

**AGENDA**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
City Hall, 385 South Goliad, Rockwall, Texas  
Council Chambers  
August 30, 2016  
6:00 P.M.

**CALL TO ORDER**

**CONSENT AGENDA**

1. **Approval of Minutes** for the *August 9, 2016* Planning and Zoning Commission meeting.
2. **P2016-036 (Korey)**  
Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Saint George Partners, LTD for the approval of a final plat for Lot 1, Block A, Service King IH-30 Addition being a 3.293-acre tract of land currently described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.
3. **P2016-037 (Korey)**  
Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton for the approval of an amending plat Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the 38.056-acre subdivision situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive, and take any action necessary.

**APPOINTMENTS**

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

**ACTION ITEMS**

5. Hold an election to elect a Vice-Chairman for the Planning and Zoning Commission.

**PUBLIC HEARINGS**

6. **Z2016-025 (Ryan)**  
Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
7. **Z2016-026 (Ryan)**  
Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road [FM-740] and Glen Hill Way, and take any action necessary.

**DISCUSSION ITEMS**

8. **Z2016-023 (Korey)**  
Hold a public hearing to discuss and consider a request by Kevin Dale Wommack & Pamela McCollum for the approval of an amendment to *Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02]* to allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle, and take any action necessary.

**9. Z2016-028 (Ryan)**

Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001 Ridge Road, and take any action necessary.

**10. Z2016-029 (David)**

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the intersection of SH-205 [S. *Goliad Street*] and FM-549, and take any action necessary.

**11. P2016-038 (Korey)**

Discuss and consider a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2, Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 601 E. Rusk Street, and take any action necessary.

**12. P2016-039 (Korey)**

Discuss and consider a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1406 Ridge Road, and take any action necessary.

**13. SP2016-016 (David)**

Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 496 National Drive, and take any action necessary.

**14. SP2016-017 (David)**

Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.

**15. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).**

- ✓ P2016-023: Master Plat for the Saddle Star South Subdivision [*Approved*]
- ✓ P2016-024: Preliminary Plat for the Saddle Star South Subdivision [*Approved*]
- ✓ P2016-035: Lot 1, Block 1, Carmel Carwash Addition [*Approved*]
- ✓ SP2016-015: Exception to the Masonry Requirements for Adventure Sports [*Approved*]
- ✓ Z2016-019: Planned Development District for Multi-Family Apartment Complex [*Denied*]
- ✓ Z2016-020: SUP for a Carport at 509 Sunset Hill Drive (*2<sup>nd</sup> Reading*) [*Approved*]
- ✓ Z2016-021: Zoning Amendment to PD-52 for Townhomes (*2<sup>nd</sup> Reading*) [*Approved*]
- ✓ Z2016-022: SUP for SPR Packaging, LLC (*1<sup>st</sup> Reading*) [*Approved*]
- ✓ Z2016-027: Amendment to Sec. 2.1, 3.3 & 3.4 of Article V of the UDC (*1<sup>st</sup> Reading*) [*Approved*]

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 26<sup>th</sup> day of August, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**August 30, 2016**  
**5:00 P.M.**

**DISCUSSION ITEMS**

**1. SP2016-017 (David)**

Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.

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**MINUTES**  
**PLANNING AND ZONING COMMISSION PUBLIC HEARING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**August 9, 2016**  
**6:00 P.M.**

I. CALL TO ORDER

Chairman Renfro called the meeting to order at 6:01p.m. The Commissioners present at the meeting were, Commissioners Johnny Lyons, Patrick Trowbridge, Sandra Whitley, Annie Fishman, Tracy Logan and new Commissioner, Mark Moeller. Staff members present were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Korey Brooks, Planning Coordinator, Laura Morales, Fire Marshall, Ariana Hargrove, and Civil Engineer, Jeremy White.

II. CONSENT AGENDA

1. Approval of Minutes for the July 26, 2016 Planning and Zoning Commission meeting.

2. P2016-023

Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a master plat/open space plan for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.

3. P2016-024

Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a preliminary plat for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.

4. P2016-035

Discuss and consider a request by Matt Hibbitt of Spry Surveyors on behalf of the owner Racetrac Petroleum, Inc. for the approval of a final plat for Lot 1, Block 1, Carmel Carwash Addition being a 2.059-acre tract of land currently identified as Lot 1, Block 1, Crossings Addition (*i.e. 1.004-acres*) and a 1.052-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street, and take any action necessary.

**Commissioner Whitley made motion to approve the consent agenda. Commissioner Fishman seconded the motion, which passed by a vote of 7-0.**

III. PUBLIC HEARING ITEMS

5. Z2016-019

Hold a public hearing to discuss and consider a request by Miller Sylvan of JPI on behalf of the owner Gene Lambreth of Pneuma Ventures, LTD for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

64 Planning Director, Ryan Miller, gave brief explanation of item stating the subject property is a  
65 42.5 acre parcel of land located east of the intersection of Discovery Blvd. and John King on the  
66 north side of Discovery. It is zoned Light Industrial District and the applicant is requesting to  
67 amend the zoning to a Planned Development District for a 750 unit multi-family apartment  
68 complex. The surrounding land uses are Rockwall Mini Storage and Park Place RV to the north  
69 of the subject property of which both are zoned Light Industrial District followed by IH-30. South  
70 of the property is Discovery Blvd followed by several tracts of land zoned Light Industrial  
71 District which also includes Peak Pediatric, directly east is the Rockwall Economic Development  
72 Corporation Technology Park, Phase I which also is zoned Light Industrial, and directly west of  
73 the subject property are Phases I and II of the Rockwall Downs Subdivision. Both of these  
74 parcels are zoned Planned Development District 10 for single family land uses.  
75

76 Mr. Miller went on to state that in looking at the applicants concept plan, they are proposing a  
77 750 unit development which will be broken down into two phases and each phase will consist of  
78 two 360 units, 6 separate residential buildings an 8,500 square foot clubhouse and pool area,  
79 and the total development will consist of 25-30% open space. Both phases show to have the  
80 same unit composition with the units ranging from about 680 square feet to 1,480 square feet  
81 and the overall average net unit use will be around 1,000 square feet. However, the applicant has  
82 incorporated language in the Planned Development District that allows them to reduce the  
83 overall average net unit area down to 950 square feet, as well, as reduce the unit's size for Phase  
84 II to 600 square feet. The applicant has stated that the reason is to allow some flexibility within  
85 the zoning ordinance to account for any changes in the market. The overall density being  
86 proposed is 17.64 units per acre and currently the City's highest multi-family zoning district is  
87 MF-14 District which only allows 14 units per acre; however this being a Planned Development  
88 District they can request the increased density, but that is a discretionary decision for the  
89 Planning and Zoning Commission and City Council.  
90

91 Mr. Miller went on to state that the other change that deviates from the Code is the applicants  
92 request for a parking requirement change. The Unified Development Code stipulates that one  
93 bedroom units require 1½ parking space per unit, two bedroom units require two parking spaces  
94 per unit, and three bedroom units require 2½ parking spaces per unit; however, the applicant is  
95 requesting that all units, despite the number of bedrooms, be parked at 1½ parking space per  
96 unit. This dictates a minimum of 540 parking spaces per phase. The applicant is showing a total  
97 of 458 surface parking spaces and 107 garage parking spaces for a total of 565 parking spaces  
98 and they have also included a requirement in the PD that 20% of the parking spaces will be  
99 covered. The applicant also has submitted conceptual building elevations, and although they  
100 are conceptual, they have been incorporated into the ordinance and general conformance to  
101 those elevations is considered to be a condition of approval. The Architectural Review Board will  
102 still need to make recommendations at the time of site plan if the case were to be approved.  
103

104 Mr. Miller added that in looking at the Comprehensive Plan, the Future Land Use map designates  
105 the property for Technology and Industrial uses, and what the applicant is proposing would  
106 require the property to be amended to a high density residential designation which is typically  
107 defined as anything that exceeds three units per acre, and goes on to state that the high density  
108 residential land use should be used as a transitional use from Commercial or where it serves as  
109 a logical extension of an existing high density development. In this case, it would be up to the  
110 Planning and Zoning Commission and City Council to decide if this would serve this transitional  
111 nature being in between the Tech Park and the Rockwall Downs Subdivision. The change to the  
112 Future Land Use map has been incorporated into the conditions of approval for the case, and  
113 therefore if Planning and Zoning and City Council approve, that change will take effect.  
114

115 Mr. Miller went on to state that staff sent out 22 notices on July 22<sup>nd</sup> to property owners and  
116 residents within 500-feet of the subject property as well as the Lofland Farms and Meadow Creek  
117 HOA's, and at the time the memo was drafted staff did not receive any responses in favor or in  
118 opposition to the request.  
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120 Mr. Miller advised the Commission that the applicant was present and available for questions.  
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125 Chairman Renfro asked if there were any questions for staff.

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Commissioner Trowbridge asked for clarification of what was stated concerning the parking spaces exceeding the 1.5 requirement that is being proposed. Mr. Miller explained that the request is for one and a half parking spaces per unit and that is what was put into the PD; however their concept plan shows parking in excess of that at 458 surface parking and 107 garage spaces which totals 565 and exceeds the requirement by 25 spaces.

Commissioner Logan asked if City Council previously had approved the change of the Rockwall Downes from Light Industrial to Residential. Mr. Miller stated that that was the result of a settlement that was done in 2004, that zoning was determined by the settlement that was reached with the Cambridge Company.

Commissioner Lyons asked how much more land was still available for Light Industrial use within this area other than subject property. Mr. Miller stated he did not have the exact figure but added that the Light Industrial designation does extend currently to the other side of the Technology Park to Discovery Lakes with Rochelle Road being the divider. There is also Light Industrial land adjacent to IH-30 and north of that as well as along John King Blvd.

Chairman Renfro opened the public hearing and asked the applicant to come forward.

Matt Brendall  
600 E. Las Colinas Blvd.  
Irving, TX

Mr. Brendall came forward and stated he is the development partner for the Texas region of JPI and gave brief explanation of request. JPI is a local privately owned company headquartered in DFW for the last 25 years that only builds top of class multi-family communities that have a fully integrated team of professionals including in house construction team which helps control the quality of the product. Over the history of the company they have built over 300 communities throughout the country, and have been most active in the DFW area having built over 50 communities in the area.

Mr. Brendall stated that they pride themselves in delivering the best in class product to the submarkets that they serve and in most instances it's a new product to the markets that they deliver to. It is a combination of high quality finishes, both in the units and in the common areas, it's all a high level of services from the onsite staff, and typically have double the amenity space of the other communities in the sub markets and those amenities are highly programed with many events put on by the management team on site.

Mr. Brendall went on to provide a slide show that featured pictures of communities JPI has built to date in the DFW area. He spoke of choosing the City of Rockwall after doing quite a bit of research and when looking at the demographics they were very favorable for the product they deliver. In recent communities in the DFW area the rents have been about \$500 more than the submarkets that they serve, because of the product that is delivered to those markets. They also shopped the most recent multi-family communities that were delivered to the market and after speaking to management it looks to be that Rockwall's occupancy is over 97% occupied, and at looking at the Dallas Metro historical average is 93% putting Rockwall about 4% over the historical average.

Mr. Brendall stated he would give the presentation over to his colleague Miller Sylvan who would discuss the specific site and request.

Miller Sylvan  
600 E. Las Colinas Blvd.  
Irving, TX

Mr. Sylvan gave brief explanation of request and provided a slide presentation which showed the site plan on the property. He stated the subject property it is a total of about 42 acres with about 15 acres of floodplain mainly on the north side of the site, but cuts through in a few different areas and he feels that could be a deterrent to other uses. In the past they have tried to situate their buildings in areas that can look out onto that green space and in this case they can take advantage of the floodplain. He feels this area is well suited for multi-family, because there is

188 already a successful multi-family development just across on John King Blvd, it has easy access  
189 to IH-30 and he believes it is a very appropriate transition between the lighter intensity single  
190 family use to the west and the more intense Technology uses to the east.  
191

192 Mr. Sylvan went on to explain that it will consist of two phases, 360 units each, three story  
193 buildings, with approximately 30% garage parking that would be built one to two years apart.  
194 The first phase would be on the western side. They have situated the site plan to so that the  
195 buildings front Discovery, as well as, fronting the shared boulevard that would run through both  
196 phases. The main components they want to focus when site planning is fronting buildings on  
197 green space and focusing on an interconnected system of hike and bike trails. Approximately 70  
198 of the units will have private yards which will allow for residents with pets with this amenity that  
199 no other community currently provides. He went on to add that they pride themselves with  
200 providing amenities that are not currently on the market such as units with 10 foot ceilings,  
201 washer and dryers and side by side appliances, predominately masonry facades, oversized  
202 kitchen islands, and the amenity/clubhouse space between 8,000-10,000 square feet which is  
203 more than double than what is typically seen in the Rockwall market.  
204

205 Mr. Sylvan further stated that they appreciated the conversation that took place at the work  
206 session at the previous meeting where there was discussion and concern of the unit sizes and  
207 the unit mix that were being proposed at that time specifically the need for more two and three  
208 bedrooms was discussed, but now that the market study was completed and it was found that  
209 there should be a higher percentage of two and three bedrooms and a little bit bigger sizes, from  
210 what initially was proposed. He went on to explain that there are seven competitors that the  
211 market study identified, and the recommended unit mix from the external market mix is fifty five  
212 percent one bedroom, thirty five percent two bedrooms, and ten percent three bedrooms. From  
213 those seven competitors the average of those communities has sixty two percent one  
214 bedrooms, twenty nine percent two bedrooms and five percent three bedrooms. JPI will be  
215 providing fifty five one bedrooms, twenty nine two bedrooms, and ten percent three bedrooms  
216 keeping them more heavily weighted towards the two and three bedrooms and less heavily  
217 weighted on the one bedrooms as was the recommended unit mix from the market study. The  
218 recommended size was 765 square feet for the one bedroom, 950-1275 square feet for the two  
219 bedrooms, and 1350-1550 for the three bedrooms, which will be bigger than the average that  
220 current communities have.  
221

222 Chairman Renfro asked to what market is the analysis comparing them to. Mr. Sylvan stated that  
223 it is based on seven comparable properties within the Rowlett/Rockwall market that were built  
224 between 2008 to now.  
225

226 Chairman Renfro asked what the smallest unit will be. Mr. Sylvan stated the smallest will be 675  
227 square feet.  
228

229 Mr. Sylvan went on to describe what the building elevations would be, and provided a slide show  
230 showing renderings and different views of what community will look like. He spoke about how  
231 they feel the proposal complements surrounding land uses and embraces flood plain and other  
232 site constraints.  
233

234 Commissioner Whitley asked Mr. Sylvan to expand on the 97% lease rate and asked if he felt that  
235 percentage is sustainable with as many units as are being proposed. Mr. Sylvan stated he felt it  
236 would be sustainable considering if approved they would break ground middle part of 2017 and  
237 construction would take a couple years, by the time they would be fully leased would be about  
238 three years and that it wouldn't flooding the market with units all at once.  
239

240 Commissioner Whitley asked if the amenities would be built first to allow the initial tenants the  
241 benefit of those. Mr. Sylvan stated that was correct.  
242

243 Commissioner Whitley asked if JPI would maintain ownership of the property once construction  
244 was complete. Mr. Sylvan stated the communities they've built over the last five years JPI has  
245 maintained ownership for an average of about six years and follow the lead of their capital  
246 partners.  
247

248 Commissioner Lyons asked what an in house construction team consisted of. Mr. Brendall  
249 explained that a lot of developers use a third party construction group where they send in plans

250 and that company bids it and therefore the construction company is in it for the profit for them,  
251 but at JPI the construction team are JPI employees therefore the contract is with themselves  
252 making them the developer and the builder which allows them to control the projects more.  
253

254 Commissioner Moeller expressed concern with the density, looking at 17 units per acre where  
255 the City's maximum is 14 units per acre. Mr. Sylvan asked Mr. Miller if he could clarify that some  
256 PD's due allow for higher density than the 14 units allowed in the multi-family ordinance. Mr.  
257 Miller explained that the Multi-Family 14 ordinance is a straight zoning district but there are  
258 some PD's that due incorporate higher densities, that and higher densities can be requested  
259 thru the Planned Development District but that is a discretionary call by Planning and Zoning  
260 Commission and City Council.  
261

262 Commissioner Trowbridge asked if any capital partner had been chosen as of yet. Mr. Sylvan  
263 stated at this time a partner has not been decided on.  
264

265 Commissioner Trowbridge asked what the basis is for requesting one and a half parking spaces.  
266 Mr. Sylvan stated typically they are one parking space per unit to ensure they have enough  
267 parking for all residents and an additional about .2 to .5 spaces per unit to allow for visitors.  
268 Feels there is sufficient parking for the use based on their experience, it didn't make sense for  
269 them to build more spaces and have them empty.  
270

271 Chairman Renfro asked anyone who wished to speak concerning the case to come forward and  
272 do so, there being no one indicating such, Chairman Renfro asked the applicant to remain at the  
273 podium for further questions.  
274

275 Chairman Renfro expressed concern with the amount of available parking, and was concerned if  
276 there isn't sufficient parking made available some of that may spill over to the neighboring  
277 streets. He asked how solid the decision to keep the requested ratio was. Mr. Sylvan stated they  
278 were flexible, currently they show 1.7 spaces on the plan. The data may have been incorrect on  
279 that but, they feel they're sufficiently parked and can bump that number to the City's  
280 requirement of 1.67 if needed. Mr. Miller added that comparing the numbers to what is being  
281 requested and what the City requires, it would be fifty five parking spaces higher than what is  
282 currently being projected.  
283

284 Commissioner Whitley asked what would happen to the overall plan if the parking is changed.  
285 Mr. Miller stated that some of the green space would be narrowed.  
286

287 General discussion took place concerning parking standard versus requested the City's  
288 requirement. Mr. Miller noted that Commission could make the recommendation that the City's  
289 parking requirement for multi-family uses be met and that could be incorporated into the  
290 ordinance.  
291

292 Chairman Renfro closed the public hearing and brought the item back to the Commission for  
293 discussion.  
294

295 Commissioner Logan expressed concern and asked for discussion as to how much of the  
296 Comprehensive Plan would be changed by adding more multi-family development to the City.  
297

298 Mr. Miller stated that was what was before the Planning and Zoning Commission, what is being  
299 proposed is a zoning change on a piece of property that was designated on the Future Land Use  
300 map as a Technology/Industrial property, but with that being said it is zoned Light Industrial and  
301 has not developed therefor that is something to weigh on both sides of the issue and that is the  
302 discretionary decision before the Commission.  
303

304 Chairman Renfro commented on the fact that the property does have quite a bit of floodplain and  
305 in the past have tried to have other residential builders there but the topography was not  
306 suitable. He feels if this is a nice product it would serve as a nice buffer between the subdivision  
307 and the technology park.  
308

309 Commissioner Fishman stated she felt the proposal is a beautiful well thought out plan, but is  
310 concerned whether or not Rockwall has the demographic and demand to fill a property of this  
311 size.

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Commissioner Trowbridge stated he feels that the benefits of the proposal are that it will make a nice transitional use and will provide a nice buffer between the residential and tech park.

Commissioner Whitley asked if notices were sent out to the neighboring properties. Mr. Miller stated that notices were sent to all property owners on the tax roll provided by the Appraisal District and no notices were received back.

Commissioner Lyons made a motion to approve the item with staff recommendations as well as the requirement to meet the City's multi-family parking standard as outlined in the Unified Development Code. Commissioner Trowbridge seconded the motion, which passed by a vote of 6-1, with Commissioner Logan dissenting.

6. Z2016-022

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary

Senior Planner, David Gonzales, gave brief explanation of request stating that the applicant is requesting a Specific Use Permit to allow for a structure that exceeds the maximum height requirements within a Light Industrial District for an existing manufacturing facility. The property is located at the intersection of Justin Road and Industrial Blvd. and is addressed as 1480 Justin Road.

Mr. Gonzales went on to state that the applicant has indicated that SPR Packaging plans to install three new high-bays for the purpose of placing new equipment extruders to meet its future manufacturing capabilities. Based on the site plan and the building elevations submitted, the extruders will be placed adjacent to the existing 60-ft height high-bay area, which is located on the north rear side of the building. The vertical expansion will be incorporated on top of the existing manufacturing facility, and will increase the height of this portion of the facility by approximately 35-ft. The newly constructed high-bay area will have an overall height of 71-ft. from grade, which will be approximately ten feet higher than the existing, adjacent metal high-bays. It should be noted that the facilities' existing roof structure was designed to extend upward to allow for the requested expansion. The addition will be comprised of pre-engineered metal panels that will match the existing structure. The vertical addition will exceed the 60-ft height limitation established in the Unified Development Code which states that the maximum building height for properties within the Light Industrial District is 120 feet, but any structure exceeding 60-ft shall require an SUP. In this case, the vertical expansion exceeds the 60-ft height limitation by 11-ft and requires an SUP.

Mr. Gonzales further stated that on July 22, 2015, staff mailed eleven notices to property owners within 500 feet of the subject property. Staff also sent an e-mail to the Park Place Home Owners Association and additionally, staff posted a sign on the property. No notices were received back in favor or in opposition of request.

Mr. Gonzales added that the applicant was present and is available for questions.

Chairman Renfro opened the public hearing and asked applicant to come forward.

Mark Cross  
5310 Harvest Hill Suite 180  
Dallas, TX

Mr. Cross of Cross Design Group came forward and stated he is the architect on the project. They did the original building for SPR in 2006, which was about 50,000-60,000 feet, had the original three high bayed extruders that were 60feet tall. In 2011 they did another expansion of about 120,000 feet and they have been steadily growing since then.

374 Mr. Cross went on to state that SPR is in the process of putting in \$23 million worth of new  
375 equipment in the building and the new extruders are higher because technology has improved  
376 and they need to go higher in order for the new equipment to fit. The exterior of the building will  
377 look exactly like the adjacent section of the building that is metal, everything else is tilt wall.  
378

379 Commissioner Trowbridge asked reason as to why it needs to be higher than the last version.  
380 Mr. Cross stated the primary reason is due to technology and the new equipment that they're  
381 ordering requires a higher clear height.  
382

383 Chairman Renfro asked if anyone wish to speak to come forward and do so, there being no one  
384 indicating such Chairman Renfro closed the public hearing and brought the item back to the  
385 Commission for discussion.  
386

387 Commissioner Lyons made a motion to approve the item with staff recommendations.  
388 Commissioner Fishman seconded the motion, which passed by a vote of 7-0.  
389  
390

391 7. Z2016-024  
392 Hold a public hearing to discuss and consider a request by Kyle Vrla of Dynamic Engineering  
393 Consultants, PC on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of a  
394 zoning change from a Commercial (C) District to a Heavy Commercial (HC) District for a 6.588-acre  
395 portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract  
396 No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the  
397 SH-205 Overlay (SH-205 OV) District, located south of the intersection of Sids Road and SH-205 [S.  
398 *Goliad Street*], and take any action necessary.  
399

400 Chairman Renfro stated the applicant made a request to withdraw the case and Planner, Korey  
401 Brooks explained a motion would have to be taken by the Commission for case to officially be  
402 considered withdrawn.  
403

404 Chairman Renfro made a motion to withdraw the case. Commissioner Logan seconded the  
405 motion which passed by a vote of 7-0.  
406

407 Chairman Renfro called for a ten minute break at 7:17 p.m.  
408 The meeting reconvened at 7:27 p.m.  
409

410 8. Z2016-025  
411 Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the  
412 approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-  
413 acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition,  
414 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated  
415 within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of  
416 Horizon Road [*FM-3097*] and Summer Lee Drive, and take any action necessary.  
417

418 Planning Director, Ryan Miller, gave brief explanation of request stating the subject property is  
419 located south of the intersection of Horizon Road and Summer Lee Drive it is a portion of a  
420 seven acre property and the actual subject property is about three and a half acres. It is located  
421 in Planned Development 32, and as it was discussed at the previous work session is a unique  
422 PD, which was established in 2010 by the City Council and is intended to be a form base code  
423 which essentially means that it is a code that creates predicable built results using physical  
424 building form as the driving principal of the code itself. This is opposed to using land use or  
425 separation of land uses such as the Unified Development Code. The PD was built around a  
426 concept plan, which was a vision for the entire area that showed how the area was set to  
427 develop. It also incorporated a street network plan and a master utility plan and that was to  
428 ensure that the infrastructure that was being put in was adequate to support the concept plan  
429 that was in place. Additionally a sub-district plan was put which divided the 78 acre Planned  
430 Development into ten sub-districts was adopted each of the sub-districts is like a zoning district  
431 having its own permitted set of uses allowed within them, they also have their own development  
432 standards in the form of a form based code. The sub-districts allow various uses; the Residential  
433 is built around the idea of having a pool of units consisting of 1,161 condominium and  
434 townhome units are allowed within Planned Development 32 and that number comes from  
435 allowing 15 units per acre within the District. Those units were never allocated to any one

436 individual sub-district rather the way it is structured is if the use allows condominiums or  
437 townhomes they can pull from those units on a first come first serve basis. Currently two  
438 developments have been approved, Marina Village who was allocated 399 of those units, and  
439 Summer Lee Condominiums which was allocated 265 of those units leaving a balance of 497  
440 units.

441  
442 Mr. Miller went on to explain that the subject property is in what is called an interior sub-district  
443 which according to the PD Ordinance is intended to provide an area that can function as either  
444 office/residential or senior living. Looking at the use chart the permitted uses within this sub-  
445 district the urban residential condominium units only land use is a permitted by right use and  
446 with there being a balance of 497 units and the applicant is only requesting 245 units, the use  
447 and the number of units is not in question because it is allowed by right which means if a site  
448 plan is submitted and all the criteria is met, they would be allowed to proceed. The reason the  
449 proposal is before the Commission is tied to the street network, it is tied to the street that runs  
450 from Summer Lee to the south western corner of the subject property. Mr. Miller then provided a  
451 slide show showing a map of the entire District and included the renderings and street network  
452 plan that is in question as well as the streetscape plan that is tied to the district.

453  
454 Mr. Miller further stated that the Streetscape Plan contained in Ordinance No. 10-21 calls for a  
455 Street Type G, which is intended to serve an edge to the open space areas of the sub-district and  
456 connect Summer Lee Drive and Ridge Road. Specifically this street section consists of two-way  
457 traffic on a 24-foot wide street with eight foot parallel parking spaces along the western side of  
458 the roadway, adjacent to the condominium project, an eight foot parkway, and eight foot  
459 sidewalks on both sides of the street. The total right-of-way width of this street cross section is  
460 60-feet. In lieu of this, the applicant is proposing a modified street cross section that will consist  
461 of two-way traffic on a 24-foot wide street with five foot sidewalks on either side of the street,  
462 and a one to two foot parkway. The total right-of-way width of the proposed road section will be  
463 36-feet; however, one foot of the sidewalk will be situated outside of the right-of-way. This  
464 means that either the right-of-way width will need to be increase to 37-feet or the additional one  
465 foot will need to be put into a Pedestrian Access Easement at the time of platting and that has  
466 been included as a condition of approval.

467  
468 Mr. Miller went on to explain that in reviewing this request, staff has identified an additional  
469 waiver to building placement, which will be required to be approved along with the applicant's  
470 request. Specifically, the Interior Sub-district requires a minimum of a five foot building setback  
471 and an average of a 20-foot setback along the Street Type 'G', which the applicant is proposing  
472 to modify. In this case, the applicant would be requesting a minimum of a one to two foot  
473 building setback along this modified street section. Since a waiver to building placement is  
474 specifically identified in Section 9.C, Waivers of Design Standards, of Ordinance No. 10-21, it  
475 could be granted at the time of site plan approval by the City Council; however, since the  
476 modified street section is causing the PD Development Plan it has been included in the request  
477 as a condition in the draft ordinance. Also, when considering waivers and amendments to  
478 Planned Development 32 the City Council, followed by a recommendation from the Planning and  
479 Zoning Commission is requested to weigh the request based on three criteria which are 1) does  
480 it meet the general intent of the PD District or Sub-district in which the property is located 2) will  
481 it result in an improved project which will be an attractive contribution to the PD District or Sub-  
482 district; and 3) will the request prevent the implementation of the intent of this PD District.

483  
484 Mr. Miller further stated that the applicant has provided staff with building elevations for the  
485 condominiums which have been tied down to the Planned Development District ordinance and  
486 the purpose of putting them in the ordinance and making it a general condition of approval for  
487 the site plan is to ensure that what is being proposed with the street cross section is what will be  
488 turned in at time of site plan.

489  
490 Also, Mr. Miller added that on July 22, 2016, staff mailed 84 notices to property owners and  
491 residents within 500-feet of the subject property and also emailed notices to the Lakeside  
492 Village, Lago Vista and Signal Ridge Homeowner's Associations and additionally, staff posted a  
493 sign on the subject property along Summer Lee Drive. Out of the 84 notices sent out two  
494 responses in favor of the request and three responses opposed to the request were received by  
495 staff.

496 Mr. Miller stated the applicant is present and available for questions.

497

498 Chairman Renfro asked for questions for staff from the Commission.

499  
500 Commissioner Whitley asked of the notices that were opposed to the request if it appears as if  
501 those are not in favor of the project as a whole, but asked if that was something that they were  
502 considering or are they just looking to make recommendation of the specific waivers not the  
503 project as a whole. Mr. Miller stated that was correct, not the project as a whole.

504  
505 Chairman Renfro made a general comment stating that he felt the intent and design as it was  
506 presented to the Commission several years ago was to provide an environment by the Harbor  
507 where vehicles would not be the main circular drive but instead have more pedestrian traffic and  
508 he is concerned with narrowing the sidewalks as was the intent of the original design when  
509 PD32 was drafted.

510  
511 Commissioner Logan asked what the ADA requirement for sidewalks was. Mr. Miller stated ADA  
512 requirements are 5 foot.

513  
514 Chairman Renfro asked if the original as it was presented was to have 8 foot sidewalks with an 8  
515 foot parking easement for parallel parking where would the 8 foot sidewalk be located. Mr. Miller  
516 brought up a map and explained that it is an 8 foot sidewalk starting at the center of the  
517 development, followed by an 8 foot parallel parking on the building side, then a 24 foot street to  
518 allow two- way traffic and then an 8 foot parkway followed by an 8 foot sidewalk. And what is  
519 being proposed is a 5 foot sidewalk followed by a 2 foot parkway followed by a 24 foot two way  
520 traffic street, followed by a 1 foot parkway and a 5 foot sidewalk with one of those feet being  
521 outside of the right of way, which has been conditioned for a pedestrian access easement to be  
522 put in. What it would be is a 36 foot right of way versus a 60 foot right of way making it a 24 foot  
523 difference.

524  
525 Commissioner Whitley asked by eliminating all of the parallel parking where would those  
526 vehicles be parking. Mr. Miller stated they are building a structured parking garage and they will  
527 have some head in on street parking as well.

528  
529 Commissioner Lyons expressed concern that there would not be a landscape buffer between the  
530 streets and the buildings.

531  
532 Chairman Renfro opened the public hearing and asked the applicant to come forward.

533  
534 Jason Lentz  
535 5339 Alpha Road  
536 Dallas, TX

537  
538 Mr. Lentz came forward and Chairman Renfro asked what the existing rendering of the sidewalk  
539 is as opposed to what is being proposed. Mr. Lentz provided a site plan to show renderings and  
540 explained that it had to be done this way because not doing so would require getting onto  
541 neighboring property, would be willing to consider other options perhaps a wider sidewalk on  
542 the building side to provide more room between the building and the road but pointed out that it  
543 is driven by the fact that the site has somewhat of an unusual width.

544  
545 Chairman Renfro asked if they would be willing to increase the size of the sidewalks. Mr. Lentz  
546 stated that they would be willing if there was sufficient room to accommodate that request, but  
547 there is not.

548  
549 Commissioner Whitley asked what the intent of the street in question was since it's coming off  
550 of Summer Lee and therefor is not a main road. Is the intent for it to dead end, or is that for  
551 future development. Mr. Lentz explained that the plan is to provide access through the  
552 townhome development so it will come all the way. Mr. Miller brought up the concept plan  
553 summary slide to provide a visual of how that roadway will come through there and how it will  
554 provide access and also pointed out to a road that was part of another development as part of  
555 the Summer Lee Condominiums, when that was waived the roadway alignment to connect to  
556 Ridge Road is required to connect to Ridge Road and the they are putting in a public road that  
557 will complete that alignment.

558  
559

560 Michael Smith  
561 Humphry's and Partners Architects  
562 5339 Alpha Road  
563 Dallas, TX  
564

565 Mr. Smith came forward and explained that the reason the building is on the southwest property  
566 line is because that is as far as it can go per the fire code which requires to remain at least ten  
567 feet off of that property line because they have no control over who builds next to them, and with  
568 the building's windows looking in that direction in order to have all that glass for the residents to  
569 have the view of the lake it has to be set back off of that property line a certain distance. Mr.  
570 Smith also noted that they are proposing a 36 foot right of way and as the building and the site  
571 plan have been laid out that is what the maximum that can be done in a public right of way in  
572 this location.

573  
574 Chairman Renfro asked if that 36 foot right of way included two lanes of traffic and how many  
575 feet of would those two lanes take. Mr. Smith stated that was correct, and the two lanes would  
576 take 24 of the 36 feet. Mr. Smith added that because one side of the building is completely lined  
577 up against the creek they would not be opposed to shifting the sidewalk where there would be  
578 more on one side of the road than the other, if they could get rid of the sidewalk all together on  
579 one side then they could put 12 feet of sidewalk and buffer on the one side of the road, they  
580 could move the roadway within the 36 feet. Chairman Renfro asked if they were willing to do that  
581 and if it was done, how it would be determined what the best side would be. Mr. Smith stated he  
582 felt the best side would be on the pedestrian side against the building and they would be open to  
583 make that change and added that 36 feet is worst case scenario where the area curves around  
584 the road, there are portions where it will be wider with landscape buffer.

585  
586 Commissioner Lyons made comment of liking the idea of consolidating the sidewalk to one side.  
587

588 Commissioner Moeller stated his concern was with the areas that have fewer sidewalks  
589 especially in the areas where it curves, how narrow it would be may pose a problem therefor  
590 also likes the idea of moving the sidewalk as a safety precaution to the pedestrians.  
591

592 Commissioner Logan expressed concern at not necessarily how narrow the sidewalk would be  
593 but the concern is how narrow the road would be, if a fire truck would be able to get by. Mr.  
594 Miller explained that Fire would use both Summer Lee and this roadway that is being proposed  
595 as fire lane; the fire truck itself would not be accessing the garage.  
596

597 Chairman Renfro asked the applicant if making the change of moving the road to create more of  
598 a buffer on the other side is something they felt could be done. Mr. Smith stated the change was  
599 feasible.  
600

601 Chairman Renfro asked if there was anyone wishing to speak to come forward and do so.  
602

603 David Stubblefield  
604 1550 Anna Cade Dr.  
605 Rockwall, TX  
606

607 Mr. Stubblefield came forward and stated he represents and is present on behalf of the adjoining  
608 property owners to the northeast. He stated Mr. Lentz made mention the reason why they have  
609 to narrow the right of way and eliminate the parallel parking and narrow the sidewalks was by  
610 not doing so would cause him to go onto adjoining property, but after representing the  
611 individuals that own that property he was not aware of that and those adjoining property owners  
612 would be willing to sell or dedicate the additional property to allow the full width of the street.  
613 Mr. Stubblefield went on to state that the adjoining property owners are in favor of the request  
614 and support both the condominium and the townhome proposals however pointed out that the  
615 sole access into the residential sub-district will be via this road and the now private easement  
616 that will go into the rear townhome portion of the property. Mr. Stubblefield showed via the slide  
617 on the screen where the cross access portion is the entire residential sub-district and the rear  
618 portion is the vast majority but there is between four and five acres of land on either side and the  
619 adjoining property owners own the property that is on the northeast side and were previous  
620 owners of the property of the southwest side and still hold papers to that and would like to see  
621 both of those developed, but there are no public roads now as it is proposed to be a private

622 easement. Feels a single ordinance can do both amendments to the PD and feels that if it is  
623 done that way then the developer would be required to put in streets that would allow for access  
624 for the entire residential sub-district and is here tonight to urge on that specific concern.  
625

626 Mr. Miller added there would be further discussion concerning the cross access during the  
627 discussion for the townhome proposal.  
628

629 Chad Cain  
630 P.O. Box 2345  
631 Rowlett, TX  
632

633 Mr. Cain came forward and expressed his opposition to the request. He was against the whole  
634 development itself originally, and feels should not bend to the will of people that want to develop  
635 by making changes to the original plan and does not feel they should be given this deviation. He  
636 feels that there is no reason to change from what the original plan for this area was and is highly  
637 opposed and urged the Commission to vote against it.  
638

639 Chairman Renfro asked if there was anyone else who wished to speak to come forward, there  
640 being no one indicating such Chairman Renfro closed the public hearing and brought the item  
641 back to the Commission for discussion.  
642

643 General discussion took place concerning Mr. Cain's concerns and questions.  
644

645 Mr. Miller advised the Commission a motion could be made to continue the public hearing to  
646 allow the applicant more time to address the Commission's concerns.  
647

648  
649 Chairman Renfro made motion to continue the public hearing to the next scheduled meeting  
650 which will take place on August 29<sup>th</sup>. Commissioner Trowbridge seconded the motion, which  
651 passed by a vote of 7-0.  
652

653  
654 9. Z2016-026

655 Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the  
656 approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger  
657 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall  
658 County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential*  
659 *Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road  
660 [FM-740] and Glen Hill Way, and take any action necessary.  
661

662 Planning Director, Ryan Miller, gave brief explanation of request stating that the subject property  
663 is directly southeast of the previous case and is located in a different sub-district it is called the  
664 residential sub-district and according to the PD ordinance it is reserved for zero lot line single  
665 family residential housing due to lower volume of traffic, the ordinance also states that the  
666 Harbor District due to a lower volume of traffic makes this ideal for single family uses. In this  
667 case the applicant is proposing a 36 unit townhouse development on the 3 ½ subject property.  
668 According to the use charts, in the residential sub-district the townhouse use requires a Specific  
669 Use Permit, however since the proposed product is a front entry product on potentially private  
670 streets that could change the access within the District staff requested that the applicant submit  
671 a PD Development Plan which will change the intent of the sub-district and has the same  
672 discretionary approval as the Specific Use Permit regard to land use. However, approving the  
673 Planned Development Plan will negate the need for the Specific Use Permit and that would be  
674 added to the draft ordinance. Looking at the specific development, it will incorporate front entry  
675 garages in rows of four to five townhomes which will be a minimum of 1,622 square feet to 2,163  
676 square feet which creates an average size of 1,863 square feet if all the townhomes are taken  
677 into account.  
678

679 Mr. Miller went on to state that Ordinance 10-21 does not establish minimum units sizes or  
680 establish design standards for townhouses, however the Comprehensive Plan states that  
681 townhouses should have rear entry drives, in this case the applicant is proposing based on the  
682 building elevations to offset one of the keystone properties to make it a side entry approach, but  
683 the majority of the project will incorporate front entry garages. Additionally the Comprehensive

684 Plan states that townhomes should have a different appearance through the use of varied  
685 details, trim, materials, architecture and setback. However in this case the applicant is proposing  
686 an enclosed community and as a result is proposing more of a uniformed design scheme.  
687 Concept building elevations have been included in the draft ordinance and conformance to  
688 those elevations is considered to be a condition of approval. With regard to the any amendment  
689 or waiver to the Planned Development Plan, in this case what's being looked at is the intent of  
690 the sub-district and what the Commission is being asked to consider is three criteria which is; if  
691 it meets the general intent of the PD District, if it will provide an improved project with an  
692 attractive contribution to the District and that it will not prevent the implementation of the intent  
693 of the PD District.

694  
695 Mr. Miller then displayed the site plan for the townhome project on screen and explained that as  
696 Mr. Stubblefield referred to during the previous case; staff has made the recommendation to the  
697 applicant that they find a way to incorporate access to the adjacent property. It is not a private  
698 easement but rather a public access easement that staff has requested the applicant place and it  
699 extends from the potential public roadway down in a southeastern direction to a stub out to the  
700 adjacent property and that is in an effort to provide access in a similar location as shown on the  
701 Concept Plan and to provide an additional point of access to the adjacent property.

702  
703 Mr. Miller further stated that if the request is approved, the Architectural Review Board would  
704 need to review any elevations submitted, however this is a discretionary request for the  
705 Planning and Zoning Commission and City Council. Staff mailed 52 notices to property owners  
706 and residents within 500-feet of the subject property and emailed notices to the Lago Vista  
707 Homeowner's Associations as well as posted a sign on the subject property along Summer Lee  
708 Drive. Of the 52 notices mailed out staff received 3 responses in favor and 1 response in  
709 opposition.

710  
711 Mr. Miller provided a map on screen that showed how the project will be laid out in relation to  
712 existing developments in the District and stated he as well as the applicant is available for  
713 questions.

714  
715 Chairman Renfro asked for questions for staff from the Commission.

716  
717 Commissioner Moeller asked if there is an alley along the development, and was the original  
718 intent to have rear entry through and alley and now what is being proposed is to get rid of the  
719 alley and go front entry. Mr. Miller stated that was correct, the original intent of the residential  
720 sub-district was to incorporate 49 zero lot line single family homes that were alley fed, and that  
721 plan incorporated two different street types, street type "N" being the alley and street type "M",  
722 the applicant is requesting to change the intent of the sub-district to townhomes with front entry  
723 garages.

724  
725 Chairman Renfro asked staff to explain further on what applicant is proposing concerning the  
726 building elevations as it appears there is some monotony as being presented. Mr. Miller stated  
727 that in this case the applicant is using a more uniformed design scheme because it is an  
728 enclosed area, but they are using varying roof pitches, chimney placements that provide some  
729 relief in the façade.

730  
731 Chairman Renfro opened the public hearing and asked the applicant to come forward.

732  
733 Jason Lentz  
734 5339 Alpha Road  
735 Dallas, TX

736  
737  
738 Mr. Lentz came forward and stated the purpose of the request is for a 36 townhome development  
739 where the PD currently calls for 49 zero lot line single family homes. Explained that they have  
740 built this product in the past and have seen a lot of success in this type of development and  
741 feels it lends itself well in this area and will serve its intent going from 49 units to 36 units this  
742 would lessen the density and would give the area a more community/neighborhood feel. There  
743 will be nine one bedroom one bath units that will also include a powder bath and the remaining  
744 twenty seven would be two bedroom units, some with a full bath and powder bath and some with  
745 two full bathrooms with an average square footage of 1,900 square feet. Mr. Lentz then provided

746 a color rendering of the elevations on screen that showed a four unit building where some units  
747 would have two windows bays and other units would have three window bays anywhere from 24  
748 to 28 feet wide per unit.  
749

750 Chairman Renfro asked if the garages would be in the rear. Mr. Lentz stated the garages are  
751 being placed to where they are facing out to the roadways, not having set alleys for the garages.  
752 The front elevations is what they call the side without the garages there would still be a public  
753 front door from the side of the building which is what would be the units fenced in front yard.  
754

755 Chairman Renfro asked what the approximate rent is estimated to be at. Mr. Lentz stated this will  
756 be a for sale product.  
757

758 Commissioner Moeller asked staff if there were front entry garages in place in any development  
759 in the City. Mr. Miller stated there were some in PD-10, Stone Creek, as well as in some of the  
760 older areas that have front entry garages.  
761

762 Chairman Renfro asked if anyone wish to speak to come forward and do so.  
763

764 Chad Cain  
765 PO Box 2345  
766 Rowlett, TX  
767

768 Mr. Cain came forward came forward and expressed his opposition to the request. Feels the  
769 only area of PD-32 slated for residential single family homes does not need to change to a  
770 townhome use. Does not think front entry garages are a good fit because of all the vehicles that  
771 is all that could be seen when stepping outside one's home instead of a nice landscape. Mr. Cain  
772 further expressed his strong opposition of losing the only part set aside for single family homes  
773 to allow townhomes and urged the Commission to vote against it.  
774

775 David Stubblefield  
776 1550 Anna Code Road  
777 Rockwall, TX  
778

779 Mr. Stubblefield came forward and stated he represents the adjoining property owners who own  
780 the property northeast of the subject property and the problem his clients have is that it is a very  
781 long slender property. They would like to sell or develop the property but the issue is with the  
782 access.  
783

784 Chairman Renfro asked the applicant to come forward to offer rebuttal.  
785

786 Mr. Lentz came forward and stated that what they are proposing as opposed to what originally  
787 was laid out, is a better fit as it will create less density and a more residential/community feel  
788 and feels it will have the same success as others they've built.  
789

790 Commissioner Trowbridge asked if the land has already been purchased or is it under contract  
791 to be developed. Mr. Lentz stated they own a portion of it and under contract with the rest.  
792

793 Chairman Renfro closed the public hearing and brought the item back to the Commission for  
794 discussion.  
795

796 Chairman Renfro expressed concern that the previous case for the condominiums and the  
797 current case run in conjunction with each other and felt that this item should possibly be  
798 continued as well to allow the applicant additional time to go over the Commissions concerns.  
799

800 General discussion took place among the Commission concerning questions that arose  
801 concerning the roadway and as to whether or not item should be continued until the next  
802 meeting to allow the Commission as well as the applicant additional time to review the  
803 information presented and for the applicant to review the Commissions concerns.  
804

805 Commissioner Trowbridge made a motion to continue the public hearing for item Z2016-026 to  
806 the next meeting which will take place on August 30<sup>th</sup>. Commissioner Lyons seconded the  
807 motion, which passed by a vote of 7-0.

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10. Z2016-027

Hold a public hearing to discuss and consider a City initiated zoning request for the approval of a text amendment to Section 2.1, *Agriculture (AG) District*; Section 3.3, *Single-Family Residential (SF-16) District*; and Section 3.4, *Single-Family Residential (SF-10) District*, of Article V, *District Development Standards*, of the Unified Development Code for the purpose of increasing the minimum square footage per dwelling unit in these zoning districts, and take any action necessary.

Planning Director, Ryan Miller, gave brief explanation of item stating that as discussed in the previous meeting, the City Council directed staff to prepare a text amendment to increase the minimum square footage requirement for dwelling units in a Single Family 10 and a Single Family 16 District. In addition they have also directed staff to establish a minimum square footage size for an Agricultural District specifically the information in the ordinance that was provided is to make a change to the Single Family 16 District to a 2,400 square foot minimum dwelling unit and for Single Family 10 District to a 2,200 square foot unit minimum and in an Agricultural District it would establish a 1,600 square foot minimum. At the last meeting when it was initially brought up there were some questions about building permits and staff has since put together a summary of all building permits issued from January 1, 2011 to July 27, 2016 but the building permit information that is taken in contains all areas under roof, whereas the UDC requirement in question is just air condition space that is being taken into account. Staff also provided the Commission a report that was prepared of comparable cities square footage requirements that details zoning districts residential dwelling unit requirements as well as a summary of all residential zoning district density and dimensional requirements.

Mr. Miller went on to state that staff was bringing this forward for the Commission's recommendation to the City Council.

Chairman Renfro asked for any questions for staff from the Commission.

Commissioner Trowbridge asked if what was being proposed is to make the minimum square foot increase on a parcel of land that is not changing, for example a 7,000 square foot lot or a 10,000 square foot lot or go from a smaller house to a larger house. Mr. Miller stated that was correct.

Chairman Renfro opened the public hearing asked if anyone wished to come forward and do so, there being no one indicating such, Chairman Renfro closed the public hearing and brought the item back to the Commission for discussion.

Commissioner Trowbridge expressed concern of putting a bigger house on a same size lot.

Commissioner Trowbridge made motion to deny the item. Motion failed to pass due to there being no second. Chairman Renfro made motion to approve the item with staff recommendations. Commissioner Lyons seconded the motion, which passed by a vote of 6-1 with Commissioner Trowbridge dissenting.

IV. ACTION ITEMS

11. SP2016-015

Discuss and consider a request by Jerry Monk of Monk Consulting on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for an indoor recreation facility on a 4.88-acre tract of land identified as Tract 4-01 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

Senior Planner, David Gonzales, gave brief explanation of request stating that the subject property is north of Industrial Blvd and Airport Road just east of Washington Street and is zoned for Commercial use. The applicant is requesting a site plan approval for a 12,500 square foot indoor recreation facility, which will include rock climbing and a fencing academy. The development is going to involve 4.88 acres and will be three lots that will all eventually have some development on it; the indoor recreation facility will be lot 2 in the center. Mr. Gonzales

869 pointed out that at time of plating the other two lots, which will be lot 1 and lot 3 meet the  
870 requirements for the Commercial District Development Standards.  
871

872 Mr. Gonzales went on to state concerning the density and dimension requirements, when  
873 looking at the site plan, landscape plan and the photometric plan, all those meet the general  
874 technical requirements as far as site plan is concerned, however, there are two exceptions to the  
875 building elevations that the applicant is requesting. Both have to do with Article V for the  
876 General Commercial Districts Standards, one being that the building is required to have 90%  
877 masonry construction throughout the building and the other a minimum of 20% stone. On one of  
878 the exceptions they are requesting the allowance of metal wall panels that exceed the 10%  
879 secondary material requirement and that will be for three elevation sides, they have 14% metal  
880 panels, 60% is located on the east, and 38% on the west. The other exception would be for the  
881 stone requirement, the applicant is using a ledge stone but the elevations do not meet the 20%  
882 requirement, therefore they are asking for the exception to that. The request is to for the south  
883 elevations to be 16% the east 17% and the west 13%. The exceptions require recommendation  
884 from the Planning and Zoning Commission as well as City Council.  
885

886 Mr. Gonzales advised the Commission that the applicant was present and available for  
887 questions.  
888

889 Chairman Renfro asked the Commission for questions for staff or the applicant.  
890

891 Commissioner Whitley expressed concern of a possible problem with glare off of the building as  
892 some building in Dallas have had, asked if there would be any potential glare issue with this  
893 building. Mr. Gonzales stated there would not be they meet the UDC photometric requirements.  
894

895 Commissioner Lyons asked if any sample material was provided for the Commission to look at.  
896 Mr. Gonzales provided a sample board the applicant submitted.  
897

898 Stan Crowmardy  
899 Arkon Architects  
900 814 Hall  
901 Seabrook, TX  
902

903 Commissioner Lyons asked what kind of warranty the stone they would be using would have,  
904 and was it real stone. Mr. Crowmardy stated they would be using a combination of cementitious  
905 product and brick masonry and believes the warranty to be five years minimum, but added that  
906 the product wears just like stone and masonry.  
907

908 Commissioner Logan asked if the item would be going to Architectural Review Board for review.  
909 Mr. Gonzales stated it would not as it is in a Straight Zone District and not within an Overlay  
910 District.  
911

912 Commissioner Whitley made a motion to approve the request with staff recommendations.  
913 Commissioner Logan seconded the motion, which passed by a vote of 7-0.  
914

915  
916 V. DISCUSSION ITEMS  
917

918 12. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).  
919

- 920 ✓ P2016-030: Replat for Lots 5 & 6, Block C, Sanger Bros. Addition [Approved]
- 921 ✓ P2016-031: Replat for Lots 2 & 3, Block A, Heritage Christian Academy, Phase 2 [Approved]
- 922 ✓ P2016-032: Final Plat for Lot 1, Block B, Rockwall Technology Park, Phase IV [Approved]
- 923 ✓ P2016-033: Final Plat for Lot 1, Block A, Rockwall Technology Park, Phase IV [Approved]
- 924 ✓ P2016-034: Final Plat for Lots 1-3, Block A, Dalton Goliad Addition [Approved]
- 925 ✓ Z2016-020: SUP for a Carport at 509 Sunset Hill Drive (1<sup>st</sup> Reading) [Approved]
- 926 ✓ Z2016-021: Zoning Amendment to PD-52 for Townhomes (1<sup>st</sup> Reading) [Approved]
- 927

928 Planning Director, Ryan Miller, provided a brief update about the outcome of the above  
929 referenced case at the City Council meeting. No discussion took place concerning this agenda  
930 item.

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**Mr. Miller welcomed new Commissioner Mark Moeller.**

VI. ADJOURNMENT

**The meeting adjourned at 9:44 p.m.**

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL,  
Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Craig Renfro, Chairman

Attest:

\_\_\_\_\_  
Laura Morales, Planning Coordinator

**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 08/30/2016

**APPLICANT:** Matt Claymore; *Claymoore Engineering, Inc.*

**AGENDA ITEM:** **P2016-036; Lot 1, Block A, Service King IH-30 Addition**

---

**SUMMARY:**

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Saint George Partners, LTD for the approval of a final plat for Lot 1, Block A, Service King IH-30 Addition being a 3.293-acre tract of land currently described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.

**PLAT INFORMATION:**

- The objective of this request is to final plat a tract of land [*Tract 7-01 of the J. Lockhart Survey, Abstract No. 134*] into one parcel of land [*Lot 1, Block A, Service King IH-30 Addition*] for the purpose of establishing the necessary fire lane and cross access, drainage and detention, and utility easements.
- A site plan (SP2016-006) for a *major automotive repair facility* (i.e. Service King Automotive Collision Repair Center) was approved by the Planning and Zoning Commission on May 31, 2016. In addition, City Council approved variances to rooftop mechanical screening requirements, building standards, and four (4) sided architecture requirements stipulated by the SH-205 Overlay (SH-205 OV) District on June 6, 2016.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for final plats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

**RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to approve the *final plat* for *Lot 1, Block A, Service King IH-30 Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *final plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and

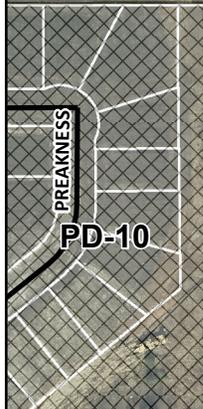
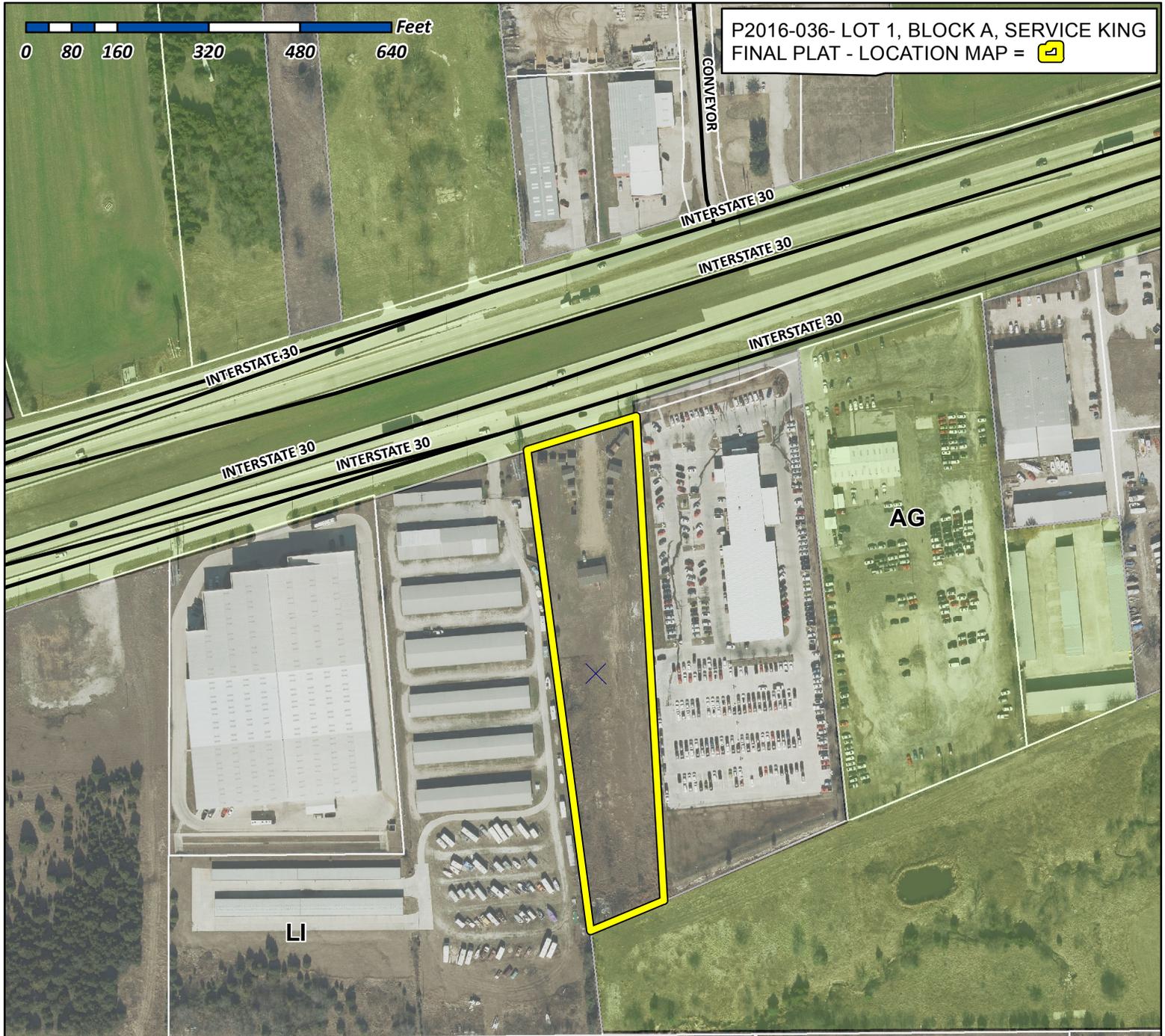
with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>M.3 For reference, include the case number (P2016-036) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please provide the following statement in General Notes: "It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54."</p> <p>M.5 Please change title block and all instances of "Service King IH-35 Addition" to "Service King IH-30 Addition."</p> <p>I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by September 7, 2016. The Planning &amp; Zoning meeting date for this case will be August30, 2016.</p> <p>I.7 The projected City Council meeting date and subsequent approval for this plat is September 6, 2016.</p>						

0 80 160 320 480 640 Feet

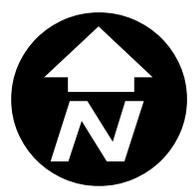
P2016-036- LOT 1, BLOCK A, SERVICE KING  
FINAL PLAT - LOCATION MAP = 

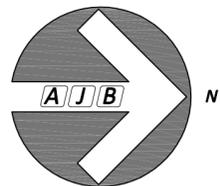


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

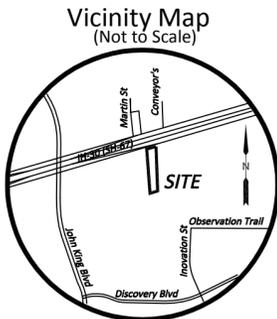
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





0' 25' 50' 100'  
Scale: 1" = 50'

**LEGEND**  
 IRF Iron Rod Found  
 IRS Iron Rod Set  
 DRRCT Deed Records Rockwall County, Texas  
 PRRCT Plat Records Rockwall County, Texas  
 RPRRCT Real Property Records Rockwall County, Texas  
 OPRRCT Official Public Records Rockwall County, Texas



Lot 2, Block A  
 McKeown-Belaustegui Addition  
 Cabinet E, Slide 233  
 (PRRCT)

Lot 1, Block A  
 3.293 Acres  
 143,447 Sq. Ft.  
 Called 3.2931 Acres  
 Saint George Partners, Ltd.  
 Document No. 2016000006853  
 (OPRRCT)

143,447 Sq. Ft.  
 Called 3.2931 Acres  
 Saint George Partners, Ltd.  
 Document No. 2016000006853  
 (OPRRCT)

Lot 1, Block 1  
 Rockwall Kia  
 Cabinet G, Slide 279  
 (PRRCT)

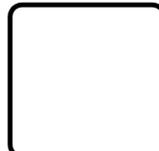
LINE	BEARING	DISTANCE
L1	S 16°09'38" E	20.69'
L2	S 05°15'05" E	278.55'
L3	S 50°15'05" E	27.48'
L4	N 84°44'55" E	78.20'
L5	N 39°44'55" E	28.81'
L6	N 05°15'05" W	162.54'
L7	N 16°09'38" W	26.40'
L8	S 73°50'22" W	13.26'
L9	N 16°09'38" W	15.00'
L10	N 73°50'22" E	13.26'
L11	N 16°09'38" W	114.52'
L12	N 73°52'38" E	15.00'
L13	S 16°09'38" E	157.34'
L14	S 05°15'05" E	109.18'
L15	N 84°44'55" E	10.00'
L16	S 05°15'05" E	15.00'
L17	S 84°44'55" W	10.00'
L18	S 05°15'05" E	46.01'
L19	S 39°44'55" W	41.23'
L20	S 84°44'55" W	90.63'
L21	N 50°15'05" W	11.73'
L22	S 39°44'55" W	20.05'
L23	N 50°15'05" W	15.00'
L24	N 39°44'55" E	20.05'
L25	N 50°15'05" W	13.18'
L26	N 05°15'05" W	218.76'
L27	S 84°44'55" W	10.00'
L28	N 05°15'05" W	15.00'
L29	N 84°44'55" E	10.00'
L30	N 05°15'05" W	49.57'
L31	N 16°09'38" W	19.27'
L32	N 73°52'38" E	15.00'

**GENERAL NOTES:**

The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basis of Bearings: Bearings are based on the east lien of Lot 1, Block 1 of Rockwall Kia according to the plat recorded in Cabinet G, Slide 279, Plat Records Rockwall County, Texas.

FLOOD STATEMENT: According to Community Panel No. 48397C0045L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area.



Scale: 1" = 100'  
 Date: August 2, 2016  
 Technician: Spradling/Elam  
 Drawn By: Spradling/Elam

Checked By: A.J. Bedford  
 P.C.: Cryer/Spradling  
 File: Service King IH-30  
 Job No. 552-084  
 GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087  
 (972) 722-0225 \* www.ajbedfordgroup.com

Sheet:  
 1  
 of: 2



TBPLS REG#10118200

Case No. P2016-\_\_\_\_  
**FINAL PLAT**  
**SERVICE KING IH-35 ADDITION**  
**LOT 1, BLOCK A**

1 LOT TOTALING 3.293 ACRES  
 JOHN LOCKHART SURVEY, ABSTRACT NO. 134  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

Owner: Saint George Partners, Ltd 1903 Central Drive, Suite 406 Dallas, Texas 75219  
 Engineer: ClayMoore Engineering Bedford, Texas 76021

Interstate No. 30  
 (Variable width ROW)

T. S. P. Coordinates  
 N:7022871.15  
 E:2604612.15  
 Point of Beginning

Capped IRF bears:  
 S 65°06'12" E - 6.58'

TxDOT Mon Fnd bears:  
 S 01°41'11" E - 9.02'

25' Building Line  
 Cabinet G, Slide 279

24' Cross Access Easement and Fire Lane  
 Cabinet G, Slide 279

15' Utility Easement  
 Cabinet G, Slide 279

15' Utility Easement  
 Cabinet G, Slide 279

15' Building Line  
 Cabinet G, Slide 279

15' Utility Easement  
 Cabinet G, Slide 279

15' Blackland W.S.C. Easment  
 Volume 174, Page 881

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS SAINT GEORGE PARTNERS, LTD. is the owner of a 3.293 acre tract of land situated in the John Lockhart Survey Abstract No. 134, Rockwall County, Texas and being a tract of land described as in a Warranty Deed to Saint George Partners, Ltd. recorded in Document No. 2016000006853, Official Public Records of Rockwall County, Texas (OPRRCT) and being more particularly described as follows:

BEGINNING at a point in the south line of Interstate Highway No. 30 and being the northwest corner of Lot 1, Block 1 of Rockwall Kia an addition to the City of Rockwall according to the plat recorded in Cabinet G, Slide 279, Plat Records Rockwall County, Texas, from which a capped iron rod bears SOUTH 65°06'12" EAST a distance of 6.58 feet and a TxDOT Monument bears SOUTH 01°41'11" EAST a distance of 9.02 feet;

THENCE along the west line of said Lot 1, Block 1, SOUTH 01°46'48" EAST a distance of 859.22 feet to a 1/2 inch iron rod found for corner in the north line of a tract of land described in a deed to Hitt Family Limited Partnership recorded in Volume 1875, Page 238, Deed Records Rockwall County, Texas (DRRCT);

THENCE along the north line of said Hitt Family tract, SOUTH 68°16'12" WEST a distance of 139.25 feet to a point for corner in the east line of Lot 2, Block A of McKeown-Belaustegui Addition an addition to the City of Rockwall according to the plat recorded in Cabinet E, Slide 233 (PRCCT), from which a 1/2 inch iron rod found bears NORTH 46°25'31" EAST a distance of 2.43 feet;

THENCE along the east line of said Lot 2, Block A, NORTH 06°33'29" WEST a distance of 541.16 feet to a point for corner;

THENCE continuing along said east line, NORTH 05°15'05" WEST a distance of 318.18 feet to a point for corner in the south line of said Interstate Highway No. 30, from which a pk-nail found bears SOUTH 08°37'10" EAST a distance of 9.25 feet;

THENCE along the south line of said Interstate Highway No. 30, NORTH 73°53'46" EAST a distance of 201.50 feet to the POINT OF BEGINNING;

CONTAINING 3.293 acres or 143,447 square feet of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS  
COUNTY OF ROCKWALL

We, SAINT GEORGE PARTNERS, LTD., the undersigned owner of the land shown on this plat, and designated herein as the SERVICE KING IH-30 ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the SERVICE KING IH-30 ADDITION subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

SAINT GEORGE PARTNERS, LTD

Name:  
Title:

STATE OF TEXAS  
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2016

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Austin J. Bedford, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Austin J. Bedford  
Registered Professional Land Surveyor No. 4132  
A.J. Bedford Group, Inc.  
301 North Alamo Road  
Rockwall, Texas 75087

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2016.

