

AGENDA
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
October 11, 2016
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. **Approval of Minutes** for the *September 27, 2016* Planning and Zoning Commission meeting.
2. **P2016-043 (David)**
Discuss and consider a request by Jay Webb of Dalrock Homes, LLC for the approval of a final plat for Lots 1-10, Block A, Estates on the Ridge Subdivision, containing ten (10) single-family residential lots on an 18.84-acre tract of land identified as Tract 7-04 & 23 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located at the northwest corner of the intersection of FM-3549 and Cornelius Road, and take any action necessary.

APPOINTMENTS

3. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

PUBLIC HEARING ITEMS

4. **Z2016-030 (Korey)**
Hold a public hearing to discuss and consider a request by James Shaw for the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4692-acre parcel of land identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1910 Copper Ridge Circle, and take any action necessary.
5. **Z2016-031 (Ryan)**
Hold a public hearing to discuss and consider a request by Kasey Weadon of New Craft Brewing, LLC on behalf of the owner Benbrooke Ridge Partners, LP for the approval of an amendment to Planned Development District 1 (PD-1) for the purpose of allowing the *Brewery or Distillery (Excluding Brew Pub)* land use in the Planned Development District, being identified as ~39.5249-acre tract of land situated in the B. J. T. Lewis Survey, Abstract No. 255 and the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, located on the eastside of Ridge Road south of the intersection of Ridge Road [FM-740] and SH-205, and take any action necessary.
6. **Z2016-032 (Ryan)**
Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of *Ordinance No. 14-26* for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.
7. **P2016-040 (Korey)**
Discuss and consider a request by Chad & Lindsay Hudson for the approval of a replat for Lots 7 & 8, Block A, Independence Pass Addition being a replat of a 1.4-acre parcel of land identified as Lot 5, Block A, Independence Pass Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single family land uses, addressed as 107 Independence Place, and take any action necessary.

ACTION ITEMS

8. P2016-044 (David)

Discuss and consider a request by Chris Cuny, P.E. of FC Cuny Corporation for the approval of a reinstatement request for the preliminary plat for the Fontanna Ranch Addition in accordance with *Section 38-8(f)* of the Subdivision Ordinance contained in the Municipal Code of Ordinances, and being an 27.89-acre tract of land, zoned Planned Development District 67 (PD-67), generally located south of SH-276 and east of FM-549, originally approved by City Council on July 17, 2006, and take any action necessary.

9. SP2016-019 (Korey)

Discuss and consider a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1292 East Fork Drive, and take any action necessary.

10. SP2016-020 (Korey)

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway, and take any action necessary.

11. SP2016-021 (Korey)

Discuss and consider a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive, and take any action necessary.

12. SP2016-022 (David)

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

13. SP2016-023 (David) *POSTPONED TO THE 10-25-2016 P&Z MEETING*

Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC for the approval of a site plan for a multi-tenant commercial/retail building on a 1.56-acre tract of land being a portion of a larger 6.1091-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 8-4, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the southwest corner of Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

14. MIS2016-009 (Korey)

Discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a *Tree Mitigation Plan* in conjunction with an approved Planned Development (PD-81) for the Ridgecrest Subdivision being a 29.541-acre tract of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District No. 81 (PD-81) and located on the north side of Airport Road, west of the intersection of Airport Road and FM3549, and take any action necessary.

DISCUSSION ITEMS

15. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ P2016-042: Amending Plat for the Preserve, Phase 1 Addition [Approved]
- ✓ Z2016-023: SUP for 1970 Copper Ridge Circle (2nd Reading) [Approved]
- ✓ Z2016-025: Harbor Urban Center Condominiums (2nd Reading) [Approved]
- ✓ Z2016-028: Zoning Change AG to RO (2nd Reading) [Approved]

✓ Z2016-029: SUP for a Gas Station (2nd Reading) [Approved]

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 7th day of October, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
October 11, 2016
5:00 P.M.

ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, *Officers*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code, and take any action necessary.

2. SP2016-021 (Korey)

Discuss and consider a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive, and take any action necessary.

3. SP2016-023 (David) *POSTPONED TO THE 10-25-2016 ARB MEETING*

Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC for the approval of a site plan for a multi-tenant commercial/retail building on a 1.56-acre tract of land being a portion of a larger 6.1091-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 8-4, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the southwest corner of Quail Run Road and N. Goliad Street [*SH-205*], and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 7th day of October, 2016, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
September 27, 2016
6:00 P.M.

I. CALL TO ORDER

Chairman Craig Renfro called the meeting to order at 6:12 p.m. The Commissioners present at the meeting were, Johnny Lyons, Patrick Trowbridge, and Annie Fishman. Commissioners absent were Mark Moeller, Sandra Whitley, and Tracey Logan. Staff members present were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Korey Brooks, Planning Coordinator, Laura Morales, Assistant City Engineer, Amy Williams, Civil Engineer, Jeremy White and Fire Marshall, Ariana Hargrove.

II. CONSENT AGENDA

1. Approval of Minutes for the September 13, 2016 Planning and Zoning Commission meeting.

2. P2016-042

Discuss and consider a request by Greg Helsel of Spiars Engineering on behalf of the owner Will Shaddock of Master Developers-SNB, LLC for the approval of an amended plat for Phase 1 of the Preserve Subdivision, containing 132 single-family residential lots on a 52.545-acre tract of land identified as the Preserve, Phase 1 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single Family 10 (SF-10) District land uses, located at the southeast at corner of the intersection of Highland Drive and East Fork Drive, and take any action necessary.

3. SP2016-018

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Natalee Davenport for the approval of a site plan for the purpose of converting an existing single-family home into an office building on a 0.24-acre parcel of land identified as a part of Lot 1, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 902 N. Goliad Street, and take any action necessary.

Chairman Renfro made a motion to approve the consent agenda. Commissioner Lyons seconded the motion which passed by a vote of 4-0, with Commissioners Whitley, Logan and Moeller absent.

III. APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Chairman Renfro stated the item would be discussed at the time site plans that were reviewed by the Architectural Review Board come up.

IV. DISCUSSION ITEMS

5. Z2016-030

Hold a public hearing to discuss and consider a request by James Shaw for the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4692-acre parcel of land identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1910 Copper Ridge Circle, and take any action necessary.

Planner Korey Brooks stated that applicant was present.

66 Chairman Renfro asked the applicant to come forward.

67
68 James Shaw
69 1910 Copper Ridge Circle
70 Rockwall, TX
71

72 Mr. Shaw came forward and stated the reason for the request is to allow him to store quite a bit
73 of equipment he has and also to have a place to work on.
74

75 Chairman Renfro asked for questions for the applicant from the Commission.
76

77 Chairman Renfro asked what he would be storing. Mr. Shaw stated he would be storing a boat,
78 several trailers and work equipment.
79

80 Commissioner Trowbridge asked if there would be a business run out of the building. Mr. Shaw
81 stated there would not.
82

83 Mr. Brooks added that the reason for the SUP is because it does not meet the masonry
84 requirements. He is not using the masonry of the main home; it is going to be a metal building.
85

86 There being no further questions, Chairman Renfro indicated the case will return to the
87 Commission for action at the next scheduled meeting.
88

89 6. Z2016-031

90 Hold a public hearing to discuss and consider a request by Kasey Weadon of New Craft Brewing, LLC
91 on behalf of the owner Benbrooke Ridge Partners, LP for the approval of an amendment to Planned
92 Development District 1 (PD-1) for the purpose of allowing the *Brewery or Distillery (Excluding Brew Pub)*
93 land use in the Planned Development District, being identified as ~39.5249-acre tract of land situated in
94 the B. J. T. Lewis Survey, Abstract No. 255 and the D. Atkins Survey, Abstract No. 1, City of Rockwall,
95 Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, located on the eastside of
96 Ridge Road south of the intersection of Ridge Road [FM-740] and SH-205, and take any action
97 necessary.
98

99 Planning Director, Ryan Miller, stated the applicant was present.
100

101 Chairman Renfro asked the applicant to come forward.
102

103 Kasey Weadon
104 1201 Ridge Road
105 Rockwall, TX
106

107 Mr. Weadon came forward and stated they are seeking to open and establish a microbrewery
108 which they will be selling and distributing less than fifteen thousand barrels of beer per year.
109 They will be a production brewery which classifies as not a brew pub and will not be
110 manufacturing or selling food from the location.
111

112 Chairman Renfro asked Mr. Weadon if this was his first brewery and what got him in this line of
113 business. Mr. Weadon stated it was his first brewery and his parents have owned restaurants
114 throughout his life as well as s a brother in law in production brewery. While he was an
115 undergraduate student began house brewing and striking up a business plan.
116

117 Commissioner Trowbridge asked will they be selling for retail. Mr. Weadon stated they will be
118 selling in what is called a tap room where they will sell their own beer which is the only one they
119 are legally allowed to sell and produce on site. They will also be offering tours of the brewery.
120

121 Commissioner Trowbridge asked what square footage would be for the retail portion for
122 customers walking in. Mr. Weadon stated the tap room will be about 4,000 square feet of space
123 and would be sealed off by fire walls and sectioned off.
124

125 Commissioner Trowbridge asked if in the business plan was there a projection of how much
126 would be retail versus how much would be wholesale that would be sold. Mr. Weadon stated that
127 due to how the market is and also because it depends on the location, it is difficult to say. They
128 are looking a big influx when they first open; they are looking to be very involved with the

129 community by running different events and having a grand opening and those will create
130 different influxes of sales.

131
132 Commissioner Lyons asked what the hours of operation would be. Mr. Weadon stated they are
133 looking at being open Wednesday thru Sunday. On weekdays it would be 5:00-10:00 p.m. and on
134 the weekends the hours would be extended to possibly noon to midnight or 11:00 but no later
135 than midnight. They will be doing tours as most typical breweries do and that is the reason for
136 opening earlier on the weekends when those will take place.

137
138 Commissioner Lyons asked Mr. Miller that with this location being zoned Commercial, for a
139 microbrewery that is more for a Light Industrial; it does require the change and therefore the
140 reason why the proposal needed to come before the Commission. Mr. Miller explained that the
141 Cities ordinances and codes were written before the big shift in the Texas Alcoholic Beverage
142 Code. Breweries have changed in the way they operate, especially microbreweries in the last few
143 years. The Code treats breweries more like an industrial type use. There are other breweries in
144 the city one of which went in at a Light Industrial area which is allowed by right. This area is
145 zoned PD-1 it is one of the first PD's of the City which was zoned for shopping centers which is
146 no longer a use and is tied to the General Retail District standard. Mr. Miller went on to explain
147 that the brewery use has really changed, if one looks at Dallas some of the other areas they are
148 integrating to Commercial Retail areas pretty successfully.

149
150 Mr. Miller clarified the request by stating that right now the Commission is just looking to
151 inserting this use to Planned Development District 1. The entire PD did have to be opened up,
152 but it will only affect Area 1 as that's the area regulated by Ordinance No. 7202, which is the
153 original PD Ordinance. What that will do is allow that use, right now it is being proposed as a by
154 right use. In comments given to the applicant it was suggested to potentially look at a Specific
155 Use Permit because of the adjacencies and also it gives the Planning and Zoning Commission
156 and City Council some discretion with future uses moving forward. That will be brought back at
157 the following public hearing meeting in an ordinance format.

158
159 Chairman Renfro expressed that to be the direction he was looking at because of the proximity
160 to the residential areas, through a Specific Use Permit it would allow to for some control to be
161 included. Chairman Renfro asked the applicant if that would be something they would consider
162 doing. Mr. Weadon stated that it would be something they would consider.

163
164 Mr. Miller added that right now the zoning for all of PD-1 is being opened and all three areas that
165 make up PD-1 were notified within 500 feet. If this was an allowed by right use, should the zoning
166 be approved, the applicant would then move straight to the Certificate of Occupancy portion of
167 the process; however if the Commission requires a Specific Use Permit the applicant would be
168 required to come back in. SUP's add additional constraints based on individual locations and
169 the specific lease area would be tied down in an ordinance with regulations associated with the
170 use and the property and would be a two stage zoning process.

171
172 There being no further questions, Chairman Renfro indicated the case will return to the
173 Commission for action at the next scheduled meeting.

174
175 7. Z2016-032

176 Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on
177 behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District
178 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the
179 purpose of incorporating changes to the development standards contained in Exhibit 'C' of *Ordinance*
180 *No. 14-26* for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within
181 the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north
182 of FM-552 and west of Breezy Hill Road, and take any action necessary.

183
184
185 Planning Director, Ryan Miller, stated his applicant was present.

186
187 Noah Flabiano
188 8214 Westchester suite 710
189 Dallas, TX
190

191 Mr. Flabiano came forward and gave a brief summary and provided a power point outlining the
192 request which is to have 40 units with 60 foot lots with the option of some having front entry
193 garages.
194

195
196 Mr. Miller added that this request came before the Commission as 50's previously and the
197 Planning and Zoning Commission made a recommendation that it be 60's as opposed to 50's
198 and that carried to Council and it was approved at first reading that way; however the applicant
199 requested to withdraw the case in order to bring it back in its current format adding front entry.
200 The only thing that is changing in the ordinance beside the lot E type being added in is the
201 ability to do a mixture of front entry and j-swing whereas previously, had it been approved at
202 second reading it would have just been j-swing only in one pod.
203

204 Chairman Renfro asked the applicant to clarify how the option for the front entry would be.
205

206 Adam Buzcek
207 8214 Westchester suite 710
208 Dallas, TX
209

210 Mr. Buzcek came forward and stated concerning the front entry option they would like to have
211 the ability to have some front entry mix of product in this area that will back up the commercial
212 area going with the 60 foot lot size. They are having customers that would like a bigger backyard
213 and the front entry provides about 20 feet of extra backyard with the same size house. It is
214 basically market driven and would like to have more options. Concerning how many will be front
215 entry, it will be inner mixed.
216

217 Chairman Renfro expressed concern of not having a certain allocation for how many front entry
218 there will be from the beginning and asked the applicant if they would be willing to do an
219 allocation. Mr. Buzcek stated they would and will discuss it with staff.
220

221 Commissioner Lyons made comment on also wanting some allocation and does like the idea of
222 variety but by allocating it will provide some control of that variety staying intact.
223

224 Commissioner Trowbridge asked if the PD has the anti-monotony requirements. Mr. Miller stated
225 that the anti-monotony requirements don't currently pertain to garage swing because the
226 existing PD just incorporated the two garage swings required by the UDC the swing of the
227 driveway was not addressed in the anti-monotony requirement in the same manner.
228

229 There being no further questions, Chairman Renfro indicated the case will return to the
230 Commission for action at the next scheduled meeting.
231

232 8. P2016-040
233 Discuss and consider a request by Chad & Lindsay Hudson for the approval of a replat for Lots 7 & 8,
234 Block A, Independence Pass Addition being a replat of a 1.4-acre parcel of land identified as Lot 5,
235 Block A, Independence Pass Addition, City of Rockwall, Rockwall County, Texas, zoned Planned
236 Development District 8 (PD-8) for single family land uses, addressed as 107 Independence Place, and
237 take any action necessary.
238

239 Planner Korey Brooks gave brief explanation of the request stating the plat does meet the
240 technical requirements and is coming before the Commission because it is a residential replat
241 where the applicant is adding an additional lot and therefore one notification was sent out.
242 Applicant is subdividing the lot because he is going to build a house on each lot.
243

244 Commissioner Trowbridge asked if there would be access for a street between lot 7 and lot 8.
245 Mr. Brooks stated there will be shared access for both lots from the cul-de-sac and would be a
246 private road.
247

248 There being no further questions, Chairman Renfro indicated the case will return to the
249 Commission for action at the next scheduled meeting.
250

251 9. P2016-043
252 Discuss and consider a request by Jay Webb of Dalrock Homes, LLC for the approval of a final plat for
253 Lots 1-10, Block A, Estates on the Ridge Subdivision, containing ten (10) single-family residential lots

254 on an 18.84-acre tract of land identified as Tract 7-04 & 23 of the W. M. Dalton Survey, Abstract No. 72,
255 City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial
256 Jurisdiction (ETJ), located at the northwest corner of the intersection of FM-3549 and Cornelius Road,
257 and take any action necessary.

258
259 **Senior Planner, David Gonzales, stated the applicant was present.**

260
261 **Chairman Renfro asked the applicant to come forward.**

262
263 **Jay Webb**
264 **912 Hamilton Court**
265 **McClendon Chism, TX**

266
267 **Mr. Webb came forward and stated the subject property is a 19 acre tract in the ETJ and has it**
268 **divided into 10 individual lots of 1 ½ -2 acre tracts. He received some comments from the County**
269 **that it needed to be an acre and a half net of ponds. They have met with TXDOT concerning the**
270 **lots that face FM3549 and they've approved.**

271
272 **There being no further questions, Chairman Renfro indicated the case will return to the**
273 **Commission for action at the next scheduled meeting.**

274
275
276 10. SP2016-019
277 Discuss and consider a request by Kevin Patel, P. E. on behalf of William Shaddock of Master
278 Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land
279 identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey,
280 Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41
281 (PD-41) and Single Family 10 (SF-10) District, addressed as 1292 East Fork Drive, and take any action
282 necessary.

283
284 **Planner, Korey Brooks, stated the applicant was present.**

285
286 **Chairman Renfro asked the applicant to come forward.**

287
288 **Kevin Patel**
289 **1503 Istorla Drive**
290 **Allen, TX**

291
292 **Mr. Patel came forward came forward and stated they are proposing a 13,000 square foot**
293 **daycare facility and is available for any question from the Commission.**

294
295 **Chairman Renfro asked if this area is already zoned for daycare facilities.**

296
297 **Mr. Brooks stated it is and added that a few years ago the City Council approved an SUP for**
298 **daycare facilities with certain conditions which are that for the landscape plan a ten foot**
299 **landscape buffer will need to be in place along North Lakeshore and Old Alamo Road which is**
300 **East Fork at least one evergreen canopy tree per thirty linear feet, along with a combination of**
301 **berms, shrubs and accent trees to ensure appropriate screening of the parking areas from**
302 **adjacent residential uses. That all permanent free standing signs shall be limited to monument**
303 **signs not exceeding five feet in height or a maximum of sixty square feet in area per sign face.**
304 **That in addition to the requirements of the outdoor lighting ordinance, no light pole including**
305 **base or wall-mounted light fixture shall exceed fifteen feet in height, and all lighting fixtures shall**
306 **focus light downward and be contained entirely on the site. That any daycare constructed on**
307 **this site shall be limited to single story, and shall be designed with a pitched roof system. That**
308 **all outdoor play areas shall be located towards the rear of the building as depicted on the**
309 **conceptual site plan. The existing prescriptive right-of-way of the original Alamo Road shall be**
310 **corrected prior to or concurrently with the final replat of the subject property.**

311
312 **Chairman Renfro asked for questions for staff or the applicant.**

313
314 **Commissioner Trowbridge asked for clarification of what City Council had approved the site for,**
315 **asked what the Commission is approving. Mr. Brooks stated the Commission is only approving**

316 the site plan. The original SUP had certain guidelines the applicant had to follow and they have
317 done so.

318
319 Mr. Brooks added that staff and the applicant met with the Architectural Review Board earlier
320 and they approved the building elevations that were submitted.

321
322 There being no further questions, Chairman Renfro indicated the case will return to the
323 Commission for action at the next scheduled meeting.

324
325
326 11. SP2016-020

327 Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris
328 of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-
329 acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian
330 Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development
331 District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer
332 Lee Drive and Rockwall Parkway, and take any action necessary.

333
334 Planner, Korey Brooks, stated the applicant was present.

335
336 Chairman Renfro asked the applicant to come forward.

337
338 Matt Moore
339 1903 Central Drive
340 Bedford, TX

341
342 Mr. Moore came forward and stated they are proposing a 55,000 square foot medical office
343 building adjacent to the existing medical office building and hospital. It will have roughly about
344 280 parking spaces; the architecture of the building is matching the first medical office building
345 and will mimic the same landscape features.

346
347 Chairman Renfro made comment of the building ties to what already exists and asked the
348 Commission if there were any questions.

349
350 Chairman Renfro asked if the Architectural Review Board review the item. Mr. Brooks stated that
351 part of the original site plan outlined that there would be a future expansion and the masonry
352 variance that was approved would apply for this building as well as long as it matches the
353 existing building and they have done that.

354
355 There being no further questions, Chairman Renfro indicated the case will return to the
356 Commission for action at the next scheduled meeting.

357
358 12. SP2016-021

359 Discuss and consider a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a
360 site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T.
361 Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned
362 Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast
363 corner of the intersection of FM-552 and Stone Creek Drive, and take any action necessary.

364
365 Planner, Korey Brooks, stated the applicant was present.

366
367 Chairman Renfro asked the applicant to come forward.

368
369 Charles Voight
370 (No address given)

371
372 Mr. Voight came forward and stated he was representing Mr. Sharma and he gave brief
373 explanation of request stating it is a 12,000 square feet one story private school with about 200
374 students and ten classrooms. He met with the Architectural Review Board earlier in the evening
375 and they had several recommendations concerning the front elevation, add more stone in a few
376 areas and increase the dormers and they will be addressing those for the next meeting.

