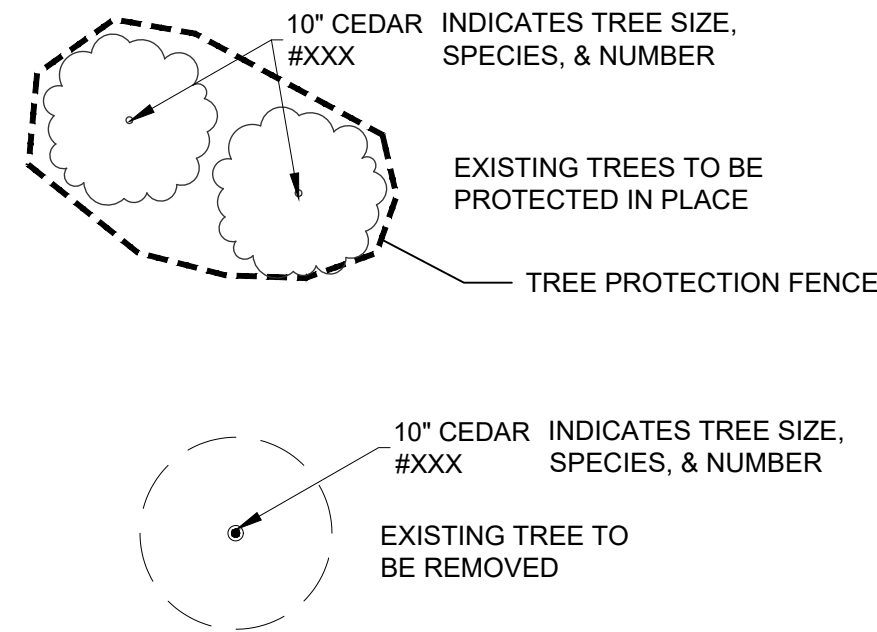
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10 - 4" CALIPER QUERCUS VIRGINIANA

PROPOSED TREE MITIGATION PROVIDED: 64'  
SEE PLANTING PLANS FOR PROPOSED TREE LOCATIONS.

#### LEGEND



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**SEE SHEET TD-2 FOR TREE SUMMARY TABLE**

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**CASE # : SP2021-021**

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PRUDENT GROUP  
10755 SANDHILL ROAD  
DALLAS, TX 75238  
PHONE: 214-271-4630  
CONTACT: MICHAEL HAMPTON

**APPLICANT:**  
THE DIMENSION GROUP  
10755 SANDHILL ROAD  
DALLAS, TX 75238  
PHONE: 214-343-9400  
CONTACT: KEATON L. MAI, PE

**LEGAL DESCRIPTION:**  
LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION  
NWC STATE HIGHWAY 205 & F.M. 549  
1.50 ACRE TRACT OF LAND

CITY:	ROCKWALL	STATE:	TEXAS
COUNTY:	ROCKWALL	SURVEY:	WILLIAM W. FORD
		ABSTRACT NO.:	80

THE DIMENSION GROUP

ARCHITECTURE, CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE  
5608 S. QUINN STREET, SUITE 200  
DALLAS, TEXAS 75242  
TEL: 719.526.3188  
www.dimensiongroup.com

EVERGREEN DESIGN GROUP

8089 (08.4.20)  
15455 Dallas Pkwy, Ste 600  
Addicks, TX 75001  
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT  
DARCY R. BRADSHAW  
3423  
09/22/2022

THESE PLANS AND INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COPYRIGHT LAW. ANY REPRODUCTION OR USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE PROFESSIONAL LANDSCAPE ARCHITECT IS PROHIBITED.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISION DESCRIPTION: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT NO.: 200-672

DATE: 9/22/2022

DESIGNED BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

7-ELEVEN STORE  
NWC STATE HIGHWAY 205 & FM 549  
ROCKWALL, TEXAS

SHEET  
TD-1