Mayor, City of Rockwall City Secretary City Engineer

Case No. P2016-\_\_\_\_

FINAL PLAT  
SERVICE KING IH-35 ADDITION  
LOT 1, BLOCK A

1 LOT TOTALING 3.293 ACRES  
JOHN LOCKHART SURVEY, ABSTRACT NO. 134  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

Owner: Saint George Partners, Ltd 3811 Turtle Creek, Suite 1800 Dallas, Texas 75219  
Engineer: ClayMoore Engineering 1903 Central Drive, Suite 406 Bedford, Texas 76021

Scale: 1" = 100'  
Date: August 2, 2016  
Technician: Spradling/Elam  
Drawn By: Spradling/Elam

Checked By: A.J. Bedford  
P.C.: Cryer/Spradling  
File: Service King IH-30  
Job. No. 552-084  
GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087  
(972) 722-0225 , www.ajbedfordgroup.com

Sheet: 2  
Of: 2



TBPLS REG#10118200

**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 08/30/2016

**APPLICANT:** Dub Douphrate; *Douphrate & Associates, Inc.*

**AGENDA ITEM:** P2016-037; Lakeview Summit, Phase IV

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**SUMMARY:**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton for the approval of an amending plat of Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the 38.056-acre subdivision situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive, and take any action necessary.

**PLAT INFORMATION:**

- The applicant is requesting approval of an amending plat of Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the subdivision. With this amending plat, no lots are being changed.
- A replat for Lakeview Summit, Phase IV was approved by the Planning and Zoning Commission on March 16, 2016 [Case No. P2015-007]. Since this time, the applicant has added additional necessary utility easements that were omitted from the filed replat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for amending plats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

**RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to approve the *amending plat* for Lakeview Summit, Phase IV, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *amending plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and

with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2016-037	<b>Owner</b> PCB, PROPERTIES LLC	<b>Applied</b> 8/12/2016 LM
<b>Project Name</b> Lakeview Summit Ph IV	<b>Applicant</b> DOUPHRATE & ASSOCIATES INC	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/12/2016 LM

<b>Site Address</b> PETALUMA DR	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> LAKEVIEW SUMMIT PH 4	<b>Tract</b> 1	<b>Block</b> G	<b>Lot No</b> 1	<b>Parcel No</b> 4294-000G-0001-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	APPROVED	
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING	Korey Brooks	8/12/2016	8/19/2016	8/23/2016	11	COMMENTS	Comments

(8/23/2016 1:26 PM KB)

P2016-037 Lakeview Summit Phase IV Please address the following comments (M= Mandatory Comments; I = Informational Comments).

I.1 This is a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton for the approval of an amending plat of Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the 38.056-acre subdivision situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive.

I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

M.3 For reference, include the case number (P2016-037) in the lower right hand corner of all pages on future submittals.

M.4 Please check the scale. It doesn't seem to be 1 inch = 100 feet. It seems to be enlarged

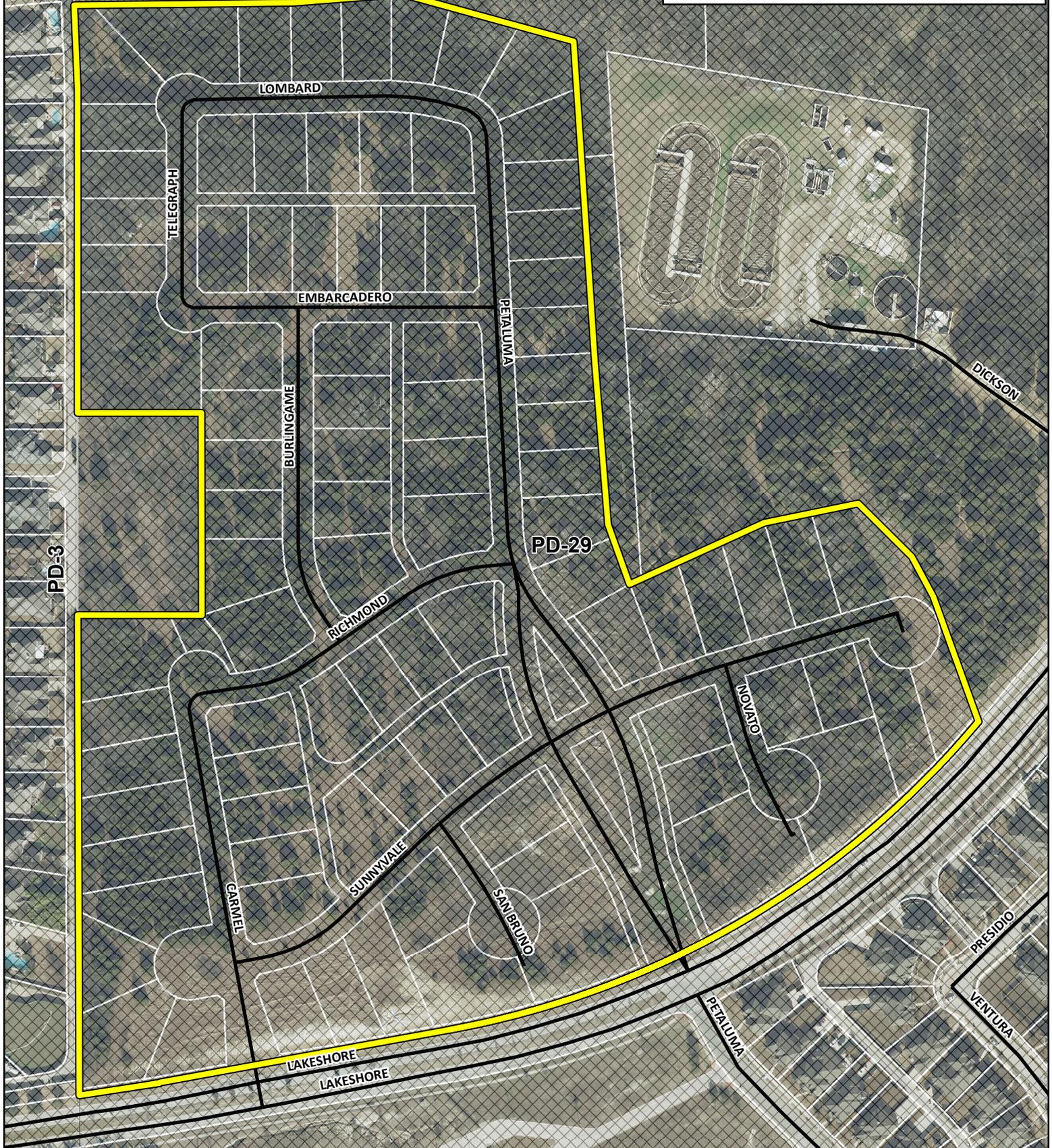
M.5 Please change "Access Easement" to "Public Access Easement"

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by September 7, 2016. The Planning & Zoning meeting date for this case will be August 30, 2016.

I.7 The projected City Council meeting date and subsequent approval for this plat is September 6, 2016.



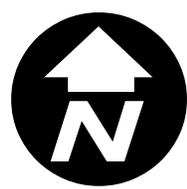
P2016-037 - LAKEVIEW SUMMIT, PHASE IV  
 AMENDING PLAT - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



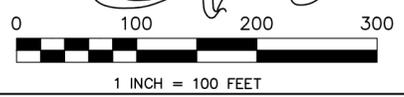
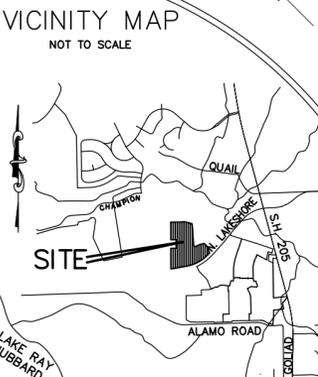
POINT OF BEGINNING

LOT 21 LOT 20 LOT 19 LOT 18 LOT 17 LOT 16 LOT 15 LOT 14 LOT 13 LOT 12 LOT 11 LOT 10 LOT 9 LOT 8 LOT 7 LOT 6 LOT 5 LOT 4 LOT 3 LOT 2 LOT 1  
THE FAIRWAY POINTS AT THE SHORES PHASE I CABINET D, SLIDE 9 P.R.R.C.T.  
THE SHORES, PHASE III CABINET C, SLIDE 99  
NORTHING 7034627.9769  
EASTING 2590238.5915  
AS TIED TO CITY OF ROCKWALL GPS MONUMENTS RO05 & RO08



**SURVEYOR NOTES:**  
1. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.  
2. ALL CORNERS ARE A 5/8 INCH IRON ROD WITH CAP STAMPED "R.P.L.S. 5430" UNLESS OTHERWISE NOTED.  
3. THE BASIS OF BEARING FOR THIS PLAT IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.

**LEGEND**  
◇ = STREET NAME CHANGE (TYP.) = TYPICAL  
A.E. = ACCESS EASEMENT  
B.L. = BUILDING LINE  
D.E. = DRAINAGE EASEMENT  
U.E. = UTILITY EASEMENT  
W.E. = WATER LINE EASEMENT  
L.B. = LANDSCAPE BUFFER  
T.B.M.B.H. = TO BE MAINTAINED BY H.O.A.



**NOTE:**  
NO REAR ENTRY ON THE FOLLOWING LOTS:  
1-9, BLOCK A  
17-21, BLOCK A  
45-52, BLOCK A  
1-8, BLOCK B

THE PURPOSE OF THIS AMENDING PLAT IS TO ADD UTILITY EASEMENTS. (NO LOTS HAVE BEEN CHANGED)

**AMENDING PLAT**  
**LAKEVIEW SUMMIT, PHASE IV**  
93 LOTS - 38.056 AC.  
CABINET I, SLIDE 221, P.R.R.C.T.  
SITUATED IN THE  
J.H.B. JONES SURVEY, ABSTRACT NO. 124  
NATHAN BUTLER SURVEY, ABSTRACT NO. 21  
CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

**OWNER/DEVELOPER** D.R. HORTON - TEXAS, LTD. DOUPHRADE & ASSOCIATES, INC. MADDIX SURVEYING & MAPPING INC  
4306 MILLER RD. STE. A 2235 RIDGE ROAD STE 200 P.O. BOX 2109  
ROWLETT, TEXAS 75088 ROCKWALL, TEXAS FORNEY, TEXAS 75126  
214-607-4244 (972) 771-9004 (972) 564-4416  
**ENGINEER**  
**SURVEYOR**

**TYPICAL LOT CORNER VISIBILITY EASEMENTS**  
15' X 15' WHERE ALLEYS INTERSECT STREETS  
15' X 15' AT STREET INTERSECTIONS WITH CORNER CLIPS  
25' X 25' AT ALL STREET INTERSECTIONS WITHOUT CORNER CLIPS

PARK LAND DEDICATION TO THE CITY OF ROCKWALL WITH LAKEVIEW SUMMIT PHASE 3, CAB. F, SLIDE 267-270, DIRECT APPROX. LOCATION OF 100 YEAR FLOOD LINE

15' SAN. SEWER EASEMENT VOL. 2167, PG. 167

NORTHING 7034569.3575  
EASTING 2591044.0672  
AS TIED TO CITY OF ROCKWALL GPS MONUMENTS RO05 & RO08

J.H.B. JONES SURVEY, ABSTRACT NO. 124  
NATHAN BUTLER SURVEY, ABSTRACT NO. 21

CITY OF ROCKWALL PARK LAKEVIEW SUMMIT PHASE 3

SQUABBLE CREEK TREATMENT PLANT

ROCKWALL ELEMENTARY SCHOOL NO. 9 CAB. E, SLIDE 161 P.R.R.C.T.

LOT 1A, BLOCK A 10' L.B. T.B.M.B.H.

LOT 9, BLOCK B L.B. T.B.M.B.H.

LOT 1, T.B.M.B.H. (LEVEL A)

LOT 15, BLOCK C 15' L.B. T.B.M.B.H.

LOT 54, BLOCK A 15' L.B. T.B.M.B.H.

LOT 19, BLOCK B 15' L.B. T.B.M.B.H.

LOT 22, DETENTION, DRAINAGE, & UTILITY EASEMENT T.B.M.B.H. (LEVEL C)

LOT 23, MIN. FF = 457.9

LOT 24, MIN. FF = 458.3

LOT 25, MIN. FF = 458.7

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LOT 27, MIN. FF = 459.5

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LOT 34, MIN. FF = 462.3

LOT 35, MIN. FF = 462.7

LOT 36, MIN. FF = 463.1

LOT 37, MIN. FF = 463.5

LOT 38, MIN. FF = 463.9

LOT 39, MIN. FF = 464.3

LOT 40, MIN. FF = 464.7

LOT 41, MIN. FF = 465.1

LOT 42, MIN. FF = 465.5

LOT 43, MIN. FF = 465.9

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LOT 195, MIN. FF = 526.7

LOT 196, MIN. FF = 527.1

LOT 197, MIN. FF = 527.5

LOT 198, MIN. FF = 527.9

LOT 199, MIN. FF = 528.3

LOT 200, MIN. FF = 528.7

LOT 201, MIN. FF = 529.1

LOT 202, MIN. FF = 529.5

LOT 203, MIN. FF = 529.9

LOT 204, MIN. FF = 530.3

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LOT 215, MIN. FF = 534.7

LOT 216, MIN. FF = 535.1

LOT 217, MIN. FF = 535.5

LOT 218, MIN. FF = 535.9

LOT 219, MIN. FF = 536.3

LOT 220, MIN

OWNERS CERTIFICATE

STATE OF TEXAS}
COUNTY OF ROCKWALL}

WHEREAS, D.R. HORTON - TEXAS, LTD., being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING, a tract of land situated in the J.H.B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, and being all of Lakeview Summit, Phase IV Replat as recorded in Cabinet I, Slide 221, Plat Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2 inch iron rod with cap stamped "D.A.I." found on the northerly right of way line of North Lakeshore Drive (a 100' right of way) and at the southeast corner of The Fairway Pointe at the Shores, an addition to the City of Rockwall as recorded in Cabinet D, Slide 9 of the Plat Records of Rockwall County, Texas, said point also being on the southwest corner of said Lakeview Summit, Phase IV;

THENCE, leaving the northerly right of way line of North Lakeshore Drive and along the westerly line of said Lakeview Summit, Phase IV, the following courses and distances:

North 00 degrees 12 minutes 37 seconds West, a distance of 775.30 feet to 1/2 inch iron rod with cap stamped "D.A.I." found at the southwest corner of the Butler Cemetery (unrecorded);

North 89 degrees 57 minutes 35 seconds East, a distance of 200.06 feet to a 1/2 inch iron rod found at the southeast corner of said Butler Cemetery;

North 00 degrees 02 minutes 27 seconds West, a distance of 326.70 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found at the northeast corner of said Butler Cemetery;

South 89 degrees 58 minutes 33 seconds West, a distance of 199.70 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found at the northwest corner of said Butler Cemetery and also being on the easterly line of The Shores, Phase III, an addition to the City of Rockwall as recorded in Cabinet C, Slide 99 of said Plat Records;

THENCE North 00 degrees 00 minutes 03 seconds West, along the common line of said The Shores, Phase III with the westerly line of said Lakeview Summit, Phase IV, a distance of 523.11 feet to a 1/2 inch iron rod found for corner;

THENCE North 02 degrees 19 minutes 00 seconds West, continuing along the common line of said The Shores, Phase III with the westerly line of said Lakeview Summit, Phase IV, a distance of 135.23 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for the northwest corner of said Lakeview Summit, Phase IV;

THENCE leaving the common line of said The Shores, Phase III with the westerly line of said Lakeview Summit, Phase IV and along the northerly and easterly line of said Lakeview Summit, Phase IV the following courses and distances:

North 89 degrees 20 minutes 14 seconds East, a distance of 353.02 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

North 85 degrees 31 minutes 37 seconds East, a distance of 176.30 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 74 degrees 33 minutes 21 seconds East, a distance of 287.09 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 03 degrees 50 minutes 27 seconds East, a distance of 514.23 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 04 degrees 30 minutes 33 seconds East, a distance of 267.66 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 19 degrees 49 minutes 23 seconds East, a distance of 102.53 feet to a 1/2 inch iron rod found for corner

North 65 degrees 23 minutes 46 seconds East, a distance of 238.70 feet to a 1/2 inch iron rod found for corner;

North 78 degrees 35 minutes 27 seconds East, a distance of 154.79 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 45 degrees 22 minutes 49 seconds East, a distance of 121.83 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 28 degrees 25 minutes 00 seconds East, a distance of 73.44 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 19 degrees 44 minutes 31 seconds East, a distance of 214.56 feet to a 1/2 inch iron rod found for corner on the aforementioned northerly right of way line of North Lakeshore Drive and at the beginning of a curve to the right;

THENCE along said northerly right of way line of North Lakeshore Drive, the following courses and distances:

Along said curve to the right having a central angle of 39 degrees 46 minutes 37 seconds, a radius of 1450.00 feet, a chord distance of 986.55 feet that bears South 59 degrees 44 minutes 34 seconds West, around said curve an arc distance of 1006.65 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 79 degrees 37 minutes 53 seconds West, a distance of 475.59 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the right;

Along said curve to the right having a central angle of 01 degree 33 minutes 11 seconds, a radius of 650.00 feet, a chord distance of 17.62 feet that bears South 80 degrees 24 minutes 28 seconds West, around said curve an arc distance of 17.62 feet to a 1/2 inch iron rod found for corner

South 81 degrees 11 minutes 04 seconds West, a distance of 114.45 feet to the POINT OF BEGINNING and containing 1,657,733 square feet or 38.056 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS}
COUNTY OF ROCKWALL}

We, D.R. HORTON-TEXAS, LTD., the owners of the land shown on this plat, and designated herein as the AMENDED PLAT OF LAKEVIEW SUMMIT PHASE IV ADDITION, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the AMENDED PLAT OF LAKEVIEW SUMMIT PHASE IV ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: D.R. HORTON - TEXAS, LTD.

David L. Booth, Assistant V.P. Date

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared David L. Booth, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_ day of \_\_\_, 2016.

Notary Public in and for the State of Texas

SURVEYORS CERTIFICATE

I, HEREBY CERTIFY, THAT I PREPARED THIS SURVEY PLAT SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND BY ME AND THAT ALL CORNERS ARE MARKED, AND THAT ALL DIMENSIONS SHOWN THEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND FURTHERMORE THERE ARE NO ENCROACHMENTS, PROTRUSIONS, IMPROVEMENTS, EASEMENTS, RIGHT-OF-WAY, OR 100 YEAR FLOOD PLAIN AFFECTING THE PROPERTY EXCEPT AS SHOWN THEREON.

WITNESS UNDER MY HAND THIS THE \_\_\_ DAY OF \_\_\_, 2016.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_ day of \_\_\_, 20\_\_\_

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Director of Planning City Engineer

Table with columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains curve data C1 through C58.

Table with columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains centerline curve data C1 through C30.

Table with columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains boundary curve data C1 through C2.

Table with columns: LINE, BEARING, DISTANCE. Contains lot line data L1 through L64.

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Table with columns: LINE, BEARING, DISTANCE. Contains boundary line data L1 through L47.

Table with columns: LINE, BEARING, DISTANCE. Contains boundary line data L1 through L4.

THE PURPOSE OF THIS AMENDING PLAT IS TO ADD UTILITY EASEMENTS. (NO LOTS HAVE BEEN CHANGED)

AMENDING PLAT LAKEVIEW SUMMIT, PHASE IV 93 LOTS - 38.056 AC. CABINET I, SLIDE 221, P.R.R.C.T.

SITUATED IN THE J.H.B. JONES SURVEY, ABSTRACT NO. 124 NATHAN BUTLER SURVEY, ABSTRACT NO. 21 CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER ENGINEER SURVEYOR

D.R. HORTON - TEXAS, LTD. DOUPHRATE & ASSOCIATES, INC. MADDOX SURVEYING & MAPPING INC 4306 MILLER RD. STE. A 2235 RIDGE ROAD STE 200 P.O. BOX 2109 ROWLETT, TEXAS 75088 ROCKWALL, TEXAS FORNEY, TEXAS 75126 214-607-4244 (972) 771-9004 (972) 564-4416 1"=100' 08-05-2016 SHEET 2 OF 2 (P2015-007)

**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 08/30/2016

**APPLICANT:** Dub Douphrate; *Douphrate & Associates, Inc.*

**AGENDA ITEM:** P2016-037; Lakeview Summit, Phase IV

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**SUMMARY:**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton for the approval of an amending plat of Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the 38.056-acre subdivision situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive, and take any action necessary.

**PLAT INFORMATION:**

- The applicant is requesting approval of an amending plat of Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the subdivision. With this amending plat, no lots are being changed.
- A replat for Lakeview Summit, Phase IV was approved by the Planning and Zoning Commission on March 16, 2016 [Case No. P2015-007]. Since this time, the applicant has added additional necessary utility easements that were omitted from the filed replat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for amending plats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

**RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to approve the *amending plat* for Lakeview Summit, Phase IV, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *amending plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and

with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2016-037	<b>Owner</b> PCB, PROPERTIES LLC	<b>Applied</b> 8/12/2016 LM
<b>Project Name</b> Lakeview Summit Ph IV	<b>Applicant</b> DOUPHRATE & ASSOCIATES INC	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/12/2016 LM

<b>Site Address</b> PETALUMA DR	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
------------------------------------	--	---------------

<b>Subdivision</b> LAKEVIEW SUMMIT PH 4	<b>Tract</b> 1	<b>Block</b> G	<b>Lot No</b> 1	<b>Parcel No</b> 4294-000G-0001-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	APPROVED	
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING	Korey Brooks	8/12/2016	8/19/2016	8/23/2016	11	COMMENTS	Comments

(8/23/2016 1:26 PM KB)

P2016-037 Lakeview Summit Phase IV Please address the following comments (M= Mandatory Comments; I = Informational Comments).

I.1 This is a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton for the approval of an amending plat of Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the 38.056-acre subdivision situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive.

I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

M.3 For reference, include the case number (P2016-037) in the lower right hand corner of all pages on future submittals.

M.4 Please check the scale. It doesn't seem to be 1 inch = 100 feet. It seems to be enlarged

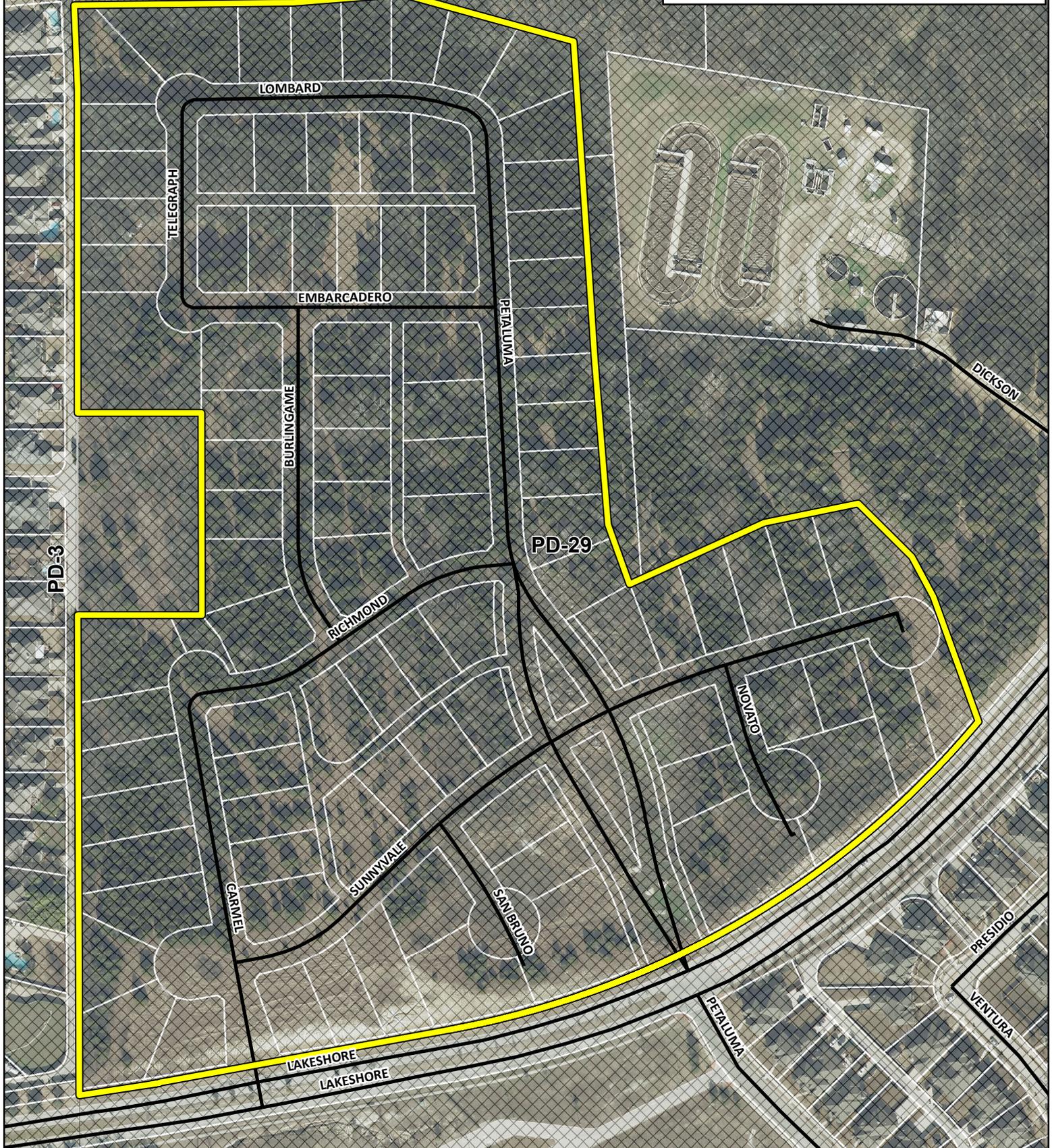
M.5 Please change "Access Easement" to "Public Access Easement"

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by September 7, 2016. The Planning & Zoning meeting date for this case will be August 30, 2016.

I.7 The projected City Council meeting date and subsequent approval for this plat is September 6, 2016.



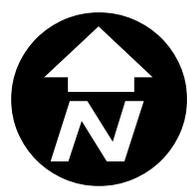
P2016-037 - LAKEVIEW SUMMIT, PHASE IV  
 AMENDING PLAT - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

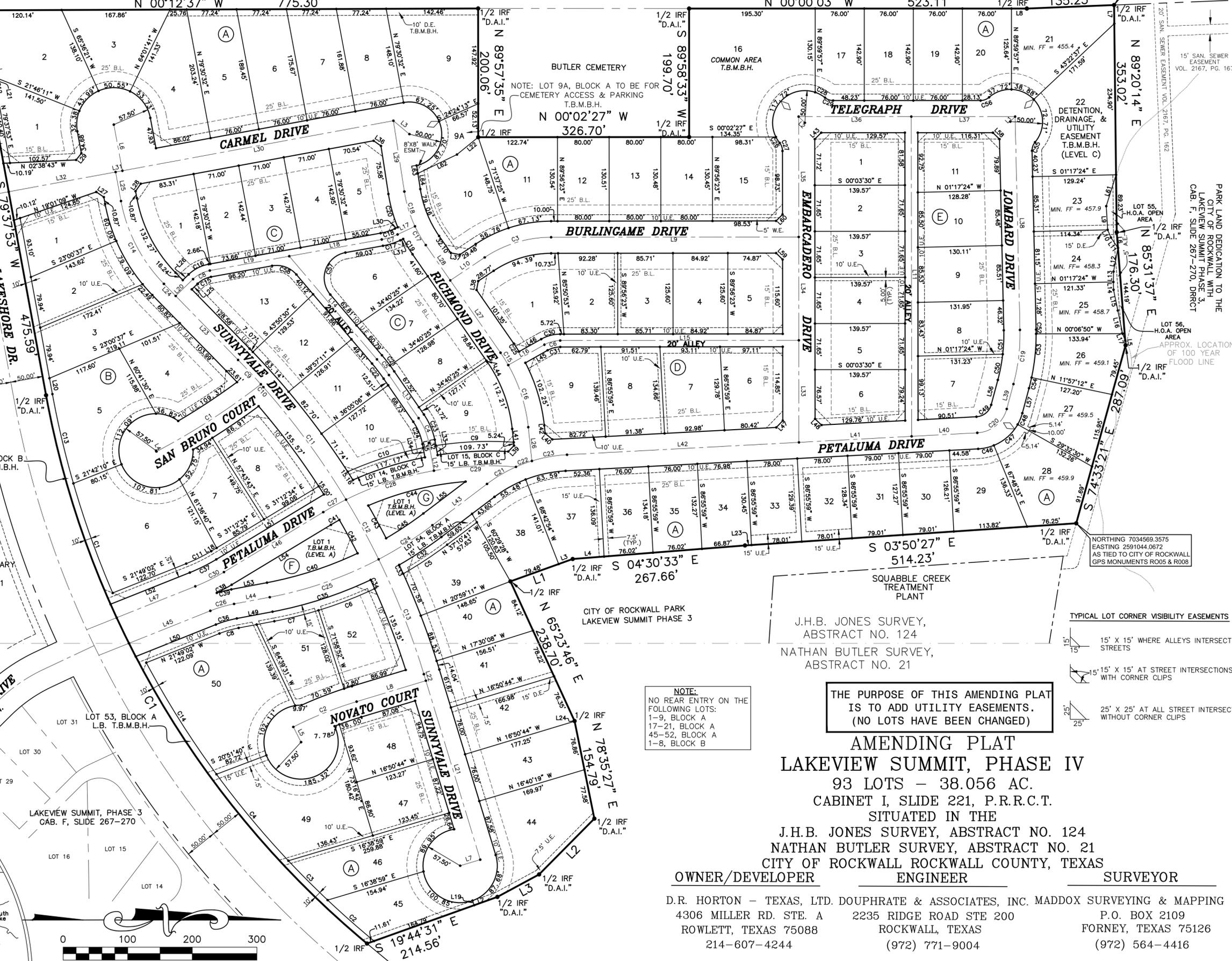
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



POINT OF BEGINNING

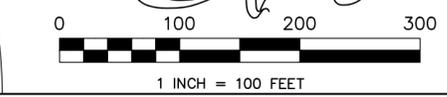
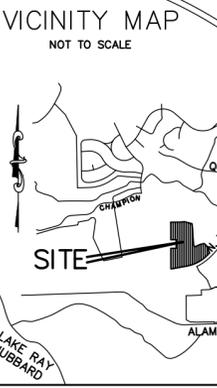
LOT 21 LOT 20 LOT 19 LOT 18 LOT 17 LOT 16 LOT 15 LOT 14 LOT 13 LOT 12 LOT 11 LOT 10 LOT 9 LOT 8 LOT 7 LOT 6 LOT 5 LOT 4 LOT 3 LOT 2 LOT 1

NORTHING 7034627.9769  
EASTING 2590238.5915  
AS TIED TO CITY OF ROCKWALL  
GPS MONUMENTS RO05 & RO08



**SURVEYOR NOTES:**  
1. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.  
2. ALL CORNERS ARE A 5/8 INCH IRON ROD WITH CAP STAMPED "R.P.L.S. 5430" UNLESS OTHERWISE NOTED.  
3. THE BASIS OF BEARING FOR THIS PLAT IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.

**LEGEND**  
◇ = STREET NAME CHANGE (TYP.) = TYPICAL  
A.E. = ACCESS EASEMENT  
B.L. = BUILDING LINE  
D.E. = DRAINAGE EASEMENT  
U.E. = UTILITY EASEMENT  
W.E. = WATER LINE EASEMENT  
L.B. = LANDSCAPE BUFFER  
T.B.M.B.H. = TO BE MAINTAINED BY H.O.A.



**NOTE:**  
NO REAR ENTRY ON THE FOLLOWING LOTS:  
1-9, BLOCK A  
17-21, BLOCK A  
45-52, BLOCK A  
1-8, BLOCK B

THE PURPOSE OF THIS AMENDING PLAT IS TO ADD UTILITY EASEMENTS. (NO LOTS HAVE BEEN CHANGED)

### AMENDING PLAT LAKEVIEW SUMMIT, PHASE IV 93 LOTS - 38.056 AC. CABINET I, SLIDE 221, P.R.R.C.T.

SITUATED IN THE  
J.H.B. JONES SURVEY, ABSTRACT NO. 124  
NATHAN BUTLER SURVEY, ABSTRACT NO. 21  
CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

**OWNER/DEVELOPER ENGINEER SURVEYOR**

D.R. HORTON - TEXAS, LTD. DOUPHRADE & ASSOCIATES, INC. MADDOX SURVEYING & MAPPING INC  
4306 MILLER RD. STE. A 2235 RIDGE ROAD STE 200 P.O. BOX 2109  
ROWLETT, TEXAS 75088 ROCKWALL, TEXAS FORNEY, TEXAS 75126  
214-607-4244 (972) 771-9004 (972) 564-4416

OWNERS CERTIFICATE

STATE OF TEXAS}
COUNTY OF ROCKWALL}

WHEREAS, D.R. HORTON - TEXAS, LTD., being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING, a tract of land situated in the J.H.B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, and being all of Lakeview Summit, Phase IV Replat as recorded in Cabinet I, Slide 221, Plat Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2 inch iron rod with cap stamped "D.A.I." found on the northerly right of way line of North Lakeshore Drive (a 100' right of way) and at the southeast corner of The Fairway Pointe at the Shores, an addition to the City of Rockwall as recorded in Cabinet D, Slide 9 of the Plat Records of Rockwall County, Texas, said point also being on the southwest corner of said Lakeview Summit, Phase IV;

THENCE, leaving the northerly right of way line of North Lakeshore Drive and along the westerly line of said Lakeview Summit, Phase IV, the following courses and distances:

North 00 degrees 12 minutes 37 seconds West, a distance of 775.30 feet to 1/2 inch iron rod with cap stamped "D.A.I." found at the southwest corner of the Butler Cemetery (unrecorded);

North 89 degrees 57 minutes 35 seconds East, a distance of 200.06 feet to a 1/2 inch iron rod found at the southeast corner of said Butler Cemetery;

North 00 degrees 02 minutes 27 seconds West, a distance of 326.70 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found at the northeast corner of said Butler Cemetery;

South 89 degrees 58 minutes 33 seconds West, a distance of 199.70 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found at the northwest corner of said Butler Cemetery and also being on the easterly line of The Shores, Phase III, an addition to the City of Rockwall as recorded in Cabinet C, Slide 99 of said Plat Records;

THENCE North 00 degrees 00 minutes 03 seconds West, along the common line of said The Shores, Phase III with the westerly line of said Lakeview Summit, Phase IV, a distance of 523.11 feet to a 1/2 inch iron rod found for corner;

THENCE North 02 degrees 19 minutes 00 seconds West, continuing along the common line of said The Shores, Phase III with the westerly line of said Lakeview Summit, Phase IV, a distance of 135.23 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for the northwest corner of said Lakeview Summit, Phase IV;

THENCE leaving the common line of said The Shores, Phase III with the westerly line of said Lakeview Summit, Phase IV and along the northerly and easterly line of said Lakeview Summit, Phase IV the following courses and distances:

North 89 degrees 20 minutes 14 seconds East, a distance of 353.02 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

North 85 degrees 31 minutes 37 seconds East, a distance of 176.30 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 74 degrees 33 minutes 21 seconds East, a distance of 287.09 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 03 degrees 50 minutes 27 seconds East, a distance of 514.23 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 04 degrees 30 minutes 33 seconds East, a distance of 267.66 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 19 degrees 49 minutes 23 seconds East, a distance of 102.53 feet to a 1/2 inch iron rod found for corner

North 65 degrees 23 minutes 46 seconds East, a distance of 238.70 feet to a 1/2 inch iron rod found for corner;

North 78 degrees 35 minutes 27 seconds East, a distance of 154.79 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 45 degrees 22 minutes 49 seconds East, a distance of 121.83 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 28 degrees 25 minutes 00 seconds East, a distance of 73.44 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 19 degrees 44 minutes 31 seconds East, a distance of 214.56 feet to a 1/2 inch iron rod found for corner on the aforementioned northerly right of way line of North Lakeshore Drive and at the beginning of a curve to the right;

THENCE along said northerly right of way line of North Lakeshore Drive, the following courses and distances:

Along said curve to the right having a central angle of 39 degrees 46 minutes 37 seconds, a radius of 1450.00 feet, a chord distance of 986.55 feet that bears South 59 degrees 44 minutes 34 seconds West, around said curve an arc distance of 1006.65 feet to a 1/2 inch iron rod with cap stamped "D.A.I." found for corner;

South 79 degrees 37 minutes 53 seconds West, a distance of 475.59 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the right;

Along said curve to the right having a central angle of 01 degree 33 minutes 11 seconds, a radius of 650.00 feet, a chord distance of 17.62 feet that bears South 80 degrees 24 minutes 28 seconds West, around said curve an arc distance of 17.62 feet to a 1/2 inch iron rod found for corner

South 81 degrees 11 minutes 04 seconds West, a distance of 114.45 feet to the POINT OF BEGINNING and containing 1,657,733 square feet or 38.056 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS}
COUNTY OF ROCKWALL}

We, D.R. HORTON-TEXAS, LTD., the owners of the land shown on this plat, and designated herein as the AMENDED PLAT OF LAKEVIEW SUMMIT PHASE IV ADDITION, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the AMENDED PLAT OF LAKEVIEW SUMMIT PHASE IV ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: D.R. HORTON - TEXAS, LTD.

David L. Booth, Assistant V.P. Date

STATE OF TEXAS

COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared David L. Booth, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for the State of Texas

SURVEYORS CERTIFICATE

I, HEREBY CERTIFY, THAT I PREPARED THIS SURVEY PLAT SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND BY ME AND THAT ALL CORNERS ARE MARKED, AND THAT ALL DIMENSIONS SHOWN THEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND FURTHERMORE THERE ARE NO ENCROACHMENTS, PROTRUSIONS, IMPROVEMENTS, EASEMENTS, RIGHT-OF-WAY, OR 100 YEAR FLOOD PLAIN AFFECTING THE PROPERTY EXCEPT AS SHOWN THEREON.

WITNESS UNDER MY HAND THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2016.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 20\_\_\_

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Director of Planning City Engineer

Table with columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains curve data C1 through C58.

Table with columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains centerline curve data C1 through C30.

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AMENDING PLAT LAKEVIEW SUMMIT, PHASE IV 93 LOTS - 38.056 AC. CABINET I, SLIDE 221, P.R.R.C.T.

SITUATED IN THE J.H.B. JONES SURVEY, ABSTRACT NO. 124 NATHAN BUTLER SURVEY, ABSTRACT NO. 21 CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER ENGINEER SURVEYOR

D.R. HORTON - TEXAS, LTD. DOUPHRATE & ASSOCIATES, INC. MADDOX SURVEYING & MAPPING INC 4306 MILLER RD. STE. A 2235 RIDGE ROAD STE 200 P.O. BOX 2109 ROWLETT, TEXAS 75088 ROCKWALL, TEXAS FORNEY, TEXAS 75126 214-607-4244 (972) 771-9004 (972) 564-4416 1"=100' 08-05-2016 SHEET 2 OF 2 (P2015-007)



# CITY OF ROCKWALL, TEXAS

## MEMORANDUM

**TO:** Planning and Zoning Commission

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** August 30, 2016

**SUBJECT:** Z2016-025; *Harbor Urban Center Condominiums*

On August 9, 2016 the Planning and Zoning Commission approved a motion to continue Case No. Z2016-025 by a vote of 7-0. Since this motion, the applicant has revised the concept plan and street cross sections in an effort to better address the Planning and Zoning Commissions comments and concerns that were raised in this meeting. The new street cross section increases the right-of-way width from 36-feet to 40-feet and reincorporates a row of parallel parking adjacent to the proposed condominium building, in between the sidewalk and the roadway. Beyond the parallel parking spaces is a six (6) foot sidewalk leaving a one (1) foot parkway/building setback. The following are the cross sections related to this case:

Figure 1.1: Street Type 'G' Cross Section from Ordinance No. 10-21

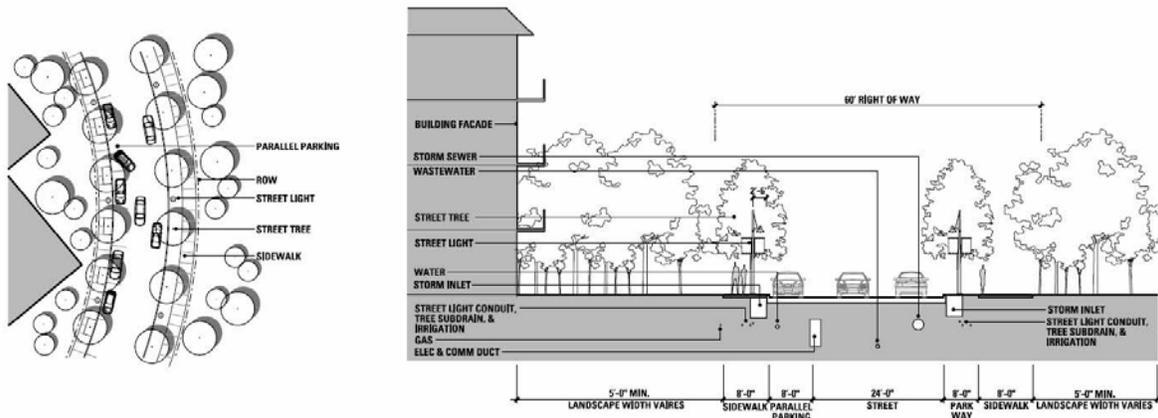
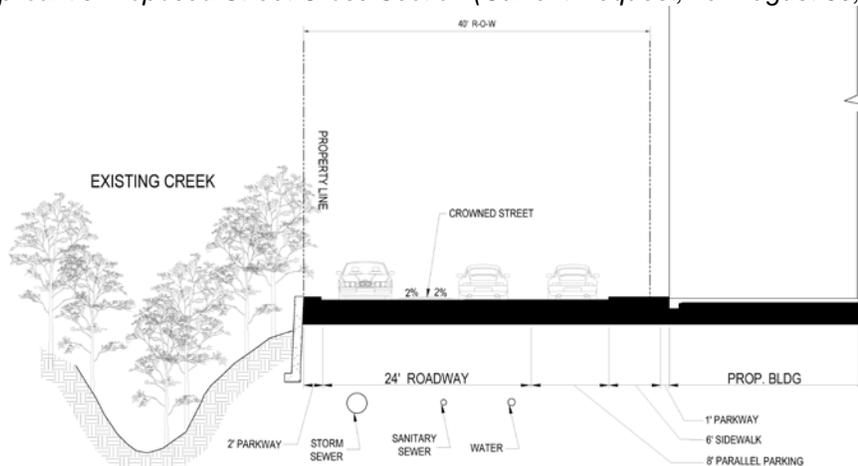
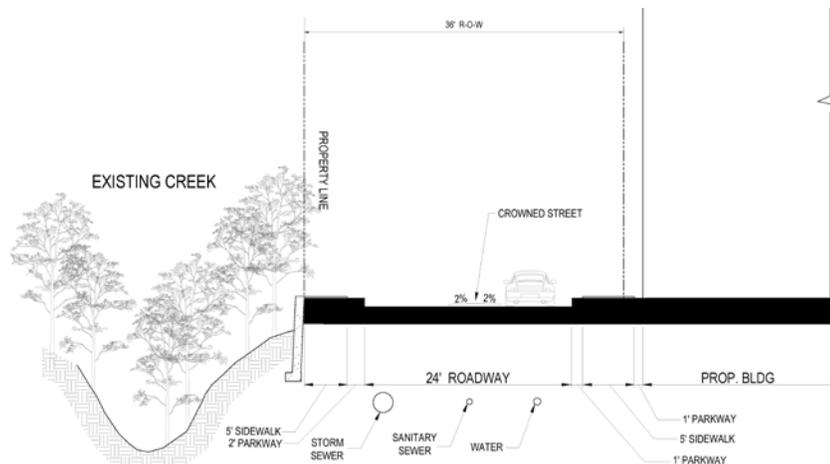


Figure 1.2: Applicant's Proposed Street Cross Section (Current Request; i.e. August 30, 2016)



A501

Figure 1.3: Applicant's Proposed Street Cross Section (Original Request; i.e. July 15, 2016)



As was stated at the August 9, 2016 Planning and Zoning Commission meeting the purpose of this PD Development Plan is to allow for changes to the required *Street Type 'G'* cross section required by *Ordinance No. 10-21*. This includes modifications to the street section and the alignment of the roadway. The proposed use, number of units and layout of the building are all permitted *by-right* within the *Interior Subdistrict*. Considering this, staff should point out that the updated concept plan does show a change in the parking design for the proposed condominium building. The previous building incorporated a wrap design (*i.e. the building wraps around the parking garage*), whereas the new building incorporates a podium design (*i.e. the parking garage is located below the condominium units*). This is the same design style utilized by the adjacent Summer Lee Condominiums. The applicant has also reduced the number of units shown on the concept plan from 245 to 228 for the purpose of accommodating the increased right-of-way width. Should the Planning and Zoning Commission have any additional questions staff and the applicant will be available at the meeting.

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/30/2016

**APPLICANT:** Jason Lentz; *Atticus Rockwall, LLC*

**AGENDA ITEM:** **Z2016-025**; *Harbor Urban Center Condominiums*

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### **SUMMARY:**

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

*Addendum 08.30.2016: Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 228 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.*

### **BACKGROUND:**

On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as *PD-32* or the *Harbor District*. Within the approved concept plan, *PD-32* was divided into ten (10) subdistrict that contained individual development and land use standards. The subject property is a 3.453-acre tract of land located within the *Interior Subdistrict*, which -- according to the *PD Ordinance* -- is intended "... to provide an area that can function as either office, residential, or senior living ..."

### **REQUEST:**

On July 15, 2016, the applicant, Jason Lentz, submitted an application proposing to develop the subject property with a 245-unit condominium building and structured parking garage. According to the *Subdistrict Land Use Chart* contained in *Exhibit 'D'* of Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the *Urban Residential (Condominium Units Only)* land use is permitted *by-right* within the *Interior Subdistrict*. In addition, *Ordinance No. 10-21* states, "(t)hat no more than 1,161 urban residential units shall be allowed in *PD-32*, which may include condominium and/or townhouse units, in addition to a maximum of 49 single-family zero lot line units (*patio homes*)."  
Currently, 664 of the urban residential units have been entitled (*i.e. Marina Village with 399-units and Summer Lee Condominiums with 265-units*), which leaves a total of 497-units still available. The ordinance does not stipulate a minimum or maximum number of units for any given subdistrict (*i.e. the pool of units is allocated on a first-come-first-serve basis to each development regardless of location as long as condominiums and townhouses are a permitted use within the subdistrict and there are still units available in the pool*).

According to the procedures stipulated in *Section 9.B, Procedures, of Ordinance 10-21*, this request -- *being in conformance with the Subdistrict Land Use Chart* -- would generally only be subject to *PD Site Plan* approval by the Planning and Zoning Commission; however, the proposed street extending from Summer Lee Drive to the southwestern corner of the subject property does not conform to the *Street Type G* cross section required by the *Streetscape Plan* contained in *Exhibit 'C'* of the ordinance. Taking this into consideration -- *and in conformance with Section 9.A, Development Plans, of Ordinance No. 10-21* -- staff has required the applicant to submit a *PD Development Plan* to allow the City Council discretionary authority over the requested waiver to the streetscape standards.

*Addendum 08.30.2016: The proposed number of units have decreased from 245 to 228 (or a decrease of 17 units).*

### **CHARACTERISTICS OF THE WAIVER REQUEST(S):**

The *Streetscape Plan* contained in *Ordinance No. 10-21* calls for a *Street Type G*, which is intended to serve "...as an edge to the open space [areas of the] subdistrict ..." and connect Summer Lee Drive and Ridge Road [*FM-740*]. Specifically this street section consists of *two-way* traffic on a 24-foot wide street with eight (8) foot parallel parking spaces along the western side of the roadway (*i.e. adjacent to the condominium project*), an eight (8) foot parkway, and eight (8) foot sidewalks on both sides of the street. The total right-of-way width of this street cross section is 60-feet. In lieu of this, the applicant is proposing a modified street cross section that will consist of two-way traffic on a 24-foot wide street with five (5) foot sidewalks on either side of the street, and a one (1) to two (2) foot parkway. The total right-of-way width of the proposed road section will be 36-feet; however, staff should point out that one (1) foot of the sidewalk will be situated outside of the right-of-way. This means that either the right-of-way width will need to be increase to 37-feet or the additional one (1) foot will need to be put into a *Pedestrian Access Easement* at the time of platting. Staff has included this as a condition of approval.

In reviewing this request, staff has identified an additional waiver to *building placement*, which will be required to be approved along with the applicant's request. Specifically, the *Interior Subdistrict* requires a minimum of a five (5) foot building setback and an average of a 20-foot setback along the *Street Type 'G'*, which the applicant is proposing to modify. In this case, the applicant would be requesting a minimum of a one (1) to two (2) foot building setback along this modified street section. Since a waiver to *building placement* is specifically identified in *Section 9.C, Waivers of Design Standards, of Ordinance No. 10-21*, it could be granted at the time of site plan approval by the City Council; however, since the modified street section is causing the *PD Development Plan* staff has included it in this request as a condition in the attached draft ordinance.

*Addendum 08.30.2016: Please see the attached memorandum for an outline of the specific changes to the proposed street cross section.*

### **WAIVER PROCEDURES:**

Since this request [*i.e. a request to modify an established street cross section*] does not fall under the waivers listed in *Section 9.C, Waivers of Design Standards, of Ordinance No. 10-21*, the waiver is considered to be an amendment to Planned Development District 32 (PD-32), and in accordance with the amendment process staff has prepared a draft ordinance for the City Council's review (*see attached draft ordinance*). In addition, according to *Ordinance No. 10-21*, "(w)aiivers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission ... (i)n order to approve a waiver the City Council must find that the waiver:

- (a) Meets the general intent of the PD District or Subdistrict in which the property is located; and,
- (b) Will result in an improved project which will be an attractive contribution to the PD District or Subdistrict; and,
- (c) Will not prevent the implementation of the intent of this PD District."

The ordinance also grants the City Council the power to condition any approval to mitigate for potential negative impacts that could result from the approval of a waiver. Staff has provided some conditions for the City Council to review in the *Recommendations* section of this case memo. The conditions have also been placed in the attached draft ordinance. Should the City Council choose to grant the request the applicant will still need to submit a site plan that will be reviewed by the Architectural Review Board (ARB) and the Planning and Zoning Commission. The waiver to the *building placement requirements* is accounted for in the attached draft ordinance.

Staff should point out that if the City Council chooses to deny the request the motion should be based on the street cross section proposed by the applicant and not the land use, as the *Urban Residential (Condominium Units Only)* land use is a permitted *by-right* use in the *Interior Subdistrict*. It should also be mentioned that if the request is denied the applicant does have the ability to submit a site plan for the proposed development, as long as the proposed street cross section is in conformance to the *Streetscape Plan* contained in *Ordinance No. 10-21*.

### **NOTIFICATION:**

On July 22, 2016, staff mailed 84 notices to property owners and residents within 500-feet of the subject property. Staff also emailed notices to the Lakeside Village, Lago Vista and Signal Ridge Homeowner's Associations (HOA), which are the only HOA's located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property along Summer Lee Drive as required by the Unified Development Code (UDC). At the time, this case memo was drafted two (2) responses in favor of the request and four (4) responses opposed to the request were received by staff.

### **RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for waivers to the requirements of Planned Development District 32 (PD-32), then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance and which are as follows:
  - (a) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G<sub>1</sub>'* standards stipulated in *Exhibit 'D'* of the attached draft ordinance; and,
  - (b) The minimum building setback adjacent to *Street Type 'G<sub>1</sub>'* shall be two (2) feet. This can be reduced to one (1) foot if the right-of-way width is increased to 37-feet; and,
  - (c) Any portion of the sidewalk situated outside of the right-of-way shall be required to be placed within a *Pedestrian Access Easement* on the final plat; and,
  - (d) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and the attached draft ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
  - (e) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
  - (f) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,

(g) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

- 2) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

*Addendum 08.30.2016: The conditions of approval for this case have changed as noted below. These conditions have been incorporated into the attached draft ordinance.*

- 1) *The applicant shall be responsible for maintaining compliance with the conditions contained within the Planned Development District ordinance and which are as follows:*
- (a) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the Street Type 'G<sub>1</sub>' standards stipulated in Exhibit 'D' of the attached draft ordinance; and,*
  - (b) The minimum building setback adjacent to Street Type 'G<sub>1</sub>' shall be one (1) foot; and,*
  - (c) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [as amended] and the attached draft ordinance, and with the guidelines contained in Resolution No. 10-40; and,*
  - (d) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (and City Council if necessary); and,*
  - (e) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,*
  - (f) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.*
- 2) *Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-025	<b>Owner</b> ATTICUS, REAL ESTATE SERVICES INC	<b>Applied</b> 7/15/2016	<b>LM</b>
<b>Project Name</b> Harbor Urban Center Condominiums	<b>Applicant</b> ATTICUS ROCKWALL LLC	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> PD		<b>Expired</b>	
<b>Status</b> STAFF REVIEW		<b>Status</b> 7/15/2016	<b>LM</b>

<b>Site Address</b> SUMMER LEE	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
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<b>Subdivision</b> MURPHY PLAZA ADDITION PH 2	<b>Tract</b> 5A	<b>Block</b> NULL	<b>Lot No</b> 5A	<b>Parcel No</b> 3160-0000-005A-00-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
ENGINEERING (7/19/2016 4:55 PM AW) Need public street per PD-32 plan Storm water pro-rata \$7226.59/acre Meet all engineering requirements	Amy Williams	7/15/2016	7/22/2016	7/19/2016	4	COMMENTS	See Comments

FIRE (7/21/2016 4:11 PM AA) Fire Apparatus Access Roadway: Approved fire apparatus access roads shall be provided for every building. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.	Ariana Hargrove	7/15/2016	7/22/2016	7/21/2016	6	COMMENTS	See Comments
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Exception: The fire code official is authorized to increase the dimension of 150 feet where:

1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, up to 250-ft.
2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

Multiple-family residential projects having more than 200 dwelling units shall be provided with two separate and approved fire apparatus access roads . Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

**Fire Hydrant Coverage:**

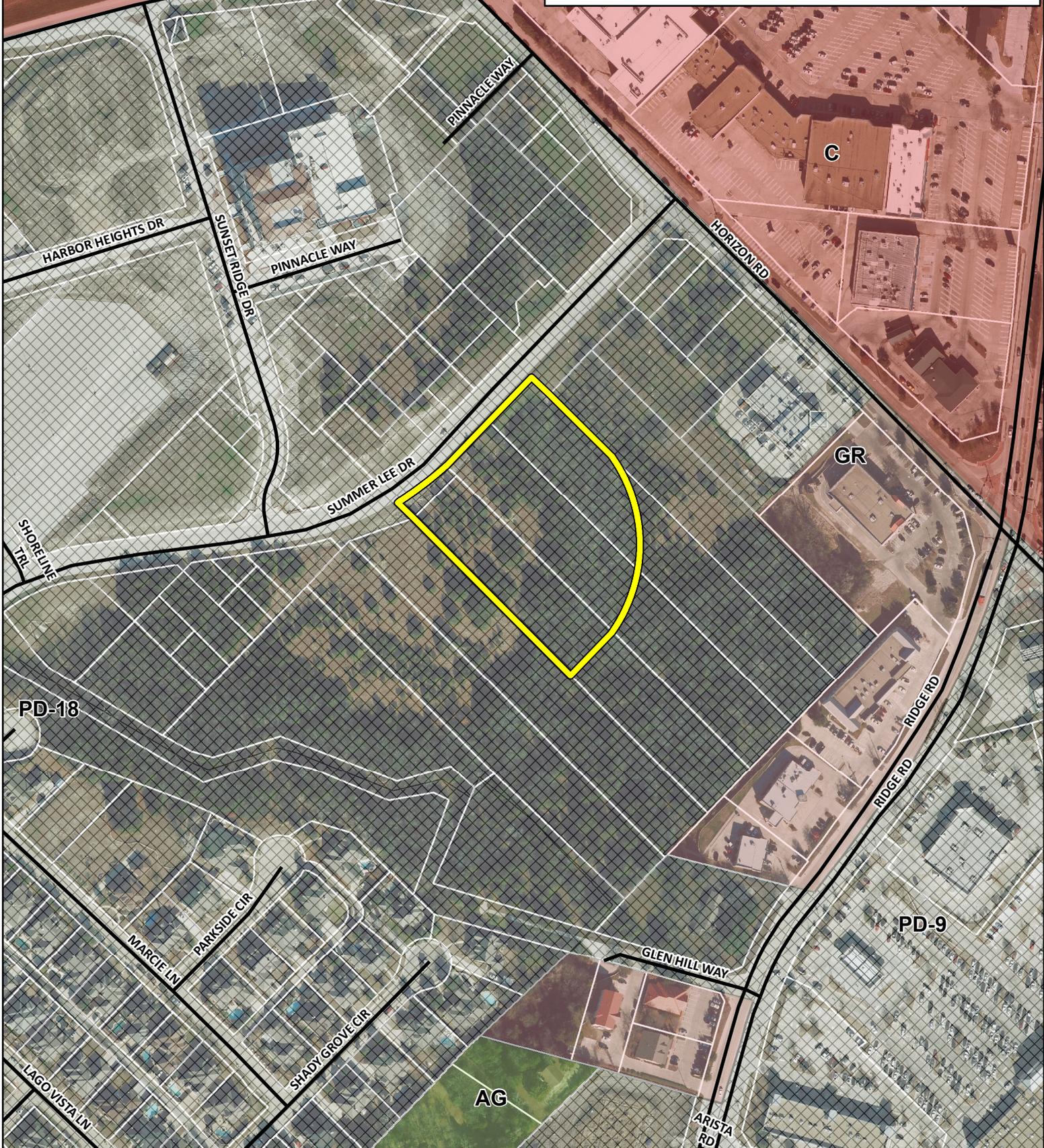
All portions of the exterior walls of the first story of the building shall be within 600-ft. of a fire hydrant as measured by an approved route around the exterior of the facility or building.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Fire Hydrant shall be located within 100-ft. of the Fire Department Connection (FDC) and within 8-ft. of fire apparatus access roadway.						
PLANNING	Ryan Miller	7/15/2016	7/22/2016	7/21/2016	6 COMMENTS	See Comments
Z2016-025 (PD Development Plan for the Harbor Urban Center Condominiums): Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
<p>I.1 This case is for the PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A &amp; 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Residential Subdistrict and within the Scenic Overlay (SOV) District, and located north of the intersection of Ridge Road [FM-740] and Glen Hill Way.</p> <p>I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.</p> <p>M.3 On all future submittals please include the case number (Z2016-025) in the lower right hand corner.</p> <p>I.4 Please review the Draft Ordinance prior to the Planning &amp; Zoning Meeting on August 9, 2016.</p> <p>M.5 A legal description covering the area of the townhomes will be required to be submitted prior to the first City Council meeting.</p> <p>I.6 Per conversations on July 21, 2016, it is staff's understanding that a public roadway ranging from 36 – 40 feet will be established, extending from Summer Lee Drive to the southwestern corner of the subject property.</p> <p>M.7 Provide a site plan that better delineates the requested development (i.e. remove the townhome data on the right side of the page and the line work not relating to this project).</p> <p>M.8 Submit four (4) sided elevations of the proposed condominium building. These will be placed in the PD Development ordinance to ensure general conformance is met at the time of site plan (Update 07/21/2016: The applicant stated that the building may be five [5] stories in height. This is permitted but must be established on the submitted building elevations. In addition, the building rendering will need to be updated).</p> <p>I.9 Please note that the minimum building height for the first floor is 15-feet. This is intended to provide a commercial look to the first floor of the building. It should also be noted that the Planned Development District does allow for mixed use building should the proposed development wish to incorporate commercial or office uses/flex space on the first floor (Note: most commercial and retail uses require the approval of a Specific Use Permit).</p> <p>I.10 Per Ordinance No. 10-21 all elevations shall be required to be reviewed by the Architectural Review Board (ARB). This review will be required at the time of site plan approval.</p> <p>I.11 If approved, an open space master plan will be required to be reviewed by the Parks Board prior to City Council approval.</p> <p>I.12 If approved, the applicant will be required to submit a site plan and final plat for the subject property.</p> <p>M.13 Based on the applicant's submittal staff would make the following recommendations concerning the proposed townhome development:</p> <ol style="list-style-type: none"> <li>1) The development plan should look to incorporate a pedestrian way as required by the Interior Subdistrict's standards. See Page 4 of Resolution No. 10-40 for details on pedestrian ways.</li> <li>2) The applicant should incorporate streetscape elements into the condominium development. Staff will require a streetscape plan at the time of site plan.</li> <li>3) With regard to the two (2) interior courtyards depicted on the concept plan please see Page 8 of Resolution No. 10-40 for opportunities to add further amenities to the development.</li> <li>4) If any portion of the parking garage is going to be visible please be aware that there are requirements contained in Planned Development District 32 (PD-32) to reduce the impact of the exposed parking areas. Additional guidelines are contained on Page 10 of Resolution No. 10-40.</li> </ol> <p>All recommendations are intended to bring the plan closer into conformance with the City's Comprehensive Plan and with the intent of Planned Development District 32 (PD-32).</p> <p>I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on August 2, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2016 Planning &amp; Zoning Meeting.</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.15 The projected City Council dates for this case are project to be: 1) August 15, 2016 [1st Reading], and 2) September 6, 2016 (Tuesday) [2nd Reading].						