377

378 Mr. Brooks added that the ARB also recommended that on the north elevation that faces FM-552
379 on the middle wall that there be more landscaping and stone. Mr. Brooks stated this use is
380 allowed by right in this PD.
381

382 Commissioner Trowbridge asked what the land use for PD-70 which is across the street was. Mr.
383 Brooks stated that it is residential. Mr. Miller added that the subject property is in PD-70 which is
384 mixed uses and incorporates the retail at the hard corner of FM-552 and SH-205.
385

386 There being no further questions, Chairman Renfro indicated the case will return to the
387 Commission for action at the next scheduled meeting.
388
389

390 13. SP2016-022

391 Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald
392 Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing
393 industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of
394 Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276
395 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.
396

397
398 Senior Planner, David Gonzales, gave brief explanation of request stating the subject property is
399 zoned Heavy Commercial and has been there for quite some time and there are associated
400 variances and exceptions that are being proposed. Those were discussed earlier with the
401 Architectural Review Board and they made a recommendation for approval of the variances
402 associated with what the applicant plans on doing, however there is one item that the
403 Commission will have to consider and that is the parking of the facility which is nine spaces
404 short.
405

406 Chairman Renfro asked the applicant to come forward.
407

408 Gerald Houser
409 1108 Aspen Court
410 Rockwall, TX
411

412 Mr. Houser came forward and stated the subject property is on an industrial site and they plan to
413 build two buildings. He is requesting to keep it at the existing 19 parking spaces, there are 10
414 employees.
415

416 Chairman Renfro asked what would be needed to meet the parking requirements. Mr. Gonzales
417 stated it is 1 per 300 square feet.
418

419 Commissioner Fishman asked if aside from employees would there be any additional traffic
420 generated. Mr. Houser stated there would not be any additional traffic.
421

422 There being no further questions, Chairman Renfro indicated the case will return to the
423 Commission for action at the next scheduled meeting.
424

425 14. SP2016-023

426 Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC for the approval of
427 a site plan for a multi-tenant commercial/retail building on a 1.56-acre tract of land being a portion of a
428 larger 6.1091-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 8-4,
429 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General
430 Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located
431 at the southwest corner of Quail Run Road and N. Goliad Street [SH-205], and take any action
432 necessary.
433

434 Senior Planner, David Gonzales, stated the Architectural Review Board made a recommendation
435 to the applicant and what they are going to do is revise their elevations and bring those back for
436 the ARB to review the revised elevations at the next scheduled meeting. Mr. Gonzales provided a
437 sample bard and stated that the subject property being located within PD-65 and on an Overlay
438 District requires natural or quarried stone and the applicant is providing a cultured stone.
439

440 Commissioner Trowbridge asked if the concern is that the applicant is requesting to use
441 manufactured stone instead of natural stone. Mr. Gonzales stated that was correct.
442

443 Commissioner Trowbridge asked if the 20% stone requirement would apply. Mr. Gonzales stated
444 20% would be required and looking at the elevations they are providing more stone on four of
445 the elevations however on the front elevation they are not up to the 20% and that will be a
446 variance to the Overlay District.
447

448 Chairman Renfro asked if the ARB had approved the material. Mr. Gonzales stated the applicant
449 will be bringing back revised elevations and the ARB will be looking at a manufactured cut sheet
450 to ensure that the materials meet the high quality standards outlined in the ordinance.
451

452 Chairman Renfro asked the applicant to come forward.
453

454 **Worth Williams**
455 **700 Eastern Ave.**
456 **Dallas, TX**
457

458 Mr. Williams came forward and stated they will work with staff as well as the Architectural
459 Review Board and bring back the revised elevations they are asking for.
460

461 Commissioner Trowbridge asked how many tenants space would allow for and were there any
462 pre-leasing to date. Mr. Williams stated there will probably be six tenants and they have about 60
463 percent pre-leased.
464

465 There being no further questions, Chairman Renfro indicated the case will return to the
466 Commission for action at the next scheduled meeting.
467

468 15. Director's Report of post Council meeting outcomes of Planning & Zoning cases.
469

- 470 ✓ P2016-038: Lots 1 & 2, Block A, Autumn Addition [*Approved*]
- 471 ✓ P2016-039: Lots 1 & 2, Block A, Burke Addition [*Approved*]
- 472 ✓ SP2016-016: Exception and Variance at 496 National Drive [*Approved*]
- 473 ✓ SP2016-017: Variance to the Articulations Requirements for Life Springs Church [*Approved*]
- 474 ✓ Z2016-026: PD Development Plan for Townhomes in PD-32 (*2nd Reading*) [*Approved*]
- 475 ✓ Z2016-023: Amendment to S-118 for 1970 Copper Ridge Circle (*1st Reading*) [*Approved*]
- 476 ✓ Z2016-025: PD Development Plan for Condominiums in PD-32 (*1st Reading*) [*Approved*]
- 477 ✓ Z2016-028: Zoning Change for 2001 Ridge Road (AG to RO) (*1st Reading*) [*Approved*]
- 478 ✓ Z2016-029: SUP for a Gas Station at the SWC of SH-205 & FM-549 (*1st Reading*) [*Approved*]
- 479

480 **Planning Director, Ryan Miller, provided a brief update about the outcome of the above**
481 **referenced case at the City Council meeting. No discussion took place concerning this agenda**
482 **item.**
483
484

485 V. ADJOURNMENT
486

487 **The meeting adjourned at 7:16 p.m.**
488

489 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL,

490 Texas, this _____ day of _____, 2016.
491

492 _____
493 _____
494 _____
495 _____
496 _____
497 _____
498 _____
499 _____
500 _____
501 _____

Craig Renfro, Chairman

Attest:

Laura Morales, Planning Coordinator

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 10/11/2016

APPLICANT: Jay Webb of *Dalrock Homes, LLC*

AGENDA ITEM: **P2016-043**; Estates on the Ridge Subdivision (*ETJ Final Plat*)

SUMMARY:

Discuss and consider a request by Jay Webb of Dalrock Homes, LLC for the approval of a final plat for Lots 1-10, Block A, Estates on the Ridge Subdivision, containing ten (10) single-family residential lots on an 18.84-acre tract of land identified as Tract 7-04 & 23 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located at the northwest corner of the intersection of FM-3549 and Cornelius Road, and take any action necessary.

PLAT INFORMATION:

- ✓ The purpose of the applicant's request is to final plat 10 single-family residential lots on an 18.84-acre tract of land situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). The development will be known as the Estates on the Ridge Subdivision. The development will be located at the northwest corner of the intersection of FM-3549 and Cornelius Road.
- ✓ Per the *Interlocal Cooperation Agreement* between the City of Rockwall and Rockwall County, any property situated within Rockwall County in the City's Extraterritorial Jurisdiction (ETJ) is subject to the City's subdivision regulations. In addition, the City of Rockwall is the governing body responsible for approving said plats upon a recommendation/comment from the County's designated representative. In this case, the plat has been reviewed by Rockwall County and the County's comments have been provided to the applicant.
- ✓ The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for plats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ✓ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the Recommendation section below.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the final plat as requested, staff would offer the following conditions:

- 1) All staff comments (*Project Plan Review*) provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit and to include the following additional Planning comments;
 - a. Adherence to all Engineering and Fire Department standards shall be required.

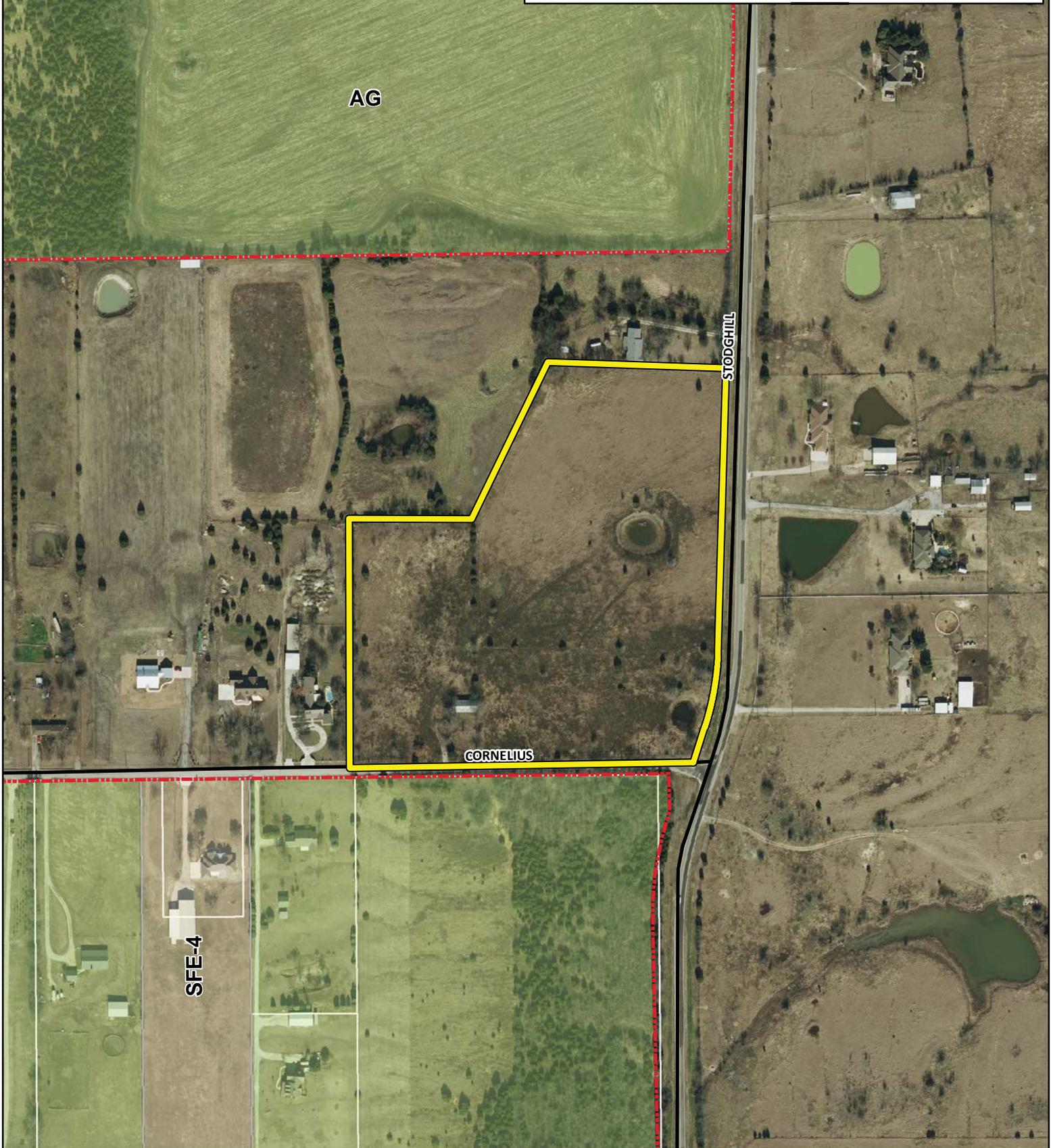
- 2) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 10.04.2016						
The following staff comments (including Rockwall County comments) are to be addressed and resubmitted no later than Tuesday, October 19, 2016. Please provide two large copies [18" X 24" FOLDED] and one PDF version for a final review by staff:						
1. Adherence to all Engineering and Fire Department standards shall be required.						
2. Provide City staff with a .dwg file. The CD submitted was blank.						
3. Rockwall County to approve plat.						
4. Please add this statement to the General Notes as #6: If ponds are proposed to be filled-in, a Wetland and Waters of the U.S. determination will need to be completed, submitted to the City of Rockwall, and approved prior to any grading and/or building.						
** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **						
Meeting Dates to Attend: Although it is not mandatory, staff would recommend that someone be present for all meetings scheduled below in the event there are questions from either P&Z, or City Council. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745..						
Planning - Consent Agenda: October 11, 2016 (6:00 p.m.)						
City Council - Consent Agenda: October 17, 2016 (6:00 p.m.)						
PLANNING	David Gonzales	9/16/2016	9/23/2016	9/22/2016	6 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 09.22.2016						
<p>Discuss and consider a request by Jay Webb of Dalrock Homes, LLC for the approval of a final plat for Lots 1-10, Block A, Estates on the Ridge Subdivision, containing ten (10) single-family residential lots on an 18.84-acre tract of land identified as Tract 7-04 & 23 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located at the northwest corner of the intersection of FM-3549 and Cornelius Road, and take any action necessary.</p> <p>The following staff comments (including Rockwall County comments) are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide three large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:</p> <ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-043" on the lower right corner on all pages of the revised plat. 3. Provide City staff with a .dwg file. 4. Rockwall County to approve plat. 5. County comments (Ron Merritt - e-mail): I have called the surveyor about lot 3-4-5 cant use the ponds as part of the 1 ½ acres. If they will be filled in then no problems. I will have to present this to the court for approval. If ponds are not filled, provide a net acreage for each lot. 6. Engineering comments regarding ponds: If ponds are proposed to be filled in, a Wetland and Waters of the US determination will need completed, submitted to the City and approved prior to any grading/building. 7. Use a lighter gray scale for the contour lines. 8. Remove tree layer from plat. 9. Provide adjacent property owner information for lots east of subdivision. 10. Provide Rockwall County Judge Signature Block. 11. Correct language in the standards signature block under "Approved" to indicate "...was approved by the City Council of the..." 12. Notary Certificate is not necessary when plat is stamped by Surveyor. <p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **</p> <p>Meeting Dates to Attend; Please be sure that a representative is present during both scheduled meetings as indicated below. The meetings will be held in the City's Council Chambers. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Planning - Consent Agenda: September 27, 2016 (6:00 p.m.)</p> <p>City Council - Consent Agenda: October 3, 2016 (6:00 p.m.)</p>						

0 105 210 420 630 840 Feet

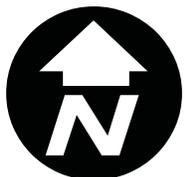
P2016-043- LOTS 1-10, BLOCK A, ESTATES ON THE RIDGE
FINAL PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Dalrock Homes, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Owner: Dalrock Homes

Being a tract of land situated in the William Dalton Survey, Abstract No. 72 in the City of Rockwall, Rockwall County, Texas, being all of a tract of land conveyed to Dalrock Homes by deed recorded in Instrument No. _____, Official Public Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a Mag Nail set in asphalt at the intersection of the West line of N. F.M. 3549 (N. Stodghill Road—a variable width right-of-way) and the approximate centerline of Cornelius Road (a variable width right-of-way) being the Northeast corner of a tract of land conveyed to Mary Warriner Williams and Ernskina Williams, Jr. by deed recorded in Volume 1122, Page 15, Deed Records, Rockwall County, Texas;

Thence South 88 degrees 46 minutes 57 seconds West, leaving said intersection and along the said approximate centerline of Cornelius Road, a distance of 886.95 feet to a Mag Nail set in asphalt at the Southeast corner of a tract of land conveyed to Jimmy Pannell and Crystal Pannell by deed recorded in Volume 5104, Page 289, Deed Records, Rockwall County, Texas;

Thence North 00 degrees 26 minutes 06 seconds West, along the East line of said Panell tract, a distance of 644.31 feet to a 1/2 inch iron rod with yellow cap stamped "CBG SURVEYING" set at the Northeast corner of said Panell tract, being in the South line of a tract of land conveyed to Allen Brothers Investment Company by deed recorded in Volume 153, Page 629, Deed Records, Rockwall County, Texas;

Thence North 89 degrees 54 minutes 32 seconds East, along the said South line of Allen Brothers Investment Company tract, a distance of 316.33 feet to a 1/2 inch iron rod with yellow cap stamped "CBG SURVEYING" set at the Southeast corner of said Allen Brothers Investment Company tract;

Thence North 25 degrees 37 minutes 12 seconds East, along the East line of said Allen Brothers Investment Company tract, a distance of 451.18 feet to a 1/2 inch iron pipe found at the Southwest corner of a tract of land conveyed to W. Kyle Allen and wife, Dorothy E. Allen by deed recorded in Volume 124, Page 749, Deed Records, Rockwall County, Texas;

Thence South 88 degrees 15 minutes 57 seconds East, along the South line of said Allen tract, a distance of 460.48 feet to a 3/8 inch iron rod found for corner in the said West line of N. F.M. 3549;

Thence South 01 degrees 23 minutes 12 seconds West, along the said West line of N. F.M. 3549, a distance of 728.31 feet to a concrete monument found for corner, said point being the beginning of a curve to the right having a radius of 713.94 feet, a delta of 16 degrees 19 minutes 45 seconds, and a chord that bears South 09 degrees 30 minutes 39 seconds West, a distance of 202.78 feet;

Thence continuing along the said West line of N. F.M. 3549 and said curve to the right, an arc length of 203.47 feet to a 1/2 inch iron rod with yellow cap stamped "CBG SURVEYING" set for corner, from which a concrete monument found for witness bears North 80 degrees West, a distance of 0.5 feet;

Thence South 17 degrees 40 minutes 32 seconds West, continuing along the said West line of N. F.M. 3549, a distance of 95.24 feet to the Point of Beginning and containing 820,481 square feet or 18.84 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner(s) of the land shown on this plat, and designated herein as the ESTATES ON THE RIDGE, LOTS 1-10, BLOCK A, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the ESTATES ON THE RIDGE, LOTS 1-10, BLOCK A have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

By: Jay Webb
Dalrock Homes

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Jay Webb, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2016.

By: _____
printed name: _____
Notary Public in and for the State of Texas

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

GENERAL NOTES:

- 1) BEARINGS ARE REFERENCED TO GRID NORTH, BASED ON GPS OBSERVATIONS AND CONFORM TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE.
2) THE PURPOSE OF THIS PLAT IS TO CREATE 10 LOTS.
3) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
4) THERE ARE NO STRUCTURES ON THE SUBJECT PROPERTY.
5) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0035 L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the ____ day of _____, 2016.

RELEASED 09/27/16 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

Bryan Connally
Texas Registered Professional Land Surveyor No. 5513

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the Council of the City of Rockwall on the ____ day of _____, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2016.

Mayor, City of Rockwall

City Secretary

City Engineer

RECOMMENDED FOR FILING

Rockwall County Judge Date

ATTEST

County Secretary Date

(SHEET 2 OF 2)

FINAL PLAT
ESTATES ON THE RIDGE
LOTS 1-10, BLOCK A
820,481 SQ.FT. / 18.84 ACRES
10 LOTS

WILLIAM DALTON SURVEY, ABSTRACT NO. 72
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PLANNING & SURVEYING
Main Office
12025 Shiloh Road, Ste. 230
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbginctx.com



OWNER: DALROCK HOMES
ATTN: JAY WEBB
19 GREENHOLLOW
ROCKWALL, TEXAS 75032

SCALE: 1"=100' / DATE: SEPTEMBER 15, 2016 / JOB NO. 1617648 / DRAWN BY: CG

CASE NO. P2016-043

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 10/11/2016

APPLICANT: James Shaw

AGENDA ITEM: **Z2016-030**; 1910 Copper Ridge Circle (*SUP*)

SUMMARY:

Hold a public hearing to discuss and consider a request by James Shaw for the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4692-acre parcel of land identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1910 Copper Ridge Circle, and take any action necessary.

BACKGROUND INFORMATION

The applicant James Shaw is requesting the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum masonry requirements stipulated Article VI, *Permissible Uses*, of the Unified Development Code (UDC). The applicant is proposing to construct a metal building that is 30-feet by 40-feet or approximately 1,200 sq. ft. According to the UDC, the exterior materials of an accessory building must match those of the main structure. The applicant is requesting an exception to the masonry requirement to construct an accessory building out of a steel building system with a standing seam metal roof for an accessory building in an SFE-1.5 District.

NOTIFICATION:

On October 1, 2016, Staff mailed 33 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lofland Farms and Timber Creek Estates HOAs, which are the only HOA's/Neighborhood Organizations that are within 1,500-feet of the subject property and participating in the notification program. Additionally, staff posted a sign on the subject property as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices returned.

RECOMMENDATIONS:

Should the Planning and Zoning Commission and City Council choose to approve the SUP request, staff would offer the following conditions of approval:

- 1) The accessory building be subject to the operational conditions contained in the SUP ordinance, which are as follows:
 - A. The accessory building shall generally conform to the approved site plan and building elevations depicted in Exhibits 'A' & 'B' of the attached ordinance.
 - B. The accessory building shall not exceed a maximum size of 1,200 square feet.
 - C. The accessory building shall not exceed a maximum overall height of 20-feet.

D. The accessory building is subject to administrative review in the event that the Subject Property is sold, conveyed or altered in any manner

- 2) Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number Z2016-030	Owner JAMES SHAW	Applied 9/16/2016 LM
Project Name SUP for 1910 Copper Ridge Circle	Applicant JAMES SHAW	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address 1910 COPPER RIDGE CIR	City, State Zip ROCKWALL, TX 75032	Zoning
--	--	---------------

Subdivision STERLING FARMS ADDITION	Tract 14	Block B	Lot No 14	Parcel No 5069-000B-0014-00-OR	General Plan
---	--------------------	-------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING (9/23/2016 12:05 PM JA) 1. 2015 IRC requires structures to be designed for a 115 mph wind load and 5 pound snow load. These plans show a 90 mph wind load and 3 pound snow load. 2. Side yard setback is 25'	John Ankrum	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	
ENGINEERING	Amy Williams	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
PLANNING (9/23/2016 12:12 PM KB) Z2016-030 SUP for Accessory Building: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments
<p>I.1 This is a request by James Shaw for the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4692-acre parcel of land identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1910 Copper Ridge Circle.</p> <p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (Z2016-030) in the lower right hand corner of all pages on future submittals.</p> <p>I.4 Please review the attached draft ordinance prior to the October 11, 2016 Planning & Zoning Commission meeting.</p> <p>I.5 The Planning and Zoning Worksession is September 27. The Planning and Zoning Meeting is September 13.</p> <p>I.6 The projected City Council meeting dates for this case will be October 17, 2016 [1st Reading] & November 7, 2016 [2nd Reading].</p>							

0 37.5 75 150 225 300 Feet

Z2016-030- SUP FOR 1910 COPPER RIDGE CIRCLE
SUP - LOCATION MAP = 

PD-46

STATE HIGHWAY 276

C

SFE-1.5

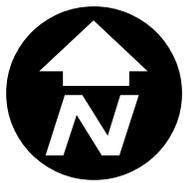
COPPER RIDGE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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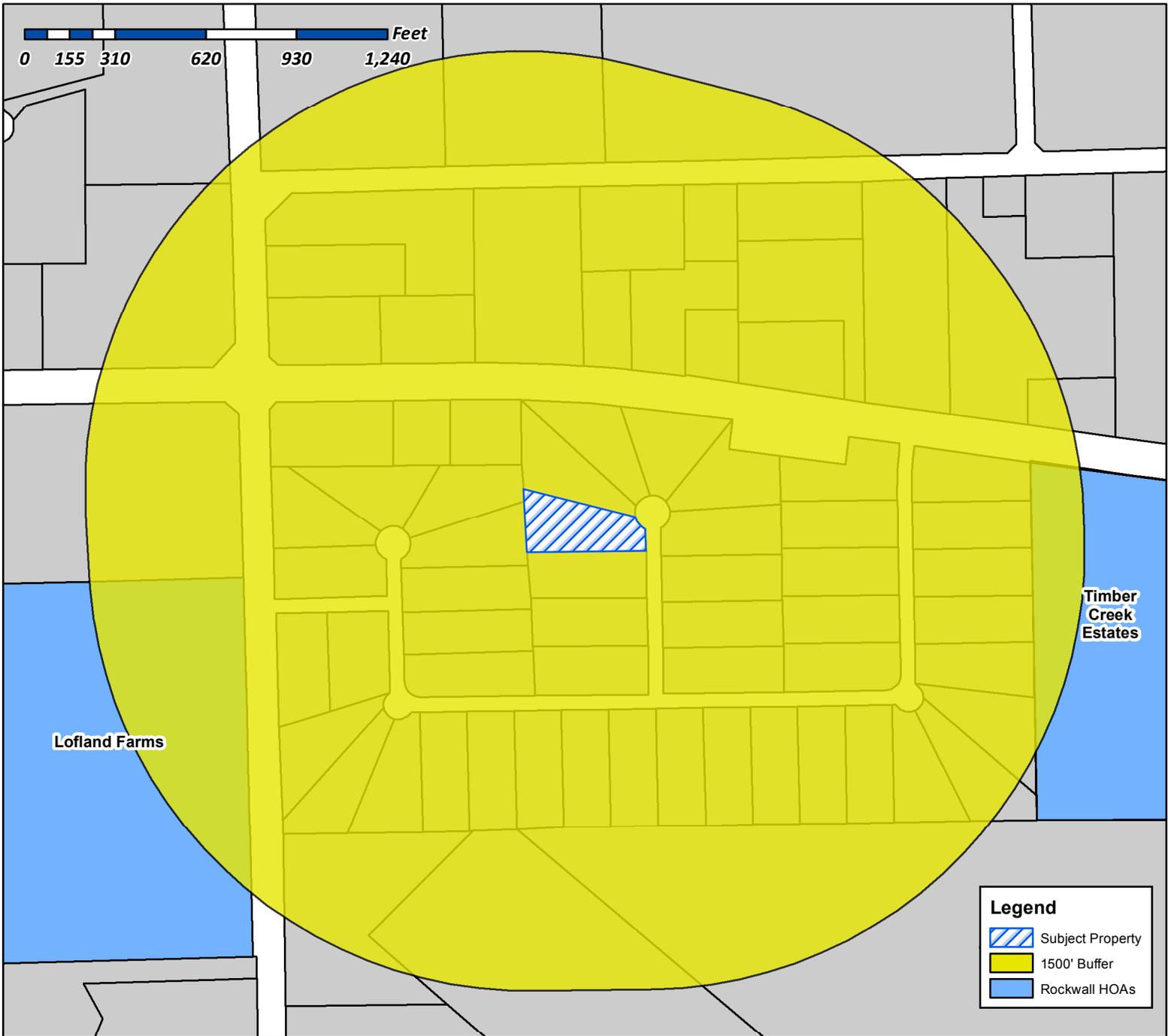




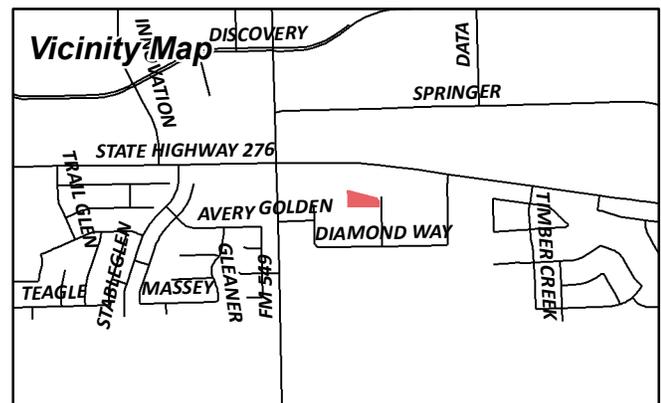
City of Rockwall

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(P): (972) 771-7745
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Case Number: Z2016-030
Case Name: SUP for 1910 Copper Ridge Circle
Case Type: Zoning
Zoning: SFE-1.5
Case Address: 1910 Copper Ridge Circle



Date Created: 09/16/2016

For Questions on this Case Call (972) 771-7745



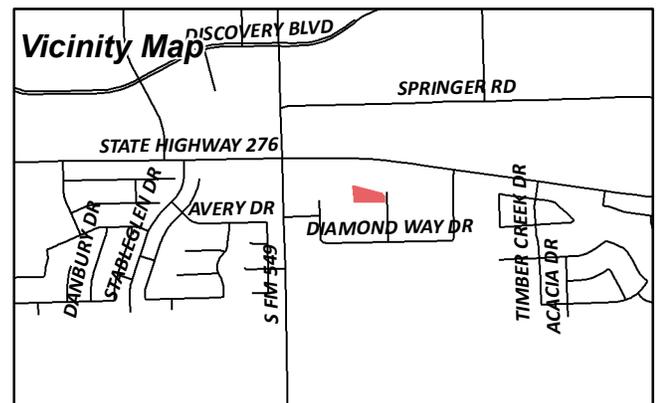
City of Rockwall

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Case Number: Z2016-030
Case Name: SUP for 1910 Copper Ridge Circle
Case Type: Zoning
Zoning: SFE-1.5
Case Address: 1910 Copper Ridge Circle



Date Created: 09/16/2016

For Questions on this Case Call (972) 771-7745

DFW DISTRIBUTOR,
PETROLEUM INC.
11551 FOREST CENTRAL DR #230
DALLAS, TX 75243

DFW DISTRIBUTOR PETROLEUM INC
11551 FOREST CENTRAL DR STE 230
DALLAS, TX 75243

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL
1895 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

MCDOUGLE RONNIE D & DEBORAH J
1905 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

JONES SCOTT G & CAROLINE D
1910 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT SUSAN
1910 SILVER VIEW LN
ROCKWALL, TX 75032

HALL RICHARD N JR AND ELIZABETH A
1913 STERLING CT
ROCKWALL, TX 75032

WILLESS WAYNE & PRISCILLA K
1915 COPPER RIDGE CIR
ROCKWALL, TX 75032

WESTPHAL WILMA
1918 STERLING CT
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

USSERY DAVID & PAMELA
1930 COPPER RIDGE CIR
ROCKWALL, TX 75032

REYNOLDS CHRISTOPHER & RENA
1930 SILVER VIEW LN
ROCKWALL, TX 75032

PHILLIPS JEFFREY A
1930 STERLING COURT
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY
1950 COPPER RIDGE CIR
ROCKWALL, TX 75032

AVILA HUMBERTO J II
1950 SILVER VIEW LN
ROCKWALL, TX 75032

RISHER CONNIE LYNN
1955 COPPER RIDGE CIR
ROCKWALL, TX 75032

GLASSCOCK BILLY B & PENNY
1955 STERLING CT
ROCKWALL, TX 75032

WHITAKER JOSHUA & KRISTIN
1970 COPPER RIDGE CIRCLE
ROCKWALL, TX 75032

HELMS DEBBIE B
1975 COPPER RIDGE CIR
ROCKWALL, TX 75032

THOMAS CLIFTON D & YASMIN P TEJANI
THOMAS
1975 STERLING CT
ROCKWALL, TX 75032

TABESTAN ENTERPRISES LLC
206 WESTWIND DRIVE
COPPELL, TX 75019

CURRENT RESIDENT
2205 HWY276
ROCKWALL, TX 75087

CURRENT RESIDENT
2301 HWY276
ROCKWALL, TX 75087

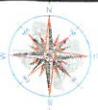
CURRENT RESIDENT
2305 HWY276
ROCKWALL, TX 75087

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

CONNOLLY SQUARED LLC
2922 S HWY 205
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

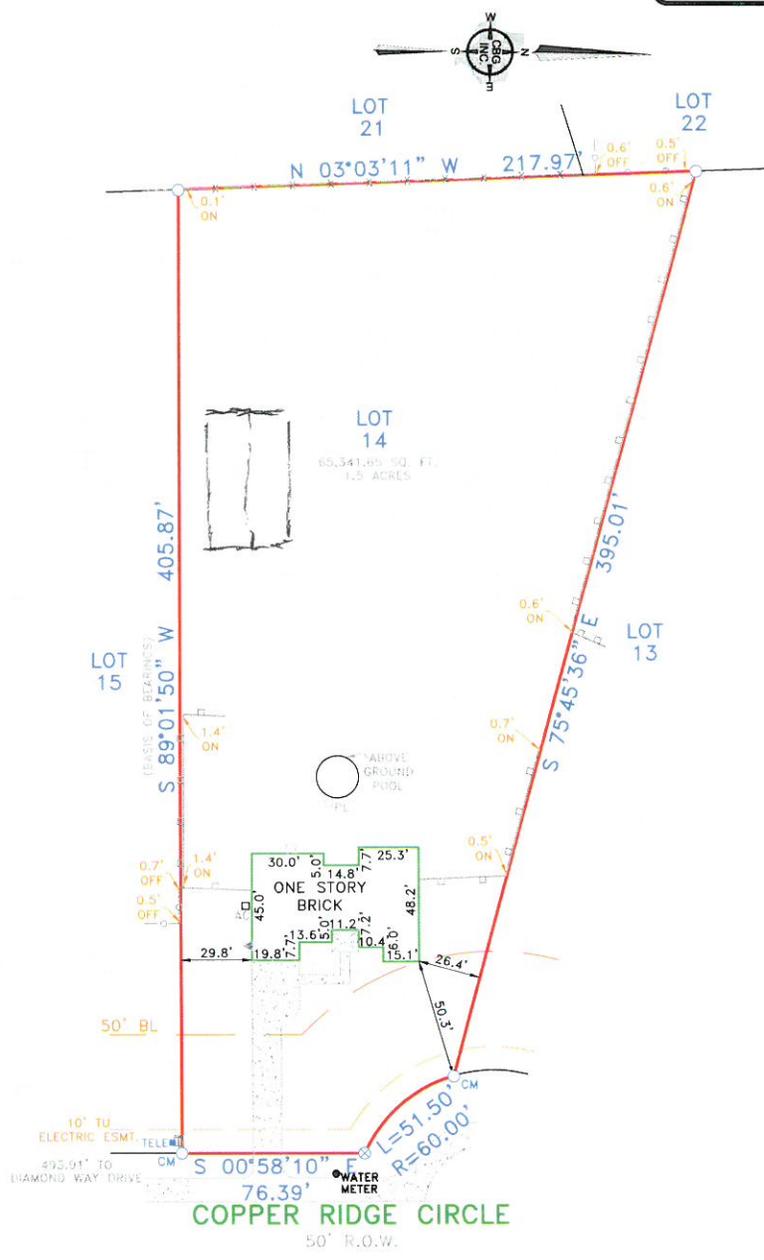
PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087



1910 Copper Ridge Circle
 Being Lot 14, in Block B, oc Sterling Farms Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 395, of the Plat Records of Rockwall County, Texas.



- LEGEND**
- 1/2" ROD FOUND
 - ⊗ 1/2" ROD SET
 - 1" PIPE FOUND
 - ⊗ "X" FOUND/SET
 - ⊕ 604 NAIL FOUND
 - FENCE POST FOR CORNER
 - CM CONTROLLING MONUMENT
 - AC AIR CONDITIONER
 - PE POOL EQUIPMENT
 - T TRANSFORMER PAD
 - COLUMN
 - POWER POLE
 - ▲ UNDERGROUND ELECTRIC
 - △ OVERHEAD ELECTRIC
 - OHP— OVERHEAD ELECTRIC POWER
 - OES— OVERHEAD ELECTRIC SERVICE
 - CHAIN LINK
 - WOOD FENCE 0.5' WIDE TYPICAL
 - IRON FENCE
 - × BARBED WIRE
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - CONCRETE
 - COVERED AREA



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
 VOL. 46, PG. 197; VOL. 75, PG. 583;
 VOL. 113, PG. 35

Accepted by: _____
 Date: _____ Purchaser

Accepted by: _____
 Date: _____ Purchaser

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0045L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the Information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JHH

Scale: 1" = 50'

Date: 06/30/16

GF No.: 1007-192062-RTT

Job No. 1612735

C.B.G. Surveying, Inc.
 12025 Shiloh Road, Ste. 230
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
www.cbgsd.com

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN ACCESSORY BUILDING THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON A 1.4692-ACRE PARCEL OF LAND ZONED SINGLE FAMILY ESTATE 1.5 (SFE-1.5) AND IDENTIFIED AS LOT 14, BLOCK B, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by James Shaw for the approval for a Specific Use Permit (SUP) for the purpose constructing an accessory building that does not meet the minimum masonry requirements, situated on a 1.4692-acre parcel of land, zoned Single Family Estate 1.5 (SFE-1.5) District, and being identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, addressed as 1910 Copper Ridge Circle, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of a metal accessory building that does not conform to the minimum masonry requirements for accessory buildings in a Single Family Estate 1.5 (SFE-1.5) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.2, Single-Family Estate (SF/E 1.5) District*, of *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

- 1) The accessory building shall generally conform to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The accessory building shall not exceed a maximum size of 1,200 square feet.
- 3) The accessory building is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF NOVEMBER, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

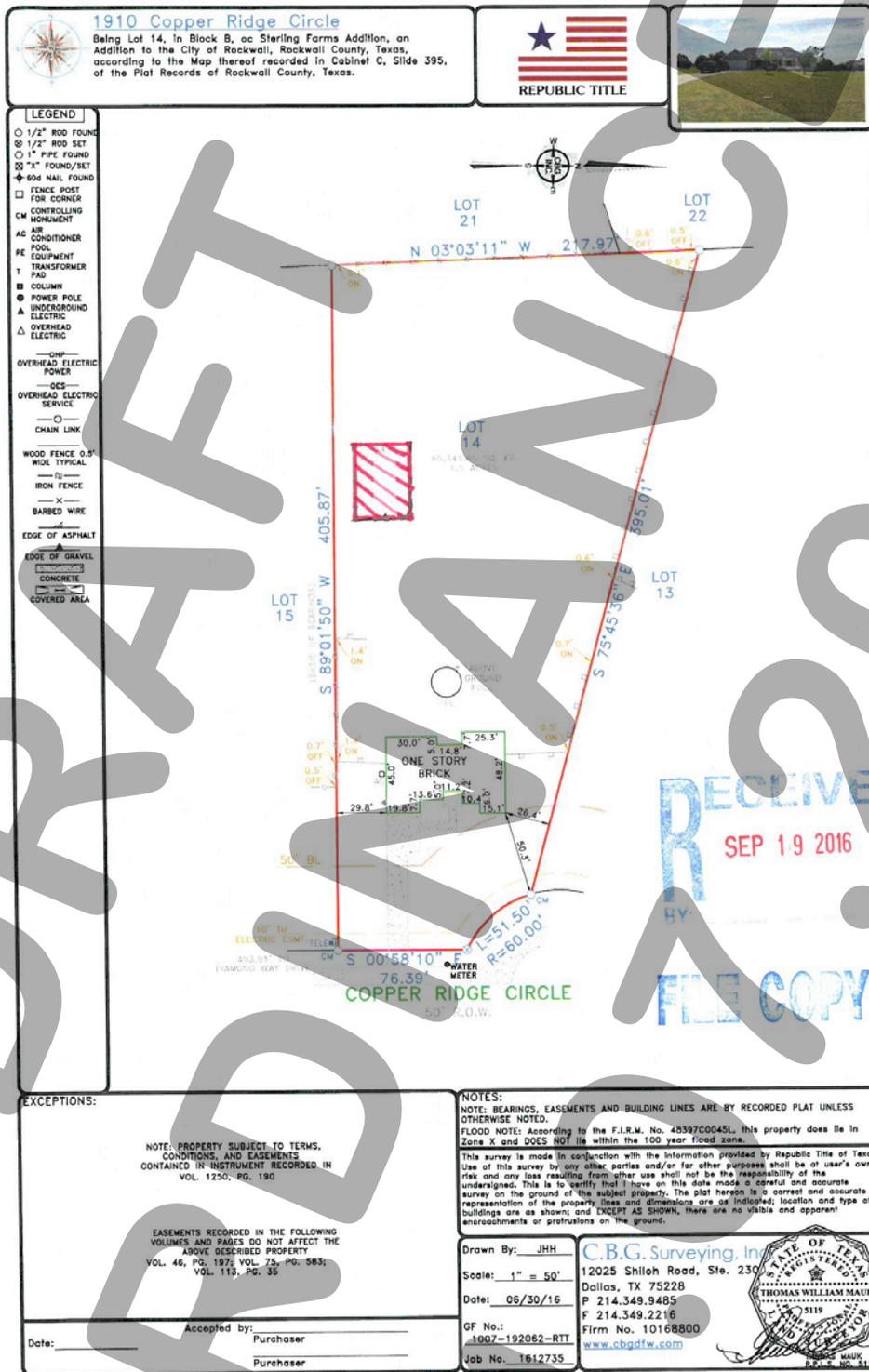
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2016

2nd Reading: November 7, 2016

Exhibit 'A': Site Plan



Z2016 030

**Exhibit 'B':
Building Elevations**

THIS BUILDING MEETS OR EXCEEDS CODE/CLASS MC 2000	F1W A, LUBRUS, LFT LIVE (FLOOR) 20 00 PSF S1001	LIVE (FLOOR) 1200 PSF COLLATERAL 60-30 MPH	CUSTOMER Crocker Steel Company PO Box 677 Wills Point, TX 75169 Phone # (972) 551-0525 FAX # (972) 551-0564	ORDER # SHEET #	ORDER DATE PROJECT DWG FRAME NAME	ORDER QUANTITY ORDER DATE PROJECT DWG FRAME NAME	CHECKED SUPERVISOR REVISION
---	--	---	--	--------------------	---	---	-----------------------------------

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 10/11/2016

APPLICANT: Kasey Weadon; *New Craft Brewing*

AGENDA ITEM: **Z2016-031**; *Amendment to Planned Development District 1 (PD-1)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Kasey Weadon of New Craft Brewing, LLC on behalf of the owner Benbrooke Ridge Partners, LP for the approval of an amendment to Planned Development District 1 (PD-1) for the purpose of allowing the Brewery or Distillery (Excluding Brew Pub) land use in the Planned Development District, being identified as ~39.5249-acre tract of land situated in the B. J. T. Lewis Survey, Abstract No. 255 and the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, located on the eastside of Ridge Road south of the intersection of Ridge Road [*FM-740*] and SH-205, and take any action necessary.

BACKGROUND:

Planned Development District 1 (PD-1) was approved by City Council on February 1, 1971, but not adopted until January 3, 1972 when it was incorporated into the *Comprehensive Zoning Ordinance* by *Ordinance No. 72-02*. At the time of incorporation, the planned development district permitted all uses allowed for General Retail (GR) and Multi Family (MF) Districts. This ordinance was amended in 1983 by *Ordinance No. 83-21* to add office uses to a 12.5-acre portion of PD-1.

On November 4, 2002, City Council approved *Ordinance No. 02-49* amending an 8.108-acre portion of PD-1 to allow a mixed-use (*i.e. general retail, office, townhouse and multi-family uses*) development (*i.e. the Commons, Phase 1*). PD-1 was again amended by *Ordinance No. 12-03* on February 6, 2012 to allow a mixed residential/retail development on a 2.88-acre tract of land (*i.e. the Commons, Phase 2*).