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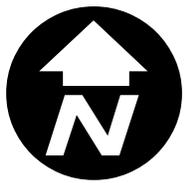
Z2016-025 - HARBOR URBAN CENTER CONDOMINIUMS  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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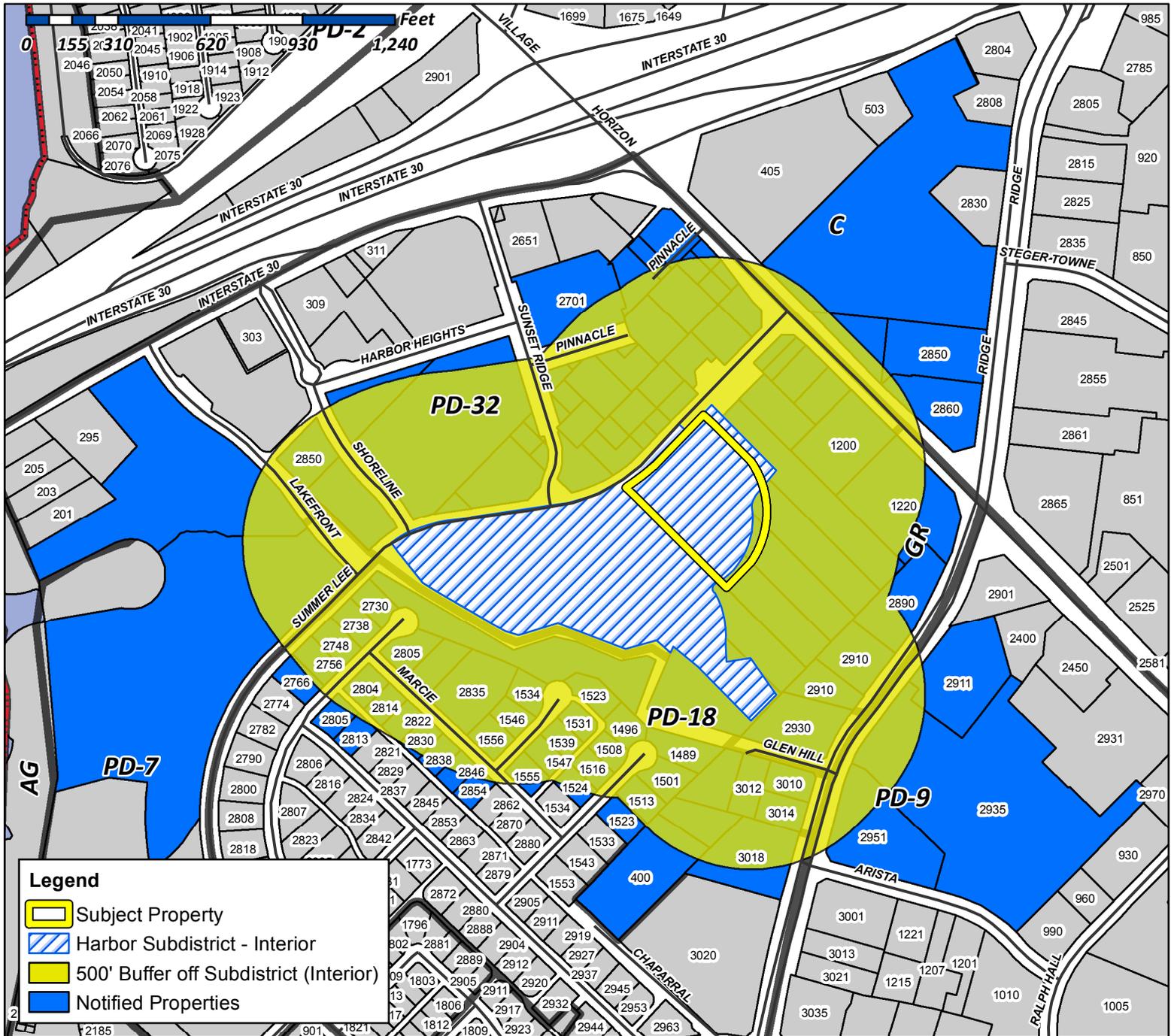
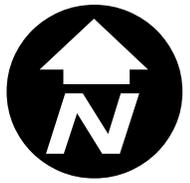




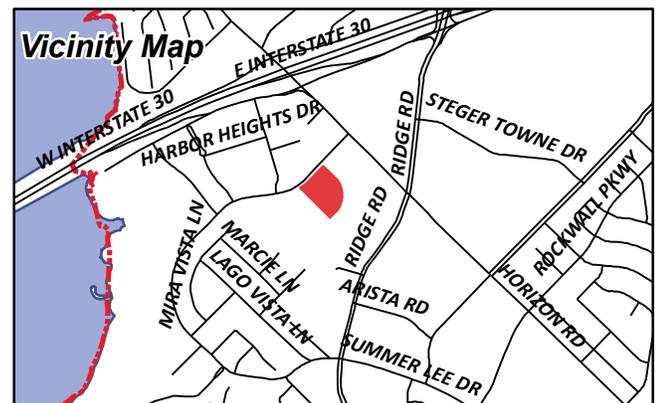
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-025  
**Case Name:** Harbor Urban Center Condominiums  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** SW Intersection of Horizon Road and Summer Lee Drive



**Date Created:** 07/19/2016

**For Questions on this Case Call (972) 771-7745**

KROGER TEXAS LP  
1014 VINE STREET  
CINCINNATI, OH 45202

SONG CORPORATION  
1200 HORIZON RD  
ROCKWALL, TX 75032

ANDERSON ALLEN D ETUX  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1220 HORIZON RD  
ROCKWALL, TX 75032

HP ROCKWALL 740 LTD  
C/O GARY P HAMMER  
12720 HILLCREST RD STE 1080  
DALLAS, TX 75230

KROGER TEXAS LP  
1331 E AIRPORT FWY  
IRVING, TX 75062

CAIN DOYLE E  
1375 COUNTY ROAD 2290  
MINEOLA, TX 75773

LONG MINDI N & HAMILTON P  
1489 SHADY GROVE CIRCLE  
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K  
1496 SHADY GROVE CIR  
ROCKWALL, TX 75032

YAYINE BERRE Z  
1501 SHADY GROVE CIRCLE  
ROCKWALL, TX 75087

HURST LEIF AND TIFFANY  
1508 SHADY GROVE CIR  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1513 SHADY GROVE CIR  
ROCKWALL, TX 75032

KUGLE MITCHELL H AND JANIS D  
1516 SHADY GROVE CIR  
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI  
1523 PARKSIDE CIR  
ROCKWALL, TX 75032

STURTZEL GILBERT J III & JEAN A  
1523 SHADY GROVE CIRCLE  
ROCKWALL, TX 75032

BURGUM JILL  
1524 SHADY GROVE CIR  
ROCKWALL, TX 75032

COLEMAN BRUCE R & TRUDY J  
1531 PARKSIDE CIR  
ROCKWALL, TX 75032

JORDAN JAY A & COURTNEY L  
1534 PARKSIDE CIR  
ROCKWALL, TX 75032

CLIFTON LINDA J  
1539 PARKSIDE CIR  
ROCKWALL, TX 75032

JEMISON ROBERT L & KAY F  
1546 PARKSIDE CIR  
ROCKWALL, TX 75032

GOUCHER STEVE AND LISA  
1547 PARKSIDE CIR  
ROCKWALL, TX 75032

DIETZ ROBERT E & NANCY M  
1555 PARKSIDE CIR  
ROCKWALL, TX 75032

RENFRO LAVONDA D & CRAIG R  
1556 PARKSIDE CIR  
ROCKWALL, TX 75032

BENT TREE REALTY CO  
16475 DALLAS PKWY STE 880  
ADDISON, TX 75001

BRYANT JUDY GRACE & LINDA JEAN BRUNETTE  
AND  
DOUGLASS FREDERICK WYGAL  
1714 MARCELLA LN  
ROWLETT, TX 75089

SER TEXAS LLC  
DBA HYPERION HOMES TEXAS LLC  
2 N RIVERSIDE PLAZA #1250  
CHICAGO, IL 60606

BRITTANY PROPERTIES LLC  
201 LAURENCE DR PMB 111  
HEATH, TX 75032

WHITE MICHAEL AND  
MARION E WILSON AND DIMENSIONS REAL  
ESTATE SERVICES LLC  
2304 W WHEATLAND RD  
DALLAS, TX 75232

BRISCOE OIL INC  
2323 STEVENS RD  
ROCKWALL, TX 75032

BRISCOE TOM R/JENNIFER  
2323 STEVENS RD  
ROCKWALL, TX 75032

SELMA HOSPITALITY INC  
2560 ROYAL LN STE 210  
DALLAS, TX 75229

SELMA HOSPITALITY INC  
2560 ROYAL LN STE 210  
DALLAS, TX 75229

JBR2 LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

HARBOR HEIGHTS INVESTORS LP  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

AJ SQUARED LLC  
271 RABBIT RIDGE  
HEATH, TX 75087

THOMPSON GARY  
2730 MIRA VISTA LN  
ROCKWALL, TX 75032

MCKINNEY MARVIN  
2738 MIRA VISTA LANE  
ROCKWALL, TX 75032

ATKINS VIOLA M AND CHRISTOPHER A  
2748 MIRA VISTAL LN  
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M  
2756 MIRA VISTA LN  
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY  
2766 MIRA VISTA LN  
ROCKWALL, TX 75032

YU JOHNNY & HAE SUK  
2804 MARCIE LN  
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS  
2805 LAGO VISTA LN  
ROCKWALL, TX 75032

SAPP PATRICK & SUSIE P  
2805 MARCIE LN  
ROCKWALL, TX 75032

SON KWANG W & BONG N  
2813 LAGO VISTA LN  
ROCKWALL, TX 75032

PAULY DEVIN & JULIE L  
2814 MARCIE LN  
ROCKWALL, TX 75032

FRY ROBIN K & JASON R  
2822 MARCIE LANE  
ROCKWALL, TX 75032

ROSS BRITT & PATRICIA E  
2830 MARCIE LN  
ROCKWALL, TX 75032

NOYORI MITSUE  
2835 MARCIE LN  
ROCKWALL, TX 75032

MANI KARTHICK  
2838 MARCIE LN  
ROCKWALL, TX 75032

JANOWSKI KEVIN C AND  
ELIZABETH A CLINE  
2846 MARCIE LANE  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2850 RIDGE RD  
ROCKWALL, TX 75032

LAKE FRONT TRAIL LP  
2850 SHORELINE TR SUITE 200  
ROCKWALL, TX 75032

SANFORD CLOVIS E & BARBARA  
2854 MARCIE LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2860 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2890 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2910 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2911 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2930 SOUTH RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2935 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2951 RIDGE RD  
ROCKWALL, TX 75032

MINNETONKA CAPITAL INVESTMENTS V LP  
%WALGREEN CO #5827  
300 WILMOT RD  
DEERFIELD, IL 60015

BRITTANY PROPERTIES LLC (69%) &  
MIKE SEALOCK (31%)  
3010 RIDGE RD  
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY  
3010 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3012 RIDGE RD RD  
ROCKWALL, TX 75032

ATTAWAY LISA K  
3014 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3018 RIDGE RD  
ROCKWALL, TX 75032

WANG LIN YU  
3023 E I-30 #D500  
ROCKWALL, TX 75087

MOTON ALVIN D SR & ETHEL  
3419 LILY LN  
ROWLETT, TX 75089

MOTON ETHEL REED  
C/O OF TONY C MOTON  
3419 LILY LN  
ROWLETT, TX 75089

GLEN HILLS CEMETERY  
C/O INEZ GIBSON  
3830 FRANK ST  
DALLAS, TX 75210

CURRENT RESIDENT  
400 CHAPARRAL LN  
ROCKWALL, TX 75032

ATTICUS REAL ESTATE SERVICES INC  
5339 ALPHA RD STE 300  
DALLAS, TX 75240

CLAYTON FAMILY TRUST  
GARY R CLAYTON TRUSTEE  
6915 WINTERWOOD  
DALLAS, TX 75248

CARSON MARK R  
701 N MUNSON RD  
ROYSE CITY, TX 75189

TF HARBOR, LLC  
C/O CREDIT UNION LIQUIDITY SERVICES LLC  
777 E CAMPBELL RD STE 650  
RICHARDSON, TX 75081

HUGHES ROBERT J & PATRICK HUGHES &  
SANDRA FERGUSON  
8030 SAN LEANDRO DR  
DALLAS, TX 75218

1220 HORIZON ROAD LLC  
C/O CVS 7464-02  
OCC EXP DEPT 1 CVS DRIVE  
WOONSOCKET, RI 02895

KRUGER KARIN  
P O BOX 1388  
ROCKWALL, TX 75087

SPATEX GROUP PARTNERSHIP  
C/O GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

EXODUS TRUST  
PO BOX 12263  
DALLAS, TX 75225

LANDAU PROPERTIES LP  
PO BOX 601679  
DALLAS, TX 75360

W & R PROPERTIES INC  
PO BOX 657  
KAUFMAN, TX 75142

ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.



Name: Michael T. White  
Address: 2304 W Wheatland Rd, Dallas, TX 75232

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.



**Name:** Carla Gilbert for Sabre Realty Management Inc.  
**Address:** COIP: 16475 Dallas Parkway, #800 Addison TX 75001  
Center: 2006-2014 S. Goliad Rockwall, TX 75087

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-025: Harbor Urban Center Condominiums

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Until a plan for the additional traffic is designed and put into place, nothing for these tracts should be permitted -- Don't let progress become the citizens burden - Thank You!

Name:

Resident

Address:

Lago Vista Community

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The reason we moved here was because of the Park-like setting adjacent to the house. The addition of this Condominiums will add unwanted noise and traffic to an already congested intersection of Horizon Rd & I-30.

Name: Mahmoud Hassanizadeh

Address: 1523 Parkside Circle, Rockwall, TX 75032

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-025: Harbor Urban Center Condominiums

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Congestion + Traffic Provides greater influx  
of people traveling in my subdivision

Name: Daryl L. Miller & Canelle Stearns Miller  
Address: 2805 Lago Vista Ln Rockwall Tx 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BOTTOM FORM

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Worsening of already bad traffic problems along Summer Lee, worsening of existing loss of landscape (Harbor Heights has yet to restore surrounding blighted landscape around it), additional overcrowding of what is supposed to be an upscale community, further intrusion into dwindling wildlife habitats, loss of privacy via loss of tree cover - consider building instead over existing nearby strip mall areas in need of renovation

**Name:** Jonathan & Cathy Cooldge

**Address:** 2756 Mira Vista Lane, Rockwall, TX 75082

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

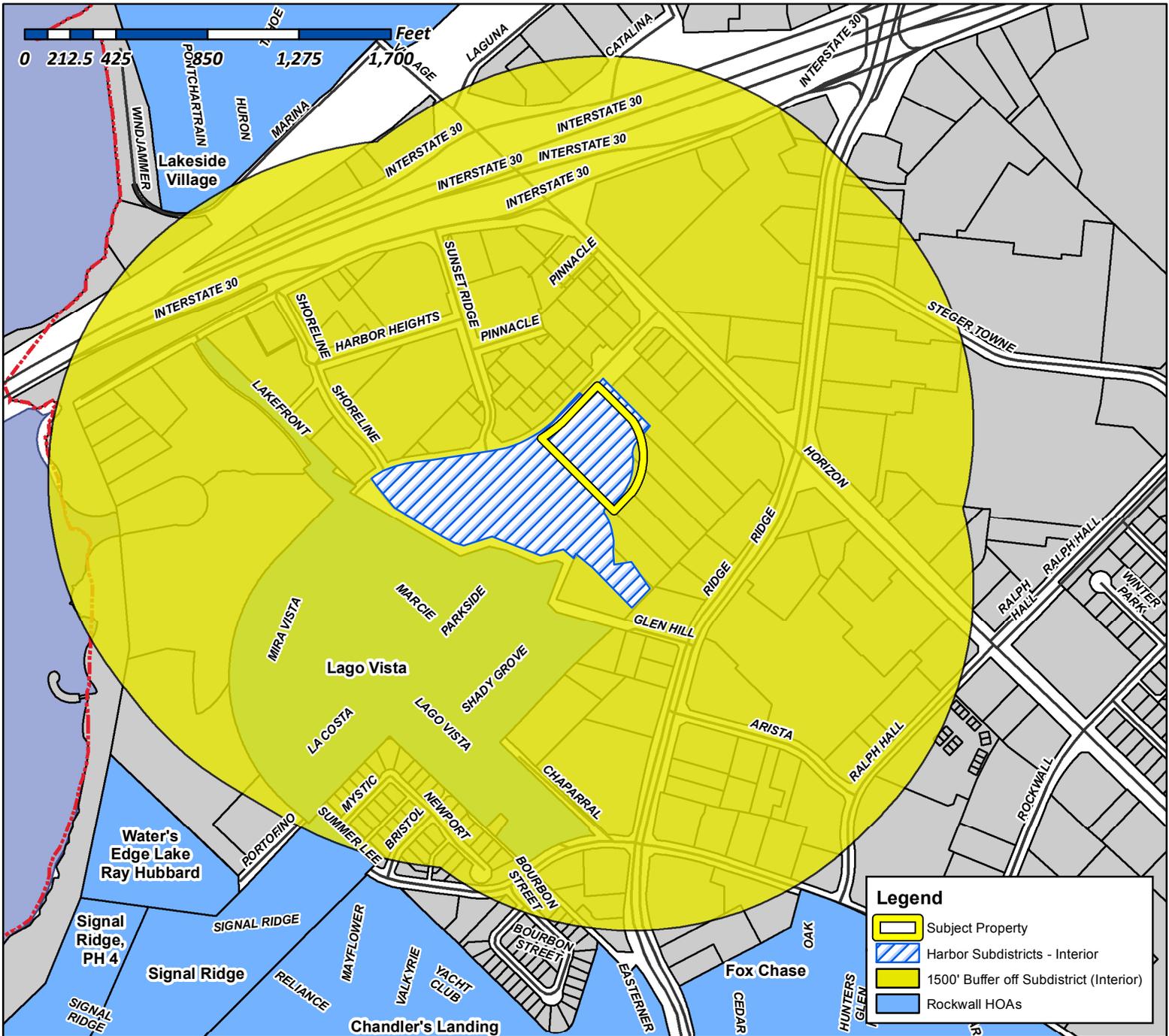
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2016-025  
**Case Name:** Harbor Urban Center Condominiums  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** SW Intersection of Horizon Road and Summer Lee Drive

**Date Created:** 07/19/2016  
**For Questions on this Case Call** (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Wednesday, July 20, 2016 11:22:20 AM

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-025- Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

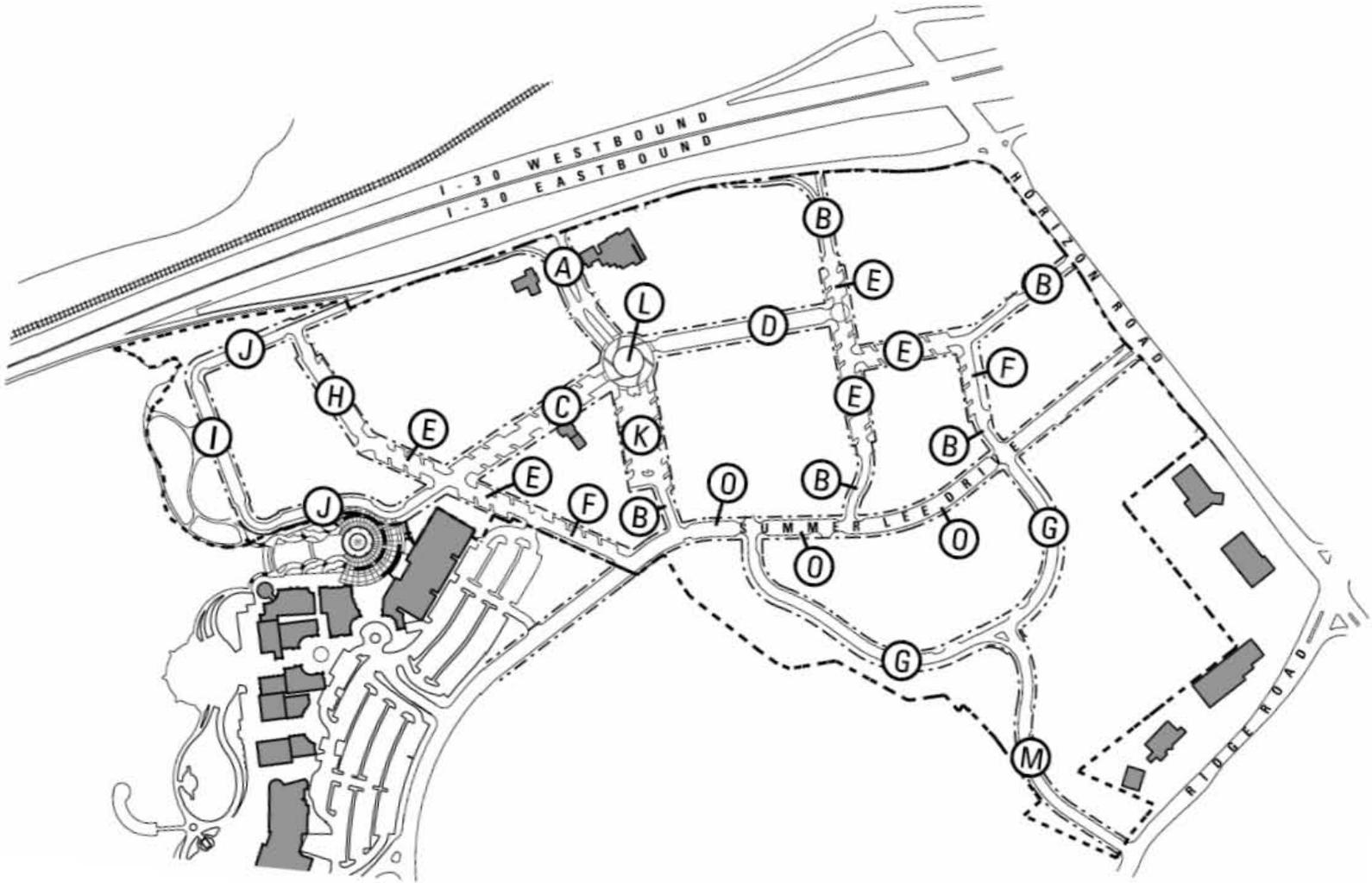
Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>

Exhibit C-4 (Page 1 of 18)  
Streetscape Plan

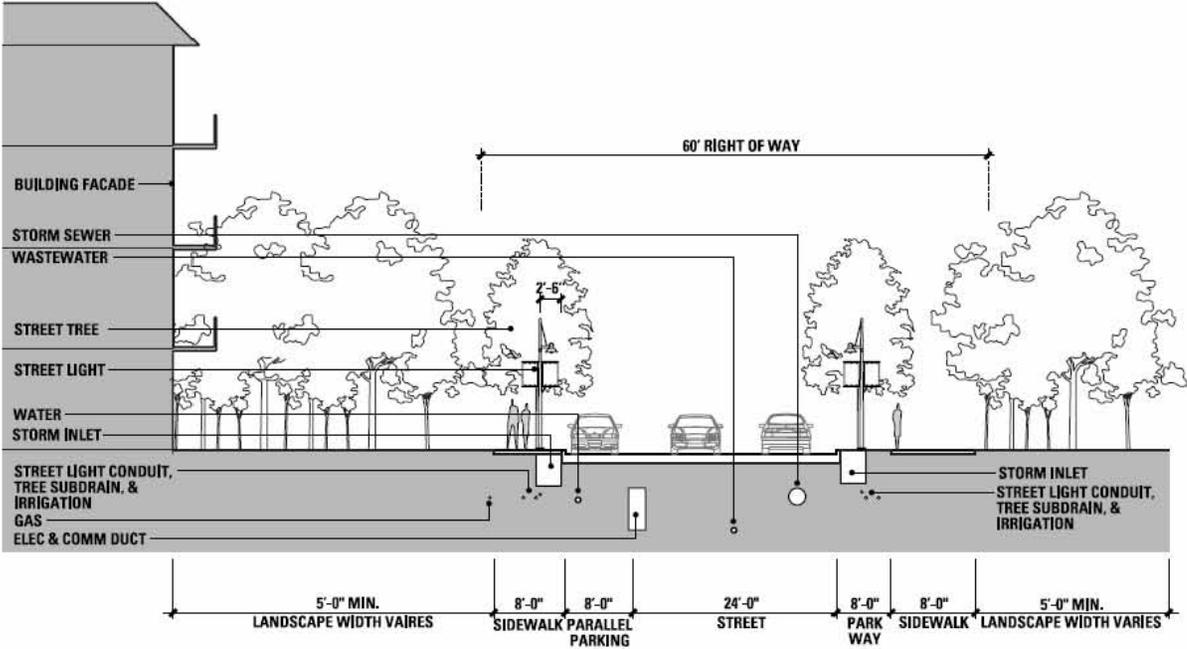
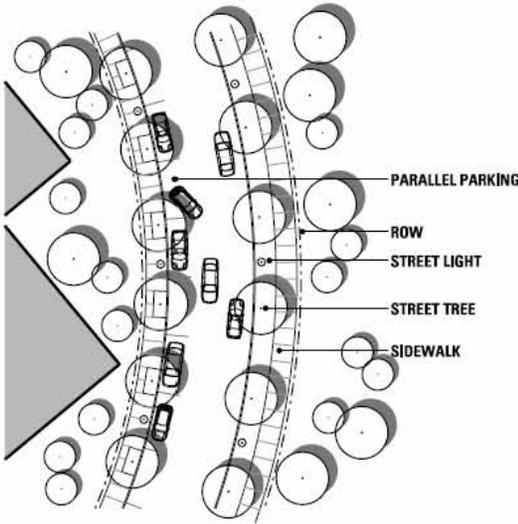
STREET TYPES PLAN



**Exhibit C-4 (Page 8 of 18)**  
**Streetscape Plan**

**S T R E E T   T Y P E   G**

Street type 'G' serves as an edge to the open space subdistrict. This street type consists of parallel parking designated on one side of a 24' wide street within a 60' right of way. An 8' wide concrete sidewalk with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street lights spaced at 60' O.C. is provided on the parallel parking side of the street. An 8' wide concrete sidewalk is provided on the open space side of the street with street trees spaced at 30' O.C. and pedestrian scale light fixtures spaced at 60' O.C. within an 8' wide parkway. Existing trees may be preserved within the right of way when possible. Longitudinal slopes on this street type are between 1% and 10%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.



## Exhibit E-8 (Page 1 of 2) Interior Subdistrict

### INTERIOR SUBDISTRICT

The primary intent of the Interior subdistrict is to provide an area that can function as either office, residential, or senior living use. Key characteristics of this subdistrict include good views of Lake Ray Hubbard and adjacency to open space. Existing slopes within this subdistrict are in the 6% - 10% range. Significant massing of existing trees are also present within this subdistrict which should be preserved where possible.

#### Building Placement

Setback (Distance from R.O.W. line)	
Summer Lee Drive	20'
Street Type G	5' minimum, 20' minimum average

#### Building Form

Each building must have a minimum of 30% of the length of its façade fronting Summer Lee Dr located on the 20' setback line.

Maximum Lot Coverage	60%
----------------------	-----

#### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

#### Use

Ground Floor	
	Residential Office Senior Living
Upper Floors	
	Residential Office Senior Living

#### Height

	stories / height
Maximum Building Height	5 / 75'
Minimum 1st floor commercial Height (with other uses above)	15'

#### Encroachments

Location	
Summer Lee Drive	5'
Street Type G	5'

#### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

#### Parking

Surface Parking Setback (Distance from R.O.W. line)	
Street Type G	10'
Summer Lee Drive	15'

#### Surface Parking Lots

A maximum of 10% of the total parking for this subdistrict may be surface parking.

#### Driveways (Maximum number per block face)

Street Type G	3
Summer Lee Drive	2

#### Pedestrianways (Minimum number per block face)

Street Type G	1
Summer Lee Drive	1

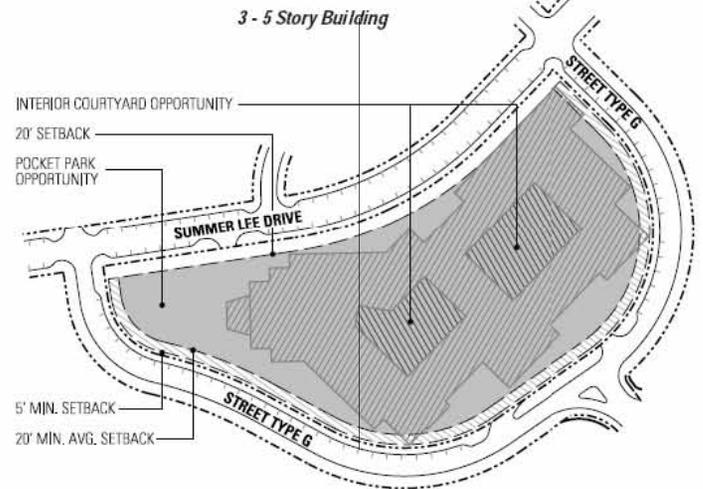
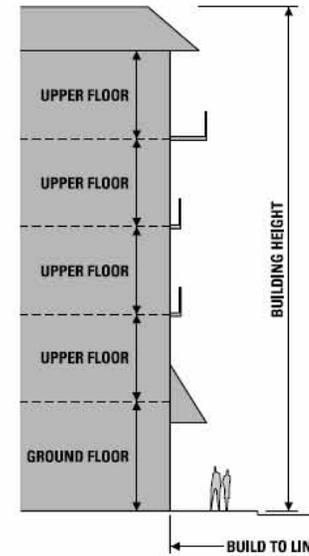
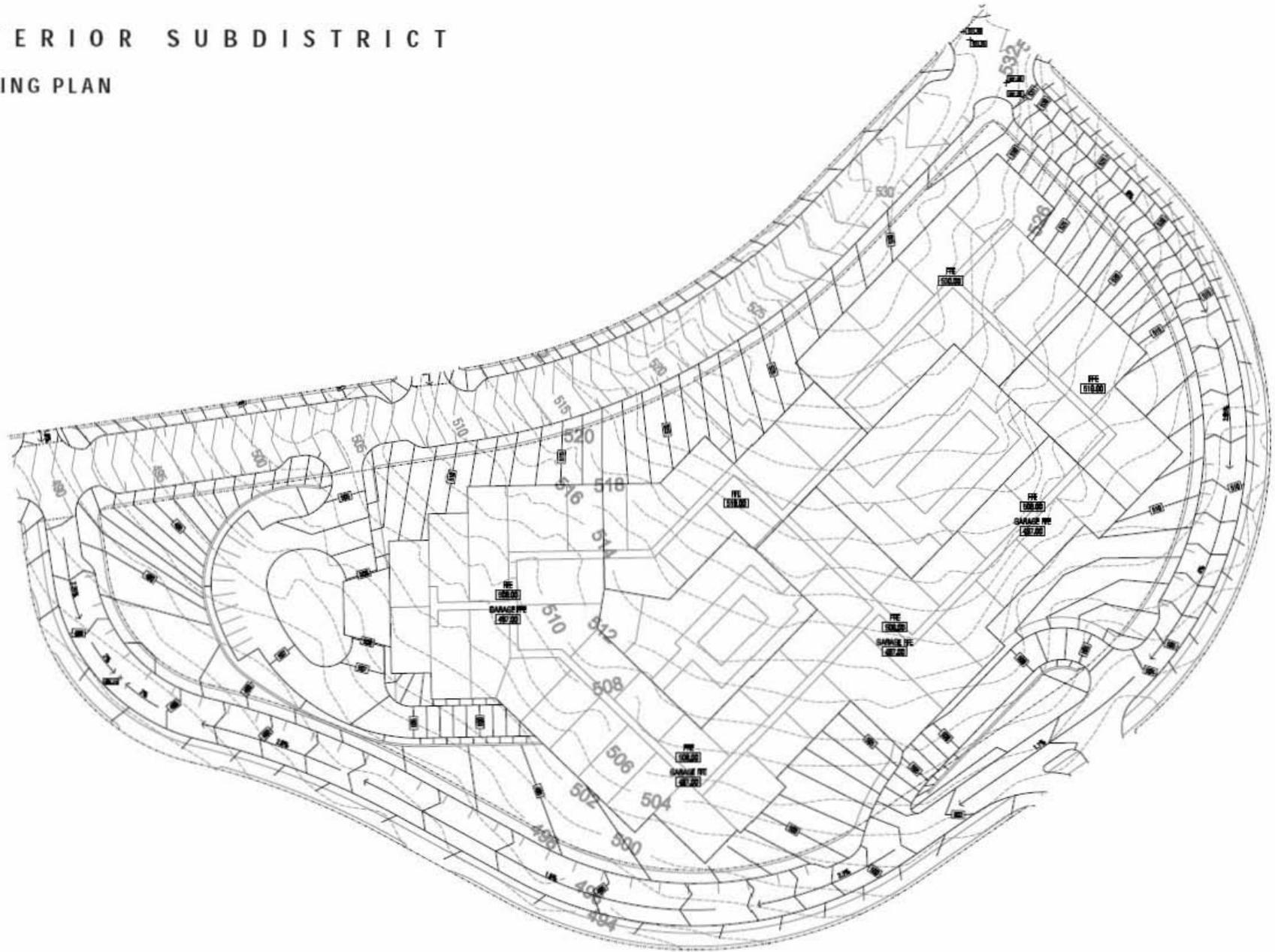


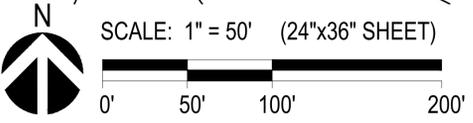
Exhibit E-8 (Page 2 of 2)  
Interior Subdistrict

INTERIOR SUBDISTRICT  
GRADING PLAN





HARBOUR URBAN CENTER - PODIUM						ATTICUS REAL ESTATE
UNIT TABULATION: BLDG TYPE I, 4 OVER 2 PODIUM						2016205 8/23/16
UNIT NAME	UNIT TYPE	NET RENTABLE	UNIT COUNT	PERCENTAGE	TOTAL RENTABLE	% BREAKDOWN
E2	EFF.	485	22	10%	10,670	10%
A1	1br/1ba	647	8	4%	5,176	57%
A2	1br/1ba	618	54	24%	33,372	
A3	1br/1ba	650	27	12%	17,550	
A4	1br/1ba	736	34	15%	25,024	
A5	1br/1ba	683	8	4%	5,464	
B2	2br/2ba	944	16	7%	15,104	33%
B3	2br/2ba	1,048	19	8%	19,912	
B4	2br/2ba	1,101	29	13%	31,929	
B5	2br/2ba	1,279	11	5%	14,069	
<b>TOTALS</b>			<b>228</b>	<b>100%</b>	<b>178,270</b>	
<b>UNIT AVERAGE NET SF :</b>				<b>781.89</b>		
* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.						
<b>PROJECT DATA</b>						
<b>HUD GROSS TOTAL UNIT AREA :</b>		178,270 S.F.				
<b>UNIT AVERAGE NET SF :</b>		781.89 S.F.				
<b>ACREAGE:</b>		1.89 ACRES				
<b>DENSITY:</b>		120.41 UNITS/ACRE				
<b>PARKING:</b>						
REQUIRED		365 SURFACE SPACES (1.6/UNIT)				
PROVIDED		385 GARAGE SPACES				
		13 SURFACE SPACES				
		398 TOTAL SPACES				
		1.75 SPACES/UNIT				



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FRONT ELEVATION (scale: 1/16"=1')



RIGHT ELEVATION (scale: 1/16"=1')



REAR ELEVATION (scale: 1/16"=1')



LEFT ELEVATION (scale: 1/16"=1')

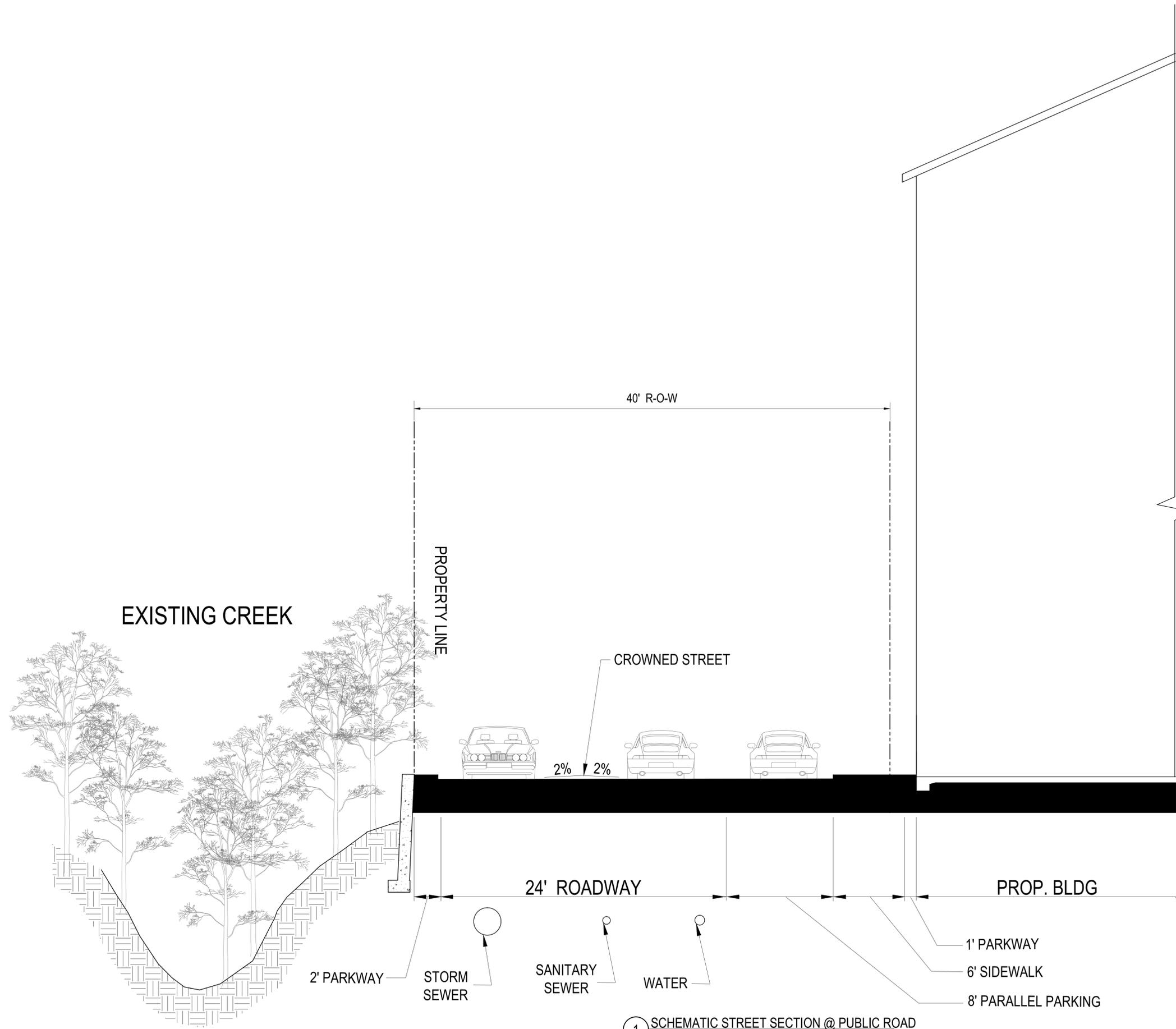
A412

Z2016-025



FRONT ELEVATION - SCALE: 3/32"=1'





1 SCHEMATIC STREET SECTION @ PUBLIC ROAD

SCALE: 1/4" = 1'-0"

STREET SECTION

August 23, 2016

A501  
Z2016-025

HARBOUR URBAN CENTER  
Rockwall, TX  
HPA# 16205

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 3.453-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for a 228 unit, condominium development to be situated within the *Interior Subdistrict* of Planned Development District 32 (PD-32) on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 10-21* and the official zoning map of the City of Rockwall so as to approve a *PD Development Plan* for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*, and,

**Section 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G<sub>1</sub>'* standards stipulated in *Exhibit 'D'* of this ordinance; and,
- 2) The minimum building setback adjacent to *Street Type 'G<sub>1</sub>'* shall be one (1) foot; and,
- 3) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 4) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 5) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 6) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City

Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 19<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 6, 2016

2<sup>nd</sup> Reading: September 19, 2016

**LEGAL DESCRIPTION**

DRAFT  
ORDINANCE  
09.19.2016

Exhibit 'B':  
Concept Plan

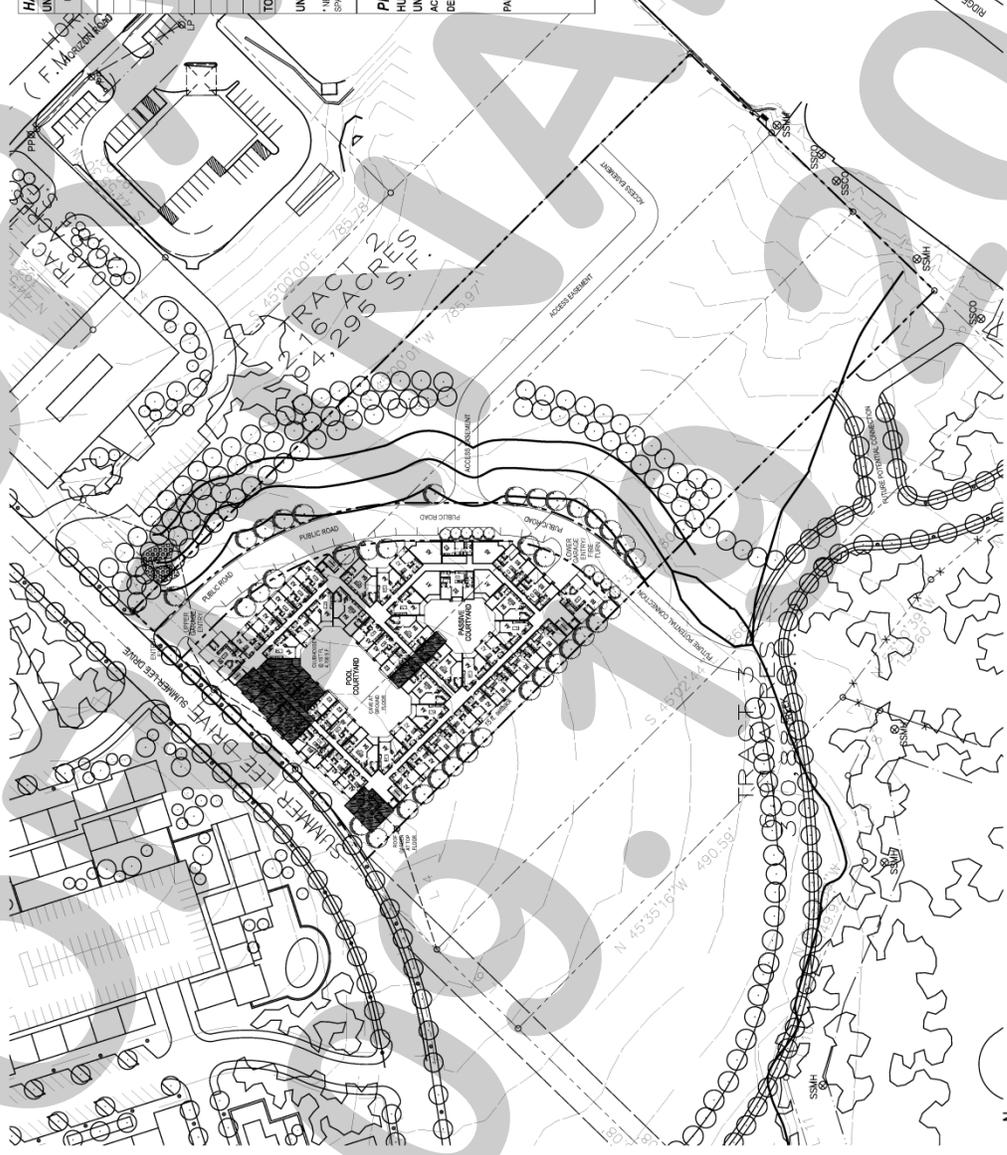
HARBOUR URBAN CENTER - PODIUM				ATTICUS REAL ESTATE			
UNIT NAME	UNIT TYPE	NET RENTABLE	UNIT COUNT	PERCENTAGE	TOTAL RENTABLE	% BREAKDOWN	
E2	EFF	485	22	10%	10,670	10%	2016205
A1	1b1/1ba	647	8	4%	5,176		92719
A2	1b1/1ba	618	54	24%	33,272		
A3	1b1/1ba	550	27	12%	17,550	57%	
A4	1b1/1ba	736	24	15%	25,024		
A5	1b1/1ba	663	6	4%	5,064		
B2	2b1/2ba	1,344	16	7%	15,104		
B3	2b1/2ba	1,046	19	8%	19,872	33%	
B4	2b1/2ba	1,101	23	15%	21,229		
B5	2b1/2ba	1,275	11	6%	14,029		
<b>TOTALS</b>			<b>228</b>	<b>100%</b>	<b>178,270</b>	<b>100%</b>	

UNIT AVERAGE NET SF: 781.89

\* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO BALCONY STORAGE.

**PROJECT DATA**  
 HUD GROSS TOTAL UNIT AREA: 178,270 SF.  
 UNIT AVERAGE NET SF: 781.89 SF.  
 ACREAGE: 4.89 ACRES  
 DENSITY: 128.41 UNITS/ACRE

**PARKING:**  
 REQUIRED: 348 SURFACE SPACES (1.6/UNIT)  
 PROVIDED: 385 GARAGE SPACES  
 13 SURFACE SPACES  
 398 TOTAL SPACES  
 1.72 SPACES/UNIT



HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
 5359 Applewood, Suite 300, Dallas, TX 75240 | 972.701.8636 | www.humphreys.com

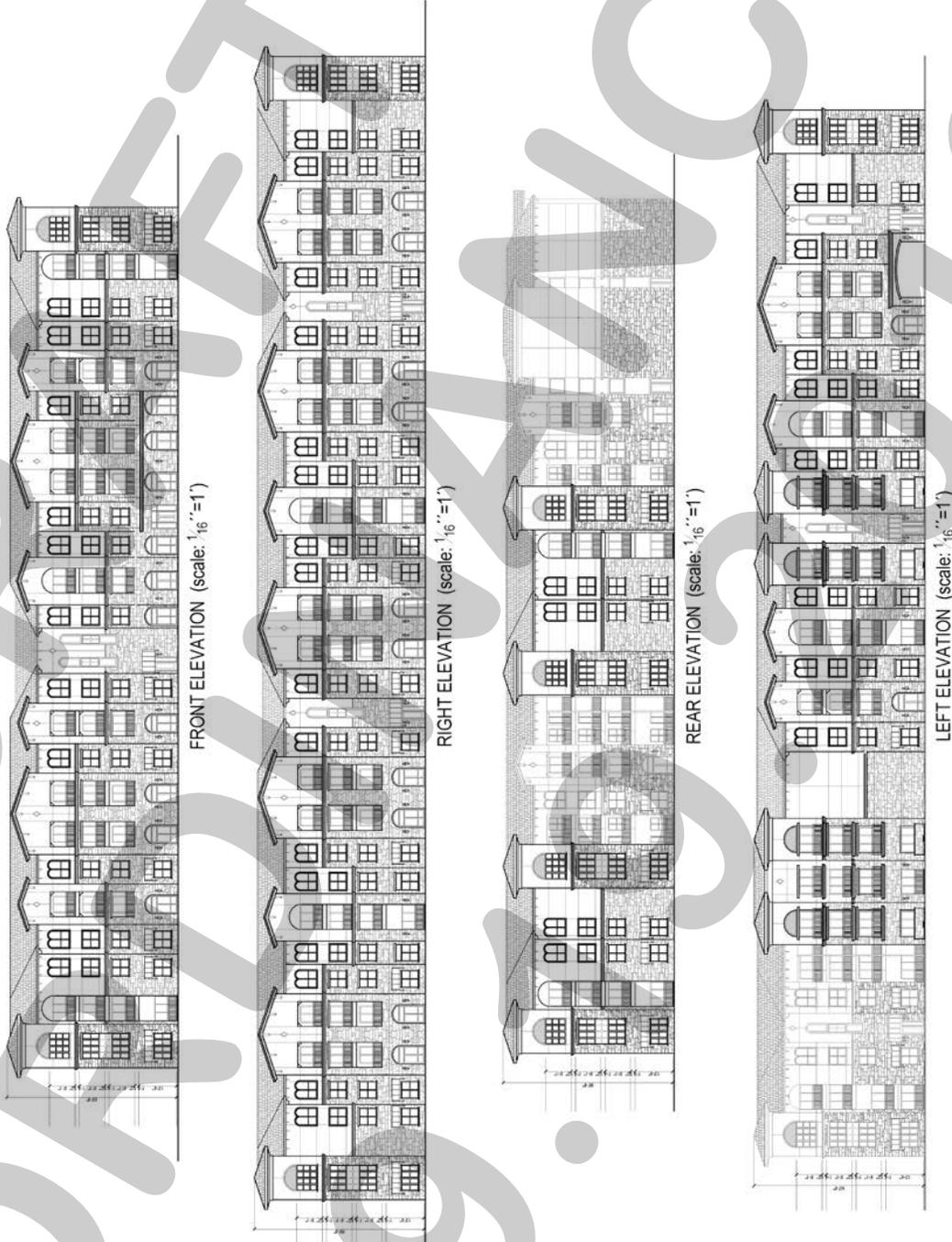


ARCHITECTURAL SITEPLAN  
 CONDOMINIUMS  
 August 23, 2018

A202  
 Z2016-025

HARBOUR URBAN CENTER  
 Rockwall, TX  
 HPM 16205

Exhibit 'C':  
Building Elevations



A412  
Z2016-025

HARBOR URBAN CENTER  
Rockwall, TX  
HPMS 10206

WRAP BLDG. ELEVATIONS  
August 2, 2016



HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
5359 Alpha Rd., Suite 300, Dallas, TX 75247 | 972.011.8888 | www.humphys.com

Exhibit 'C':  
Building Elevations



FRONT ELEVATION - SCALE: 3/32" = 1'

A412  
HARBOUR URBAN CENTER  
Rockwall, TX  
HPAM 16205

WRAP BLDG. ELEVATIONS  
July 11, 2016



HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
5525 Lyndon B. Johnson Fwy, Suite 1000 | Dallas, TX 75240 | 972-351-8800 | www.hampco.com

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**Exhibit 'D':  
Roadway Cross Section**



**A501**  
Z2016-025  
HARBOR URBAN CENTER  
Rockwall, TX  
HPM 18205



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
5339 Alpha Rd., Suite 350, Dallas, TX 75240 | 972.701.8638 | www.humphreys.com

**STREET SECTION**  
August 23, 2016



# CITY OF ROCKWALL, TEXAS

## MEMORANDUM

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**TO:** Planning and Zoning Commission

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** August 30, 2016

**SUBJECT:** Z2016-026; *Harbor Urban Center Townhomes*

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On August 9, 2016, the Planning and Zoning Commission approved a motion to continue *Case No. Z2016-026* by a vote of 7-0. The purpose of the continuation was to allow the applicant time to establish an acceptable roadway cross section and alignment for the roadway proposed with *Case No. Z2016-025*, which will eventually serve this development. Since this motion, the applicant has submitted revisions to *Case No. Z2016-025* intended to address the concerns raised by the Planning and Zoning Commission at the August 9, 2016 meeting. Should the Planning and Zoning Commission have any additional questions staff and the applicant will be available at the meeting.

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/30/2016

**APPLICANT:** Jason Lentz; *Atticus Rockwall, LLC*

**AGENDA ITEM:** **Z2016-026**; *Harbor Urban Center Townhomes*

---

### **SUMMARY:**

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Residential Subdistrict and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road [FM-740] and Glen Hill Way, and take any action necessary.

### **BACKGROUND:**

On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as *PD-32* or the *Harbor District*. Within the approved concept plan, *PD-32* was divided into ten (10) subdistrict that contained individual development and land use standards. The subject property is a 3.462-acre tract of land located within the *Residential Subdistrict*, which -- according to the *PD Ordinance* -- is "... reserved for zero lot line single family residential housing ... (a) lower volume of traffic in this area of the Harbor District make this subdistrict ideal for single family use."

### **REQUEST:**

On July 15, 2016, the applicant, Jason Lentz, submitted an application for a *PD Development Plan* showing the proposed layout for a 36-unit townhouse development on the 3.462-acre subject property. According to the *Subdistrict Land Use Chart* contained in *Exhibit 'D'* of Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the *Townhouse* land use requires a Specific Use Permit (SUP) within the *Residential Subdistrict*; however, since the intent of the *Residential Subdistrict* is for the construction of single-family, zero lot line homes -- *with rear entry garages* -- and the applicant's request does not meet this intent, staff has requested that the applicant submit a *PD Development Plan* in conformance with *Section 9.A, Procedures, of Ordinance No. 10-21*. Since a *PD Development Plan* acts as an amendment to the *PD Ordinance*, an SUP will not be required if the request is approved by the City Council. In addition, the *PD Development Plan* grants the City Council the same discretionary approval over the development and proposed land use as an SUP.

### **CHARACTERISTICS OF THE REQUEST:**

The concept plan for the *Residential Subdistrict* calls for 49 single-family, zero-lot-line homes fronting on to a *Street Type 'M'*. The *Streetscape Plan* contained in *Exhibit 'C'* of *Ordinance No. 10-21* defines a *Street Type 'M'* as a single-family residential neighborhood street that consists of 50-feet of right-of-way, a 30-foot wide street, and five (5) foot sidewalks provided on both sides of the street. In addition, the *Streetscape Plan* calls for a *Street Type 'N'*, which is intended to serve as an alleyway within the *Residential Subdistrict*.

The *PD Development Plan* submitted by the applicant shows the layout for the proposed townhouse development, which will incorporate private streets and amenities, front entry garages and rows of four (4) to five (5) townhomes. The development will be accessible from two (2) main points of entry, the first from a public roadway that will be constructed (*if approved*) with the Harbor Urban Center Condominiums [Case No. Z2016-026] and a future roadway that will connect the Harbor District to Ridge Road [FM-740]. The proposed unit mix for the townhouse is as follows:

*Table 1: Unit Composition*

<b>Unit Name</b>	<b>Unit Type</b>	<b>Minimum Net Unit Area (SF)</b>	<b>Number of Units (#)</b>	<b>Total Area (SF)</b>	<b>Units as Percentage (%)</b>
THA	1 Bedroom/1.5 Bath	1,622 SF	9	14,598 SF	25%
THB	2 Bedroom/ 1.5 Bah	1,694 SF	11	18,634 SF	31%
THC1	3 Bedroom/2.5 Bath	1,882 SF	7	13,174 SF	19%
THC2	3 Bedroom/Media Room/2.5 Bath	2,571 SF	3	7,713 SF	8%
THD	3 Bedroom/2.5 Bath	2,163 SF	6	12,978 SF	17%
<b>Average Net Unit Area:</b>				<b>1,863.81 SF</b>	
<b>Total Units:</b>			<b>36</b>		<b>100.00%</b>

Staff should note that *Ordinance No. 10-21* does not establish minimum unit sizes for residential units within the *Residential Subdistrict*, nor does the ordinance establish design standards for townhouses. The *Residential Policies* contained in *Resolution No. 07-03* [*i.e. the Appendix 'A' of the Comprehensive Plan*] do state that all townhouses *must* have rear-entry garages. In this case, the applicant is proposing to have a front-entry product that will be accessible off a private street. The applicant has stated that the product is designed to have one (1) of the keystone townhouses (*i.e. the townhouses situated on the corner or at the end of a row*) accessible with a side entry garage, which could mitigate some of the concern over a traditional front-entry product. This means that in a row of five (5) townhouses only four (4) will have front-entry garages. This is depicted in the concept building elevations submitted by the applicant and attached to this case memo. In addition, *Resolution No. 07-03* states, "(h)omes should differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback." The proposed development is meant to function as an enclosed community and as a result, the applicant is proposing a uniform design scheme. Based on the concept building elevations, the units will be constructed from stone and stucco, and will incorporate varying roof pitches and stone chimneys that help vary the façades of each building. Staff has included the concept building elevations in the attached draft ordinance and general conformance to these elevations is a consider to be a condition of approval.

In granting a *PD Development Plan* within Planned Development District 32 (PD-32) the City Council needs to decide if the proposed development -- *while not meeting the intent of the subdistrict* -- meets the following criteria:

- (a) Meets the general intent of the *PD District*; and,
- (b) Will result in an improved project which will be an attractive contribution to the *PD District*; and,
- (c) Will not prevent the implementation of the intent of this *PD District*.

A *PD Development Plan* is a discretionary approval for the City Council, and should the City Council choose to grant the request this request the applicant will still need to submit a site plan that will be reviewed by the Architectural Review Board (ARB) and the Planning and Zoning Commission.

**NOTIFICATION:**

On July 22, 2016, staff mailed 52 notices to property owners and residents within 500-feet of the subject property. Staff also emailed notices to the Lago Vista Homeowner's Associations (HOA), which is the only HOA's located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property along Summer Lee Drive as required by the Unified Development Code

(UDC). At the time, this case memo was drafted three (3) responses in favor of the request and one (1) response opposed to the request were received by staff.

**RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *PD Development Plan* for Planned Development District 32 (PD-32), then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
  - (a) Cross access (*as depicted in Exhibit 'B' of attached draft ordinance*) shall be provided to the property directly north of the subject property;
  - (b) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and the attached draft ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
  - (c) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
  - (d) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
  - (e) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.
- 2) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-026	<b>Owner</b> ATTICUS, REAL ESTATE SERVICES INC	<b>Applied</b> 7/15/2016 LM
<b>Project Name</b> Harbor Urban Center Townhomes	<b>Applicant</b> ATTICUS ROCKWALL LLC	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> PD		<b>Expired</b>
<b>Status</b> NEED REVISIONS		<b>Status</b> 7/21/2016 RM

<b>Site Address</b> SUMMER LEE	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
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<b>Subdivision</b> MURPHY PLAZA ADDITION PH 2	<b>Tract</b> 5A	<b>Block</b> NULL	<b>Lot No</b> 5A	<b>Parcel No</b> 3160-0000-005A-00-OR	<b>General Plan</b>
--	--------------------	----------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
ENGINEERING (7/19/2016 4:55 PM AW) Need public street per PD-32 plan Storm water pro-rata \$7226.59/acre Meet all engineering requirements	Amy Williams	7/15/2016	7/22/2016	7/19/2016	4	COMMENTS	See Comments
FIRE (7/21/2016 4:13 PM AA) Fire Apparatus Access Roadway: Approved fire apparatus access roads shall be provided for every building. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.  Exception: The fire code official is authorized to increase the dimension of 150 feet where:  1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, up to 250-ft.  Fire Hydrant Coverage: All portions of the exterior walls of the first story of the building shall be within 600-ft of a fire hydrant as measured by an approved route around the exterior of the facility or building.  Fire Hydrant shall be located within 100-ft. of the Fire Department Connection (FDC) and within 8-ft. of fire apparatus access roadway.	Ariana Hargrove	7/15/2016	7/22/2016	7/21/2016	6	COMMENTS	See Comments

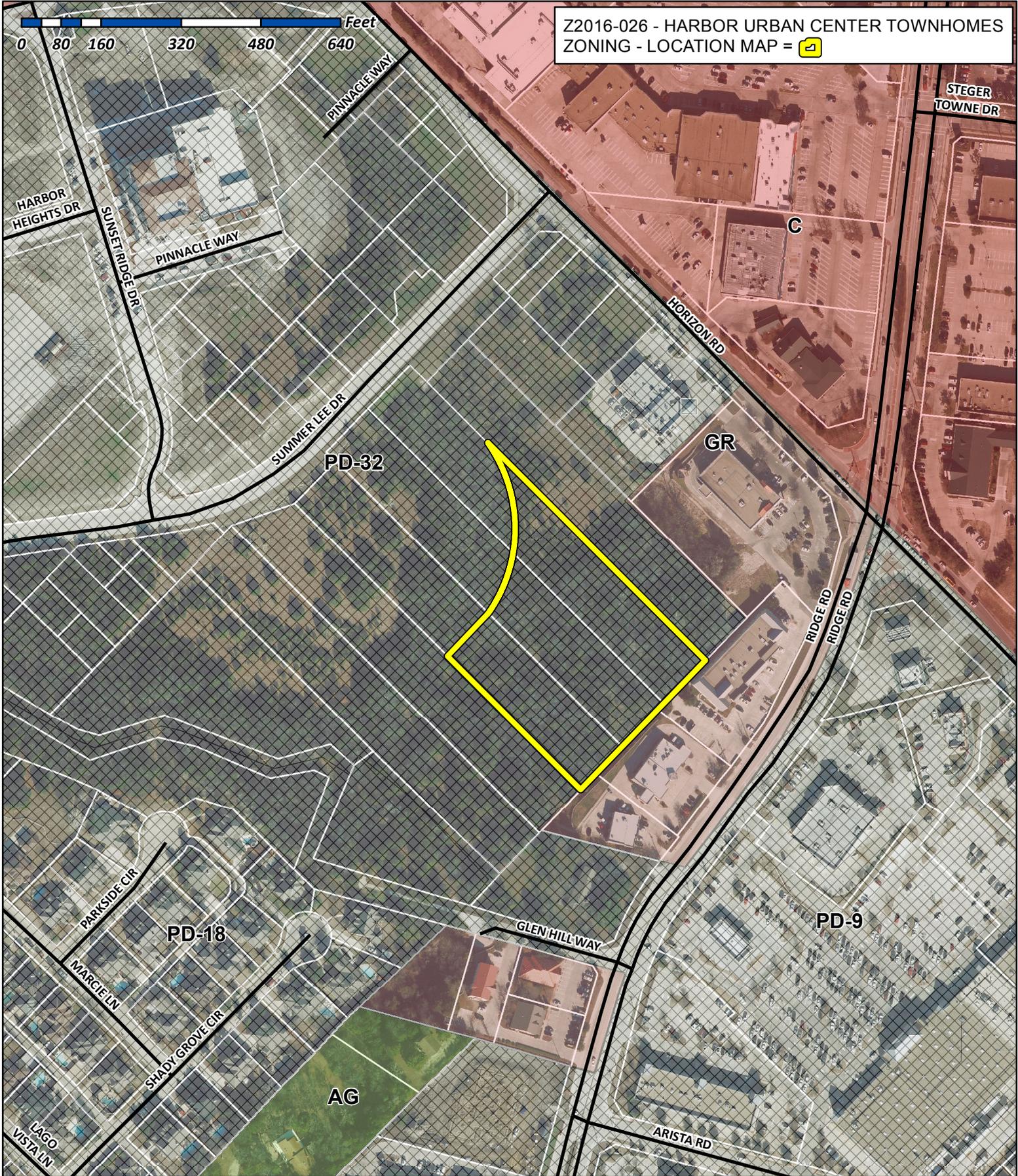
PLANNING	Ryan Miller	7/15/2016 7/22/2016 7/21/2016	6	COMMENTS	See Comments
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Z2016-026 (PD Development Plan for the Harbor Urban Center Townhomes): Please address the following comments (M= Mandatory Comments; I = Informational Comments).

I.1 This case is for the PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A,

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Residential Subdistrict and within the Scenic Overlay (SOV) District, and located north of the intersection of Ridge Road [FM-740] and Glen Hill Way.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 On all future submittals please include the case number (Z2016-026) in the lower right hand corner.						
I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on August 9, 2016.						
M.5 A legal description covering the area of the townhomes will be required to be submitted prior to the first City Council meeting.						
I.6 According to Ordinance No. 10-21, "...adequate access necessary to serve that development in conformance with the streetscape plan for the Sub-District or with Exhibit C-4 [Streetscape Map] shall be constructed." In this case, the development does not conform to the streetscape map for the district and reduces access for the property to the north. Due to this and the proposed use not conforming to the intent of the Residential Sub-District, staff is requiring a PD Development Plan. According to the use charts contained in PD-32 townhomes require a Specific Use Permit; however, since the project will require City Council to approve a PD Development Plan, which will change the intent of the Sub-District the Specific Use Permit will not be required. Please see staff's recommendations below for strategies to reduce impact within the Sub-District.						
M.7 Provide a site plan that better delineates the requested development (i.e. remove the condominium data on the right side of the page and the line work not relating to this project -- the roadway that would connect this project to Summer Lee Drive should remain on the plan [roadway referenced below]).						
M.8 Submit four (4) sided elevations of the proposed townhomes. These will be placed in the PD Development ordinance to ensure general conformance is met at the time of site plan.						
I.9 The submitted rendering does not seem to match the submitted concept plan. The elevation shown on the rendering does not include garages and all buildings adjacent to the roadway have garages [this is also true with regard to the submitted building elevations].						
I.10 Per Ordinance No. 10-21 all elevations shall be required to be reviewed by the Architectural Review Board (ARB). This review will be required at the time of site plan approval.						
I.11 If approved, an open space master plan will be required to be reviewed by the Parks Board prior to City Council approval at the time of final plat..						
I.12 If approved, the applicant will be required to submit a site plan and final plat for the subject property.						
M.13 Are these townhomes on individual lots? If they are on individual lots please submit a subdivision plan showing how the development will be subdivided and indicating minimum .lot width and depth. If the development is intended to be one (1) lot please indicate how ownership will be calculated (i.e. as a share of the total development or other). This is needed to establish conformance with the intent of the Sub-District.						
M.14 Based on the applicant's submittal staff would make the following recommendations concerning the proposed townhome development:						
1) The applicant should consider incorporating alleyways with rear-facing garages. According to the City's Comprehensive Plan "Townhouses should have a minimum required square footage of livable space (e.g. 1,200 SF), with no maximum size ... Townhouses must also have rear-entry garages."						
2) The streets within the development should be public streets to allow connectivity for adjacent properties. Currently, the applicant's plan limits the connectivity of the adjacent property (i.e. the property directly northeast of the subject property), and changes the adjacent property owners ability to conform to the plan (Update 07/21/2016: The applicant has stated that a cross access easement with a stub out to the adjacent property to the north will be provided. This should provide sufficient cross access).						
3) The townhome property should connect to the roadway extending adjacent to the condominium project in order to increase connectivity and access to the site. It should also be pointed out that under the current development scheme the townhome site would not be able to be developed until the adjacent properties construct future roadways.						
4) The applicant should consider patterning the internal streets of the development off the mew concept contained on Page 5 of Resolution No. 10-40. Staff will review the streetscape elements with the site plan.						
5) The applicant should consider incorporating parallel or niche parking to accommodate visitors.						
6) The applicant should incorporate streetscape elements into the townhome development. Staff will require a streetscape plan at the time of site plan.						
All recommendations are intended to bring the plan closer into conformance with the City's Comprehensive Plan and with the intent of Planned Development						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
District 32 (PD-32).						
I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on August 2, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2016 Planning & Zoning Meeting.						
I.16 The projected City Council dates for this case are project to be: 1) August 15, 2016 [1st Reading], and 2) September 6, 2016 (Tuesday) [2nd Reading].						



Z2016-026 - HARBOR URBAN CENTER TOWNHOMES  
 ZONING - LOCATION MAP = [icon]



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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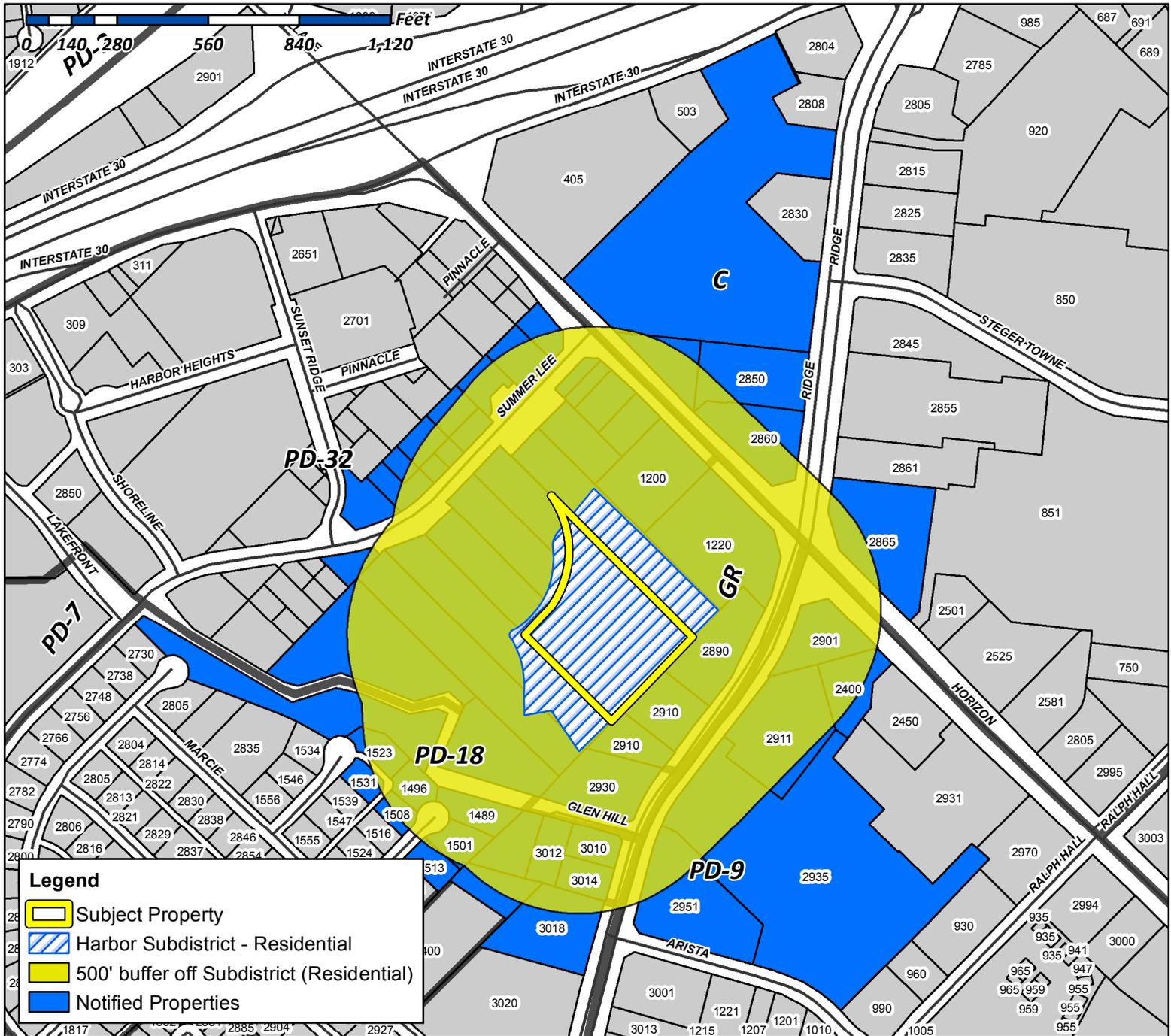
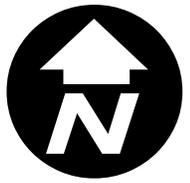




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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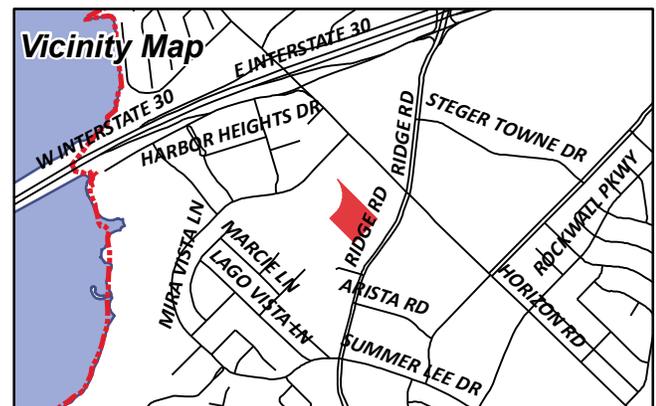


**Legend**

- Subject Property
- Harbor Subdistrict - Residential
- 500' buffer off Subdistrict (Residential)
- Notified Properties

**Case Number:** Z2016-026  
**Case Name:** Harbor Urban Center Townhomes  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** Intersection of Ridge Road and Glen Hill Way

**Date Created:** 07/19/2016  
**For Questions on this Case Call** (972) 771-7745



KROGER TEXAS LP  
1014 VINE STREET  
CINCINNATI, OH 45202

SONG CORPORATION  
1200 HORIZON RD  
ROCKWALL, TX 75032

ANDERSON ALLEN D ETUX  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1220 HORIZON RD  
ROCKWALL, TX 75032

HP ROCKWALL 740 LTD  
C/O GARY P HAMMER  
12720 HILLCREST RD STE 1080  
DALLAS, TX 75230

KROGER TEXAS LP  
1331 E AIRPORT FWY  
IRVING, TX 75062

LONG MINDI N & HAMILTON P  
1489 SHADY GROVE CIRCLE  
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K  
1496 SHADY GROVE CIR  
ROCKWALL, TX 75032

YAYINE BERRE Z  
1501 SHADY GROVE CIRCLE  
ROCKWALL, TX 75087

HURST LEIF AND TIFFANY  
1508 SHADY GROVE CIR  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1513 SHADY GROVE CIR  
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI  
1523 PARKSIDE CIR  
ROCKWALL, TX 75032

COLEMAN BRUCE R & TRUDY J  
1531 PARKSIDE CIR  
ROCKWALL, TX 75032

BENT TREE REALTY CO  
16475 DALLAS PKWY STE 880  
ADDISON, TX 75001

BENT TREE REALTY CO  
16475 DALLAS PKWY STE 880  
ADDISON, TX 75001

CFT DEVELOPMENTS LLC  
ATTN: DAVID LUO, DIRECTOR  
1683 WALNUT GROVE AVE  
ROSEMEAD, CA 91770

BRYANT JUDY GRACE & LINDA JEAN BRUNETTE  
AND  
DOUGLASS FREDERICK WYGAL  
1714 MARCELLA LN  
ROWLETT, TX 75089

SER TEXAS LLC  
DBA HYPERION HOMES TEXAS LLC  
2 N RIVERSIDE PLAZA #1250  
CHICAGO, IL 60606

BRITTANY PROPERTIES LLC  
201 LAURENCE DR PMB 111  
HEATH, TX 75032

CURRENT RESIDENT  
2400 HORIZON RD  
ROCKWALL, TX 75032

SELMA HOSPITALITY INC  
2560 ROYAL LN STE 210  
DALLAS, TX 75229

J BR2 LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

AJ SQUARED LLC  
271 RABBIT RIDGE  
HEATH, TX 75087

CURRENT RESIDENT  
2850 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2860 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2865 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2890 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2901 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2910 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2911 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2930 SOUTH RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2935 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2951 RIDGE RD  
ROCKWALL, TX 75032

MINNETONKA CAPITAL INVESTMENTS V LP  
%WALGREEN CO #5827  
300 WILMOT RD  
DEERFIELD, IL 60015

BRITTANY PROPERTIES LLC (69%) &  
MIKE SEALOCK (31%)  
3010 RIDGE RD  
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY  
3010 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3012 RIDGE RD RD  
ROCKWALL, TX 75032

ATTAWAY LISA K  
3014 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3018 RIDGE RD  
ROCKWALL, TX 75032

GLEN HILLS CEMETERY  
C/O INEZ GIBSON  
3830 FRANK ST  
DALLAS, TX 75210

ATTICUS REAL ESTATE SERVICES INC  
5339 ALPHA RD STE 300  
DALLAS, TX 75240

ATTICUS REAL ESTATE SERVICES INC  
5339 ALPHA RD STE 300  
DALLAS, TX 75240

JEY INVESTMENTS  
602 FALVEY AVE  
TEXARKANA, TX 75501

CARSON MARK R  
701 N MUNSON RD  
ROYSE CITY, TX 75189

HUGHES ROBERT J & PATRICK HUGHES &  
SANDRA FERGUSON  
8030 SAN LEANDRO DR  
DALLAS, TX 75218

1220 HORIZON ROAD LLC  
C/O CVS 7464-02  
OCC EXP DEPT 1 CVS DRIVE  
WOONSOCKET, RI 02895

SPATEX GROUP PARTNERSHIP  
C/O GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

CULPEPPER/SPATEX JV  
%GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

EXODUS TRUST  
PO BOX 12263  
DALLAS, TX 75225

AMERICAN NATIONAL BANK THE  
PO BOX 40  
TERRELL, TX 75160

LANDAU PROPERTIES LP  
PO BOX 601679  
DALLAS, TX 75360

W & R PROPERTIES INC  
PO BOX 657  
KAUFMAN, TX 75142

Case No. Z2016-026: Harbor Urban Center Townhomes

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

This area is much too closed in for such an uneventful and wooded area. Big infringement on the beautiful single living houses case by. Big bad move.

Name: Vashiti Hassanizadeh

Address: 1523 Parkside Circle Rockwall TX 75032

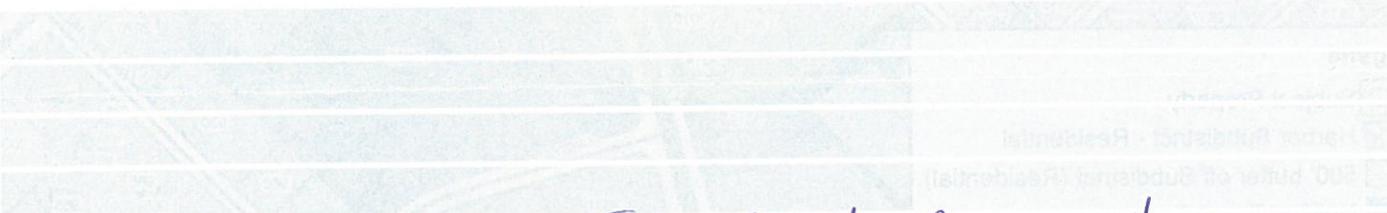
**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-026: Harbor Urban Center Townhomes**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.



**Name:** Carla Gilbert for Sabre Realty Management, INC.  
**Address:** Corp address 16475 Dallas Parkway # 800 Addison TX 75001  
center address: 2006 - 2014 S. Goliad Rockwall TX 75087

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-026: Harbor Urban Center Townhomes**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*That area is ready for development.  
 More tax base for city, so that our taxes  
 can decrease on our property.*

Name: *Robert J. Hughes*  
 Address: *8030 SAN LEANOR DR DALLAS, TX, 75218*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-026: Harbor Urban Center Townhomes**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

Name: Landau Properties

Address: P.O. Box 601679, Dallas, TX 75360

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

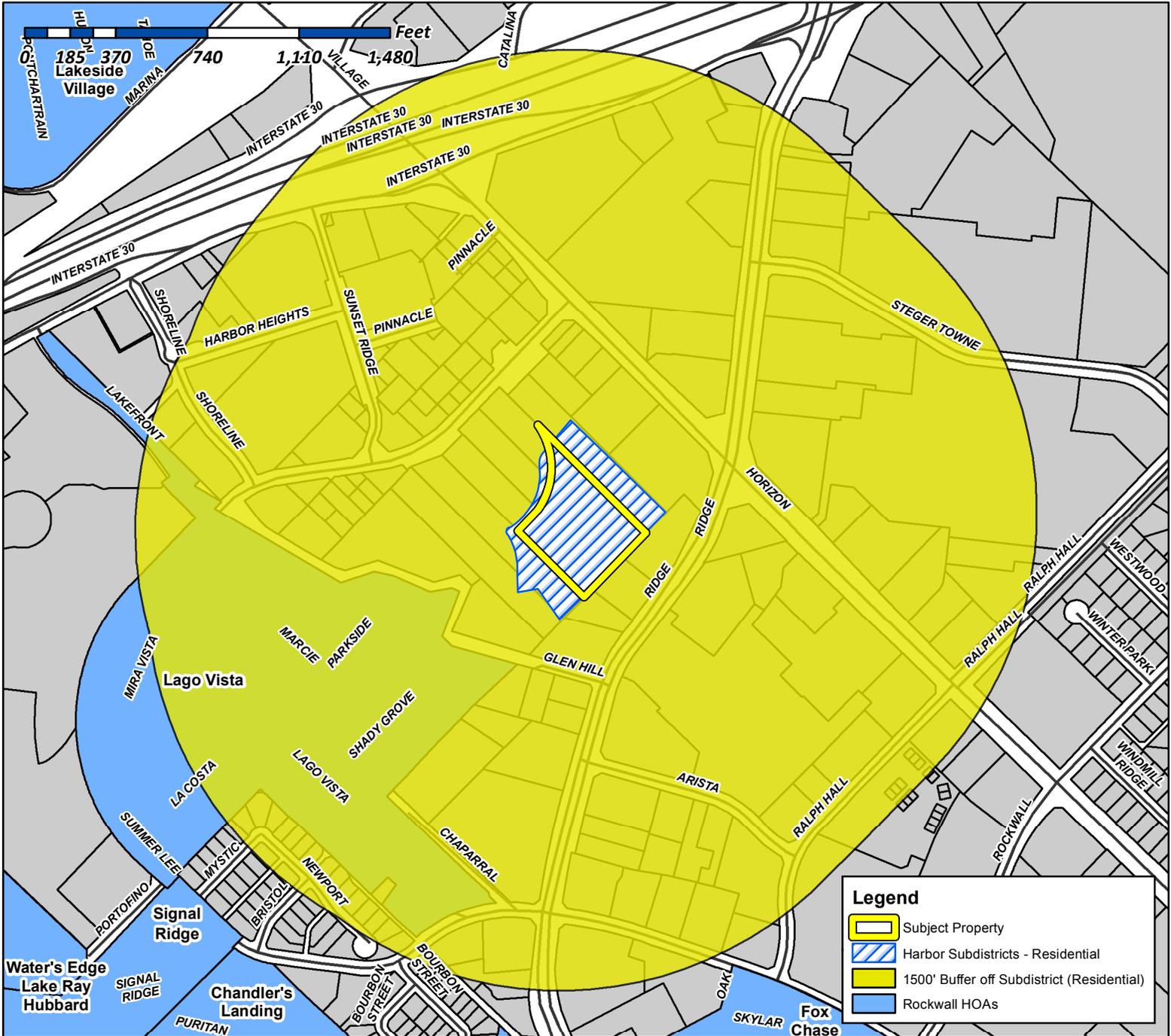
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2016-026  
**Case Name:** Harbor Urban Center Townhomes  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** North of Intersection of Ridge Road and Glen Hill Way

**Date Created:** 07/19/2016  
**For Questions on this Case Call (972) 771-7745**



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Wednesday, July 20, 2016 11:22:32 AM

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-026- Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road [FM-740] and Glen Hill Way, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>

## Exhibit E-9 (Page 1 of 6) Residential Subdistrict

### RESIDENTIAL SUBDISTRICT

The Residential subdistrict is reserved for zero lot line single family residential housing. A lower volume of traffic in this area of the Harbor District make this subdistrict ideal for single family use. Key characteristics of this subdistrict include adjacency to open space and steep slopes which offer views of the surrounding area. Existing slopes within this subdistrict are in the 6% - 16% range. This subdistrict is predominately vegetated by massing of existing trees which should be preserved when possible.

#### Building Placement

Build-to-line (Distance from R.O.W. line)	
Street Type M	10'

#### Setback (Distance from R.O.W. line)

Street Type N	5'
Side	8'
Zero Lot Line	0'

A minimum of 50% of the boundary with the Open Space Subdistrict along street type G must be a public street (type M).

#### Building Form

Street Type M façade built to BTL	65%	min.
-----------------------------------	-----	------

Maximum Lot Coverage	61%
----------------------	-----

Minimum Lot Size	30' x 90'
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#### Notes

#### Use

Ground Floor	
--------------	--

	Residential
--	-------------

Upper Floors	
--------------	--

	Residential
--	-------------

#### Height

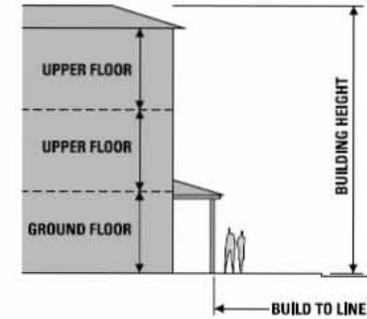
	stories / height
Maximum Building Height	3 / 36'

#### Encroachments

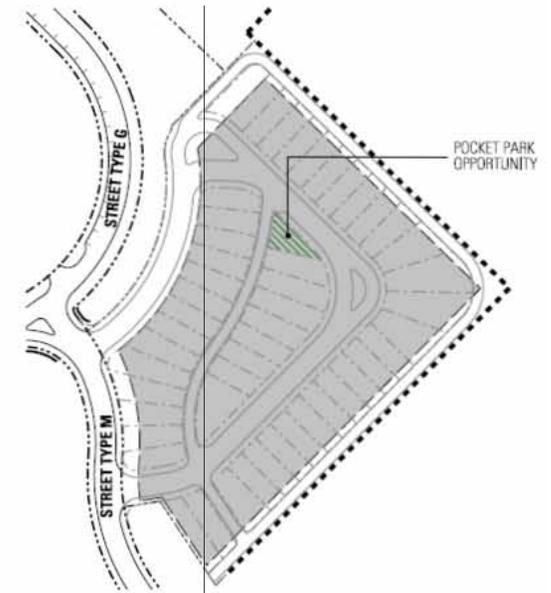
Location	
Front	5'

#### Notes

Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential



## Exhibit E-9 (Page 2 of 6) Residential Subdistrict

### RESIDENTIAL SUBDISTRICT

#### FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the subdistrict environment, the following guidelines apply regarding the repetition of floor plans and elevations:

##### Case 1

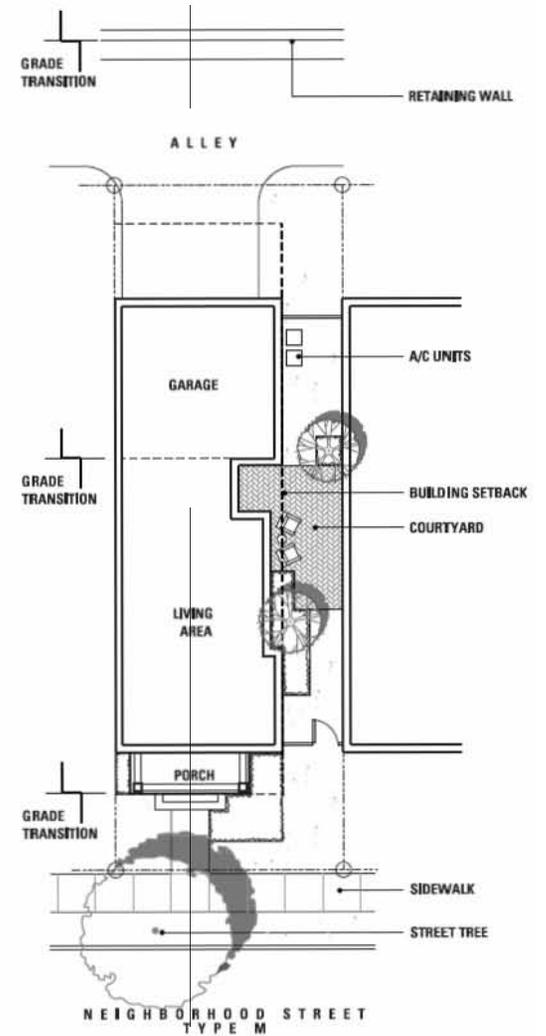
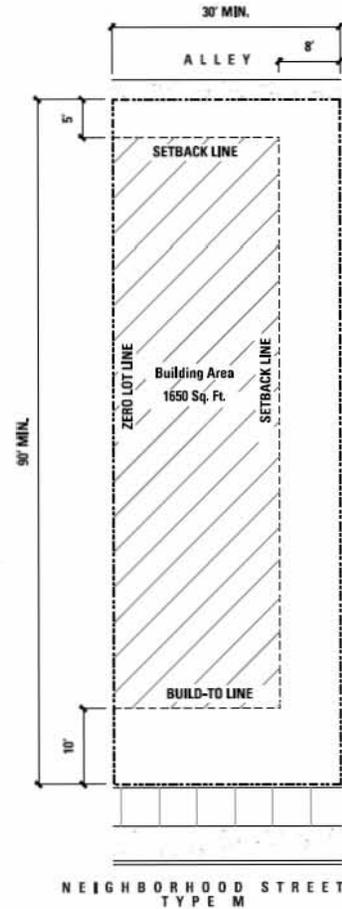
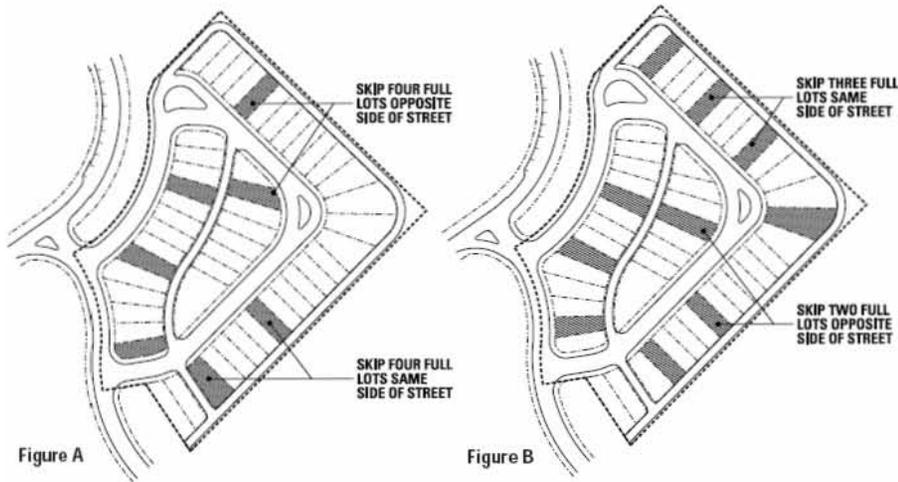
When building a house having the **same floor plan** and the **same elevation**, whether on the **same or opposite side** of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

##### Case 2

When building a house having the **same floor plan** and a **different elevation** on the **same side** of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

##### Case 3

When building a house having the **same floor plan** and a **different elevation** on the **opposite side** of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.



## Exhibit E-9 (Page 3 of 6) Residential Subdistrict

### R E S I D E N T I A L S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Site Layout, Grading and Drainage

1. Runoff onto adjacent properties is prohibited.
4. Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
5. Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
6. Do not run drainage swales from planting areas across paved areas.

##### Landscape Structures

1. Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
2. All vertical construction including garages, gazebos, arbors, barbecues and fireplaces must comply with front, side and rear setbacks.
3. Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

##### Pools and Water Features

1. Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
2. Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
3. Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

##### Lighting, Utilities and Service

1. Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.

2. Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18 inches in height.
3. Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
4. Exposed exterior floodlights or wall packs are not permitted.
5. All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

##### Irrigation Design

1. Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
2. Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
3. Prevent overspray onto streets, pedestrian walks, driveways and buildings.

##### Driveways

1. Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

##### Garages

1. Garages must be rear loaded from an alley.
2. All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

##### Building Massing

1. The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.

2. All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
3. Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

##### Roofs

1. The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
2. The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

##### Wall Materials

1. Exterior wall materials shall be any of the following:
  - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
  - B. Portland cement stucco with integral color
  - C. Brick masonry
  - D. Stone masonry
  - E. Cast stone masonry
  - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
  - G. Aluminum, masonite, and vinyl siding are not permitted.
2. Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

##### Exterior Finishes

1. All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

##### Trim

1. All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum 3/4" thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

## Exhibit E-9 (Page 4 of 6) Residential Subdistrict

### R E S I D E N T I A L   S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Doors

1. All exterior doors shall be wood or metal, hinged, of rail and stile construction, with 1 to 6 panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
2. Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

##### Screen Doors

1. Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with 1 to 6 panels. All panels shall be screened. Screen doors shall be painted.
2. Storm doors are not permitted at the front door but are allowed at side and rear doors.

##### Garage Doors

1. Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
2. Garages may have maximum 18 foot wide doors.

##### Exterior Door Hardware

1. Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

##### Windows

1. Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than 4 panels. Fake mullions are discouraged.
2. Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
3. All operable windows shall be equipped with insect screens.

4. Bay windows shall be glazed a minimum of 80% of their width.

##### Exterior Window Shutters

1. Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

##### Awnings

1. Window awnings are not permitted, with the exception of shutter awnings.

##### Glazing

1. Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

##### Roofs

1. Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25 year dimensional, laminated type. Flat, 3-tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
2. All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
3. All soffit venting shall be 2 inch continuous venting or perforated "Hardisoffit" panels. No box vents shall be used. No vinyl material may be used.
4. Dormers shall be appropriately proportioned, hip or gable, with a minimum 6/12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
5. Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
6. Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.

7. All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

8. Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.

9. Satellite dishes and roof antennae shall not be visible from the street.

##### Chimneys

1. All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
2. The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney. Acceptable products include the series of black galvanized chimney caps by Gelco.
3. Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

##### Rain Gutters

1. Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
2. Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
3. Downspouts shall terminate at splash blocks, gravel, brick or concrete.

##### Paint

1. All exterior finish coat paint shall be acrylic latex or latex enamel.

## Exhibit E-9 (Page 5 of 6) Residential Subdistrict

### R E S I D E N T I A L   S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Porch Construction

1. Porch columns shall be wood posts, minimum 6 x 6, painted and free of ornamentation.
2. Porches shall have wood railings. Railing details must be included with plan submissions for approval.
3. Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
4. Porches and covered balconies may be screened at the rear of the homes only.

##### Elements Not Permitted

The following list of elements are not permitted in the development:

- Window A/C units
- Exterior fluorescent lighting
- Solar powered landscape lighting
- Soffit/cornice lighting visible from a public way
- Skylights visible from a public way
- Antennas or satellite dishes greater than 18" dia.
- Decorative flags - properly displayed American flags are allowed
- Concrete statuary visible from public way
- Plastic furniture or artificial plants visible from a public way
- Asphalt or gravel drives



Architectural Detail Character



Residential Street Edge Condition



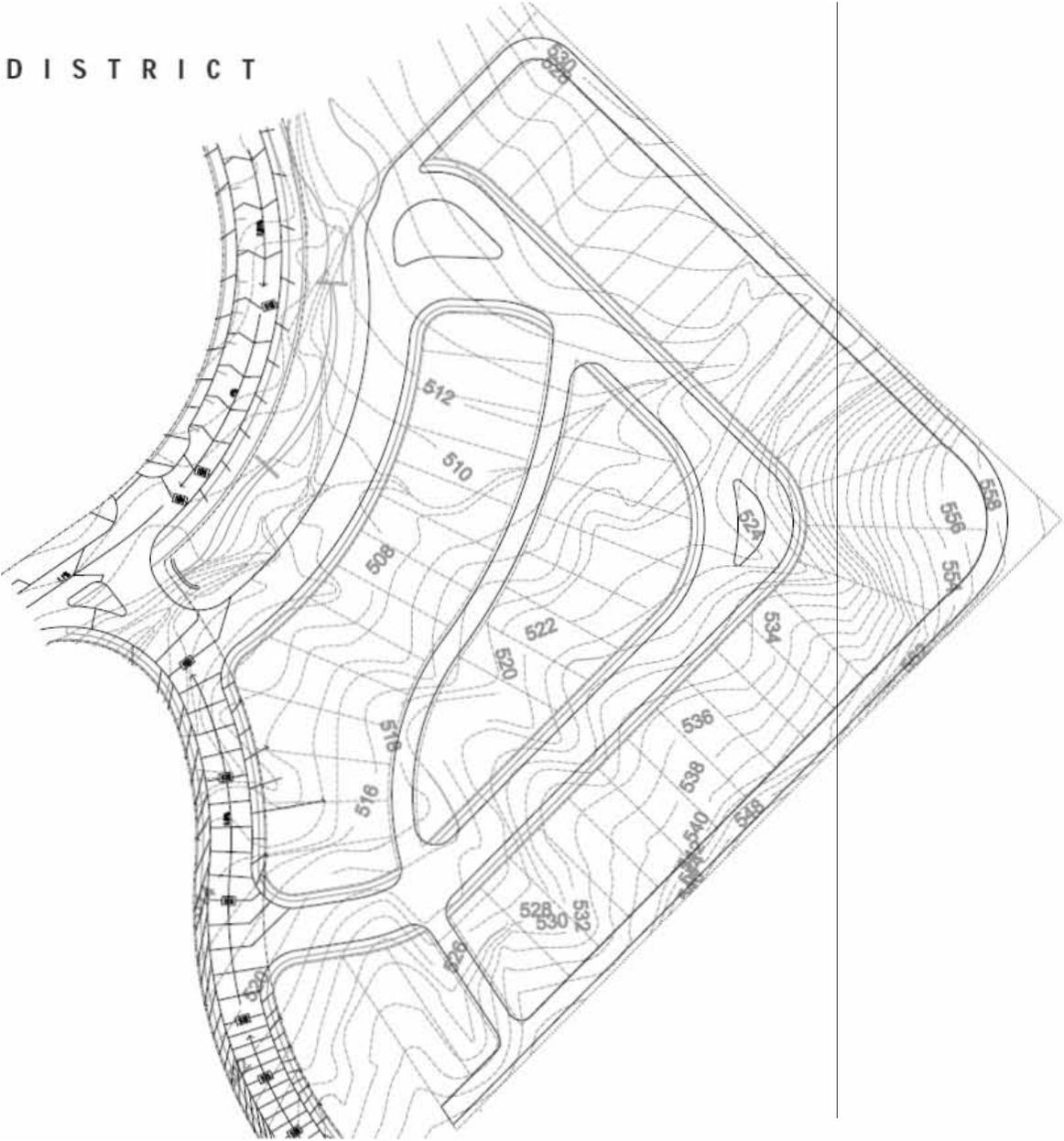
Residential Street Character



Residential Street Edge Condition

**Exhibit E-9** (Page 6 of 6)  
**Residential Subdistrict**

**R E S I D E N T I A L   S U B D I S T R I C T**  
**G R A D I N G   P L A N**





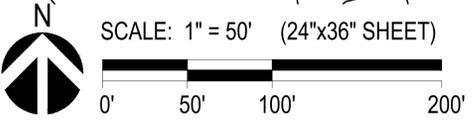
HARBOUR URBAN CENTER- TOWN HOMES ATTICUS REAL ESTATE						2016205
UNIT TABULATION: 2 STORY TOWN HOMES						8/23/16
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN
THA	1br/1.5ba	1,622	9	25%	14,598	25%
THB	2br/1.5ba	1,694	11	31%	18,634	31%
THC1	3br/2.5ba	1,882	7	19%	13,174	28%
THC2	3br+ media rm /2.5ba	2,571	3	8%	7,713	
THD	3br/2.5ba	2,163	6	17%	12,978	17%
<b>TOTALS</b>			<b>36</b>	<b>100.00%</b>	<b>67,097</b>	<b>100%</b>

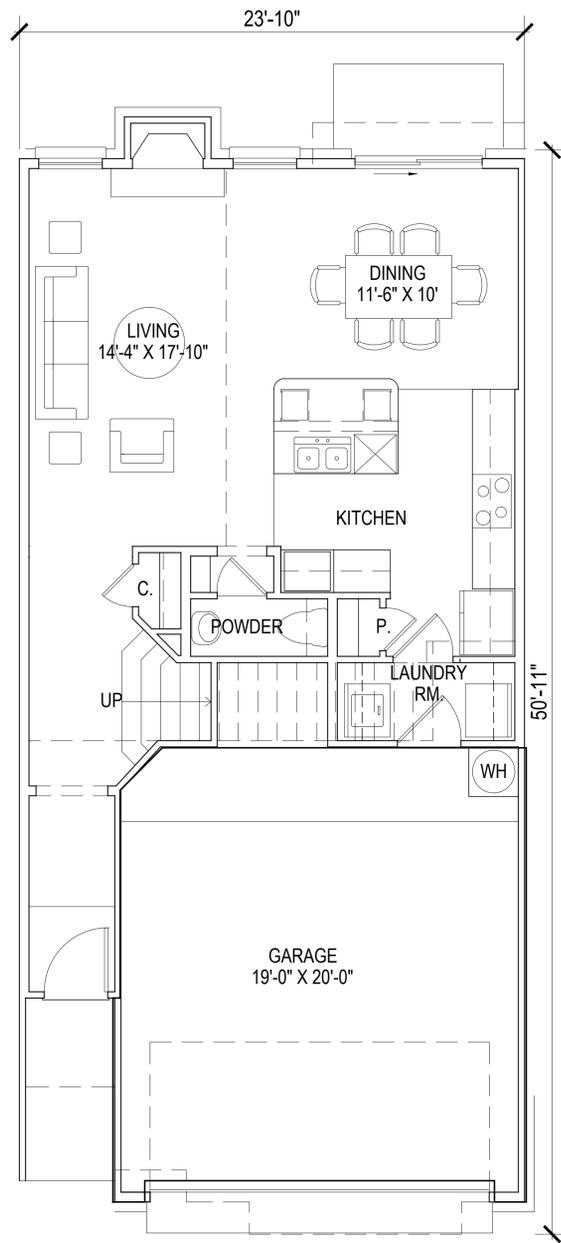
UNIT AVERAGE NET SF :	1,863.81
-----------------------	----------

\* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

PROJECT DATA	
UNIT AVERAGE NET SF :	1,863.81 S.F.
ACREAGE:	4.52 ACRES
DENSITY:	7.97 UNITS/ACRE
PARKING:	
REQUIRED	72 SPACES
PROVIDED	72 GARAGE SPACES 16 SURFACE VISITOR SPACES 88 TOTAL SPACES
	2.44 SPACES/UNIT

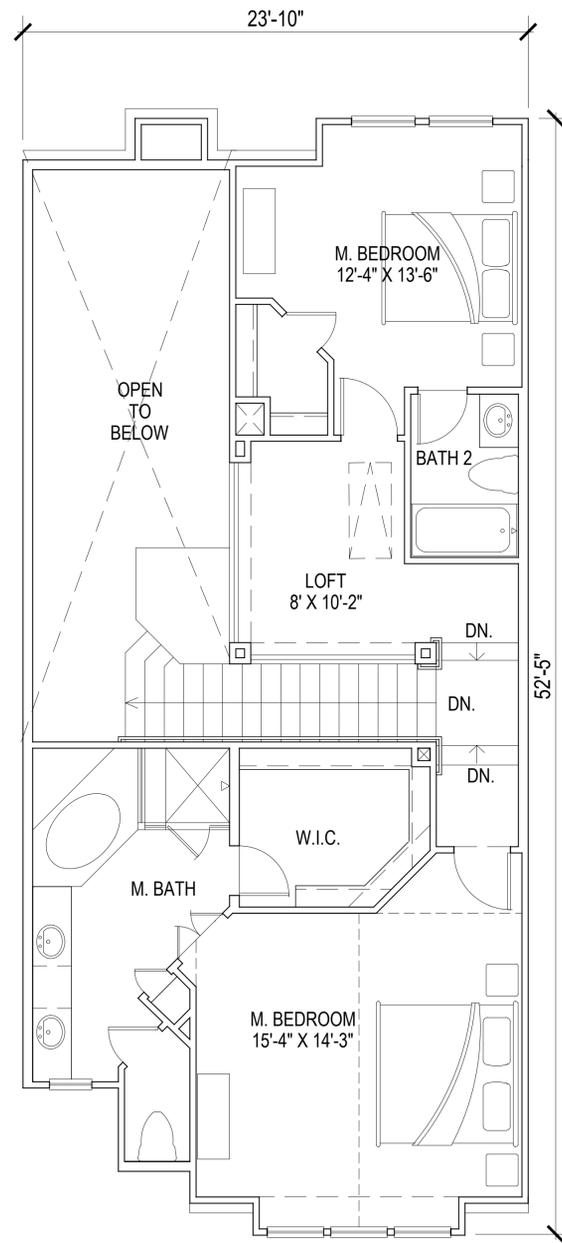


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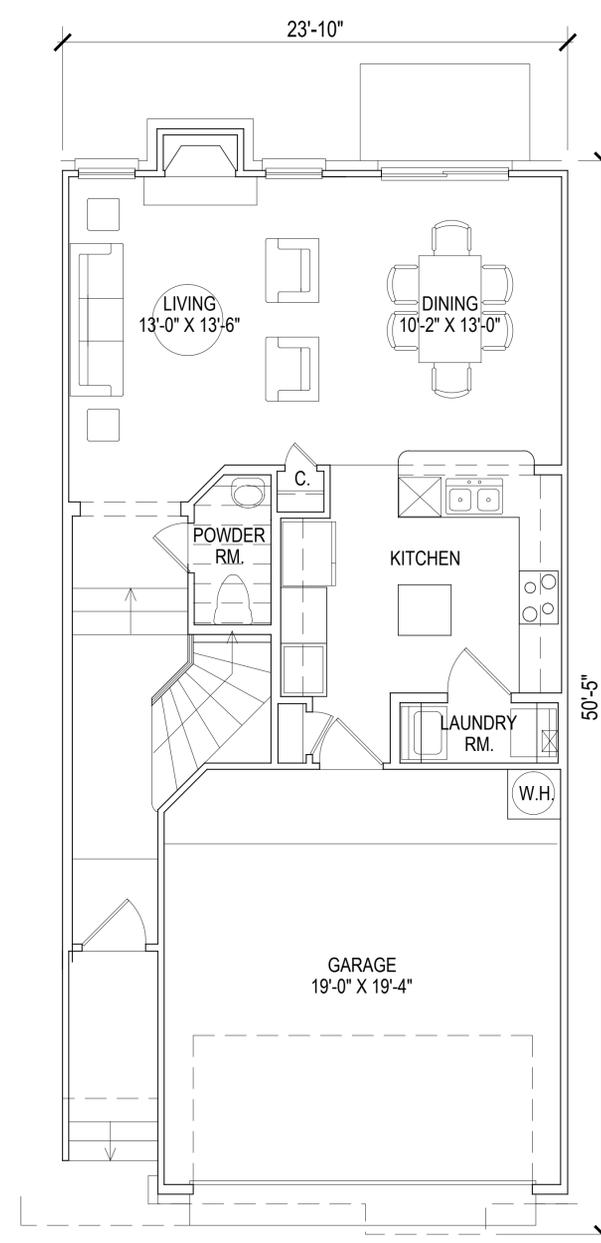
**THA-L**  
NET - 728 SQ. FT.

TOWNHOME A  
LOWER LEVEL: 728 SF.  
UPPER LEVEL: 894 SF.  
TOTAL: 1622 SF.



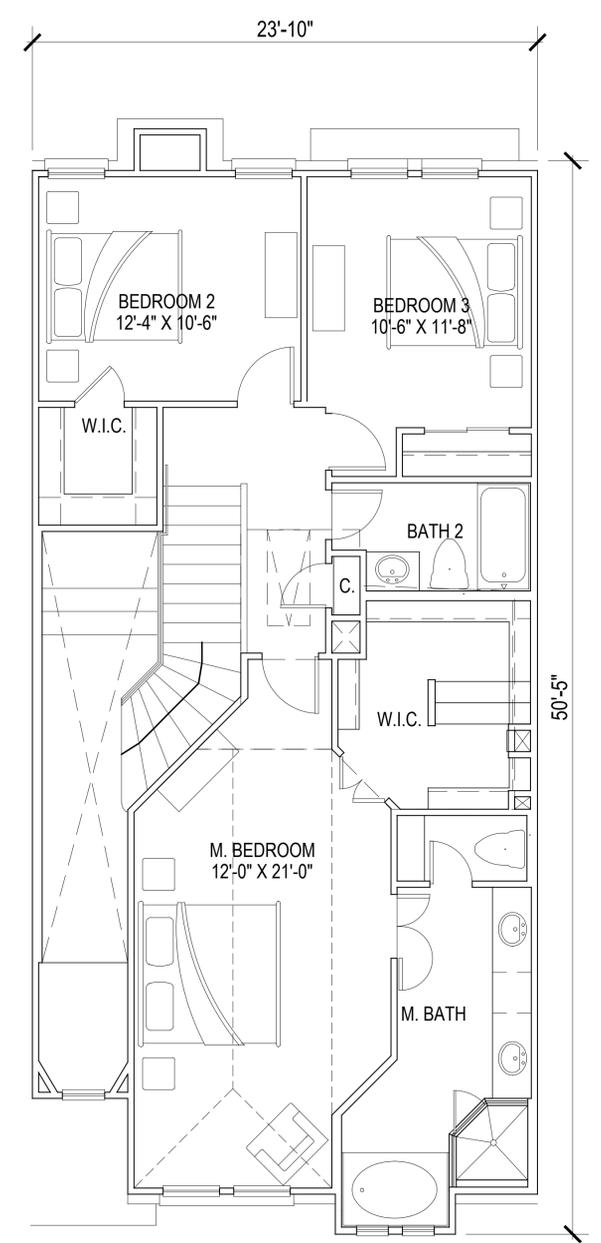
**THA-U**  
NET - 894 SQ. FT.

TOWNHOME A  
LOWER LEVEL: 728 SF.  
UPPER LEVEL: 894 SF.  
TOTAL: 1622 SF.



**THB-L**  
NET - 724 SQ. FT.

TOWNHOME B  
LOWER LEVEL: 724 SF.  
UPPER LEVEL: 970 SF.  
TOTAL: 1,694 SF.

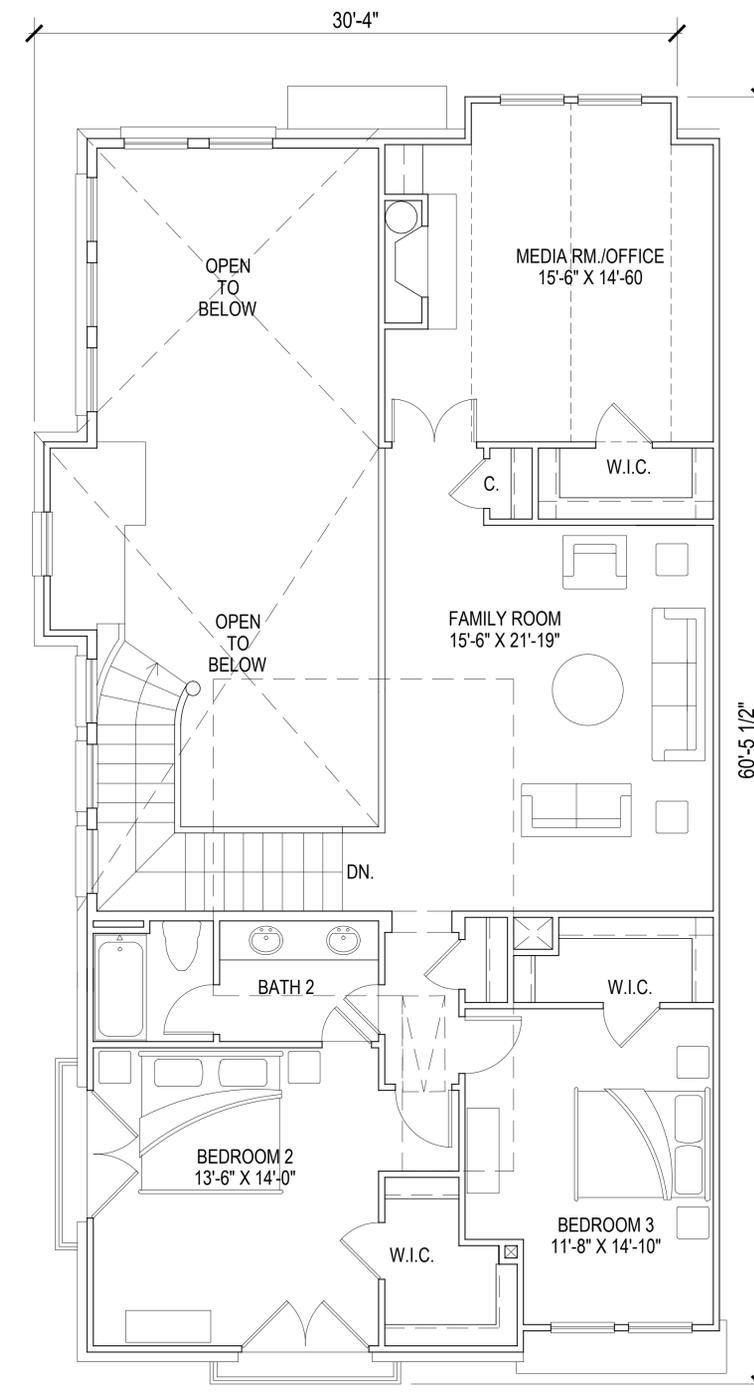
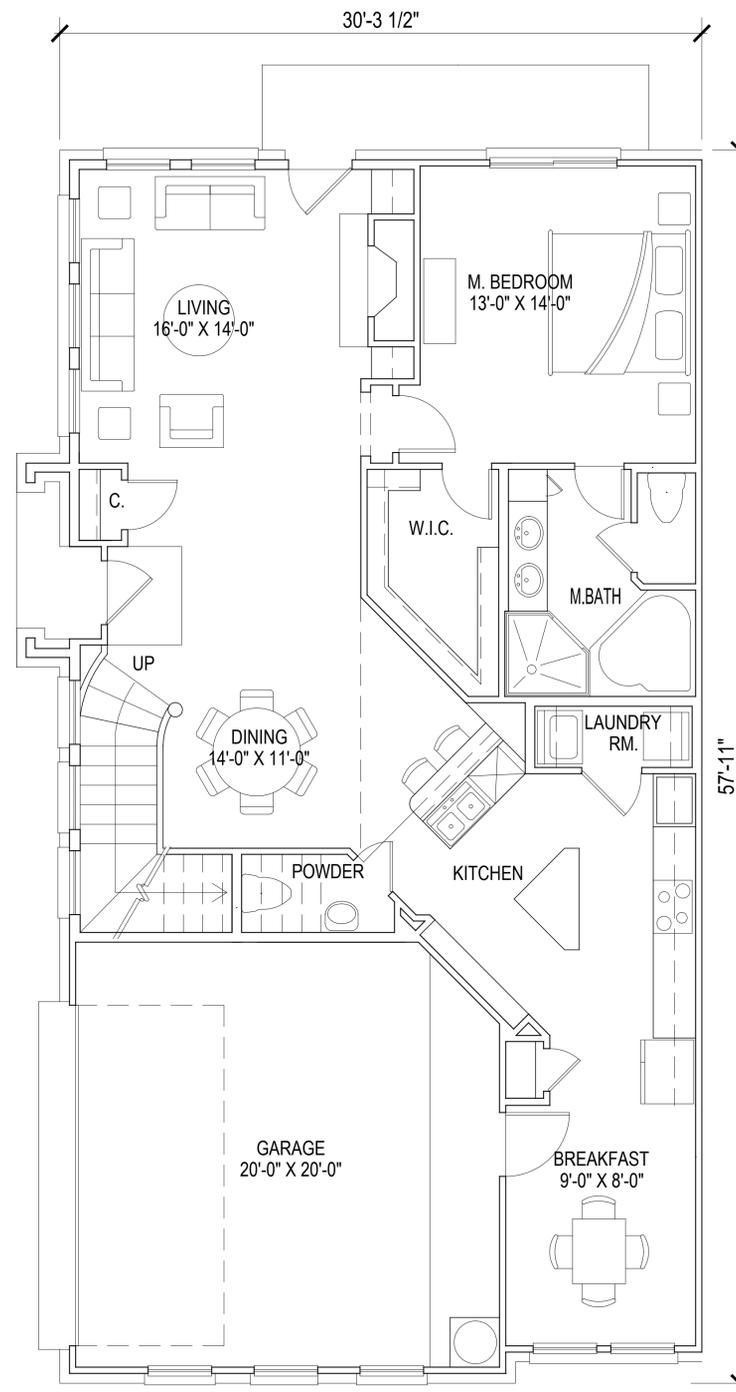
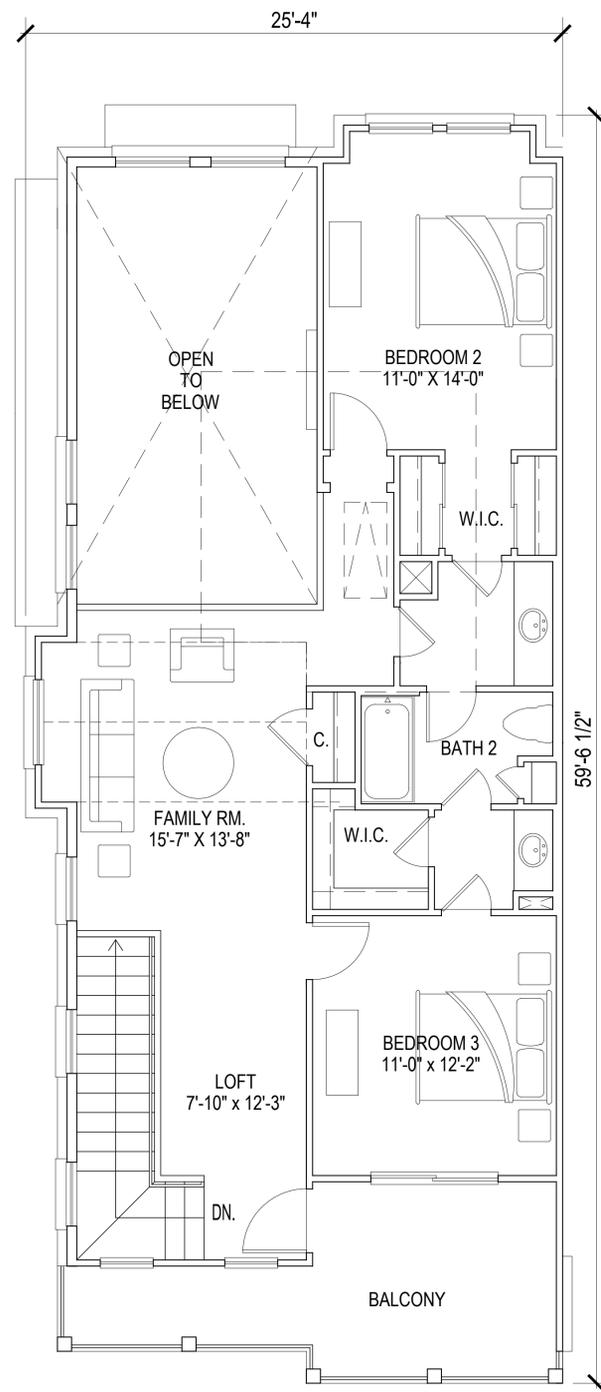
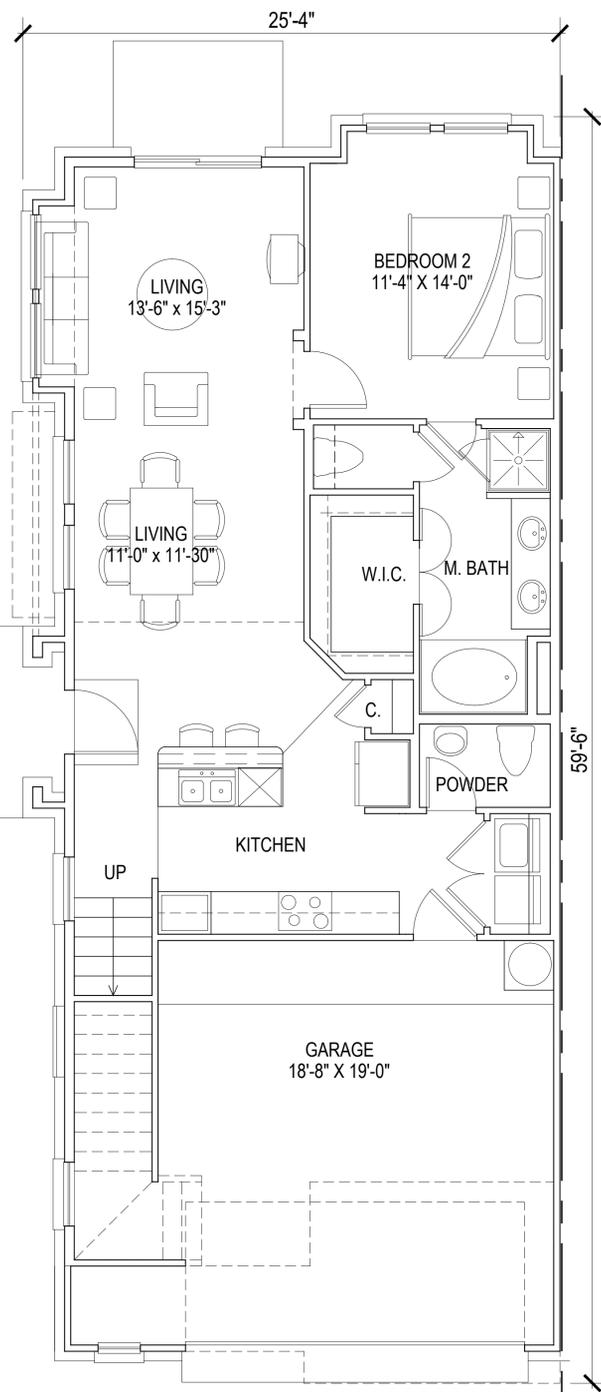


**THC1-L**  
NET - 970 SQ. FT.

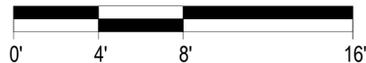
TOWNHOME B  
LOWER LEVEL: 724 SF.  
UPPER LEVEL: 970 SF.  
TOTAL: 1,694 SF.

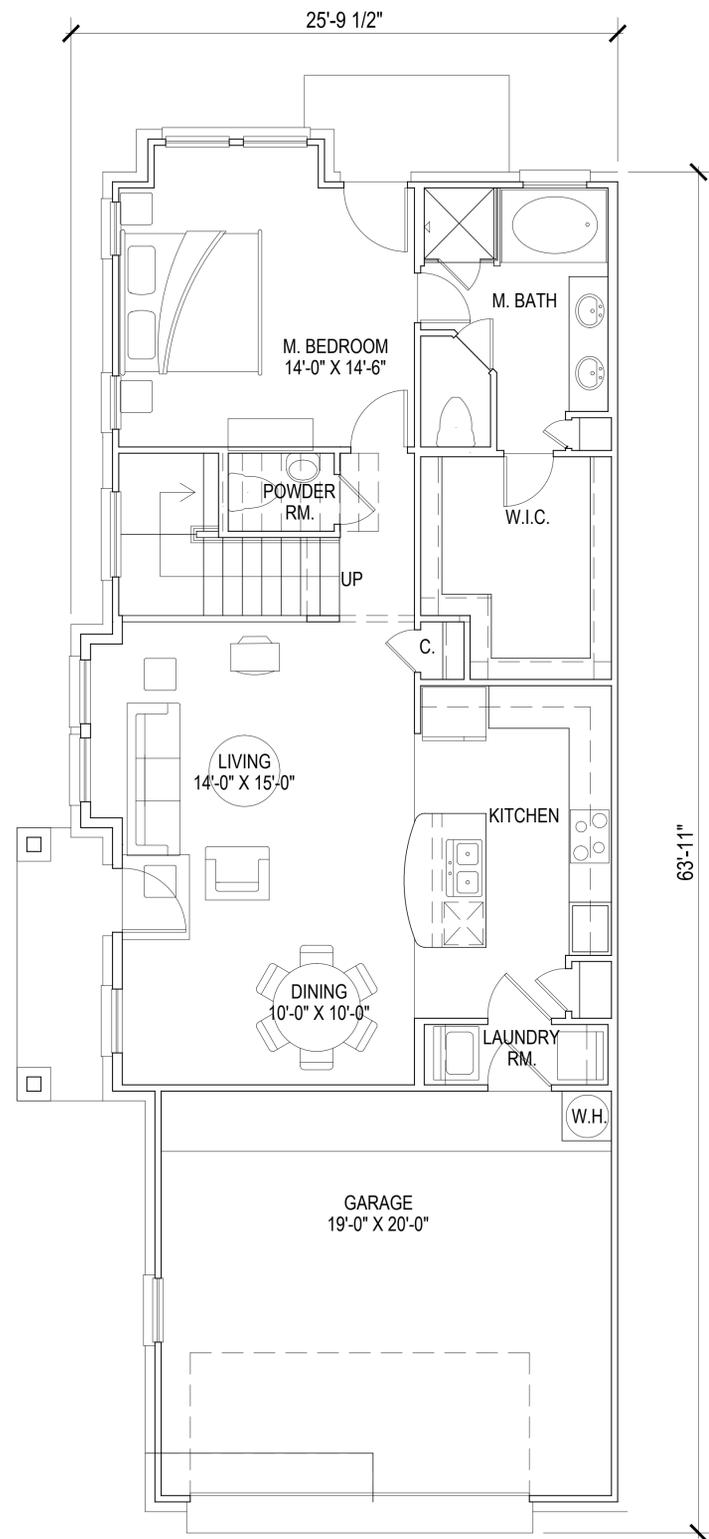
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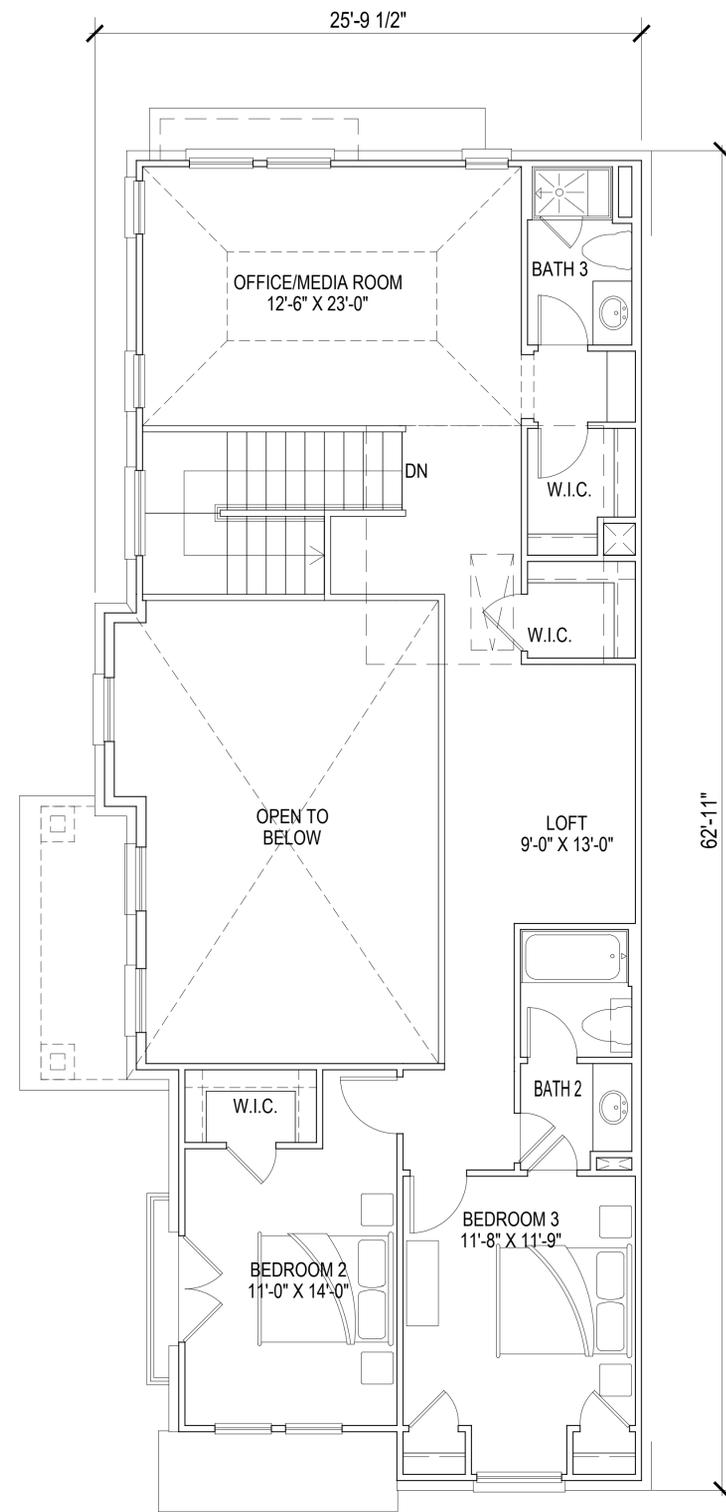
SCALE: 1/4" = 1'-0" (24"x36" SHEET)





TH. D-LOWER  
NET - 1083 SQ. FT.

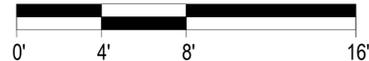
TOWNHOME D  
LOWER LEVEL: 1,083 SF.  
UPPER LEVEL: 1,080 SF.  
TOTAL: 2,163 SF.

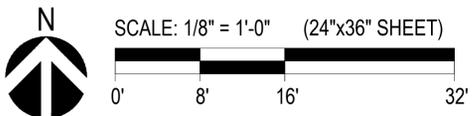
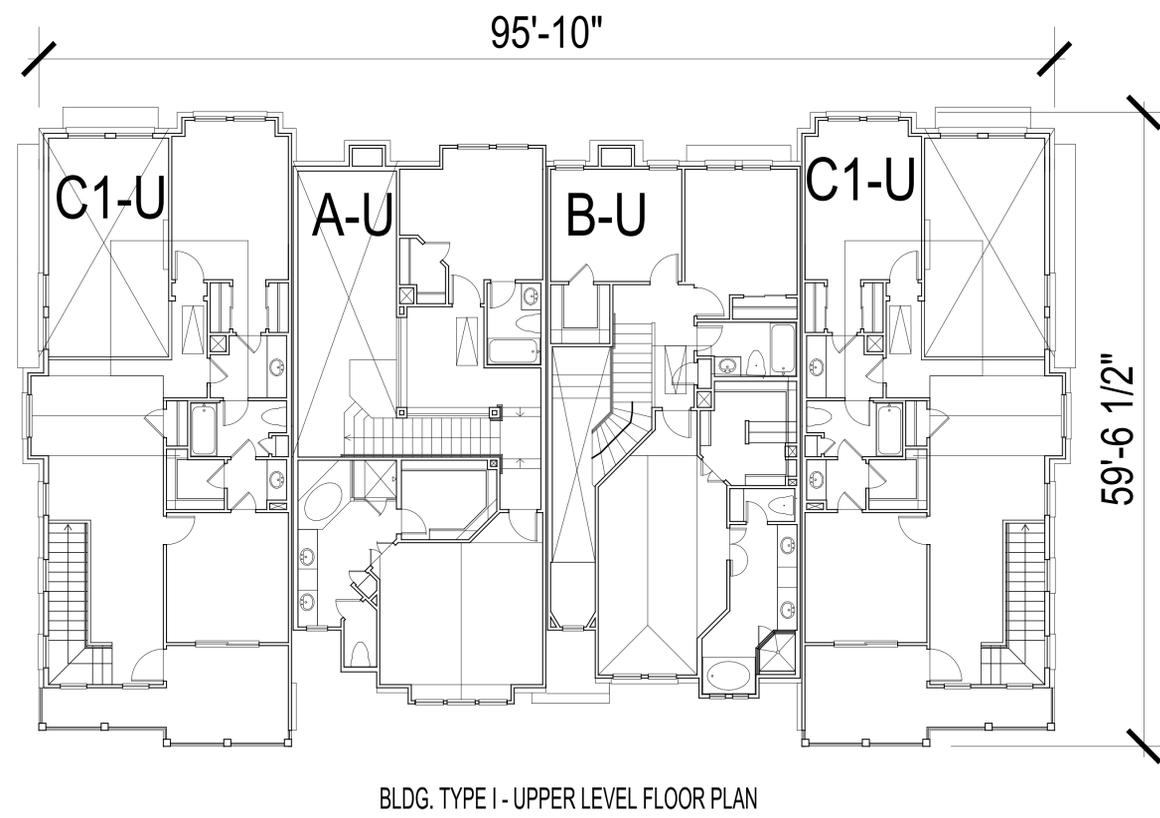
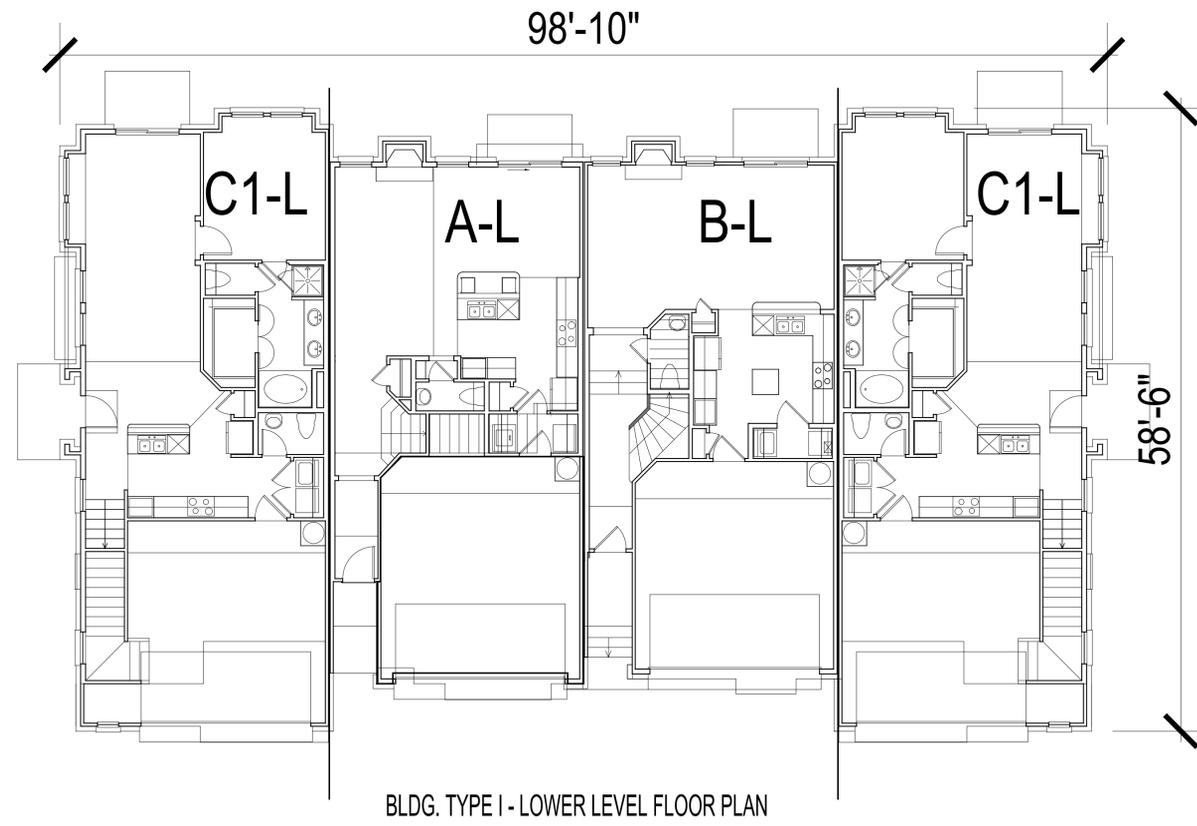


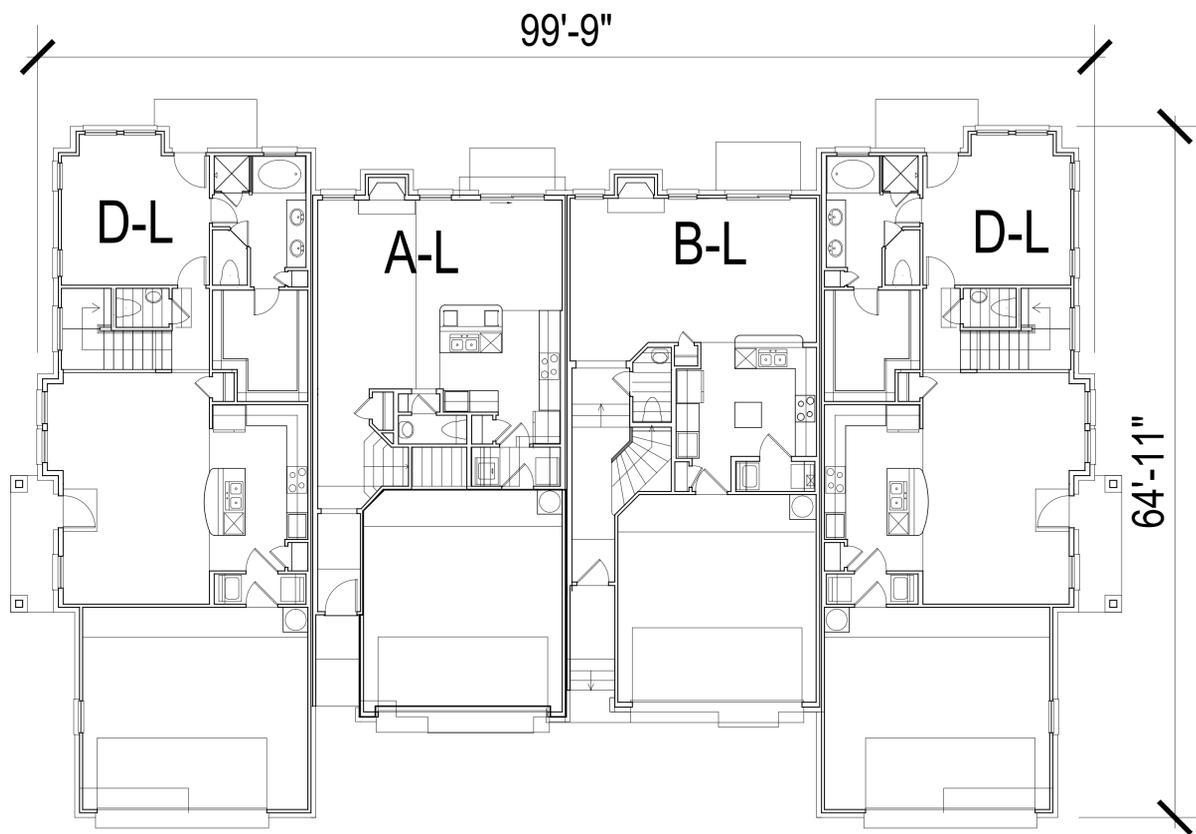
TH. D-UPPER  
NET - 1080 SQ. FT.