PURPOSE & REQUEST:

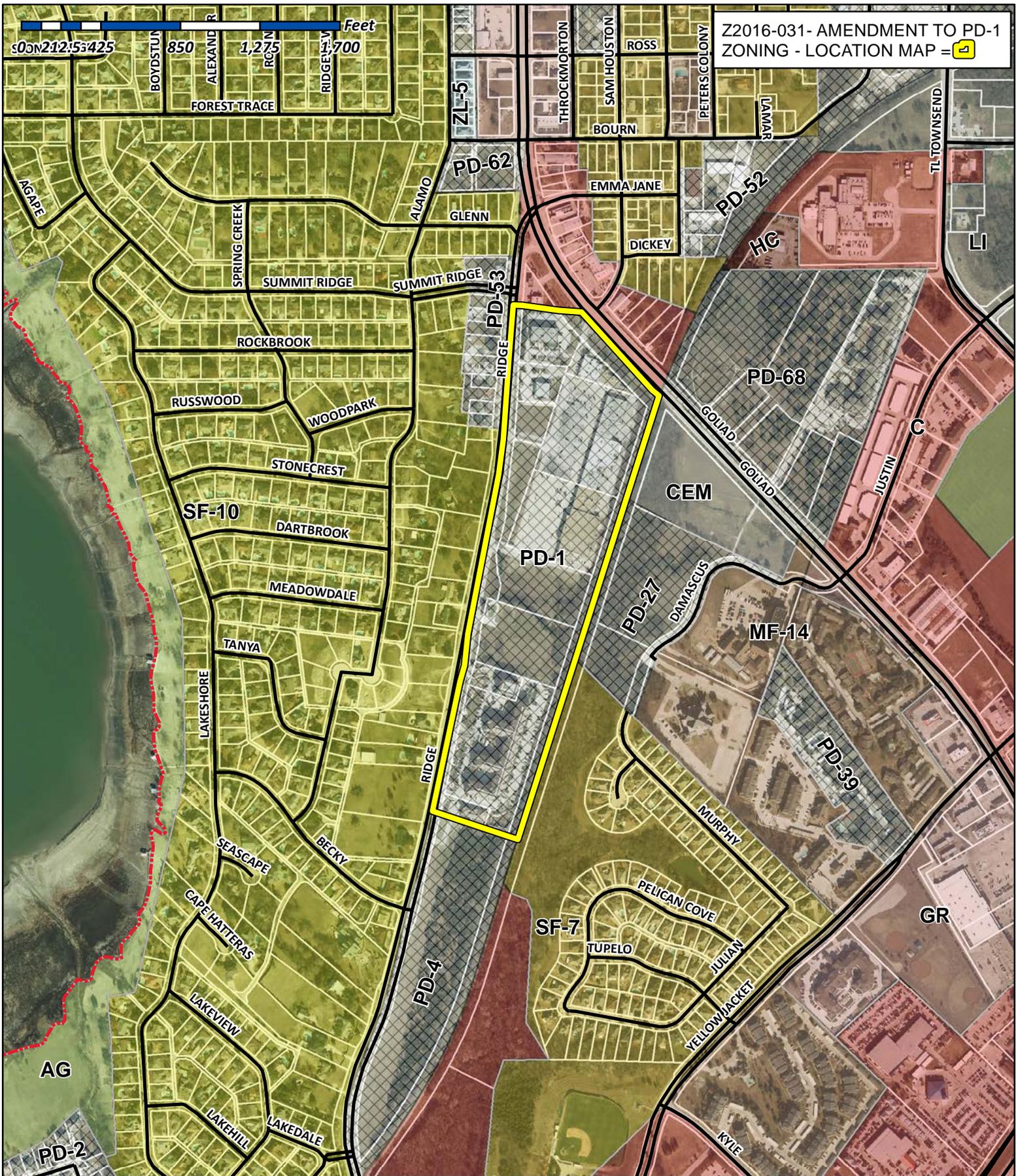
The applicant, Kasey Weadon of *New Craft Brewing, LLC*, is requesting to further amend PD-1 to allow for the *Brewery or Distillery (Excluding Brew Pub)* land use to be permitted on a ~25.97-acre portion of the planned development district. Currently, the *Brewery or Distillery (Excluding Brew Pub)* land use is only permitted *by-right* in the Light Industrial (LI) and Heavy Industrial (HI) Districts. The purpose of these designations is that -- *until recently* -- a brewery or distillery was viewed as a manufacturing or industrial type of use; however, in 2013 the *Texas Alcoholic Beverage Commission (TABC)* passed amendments designed to loosen the restrictions on *microbreweries* or *craft-breweries*. According to the Brewer's Association, a *craft-brewer* is a small independent and traditional brewery with *small* being defined as an annual production of less than six (6) million barrels and *independent* defined as at least 75% owned or controlled by the craft brewer. Specifically under the new *TABC* requirements, a *Brewer's Permit (B)* allows a brewery that produces fewer than 225,000 barrels annually to sell ale *produced on the brewer's premise* to consumers for consumption on the brewer's premise; however, these sales may not exceed 5,000 barrels annually and cannot include ale (*or any other alcoholic product*) not produced on the brewer's premise. This also excludes package sales for off-site consumption. This has allowed craft-breweries the ability to open tasting rooms (*also called taprooms*), which are typically utilized in the same manner a vineyard would use a wine tasting room. In addition, *Section 105.081* of the *TABC* code was added to

address the hours of operation for businesses holding a *Brewers Permit (B)*. This section allows these businesses to operate tasting rooms between the hours of 8:00 AM – 12:00 AM Monday through Saturday and 10:00 AM – 12:00 AM on Sunday. With the passage of the new *TABC* requirements, craft-breweries have been established in commercial, retail and industrial areas in cities across Texas.

As part of the applicant's request, staff has suggested to the applicant that the use may be better served through a Specific Use Permit (SUP). This would grant the Planning and Zoning Commission and City Council discretion with regard to the use on a case-by-case basis, and allow a regulating ordinance to be adopted that can be tailored to the specific request. The applicant agrees with staff's suggestion and is requesting that the *Brewery or Distillery (Excluding Brew Pub)* land use be allowed by Specific Use Permit (SUP). This means that if the City Council chooses to approve the amendment to PD-1, the applicant would be required to submit a request for a Specific Use Permit (SUP) prior to requesting a Certificate of Occupancy (CO). Staff has included an excerpt from the permitted use chart showing how the use is currently being regulated, an excerpt from the *TABC* code showing the changes implemented in 2013, a letter from the applicant and a draft ordinance. As staff has been done in past amendments to planned development districts that consist of several regulating ordinances, staff has taken this opportunity to consolidate the regulating ordinances of PD-1 into one (1) ordinance; however, while staff has clarified several sections of these ordinances in the new regulating ordinance, no changes with regard to the requirements, intent or permitted land uses have been made to any other portion of the planned development district (*with the exception of adding the requested land use*).

NOTIFICATION:

On September 30, 2016, staff mailed 176 notices to property owners and residents within 500-feet of Planned Development District 1 (PD-1). Staff also emailed notices to the Turtle Cove and Waterstone Estates Homeowner's Associations (HOA) and the Southside Residential Neighborhood Organization, which are the only neighborhood groups located within 1,500 feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property along Ridge Road as required by the Unified Development Code (UDC). At the time this case memo was drafted no responses were received by staff.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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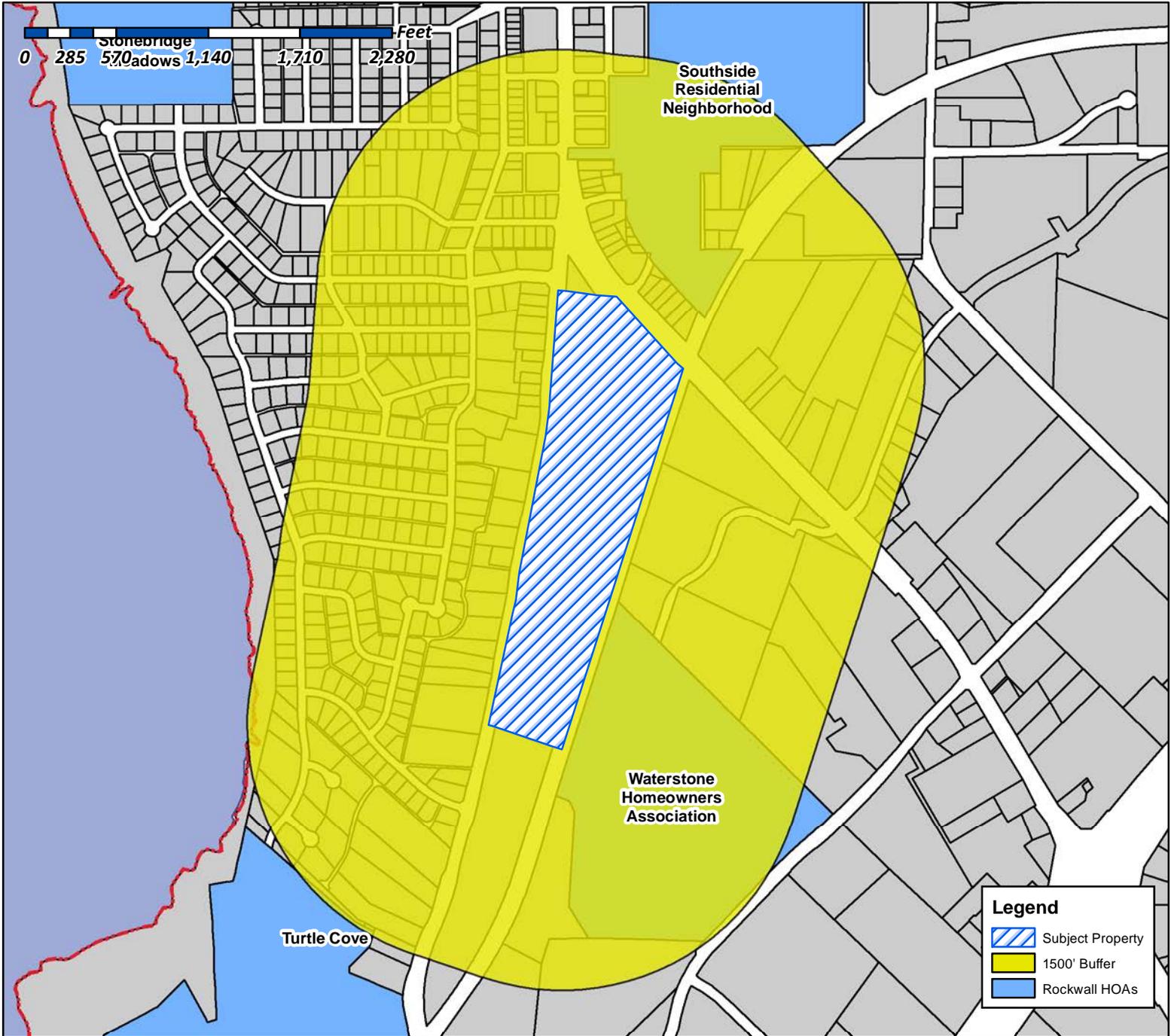




City of Rockwall

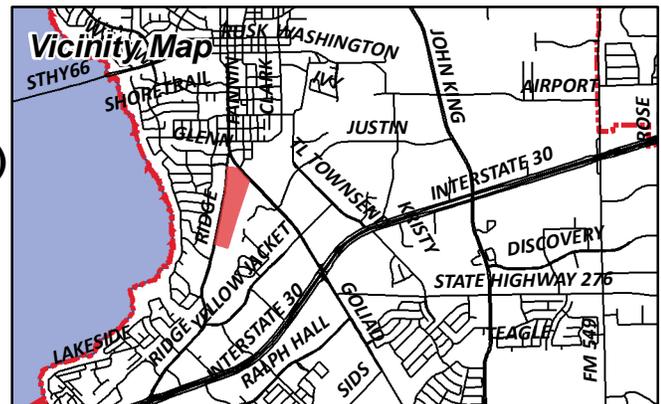
Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2016-031
Case Name: Amendment to PD-1
Case Type: Zoning
Zoning: Planned Development District 1 (PD-1)
Case Address: South of the intersection of Ridge Rd. and SH-205

Date Created: 09/20/2016
For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Friday, September 30, 2016 11:22:45 AM
Attachments: [Z2016-031 HOA Map.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. The City of Rockwall Planning and Zoning Commission will hold a public hearing on Tuesday, October 11, 2016 and the Rockwall City Council will hold a public hearing on Monday, October 17, 2016. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on **September 30, 2016**. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2016-031- Hold a public hearing to discuss and consider a request by Kasey Weadon of New Craft Brewing, LLC on behalf of the owner Benbrooke Ridge Partners, LP for the approval of an amendment to Planned Development District 1 (PD-1) for the purpose of allowing the Brewery or Distillery (Excluding Brew Pub) land use in the Planned Development District, being identified as ~39.5249-acre tract of land situated in the B. J. T. Lewis Survey, Abstract No. 255 and the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, located on the eastside of Ridge Road south of the intersection of Ridge Road [FM-740] and SH-205, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

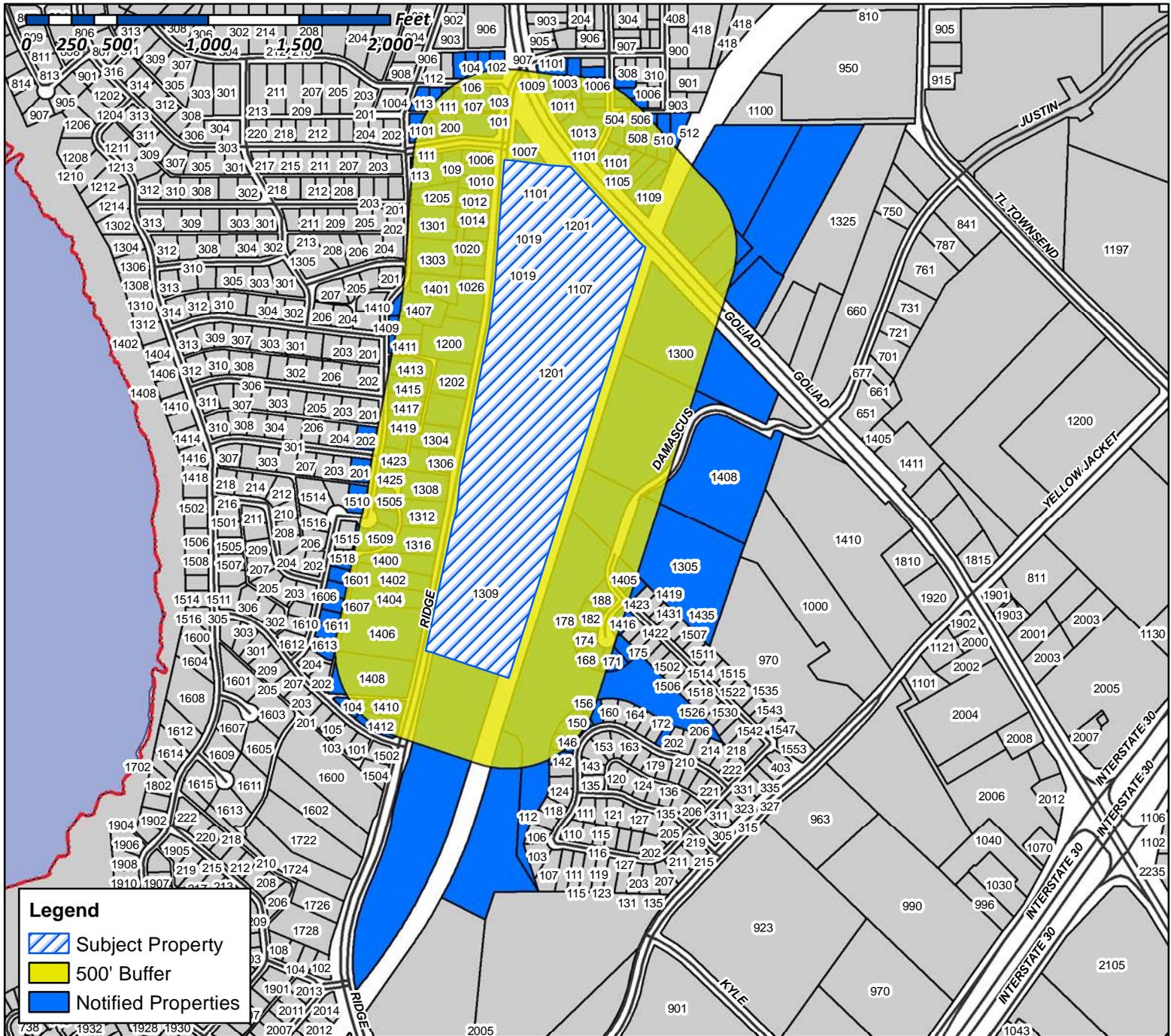
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
lmorales@rockwall.com | <http://www.rockwall.com>



City of Rockwall

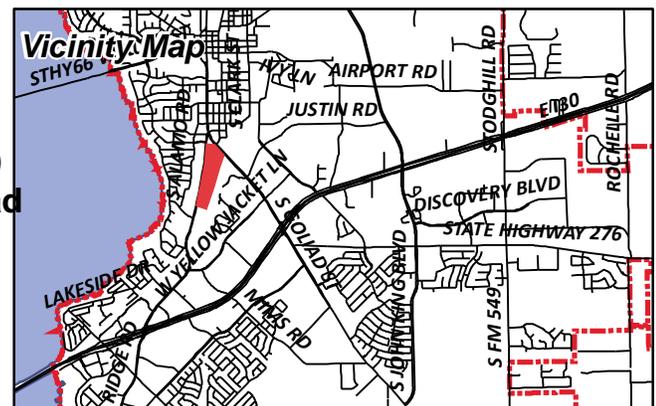
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2016-031
Case Name: Amendment to PD-1
Case Type: Zoning
Zoning: Planned Development District 1 (PD-1)
Case Address: South of the intersection of Ridge Road and SH-205

Date Created: 09/20/2016
For Questions on this Case Call (972) 771-7745



ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

GOODMAN MICHAEL & CARLA
1008 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY
HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

GUSSIO PROPERTIES LLC
1012 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1019 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1019 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
102 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
1020 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1024 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 RIDGE RD
ROCKWALL, TX 75087

HERNANDEZ COURTNEY AND JAVIER
HERNANDEZ-ROSALES
103 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

TRAMMELL JAMES T & ERNESTINE H
TRUSTEES FOR LIVING TRUST
104 BECKY LN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

ROJAS MARY ANN
10521 TRAYMORE DR
FORT WORTH, TX 76244

RIDGE ROAD PARTNERS LP
106 EAST RUSK STREET 0
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
107 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
109 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
109 SUMMIT RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1107 RIDGE RD
ROCKWALL, TX 75087

LUKE LINDA FAYE
1109 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
111 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
111 SUMMIT RIDGE DR
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

BROWN RHONDA
113 SUMMIT RIDGE DR
ROCKWALL, TX 75087

BENBROOKE RIDGE PARTNERS LP
C/O PRETIUM PROPERTY MANAGEMENT, LLC
115 W 7TH ST 0
FORT WORTH, TX 76102

LOFLAND WILLIAM B & SHERRIE
1200 RIDGE RD
ROCKWALL, TX 75087

LOFLAND WILLIAM B & SHERRIE
1200 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1202 RIDGE RD
ROCKWALL, TX 75087

FISHER GREGORY A & TINA
1205 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

HFS MANAGEMENT INC
C/O HANNA SAHLIYEH
122 W JOHN CARPENTER FWY
IRVING, TX 75039

CURRENT RESIDENT
1300 S GOLIAD
ROCKWALL, TX 75087

MCMASTER CHRISTOPHER QUE & BROOKE E
1301 S ALAMO RD
ROCKWALL, TX 75087

WELLS JOEL A AND SHOLANA K
1303 S ALAMO RD
ROCKWALL, TX 75087

JACOBS DAVID R & BEVERLY
1304 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1305 DAMASCUS RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1306 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1308 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1309 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1312 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1316 RIDGE RD
ROCKWALL, TX 75087

ANDERSON JERRY C AND MELVA J
138 PELICAN COVE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1400 RIDGE RD
ROCKWALL, TX 75087

GUILLORY MARK E & MARY J
1401 S ALAMO RD
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M
1402 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST, INNIS WAYNE
ROGERS
AND WANDA MAY TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST
MICHAEL WAYNE ROGERS AND RELLA
VILLASANA ROGERS, TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST, INNIS WAYNE
ROGERS
AND WANDA MAY TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS MICHAEL W
1404 RIDGE RD
ROCKWALL, TX 75087

GRIFFIN ALLEN AND LISA
1405 MURPHY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1406 RIDGE RD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

WEBSTER WILLIAM L
1407 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1408 RIDGE RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1410 RIDGE RD
ROCKWALL, TX 75087

FULLER JIMMY
1411 S ALAMO RD
ROCKWALL, TX 75087

NAJMABADI NATHAN R & JENNIFER N
1412 RIDGE ROAD
ROCKWALL, TX 75087

GREEN LARRY W JR AND
JAN E PHILLIPS
1413 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1415 MURPHY DR
ROCKWALL, TX 75087

GILLOCK MICHAEL J AND JEANETTE L
1415 S ALAMO RD
ROCKWALL, TX 75087

ORJI WILLY
1416 MURPHY DR
ROCKWALL, TX 75087

UNDERWOOD MARK ALLAN
1417 S ALAMO
ROCKWALL, TX 75087

BROOKS RICHARD L
1419 S ALAMO RD
ROCKWALL, TX 75087

BISHOP ROBERT L JR & SARA A
142 PELICAN COVE DR
ROCKWALL, TX 75087

BAUGH GINGER KAY
1421 S ALAMO RD
ROCKWALL, TX 75087

ROSS JOSHUA A
1423 S ALAMO RD
ROCKWALL, TX 75087

PINNELL CHARLES C & GENEVA
1425 S ALAMO RD
ROCKWALL, TX 75087

CRANE ADAM T
146 PELICAN COVE DR
ROCKWALL, TX 75087

VOLLBEER BONNIE
150 PELICAN COVE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1505 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1507 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1509 S ALAMO RD
ROCKWALL, TX 75087