TOWNHOME D  
LOWER LEVEL: 1,083 SF.  
UPPER LEVEL: 1,080 SF.  
TOTAL: 2,163 SF.

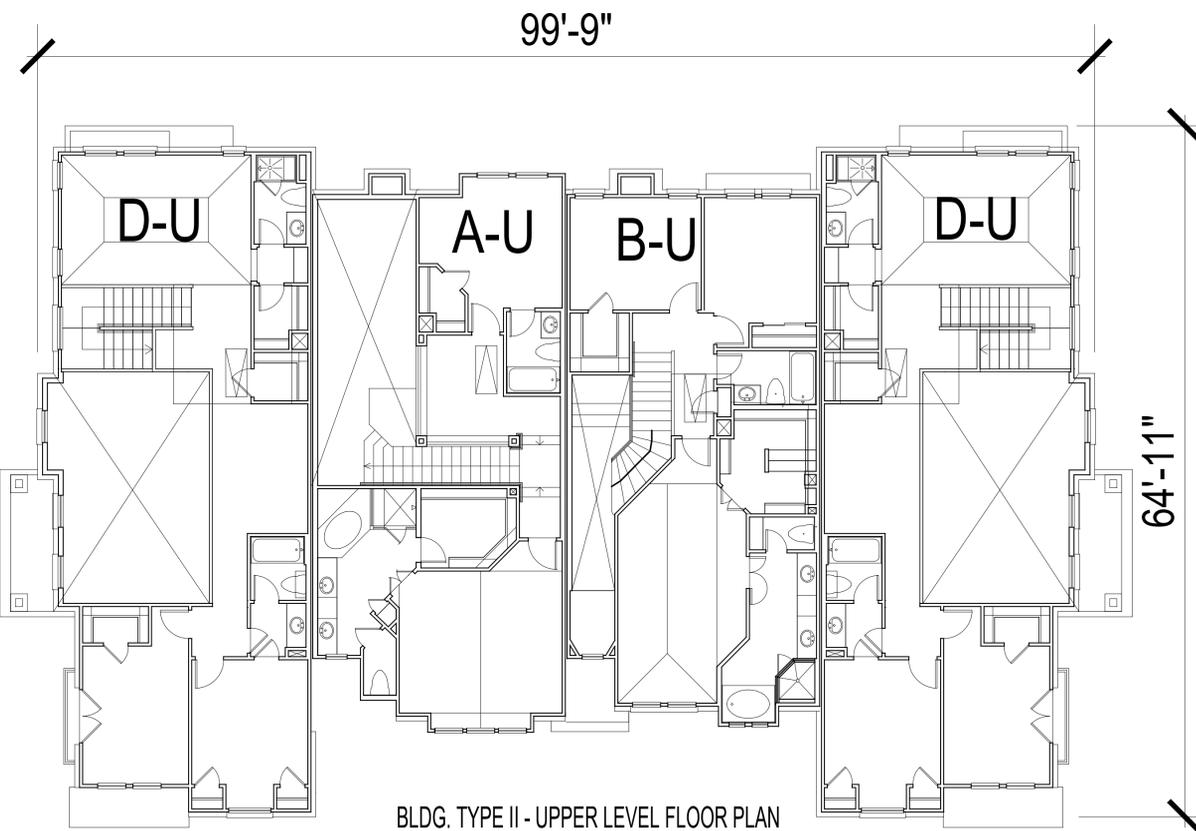
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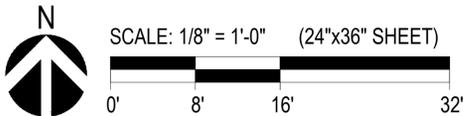


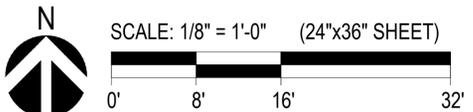
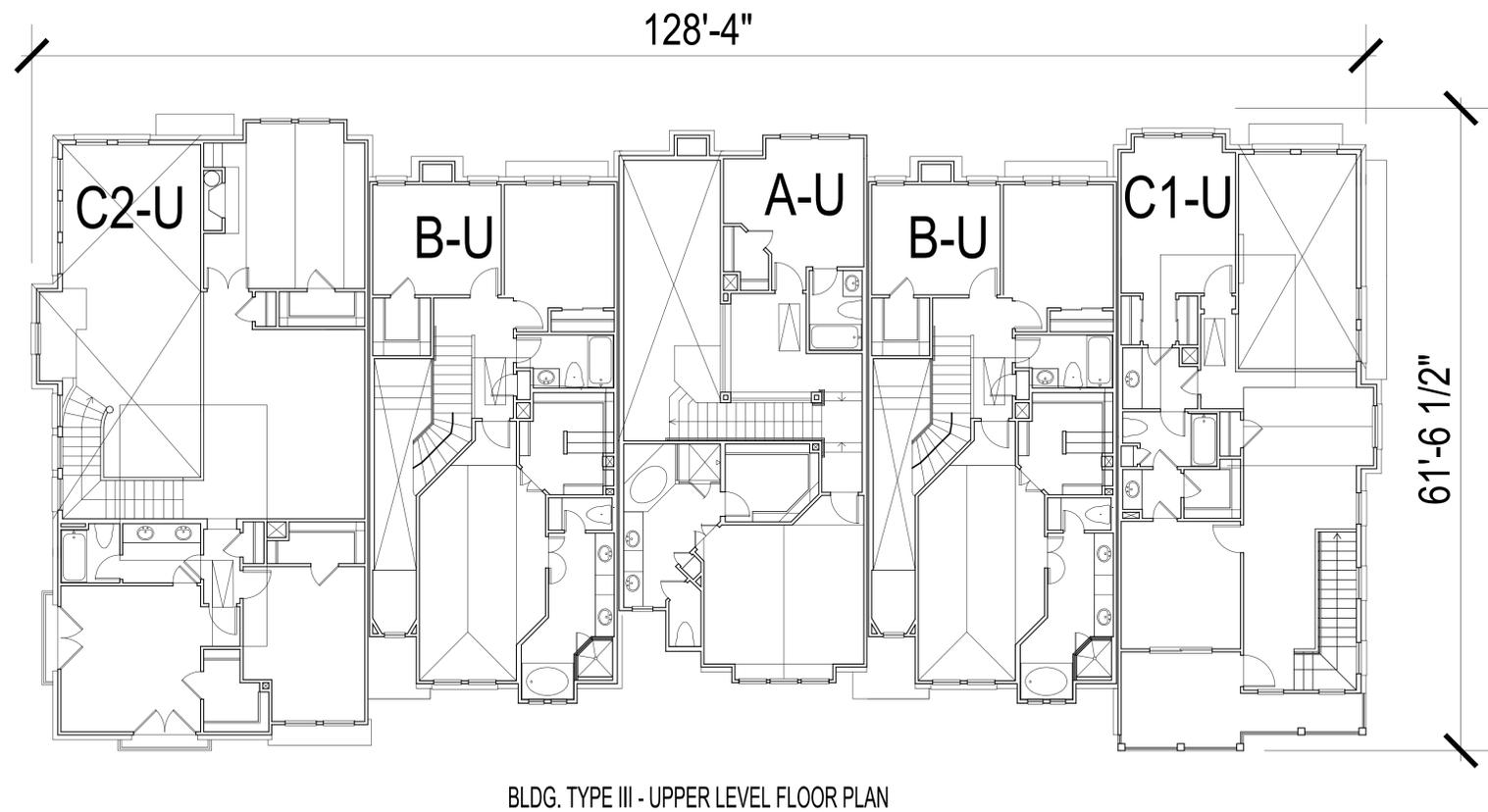
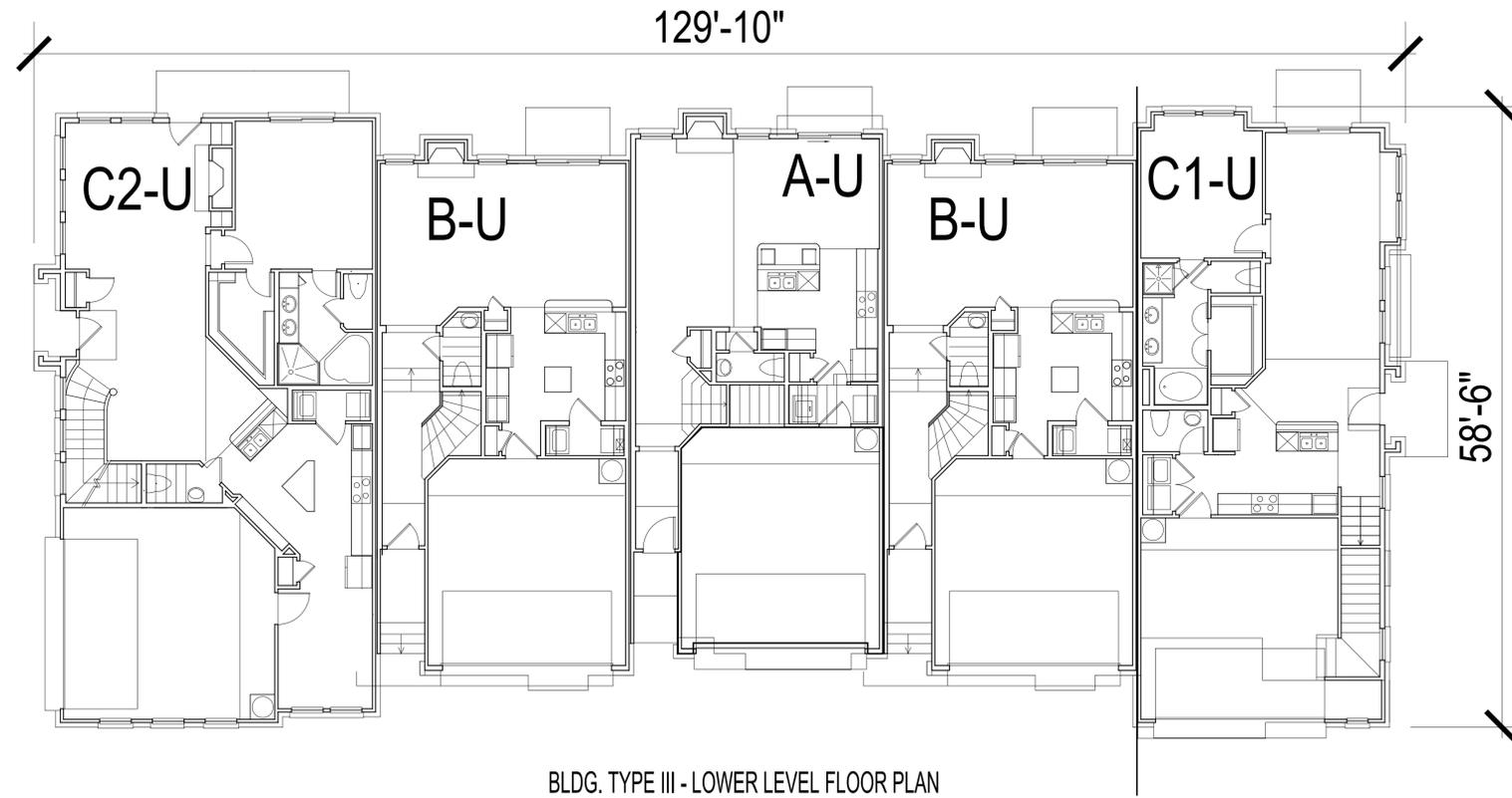


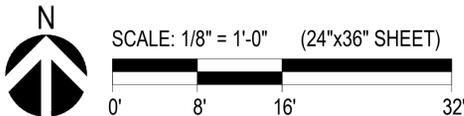
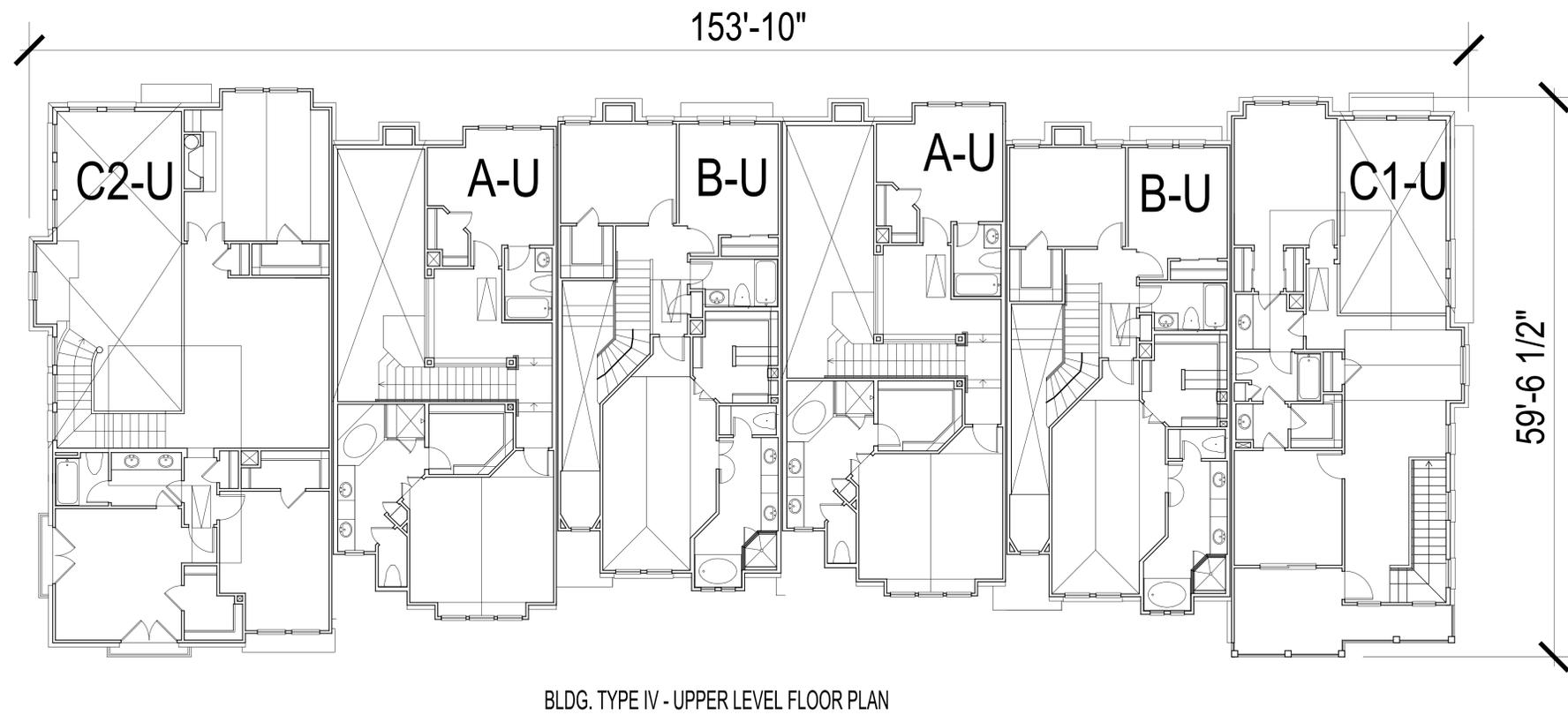
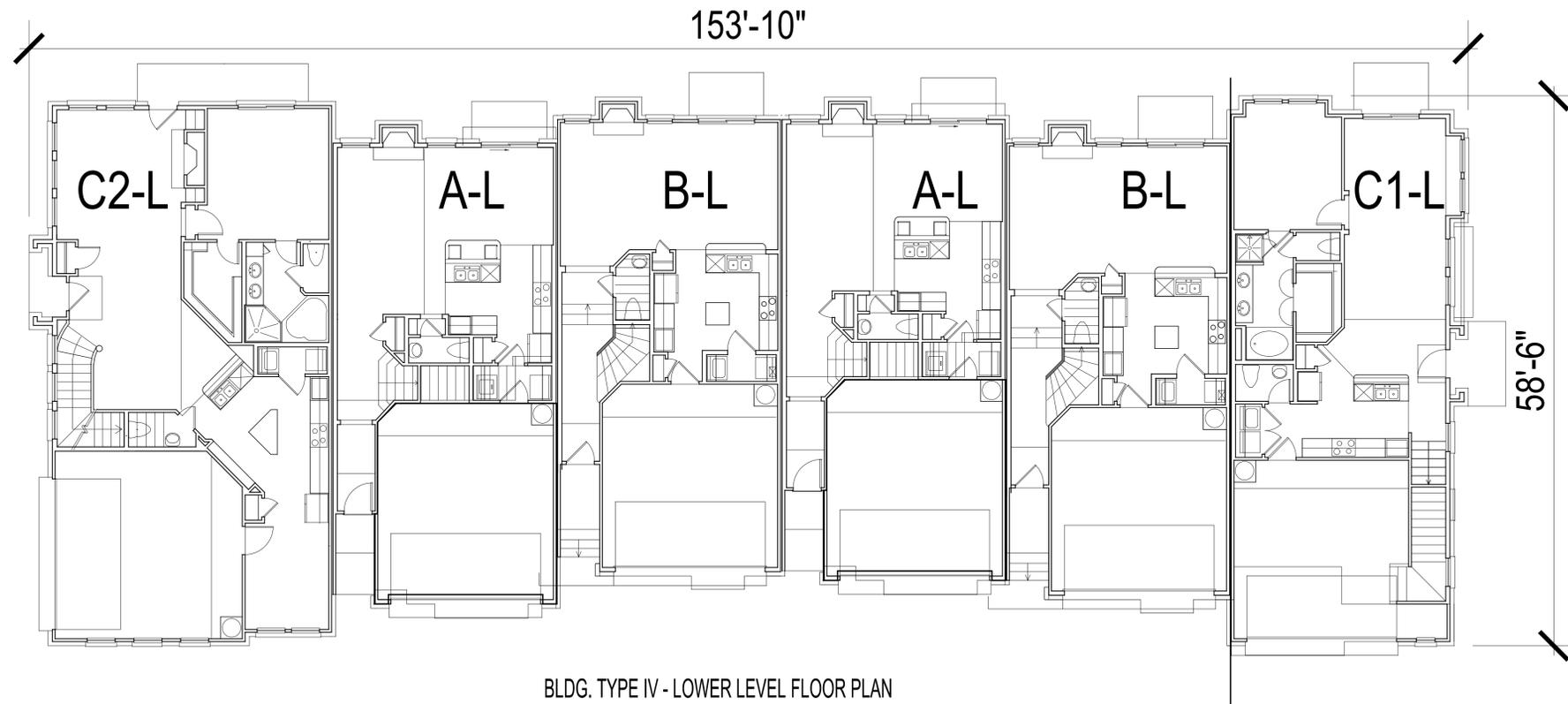
BLDG. TYPE II - LOWER LEVEL FLOOR PLAN



BLDG. TYPE II - UPPER LEVEL FLOOR PLAN









FRONT ELEVATION (scale: 1/8"=1')

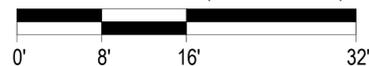


SIDE ELEVATION (scale: 1/8"=1')



REAR ELEVATION (scale: 1/8"=1')

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



A422

Z2016-026



FRONT ELEVATION (scale: 1/8"=1')



RIGHT ELEVATION (scale: 1/8"=1')



LEFT ELEVATION (scale: 1/8"=1')



REAR ELEVATION (scale: 1/8"=1')

SCALE: 1/8" = 1'-0" (24"x36" SHEET)





FRONT ELEVATION (scale: 1/8"=1')



RIGHT ELEVATION (scale: 1/8"=1')

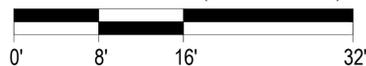


LEFT ELEVATION (scale: 1/8"=1')



REAR ELEVATION (scale: 1/8"=1')

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 3.462-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for 36 townhomes to be situated within the *Residential Subdistrict* of Planned Development District 32 (PD-32) on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 10-21* and the official zoning map of the City of Rockwall so as to approve a PD Development Plan for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*, and,

**Section 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) Cross access (*as depicted in Exhibit 'B' of this ordinance*) shall be provided to the property directly north of the subject property;
- 2) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 3) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 4) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 5) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and

the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 15, 2016

2<sup>nd</sup> Reading: September 6, 2016

**LEGAL DESCRIPTION**

DRAFT  
ORDINANCE  
09.19.2016

**Exhibit 'B':  
Concept Plan**



HARBOR URBAN CENTER- TOWN HOMES				ATTICUS REAL ESTATE			
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN	2016/2015
TH-A	1br/1.5ba	1,622	9	25%	14,593	25%	8/23/16
TH-B	2br/1.5ba	1,684	11	31%	18,634	31%	
TH-C1	3br/2.5ba	1,882	7	19%	13,174		
TH-C2	3br+ mg/2ba	2,571	3	8%	7,713	28%	
TH-D	3br/2.5ba	2,183	6	17%	12,978	17%	
<b>TOTALS</b>			<b>36</b>	<b>100.00%</b>	<b>67,097</b>	<b>100%</b>	

UNIT AVERAGE NET SF :	
1,863.81 S.F.	1,863.81

NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE AN SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/COURTY STORAGE.

PROJECT DATA	
UNIT AVERAGE NET SF :	1,863.81 S.F.
ACREAGE:	4.32 ACRES
DENSITY:	7.97 UNITS/ACRE
PARKING:	
REQUIRED	72 SPACES
PROVIDED	72 GARAGE SPACES 16 SURFACE VISITOR SPACES
	88 TOTAL SPACES
	2.44 SPACES/UNIT

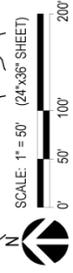
**A203**  
Z2016-026

**HARBOR URBAN CENTER**  
Rockwall, TX  
HP#F 16205

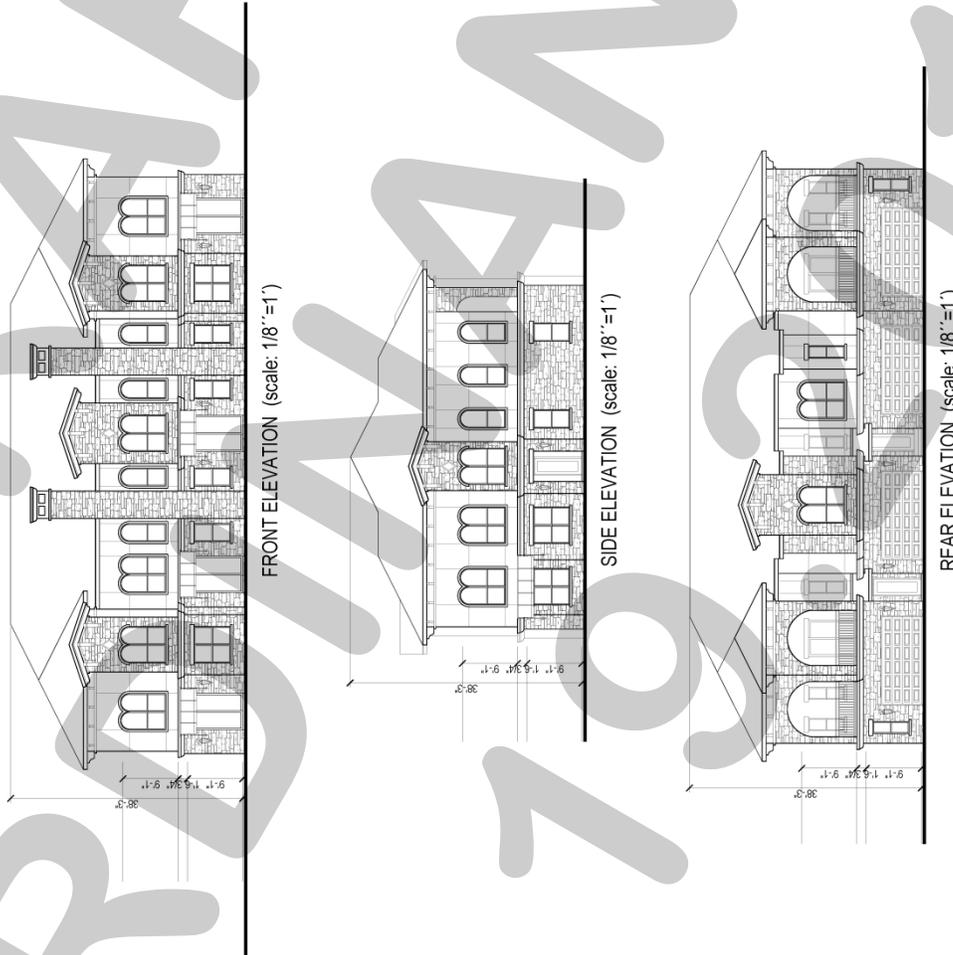
**ARCHITECTURAL SITEPLAN**  
TOWNHOMES  
August 22, 2016



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
5500 Regatta, Suite 1000, Rockwall, TX 75087 | 972.977.8833 | humphreys.com



**Exhibit 'C':**  
*Concept Building Elevations*



SCALE: 1/8" = 1'-0" (24"x36" SHEET)  
 0' 8' 16' 32'

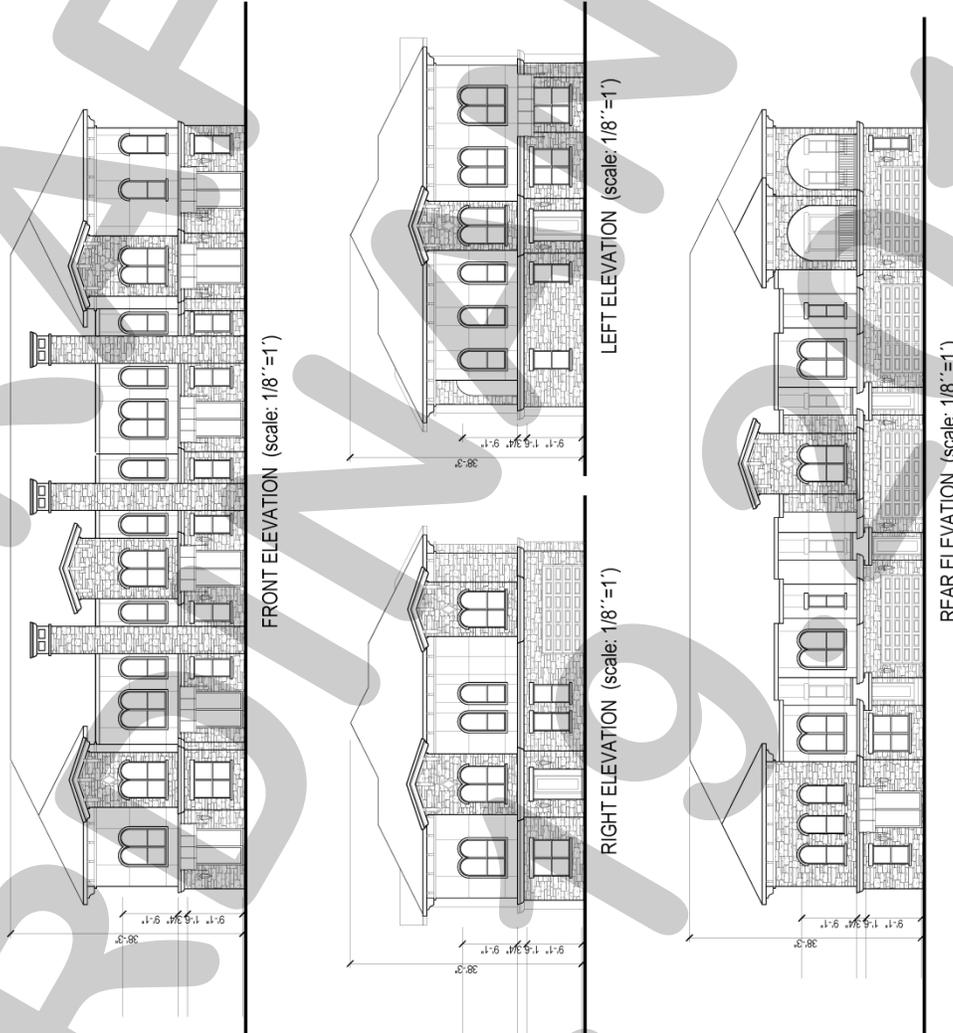
**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5000 Abrams, Suite 300, Dallas, TX 75246 | 214.761.8888 | humphreys.com



TH BLDG II. ELEVATIONS  
 August 2, 2016

**A422**  
 Z2016-026  
**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 HP#4 10205

**Exhibit 'C':**  
**Concept Building Elevations**



SCALE: 1/8" = 1'-0" (24"x36" SHEET)  
 0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5000 Abrams, Suite 300, Dallas, TX 75246 | 214.781.8888 | humphreys.com



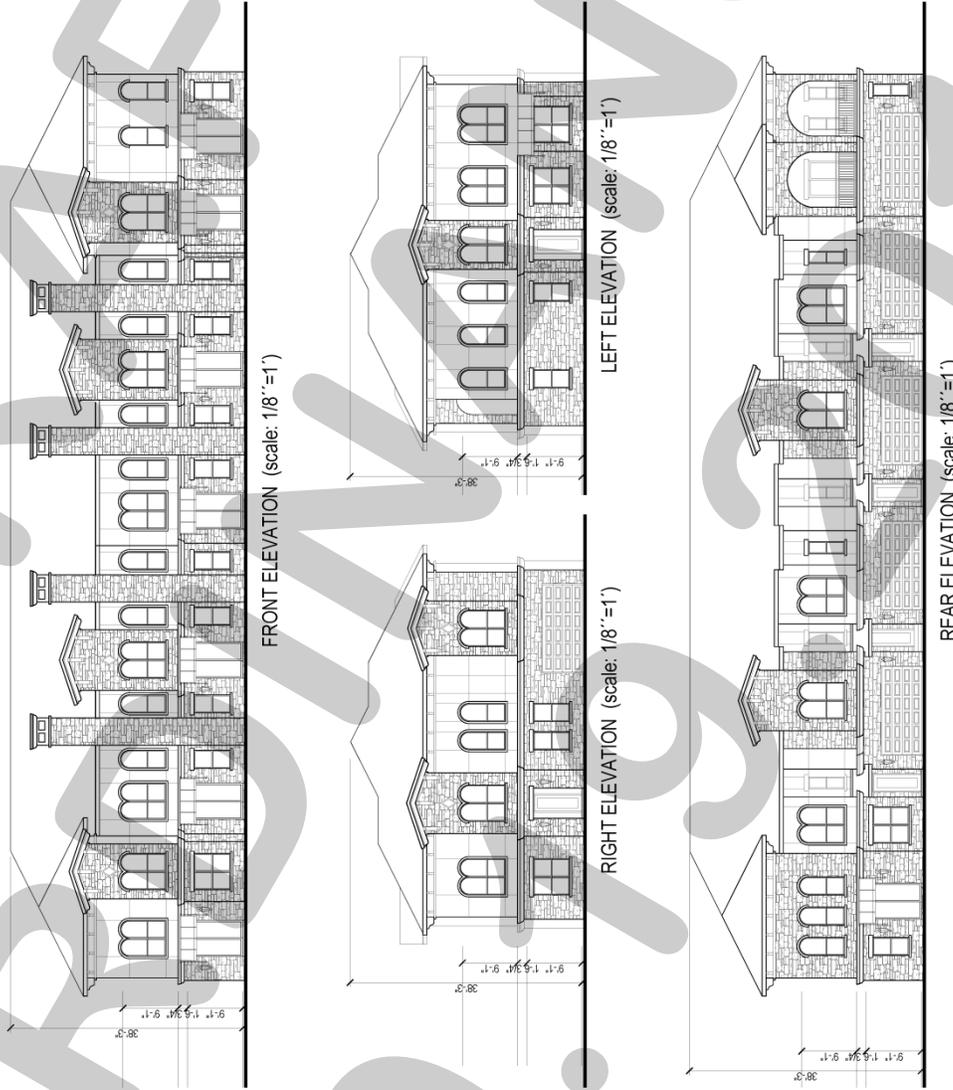
TH BLDG III. ELEVATIONS  
 August 2, 2016

**A432**  
 Z2016-026

**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 HPM 10005

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**Exhibit 'C':**  
*Concept Building Elevations*



SCALE: 1/8" = 1'-0" (24"x36" SHEET)  
 0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5000 Abrams, Suite 300, Dallas, TX 75246 | 214.761.8888 | humphreys.com



TH BLDG III. ELEVATIONS  
 August 2, 2016

**A442**  
 Z2016-026

**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 HPM 10005

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-023	<b>Owner</b> KEVIN DALE WOMMACK	<b>Applied</b> 7/14/2016 LM
<b>Project Name</b> SUP for 1970 Copper Ridge Circle	<b>Applicant</b> KEVIN DALE WOMMACK	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> SUP		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 7/14/2016 LM

<b>Site Address</b> 1970 COPPER RIDGE CIR	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b> STERLING FARMS ADDITION	<b>Tract</b> 17	<b>Block</b> B	<b>Lot No</b> 17	<b>Parcel No</b> 5069-000B-0017-00-OR	<b>General Plan</b>
---	--------------------	-------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	7/14/2016	7/21/2016	8/17/2016	34	APPROVED	
ENGINEERING (8/19/2016 1:32 PM AW) Check location of septic system to make sure there aren't any conflicts	Amy Williams	7/14/2016	7/21/2016	8/19/2016	36	APPROVED W/ CONDITIONS	See Condition
FIRE	Ariana Hargrove	7/14/2016	7/21/2016	8/17/2016	34	APPROVED	
PLANNING (8/25/2016 10:24 AM KB) Z2016-023 SUP for Accessory Building: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	7/14/2016	7/21/2016	8/24/2016	41	APPROVED W/ CONDITIONS	Comments

I.1 This is a request by Kevin Dale Wommack & Pamela McCollum for the approval of an amendment to Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02] to allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle.

I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

M.3 For reference, include the case number (Z2016-023) in the lower right hand corner of all pages on future submittals.

I.4 Please review the attached draft ordinance prior to the September 13, 2016 Planning & Zoning Commission meeting.

I.5 The Planning and Zoning Worksession is August 30th. The Planning and Zoning Meeting is September 13.

I.6 The projected City Council meeting dates for this case will be September 19, 2016 [1st Reading] & October 3, 2016 [2nd Reading].

0 37.5 75 150 225 300 Feet

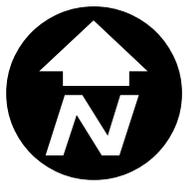
Z2016-023 - SUP FOR 1970 COPPER RIDGE CIRCLE  
SPECIFIC USE PERMIT - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

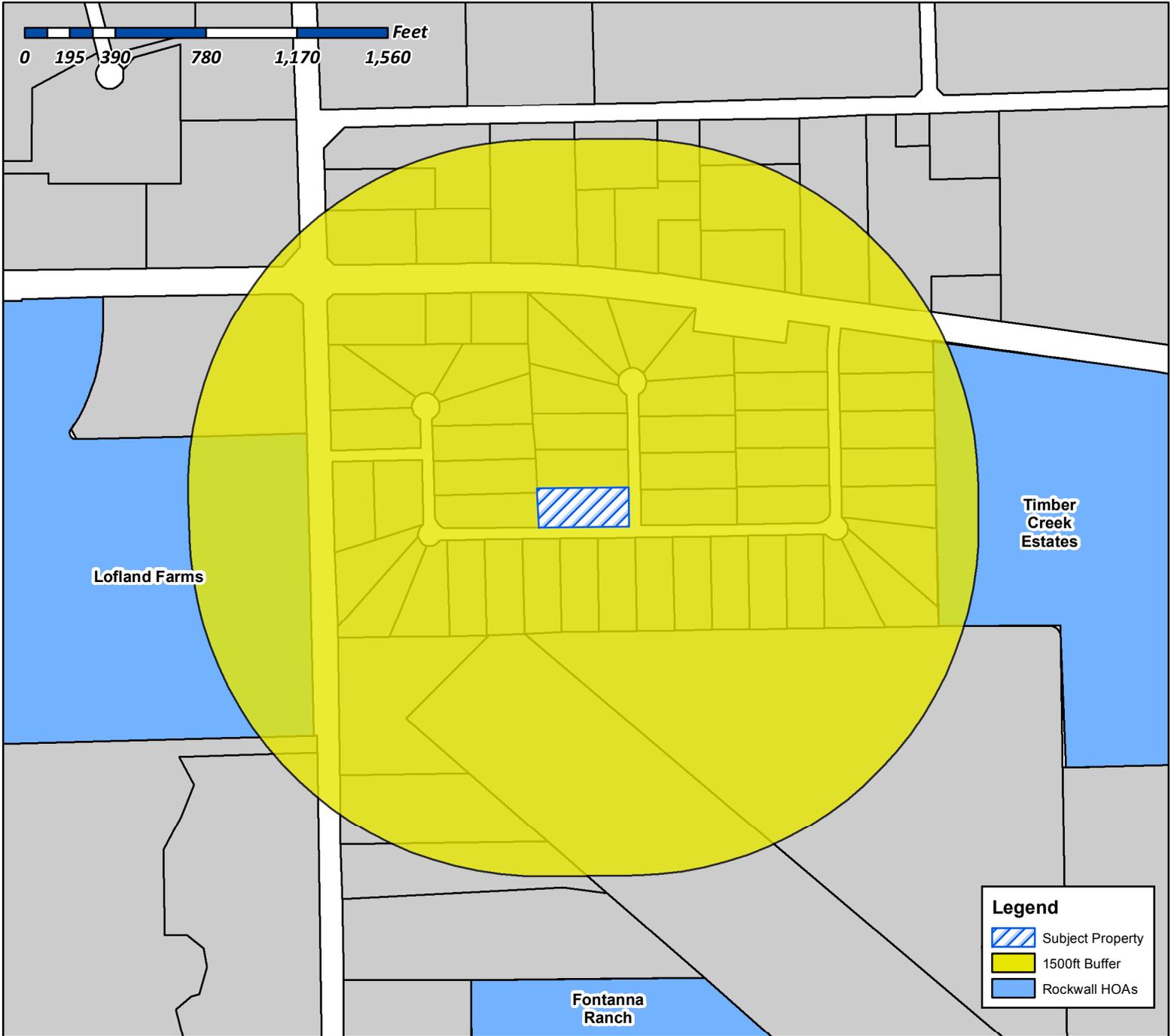




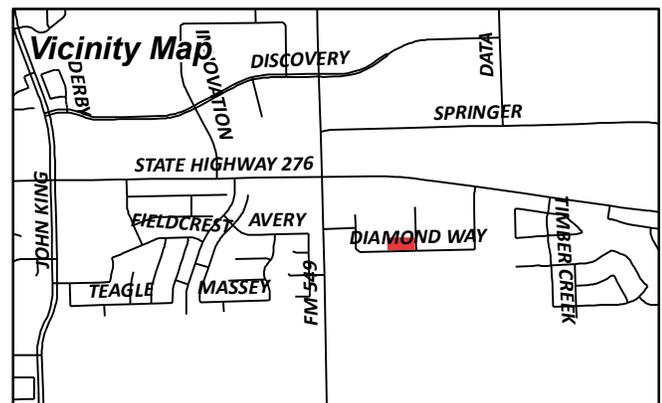
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-023  
**Case Name:** SUP for 1970 Copper Ridge Circle  
**Case Type:** Zoning  
**Zoning:** SUP  
**Case Address:** 1970 Copper Ridge Circle



**Date Created:** 08/15/2016

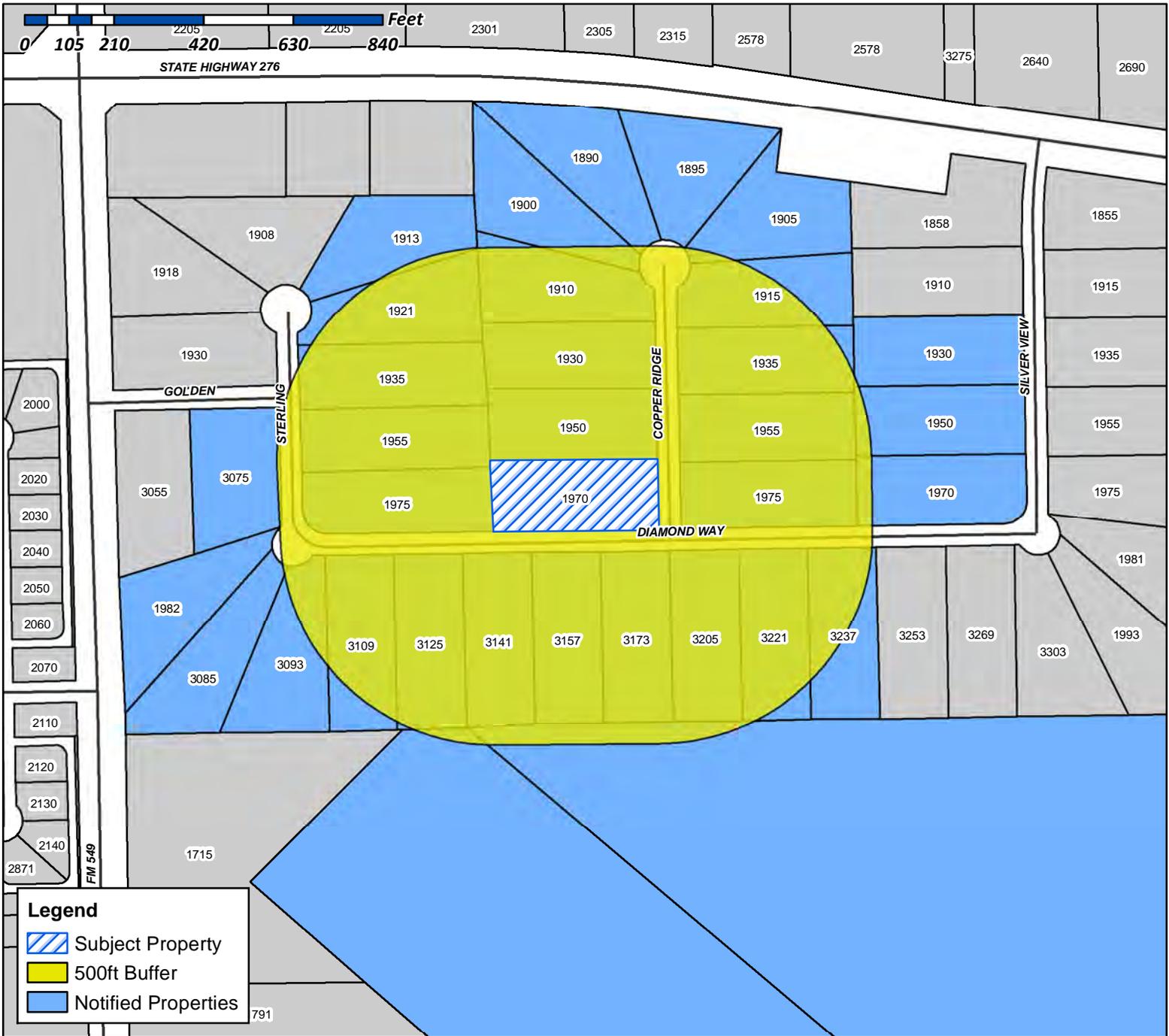
**For Questions on this Case Call (972) 771-7745**



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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MCLENDON COMPANY THE  
13101 PRESTON RD STE 501  
DALLAS, TX 75240

JOHNSON DAVID A AND PHYLLIS D  
1890 COPPER RIDGE CIR  
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL  
1895 COPPER RIDGE CIR  
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE  
1900 COPPER RIDGE CIR  
ROCKWALL, TX 75032

MCDUGLE RONNIE D & DEBORAH J  
1905 COPPER RIDGE CIR  
ROCKWALL, TX 75032

JONES SCOTT G & CAROLINE D  
1910 COPPER RIDGE CIR  
ROCKWALL, TX 75032

HALL RICHARD N JR AND ELIZABETH A  
1913 STERLING CT  
ROCKWALL, TX 75032

WILLESS WAYNE & PRISCILLA K  
1915 COPPER RIDGE CIR  
ROCKWALL, TX 75032

MEJIA BLAS & LUISA  
1921 STERLING CT  
ROCKWALL, TX 75032

USSERY DAVID & PAMELA  
1930 COPPER RIDGE CIR  
ROCKWALL, TX 75032

REYNOLDS CHRISTOPHER & RENA  
1930 SILVER VIEW LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1935 STERLING CT  
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A  
1935 COPPER RIDGE CIR  
ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY  
1950 COPPER RIDGE CIR  
ROCKWALL, TX 75032

AVILA HUMBERTO J II  
1950 SILVER VIEW LN  
ROCKWALL, TX 75032

RISHER CONNIE LYNN  
1955 COPPER RIDGE CIR  
ROCKWALL, TX 75032

GLASSCOCK BILLY B & PENNY  
1955 STERLING CT  
ROCKWALL, TX 75032

WHITAKER JOSHUA & KRISTIN  
1970 COPPER RIDGE CIRCLE  
ROCKWALL, TX 75032

WHITE ROBERT L & MARIE  
1970 SILVER VIEW LN  
ROCKWALL, TX 75032

HELMS DEBBIE B  
1975 COPPER RIDGE CIR  
ROCKWALL, TX 75032

THOMAS CLIFTON D & YASMIN P TEJANI  
THOMAS  
1975 STERLING CT  
ROCKWALL, TX 75032

WOODALL TERRY G & JENNIFER  
1982 STERLING CT  
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC  
30601 AGOURA RD SUITE 200  
AGOURA HILLS, CA 91301

CURRENT RESIDENT  
3075 GOLDEN TR  
ROCKWALL, TX 75032

BROWN HOWARD E  
3085 DIAMOND WAY DR  
ROCKWALL, TX 75032

HUFF ARLENE R & ERIC  
3093 DIAMOND WAY DR  
ROCKWALL, TX 75032

TIMMINS TERREL P  
3109 DIAMOND WAY DR  
ROCKWALL, TX 75032

TIBBS CHRISTOPHER B &  
3125 DIAMOND WAY DR  
ROCKWALL, TX 75032

FOWLER DONALD D & MICHELLE  
3136 MARBLE FALLS LN  
ROCKWALL, TX 75032

GUZMAN GOMEZ SUSAN W &  
3141 DIAMOND WAY DR  
ROCKWALL, TX 75032

COLEMAN GREGORY D & PAMELA A  
3157 DIAMOND WAY DR  
ROCKWALL, TX 75032

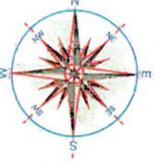
CHAPMAN JERREL & MELBA  
3173 DIAMOND WAY DR  
ROCKWALL, TX 75032

MILLER ERROL D & VICKI S  
3205 DIAMOND WAY DRIVE  
ROCKWALL, TX 75032

HALBROOK R D & MARLENE S  
3221 DIAMOND WAY DR  
ROCKWALL, TX 75032

CAIN EULIN K II & ANITA J  
3237 DIAMOND WAY DR  
ROCKWALL, TX 75032

IHEARTMEDIA TOWER CO I (AM) LLC  
951 BROKEN SOUND PKWY SUITE 320  
BOCA RATON, FL 33487



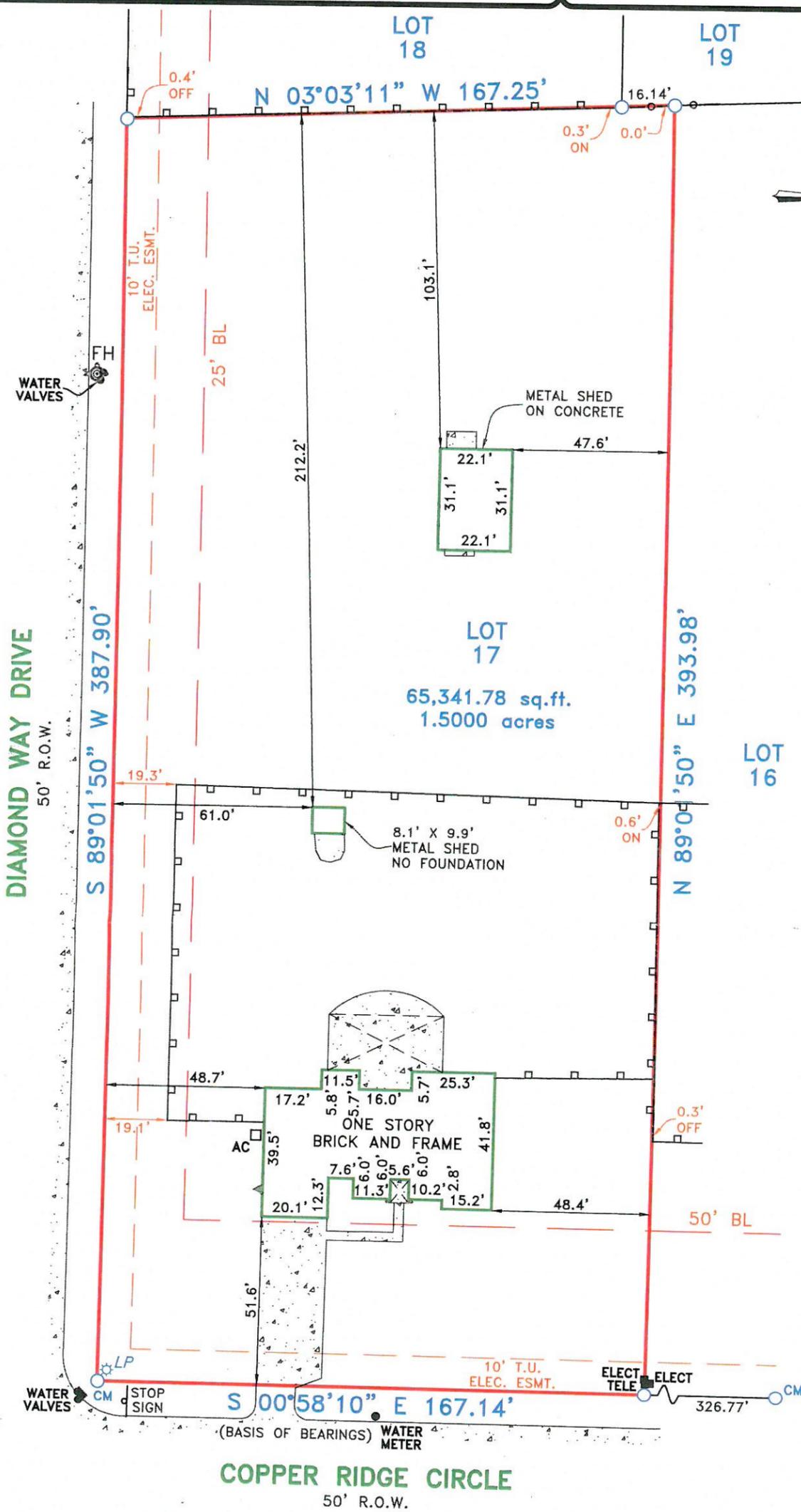
# 1970 Copper Ridge Circle

Being Lot 17, in Block B, of Sterling Farms Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 395, of the Plat Records of Rockwall County, Texas.



### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ◆ 60d NAIL FOUND
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- BRICK COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- I — IRON FENCE
- X — BARBED WIRE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CONCRETE
- COVERED AREA



### EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY  
VOL. 46, PG. 197; VOL. 75, PG. 583;  
VOL. 113, PG. 35

Date: \_\_\_\_\_ Accepted by: \_\_\_\_\_  
Purchaser  
Purchaser

### NOTES:

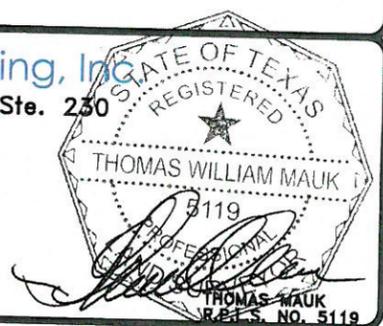
NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

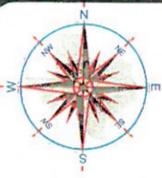
FLOOD NOTE: According to the F.I.R.M. No. 48397C0045L, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: WTH  
Scale: 1" = 40'  
Date: 08/12/15  
GF No.:  
1015-158274-RTT  
Job No. 1512318

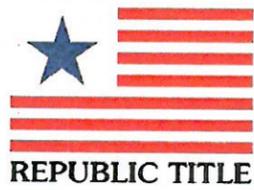
**C.B.G. Surveying, Inc.**  
12025 Shiloh Road, Ste. 250  
Dallas, TX 75228  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
[www.cbqdfw.com](http://www.cbqdfw.com)





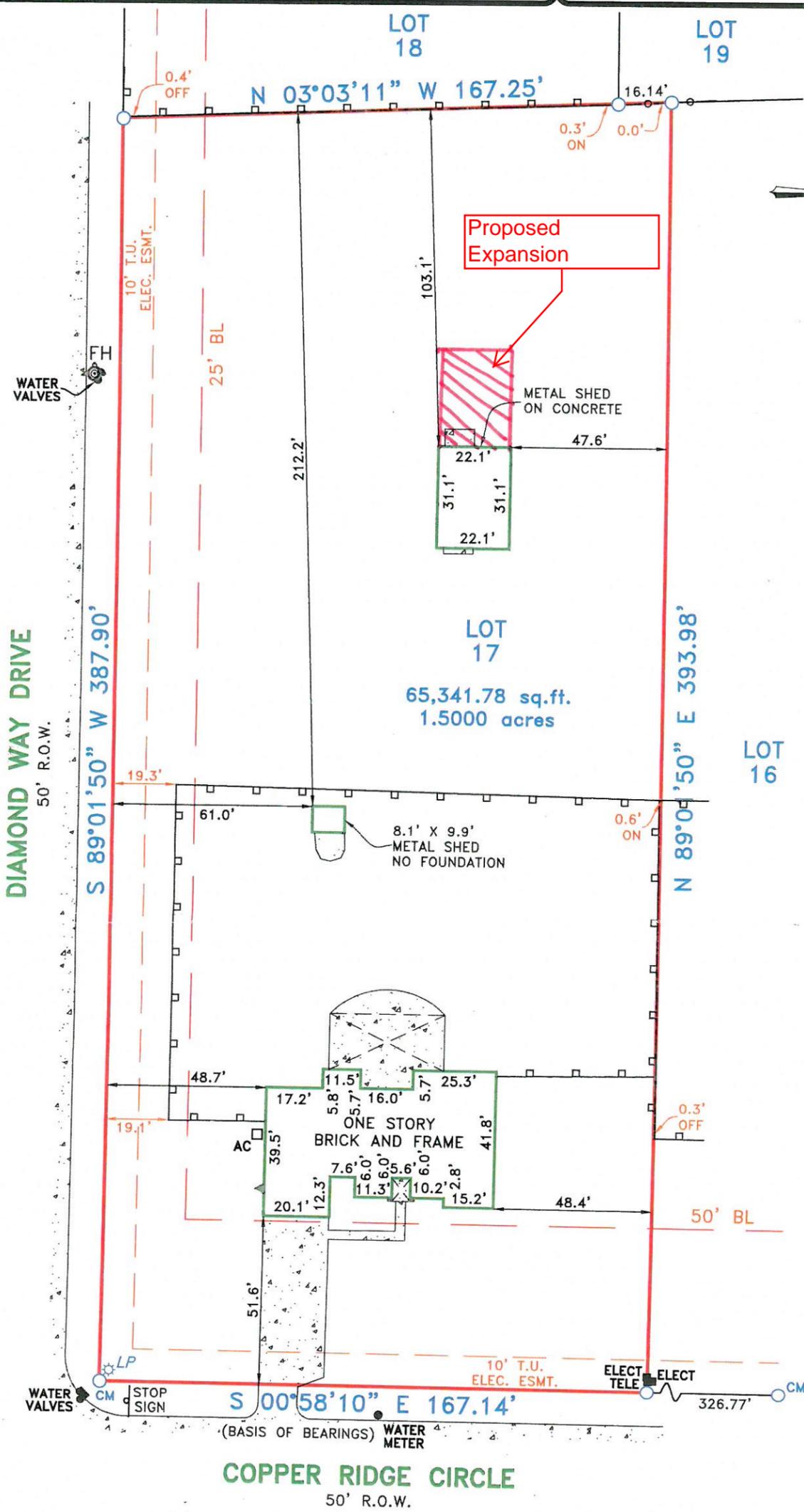
# 1970 Copper Ridge Circle

Being Lot 17, in Block B, of Sterling Farms Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 395, of the Plat Records of Rockwall County, Texas.



### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ◆ 60d NAIL FOUND
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- BRICK COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
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- II— IRON FENCE
- X— BARBED WIRE
- //— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA



**RECEIVED**  
 AUG 15 2016  
 BY: \_\_\_\_\_

### EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY  
 VOL. 46, PG. 197; VOL. 75, PG. 583;  
 VOL. 113, PG. 35

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

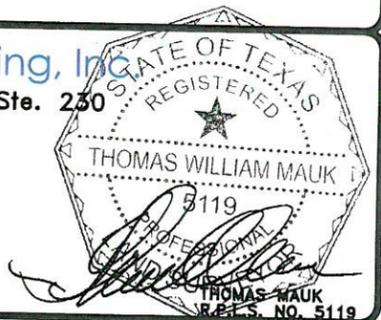
FLOOD NOTE: According to the F.I.R.M. No. 48397C0045L, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

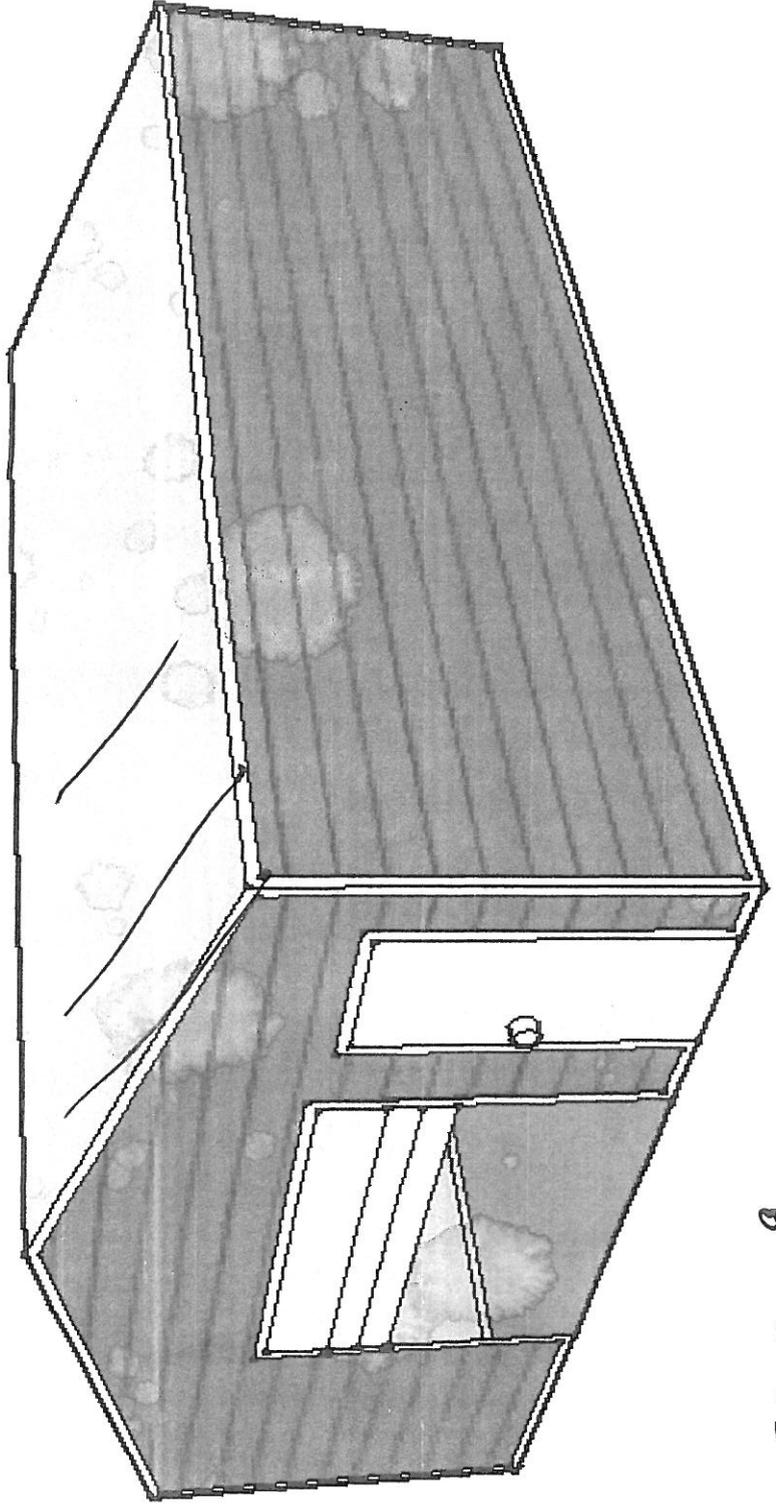
Date: \_\_\_\_\_ Accepted by: \_\_\_\_\_  
 Purchaser  
 Purchaser

Drawn By: WTH  
 Scale: 1" = 40'  
 Date: 08/12/15  
 GF No.: 1015-158274-RTT  
 Job No. 1512318

**C.B.G. Surveying, Inc.**  
 12025 Shiloh Road, Ste. 250  
 Dallas, TX 75228  
 P 214.349.9485  
 F 214.349.2216  
 Firm No. 10168800  
[www.cbgsfw.com](http://www.cbgsfw.com)



Sheet Metal: 29 Gauge Galvanized polyester painted  
framing: 14 Gauge Galvanized  
Concrete: 4" thick with 3/8 rebar with moisture barrier  
8 to 12" footer around perimeter  
Spray Foam: standard 2lb spray foam



22x30x9

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-118

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO AMEND SPECIFIC USE PERMIT NO. S-118 [ORDINANCE NO. 14-02] TO ALLOW FOR AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM SIZE REQUIREMENTS ON A 1.50-ACRE PARCEL OF LAND ZONED SINGLE FAMILY ESTATE 1.5 (SFE-1.5) AND IDENTIFIED AS LOT 17, BLOCK B, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Kevin Dale Wommack and Pamela McCollum to amend Specific Use Permit No. S-118 [*Ordinance No. 14-02*] for the purpose of increasing the size of an existing accessory building situated on a 1.50-acre parcel of land, zoned Single Family Estate 1.5 (SFE-1.5) District, and being identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, addressed as 1970 Copper Ridge Circle, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] and *Ordinance No. 14-02* of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the enactment of this Specific Use Permit (SUP) Ordinance shall supersede all requirements stipulated in *Ordinance No. 14-02*;

**Section 2.** That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of an accessory building that exceeds the maximum size requirements and that does not conform to the minimum masonry requirements for accessory buildings in a Single Family Estate 1.5 (SFE-1.5) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**Section 3.** That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.2, Single-Family Estate (SF/E 1.5) District*, of *Article V, District Development Standards*, of the Unified

Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

- 1) The accessory building shall generally conform to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The accessory building shall not exceed a maximum size of 1,200 square feet.
- 3) The accessory building is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

**Section 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**Section 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3<sup>RD</sup> DAY OF OCTOBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

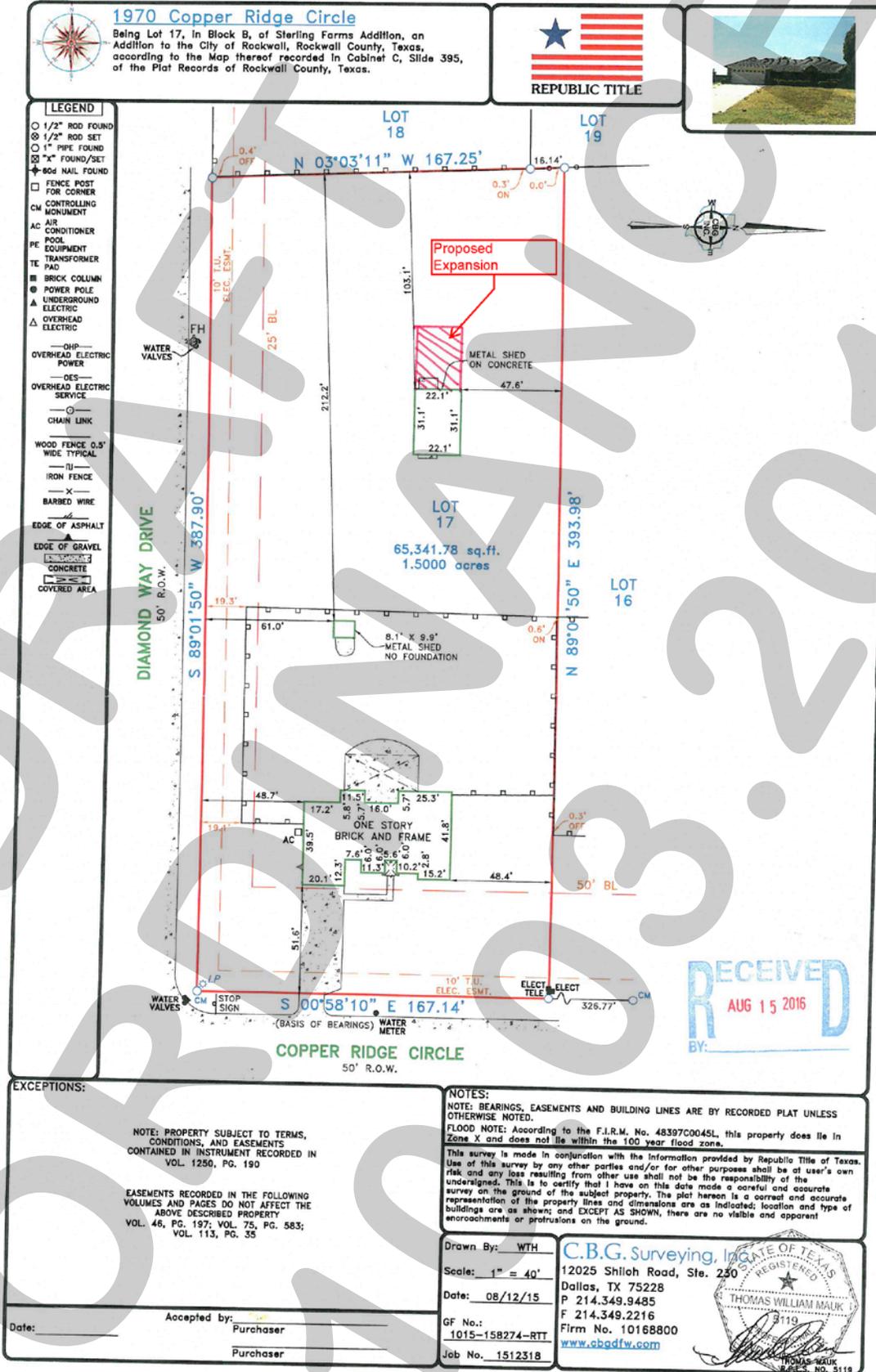
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 19, 2016

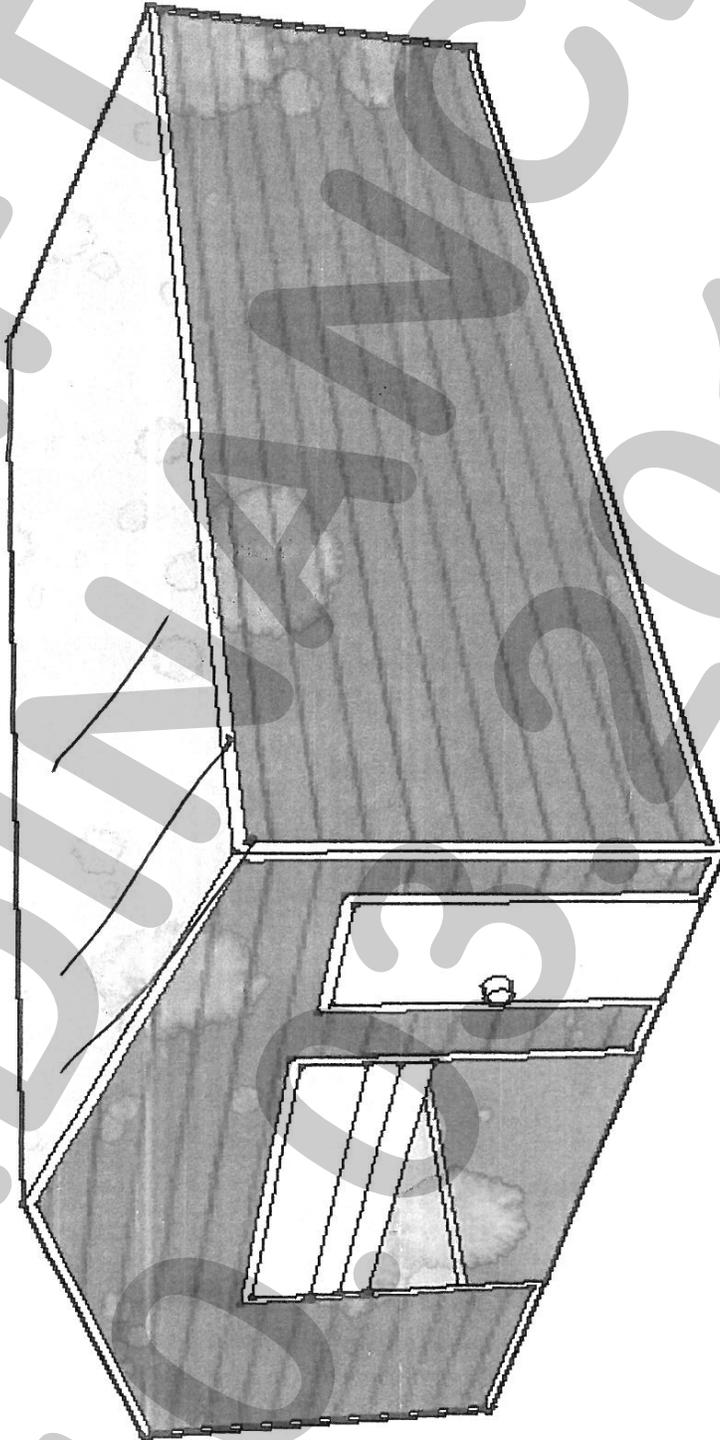
2<sup>nd</sup> Reading: October 3, 2016

# Exhibit 'A': Site Plan



**Exhibit 'B':**  
*Building Elevations*

Sheet Metal: 29 Gauge Galvanized polyester painted  
framing: 14 Gauge Galvanized  
Concrete: 4" thick with 3/8 rebar with moisture barrier  
8 to 12" footer around perimeter  
Spray Foam: standard 2lb spray foam



## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-028	<b>Owner</b> SUSAN GAMEZ	<b>Applied</b> 8/15/2016 LM
<b>Project Name</b> Zoning Change (AG to C)	<b>Applicant</b> SUSAN GAMEZ	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> REZONE		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/16/2016 LM

<b>Site Address</b> 2001 RIDGE RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--------------------------------------	--	---------------

<b>Subdivision</b> YELLOW JACKET ADDITION	<b>Tract</b> 7	<b>Block</b> NULL	<b>Lot No</b> 7	<b>Parcel No</b> 0001-0000-0007-00-OR	<b>General Plan</b>
--	-------------------	----------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/17/2016	8/24/2016	8/17/2016		APPROVED	
ENGINEERING (8/19/2016 1:15 PM AW) Must meet all engineering requirements	Amy Williams	8/15/2016	8/22/2016	8/23/2016	8	APPROVED	See Conditions
FIRE	Ariana Hargrove	8/15/2016	8/22/2016	8/17/2016	2	APPROVED	
PLANNING Z2016-028 2001 Ridge Road (AG to C): Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Ryan Miller	8/15/2016	8/22/2016	8/23/2016	8	APPROVED	See Conditions

I.1 This is a request for the approval of a zoning change from Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, and addressed as 2001 Ridge Road.