PARRISH GERALD L JR AND JENNIFER F
1510 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1511 S ALAMO RD
ROCKWALL, TX 75087

TEBBUTT BRIAN C
156 PELICAN COVE DR
ROCKWALL, TX 75087

WEDDLE TRUST
JOHN C WEDDLE AND PAULETTE S WEDDLE
TRUSTEES
1601 S ALAMO RD
ROCKWALL, TX 75087

LYLE WILLIAM M JR & ERICA
1603 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1605 ALAMO RD
ROCKWALL, TX 75087

TALLEY JANICE KAY
1607 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1609 S ALAMO RD
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L
1611 S ALAMO RD
ROCKWALL, TX 75087

LOOSIER CHERE R AND JASON M BAWCUM
1613 S ALAMO RD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
16600 DALLAS PARKWAY 0
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY 0
DALLAS, TX 75248

UHLIG JANET KAY
168 MURPHY CT
ROCKWALL, TX 75087

SOTZING SCOTT DOUGLAS
171 MURPHY CT
ROCKWALL, TX 75087

CURRENT RESIDENT
174 MURPHY CT
ROCKWALL, TX 75087

ISSAC PARAMPOTTIL T & LEELAMMA
1745 BISON MEADOW LN
HEATH, TX 75032

GEHRING W ROBERT & CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

PHILLIPS MYRNA E
175 MURPHY CT
ROCKWALL, TX 75087

PIERATT LINDY & JASON
178 MURPHY CT
ROCKWALL, TX 75087

MYERS DAVID F & NINA G
182 MURPHY CT
ROCKWALL, TX 75087

ABBOTT DIANA L & SHAUN E
188 MURPHY CT
ROCKWALL, TX 75087

GASCOIGNE ANGUS A & ELIZABETH
1910 CLUB LAKE CIR
ROCKWALL, TX 75087

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

CURRENT RESIDENT
200 SUMMIT RIDGE DR
ROCKWALL, TX 75087

CAWTHON RICK
2000 E INTERSTATE 30
ROCKWALL, TX 75087

CHRISTOPHER CATHY
201 GOLD STREET 0
GARLAND, TX 75042

VIZZINI SABARINA L
201 MEADOWDALE DR
ROCKWALL, TX 75087

HIRIGOYEN IGNACIO A & LISA RAE
202 MEADOWDALE DRIVE
ROCKWALL, TX 75087

COLES JOSEPH R III AND WENDY A
208 LAKEVIEW DR
ROCKWALL, TX 75087

CAMERON LAND HOLDINGS LLC
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

CAMERON LAND HOLDINGS LLC
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

PFENNING BARBARA JANE
210 WILLOWCREEK ROAD
CHICKASHA, OK 73018

HART ROBERT N & HOPE C
218 CARRIAGE HILL LN
HEATH, TX 75032

HUMPHREY ELDORA B &
DERRILL DELOYD
2310 BERWICK AVE
DALLAS, TX 75203

OREILLY AUTO ENTERPRISES LLC
233 S PATTERSON
SPRINGFIELD, MO 65802

JBR2 LLC
2701 SUNSET RIDGE DR 0
ROCKWALL, TX 75032

WAFFER JULIUS
3002 WELDON LN
ROYSE CITY, TX 75189

TEMUNOVIC PETAR & CVIJETA
3021 RIDGE RD 0
ROCKWALL, TX 75032

RPSC ROCKWALL PROPERTIES LLC
3201 E PRESIDENT GEORGE BUSH HIGHWAY 0
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC
341 VERACLIFF CT
OVIDO, FL 32765

GRAHMANN CHARLES V
BISHOP OF ROMAN CATHOLIC DIOCESE
3725 BLACKBURN ST
DALLAS, TX 75219

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

BURNS LORRAINE MARIETTI
403 W WASHINGTON ST
ROCKWALL, TX 75087

COMPTON EARL D & SU ELLEN
5 HALFORD DR
HEATH, TX 75032

MATHIS MICHAEL L & DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

SIMS VERNA MAE
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ ROGELO & MARIA
507 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA AND
FLORIDA TAYLOR
508 DICKEY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
510 DICKEY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
512 DICKEY ST
ROCKWALL, TX 75087

WONG ERIK J & ELIZABETH M
517 SUMMIT DR
RICHARDSON, TX 75081

HOLLAND RODNEY B
536 LOMA VISTA
HEATH, TX 75032

EAST SHORE J/V
5499 GLEN LAKES DR 0
DALLAS, TX 75231

SMITH JOHN H
5630 MERRIMAC AVE
DALLAS, TX 75206

CHURCH ON THE ROCK
6005 DALROCK RD
ROWLETT, TX 75088

GAMEZ SUSAN
602 LAURENCE DR
ROCKWALL, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

TALLEY C W & PAULA J
703 RIDGEVIEW DR
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
7047 E GREENWAY PARKWAY 0
SCOTTSDALE, AZ 85254

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

WALKER TOM H & SUE A
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

7-ELEVEN
C/O SILVER OAK ADVISORS, LLC
ATTN JEFF TARLTON 0
ATLANTA, GA 30339

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 0
ROCKWALL, TX 75087

CAIN FAMILY REVOCABLE TRUST
PO BOX 1119
ROCKWALL, TX 75087

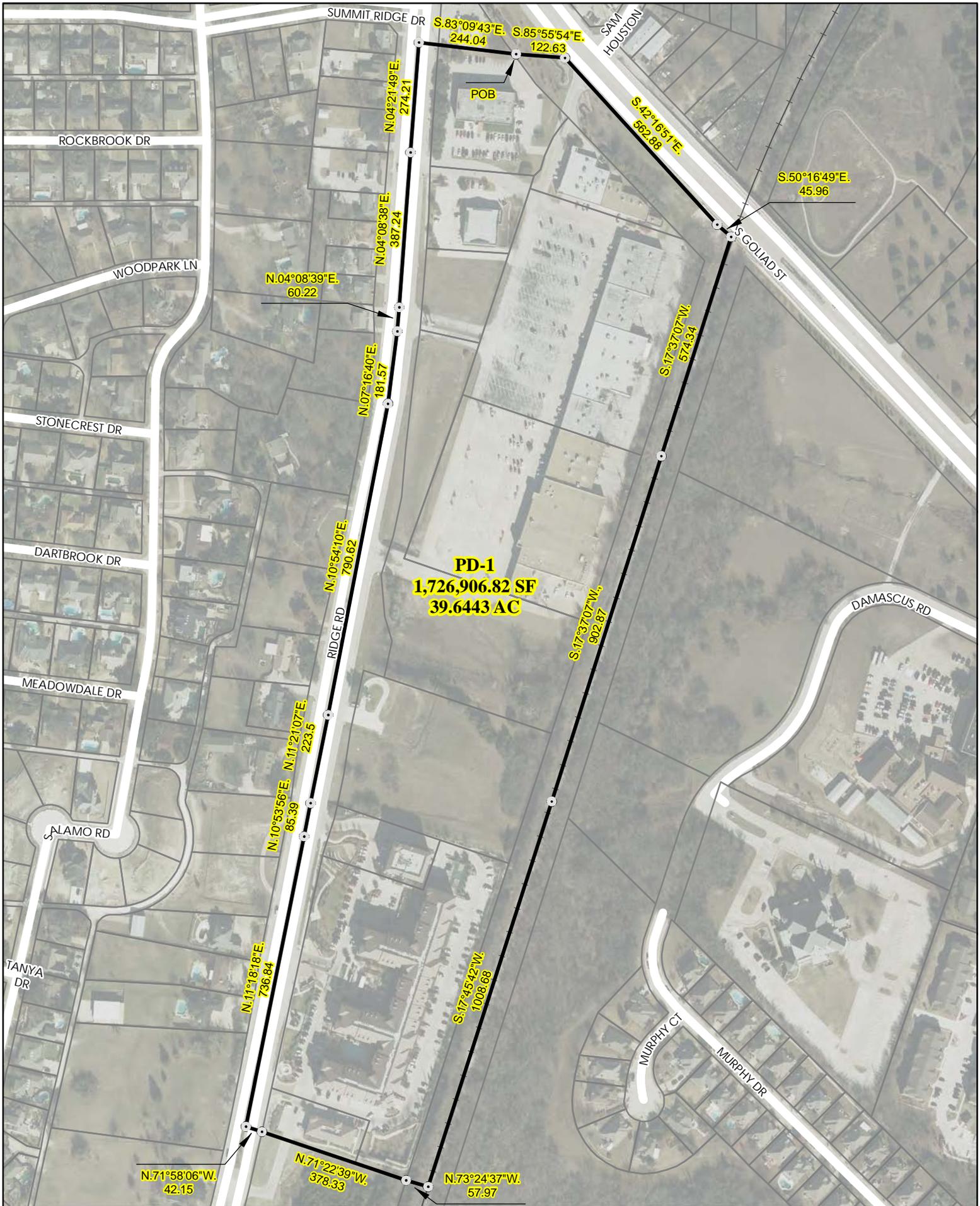
DORRIS CHARLES E
PO BOX 216
ROCKWALL, TX 75087

PEOPLES BILLY W
PO BOX 35
ROCKWALL, TX 75087

PEOPLES BILLY W
PO BOX 35
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

REID STEPHEN M II AND JAN K
PO BOX 8791
GREENVILLE, TX 75404



City of
 Rockwall



Date: 9/21/2016
 0 300 Feet
 GEOGRAPHIC INFORMATION SYSTEMS

PLANNED DEVELOPMENT DISTRICT 1
 LEGAL DESCRIPTION

PD1

**PLANNED DEVELOPMENT NO. 1
LEGAL DESCRIPTION**

BEING an approximate 39.6443 acre tract of land situated in the Eastridge Center Addition, Oreilly Addition, and Rockwall Commons Addition, as recorded in the County of Rockwall, Texas and being more particularly described as follows:

BEGINNING at a point in the south right of way line of State Highway 205 (S. Goliad St) and the most northeastern corner of the Eastridge Center Addition (Plat Date 06/27/1977), said point being the **POINT OF BEGINNING**;

THENCE S.85°55'54"E., a distance of 122.63 feet to a point in the right of way of State Highway 205 (S. Goliad St);

THENCE S.42°16'51"E., a distance of 562.88 feet;

THENCE S.50°16'49"E., a distance of 45.96 feet for a corner;

THENCE S.17°37'07"W., a distance of 574.34 feet along the centerline of the Dallas, Garland and Northeastern Railroad;

THENCE continue southerly along said line, a distance of 902.87 feet;

THENCE S.17°45'42"W., a distance of 1,008.68 feet for a corner;

THENCE N.73°24'37"W., a distance of 57.97 feet;

THENCE N.71°22'39"W., a distance of 378.33 feet;

THENCE N.71°58'06"W., a distance of 42.15 feet for a corner;

THENCE N.11°18'18"E., a distance of 736.84 feet;

THENCE N.10°53'56"E., a distance of 85.39 feet;

THENCE N.11°21'07"E., a distance of 223.50 feet;

THENCE N.10°54'10"E., a distance of 790.62 feet;

THENCE N.07°16'40"E., a distance of 181.57 feet;

THENCE N.04°08'39"E., a distance of 60.22 feet;

THENCE N.04°08'38"E., a distance of 387.24 feet;

THENCE N.04°21'49"E., a distance of 274.21 feet for a corner;

THENCE S.83°09'43"E., a distance of 244.04 feet to the **POINT OF BEGINNING**.

Containing 1,726,906.82 square feet or 39.6443 acres, more or less.

END OF DESCRIPTION.

Written Request for Rezoning of 1201 Ridge Rd. Rockwall TX 75087 Currently under the ownership of Benbrooke Ridge Partners

Rockwall City Council

City of Rockwall

385 S. Goliad St.

Rockwall, TX 75087

September 15 , 2016

To the members of the Rockwall City Council,

New Craft Brewing Company would like to notify the City of Rockwall of our intent to open a micro-brewery at 1201 Ridge Rd in the Ridge Road Shopping Center. At present our business location is not zoned for our required light industrial use. However, with the approval of the planning and zoning commission, New Craft Brewing Company is respectfully requesting a zoning change to allow the manufacturing and distribution of beer for the above address with no further or future land use. The conditional use will be consistent with the goals, objectives, and policies of the comprehensive plan and land regulations as well as all city, state, and federal licensing.

The primary intent of opening our brewery facility is to manufacture beer for distribution and to sell the beer we produce in kegs and cans to retail vendors. The large majority of our sales will be made from the distribution of our product to local and surrounding markets. Our brewery will also have a front of house taproom where customers can come to our location and try our beers. The taproom will serve jointly as a venue which will host various events and functions as well. However, we are foremost a manufacturer of beer, not a restaurant, brewpub, or bar. While in operation, we will allow and encourage patrons to purchase food from local area restaurants and food trucks, but we will not serve food as a means of revenue.

The micro-brewery industry has been explosive in recent years and there is only more room for growth. Breweries of our nature have very positive economic impact on growing suburban cities such as Rockwall. The beer we produce is taxed both in house at the tap and the keg in retail. The tax revenue we generate will be collected and reused in our local community. We can ensure that our brewery will make appropriate use of the zoning change and positively affect the community and public interest.

Respectfully,

[Signature Here]

Kasey Weadon

Owner and Founder of New Craft BrewCo

P=Permitted; A=Accessory Use; S=SUP; "+"=Permitted with conditions.

Residential										Permitted Uses	Mixed Use		Commercial				Industrial		
AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14		DT	R-O	N-S	GR	C	HC	RT	LI	HI
										Industrial and Manufacturing									
S										Asphalt or concrete batch plant +								S	S
P	P	P	P	P	P	P	P	P	P	Asphalt or concrete batch plant, temporary +			P	P	P	P	P	P	P
										Bottle works, milk or soft drinks								P	P
										Brewery or distillery (excluding brew pub)								P	P
										Carpet and rug cleaning						S		P	P

Sec. 11.73. AFFIRMATION OF COMPLIANCE. A person who holds a permit under Chapter 19, 20, 21, or 23 may not be subject to an administrative sanction for selling or delivering an alcoholic beverage to a retailer not authorized to purchase and receive the alcoholic beverage if the permit holder:

- (1) reasonably believes that the retailer is authorized to purchase and receive that type of alcoholic beverage; and
- (2) obtains from the retailer at the time of delivery a written affirmation, which may be printed or stamped on a sales invoice evidencing the sale or delivery of alcoholic beverages by the permit holder, that the retailer is authorized to purchase and receive the type of alcoholic beverage sold and delivered by the permit holder.

CHAPTER 12. BREWER'S PERMIT (B)

Sec. 12.01. AUTHORIZED ACTIVITIES. (a) The holder of a brewer's permit may:

- (1) manufacture, bottle, package, and label malt liquor;
- (2) import ale and malt liquor acquired from a holder of a nonresident brewer's permit;
- (3) sell the ale and malt liquor only to wholesale permit holders in this state or to qualified persons outside the state;
- (4) dispense ale and malt liquor for consumption on the premises; ~~and~~
- (5) conduct samplings of ale or malt liquor, including tastings, at a retailer's premises; ~~and~~
- (6) enter into an alternating brewery proprietorship or contract brewing arrangement as provided by Section 12.06.

(b) An agent or employee of the holder of a brewer's permit may open, touch, or pour ale or malt liquor, make a presentation, or answer questions at a sampling event.

Sec. 12.02. FEE. The annual state fee for a brewer's permit is \$1,500.

Sec. 12.03. ALE OR MALT LIQUOR FOR EXPORT. **Regardless** of any other provision of this code, a holder of a brewer's permit may manufacture and package malt beverages, or import them from outside the state, for shipment out of the state, even though the alcohol content, containers, packages, or labels make the beverages illegal to sell within the state. The permittee may export the beverages out of the state or deliver them at his premises for shipment out of the state without being liable for any state tax on beer, ale, or malt liquor sold for resale in the state.

Sec. 12.04. CONTINUANCE OF OPERATION AFTER LOCAL OPTION ELECTION. The right of a brewer's permittee to continue operation after a prohibitory local option election is covered by Section 251.75 of this code.

~~**Sec. 12.05. SALES BY CERTAIN BREWERS.** The holder of a brewer's permit whose annual production of ale in this state does not exceed, together with the annual production of beer by the holder of a manufacturer's license acting under the authority of Section 62.12 of this code at the same premises, a total of 75,000 barrels, may sell ale produced under the permit to those persons to whom the holder of a general class B wholesaler's permit may sell malt liquor under Section 20.01(3) of this code. With regard to such a sale, the brewer has the same authority and is subject to the same requirements that apply to a sale made by the holder of a general class B wholesaler's permit.~~

~~**NOTE:** Section 12.05 repealed by Senate Bill 516, 83rd Legislature, Regular Session, 2013, effective June 14, 2013.~~

Sec. 12.052. SALES BY CERTAIN BREWERS TO CONSUMERS. (a) In addition to the activities authorized by Section 12.01, the holder of a brewer's permit whose annual production of ale together with the annual production of beer by the holder of a manufacturer's license at the same premises does not exceed a total of 225,000 barrels may sell ale produced on the brewer's premises under the

permit to ultimate consumers on the brewer's premises for responsible consumption on the brewer's premises.

(b) The total combined sales of ale to ultimate consumers under this section, together with the sales of beer to ultimate consumers by the holder of a manufacturer's license under Section 62.122 at the same premises, may not exceed 5,000 barrels annually.

Sec. 12.06. USE OF FACILITIES. (a) The holder of [An entity or successor to an entity that on May 1, 2005, held] a brewer's or nonresident brewer's permit [or whose brand was legally sold in this state] may contract with the holder of a brewer's permit:

(1) to provide brewing services; or

(2) for the use of the permit holder's brewing facilities under an alternating brewery proprietorship if each party to the proprietorship:

(A) has filed the appropriate Brewer's Notice and Brewer's Bond, as required by the Alcohol and Tobacco Tax and Trade Bureau of the United States Department of the Treasury; and

(B) if applicable, has posted with the commission a bond in an amount determined by the commission under Subsection (e) or (f) [or to provide brewing services].

(b) An entity [or successor to an entity that on May 1, 2005, held a brewer's or nonresident brewer's permit or whose brand was legally sold in this state] is not required to own its brewing facilities if the entity operates under an alternating brewery proprietorship as provided by Subsection (a).

(c) Each entity that is a party to an alternating brewery proprietorship or contract brewing arrangement must hold a permit at the location where brewing services are conducted under the arrangement [More than one brewer's permit may be issued for a single premises if the permit holder for the premises has contracted with an entity or successor to an entity that on May 1, 2005, held a brewer's or nonresident brewer's permit or whose brand was legally sold in this state for the use of the permit holder's brewing facilities or to provide brewing services].

(d) This section does not authorize a person acting as an agent for a brewery located outside of this state to contract with the holder of a brewer's permit to brew ale or malt liquor on the person's behalf. A contract described by this subsection may only be entered into by the holder of a brewer's permit and another person holding a permit under this code.

(e) Subject to Subsection (f), the commission by rule may require an entity that is a party to an alternating brewery proprietorship or contract brewing arrangement to post with the commission a bond in an amount determined by the commission not to exceed \$200,000.

(f) An entity that is a party to an alternating brewery proprietorship or contract brewing arrangement must post with the commission a bond in an amount determined by the commission of not less than \$30,000 if the entity does not own a fee interest in a brewing facility.

CHAPTER 12A. BREWER'S SELF-DISTRIBUTION PERMIT(DA)

Sec. 12A.01. ELIGIBILITY FOR PERMIT. A brewer's self-distribution permit may be issued only to the holder of a brewer's permit under Chapter 12 or the holder of a nonresident brewer's permit under Chapter 13.

Sec. 12A.02. AUTHORIZED ACTIVITIES. (a) A holder of a brewer's self-distribution permit whose annual production of ale under the brewer's or nonresident brewer's permit, together with the annual production of beer by the holder of a manufacturer's or nonresident manufacturer's license at the same premises, does not exceed 125,000 barrels may sell ale produced under the brewer's or nonresident brewer's permit to those persons to whom the holder of a general class B wholesaler's permit may sell ale under Section 20.01(3).

(b) The total combined sales of ale under this section, together with the sales of beer by the holder of a manufacturer's self-distribution license under Section 62A.02 at the same premises, may not exceed 40,000 barrels annually.

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 1 (PD-1) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING BY AMENDING THE PERMITTED LAND USES TO ALLOW THE *BREWERY AND DISTILLERY (EXCLUDING BREWPUB)* LAND USE FOR A 25.97-ACRE PORTION OF THE ~39.6443-ACRE PLANNED DEVELOPMENT DISTRICT BEING SITUATED WITHIN THE B. J. T. LEWIS SURVEY, ABSTRACT NO. 225 & THE D. ATKINS SURVEY, ABSTRACT NO. 1, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kasey Weadon of New Craft Brewing, LLC for the approval of an amendment to Planned Development District 1 (PD-1) and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall for the purpose of incorporating the Brewery and Distillery (Excluding Brewpub) land use for a 29.97-acre portion of the ~39.6443-acre planned development district, being situated within the B. J. T. Lewis Survey, Abstract No. 225 & the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 1 (PD-1) [*Ordinance No.'s 72-02, 83-21, 02-49 & 12-03*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.'s 72-02, 83-21, 02-49 & 12-03*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Location Map/Area Concept Plan*, described in *Exhibit 'A'* of this ordinance, attached hereto and

incorporated herein by reference as *Exhibit 'A'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF NOVEMBER, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2016

2nd Reading: November 7, 2016

Exhibit 'A':
Legal Description

BEING an approximate 39.6443-acre tract of land situated in the Eastridge Center Addition, O'Reilly Addition, and Rockwall Commons Addition, as recorded in the County of Rockwall, Texas and being more particularly described as follows:

BEGINNING at a point in the south right of way line of State Highway 205 (S. Goliad Street) and the most northeastern corner of the Eastridge Center Addition (*Plat Dated June 27, 1977*), said point being the *POINT OF BEGINNING*;

THENCE S.85°55'54"E., a distance of 122.63-feet to a point in the right of way of State Highway 205 (S. Goliad Street);

THENCE S.42°16'51"E., a distance of 562.88-feet;

THENCE S.50°16'49"E., a distance of 45.96-feet for a corner;

THENCE S.17°37'07"W., a distance of 574.34-feet along the centerline of the Dallas, Garland and Northeastern Railroad;

THENCE continue southerly along said line, a distance of 902.87-feet;

THENCE S.17°45'42"W., a distance of 1,008.68-feet for a corner;

THENCE N.73°24'37"W., a distance of 57.97-feet;

THENCE N.71°22'39"W., a distance of 378.33-feet;

THENCE N.71°58'06"W., a distance of 42.15-feet for a corner;

THENCE N.11°18'18"E., a distance of 736.84-feet;

THENCE N.10°53'56"E., a distance of 85.39-feet;

THENCE N.11°21'07"E., a distance of 223.50-feet;

THENCE N.10°54'10"E., a distance of 790.62-feet;

THENCE N.07°16'40"E., a distance of 181.57-feet;

THENCE N.04°08'39"E., a distance of 60.22-feet;

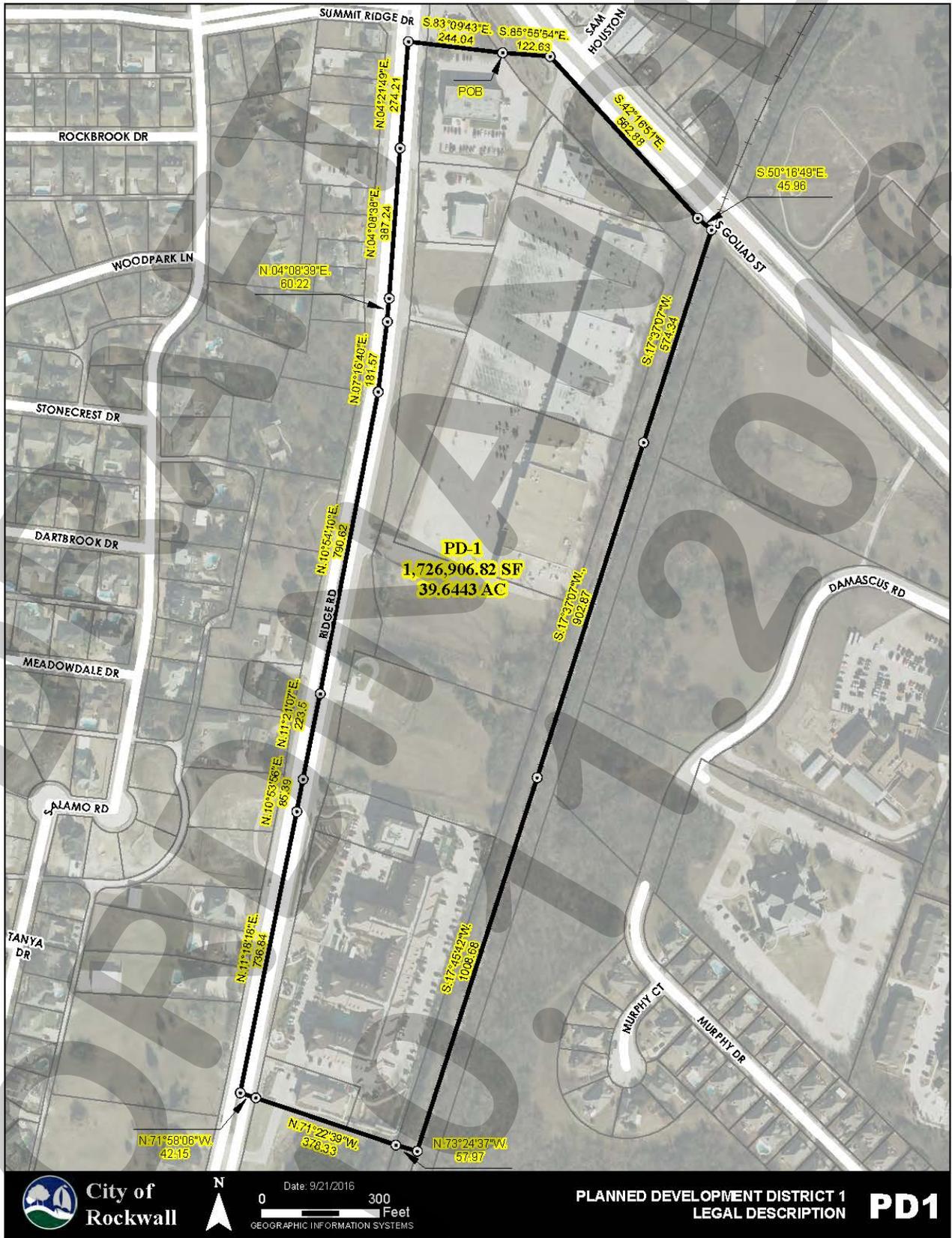
THENCE N.04°08'38"E., a distance of 387.24-feet;

THENCE N.04°21'49"E., a distance of 274.21-feet for a corner;

THENCE S.83°09'43"E., a distance of 244.04-feet to the *POINT OF BEGINNING*.

Containing 1,726,906.82 square-feet or 39.6443-acres, more or less.

Exhibit 'A':
Survey



City of
Rockwall



Date: 9/21/2016
0 300 Feet
GEOGRAPHIC INFORMATION SYSTEMS

PLANNED DEVELOPMENT DISTRICT 1
LEGAL DESCRIPTION

PD1

Exhibit 'A':
Location Map/Area Concept Plan

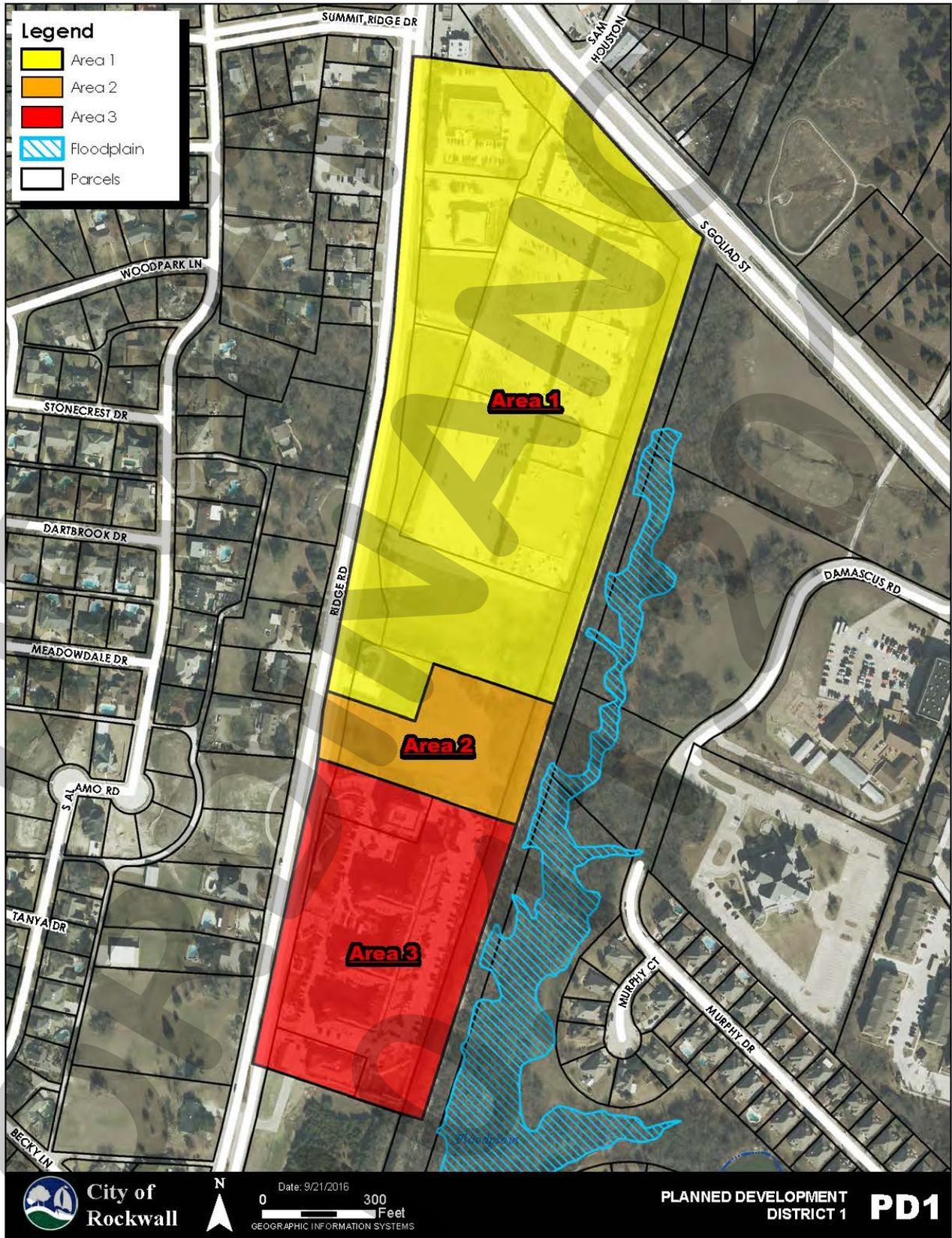


Exhibit 'B':
PD Development Standards

Purpose.

The purpose of this amendment to Planned Development District 1 (PD-1) is to consolidate *Ordinance No.'s 72-02, 83-21, 02-49 & 12-03*; however, this ordinance does not change the intent, restrictions or land uses established in any previous ordinance with the exception of adding the *Brewery or Distillery (Excluding Brew Pub)* land use to *Area 1* as depicted in *Exhibit 'A'* of this ordinance.

Area 1 [Ordinance No. 72-02].

1. *Permitted Uses.* *Area 1* as depicted in *Exhibit 'A'* of this ordinance shall be subject to the land uses permitted in the General Retail (GR) District and Multi-Family 14 (MF-14) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, with the following additional uses being permitted *by-right*:

- General/Medical Office

In addition, the following additional uses being permitted by Specific Use Permit (SUP):

- Brewery or Distillery (*Excluding Brew Pub*)

2. *Density and Dimensional Requirements.* The development of *Area 1* as depicted in *Exhibit 'A'* of this ordinance shall be subject to the development standards stipulated for properties within a General Retail (GR) and Multi-Family 14 (MF-14) Districts as required by Section 3.9, *Multi-Family 14 (MF-14) District*, and Section 4.4, *General Retail (GR) District*, of Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

Area 2 [Ordinance No. 12-03].

1. *Permitted Uses.* *Area 2* as depicted in *Exhibit 'A'* of this ordinance shall be subject to the land uses permitted in the General Retail (GR) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, with the following additional uses being permitted *by-right*:

- General/Medical Office
- Urban Residential Housing (*as Defined by the Unified Development Code [Ordinance No. 04-38]*)

2. *Density and Dimensional Requirements.* The development of *Area 2* as depicted in *Exhibit 'A'* of this ordinance shall be in accordance with the *PD Concept Plan* contained in *Exhibit 'C'* of this ordinance, and with the Mixed Use Overlay (MUO) District standards stipulated by Section 6.5, *Mixed Use Overlay (MUO) District*, of the Unified Development Code [*Ordinance No. 04-38*]. In addition, *Area 2* shall be subject to the following additional requirements:

- (a) A maximum of 140 urban residential units shall be allowed.

Exhibit 'B':
PD Development Standards

- (b) The average dwelling unit size shall not be less than 980 square feet.
 - (c) The development must contain a minimum of 12,000 square feet of non-residential space.
 - (d) The overall height may not exceed 65-feet as measured to the midpoint of the sloped roof from the average grade along the front of the building, and as depicted on the *Section Through Center of Site* drawing attached hereto as *Exhibit 'C'*.
 - (e) A minimum of 20% open space shall be provided, and the open space shall be developed to the extent reflected on the Concept Plan. A pool for the use of the residents shall be provided.
 - (f) The interiors of all residential units shall include higher grade finish-out materials such as granite or other comparable counter tops, durable high quality flooring, and stainless steel and other high end appliances.
3. *Procedure.* The procedure for submittals associated with the development of *Area 2* shall be as follows:
- (a) Submittal and approval of a detailed *PD Site Plan*, for review and approval by the Architectural Review Board (ARB) and Planning and Zoning Commission.
 - (b) Submittal and approval of a final plat.

Area 3 [Ordinance No. 02-49].

1. *Permitted Uses.* *Area 3* as depicted in *Exhibit 'A'* of this ordinance shall be subject to the land uses permitted in the General Retail (GR) District and Multi-Family 14 (MF-14) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, with the following additional uses being permitted *by-right*:
- Townhomes
 - General/Medical Office
 - Multifamily (*with a Maximum Density of 15 Dwelling Units/Acre*)
2. *Density and Dimensional Requirements.* The development of *Area 3* as depicted in *Exhibit 'A'* of this ordinance shall in accordance with the *PD Concept Plan* contained in *Exhibit 'D'* of this ordinance. In addition, *Area 3* shall be subject to the following additional requirements:
- (a) *Residential.* Residential uses shall be governed by the following standards:
 - (i) Residential uses must be integrated with retail and/or office uses in terms of site planning. The separate uses must not be perceived or discrete developments.
 - (ii) The development may not exceed four (4) square feet of residential use for at least one (1) square foot of non-residential use (unless approved as part of this PD) for each phase of the development.

Exhibit 'B':
PD Development Standards

- (b) *Open Space.* A minimum of 20% of the site shall be devoted to open space. This requirement may be satisfied by either public or by a combination of public and private open space. Open space shall be satisfied with each phase of development, or the developer must execute a reservation of open space in a form that will assure the City that such open space will be provided.
- (c) *Height.* The development should average two (2) to three (3) stories in height, but not exceed three (3) stories unless otherwise approved as part of this PD. If adjacent to single family zoned areas, this height should taper down to two (2) stories if the development is close to the property line.
- (d) *Enhancements.*
 - (i) Pedestrian areas shall be enhanced with trees, decorative paving and pedestrian-level lighting.
 - (ii) Public and private open space shall be developed to the extent reflected in the plan.
- (e) *Parking.* Parking shall meet the following standards:
 - (i) Parking required for a building shall primarily be located behind the building. On-street parking may be allowed to partially meet the required parking for a building or use.
 - (ii) A majority of parking shall be structured or decked to minimize the amount of land given over to parking.
 - (iii) Site access and non-residential use parking shall be shared between non-residential uses.
 - (iv) The minimum amount of required parking may be 10% below the City's standard requirement.
 - (v) The minimum amount of parking may be further reduced where parking is shared by multiple uses and is justified by the applicant.
- (f) *Amenities.* A pool for the use of the residents will be provided.
- (g) *Traffic.* A facilities agreement will be required to address traffic improvements as called for in the traffic engineer's recommendations.
- (h) *Phasing.* If constructed in phases, no phase shall exceed the allowed ratio of 4 square feet of residential to 1 square foot of non-residential uses.

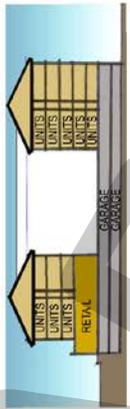
3. *Procedure.* A *PD Site Plan* is mandatory and is the final step of the *PD Development* process. The purposes of a *PD Site Plan* is to assure that the development of individual building lots, parcels, or tracts within the *PD District* are consistent with the approved Concept Plan and Development Plan, if any, and to assure that the standards applicable within the *PD District* are met for each such lot, parcel or tract. Following approval by the City Council a *PD Site Plan* shall continue to be valid for a period of three years. However, the Council may extend the three (3) year time period following a recommendation of said extension from the Planning and Zoning Commission.

Exhibit 'B':
PD Development Standards

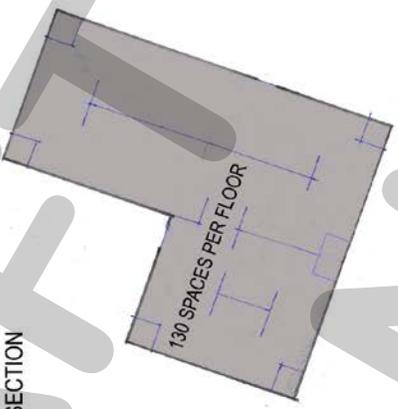
The Site Plan shall be accompanied by building elevations and landscape and master sign plans, which shall be reviewed by the Architectural Review Board (ARB) for consistency with the overall objectives of the district. The Board's recommendation shall be forwarded to the Planning & Zoning Commission for consideration in their recommendation to City Council.

A *PD Site Plan* shall terminate at the end of such three (3) year period (or extended period if approved by the City Council) unless, within such period, a preliminary plat has been filed with the City for the entire land covered by the *PD Site Plan*. In which case, the Site Plan will remain valid as long as there is an approved plat for the property. If a *PD Site Plan* terminates, development of the land covered by the terminated plan cannot occur until a new *PD Site Plan* has been approved for the land as provided by this Ordinance.

Exhibit 'C':
Area 2 Concept Building Elevation [Ordinance No. 12-03]



A - A SECTION



GARAGE FLOOR PLAN (BASEMENT 1 & 2)

TABULATION:

- 5 STORY OVER 2 LEVEL PODIUM
- 140 UNITS AVG 980 SF (108 UNITS IF 4 STORY)
- 12000 SF RETAIL
- 333 TOTAL PARKING SPACES (260 IN GARAGE, 73 SURFACE)
- 72 SPACES RETAIL
- 261 SPACES RESIDENTIAL (1.9 AVG)

UNIT MIX:

- 25% 1BRs, 50% 2BRs, 25% 3BRs
- OPEN SPACE: 20%



SITE PLAN 3



Exhibit 'C':
Area 2 Concept Building Elevation [Ordinance No. 12-03]



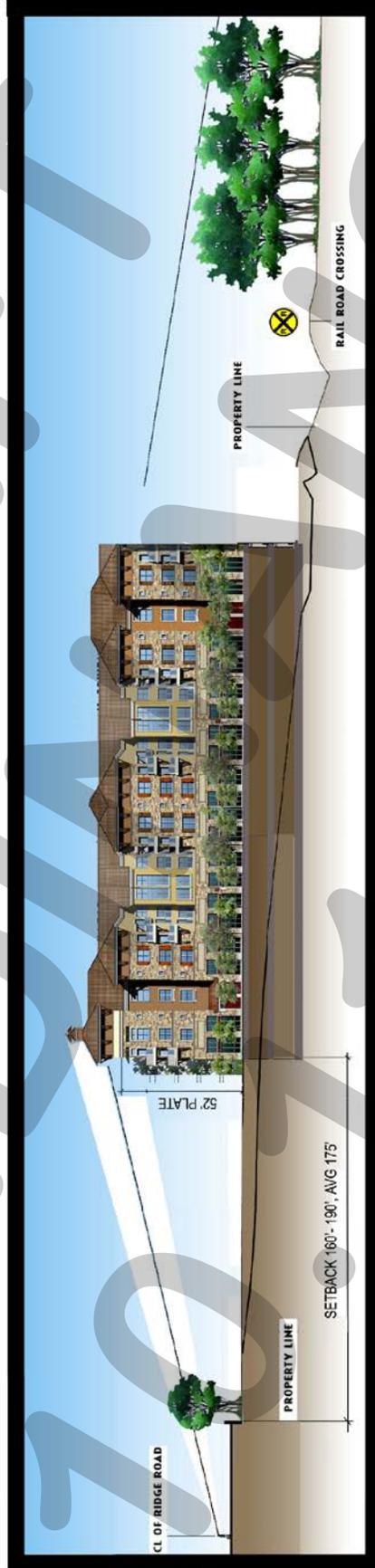
CHARACTER ELEVATION (WEST)

Exhibit 'C':
Area 2 Building Height Comparison [Ordinance No. 12-03]