I.2 For questions or comments concerning this case, please contact Ryan Miller in the Planning Department at (972) 772-6441 or email [rcmiller@rockwall.com](mailto:rcmiller@rockwall.com).

M.3 For reference, include the case number (Z2016-028) in the lower right hand corner of all pages on future submittals.

I.4 The Future Land Use Map contained within the City's Comprehensive Plan indicates that the subject property is designated as Medium Density Residential. The proposed zoning does not conform to this designation and will require the City Council to amend the Future Land Use Map to reflect a Commercial designation.

I.5 Based on the submission City Staff would recommend that a less intense zoning (e.g. Residential Office [RO] District) be permitted on the subject property should the Planning and Zoning Commission and City Council choose to approve the request.

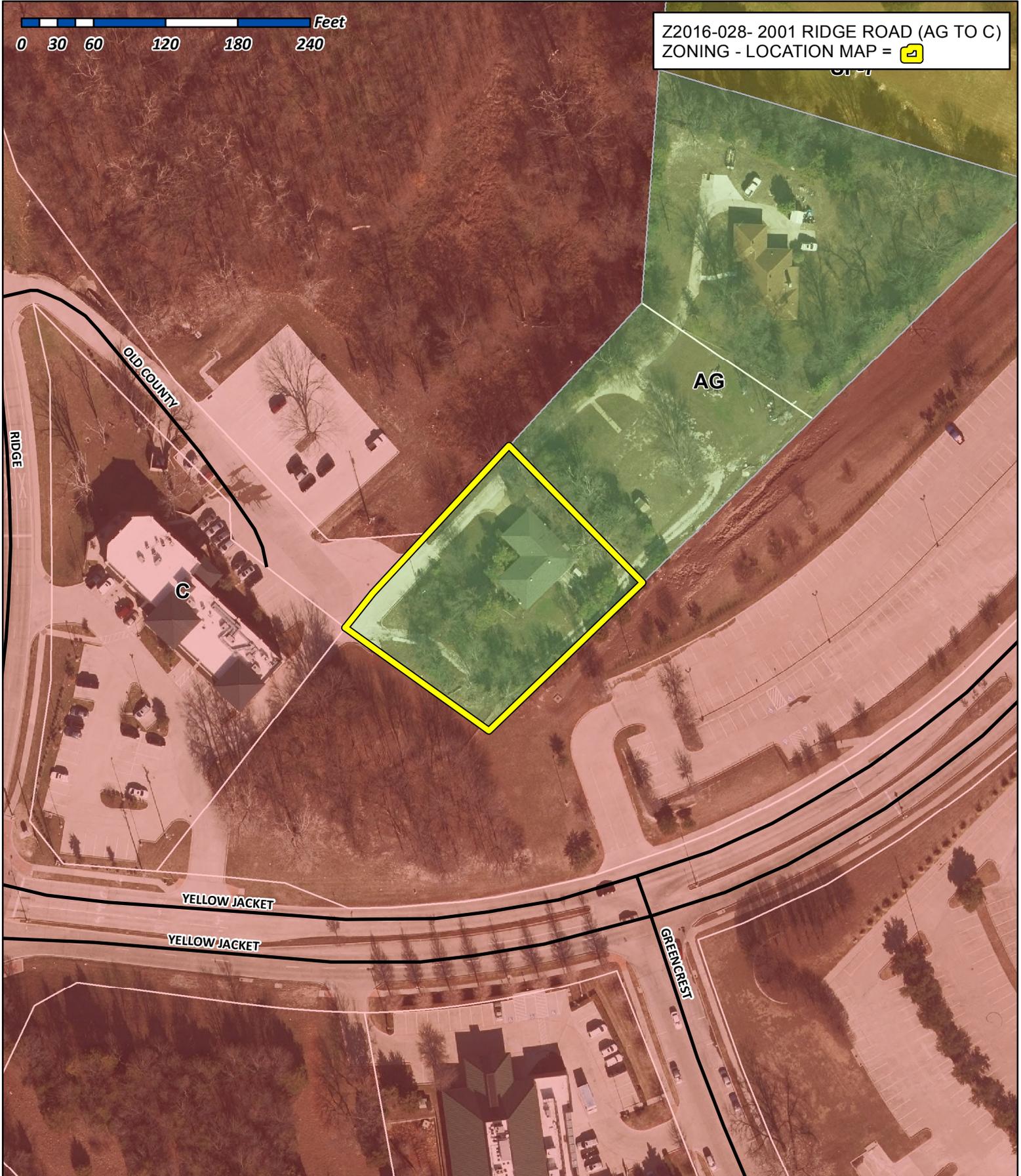
I.6 Please review the attached Draft Ordinance prior to the Planning & Zoning Meeting on September 13, 2016.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 7, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 13, 2016 Planning & Zoning Meeting.

I.8 The projected City Council Meeting dates for this case are as follows: 1) First Reading, September 19, 2016 and 2) Second Reading, October 3, 2016.

0 30 60 120 180 240 Feet

Z2016-028- 2001 RIDGE ROAD (AG TO C)  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

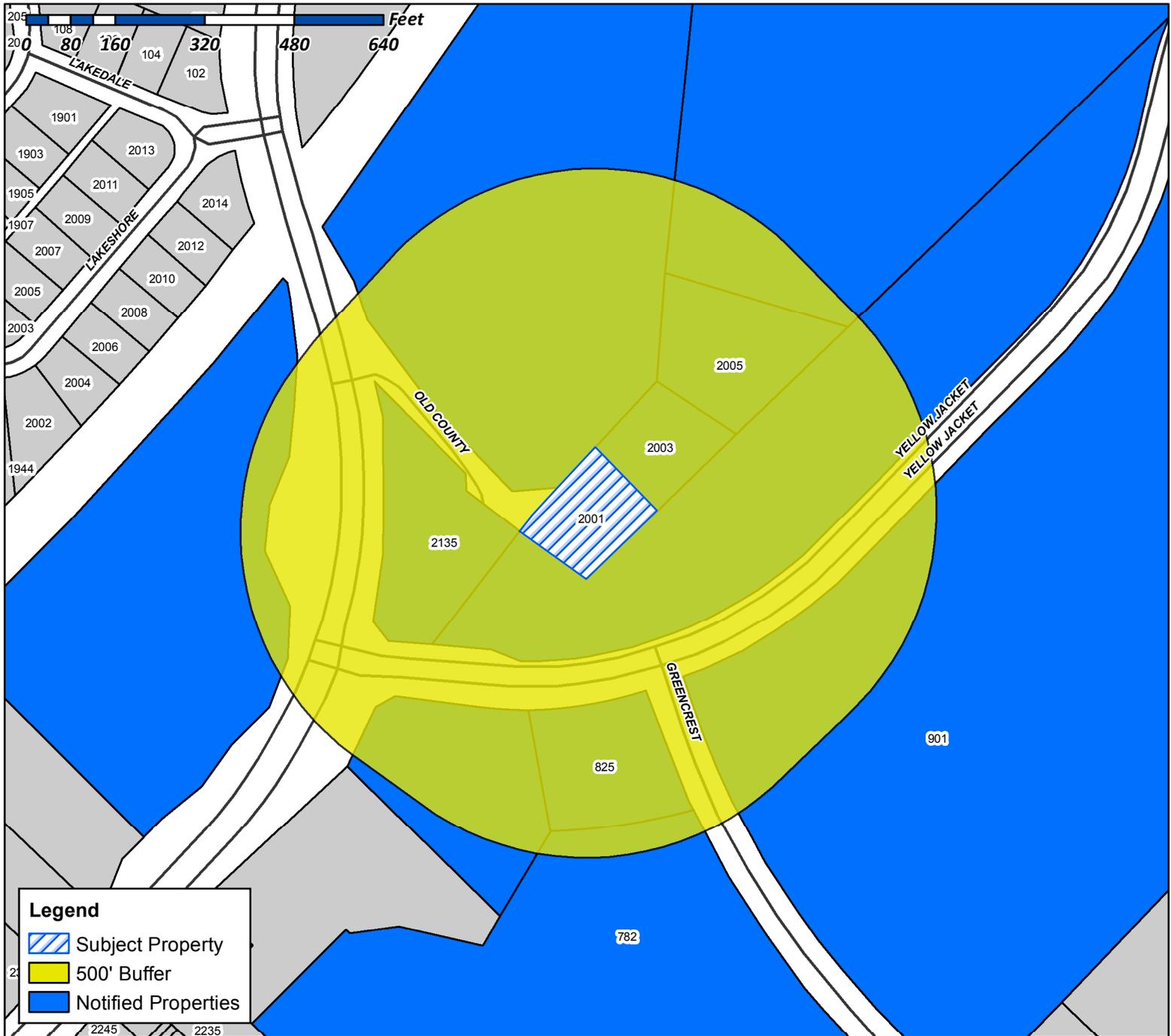




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-028  
**Case Name:** Zoning Change (AG to C)  
**Case Type:** Zoning  
**Zoning:** Agriculture (AG) District  
**Case Address:** 2001 Ridge Road



**Date Created:** 08/16/2016

**For Questions on this Case Call (972) 771-7745**

UNRUH CECIL J ESTATE  
TAMARA SUE HARRIS INDEPENDENT EXECUTRIX  
17627 CEDAR CREEK CANYON  
DALLAS, TX 75252

CURRENT RESIDENT  
2001 RIDGE RD  
ROCKWALL, TX 75087

PROCK CHARLES  
2003 RIDGE RD  
ROCKWALL, TX 75087

FAHERTY FRANK  
2005 RIDGE RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2135 RIDGE RD  
ROCKWALL, TX 75087

MOUNTAINPRIZE INC  
3225 CUMBERLAND BLVD SUITE 100  
ATLANTA, GA 30339

IN KYUNG HWAN  
512 SUNSTONE DR  
IRVING, TX 75060

SYVRUD JAMES P & MARY JEAN  
519 E INTERSTATE 30  
ROCKWALL, TX 75087

CURRENT RESIDENT  
782 I30  
ROCKWALL, TX 75087

ROCKWALL I S D  
801 E WASHINGTON ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
901 YELLOWJACKET RD  
ROCKWALL, TX 75087

ROCKWALL ASC REAL ESTATE LLC  
PO BOX 1208  
ROCKWALL, TX 75087

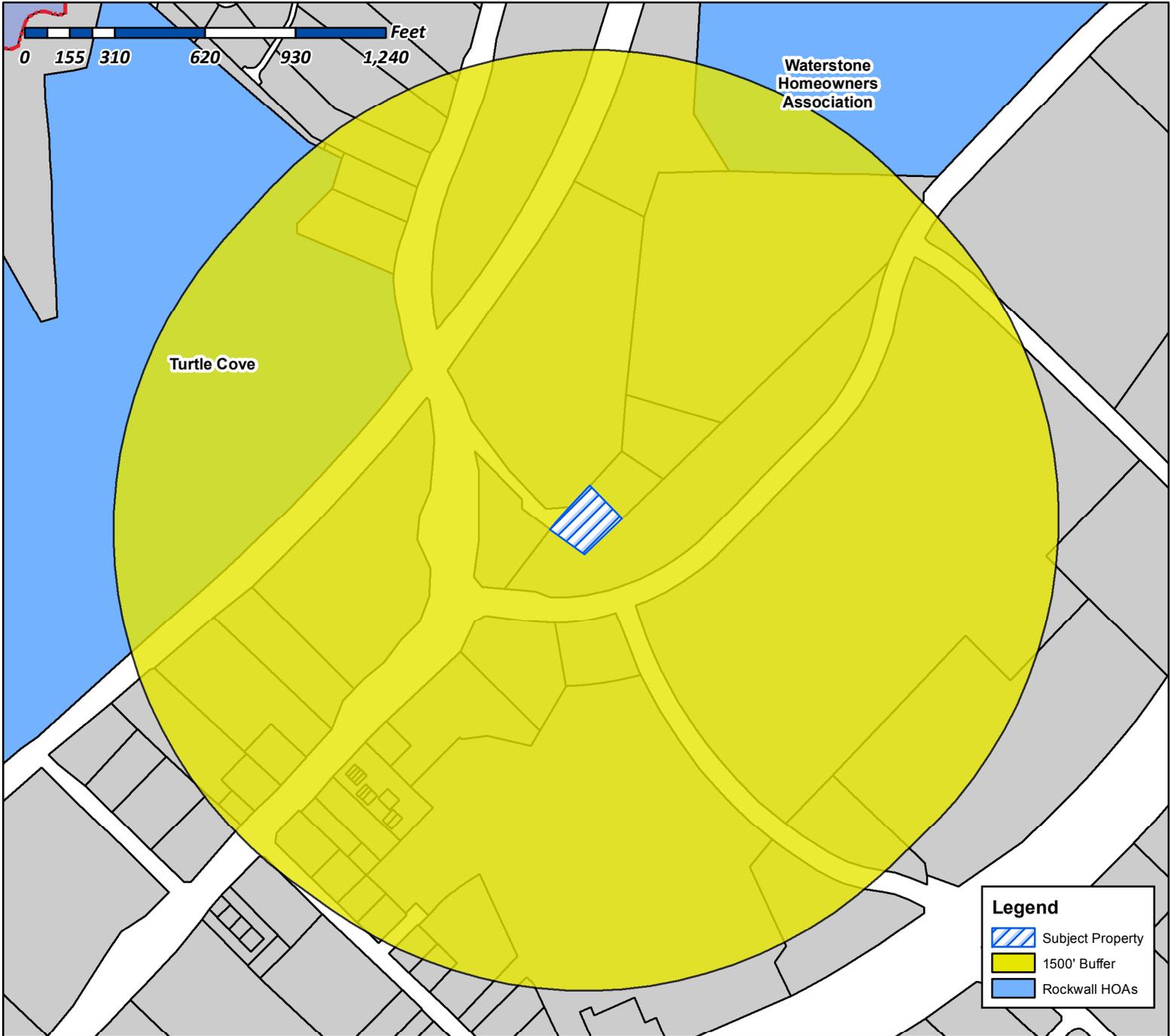
WAL-MART REAL ESTATE  
BUSINESS TRUST  
PO BOX 8050  
BENTONVILLE, AR 72712



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-028  
**Case Name:** Zoning Change (AG to C)  
**Case Type:** Zoning  
**Zoning:** Agriculture (AG) District  
**Case Address:** 2001 Ridge Rd



**Date Created:** 08/16/2016  
**For Questions on this Case Call** (972) 771-7745

**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Thursday, August 18, 2016 1:25:13 PM

---

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-028-Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001 Ridge Road, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>

GENCO situated in the DANIEL ATKINS SURVEY, ABSTRACT NO. 1, Rockwell County, Texas, and being a part of the eastern 2 1/2 acre tract as described in a Deed to Charles Fortin of 189, as recited in Volume 51, Page 504, in the Deed Records of said county, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found in an existing gravel road at the west southern corner of a tract as described in a Deed to Charles Fortin of 189, as recited in Volume 51, Page 504, in the Deed Records of said county, and being more particularly described as follows:

THENCE South 37° 47' 20" West along and near the centerline of an existing gravel road a distance of 151.57 ft. to a 1/2" iron rod found for corner;

THENCE North 48° 25' 55" West along and near the northward line of an existing gravel road a distance of 127.23 ft. to a 1/2" iron rod found for corner in the northwest face of said 2 1/2 acre tract;

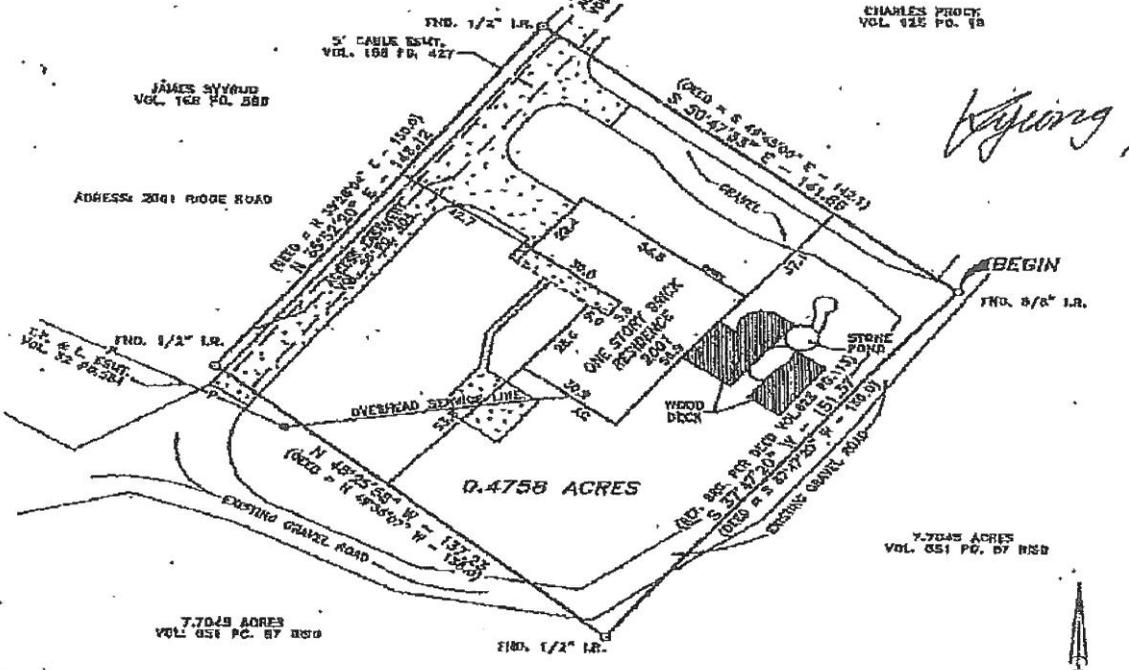
THENCE North 35° 32' 20" East along said partition line a distance of 146.12 ft. to a 1/2" iron rod found for corner at the most western corner of said tract;

THENCE South 50° 47' 33" East along the southeast line of said tract a distance of 141.88 ft. to the PLACE OF BEGINNING and containing 0.4758 acres of land, and being the same tract as conveyed to JOHNNIE MOORE as recited in Volume 633, Page 113, of the Deed Records of Rockwell County, Texas.

*Survey approved -  
for T-19  
DP 10-31-0*

CHARLES PROBY  
VOL. 625 P. 18

*Keying*



ADDRESS 2041 RODE ROAD

0.4758 ACRES

BEGIN  
FIND. 3/8" I.R.

7.7645 ACRES  
VOL. 651 P. 67 NSD

7.7045 ACRES  
VOL. 651 P. 67 NSD

FIND. 1/2" I.R.

NOTE:  
TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FOLLOWING EASEMENTS DO NOT CROSS SUBJECT PROPERTY VOL. 59 P. 224

I, CHARLES E. PROBY, PROFESSIONAL SURVEYOR AND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND IN ACCORDANCE WITH THE PROVISIONS OF THE ACTS OF THE LEGISLATURE OF THE STATE OF TEXAS, AND THAT I AM A MEMBER OF THE SURVEYORS' ASSOCIATION OF THE STATE OF TEXAS, AND THAT I AM A MEMBER OF THE SURVEYORS' ASSOCIATION OF THE STATE OF TEXAS, AND THAT I AM A MEMBER OF THE SURVEYORS' ASSOCIATION OF THE STATE OF TEXAS.



CHARLES E. PROBY  
S.P.S., No. 3863

Analytical Surveys, Inc.  
A PROFESSIONAL COMPANY ORGANIZED BY THE STATE OF TEXAS

MANAGER TITLE CO.  
USE OF THIS SURVEY BY ANY OTHER PARTY SHALL BE AT THEIR OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS SUFFERED THEREBY.  
NAME: THE JOHNSON  
JOB NO.: 37015  
DATE: 2-21-97  
OFF: 313706  
DRN. BY: JOI

PLAT BOOK 3081  
EXHIBIT, TEXAS  
33247

EXHIBIT A

Being situated in the DANIEL ATKINS SURVEY, ABSTRACT No. 1, Rockwall County, Texas, and being a part of that certain 2.1 acre tract as described in a deed to Charles Parton and wife, as recorded in Volume 51, Page 504, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found in an existing gravel road at the most southern corner of a tract described in a deed to Charles Prock and wife, recorded in Volume 125, Page 18, Deed Records, Rockwall County, Texas;

THENCE South 37 deg 47 min 20 sec West along and near the centerline of an existing gravel road, a distance of 151.57 feet to a 1/2 inch iron rod found for corner;

THENCE North 48 deg 25 min 58 sec West along and near the northeast line of an existing gravel road, a distance of 137.23 feet to a 1/2 inch iron rod found for corner in the northwest line of said 2.1 acre tract;

THENCE North 35 deg 52 min 20 sec East along said northwest line, a distance of 146.12 feet to a 1/2 inch iron rod found for corner at the most western corner of said Prock tract;

THENCE South 50 deg 57 min 33 sec East along the southwest line of said Prock tract, a distance of 141.86 feet to the PLACE OF BEGINNING and containing 0.4758 acres of land, and being the same tract as conveyed to Johnnie Moore as recorded in Volume 623, Page 113, Real Estate Records, Rockwall County, Texas.

Inst #: 00389925

Filed for Record in: Rockwall County  
On: Dec 10, 2007 at 01:35P

# Permitted Land Uses in a Commercial (C) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Rural & Animal-Related	
Agricultural Uses on Un-Platted Land	P
Animal Boarding/Kennel without Outside Pens	P
Animal Clinic for small animals, no outdoor pens <sup>1</sup>	P
Animal Hospital, Clinic	S

Residential & Lodging <sup>1</sup>	
Accessory Building <sup>1</sup>	P
Caretakers Quarters/Domestic or Security Unit	P
Convent or Monastery	P
Garage	A
Hotel or Motel	P
Hotel, Residence	P
Residential Care Facility	S

Institutional & Community Service	
Assisted Living Facility <sup>1</sup>	P
Blood Plasma Donor Center	P
Cemetery/ Mausoleum	P
Church/House of Worship <sup>1</sup>	P
College, University, or Seminary	S
Convalescent Care Facility/Nursing Home <sup>1</sup>	P
Day Care (7 or More Children) <sup>1</sup>	P
Emergency Ambulance Services, Ground	P
Government Facility	P
Hospice	P
Hospital	P
Library, Art Gallery or Museum (Public)	P
Mortuary or Funeral Chapel	P
Post Office, Local Service	P
Public or Private School, Primary <sup>1</sup>	P
Public or Private School, Secondary <sup>1</sup>	P
Public or Private School Temporary Education Building <sup>1</sup>	S

Office & Professional	
Financial Institution with Drive-Through <sup>1</sup>	P
Financial Institution without Drive-Through	P
Office, General	P
Office Building, less than 5,000 Sq. Ft.	P
Office Building, 5,000 Sq. Ft. or more	P

Recreation, Entertainment & Amusement	
Billiard Parlor or Pool Hall <sup>1</sup>	S
Carnival, Circus, or Amusement Ride, Temporary <sup>1</sup>	P
Commercial Amusement/ Recreation (Inside) <sup>1</sup>	P
Commercial Amusement/ Recreation (Outside)	P
Community or Recreation Club, Public or Private (Accessory)	P
Country Club, Private	S
Golf Driving Range	S
Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary <sup>1</sup>	P
Gun Club, Skeet or Target Range (Indoor)	P
Health Club	P



# Permitted Land Uses in a Commercial (C) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Private Club, Lodge or Fraternal Organization	P
Private Sports Arena, Stadium or Track	S
Public Park or Playground	P
Tennis Courts (Not accessory to a public or private club)	S
Theater	P

Retail & Personal Services	
Antique/Collectible Store	P
Astrologer, Hypnotist, or Psychic Art and Science	P
Banquet Facility	P
Beverage Service Facility, Portable <sup>1</sup>	S
Business School	P
Catering Service	P
Christmas Tree Sales Lot & Similar Uses, Temporary <sup>1</sup>	P
Copy Center	P
Display, Incidental <sup>1</sup>	P
Garden Supply/Plant Nursery	P
General Personal Service	P
General Retail Store	P
Hair Salon, Manicurist	P
Laundry, Drop-off/Pickup	P
Laundry, Self Service	P
Massage Therapist	P
Museum or Art Gallery (Private)	P
Night Club, Discoteque, or Dance Hall	P
Pawn Shop	S
Pet Shop	P
Private Club <sup>1</sup>	P
Real Estate Sales Office, On-site, Temporary <sup>1</sup>	P
Rental Store, w/o Outside Storage and Display	P
Restaurant, Less than 2000 Sq. Ft., w/ Drive-Thru or Drive-in <sup>1</sup>	S
Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru or Drive-in	P
Restaurant, 2000 Sq. Ft. or more, w/ Drive-Thru or Drive-in <sup>1</sup>	P
Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru or Drive-in	P
Restaurant with accessory Private Club or Brew Pub <sup>1</sup>	P
Retail store with gasoline product sales limited to 2 dispensers and 4 vehicles	P
Retail store with more than 2 dispensers	P
Secondhand Dealer	P
Studio - Art, Photography or Music	P
Tailor, Clothing or Apparel Shop	P

Commercial & Business Services	
Bail Bond Service	S
Building & Landscape Material with Limited Outside Storage <sup>1</sup>	P
Building Maintenance, Service & Sales without Outside Storage	P
Electrical, Watch, Clock, Jewelry & Similar Repair	P
Research & Technology / Light Assembly	S
Shoe and Boot Repair and Sales	P
Trade School	P
Temporary On-site Construction Office <sup>1</sup>	P



# Permitted Land Uses in a Commercial (C) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Auto & Marine-Related	
Auto Repair Garage, Minor <sup>1</sup>	S
Automobile Rental	S
Boat & Trailer Dealership (New and Used) <sup>1</sup>	S
Car Wash/Auto Detail <sup>1</sup>	P
Car Wash, Self Service	P
Motor Vehicle Dealership, New (Cars and Light Trucks) <sup>1</sup>	S
Parking, Commercial	P
Parking Lot, non-commercial	P
Recreational Vehicle (RV) Sales and Service	S
Service Station <sup>1</sup>	P

Industrial & Manufacturing	
Asphalt or Concrete Batch Plant, Temporary <sup>1</sup>	P
Mining and Extraction (Sand, Gravel Oil & other) <sup>1</sup>	S

Wholesale, Distribution & Storage	
Mini-warehouse <sup>1</sup>	P
Wholesale Showroom Facility	P

Utilities, Communications & Transportation	
Antenna, Accessory <sup>1</sup>	P
Antenna, Commercial <sup>1</sup>	S
Antenna, Dish <sup>1</sup>	P
Antenna, Commercial, Free-Standing <sup>1</sup>	S
Antenna, Commercial, Mounted <sup>1</sup>	S
Helipad	S
Utilities (Non-Municipally owned or Controlled), including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	S
Municipally Owned or Controlled Facilities, Utilities and Uses	P
Private Streets	S
Radio Broadcasting	P
Railroad Yard or Shop	S
Recording Studio	P
Satellite Dish <sup>1</sup>	P
Transit Passenger Facility	S
Trucking Company	
TV Broadcasting & Other Communication Service	S
Utilities Holding a Franchise from City of Rockwall	S
Utility Installation, Other than Listed	S
Utility/ Transmission Lines	S
Wireless Communication Tower	S





City of Rockwall  
The New Horizon

**Commercial Zoning Districts  
Development Standards\***

		Residential Office District	Neighborhood Service District	General Retail District	Commercial District <sup>1</sup>	Heavy Commercial District <sup>2</sup>
<b>Abbreviation</b>		RO	NS	GR	C	HC
<b>Maximum Building Size (Sq. Ft.)</b>		N/A	5,000 <sup>3</sup>	25,000 <sup>4</sup>	N/A	N/A
<b>Minimum Lot Requirements</b>	<b>Area (Square Feet)</b>	6,000 <sup>5</sup>	6,000	6,000 43,560	10,000 43,560	12,500 43,560
	<b>Width (Feet)</b>	60	60	60 200	60 200	100 200
	<b>Depth (Feet)</b>	100	100	100 200	100 200	125 200
<b>Minimum Setbacks</b>	<b>Front (Feet)</b>	25 <sup>6</sup>	15 <sup>7</sup>	15 <sup>6,7</sup>	15 <sup>6,7</sup>	25 <sup>6</sup>
	<b>Rear (Feet)</b>	30	20 w/o FRW and/or Alley 0 with FRW and Alley	10 w/o FRW and/or Alley 0 with FRW and Alley	10 w/o FRW and/or Alley 0 with FRW and Alley	20 w/o FRW and/or Alley H with FRW and Alley
	<b>Rear Adj. Residential (Ft.)<sup>8</sup></b>	N/A	20	20 Ft. + H <sup>9</sup>	20 Ft. + H <sup>9</sup>	20 Ft. + H <sup>9</sup>
	<b>Side (Feet)</b>	10	5 w/o FRW 0 w/ FRW	10 w/o FRW 0 w/ FRW	10 w/o FRW 0 w/ FRW	15 Ft. + H <sup>9</sup> w/o FRW H w/ FRW <sup>9</sup>
	<b>Side Adj. Residential (Ft.)<sup>8</sup></b>	20	20	20 Ft. + H <sup>9</sup>	20 Ft. + H <sup>9</sup>	20 Ft. + H <sup>9</sup>
<b>Between Buildings (Feet)</b>		15 w/o FRW 0 w/ FRW	15 w/o FRW 0 w/ FRW	15 w/o FRW 0 w/ FRW	15 w/o FRW 0 w/ FRW	15 Ft. + H <sup>9</sup> w/o FRW H w/ FRW <sup>9</sup>
<b>Building Height [H] (Feet)</b>		36	36	36 <sup>10</sup>	60 <sup>11</sup>	60 <sup>11</sup>
<b>Minimum Masonry Content (%)<sup>13</sup></b>		90	90	90	90	90
<b>Maximum Lot Coverage (%)</b>		40	40	40	60	60
<b>Floor Area Ratio (FAR)</b>		0.33	N/A	2:1	4:1	4:1
<b>Impervious Parking (%)</b>		75-80	80-85	85-90	85-90	90-95
<b>Maximum Number of Entrances and/or Exits</b>	<b>Arterial Streets</b>	1/200 Ft. <sup>12</sup>	1/200 Ft. <sup>12</sup>	1/200 Ft. <sup>12</sup>	1/200 Ft. <sup>12</sup>	1/200 Ft. <sup>12</sup>
	<b>Collector Streets</b>	1/100 Ft. <sup>12</sup>	1/100 Ft. <sup>12</sup>	1/100 Ft. <sup>12</sup>	1/100 Ft. <sup>12</sup>	1/100 Ft. <sup>12</sup>
	<b>Local Streets</b>	1/50 Ft. <sup>12</sup>	1/50 Ft. <sup>12</sup>	1/50 Ft. <sup>12</sup>	1/50 Ft. <sup>12</sup>	1/50 Ft. <sup>12</sup>
<b>Minimum Landscaping (%)</b>		25	20	15	15	10

**Key:**

**Blue:** When adjacent to Interstate 30.

**H:** ½ Building Height Over 36 Feet

FRW= Fire Retardant Wall

**Notes:**

\*: For the Downtown (DT) District development standards see Section 4.8 of Article V of the Unified Development Code.

<sup>1</sup>: *Special Standards:*

(A) *Sale of Goods.* All business establishments other than those selling a service shall be retail or wholesale service establishments dealing directly with customers.

(B) *Business Operations & Storage.* All business operations including storage shall be conducted within a completely enclosed building unless specifically authorized for the use as listed. This excludes off-street parking and loading, incidental display of retail items for sale retail outlets where gasoline products are sold and drive-in businesses.

<sup>2</sup>: *Outside Storage:*

(A) All outside storage shall be placed behind the front façade of the main structure. This does not apply to uses that allow incidental display, in which case only the amount of goods necessary for display purposes shall be exempt from this requirement

(B) All outside storage shall be screened from streets and public areas.

<sup>3</sup>: Maximum of 5,000 Sq. Ft. in area, unless otherwise approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

<sup>4</sup>: Maximum of 25,000 Sq. Ft. in area, unless otherwise approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

<sup>5</sup>: Maximum lot area is 43,560 Sq. Ft.

<sup>6</sup>: From future right-of-way as shown on the adopted thoroughfare plan or as actually exists, whichever is greater.

<sup>7</sup>: Parking should not be located between the front façade and the property line.

<sup>8</sup>: *Residential adjacency.* Lots with non-residential uses that have a side or rear contiguous or separated only by an alley, or easement or street, from any residential district must be separated from such residential district by a buffer as defined in Article VIII, Landscape Standards, of the UDC or as approved by the Planning and Zoning Commission.

<sup>9</sup>: Not to exceed 50 Feet.

<sup>10</sup>: Building height may be increased up to 60 Feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

<sup>11</sup>: Building height may be increased up to 240 Feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

<sup>12</sup>: (or) as approved by City Council.

<sup>13</sup>: Exterior walls that are visible from a public street or open space require a minimum of 20% of the 90% to be stone. The use of other cementaceous products (e.g. stucco, Hardy Plank, or other similar materials approved by the building official) shall be limited to 50% of the buildings exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability.

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 0.478-ACRE TRACT OF LAND IDENTIFIED AS TRACT 7 OF THE D. ATKINS SURVEY, ABSTRACT NO. 1, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBITS 'A', 'B', & 'C' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Susan Gamez for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A', 'B', & 'C'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agriculture (AG) District to a Commercial (C) District; and

**Section 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Commercial (C) District* in *Section 1.1, "Use of Land and Buildings,"* of *Article IV, "Permissible Uses"* and *Section 4.5, "Commercial (C) District,"* of *Article V, "District Development Standards,"* of the *Unified Development Code* of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>RD</sup> DAY OF OCTOBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 19, 2016

2<sup>nd</sup> Reading: October 3, 2016

**Exhibit 'A':**  
*Legal Description*

*BEING* situated in the Daniel Atkins Survey, Abstract No. 1, Rockwall County, Texas, and being a part or that certain 2.1-acre tract as described in a deed to Charles Parton and wife, as recorded in Volume 51, Page 504, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 5/8 inch iron rod found in an existing gravel road at the most southern corner of a tract described in a deed to Charles Prock and wife, recorded in Volume 125, Page 18, Deed Records, Rockwall County, Texas;

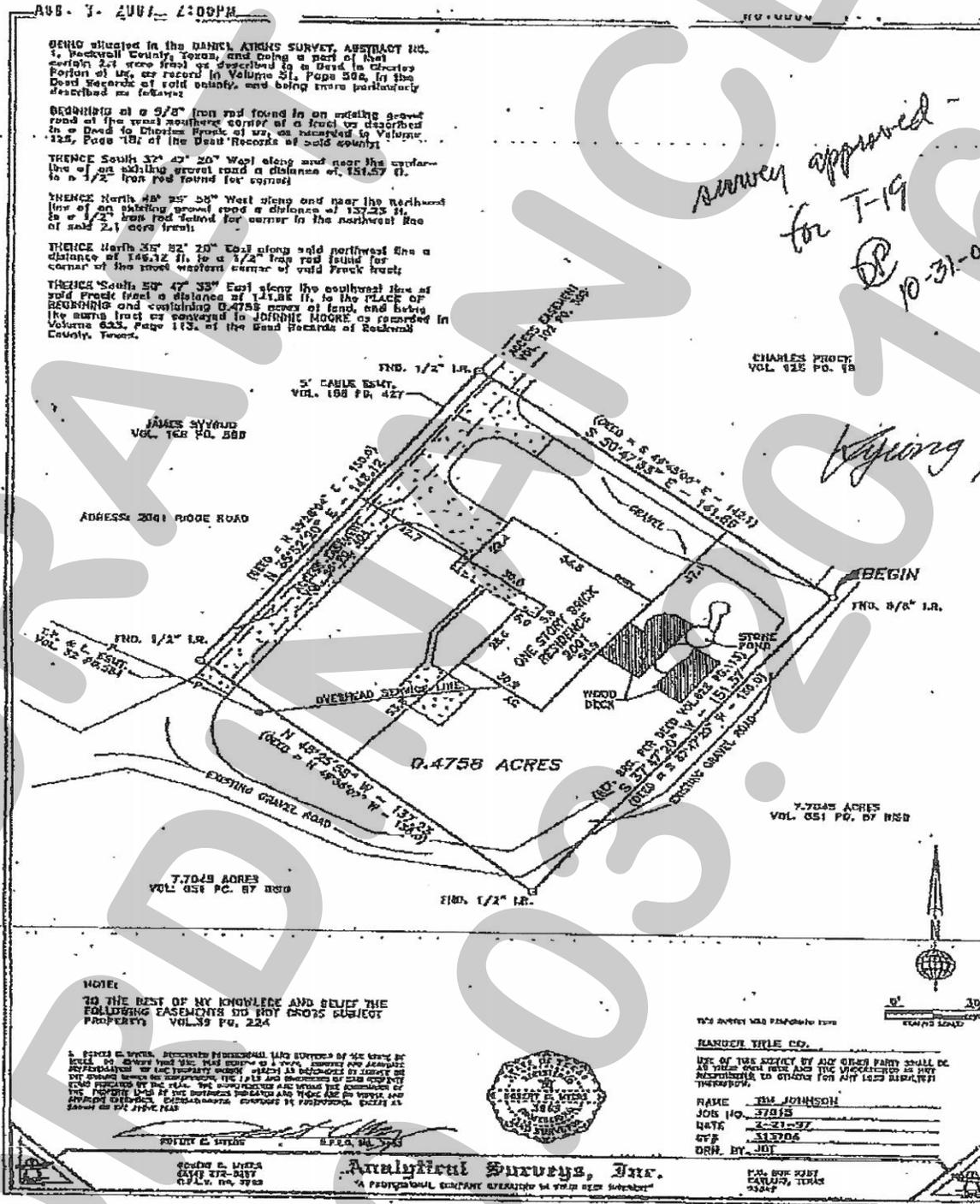
*THENCE* South 37 Degrees 47 Minutes 20 Seconds West along and near the centerline of an existing gravel road, a distance of 151.57-feet to a ½-inch iron rod found for corner;

*THENCE* North 48 Degrees 25 Minutes 58 Seconds West along and near the northeast line of an existing gravel road, a distance of 137.23-feet to a ½-Inch iron rod found for corner in the northwest line of said 2.1-acre tract;

*THENCE* North 35 Degrees 52 Minutes 20 Seconds East along said northwest line, a distance of 146.12-feet to a ½-inch iron rod found for corner at the most western corner of said Prock tract;

*THENCE* South 50 Degrees 57 Min 33 Seconds East along the southwest line of said Prock tract, a distance of 141.86-feet to the *PLACE OF BEGINNING* and containing 0.4758-acres of land, and being the same tract as conveyed to Johnnie Moore as recorded in Volume 623, Page 113, Real Estate Records, Rockwall County, Texas.

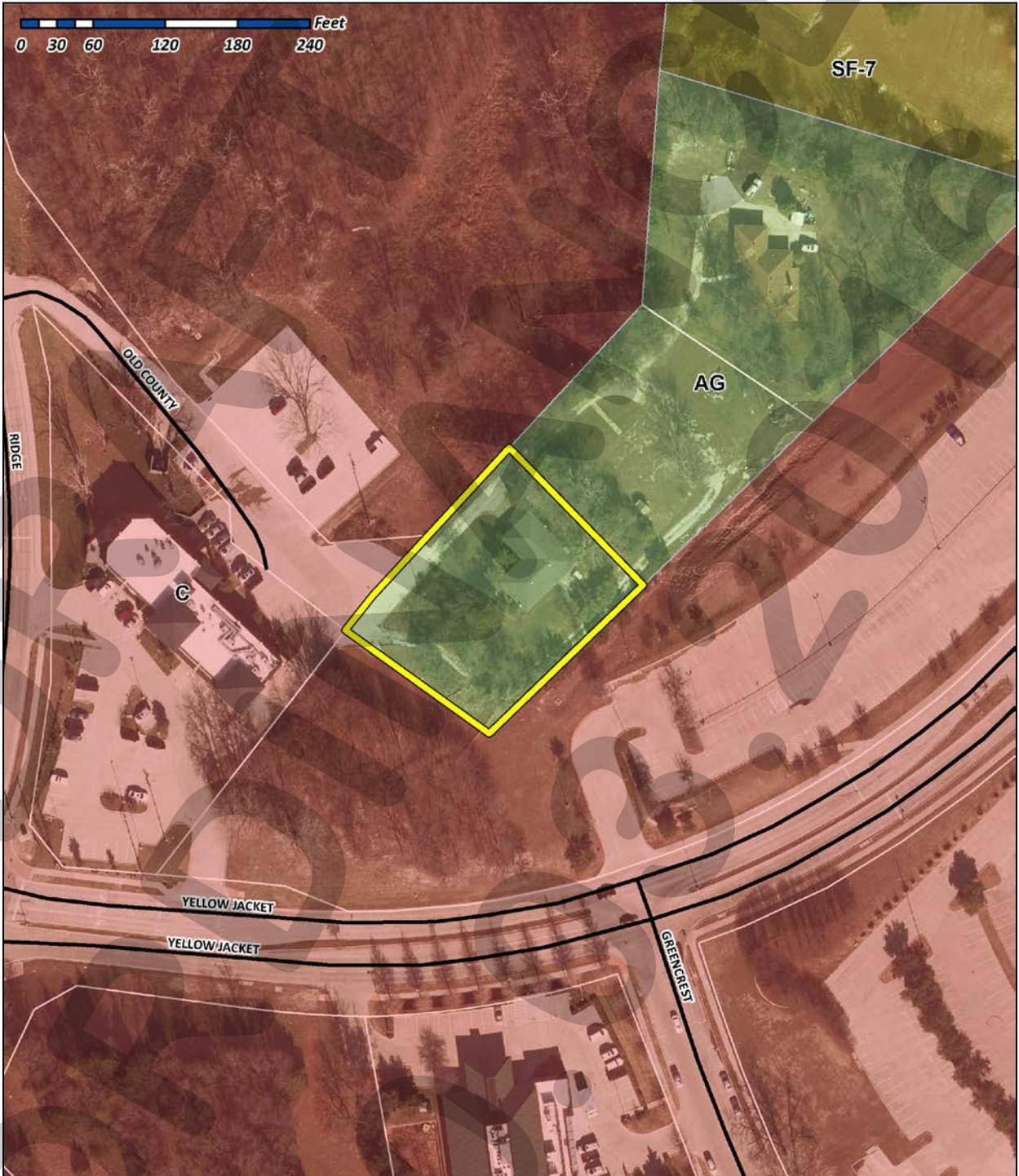
Exhibit 'B':  
Survey



*Survey approved -  
for T-19  
DP  
10-31-0*

*Wijong*

Exhibit 'C':  
Zoning Exhibit



## City of Rockwall Project Plan Review History



<b>Project Number</b>	Z2016-029	<b>Owner</b>	J, BR2 LLC	<b>Applied</b>	8/15/2016	LM
<b>Project Name</b>	SW Corner of SH-205 & FM-549	<b>Applicant</b>	STROHMEYER ARCHITECTS	<b>Approved</b>		
<b>Type</b>	ZONING			<b>Closed</b>		
<b>Subtype</b>	SUP			<b>Expired</b>		
<b>Status</b>	STAFF REVIEW			<b>Status</b>	8/15/2016	LM

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
5133 S FM549	ROCKWALL, TX 75032	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	17-12	NULL	17-12	0080-0000-0017-12-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/15/2016	8/22/2016	8/17/2016	2	APPROVED	
ENGINEERING	Amy Williams	8/15/2016	8/22/2016	8/23/2016	8	APPROVED	See Conditions and attachment (8/19/2016 2:32 PM AW) All items must be addressed in site planning, engineering, and platting. Both FM 549 and SH 205 is to have a total of 120' of right-of-way so dedication may be necessary Need to show a 20' utility easement along FM 549 Need to show a 15' water line easement along H 205 Driveway onto SH 205 doesn't meet City or TXDOT spacing requirements Driveway onto FM 549 doesn't meet City or TXDOT spacing requirements (unless it is existing) Water not supplied by City of Rockwall Sanitary sewer is required which may have a pro-rata due Adhere to all fire department requirements The drainage under the canopy and from the dumpster area is required to drain to a grease trap if the building is required to have one, and if the building doesn't require one, these areas must drain to an oil/water separator prior to storm system. Traffic impact analysis is required Detention is required No deadend parking Parking to be 20'x9'
FIRE	Ariana Hargrove	8/15/2016	8/22/2016	8/17/2016	2	APPROVED	see comment (8/17/2016 2:29 PM AA) Shall comply with all fire code requirements, including fire sprinkler protection if over 5,000 sq. ft.
PLANNING	David Gonzales	8/15/2016	8/22/2016	8/18/2016	3	COMMENTS	See comments Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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southwest corner of the intersection of SH-205 [S. Goliad Street] and FM-549, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, September 6, 2016. Please provide two large copies [24" X 36" FOLDED] of the Concept Plan and one PDF version for a subsequent review by staff:

- On all future plan submittals please include the Case Number (Z2016-029) in the lower right hand corner.

Planning Staff General Comments/Conditions of SUP:

1. The structure must meet all Fire Department, Building Inspections, and Engineering standards.
2. Submittal and approval of a site plan and final plat (mylars in house for filing purposes) are required prior to the issuance of a Certificate of Occupancy (CO).
3. The development shall be limited to a maximum of eight (8) gasoline dispensers as depicted on the Concept Site Plan.
4. No outside display of merchandise or outside storage shall be permitted on the subject property, with the exception of the following items (which will require approval by the Planning and Zoning Commission during the site plan phase): ice machine, propane cage, and/or DVD rental kiosk.
5. The City Council reserves the right to review the Specific Use Permit granted herein upon the expiration of one (1) year from the date hereof.
6. Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

You and/or your representative(s) are required to be in attendance for the following scheduled meetings. All meetings will begin at 6:00 p.m. in the City's Council Chambers.

- Please mark your calendar for the scheduled meeting dates as follows:

Planning - Work Session: August 30, 2016 (Presentation/discussion by applicant)

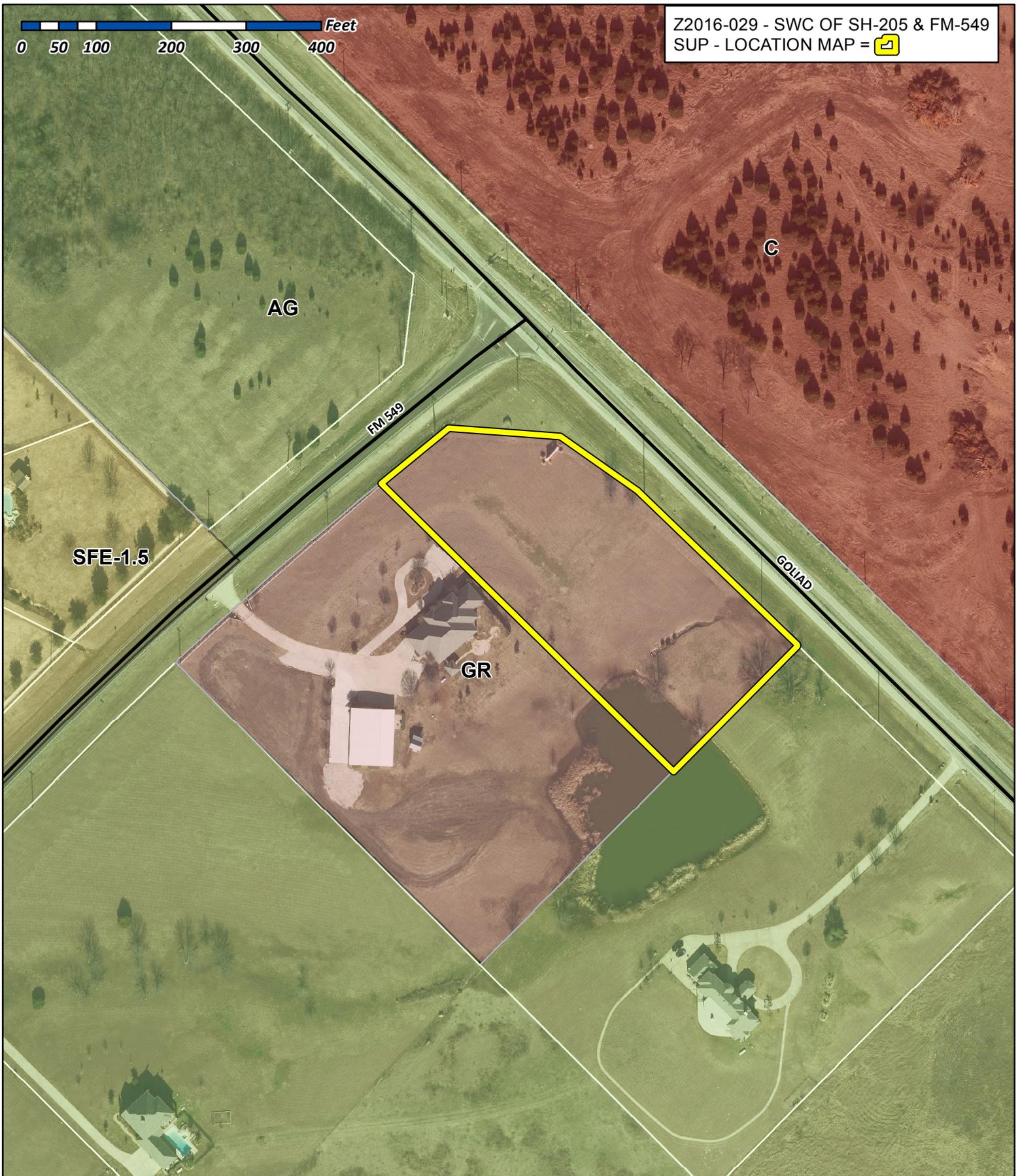
Planning - Public Hearing: September 13, 2016

City Council - Public Hearing: September 19, 2016 [First Reading of Ordinance]

City Council -2nd Reading (if approved): October 3, 2016 (Tuesday)

0 50 100 200 300 400 Feet

Z2016-029 - SWC OF SH-205 & FM-549  
SUP - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

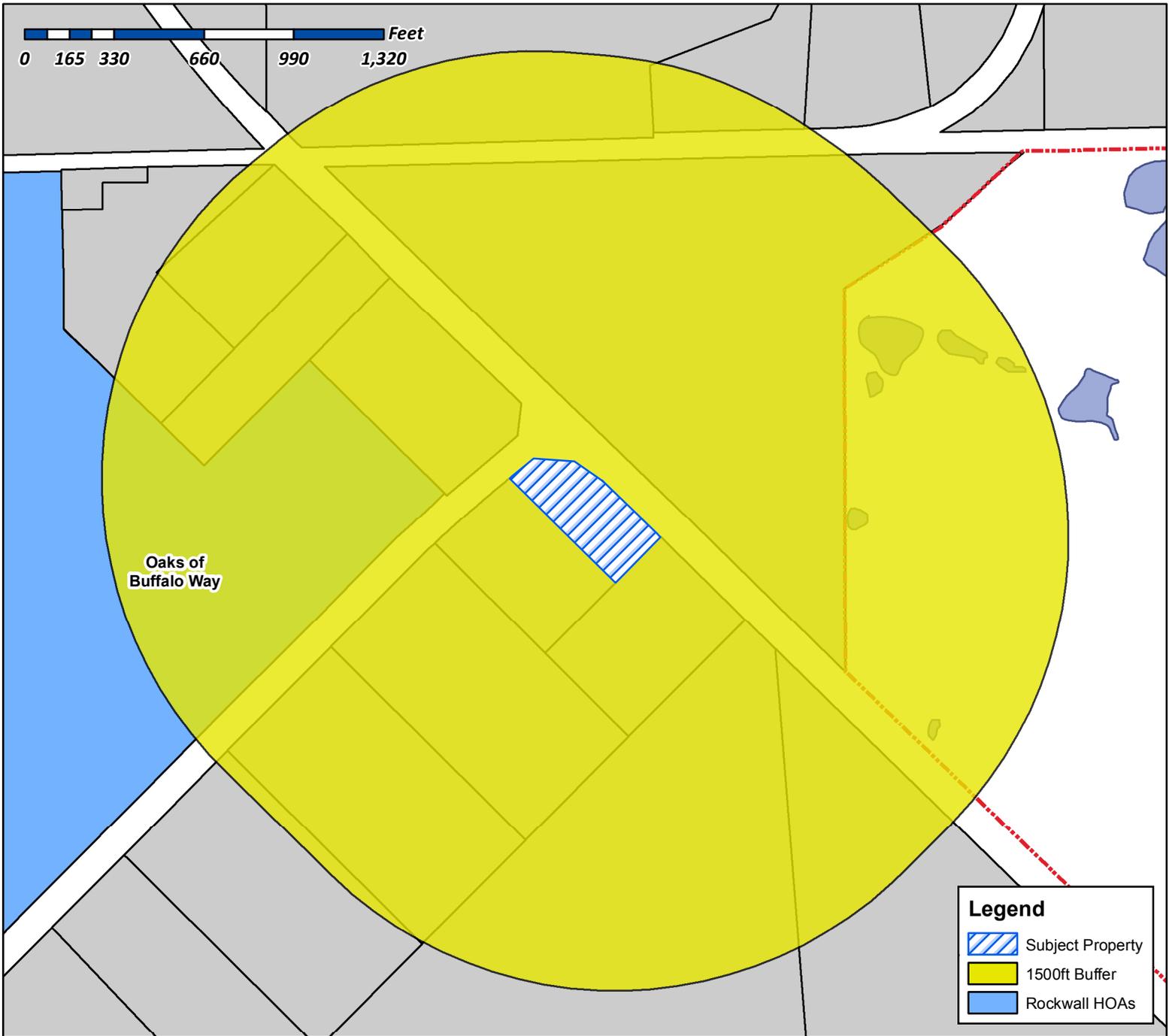




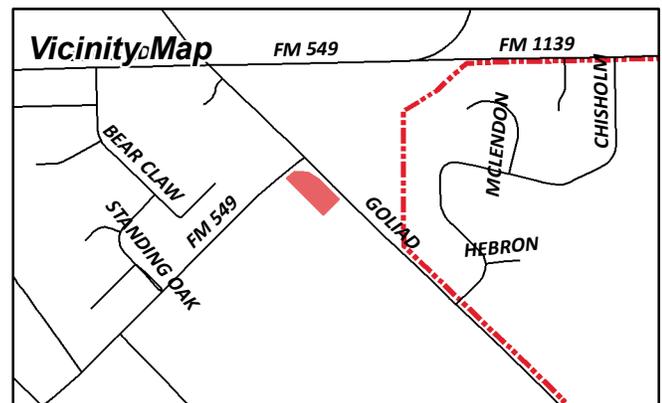
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-029  
**Case Name:** SW Corner of SH-205 & FM-549  
**Case Type:** Specific Use Permit  
**Zoning:** General Retail (GR) District  
**Case Address:** SW Corner of SH-205 & FM-549



**Date Created:** 08/16/2016

For Questions on this Case Call (972) 771-7745

## Gonzales, David

---

**From:** Morales, Laura  
**Sent:** Thursday, August 18, 2016 1:25 PM  
**To:** 'oaksofbwpres@gmail.com'  
**Cc:** Miller, Ryan; Gonzales, David; Brooks, Korey  
**Subject:** Neighborhood Notification Program: Notice of zoning request

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-029-Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the intersection of SH-205 [S. Goliad Street] and FM-549, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>



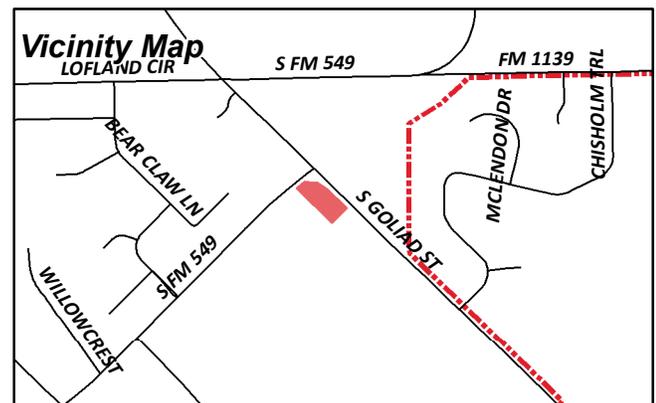
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2016-029  
**Case Name:** SW Corner of SH-205 & FM-549  
**Case Type:** Specific Use Permit  
**Zoning:** General Retail (GR) District  
**Case Address:** SW Corner of SH-205 & FM-549



**Date Created:** 08/16/2016

**For Questions on this Case Call (972) 771-7745**

J BR2 LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

ROCKWALL RETAIL INVESTORS LLC  
2701 SUNSET RIDGE DR #607  
ROCKWALL, TX 75032

HOME BOY ENTERPRISES INC  
460 LAWRENCE DR  
HEATH, TX 75032

ZEB MOHIUDIN DR &  
NASREEN ZEB  
5128 S STATE HIGHWAY 205  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5133 S FM549  
ROCKWALL, TX 75032

PHILIP LIVING TRUST  
5160 BEAR CLAW LN  
ROCKWALL, TX 75032

YOUNG BRIAN E & PATTI D  
5165 BEAR CLAW LANE  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5170 BEAR CLAW LN  
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G  
5205 S FM 549  
ROCKWALL, TX 75032

THURMOND KATHRYN ESTATE  
KENN KAPP INDEPENDENT EXECUTOR  
5606 POLO RD  
COLLEGE STATION, TX 77845

ROCKWALL HIGHGATE LTD  
C/O SCOTT ASBURY  
6210 PRESTON CREEK DR  
DALLAS, TX 75240

ASTING 2605260.703  
TY OF ROCKWALL GPS  
MONUMENTS RO15 & RO17

CL 380.63'

CONCRETE HIGHWAY  
MONUMENT

POINT OF  
BEGINNING  
CONCRETE HIGHWAY  
MONUMENT

368.01'

N 50°36'24" E  
103.37'

20' FARMERS ELECTRIC EASEMENT.  
VOLUME 1743, PAGE 21  
D.R.R.C.T.

15' RCH WATER SUPPLY EASEMENT.  
VOLUME 929, PAGE 271  
D.R.R.C.T.

1/2" CIRF  
31.03'

12.67'

S 85°10'23" E  
151.23'

15' RCH WATER SUPPLY EASEMENT  
VOLUME 64, PAGE 320 &  
VOLUME 64, PAGE 323  
D.R.R.C.T.

25' ACCESS EASEMENT.  
BY THIS PLAT

CONCRETE HIGHWAY  
MONUMENT

S 43°23'49" E  
35.69'

CONCRETE HIGHWAY  
MONUMENT

S 46°13'09" E  
99.29'

CONCRETE HIGHWAY  
MONUMENT

10' TEXAS UTILITIES  
ELECTRIC EASEMENT  
VOL. 1510, PG. 1  
D.R.R.C.T.

LOT 1  
BLOCK A

4.739 AC  
206,424 SF

J-BR2, LLC.  
VOLUME 5288, PAGE 148  
O.P.R.R.C.T.

LOT 2  
BLOCK A

2.590 AC  
112,811 SF

STATE HIGHWAY 205  
(VARIABLE WIDTH R.O.W.)