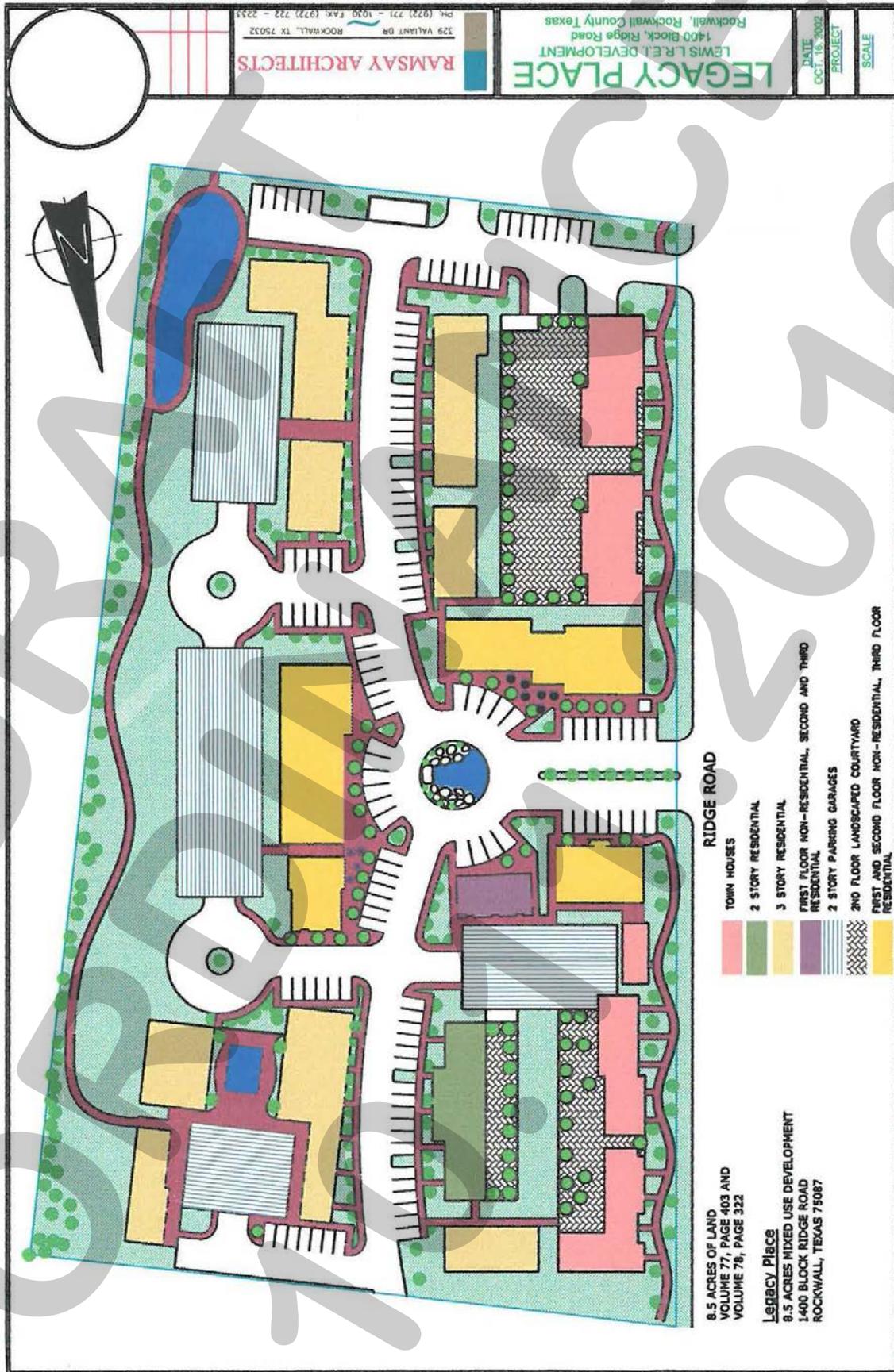
HEIGHT COMPARISON WITH OFFICE

Exhibit 'C':
Area 2 Line of Sight Study [Ordinance No. 12-03]



SECTION THROUGH CENTER OF SITE

Exhibit 'D':
Area 3 Concept Plan [Ordinance No. 02-49]



CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 10/11/2016

APPLICANT: Noah Flabiano, *Skorburg Company*

AGENDA ITEM: **Z2016-032**; *Amendments to PD-74 (Breezy Hill Subdivision)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in *Exhibit 'C' of Ordinance No. 14-26* for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.

BACKGROUND:

The property was annexed in 2008 after three (3) years of litigation that lead to the execution of a Chapter 212 Development Agreement. In accordance with this agreement, the property was zoned to Planned Development District 74 (PD-74) on April 20, 2009 with the intention of being a master planned residential community that offered tracts of land designated for retail/office, residential, and institutional land uses. The approval of this zoning change altered the existing 212 Development Agreement -- *which originally permitted 810 single-family residential lots and did not contain any retail acreage* -- to include 658 single-family residential lots and a 59-acre tract of land designated for general retail land uses. The retail tract of land is located at the northeast corner of the intersection of FM-552 and John King Boulevard.

On October 1, 2012 the City Council approved an amendment to Planned Development District 74 (PD-74) modifying the concept plan to remove the school sites that were originally required by the *Facilities Agreement* and adjust the lot mix accordingly [*i.e. increasing the number of lots from 658 to 691*]. The lot mix was again increased on July 7, 2014 from 691 lots to 742 lots for the purpose of incorporating two (2) additional phases (*i.e. Phases IXA & IXB*) and to reduce the land designated as commercial/retail from 59.4-acres to 33.7-acres (see *Figure 1* for the adjusted lot mix).

Figure 1: Current Lot Mix

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>
<i>Typical Lot Frontage (Feet)</i>	60	70	80	100
<i>Typical Lot Depth (Feet)</i>	120	120	125	200
<i>Minimum Lot Size (Sq. Ft.)</i>	7,200	8,400	10,000	20,000
<i>Number of Units</i>	206	112	326	98
<i>Dwelling Unit %</i>	27.80%	15.10%	43.90%	13.20%

On May 16, 2016, the applicant submitted an alternate concept plan depicting a reduction in the number of acres designated for retail land uses from 33.7-acres to 19.49-acres for the purpose of amending Planned Development District 74 (PD-74) to include an additional residential phase of 50' x 120' lots (*i.e. minimum of 6,000 SF*). In addition, this case proposed raising the number

of lots from 742 to 789, and changing the density from 2.0-units/acre to 2.07-units/acre. On June 20, 2016, the City Council approved a motion adopting the amendments to PD-74 and stipulating that the proposed residential phase consist of 60-foot lots (*i.e. Lot Type 'A'*) in lieu of the proposed 50-foot lots (*i.e. Lot Type 'E'*). Prior to the second reading of the ordinance the applicant made a request to withdraw the case; however, at the July 5, 2016 meeting, the City Council approved a motion to deny the case by a vote of 4-3, with Mayor Pruitt and Council Members Townsend and White dissenting. As the City Attorney indicated in the July 5, 2016 meeting, the denial motion would not preclude the applicant from submitting a different request (*e.g. a request for 60-foot lots*) within the one (1) year time period that the applicant would be restricted from submitting the same request (*see Section 8.3.D, Reapplication Due to Changed Conditions, of Article II, Authority and Administrative Procedures, of the Unified Development Code*).

PURPOSE:

The applicant has submitted an application requesting to amend Planned Development District 74 (PD-74) [*Ordinance No. 14-26*] to approve an alternate concept plan and development standards. Specifically, the applicant is requesting to reduce the number of acres designated for retail land uses from 33.7-acres to 19.44-acres for the purpose incorporating an additional residential phase that will be composed of 60' x 120' lots (*i.e. minimum of 7,200 SF*).

CHARACTERISTICS OF THE REQUEST:

The 14.25-acres of land that the applicant is proposing to remove from the retail acreage will establish a new phase of the Breezy Hill Subdivision that will contain 40 single-family homes. The new phase will be located north of the remaining retail acreage, adjacent to Phase IIA. These new homes will be constructed on 60' x 120' lots that will be a minimum of 7,200 square feet in size. The development standards for this new lot type (identified below in *Figure 2* as *Lot Type 'E'*) are the same as the *Lot Type 'A'*. The only difference in the proposed *Lot Type 'E'* and *Lot Type 'A'* will be the ability to have a garage door, in a front entry format, even with the front façade of the primary structure on up to 50% of the proposed garages (*i.e. 20 lots*). Currently, *Lot Type 'A'* requires that the garage be situated in a '*J*' *Swing* or *Traditional Swing* format or be a minimum of 20-feet behind the front façade of the primary structure. *Lot Type 'E'* (*like Lot Type 'A'*) will also have the ability to orient garages in a '*J*' *Swing* or *Traditional Swing* format.

Figure 2: Proposed Lot Mix

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>	<i>E</i>
<i>Typical Lot Frontage (Feet)</i>	60	70	80	100	60
<i>Typical Lot Depth (Feet)</i>	120	120	125	200	120
<i>Minimum Lot Size (Sq. Ft.)</i>	7,200	8,400	10,000	20,000	7,200
<i>Number of Units</i>	186	117	326	107	40
<i>Dwelling Unit %</i>	23.97%	15.08%	42.01%	13.79%	5.15%

Considering the proposed new lot type and the proposed changes to the lot mix, the total number of single-family lots will be increased from 742 to 776. This proposed change increases the density from ~2.0-units/acre to ~2.02-units/acre (*i.e. currently the subdivision has 742 lots on ~371-acres, and the applicant is proposing 776 lots on ~385-acres*). With the exception of the proposed changes to the concept plan and lot mix tables, and subsequent changes to accommodate the new lot type, the applicant is not requesting any additional changes to Planned Development District 74 (PD-74).

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Map contained within the Comprehensive Plan designates the subject property for *Commercial* land uses. Should the City Council approve the applicant's request, the Future Land Use Map will be amended to reflect the proposed changes in land use from a *Commercial* designation to a *Low Density Residential* designation. *This has been added to the conditions of approval contained in the Recommendations section of this case memo.*

NOTIFICATION:

On September 30, 2016, staff mailed 363 notices to property owners and residents within 500-feet of the subject property. Staff also emailed a notice to the Stoney Hollow and Breezy Hill Homeowner's Associations (HOA's), which are the only HOA's located within 1,500 feet of the subject property. Additionally, staff posted a sign at the corner of FM-552 and John King Boulevard, and advertised the public hearings in the Rockwall Harold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had not received any notices.

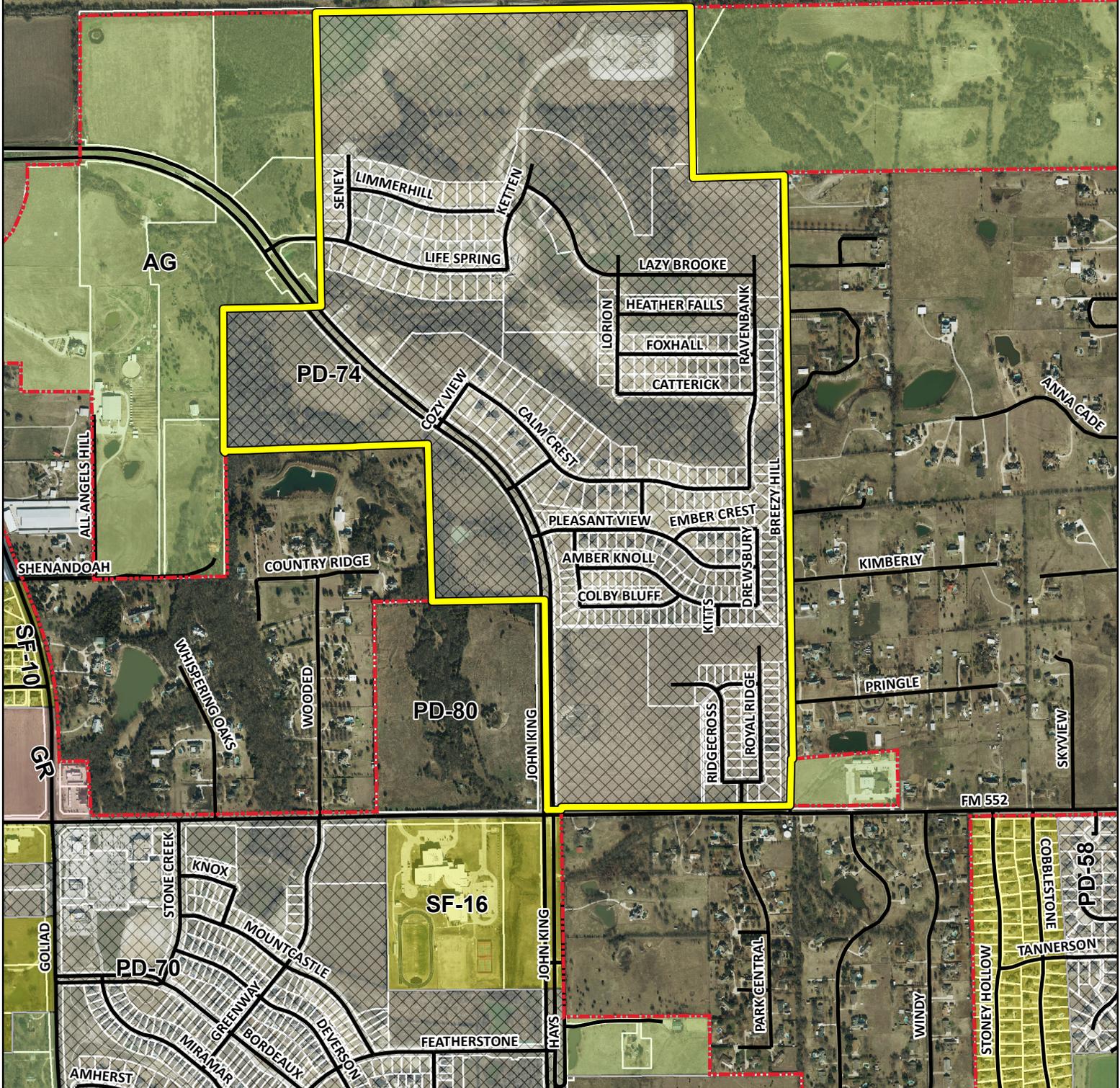
RECOMMENDATIONS:

If the Planning and Zoning Commission recommends approval of the applicant's request to amend Planned Development District 74 (PD-74) then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- 2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a Commercial designation to a Low Density Residential designation;
- 3) Prior to accepting a final plat for the proposed phase (*i.e. depicted in pink of the PD Concept Plan*) the applicant shall be required to administratively amend the PD site plan in order to show all necessary entry features/signage, landscaping and hardscaping proposed for the new phase;
- 4) Prior to accepting a preliminary plat for the proposed phase (*i.e. depicted in pink of the PD Concept Plan*) the applicant shall be required to administratively amend the preliminary plat for Phase IXB to show the new street layout; and,
- 5) Any construction resulting from the approval of this *zoning amendment* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 335 670 1,340 2,010 2,680 Feet

Z2016-032 - AMENDMENT TO PD-74 (BREEZY HILL) SUBDIVISION
 ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





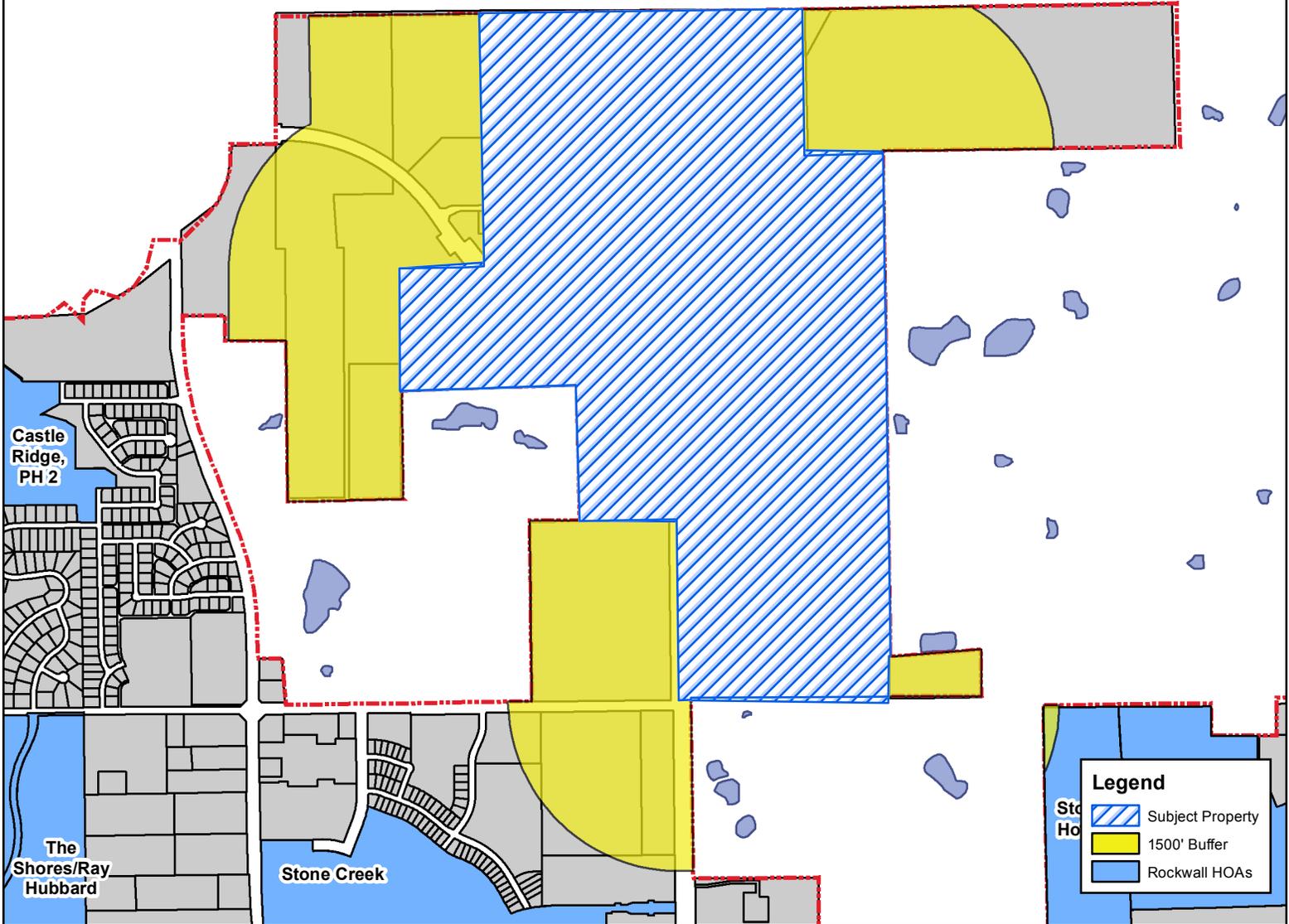
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



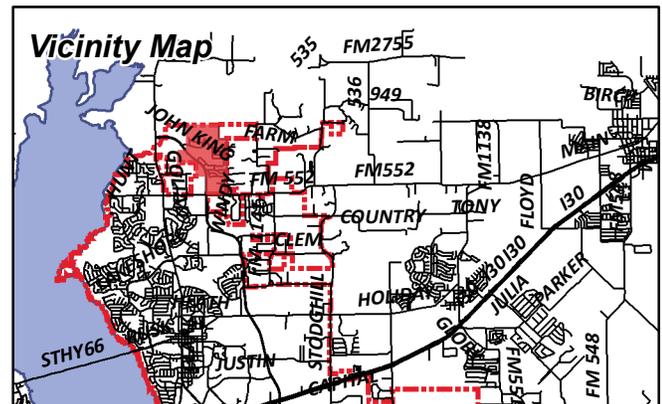
0 445 890 1,780 2,670 3,560 Feet



Case Number: Z2016-032
Case Name: Breezy Hill Amendment to PD-74
Case Type: Zoning
Zoning: Planned Development District 74
Case Address: North of FM 552 and west of Breezy Hill Road

Date Created: 09/20/2016

For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Friday, September 30, 2016 11:28:17 AM

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. The City of Rockwall Planning and Zoning Commission will hold a public hearing on Tuesday, October 11, 2016 and the Rockwall City Council will hold a public hearing on Monday, October 17, 2016. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on September 30, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2016-032-Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance No. 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