5/8" IRS  
(REFERENCE)

N 45°22'22" W  
547.82'

S 51°37'27" E  
201.34'

1/2" IRF  
84.17'

S 45°44'46" E  
45.45'

1/2" IRF  
NORTHING 7008087.117  
EASTING 2606090.870  
AS TIED TO CITY OF ROCKWALL GPS  
MONUMENTS RO15 & RO17

367.13'

S 44°32'11" W

POINT IN  
POND

234.93'  
602.06'

150.00'

1/2" CIRF

1 - CONCEPT PLAN  
SCALE: 1"= 30'



STROHMEYER  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

CONCEPT DESIGN

NOT FOR BIDDING  
OR  
CONSTRUCTION

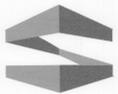
JBR-2

CONVENIENCE STORE  
HWY 549 / HWY 205  
ROCKWALL, TX

Project Number:  
Drawing Date: 04/03/2016  
Drawn:  
Checked:  
Scale:  
ACAD File: BOBST-549-CONVSTORE.dwg  
© 2016 Strohmeier Architects, Inc.

Revisions:

Sheet Title:



**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

FILE COPY

CONCEPT DESIGN

NOT FOR BIDDING  
OR  
CONSTRUCTION

JBR-2

CONVENIENCE STORE  
HWY 549 / HWY 205  
ROCKWALL, TX

Project Number:  
Drawing Date: 04/03/16  
Drawn:  
Checked:  
Scale:  
ACAD File: BOBST-549-CONVSTORE.dwg  
© 2016 Strohmeier Architects, Inc.

Revisions:

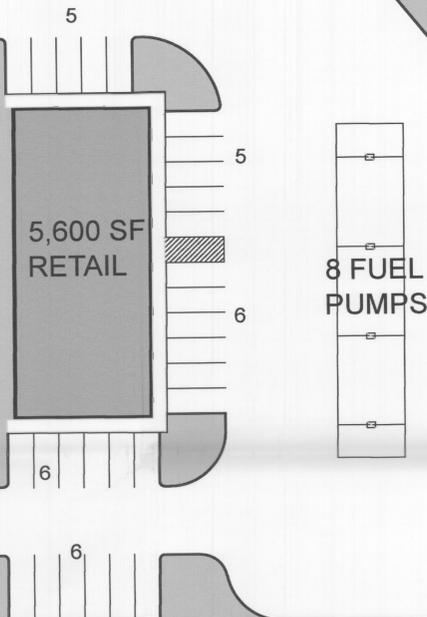

Sheet Title:

F.M. ROAD NO. 549  
(VARIABLE WIDTH R.O.W.)

PARKING

REQUIRED - 1 PER 250 SF RETAIL  
5,600 / 250 = 23 SPACES

PROVIDED - 28 SPACES



2016 029  
RECEIVED  
AUG 15 2015  
BY:

STATE HIGHWAY 205  
(VARIABLE WIDTH R.O.W.)

LOT 1  
BLOCK A  
4.739 AC  
206,424 SF

LOT 2  
BLOCK A  
2.590 AC  
112,811 SF

1 - CONCEPT PLAN  
SCALE: 1" = 30'

Aug 15, 2016 - 8:06am User: \$(GETVAR,??) /Users/jimmystrohmeier/Documents/BOBST-549-CONVSTORE.dwg

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2016-038	<b>Owner</b> BURKS, PAULETTE &	<b>Applied</b> 8/12/2016	LM
<b>Project Name</b> 601 E Rusk Street	<b>Applicant</b> BILLY & AUTUMN QUINTON	<b>Approved</b>	
<b>Type</b> PLAT		<b>Closed</b>	
<b>Subtype</b> FINAL		<b>Expired</b>	
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/12/2016	LM
 <b>Site Address</b> 601 E RUSK		<b>City, State Zip</b> ROCKWALL, TX 75087	
		<b>Zoning</b>	
<b>Subdivision</b> B F BOYDSTON	<b>Tract</b> NULL	<b>Block</b> 120F	<b>Lot No</b> NULL
		<b>Parcel No</b> 3140-120F-0000-00-OR	<b>General Plan</b>

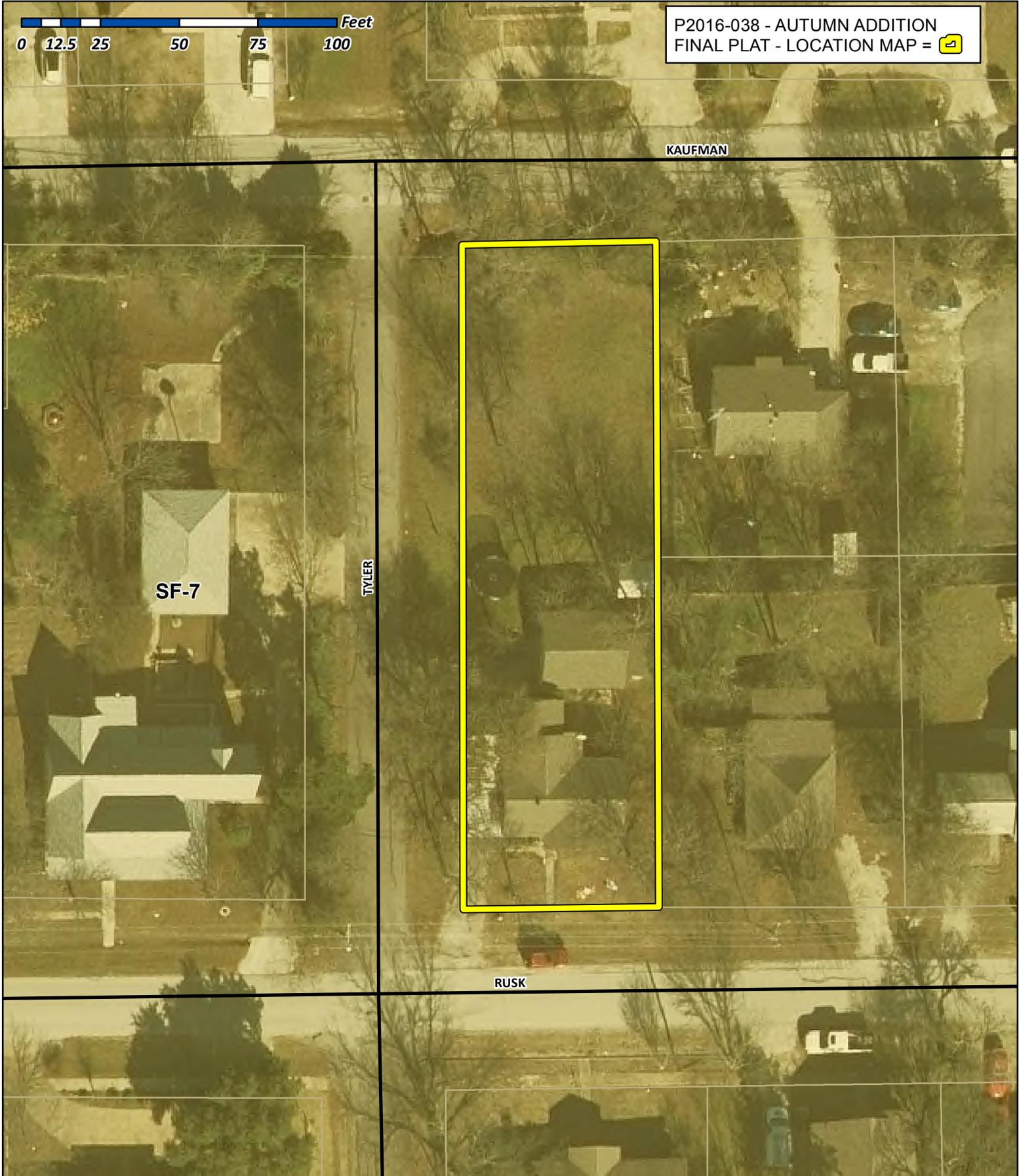
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING (8/19/2016 1:37 PM AW) Property owners will be extending public sewer and possibly adding fire hydrants at their cost when property develops.	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	APPROVED W/ CONDITIONS	See Condition
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING (8/24/2016 3:44 PM KB) P2016-039 Autumn Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Korey Brooks	8/12/2016	8/19/2016	8/24/2016	12	COMMENTS	Comments

- I.1 This a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2, Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the B. F. Boydstun Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 601 E. Rusk Street.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-038) in the lower right hand corner of all pages on future submittals.
- M.4 Please add lot and block designation to title block.
- M.5 The rear setback is 10-feet. Since the building on the northwest corner of Lot 1 is not 10 feet from the rear property line, it must be removed.
- M.6 Please provide the following comment in NOTES "It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>additional information that is requested by September 7, 2016. The Park Board Meeting is September 7, 2016. The Planning &amp; Zoning Worksession date for this case will be August 30, 2016. The Planning and Zoning Meeting for this case is September 13, 2016.  I.8 The City Council meeting date and subsequent approval for this plat is September 19, 2016.</p>						

0 12.5 25 50 75 100 Feet

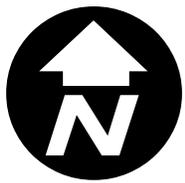
P2016-038 - AUTUMN ADDITION  
FINAL PLAT - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

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## City of Rockwall Project Plan Review History



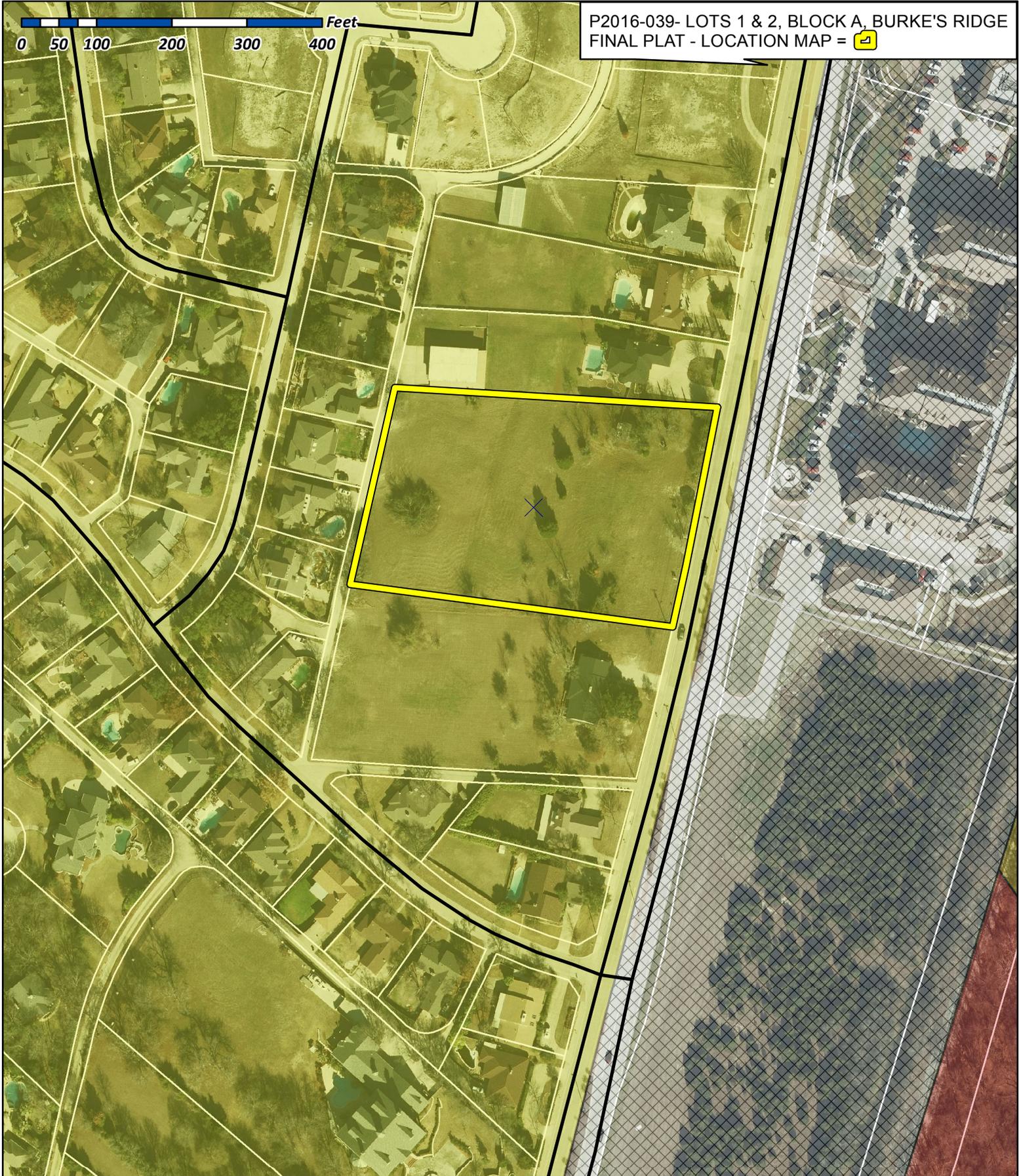
<b>Project Number</b> P2016-039	<b>Owner</b> BURKE, CASEY JOE AND ANDREA GAYDEN	<b>Applied</b> 8/12/2016 LM
<b>Project Name</b> 1406 Ridge Road	<b>Applicant</b> MADDOX SURVEY	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> FINAL		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/12/2016 LM

<b>Site Address</b> 1406 RIDGE RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--------------------------------------	--	---------------

<b>Subdivision</b> CARROLL ESTATES SUBD	<b>Tract</b> 19	<b>Block</b> NULL	<b>Lot No</b> 19	<b>Parcel No</b> 0001-0000-0019-00-OR	<b>General Plan</b>
--	--------------------	----------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	8/12/2016	8/19/2016	8/25/2016	13	APPROVED	
ENGINEERING (8/19/2016 1:34 PM AW) Driveways to be approved by TXDOT and City. May need a variance	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	APPROVED W/ CONDITIONS	See Condition
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING (8/24/2016 2:55 PM KB) P2016-039 Burkes Ridge Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Korey Brooks	8/12/2016	8/19/2016	8/24/2016	12	APPROVED	Comments

- I.1 This a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1406 Ridge Road.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-039) in the lower right hand corner of all pages on future submittals.
- I.4 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by September 7, 2016. The Park Board Meeting is September 7, 2016. The Planning & Zoning Worksession date for this case will be August 30, 2016. The Planning and Zoning Meeting for this case is September 13, 2016.
- I.5 The City Council meeting date and subsequent approval for this plat is September 19, 2016.



P2016-039- LOTS 1 & 2, BLOCK A, BURKE'S RIDGE  
 FINAL PLAT - LOCATION MAP = [yellow square icon]

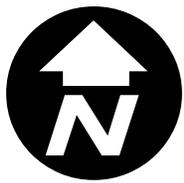
0 50 100 200 300 400 Feet

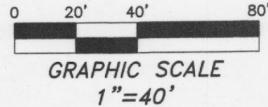


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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**Legend of Symbols & Abbreviations**

- (C.M.) = CONTROLLING MONUMENT
- 1/2" IRF = 1/2" IRON ROD FOUND
- 1/2" CIRF = 1/2" IRON ROD WITH CAP STAMPED "R.S.C.I. R.P.L.S. 5034" FOUND
- 5/8" CIRS = 5/8" CAPPED IRON ROD SET STAMPED "MADDOX SURVEYING R.P.L.S. 5430"
- R.O.W. = RIGHT-OF-WAY
- AC = ACRES
- SF = SQUARE FEET
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. = DEED RECORDS ROCKWALL COUNTY, TEXAS

**SURVEY NOTES:**

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.
2. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.

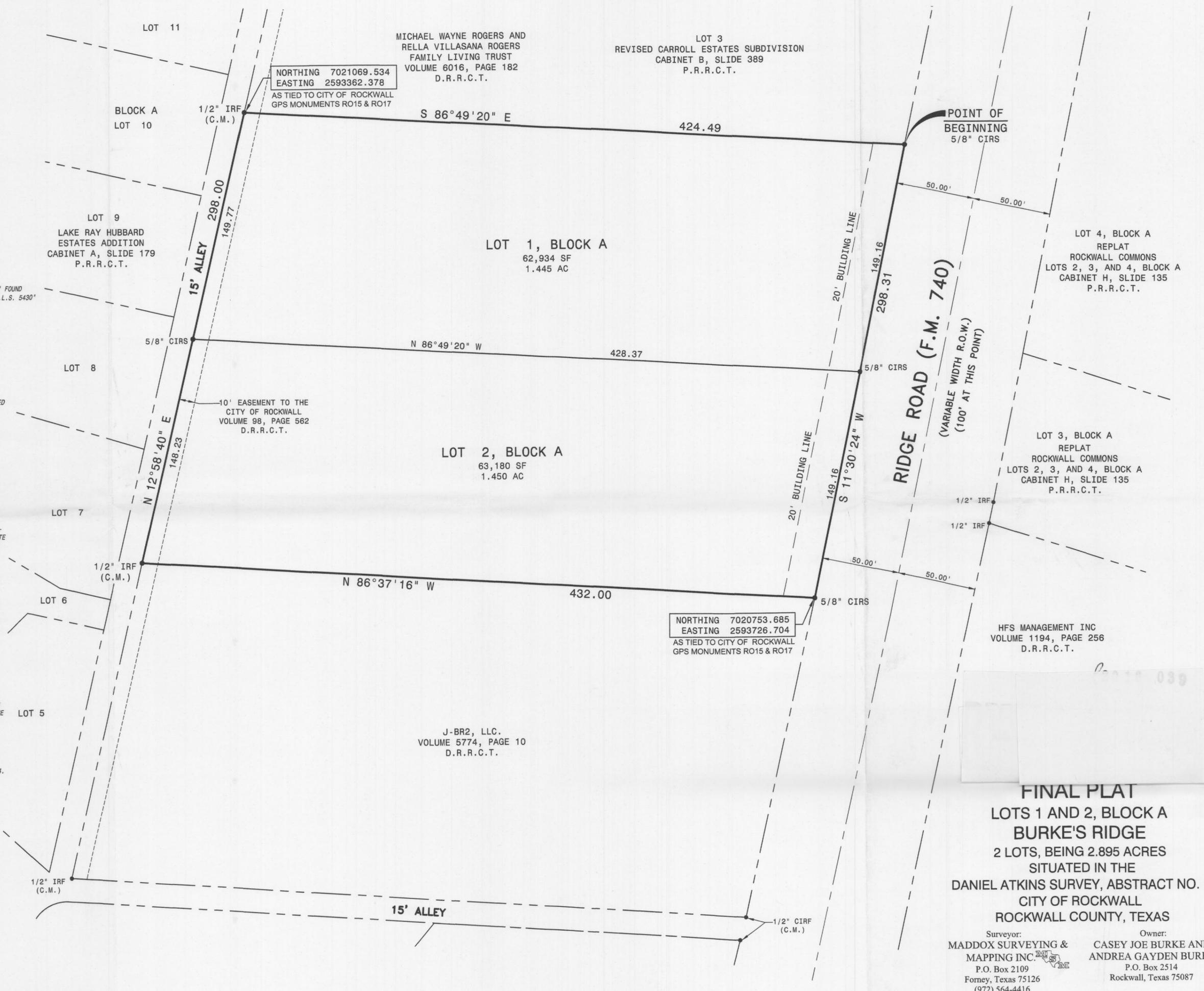
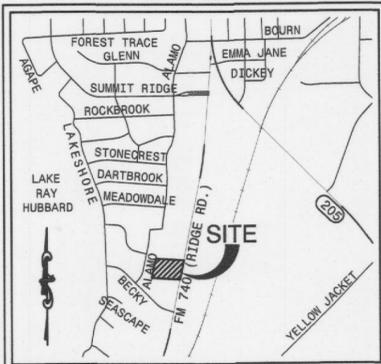
**FLOOD NOTE:**

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48397C0040 L, DATED SEPTEMBER 26, 2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).
2. ZONE "X" (OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
3. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**GENERAL NOTES:**

IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

**VICINITY MAP**  
NOT TO SCALE



**FINAL PLAT**  
**LOTS 1 AND 2, BLOCK A**  
**BURKE'S RIDGE**  
 2 LOTS, BEING 2.895 ACRES  
 SITUATED IN THE  
**DANIEL ATKINS SURVEY, ABSTRACT NO. 1**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

Surveyor: **MADDOX SURVEYING & MAPPING INC.**  
 P.O. Box 2109  
 Forney, Texas 75126  
 (972) 564-4416  
 Firm Reg. No. 10013200

Owner: **CASEY JOE BURKE AND ANDREA GAYDEN BURKE**  
 P.O. Box 2514  
 Rockwall, Texas 75087

**OWNERS DEDICATION**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS }  
COUNTY OF ROCKWALL }

That we the undersigned owner's of the land shown on this plat, and designated herein as **BURKE'S RIDGE** to the City of Rockwall, Texas, and whose name's are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **BURKE'S RIDGE** have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We and our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

Casey Joe Burke  
CASEY JOE BURKE  
OWNER

Andrea Gayden Burke  
ANDREA GAYDEN BURKE  
OWNER

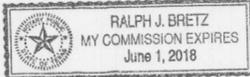
STATE OF TEXAS }  
COUNTY OF Rockwall }

Before me, the undersigned authority, on this day personally appeared CASEY JOE BURKE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 10<sup>th</sup> day of August, 2016.

Ralph J. Bretz  
Notary Public in and for the State of Texas

June 1, 2018  
My Commission Expires:



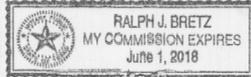
STATE OF TEXAS }  
COUNTY OF Rockwall }

Before me, the undersigned authority, on this day personally appeared ANDREA GAYDEN BURKE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 10<sup>th</sup> day of August, 2016.

Ralph J. Bretz  
Notary Public in and for the State of Texas

June 1, 2018  
My Commission Expires:



**NORTH DALLAS BANK**

By: Jeff E. Crow  
Name: Jeff E. Crow  
Title: Senior Vice President

STATE OF TEXAS }  
COUNTY OF Dallas }

Before me, the undersigned authority, on this day personally appeared Jeff E. Crow, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 9 day of August, 2016.

Lisa Rushing  
Notary Public in and for the State of Texas

8-24-2017  
My Commission Expires:



**RECOMMENDED FOR FINAL APPROVAL**

Chairman, Planning & Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

I hereby certify that the above and foregoing plat of Final Plat of LOTS 1 AND 2, BLOCK A, BURKE'S RIDGE to the City of Rockwall, Texas was approved by the Mayor of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one year from said date of final approval. An extension may be granted by the City Council.

Said Addition shall be subject to all the requirements of the Platting Ordinance of the City of Rockwall.

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Mayor, City of Rockwall \_\_\_\_\_ Date \_\_\_\_\_ City Secretary, City of Rockwall \_\_\_\_\_ Date \_\_\_\_\_

City Engineer, City of Rockwall \_\_\_\_\_ Date \_\_\_\_\_

**OWNERS CERTIFICATE**

STATE OF TEXAS }  
COUNTY OF ROCKWALL }

WHEREAS, Casey Joe Burke and Andrea Gayden Burke are the owners of a tract of land in the DANIEL ATKINS Survey, Abstract No. 1, situated in the City of Rockwall, Rockwall County, Texas, being all of said tract as recorded in Instrument Number 2015000015889 of the Official Public Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the northeast corner of said Gayden tract, and the southeast corner of Lot 3 of Carroll Estates, an addition to the City of Rockwall as recorded in Cabinet B, Slide 389 of the Plat Records of Rockwall County, Texas, same being a tract of land to Michael Wayne Rogers and Rella Villasana Rogers Family Living Trust as recorded in Volume 6016, Page 182 of the Deed Records of Rockwall County, Texas, and lying on the west right-of-way line of F.M. Highway 740 (Ridge Road), a variable width right-of-way;

THENCE South 11 degrees 30 minutes 24 seconds West along the west line of said F.M. Highway 740 (Ridge Road) and the east line of said Burke tract, a distance of 298.31 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the southeast corner of said Burke tract and the northeast corner of a tract of land to J-BR2, LLC, an addition to the City of Rockwall, as recorded in Volume 5774, Page 10 of the Deed Records of Rockwall County, Texas;

THENCE North 86 degrees 37 minutes 16 seconds West departing the west line of said F.M. Highway 740 (Ridge Road) and along the common line between said Burke tract and said J-BR2 tract, a distance of 432.00 feet to a 1/2 inch iron rod found for the southeast corner of said Burke tract and the northwest corner of said J-BR2 tract, said point also lying on the easterly line of a 15' alley, same being an easterly line of Lake Ray Hubbard Estates Addition, an addition to the City of Rockwall as recorded in Cabinet A, Slide 179 of the Plat Records of Rockwall County, Texas;

THENCE North 12 degrees 58 minutes 40 seconds East along the easterly line of said 15' alley/Lake Ray Hubbard Estates, a distance of 298.00 feet to a 1/2 inch iron rod found for the northwest corner of said Burke tract and the southwest corner of the aforementioned Lot 3 of Carroll Estates, same being said Michael Wayne Rogers and Rella Villasana Rogers Family Living Trust tract;

THENCE South 86 degrees 49 minutes 20 seconds East departing said 15' alley/Lake Ray Hubbard Estates and along the common line of said Burke tract and said Lot 3 of Carroll Estates, same being said Michael Wayne Rogers and Rella Villasana Rogers Family Living Trust tract, a distance of 424.49 feet to the POINT OF BEGINNING containing 126,114 square Feet, or 2.895 acres of land.

**SURVEYORS CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, BRIAN J. MADDOX, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION .

WITNESS UNDER MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

Brian J. Maddox  
BRIAN J. MADDOX,  
STATE OF TEXAS,  
R.P.L.S. NO. 5430

**FINAL PLAT**  
**LOTS 1 AND 2, BLOCK A**  
**BURKE'S RIDGE**  
2 LOTS, BEING 2.895 ACRES  
SITUATED IN THE  
DANIEL ATKINS SURVEY, ABSTRACT NO. 1  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

Surveyor:  
MADDOX SURVEYING &  
MAPPING INC.   
P.O. Box 2109  
Forney, Texas 75126  
(972) 564-4416  
Firm Reg. No. 10013200

Owner:  
CASEY JOE BURKE AND  
ANDREA GAYDEN BURKE  
P.O. Box 2514  
Rockwall, Texas 75087

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2016-016	<b>Owner</b> MEADE, JAMES W & ROBIN N	<b>Applied</b> 8/12/2016 LM
<b>Project Name</b> 496 National Drive	<b>Applicant</b> SEYMORE CUSOM HOMES LLC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/12/2016 LM

<b>Site Address</b> 496 NATIONAL DR	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	2-22	NULL	2-22	0128-0000-0002-22-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING (8/19/2016 1:42 PM AW)	Amy Williams	8/12/2016	8/19/2016	8/24/2016	12	APPROVED W/ CONDITIONS	See Condition
If any paving is installed it must adhere to all engineering standards including detention. No new rock/gravel will be allowed to be installed.							
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING	David Gonzales	8/12/2016	8/19/2016	8/17/2016	5	COMMENTS	See comments

Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 496 National Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, September 7, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

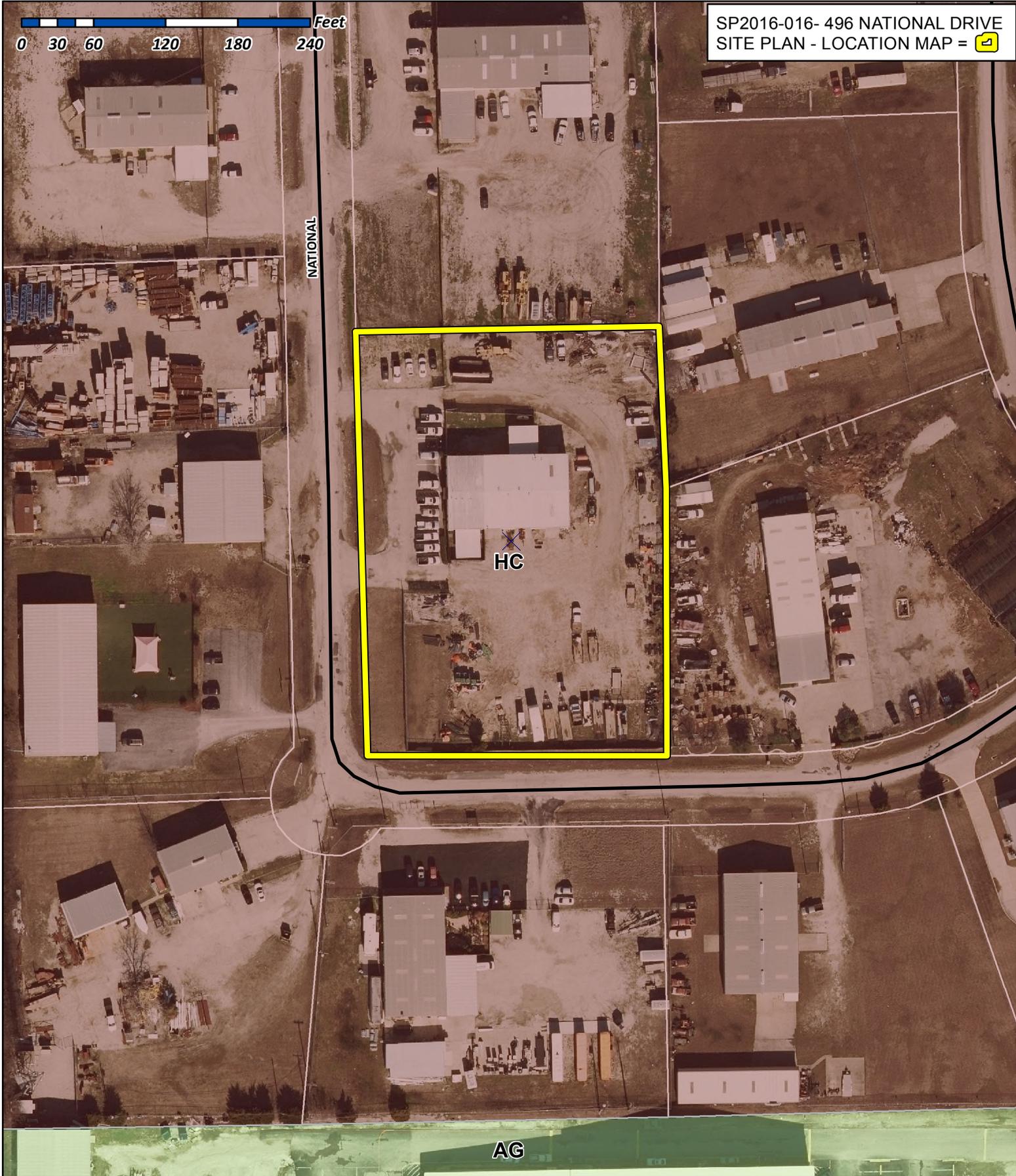
1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans (if required) and a Final Plat (plat must be filed) prior to issuance of a Certificate of Occupancy (CO).
3. Label site plan documents with "Case No. SP2016-016" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
1. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials,..., including 20% stone on walls which are visible from a public street or open space. North, South, East & West elevations require a minimum 20% stone and do not meet this standard.						
2. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials,..., on walls which are visible from a public street or open space. North, South, East & West elevations do not provide a minimum 90% masonry material and exceed 10% secondary materials with the use of metal wall panels.						
** Approval of exceptions to the exterior materials requested requires passage by a simple majority vote of City Council. **						
Please address the following Planning Comments for each plan submitted:						
Site Plan:						
1. UDC, Article VI Parking and Loading, Sec. 2.3. - Expansion of an existing use - If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. Provide floor plan of the existing building for determination of additional parking spaces required. The proposed (storage) structure requires a minimum of 3 spaces (1:1000).						
2. Remove semi-circles from site plan.						
Landscape Plan:						
1. Are you providing any (additional) landscaping?						
Photometric Plan:						
1. Will there be any additional exterior lighting (wall packs, poles, etc.) for the proposed building/site? If so, please provide a photometric plan for the new lighting fixtures meeting city standards.						
2. Additional lighting pole standards are not to exceed a maximum overall height of 30-ft (includes pole, base, fixtures, etc.) per the UDC standards. Provide detail.						
3. Provide cut sheets for all exterior lighting fixtures (e.g. pole lights, wall packs, etc.)						
4. Any additional lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare.						
5. Maximum lighting intensity at the property line is not to exceed 0.2-FC. Resubmit photometric plan and indicate readings to all property lines and in compliance with UDC (i.e. 0.2-FC)						
Building Elevations:						
1. What type of metal wall paneling is being used for the exterior of the proposed structure?						
2. Approval of the exceptions to the exterior material standards is required by the City Council as indicated above.						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend: Planning - Work Session: August 30, 2016 (6:00 p.m.) [Applicant to provide presentation and discuss project]						
Planning - Action: September 13, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]						
City Council - Action: September 19, 2016 (6:00 p.m.) [FOR EXCEPTION REQUESTS ONLY]						

0 30 60 120 180 240 Feet

SP2016-016- 496 NATIONAL DRIVE  
SITE PLAN - LOCATION MAP = 



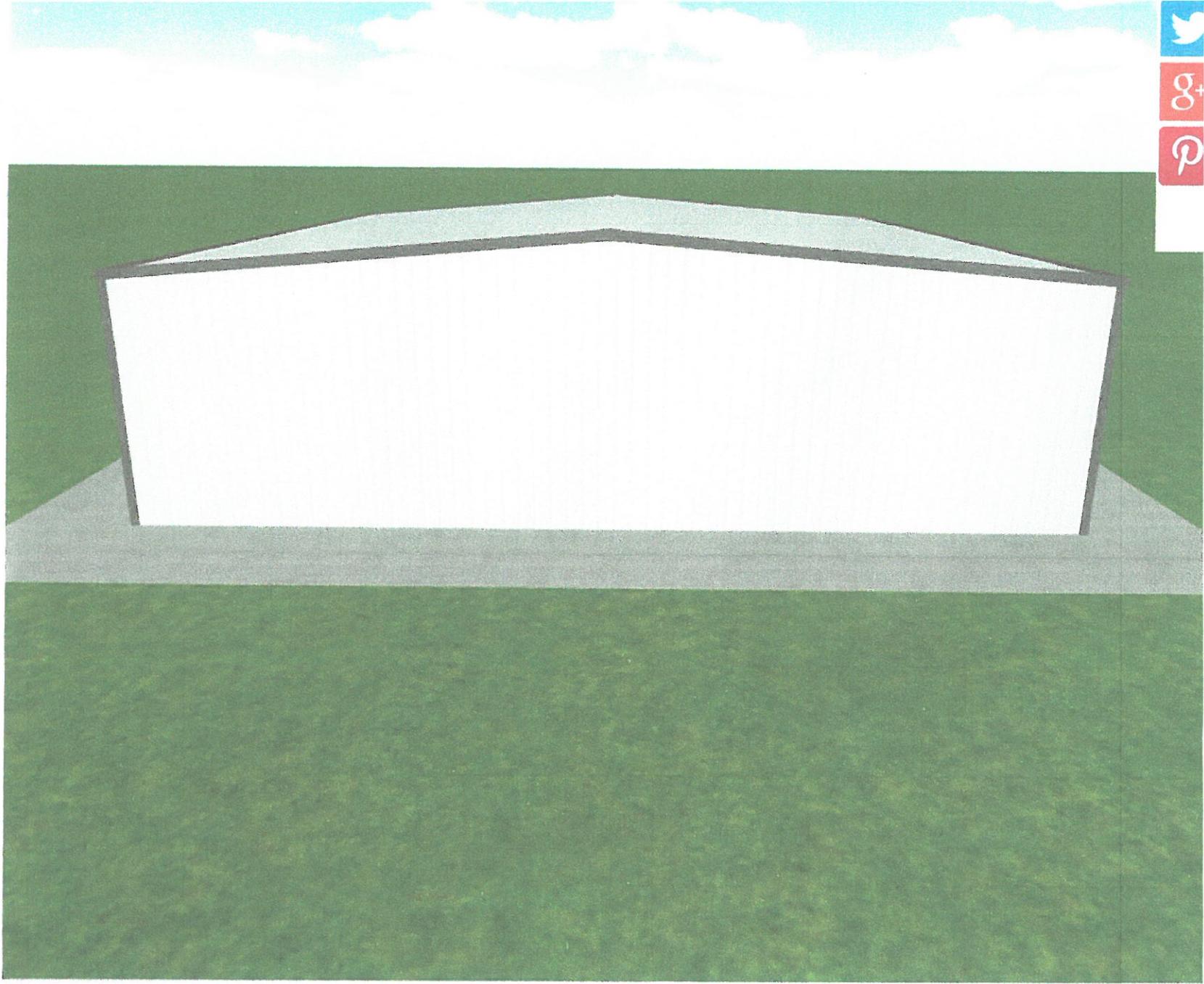
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







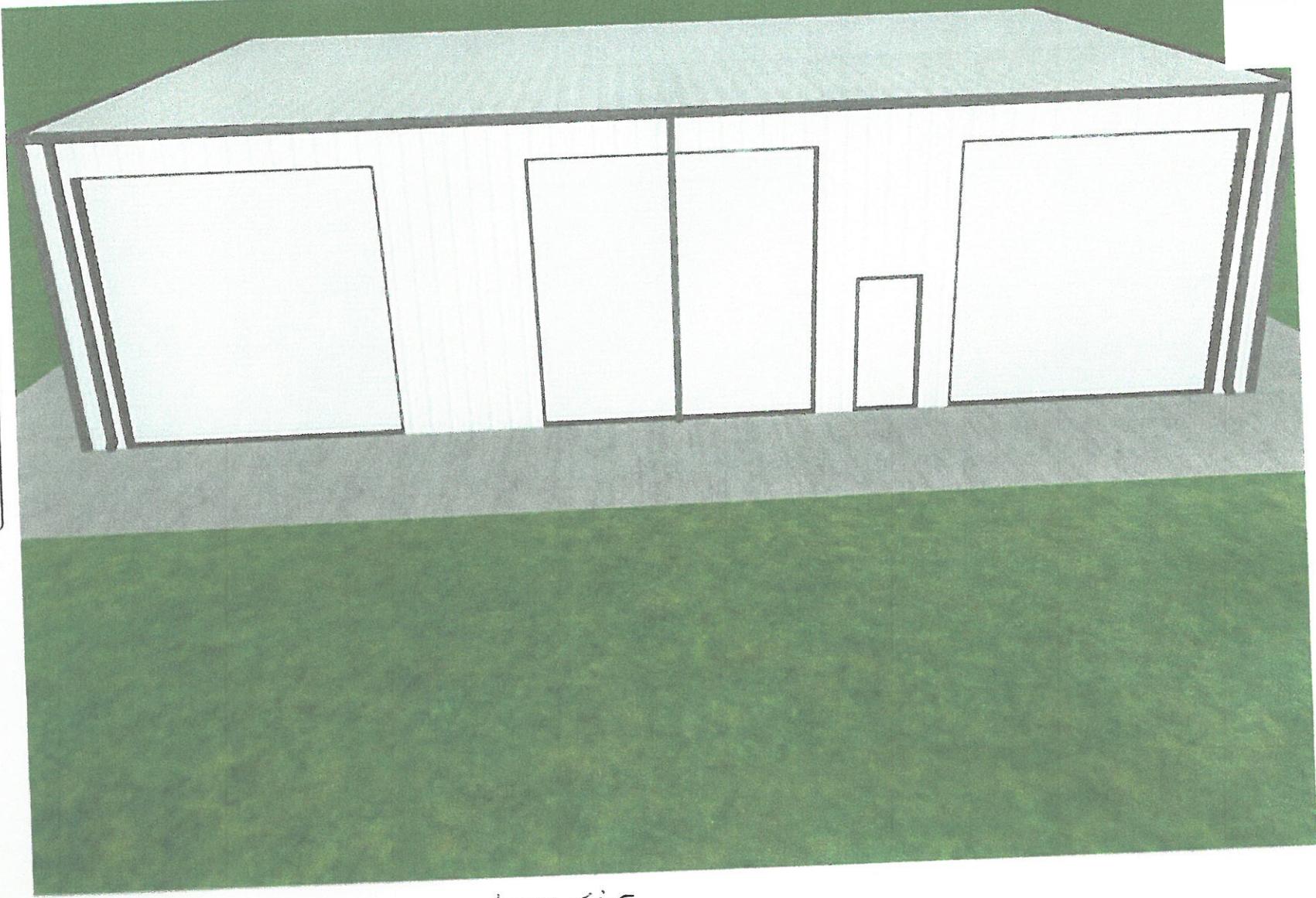
Off

*next step >>*

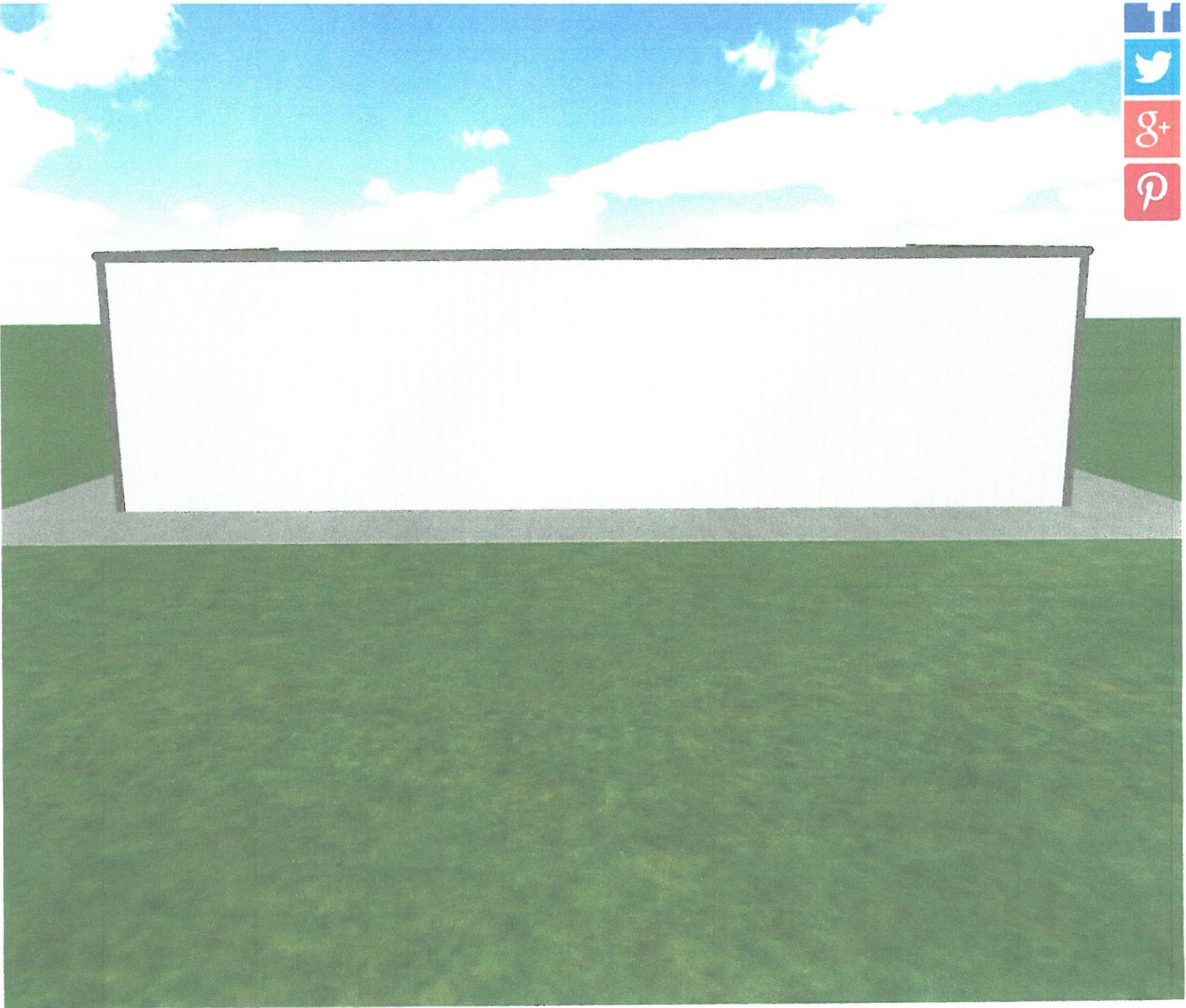
nd Windows

FRONT

60X60 Equipment Storage Bldg.



LEFT SIDE



RIGHT SIDE

low

Please Select

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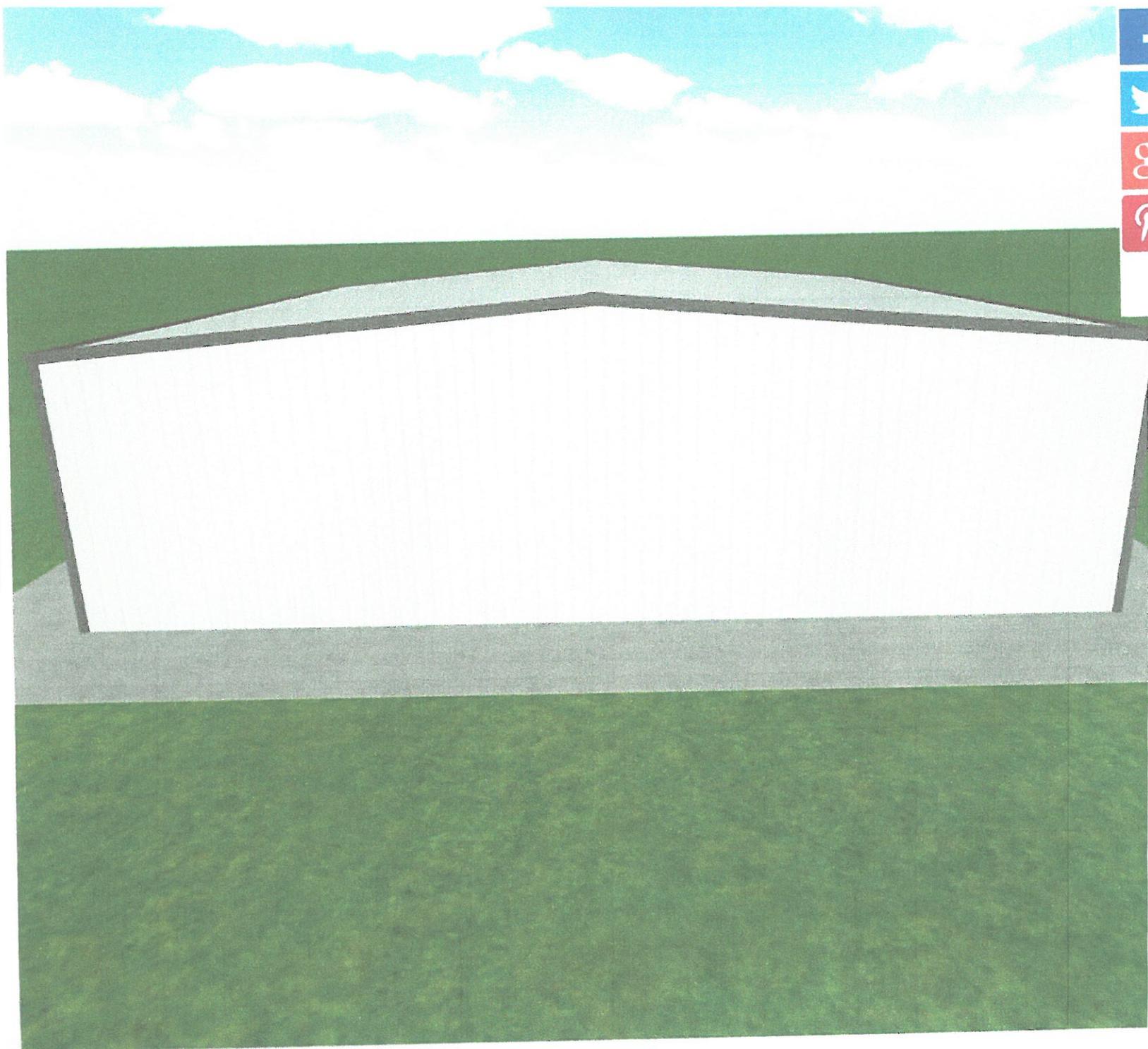
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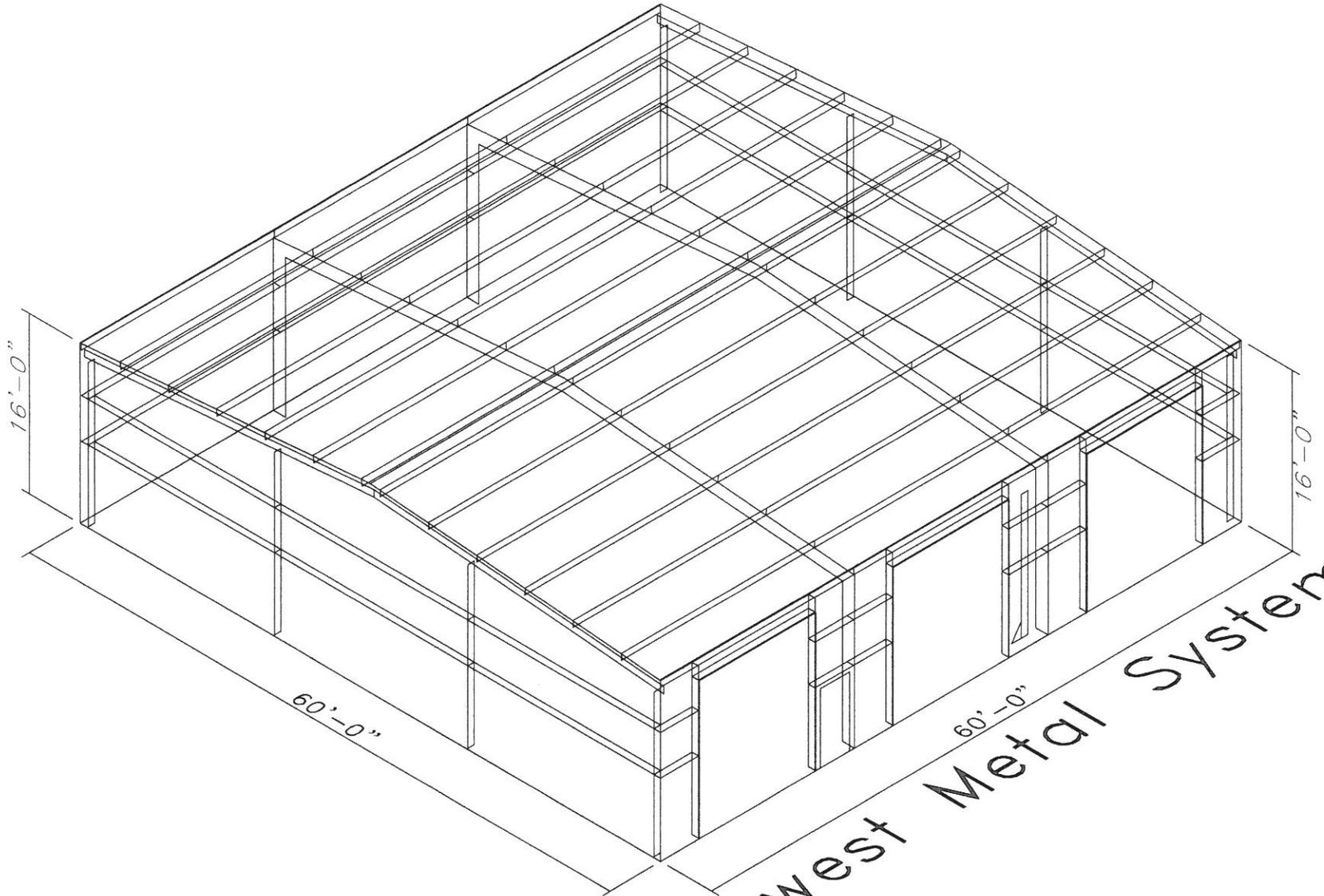
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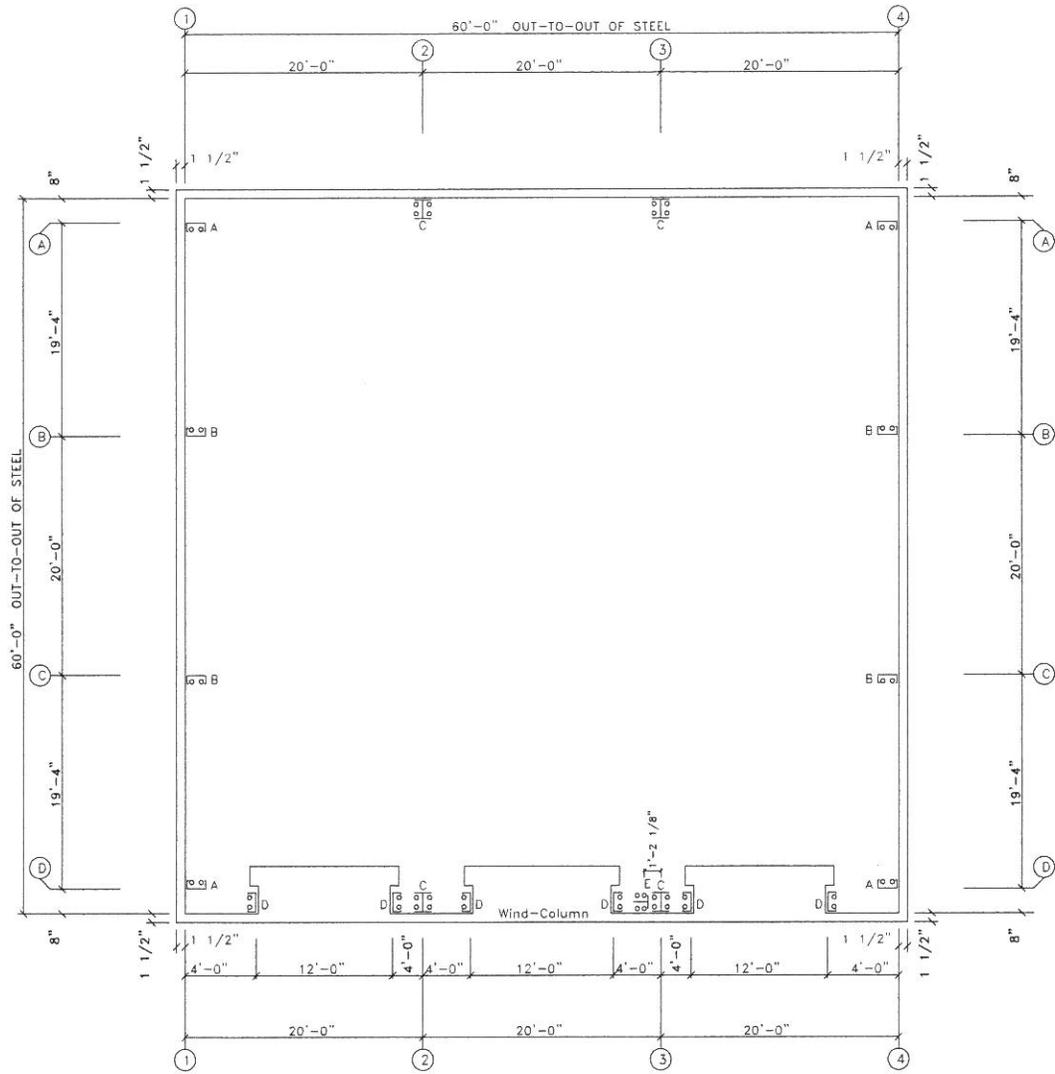
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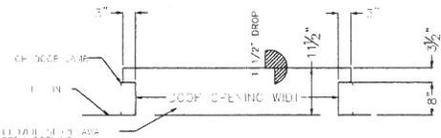
Back



Southwest Metal Systems



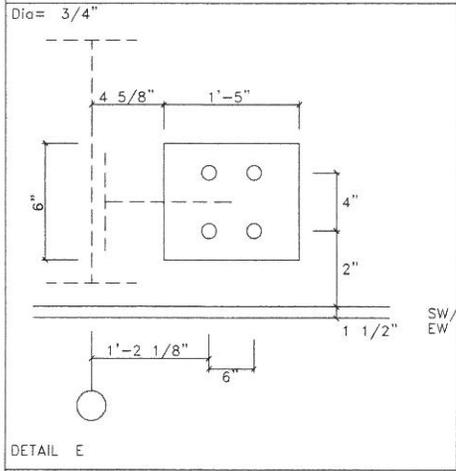
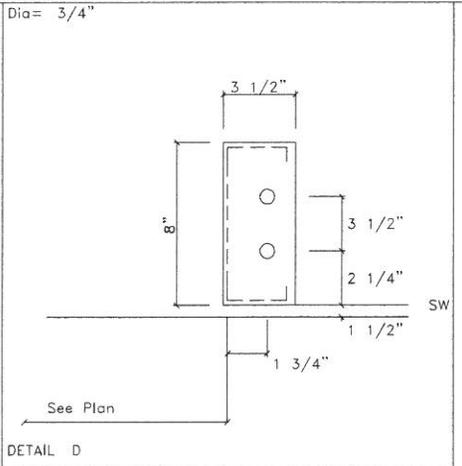
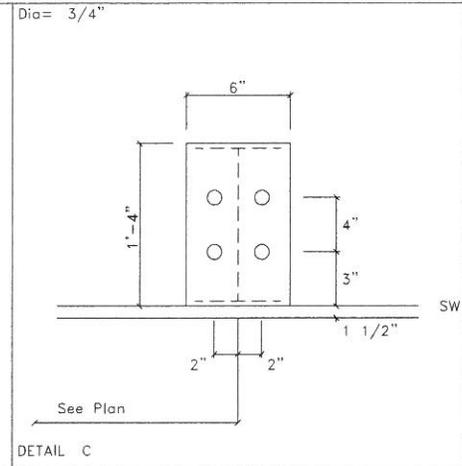
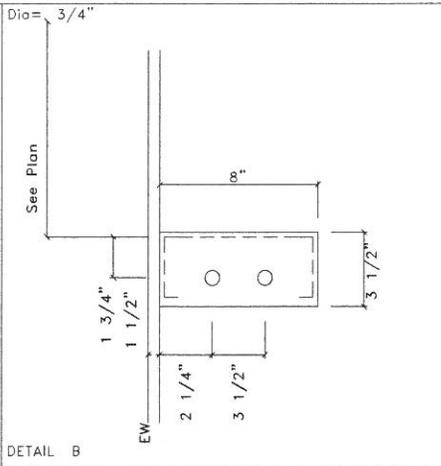
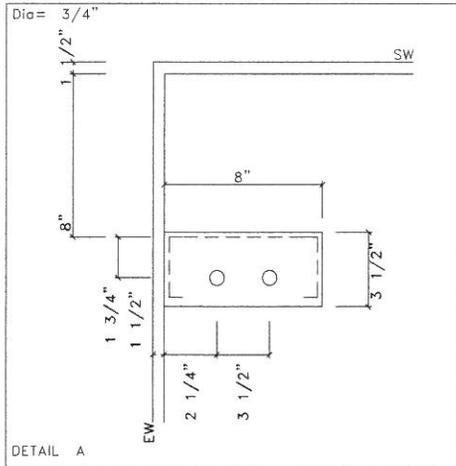
**ANCHOR BOLT PLAN**  
 NOTE: All Base Plates @ 100'-0" (U.N.)



**CONC. LEAVE OUT @ OH DOOR**

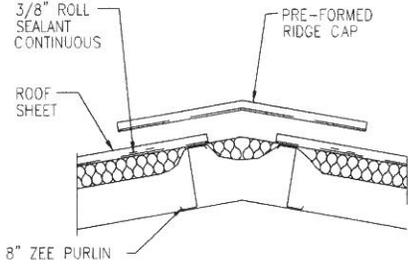
**SOUTH WEST**  
 METAL SYSTEMS  
 485 NE LOOP 564  
 MENEOLA, TX 75778  
 (936) 569-8011

DESCRIPTION: ANCHOR BOLT PLAN		PROJECT: Customer	
CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State		QUOTATION NO. Seymore60x60x16	
DRN. BY: DET	CK'D BY: DES	DATE: 7/22/16	SHEET NO. OF
SCALE: N.T.S.	REV: 00		

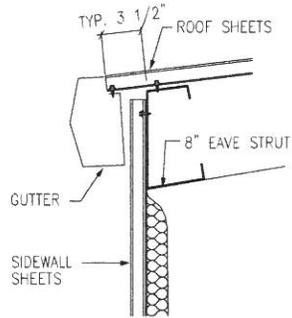


<b>SOUTH WEST</b> METAL SYSTEMS 485 NE LOOP 504 MINNEOLA, TX 75773 (903) 369-8811		2824 MILAM RD. EAST SANGER, TEXAS 76206 (840) 381-9191		DESCRIPTION: ANCHOR BOLT DETAILS			
				CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State				DRN. BY: DET		CR'D BY: DES	
DATE: 7/22/16		SCALE: N.T.S.		REV.: 00		QUOTATION NO.: Seymore60x60x16	
						SHEET NO.: OF	

## GENERAL NOTES

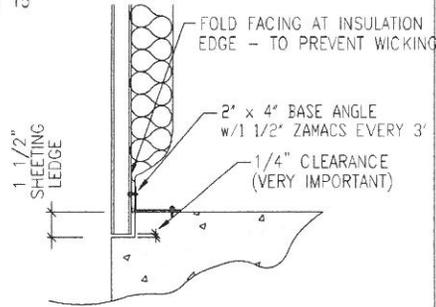


Typical Roof Ridge



Typical Roof Overhang

\*SEE NOTE 14 & 15



BASE DETAIL AT SHEETING LEDGE

1. Unloading, handling and proper storage of the Steel Building package is the responsibility of the Erector and/or End User. Roof and wall panels must be kept dry prior to installation. Elevating one end of panel bundles is recommended to encourage drainage in case of rain.
2. Any and all damaged or shorted materials are to be reported within 24 hours of unloading. Check all materials with the Bill of Materials.
3. Loading of Building Materials should be done with the appropriate lifting equipment such as crane, forklift or Skytrak due to the heavy nature of the parts involved.
4. All bracing, strapping and bracing shown on the erection drawings for this building is a requirement. They shall be installed as the Erector as a permanent part of the structure. It is the responsibility of the Erector to determine and provide temporary bracing to secure the building during the erecting process until permanent bracing can be installed.
5. Claims for correction of alleged misfits will not be allowed unless Southwest Metal Systems has received prior notice thereof and is allowed reasonable time to inspect such alleged misfits. The correction of minor misfits by the use of drift pins to draw the components in line, moderate reaming, chipping and cutting and the replacement of minor shortages of materials are a normal part of the erection process and are not subject to claim. No part of the building may be returned for alleged misfits without the prior approval of Southwest Metal Systems.
6. Jobsite safety is a priority. Erector are to wear OSHA approved hard hats, safety glasses, safety harnesses, gloves and steel toe boots at all times. Fall protection must be provided during roof and wall panel installation. OSHA guidelines and regulations are to be followed in all phases of building erection.
7. Foundation design by others. Anchor bolts shall be set accurately to a tolerance of 1/2" - 1/8" in both elevation and location. All column base plates are set at Finish Floor elevation unless noted otherwise.
8. Wall insulation if required, is to be kept a minimum of 1/2" from the bottom of the wall panel to avoid "sinking" up behind the wall panel.
9. Closure Strips are provided at roof application only (unless noted on drawings). Inside closure provided at roof eave only when insulation is NOT provided. See details for additional closure applications.
10. Southwest Metal Systems assumes no responsibility or liabilities for delays or stock charges caused by deliveries not arriving on time.
11. Metal filings and shavings created from the fastener drilling process are to be cleaned off of the roof and wall panels the same day of panel installation. Failure to do so will void the panel's warranty, as metal filings and shavings will rust and damage the finish of the roof and wall panels.
12. Roll Sealant (tacky tape) required on all roof panel laps for roof with slopes of 3:12 and lower.
13. These Drawings are Erection Drawings Only. They are not Construction Documents.
14. Wall panels must be installed with 1/4" clearance from Concrete foundation. Failure to do so voids Wall Panel Warranty.
15. Insulation at base of wall shall be installed in such a manner that does not allow moisture wicking. Fold insulation liner as shown on Base Detail. Failure to do so voids Wall Panel Warranty.

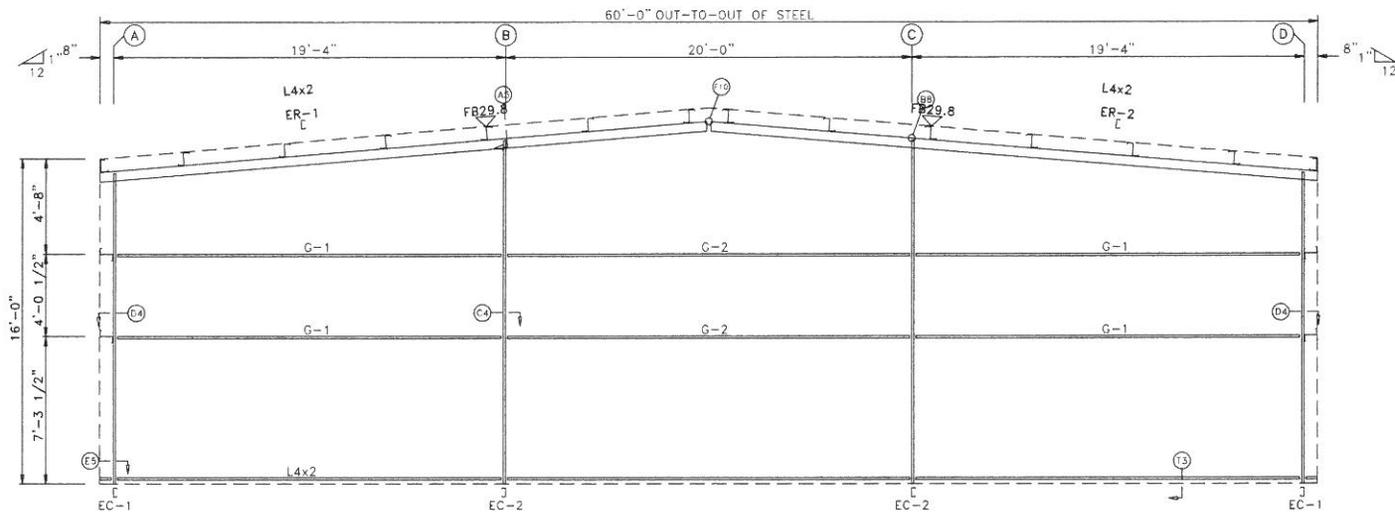
## SOUTH WEST METAL SYSTEMS

485 NE LOOP 564  
MINEOLA, TX 75773  
(903) 569-8811

2824 MILAM RD. EAST  
SANGER, TEXAS 76286  
(940) 381-0191

### BUILDING INFORMATION

JOB#:	Seymore60x60x16
CUSTOMER NAME:	Dealer
PHONE#	
PROJECT ADDRESS	Street City, State
SALESMAN:	DES
DESCRIPTION:	60'-0" x 60'-0" x 16'-0"
LEFT / RIGHT SLOPE:	1.0:12 / 1.0:12
ROOF PANELS/COLOR:	PBR / Galvalume
WALL PANELS/COLOR:	PBR / Polar White
TRIM COLOR:	Burnished Slate
EAVE CONDITION:	STYLE=Standard
FRONT WALL GUTTER:	STYLE=Standard
GUTTER LENGTH:	60
BACK WALL GUTTER:	STYLE=Standard
GUTTER LENGTH:	60
ADDT'L. ACCESSORIES:	SEE QUOTE FORM
ADDT'L. CONDITIONS:	
SPECIAL NOTES:	
BUILDING CODE:	IBC 06
ROOF LIVE LOAD:	20.00
ROOF SNOW:	3.5
WIND SPEED:	90
COLLATERAL LOADS:	0.5
EXPOSURE:	B

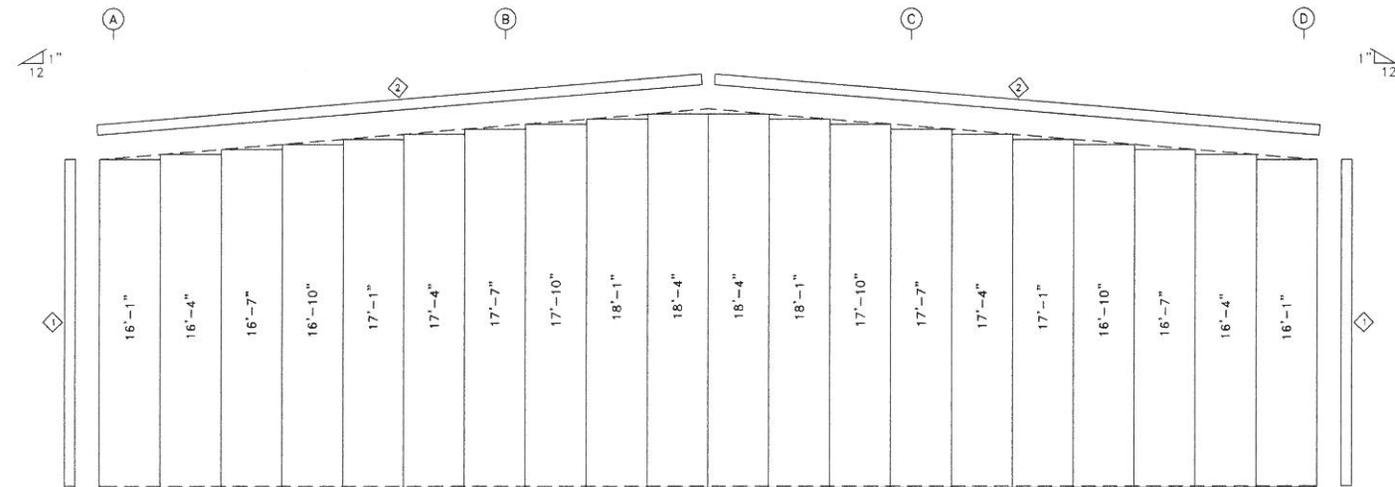


ENDWALL FRAMING: FRAME LINE 1

BOLT TABLE				
FRAME LINE 1				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	4	A325	3/4"	2 1/4"
Columns/Raf	2	A325	5/8"	1 1/2"

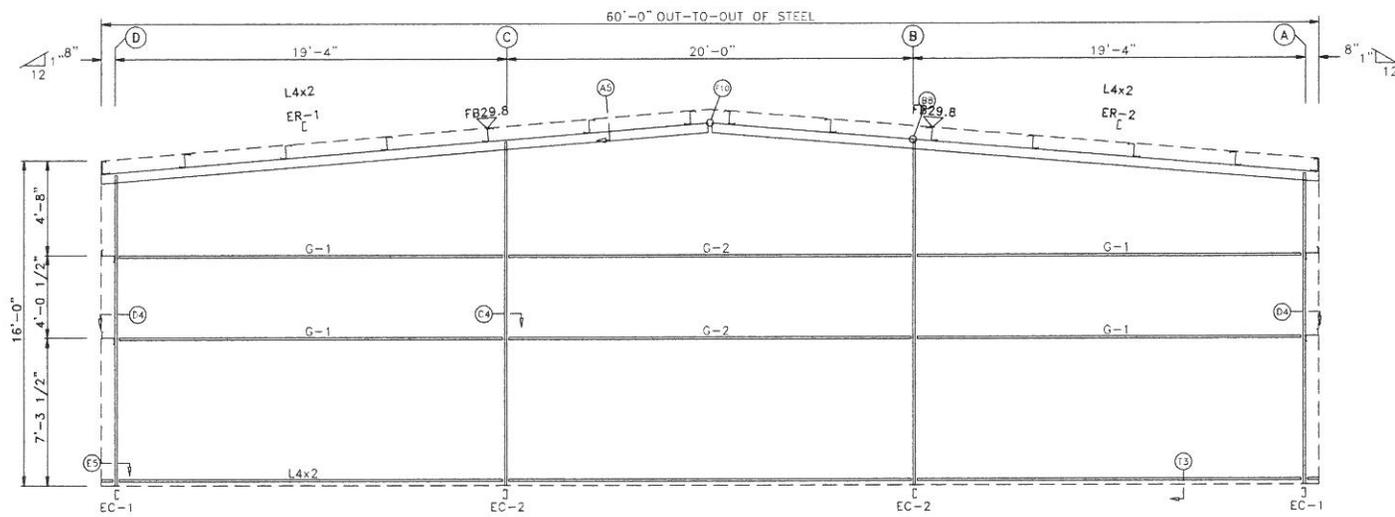
TRIM TABLE		
FRAME LINE 1		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SRT2614	16'-1"

FLANGE BRACE TABLE		
FRAME LINE 1		
ID	MARK	LENGTH
1	FB29.8	2'-5 3/4"



ENDWALL SHEETING & TRIM: FRAME LINE 1  
PANELS: 26 Ga. PBR - Polar White

<b>SOUTH WEST</b> METAL SYSTEMS 485 NE LOOP 504 MINNEOLA, TX 75773 (803) 569-8811		2824 MILAM RD. EAST SANGER, TEXAS 76868 (940) 381-0191		DESCRIPTION: ENDWALL FRAMING									
				CUSTOMER: Dealer		PROJECT: Customer							
LOCATION: City, State				DATE: 7/22/16		SCALE: N.T.S.		REV: 00		QUOTATION NO. Seymore60x60x16		SHEET NO. OF	
DRN. BY: DET	CK'D BY: DES	DATE: 7/22/16	SCALE: N.T.S.	REV: 00	QUOTATION NO. Seymore60x60x16	SHEET NO. OF							

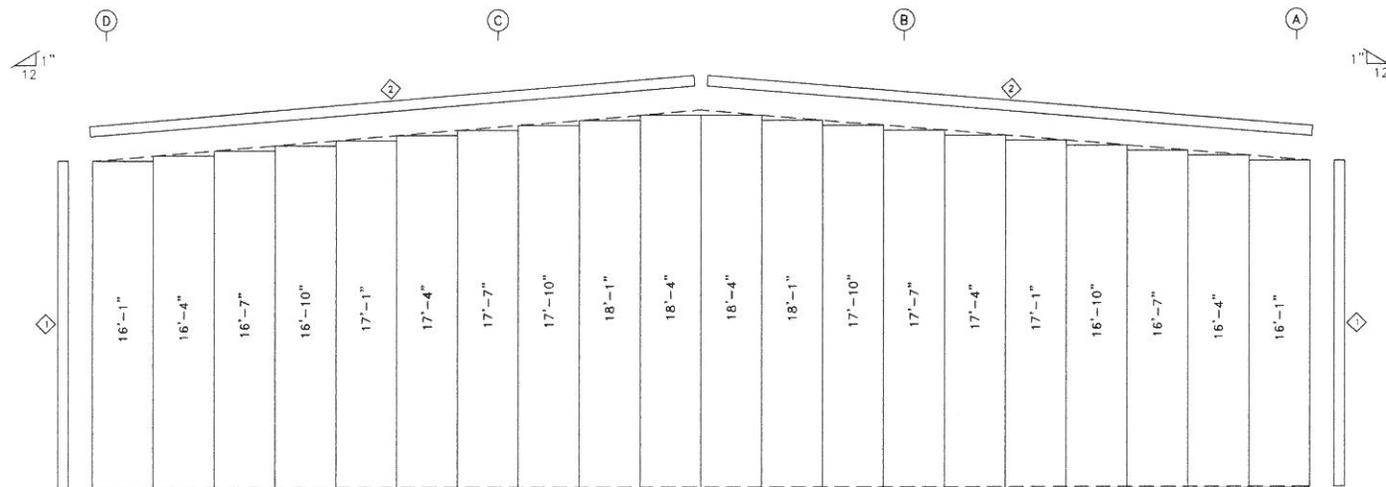


ENDWALL FRAMING: FRAME LINE 4

BOLT TABLE				
FRAME LINE 4				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	4	A325	3/4"	2 1/4"
Columns/Ref	2	A325	5/8"	1 1/2"

TRIM TABLE		
FRAME LINE 4		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SRT2614	16'-1"

FLANGE BRACE TABLE		
FRAME LINE 4		
ID	MARK	LENGTH
1	FB29.8	2'-5 3/4"



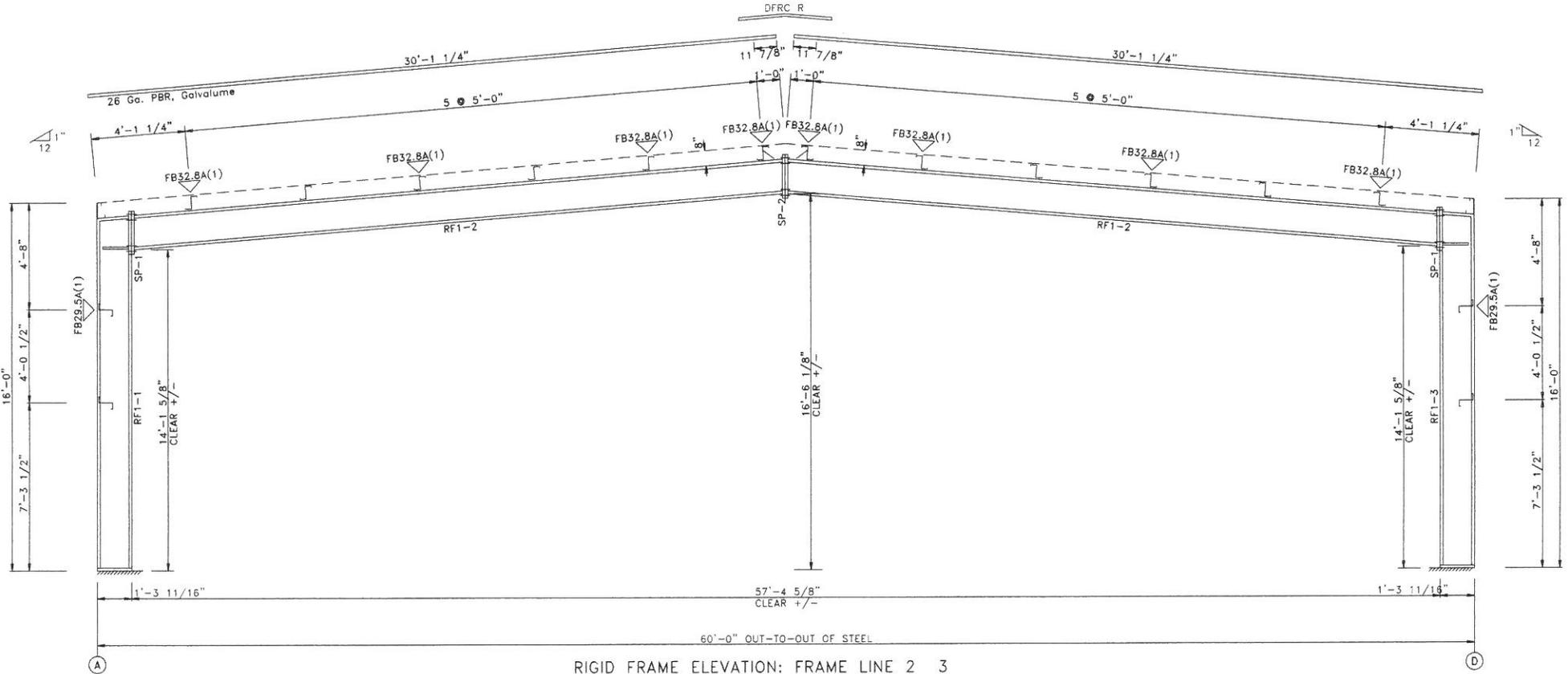
ENDWALL SHEETING & TRIM: FRAME LINE 4

PANELS: 26 Ga. PBR - Polar White

<b>SOUTH WEST</b> METAL SYSTEMS 485 NE LOOP 584 MINGOLA, TX 75773 (903) 589-8811		2824 MILAM RD. EAST SANGER, TEXAS 76566 (940) 381-0191		DESCRIPTION: ENDWALL FRAMING								
				CUSTOMER: Dealer		PROJECT: Customer						
LOCATION: City, State				DRN. BY: DET		CK'D BY: DES		DATE: 7/22/16	SCALE: N.T.S.	REV: 00	QUOTATION NO. Seymore60x60x16	SHEET NO. OF

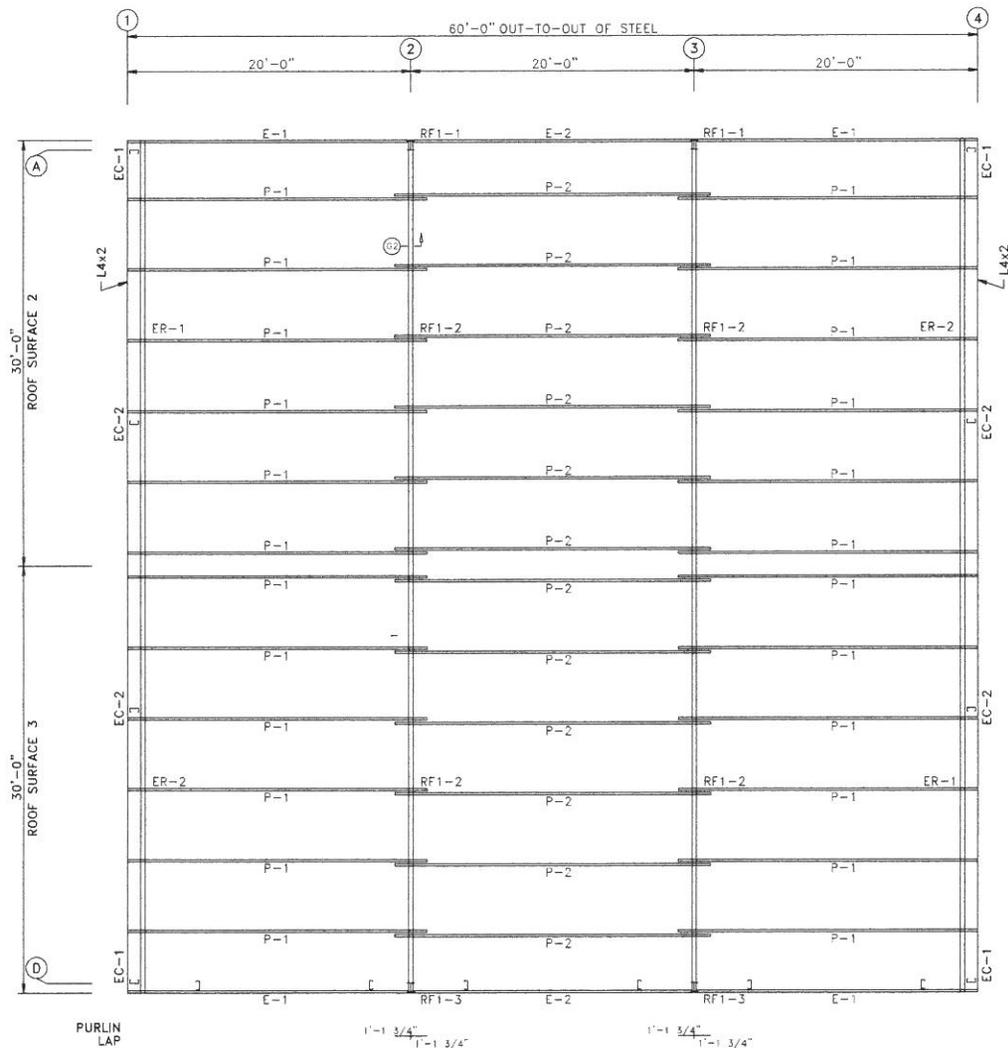
SPLICE BOLT TABLE						
Mark	Qty		Int	Type	Dia	Length
	Top	Bot				
SP-1	4	4	0	A325	0.750	2.75
SP-2	4	4	0	A325	0.750	2.25

▽ FLANGE BRACES: Both Sides(U.N.)  
 FBxxA(1): xx=length(in)  
 A - FB 2X1/8



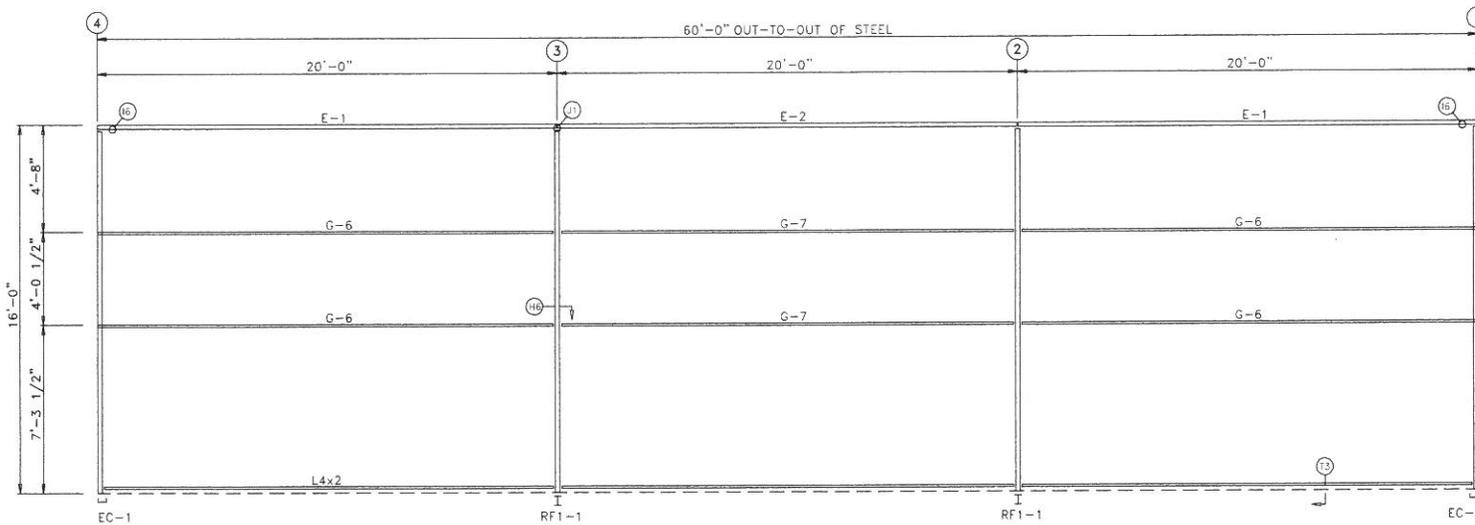
RIGID FRAME ELEVATION: FRAME LINE 2 3

<b>SOUTH WEST</b> METAL SYSTEMS 495 NE LOOP 584 MINNEOLA, TX 76773 (817) 569-8911		2824 MILAM RD. EAST SANGER, TEXAS 76866 (940) 381-0191		DESCRIPTION: RIGID FRAME ELEVATION						
				CUSTOMER: Dealer		PROJECT: Customer				
LOCATION: City, State				DRN. BY	CK'D BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.
				DET	DES	7/22/16	N.T.S.	00	Seymore60x60x16	OF



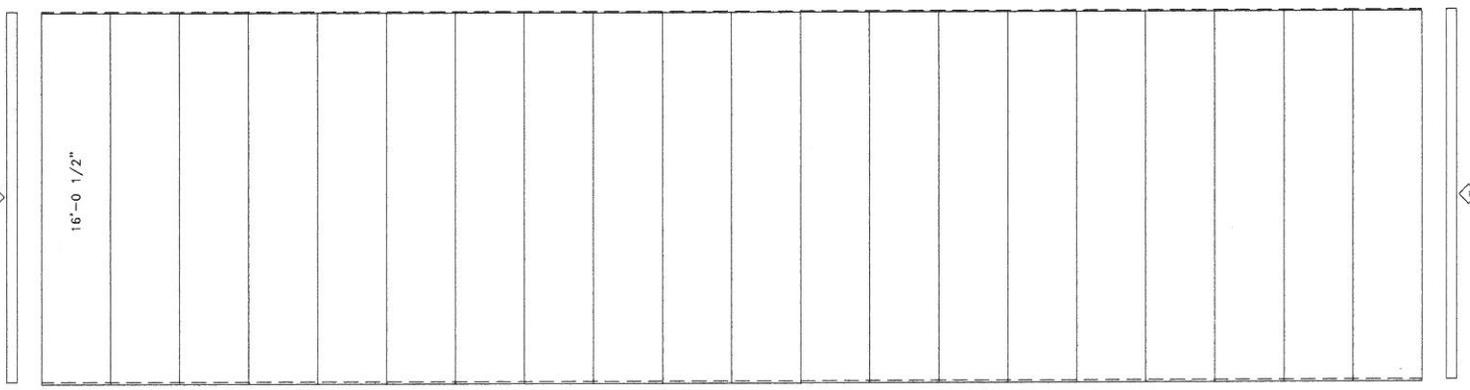
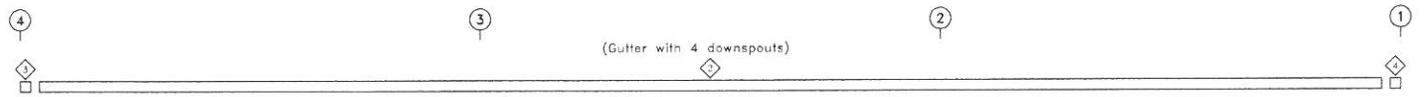
ROOF FRAMING PLAN

<b>SOUTH WEST</b> METAL SYSTEMS 485 NE LOOP 504 MCKINNA, TX 75773 (903) 569-8811		2824 MILAM RD. EAST SANDER, TEXAS 75086 (940) 381-0191		DESCRIPTION: ROOF FRAMING			
				CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State							
DRN. BY	CK'D BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.	
DET	DES	7/22/16	N.T.S.	00	Seymore60x60x16	OF	



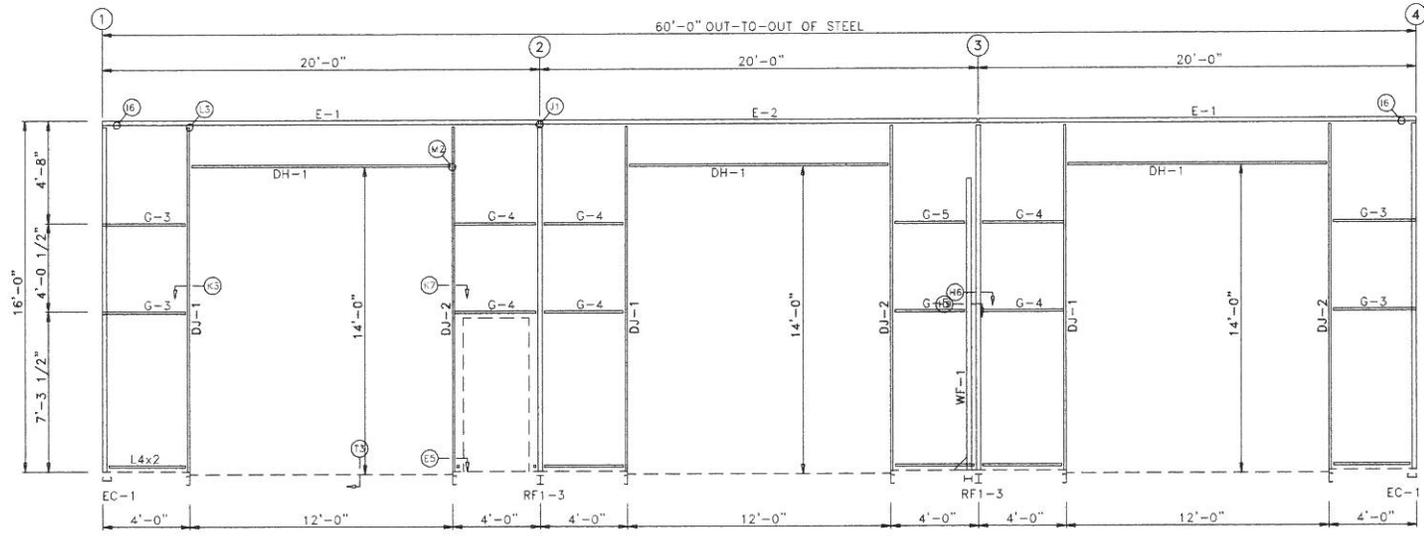
SIDEWALL FRAMING: FRAME LINE A

TRIM TABLE FRAME LINE A		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SGU2605	15'-11"
3	SPCL-16L	8"
4	SPCL-16R	8"



SIDEWALL SHEETING & TRIM: FRAME LINE A  
PANELS: 26 Ga. PBR - Polar White

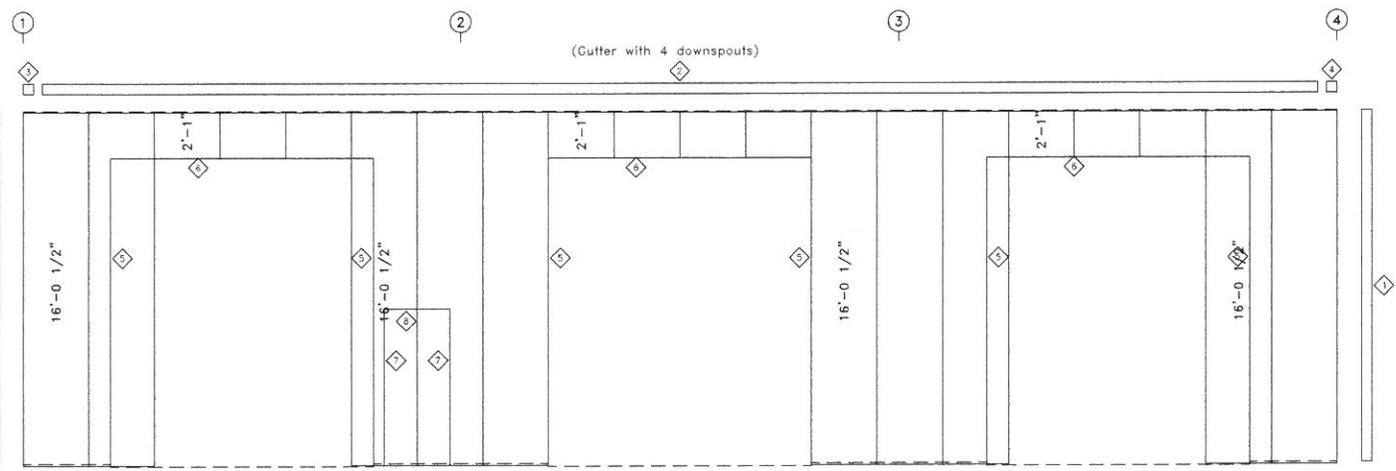
<b>SOUTH WEST</b> METAL SYSTEMS 485 NE LOOP 564 MINNOLA, TX 75773 (903) 569-8811		2824 MILLAM RD. EAST SANGER, TEXAS 75388 (940) 381-0191		DESCRIPTION: SIDEWALL FRAMING						
				CUSTOMER: Dealer		PROJECT: Customer				
LOCATION: City, State				DRN. BY	CK'D BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.
				DET	DES	7/22/16	N.T.S.	00	Seymore60x60x16	OF



SIDEWALL FRAMING: FRAME LINE D

BOLT TABLE			
FRAME LINE D			
LOCATION	QUAN	TYPE	DIA
WF-1 - RF1-3	14	A325	5/8"

TRIM TABLE		
FRAME LINE D		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SGU2605	15'-1 1/2"
3	SPCL-16L	8"
4	SPCL-16R	8"
5	HTR2603	14'-3"
6	HTR2603	12'-6"
7	HTR2603	7'-4"
8	HTR2603	3'-6"



SIDEWALL SHEETING & TRIM: FRAME LINE D  
PANELS: 26 Ga. PBR - Polar White

<b>SOUTH WEST</b> METAL SYSTEMS 485 NE LOOP 564 MINNEOLA, TX 75773 (808) 569-8811		2824 MILAM RD. EAST SANGER, TEXAS 75096 (940) 381-0191		DESCRIPTION: SIDEWALL FRAMING			
				CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State		DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.	
DRN. BY DET	CK'D BY DES	7/22/16	N.T.S.	00	Seymore60x60x16	OF	

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2016-017	<b>Owner</b> LIFE SPRING CHURCH	<b>Applied</b> 8/12/2016 LM
<b>Project Name</b> Life Spring Church	<b>Applicant</b> LIFE SPRING CHURCH	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 8/15/2016 LM

<b>Site Address</b> JOHN KING BLVD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------------	--	---------------

<b>Subdivision</b> LIFE SPRING DR (ROW)	<b>Tract</b> 15-02	<b>Block</b> NULL	<b>Lot No</b> 15-02	<b>Parcel No</b> 0187-0000-0015-02-OR	<b>General Plan</b>
--	-----------------------	----------------------	------------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING (8/19/2016 2:00 PM AW) The fire hydrant by the future building needs to be a minimum of 5' from the building. No structure is allowed in an easement. The engineering plans will need to be revised to reflect any changes including the relocation of meters and fire service.	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	COMMENTS	See Comment
FIRE (8/17/2016 2:32 PM AA) Fire Department Connection (FDC) shall be located within 100-ft. of a fire hydrant, facing fire lane, and provided with an unobstructed 5-ft. wide pathway from the fire lane to the connection. (no parking allowed in the 5-ft. pathway, show pathway on plan)	Ariana Hargrove	8/12/2016	8/19/2016				see comments
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.	David Gonzales	8/12/2016	8/19/2016	8/17/2016	5	COMMENTS	See comments

The following staff comments are to be addressed and resubmitted no later than Tuesday, September 7, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

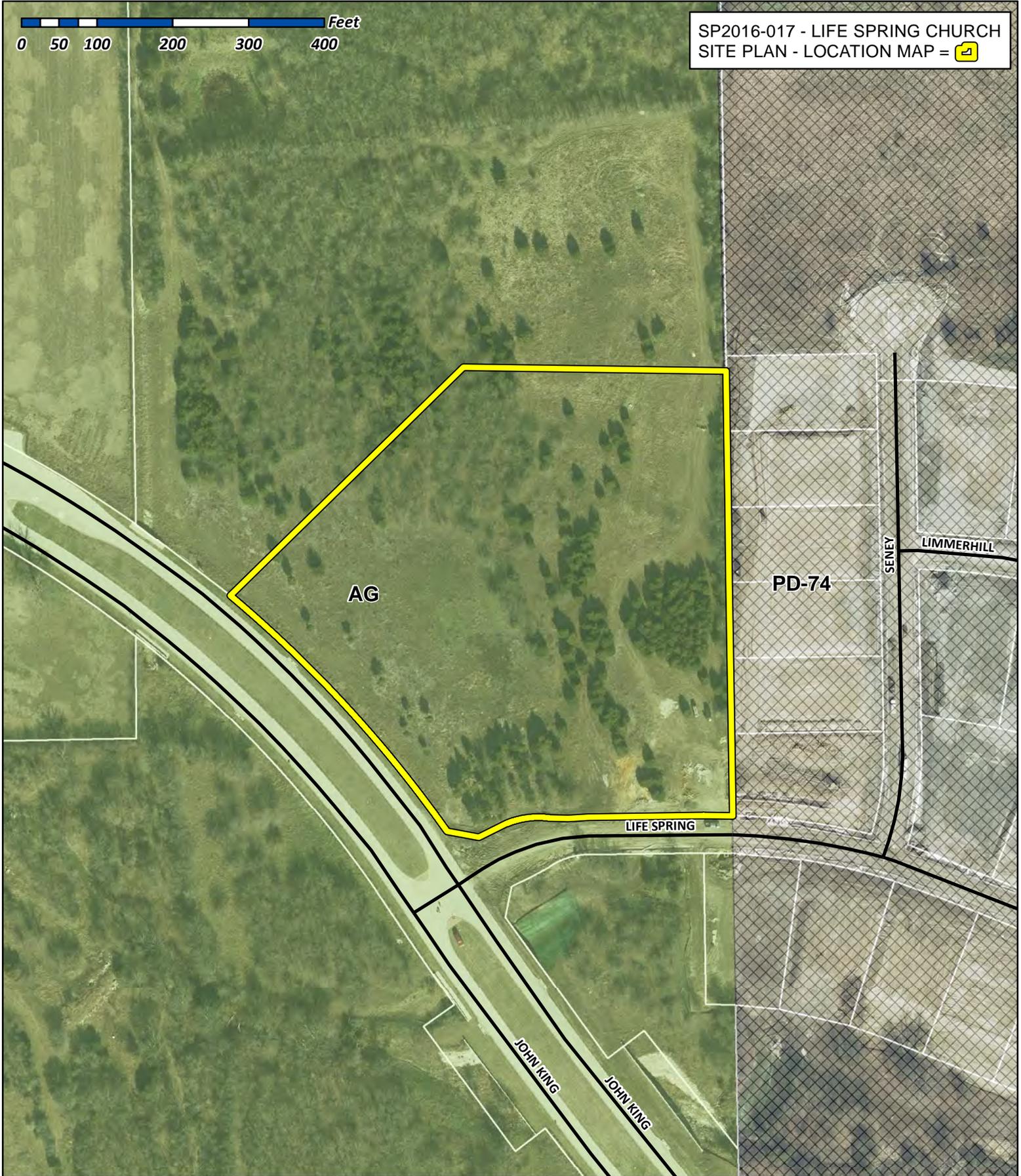
Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Label revised site plan documents with "Case No. SP2016-017" at the lower right corner of each plan.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:						
* 1. Art V, Sec. 6.10.C.1 of the SH 205 BY OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,..., including 20% stone on walls which are visible from a public street or open space. The East elevation requires a minimum 20% stone and does not meet this standard.						
* 2. Art V, Sec. 6.10.C.1.a of the SH 205 BY OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,..., on walls which are visible from a public street or open space. The East elevation does not provide a minimum 90% masonry material and exceeds the 10% secondary materials with the use of metal wall panels.						
* 3. Art V, Sec. 6.10.C.5 of the SH 205 BY OV (and the UDC) requires that all commercial buildings be architecturally finished on all four sides with the same materials, detailing, and features...the buildings east elevation as submitted is not meeting the minimum requirements.						
**4. ArtV, Sec. 4.1. of the UDC - Exception to the Horizontal & Vertical Articulation Standards - the buildings north elevation as submitted is not meeting the minimum requirements establish for the General Commercial District Standards. Requires a simple majority vote of council for approval.						
* Approval of the variances to the SH 205 By-Pass OV requires passage by a 3/4 majority vote of City Council.						
** Approval of the exceptions to the horizontal and vertical articulation standards requires passage by a simple majority vote of City Council.						
Please address the following Planning Comments for each plan submitted:						
Site Plan:						
Hatch the area reduced to reflect the future expansion to be considered and label as such for both the building and parking area's (use light gray lines).						
Building Elevations:						
1. What type of metal paneling is being used for the exterior of the proposed structure?						
2. Provide calculation for all exterior materials.						
3. Approval of the variances & exceptions as submitted is required by the City Council as indicated above.						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Planning - Work Session: August 30, 2016 (6:00 p.m.) [Applicant to provide presentation and discuss project]						
Planning - Action: September 13, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]						
City Council - Action: September 19, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUESTS ONLY]						

0 50 100 200 300 400 Feet

SP2016-017 - LIFE SPRING CHURCH  
SITE PLAN - LOCATION MAP = 



## City of Rockwall

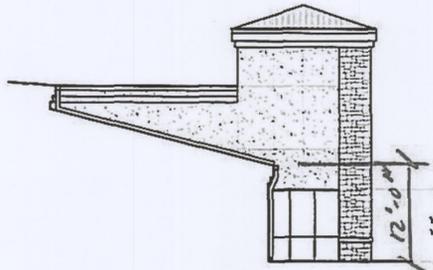
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

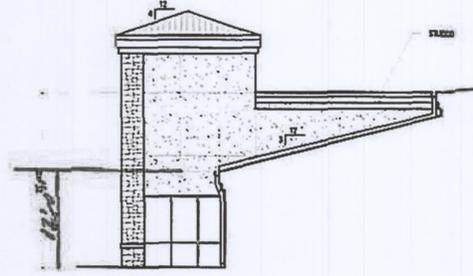


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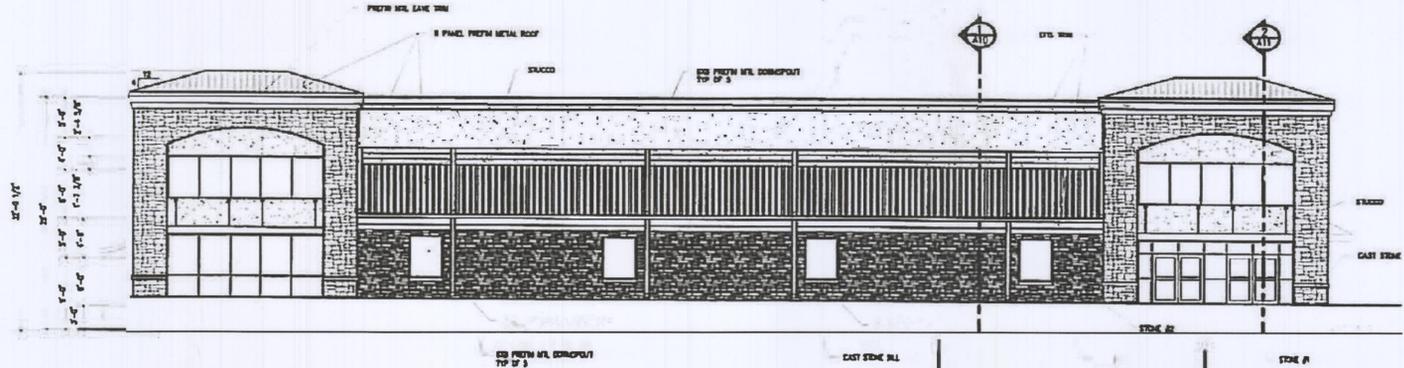
CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



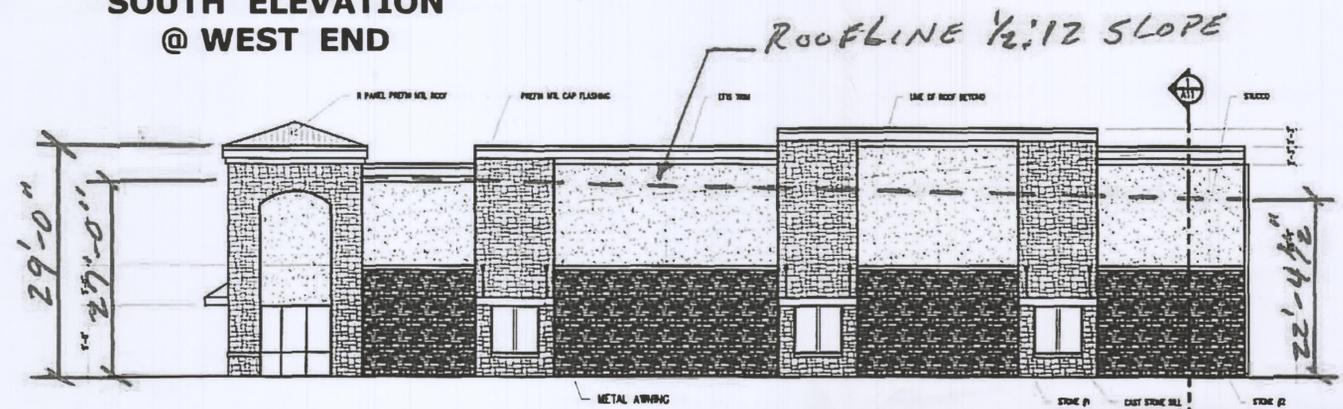
**NORTH ELEVATION  
@ WEST END**



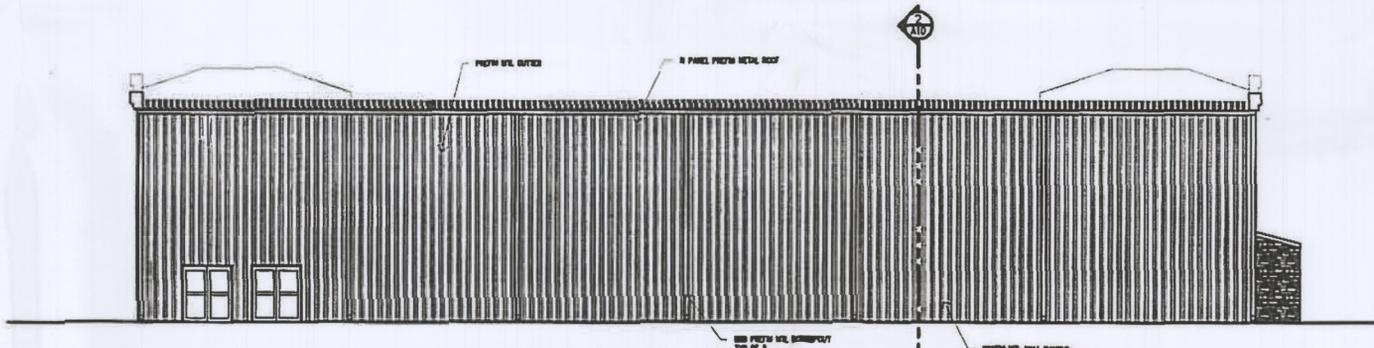
**SOUTH ELEVATION  
@ WEST END**



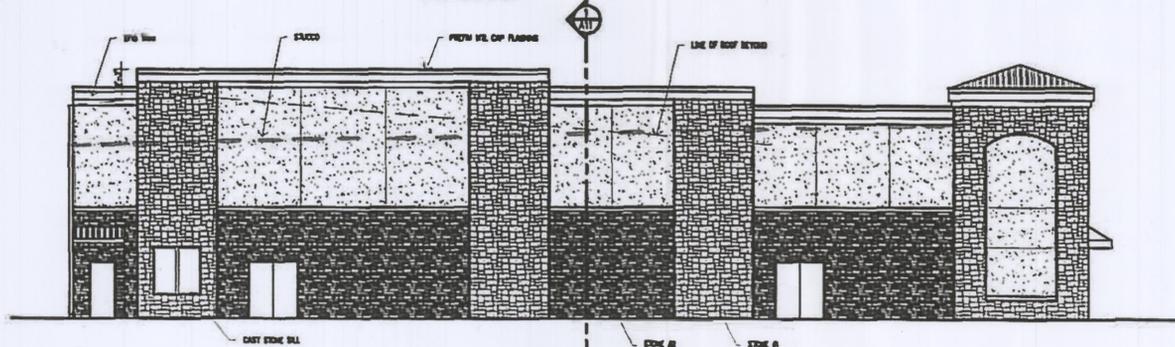
**WEST ELEVATION**  
93% STONE MASONRY  
7% EFIS TRIM



**SOUTH ELEVATION**  
57% STONE MASONRY  
37% STUCCO MASONRY  
6% EFIS TRIM



**EAST ELEVATION**  
61% STONE MASONRY  
30% STUCCO MASONRY  
9% EFIS TRIM



**NORTH ELEVATION**  
53% STONE MASONRY  
39% STUCCO MASONRY  
8% EFIS TRIM

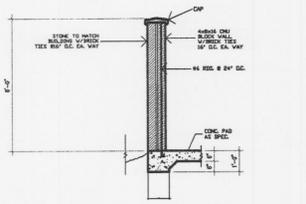
**PRICING & CONSTRUCTION  
GENERAL NOTES:**

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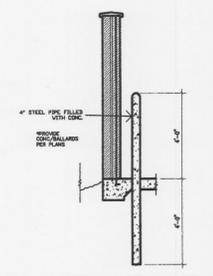
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LIFE SPRING CHURCH ROCKWALL, TEXAS	
<b>EXTERIOR ELEVATIONS</b>	
Scale: 3/32" = 1'-0"	By:
Date: MM/DD/YY	Revision:
Project No.: 140311	No.:
Designed: GH	Date:
Drawn: GH	
Checked: BM	
SHEET <b>A4</b>	OF <b>19</b>

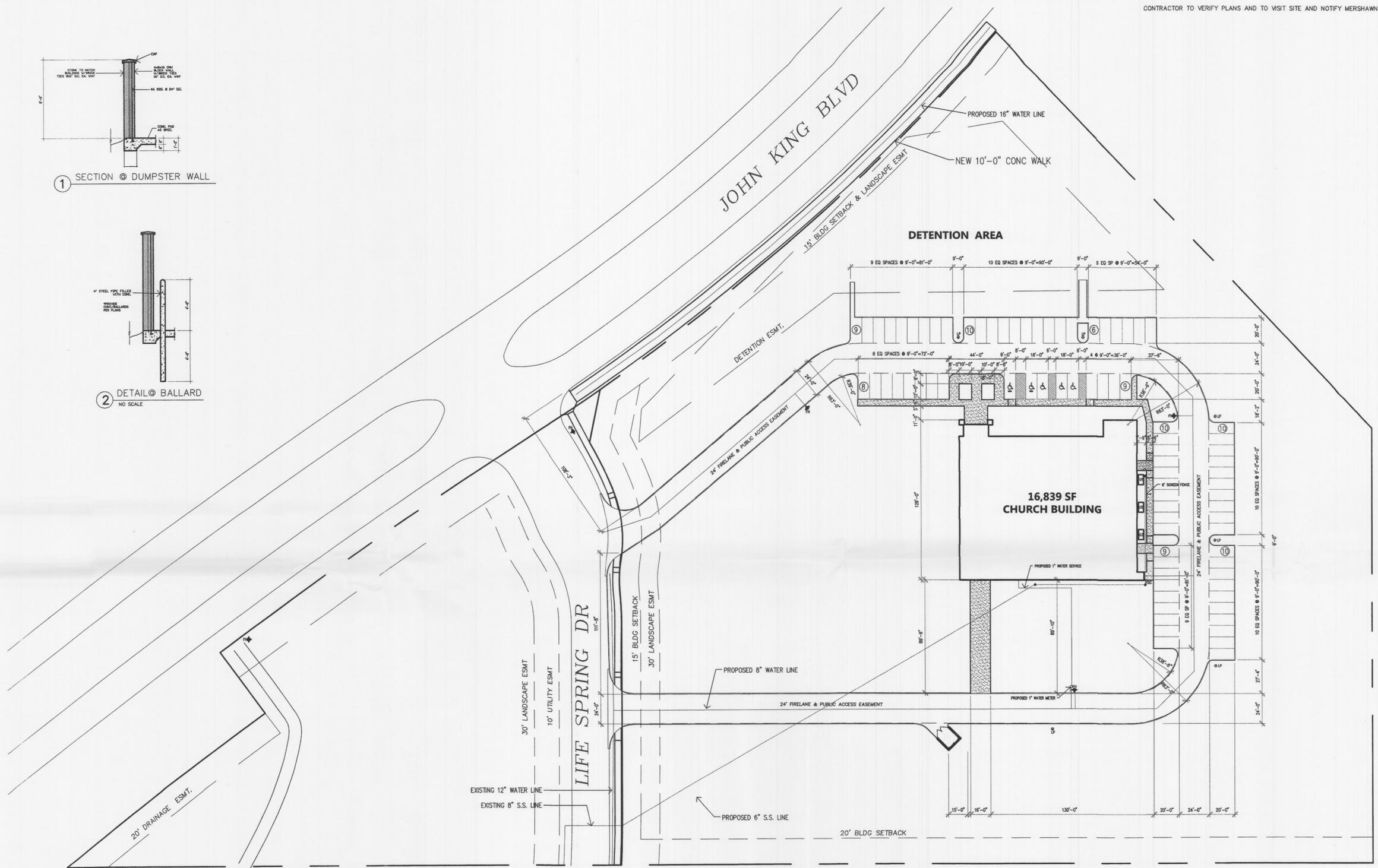
CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



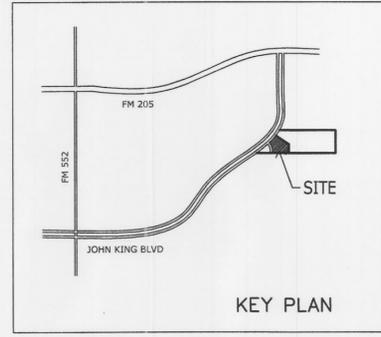
1 SECTION @ DUMPSTER WALL



2 DETAIL @ BALLARD  
NO SCALE



W.W. CARUTH, JR.  
ADDITION  
VOLUME 66 PAGE 493



KEY PLAN

**PARKING REQUIREMENTS**

- CHURCH 1/4 SEATS = 80
- 80 PARKING SPACES REQUIRED
- 81 PARKING SPACES PROVIDED
- 5 HANDICAP PARKING SPACE REQUIRED FOR PARKING OF 100-125
- 5 HANDICAP PARKING SPACES PROVIDED

NOTE: REFER TO CIVIL FOR ALL DIMENSIONAL CONTROLS  
ALL PAVING RADII ARE 4'-6" U.N.O.  
ALL PAVING DIMENSIONS ARE TO FACE OF CURB  
ALL SIDEWALKS ARE 5'-0" WIDE

**LIFE SPRING CHURCH**  
BEING A 6.99 AC. TRACT OF LAND SITUATED IN THE JOSEPH STRICKLAND SURVEY, ABST. NO. 187 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER**  
**LIFE SPRING CHURCH**  
PASTOR REX WALKER  
P.O. Box 886  
ROCKWALL, TEXAS 75087  
214-497-7206



**PRICING & CONSTRUCTION**  
**GENERAL NOTES:**

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RESIDENTIAL RESTAURANTS ARCHITECTS  
INSTITUTIONAL  
MEDICAL COMMERCIAL CHURCHES  
**MERSHAWN**  
2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087  
PHONE: 972-722-9302  
FAX: 972-249-2061

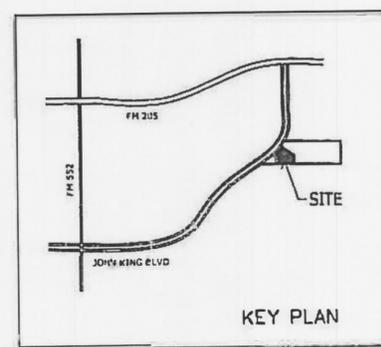
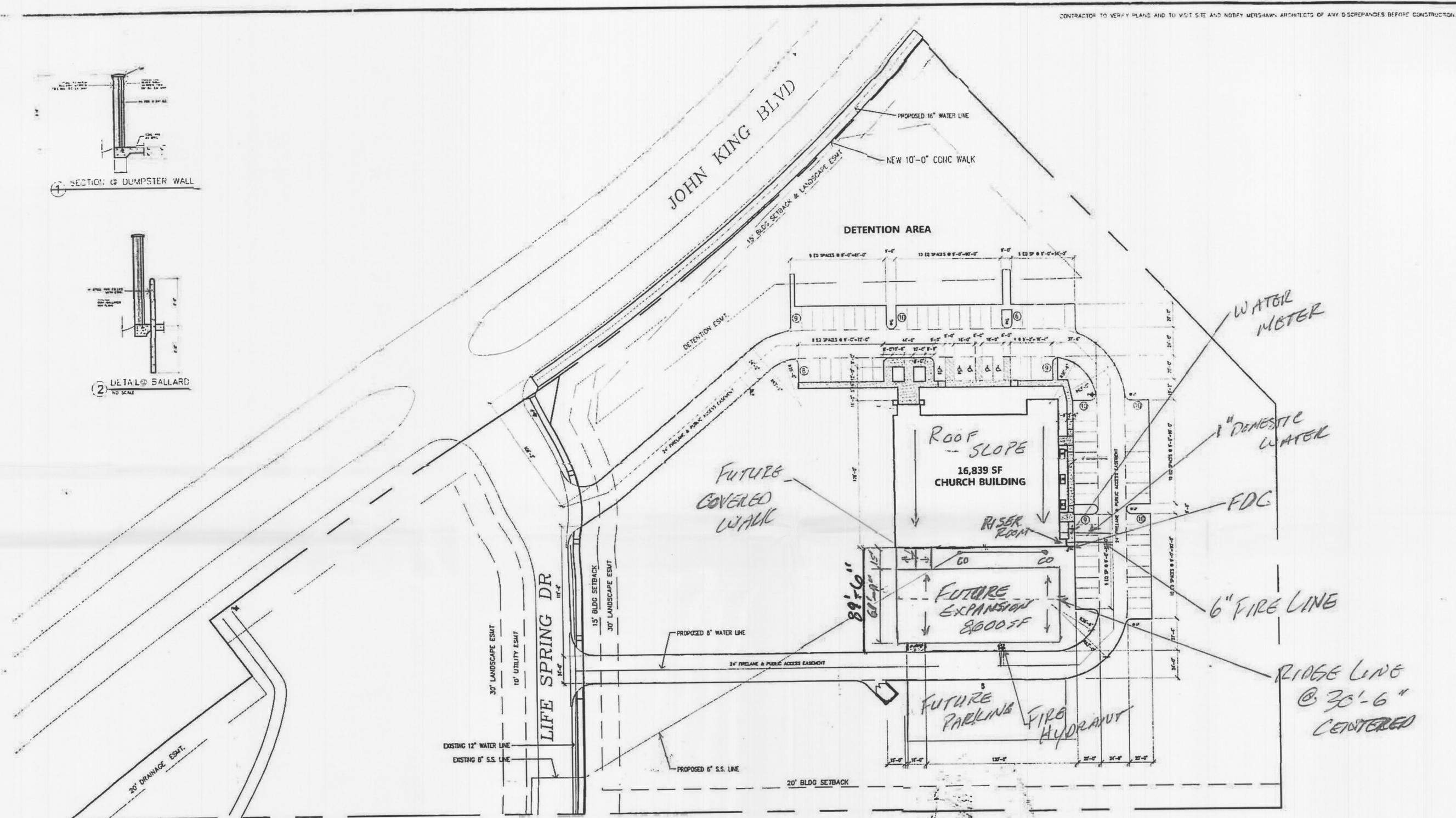
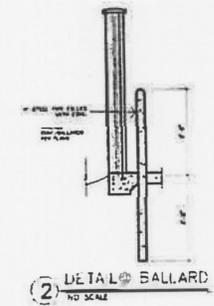
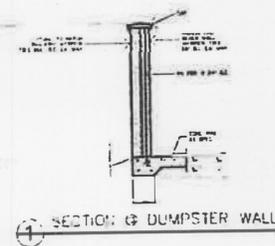
No.	Date	Revision	By



**LIFE SPRING CHURCH**  
**ROCKWALL, TEXAS**  
**SITE PLAN**

Scale: 1" = 40'-0"  
Date: MM/DD/YY  
Project No.: 140311  
Designed: GW  
Drawn: GW  
Checked: WM

**SHEET**  
**A1** OF **19**

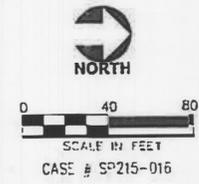


W.W. CARLUTH, JR.  
ADDITION  
VOLUME 66 PAGE 493

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 80 PARKING SPACES REQUIRED  
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 BEING A 6.99 AC. TRACT OF LAND SITUATED IN THE  
 JOSEPH STRICKLAND SURVEY, ABST. NO. 187  
 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
**OWNER**  
**LIFE SPRING CHURCH**  
 PASTOR PEK WALKER  
 P.O. Box 886  
 ROCKWALL, TEXAS 75087  
 214-497-7006



**PRICING & CONSTRUCTION**  
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Revision	By

**LIFE SPRING CHURCH**  
**ROCKWALL, TEXAS**

**SITE PLAN**

Scale: 1" = 40'-0"

Date: MM/DD/YY

Project No.: 140311

Designed: GW

Drawn: GW

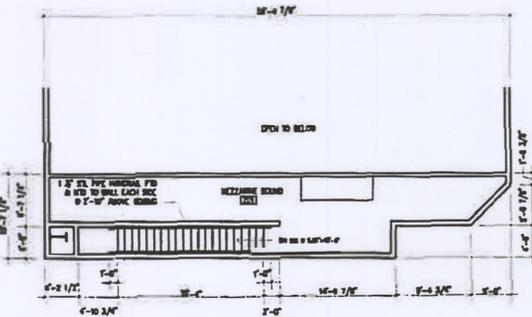
Checked: MW

SHEET **A1** OF **19**

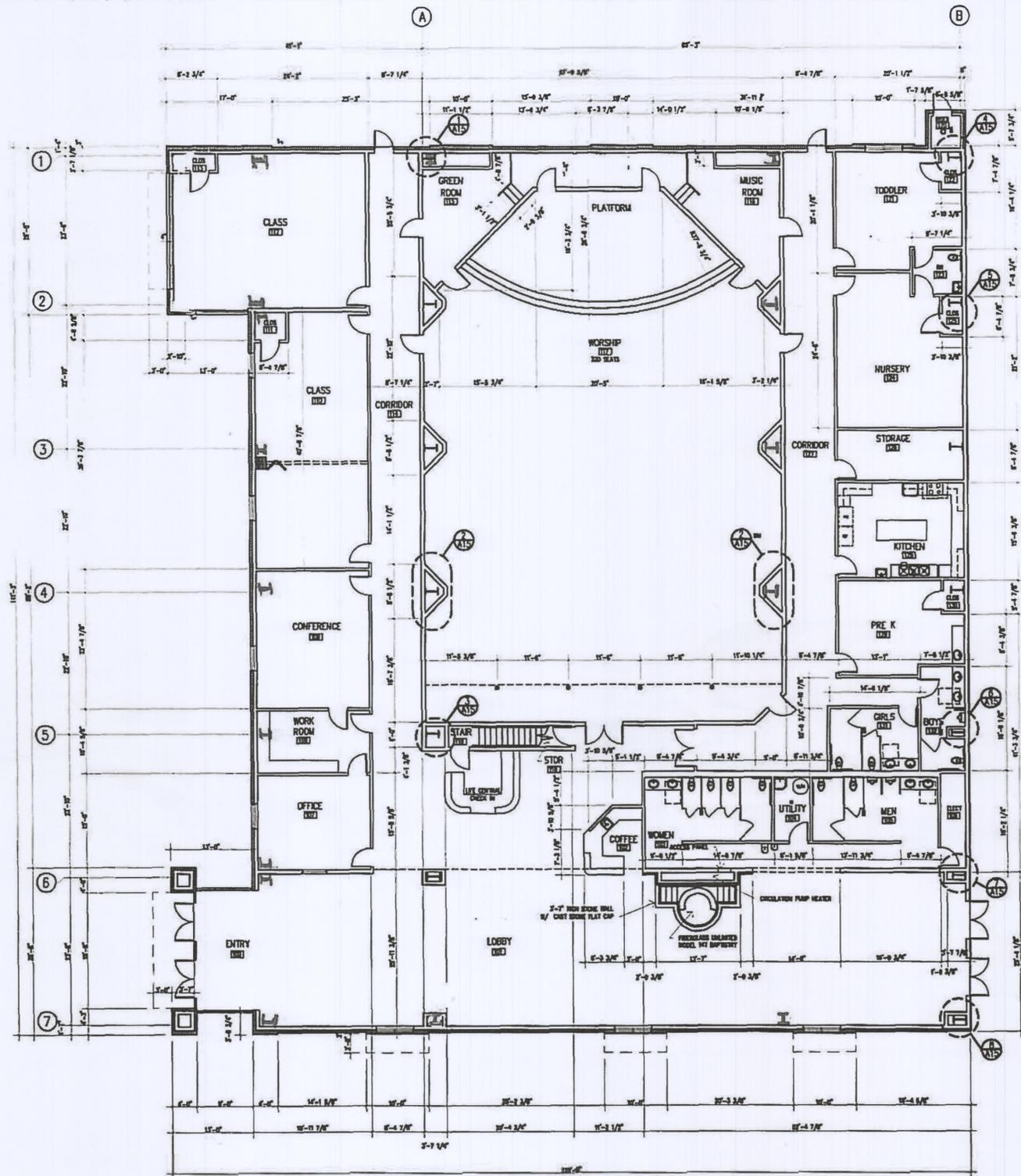
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**MEZZANINE SOUND PLAN**



**PRICING & CONSTRUCTION GENERAL NOTES:**

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No.	Date	Revision	By

**LIFE SPRING CHURCH  
ROCKWALL, TEXAS**

**FLOOR PLAN**

Scale: 3/32" = 1'-0"

Date: MM/DD/YY

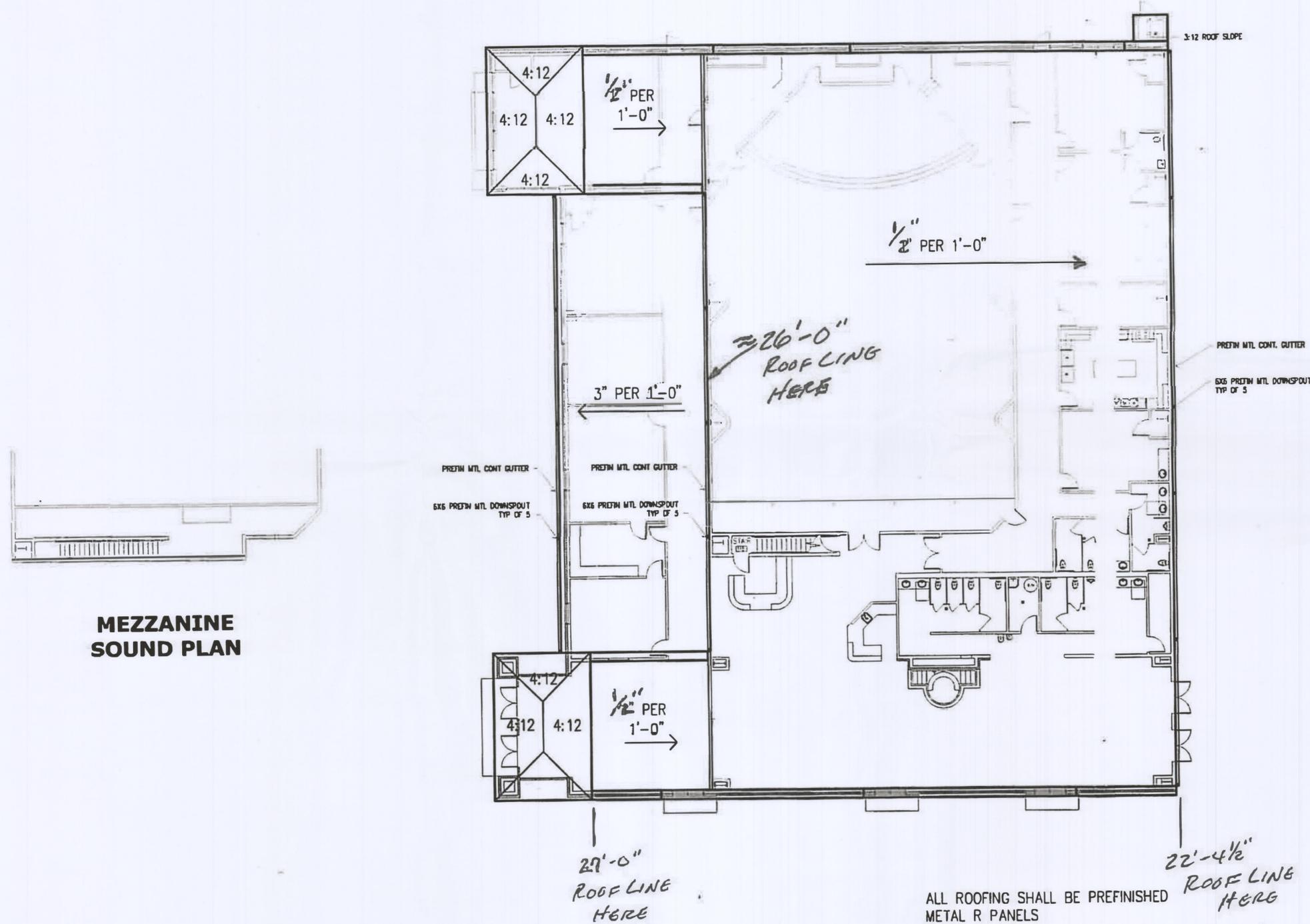
Project No.: 140311

Designed: CW

Drawn: CW

Checked: MW

SHEET  
**A3** OF  
19



**MEZZANINE  
SOUND PLAN**



**PRICING & CONSTRUCTION  
GENERAL NOTES:**

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6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS NEEDED FOR WORKING SYSTEMS AS NEEDED.

ALL ROOFING SHALL BE PREFINISHED METAL R PANELS

No.	Date	Revision	By

**LIFE SPRING CHURCH  
ROCKWALL, TEXAS**

**ROOF PLAN**

Scale: 3/32" = 1'-0"

Date: 08/08/11

Project No.: 140311

Designed: CW

Drawn: CW

Checked: WM

SHEET  
**A17** OF  
**19**