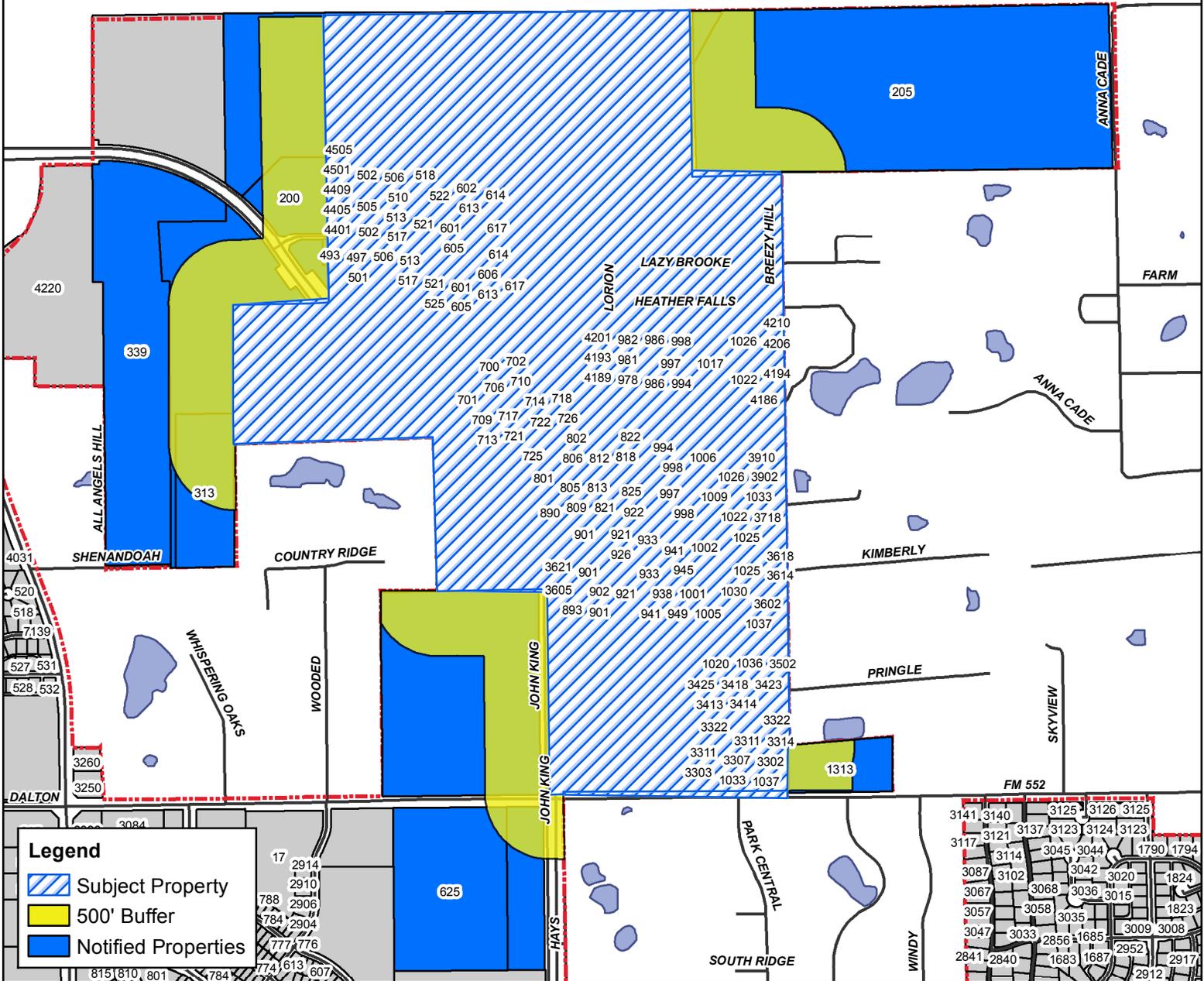
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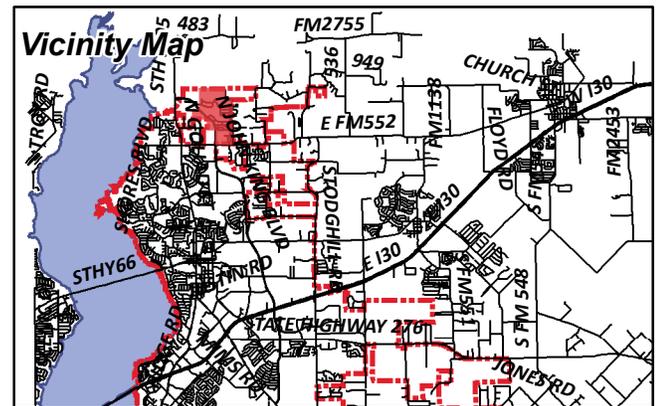


0 365 730 1,460 2,190 2,920 Feet



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Zoning: PD-74
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CURRENT RESIDENT
1001 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 AMBER KNOLL DR
ROCKWALL, TX 75087

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CURRENT RESIDENT
1005 PLEASANT VIEW DR
ROCKWALL, TX 75087

GOODWIN ALLAN AND JULIE
1005 EMBER CREST DR
ROCKWALL, TX 0

CURRENT RESIDENT
1006 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 CALM CREST DR
ROCKWALL, TX 75087

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1020 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 AMER KNOLL DR
ROCKWALL, TX 75087

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1021 CALM CREST DR
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CURRENT RESIDENT
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ROCKWALL, TX 75087

CURRENT RESIDENT
1022 PLEASANT VIEW DR
ROCKWALL, TX 75087

BIANCO DIEGO L
1022 PLEASANT VIEW DR
ROCKWALL, TX 0

CURRENT RESIDENT
1024 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 CALM CREST DR
ROCKWALL, TX 75087

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1030 EMBER CREST DR
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1033 AMER KNOLL DR
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1033 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 FAWN TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
1036 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1037 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1037 FAWN TRL
ROCKWALL, TX 75087

RIGGS WILLIAM AUDY SR ESTATE
105 E KAUFMAN ST
ROCKWALL, TX 0

CURRENT RESIDENT
1313 FM552
ROCKWALL, TX 75087

RIDGEVIEW CHURCH
1362 E FM 522
ROCKWALL, TX 0

PAUL TAYLOR HOMES LTD
17950 PRESTON RD 0
DALLAS, TX 0

CURRENT RESIDENT
200 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
205 ROCKHOUSE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
313 SHENNENDOAH
ROCKWALL, TX 75087

CURRENT RESIDENT
3302 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3303 RIDGECROSS DR
ROCKWALL, TX 75087

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3602 DREWSBURY DR
ROCKWALL, TX 75087

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3605 NOAH CREST DR
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3614 DREWSBURY DR
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3617 NOAH CREST DR
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3621 NOAH CREST DR
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3702 DREWSBURY DR
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3706 DREWSBURY DR
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3718 DREWSBURY DR
ROCKWALL, TX 75087

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3902 RAVENBANK DR
ROCKWALL, TX 75087

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4186 RAVENBANK DR
ROCKWALL, TX 75087

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4189 LORION DR
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4206 RAVENBANK DR
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4210 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4401 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4405 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4409 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4413 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4501 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4505 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
493 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
497 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
501 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
502 LIFE SPRING DR
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CURRENT RESIDENT
502 LIMMERHILL DR
ROCKWALL, TX 75087

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505 LIFE SPRING DR
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522 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
525 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
526 LIFE SPRING DR
ROCKWALL, TX 75087

MEGATEL HOMES INC
5512 W PLANO PARKWAY 0
PLANO, TX 0

SINKS CHARLES WILLIAM II & SANDRA LYNN
555 SINKS ROAD
ROCKWALL, TX 0

CURRENT RESIDENT
601 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
601 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
602 LIFE SPRING DR
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617 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
617 LIMMERHILL DR
ROCKWALL, TX 75087

DREES CUSTOM HOMES LP
6225 N STATE HIGHWAY 161 0
IRVING, TX

CURRENT RESIDENT
625 FM552
ROCKWALL, TX 75087

HANCE LARRY
6306 GLENHOLLOW CT
DALLAS, TX

GILBERT ADAM AND AMANDA
700 CALM CREST DR
ROCKWALL, TX0

CURRENT RESIDENT
701 CALM CREST DR
ROCKWALL, TX 75087

LONES STEVEN M JR AND KELLY SUSAN
702 CALM CREST DR
ROCKWALL, TX

JONES ELOISE AND
705 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
706 CALM CREST DR
ROCKWALL, TX 75087

EVANS JEFFREY WILLIAM AND JULIE BONDS
709 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
710 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
713 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
714 CALM CREST DR
ROCKWALL, TX 75087

WILLIAMS TOMMY EUGENE AND PEGGIE J
717 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
718 CALM CREST DR
ROCKWALL, TX 75087

CAVALLI DAVID MICHAEL AND JULIE HARRISON
721 CALM CREST DR
ROCKWALL, TX

ROGERS DAMIAN W AND JESSICA L
722 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
725 CALM CREST DR
ROCKWALL, TX 75087

BLOCHER AYERS H III AND KAREN L
726 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
801 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
802 CALM CREST DR
ROCKWALL, TX 75087

YAO CHAN-HWA AND ESTHER KUO-LIN
805 CLAM CREST DR
ROCKWALL, TX

COLLINS HOPE AND GUY JR
806 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
809 CALM CREST DR
ROCKWALL, TX 75087

ETLEY MICHAEL EUGENE
812 CALM CREST DR
ROCKWALL, TX 0

CURRENT RESIDENT
813 CALM CREST DR
ROCKWALL, TX 75087

LOWDERMILK SHANE AND CHERYL
817 CALM CREST
ROCKWALL, TX

CARIKER KEVIN L AND LESLIE J
818 CALM CREST DR
ROCKWALL, TX

CAMP JOSEPH RICHARD AND
821 CALM CREST DR
ROCKWALL, TX 0

WINDSOR HOMES CUMBERLAND LLC
8214 WESTCHESTER
DALLAS, TX

BH PHASE III SF, LTD. / BH AMC, LTD.
8214 WESTCHESTER DR
DALLAS, TX

BH PHASE V 80'S POD LTD
8214 WESTCHESTER DR 0
DALLAS, TX

BH 60'S POD LTD
8214 WESTCHESTER DR
DALLAS, TX

BH PHASE IV SF, LTD.
8214 WESTCHESTER DR
DALLAS, TX

BH BALANCE III LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX

BH PHASE I SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH PHASE IIB SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH PHASE IIA SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH BALANCE I LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH PHASE III SF LTD
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH BALANCE IV LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH BALANCE II LLC
8214 WESTCHESTER DRIVE
DALLAS, TX

BRADLEY ERIK DOUGLAS
822 CALM CREST DR
ROCKWALL, TX

WEBB JOHN DAVID AND CAROLYN PARKER
825 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
890 PLEASANT VIEW DR
ROCKWALL, TX 75087

RICE JAMES RANDOLPH JR AND CANDACE
ELAINE
893 COLBY BLUFF DR
ROCKWALL, TX

CURRENT RESIDENT
894 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
898 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
906 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
906 PLEASANT VIEW DR
ROCKWALL, TX 75087

SICILIANO LAURA EDITH AND
906 AMBER KNOLL DR
ROCKWALL, TX 0

CURRENT RESIDENT
909 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
909 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
909 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
926 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
926 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
929 COLBY BLUFF DR
ROCKWALL, TX 75087

MASSEY REBECCA LYNNE ALAMAT AND DARRIN
TODD
929 PLEASANT VIEW DR
ROCKWALL, TX 0

CURRENT RESIDENT
930 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
930 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
934 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
934 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
937 COLBY BLUFF DR
ROCKWALL, TX 75087

ROBSON SCOTT WAYNE
937 PLEASANT VIEW DR
ROCKWALL, TX

CURRENT RESIDENT
938 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
938 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
941 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
941 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
942 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
945 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
945 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
946 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
949 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
950 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
978 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
981 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
982 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
982 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
985 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
986 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
986 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
989 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
993 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
997 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
997 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 CATTERICK DR
ROCKWALL, TX 75087

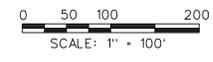
CURRENT RESIDENT
998 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 FOXHALL DR
ROCKWALL, TX 75087

LIFE SPRING CHURCH
P O BOX 886
ROCKWALL, TX

CLARK BRUCE A
PO BOX 1473
ROCKWALL, TX 0

SHENNENDOAH REAL ESTATE PARTNERS
PO BOX 941428
PLANO, TX



LEGAL DESCRIPTION

BEING, a tract of land situated in the T.R. Bailey Survey, Abstract No. 30 in the City of Rockwall, Rockwall County, Texas, being out of a 405.184 acre tract, as described in Clerks File No. 2007-00375392 in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the southwest corner of Breezy Hill Phase II A & II B, an addition to the City of Rockwall, as described in Cab. H, Pg. 397-398 in the Plat Records of Rockwall County, Texas, being in the east line of John King Boulevard (120' R.O.W.):

THENCE, South 89° 28' 34" East, along the south line of said Breezy Hill Phase II A & II B, for a distance of 723.98 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.":

THENCE, South 00° 31' 26" West, departing said south line, for a distance of 600.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.":

THENCE, North 89° 28' 34" West, for distance of 722.61 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", being in the east line of said John King Boulevard:

THENCE, North 00° 23' 34" East, along the east line of said John King Boulevard, for a distance of 600.00 feet, to the POINT OF BEGINNING and containing 9.962 acres of land.

SURVEYORS CERTIFICATE

I do hereby certify to Breezy Hill 405, Ltd., BH Balance IV, Ltd., Vestor T. Hughes, Jr., Independent Executor of the Estate of W.W. Coruth, Jr. Deceased, that a survey was made on the ground under my supervision in April 2015, and that this map correctly represents the facts found at the time of survey and that this professional service conforms to the current Texas Society of Professional Land Surveyors Standards and Specifications for Category 1A, Condition II Survey.

FOR REVIEW PURPOSES ONLY

Warren L. Corwin
Registered Professional Land Surveyor
No. 4621

Date _____

BOUNDARY SURVEY
OF
9.962 ACRE TRACT
OUT OF THE
T.R. BAILEY SURVEY ABSTRACT NO. 30
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APRIL 2015 SCALE: 1"=100'

- NOTES:**
- 1/2" IRON RODS WITH YELLOW "CORWIN ENGR. INC." CAPS SET AT ALL CORNERS UNLESS OTHERWISE INDICATED
 - BEARINGS ARE REFERENCED A 405.184 ACRE TRACT, AS DESCRIBED IN CLERKS FILE NO. 2007-00375392, IN THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS
 - IRF - IRON ROD FOUND
CM - CONTROLLING MONUMENT
PP - POWER POLE
WV - WATER VALVE
-X- - FENCE LINE
 - COPYRIGHT © CORWIN ENGINEERING, INC. ALL RIGHTS RESERVED
 - THE FOLLOWING EASEMENTS DO NOT AFFECT SUBJECT TRACT:
- TEXAS POWER & LIGHT CO. EASEMENT DATED JAN. 3, 1949, VOL. 45, PG. 343

LEGAL DESCRIPTION

BEING, a tract of land situated in the T.R. Bailey Survey, Abstract No. 30 in the City of Rockwall, Rockwall County, Texas, being out of a 405.184 acre tract, as described in Clerks File No. 2007-00375392 in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING, at a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”, at the southwest corner of Breezy Hill Phase IIA & IIB, an addition to the City of Rockwall, as described in Cab. H, Pg. 397-398 in the Plat Records of Rockwall County, Texas, being in the east line of John King Boulevard (120' R.O.W.);

THENCE, South 89°28'34” East, along the south line of said Breezy Hill Phase IIA & IIB, for a distance of 723.98 feet, to a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”

THENCE, South 00°31'26” West, departing said south line, for a distance of 600.00 feet, to a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”

THENCE, North 89°28'34” West, for distance of 722.61 feet, to a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”, being in the east line of said John King Boulevard;

THENCE, North 00°23'34” East, along the east line of said John King Boulevard, for a distance of 600.00 feet, to the POINT OF BEGINNING and containing 9.962 acres of land.

DONG WON KANG
VOL. 4703, PG. 1402

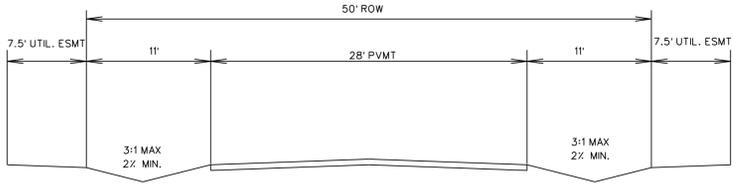
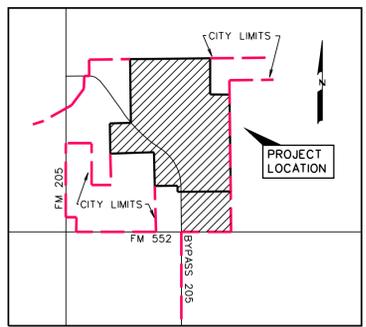
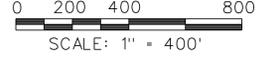
HELEN JOY RIGGS
VOL. 54, PG. 456

BRUCE CLARK
VOL. 102, PG. 1010

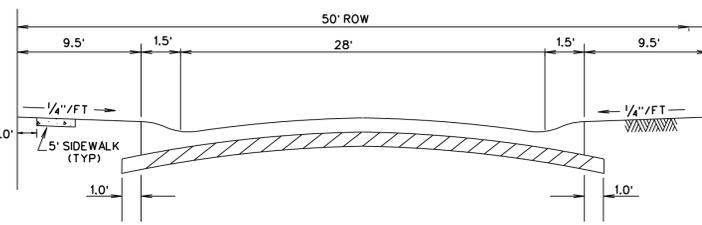
HIDDEN VALLEY ESTATES NO. 2
VOL. A, PG. 379

LARRY HANCE
VOL. 769, PG. 168

SKYVIEW COUNTRY ESTATES
VOL. A, PG. 261



RURAL STREET SECTION
N.T.S.
100'x200' LOTS



TYPICAL PAVEMENT SECTION - LAYDOWN CURB
N.T.S.

LEGEND

TYPICAL LOT SIZES

- TYPE A - [Orange] - 186 LOTS (60's)
- TYPE B - [Yellow] - 117 LOTS (70's)
- TYPE C - [Purple] - 326 LOTS (80's)
- TYPE D - [Blue] - 107 LOTS (100's)
- TYPE E - [Pink] - 40 LOTS (60's)
- [Green] - PUBLIC OPEN SPACE/ LANDSCAPE BUFFER

RESIDENTIAL OPEN SPACE

Number	Acres	OPEN SPACE CREDITS	Comments
1	11.5	11.5	Open Space
2	1.3	1.3	Open Space
3	7.5	7.5	Open Space
4	0.8	0.8	Open Space
5	1.6	1.6	Open Space
6	5.4	5.4	Open Space
7	7.1	7.1	Open Space
8	32.5	32.5	Open Space
9	9.7	9.7	Open Space
10	0.7	0.7	Open Space
11	6.6	6.6	Floodplain
12	11.9	5.9*	Floodplain
13	1.4	0.7*	Floodplain
14	0.2	0.2	Open Space
15	1.6	1.6	Amenity Center
16	1.2	1.2	Open Space
17	0.8	0.8	Open Space
18	0.09	0.09	Open Space
19	3.56	1.78*	Floodplain
TOTAL	105.4 AC.	97.0 AC.	

* indicates 50% Credit for Flood Plain
 TOTAL RESIDENTIAL ACRES - 381.20 AC.
 JOHN KING R.O.W. - 8.1 AC.
 NET ACRES - 373.10 AC.
 20% required Open Space - 74.62 AC.
 per PD

TOTAL RETAIL - 19.4 AC.
 JOHN KING R.O.W. - 4.45 AC.
 NET RETAIL ACRES - 16.2 AC.
 20% required Open Space - 3.2 AC
 per PD

NOTE:
 BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PLACED AS NEEDED TO ACCOMMODATE FIRE PROTECTION.

FEMA FLOODPLAIN PANEL NO. 48397C0030L

THE 19.5 ACRE TRACT DESIGNATED AS "RETAIL TRACT" WILL REQUIRE A SEPARATE PD DEVELOPMENT PLAN AND IS INCLUDED IN THE AREA COVERED BY THIS MASTER PLAT.

RETAIL TRACT 19.4 ac.
 RESIDENTIAL TRACT 381.20 ac.

TOTAL ACRES 405.15
 TOTAL RESIDENTIAL LOTS 776
 RESIDENTIAL DENSITY 1.92

Infrastructure Statement

Drainage Facilities:
 There are natural drainage ways within the project and detention will be required.

Sanitary Sewer Facilities:
 This site will utilize lift stations and force mains to send the sewer flows to the existing sewer trunk line located at the intersection of FM 552 and Highway 205

Water Facilities:
 There is an existing water line located in FM 552. A new 16" water line will be constructed along John King Boulevard north of FM 552 to service this tract.

Roadway Facilities:
 The west side of the project is bounded by John King Boulevard, the south side is bounded by FM 552, the east side is bounded by Breezy Hill Road.

MASTER PLAT
 OF
BREEZY HILL
 OUT OF THE
 J. STRICKLAND SURVEY, ABSTRACT NO. 187
 T.R. BAILEY SURVEY, ABSTRACT NO. 30

IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNERS
BREEZY HILL 405, LTD.
 8214 WESTCHESTER, SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 AUGUST 2016 SCALE 1" = 400'

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 74 (PD-74) [ORDINANCE NO. 14-26] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING THE PLANNED DEVELOPMENT CONCEPT PLAN AND THE DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 14-26, BEING A 405.184-ACRE TRACT OF LAND SITUATED IN THE J. STRICKLAND SURVEY, ABSTRACT NO. 187, T. R. BAILEY SURVEY, ABSTRACT NO. 30 AND THE J. SIMMONS SURVEY, ABSTRACT NO. 190, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE..

WHEREAS, the City has received a request by the Noah Flabiano of the Skorburg Company on behalf of Breezy Hill 405, LTD for an amendment to the Planned Development Concept Plan and Development Standards contained within Planned Development District 74 (PD-74) [specifically contained within *Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, for a 405.184-acre tract of land situated in the J. Strickland Survey, Abstract No. 187, T. R. Bailey Survey, Abstract No. 30 and the J. Simmons Survey, Abstract No. 190, Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 74 [*Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 14-26*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That a master parks and open space plan for the Property, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, (*Open Space Master Plan*) shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

Section 6. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 1. Open Space Master Plan
 2. Master plat
 3. PD development plans (*required for retail areas only*)
 4. PD site plans
 5. Preliminary plats
 6. Final plats
- (c) A Master Plat application covering all of the *Subject Property*, other than the area designated on the *Planned Development Concept Plan* as *Retail*, shall be submitted and shall identify each phase of development. No master plat application shall be approved until the *Open Space Master Plan* for all of the Property has been approved; however, the *Open Space Master Plan* may be processed by the City concurrently with the master plat application.
- (d) A *PD Development Plan* must be approved for the area designated on the Concept Plan as *Retail* prior to submittal of a *PD Site Plan* application and/or a preliminary plat application. No master plat is required for the area designated on the Concept Plan as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for the retail tract.
- (e) A preliminary plat application shall be submitted for each phase of residential development. A *PD Site Plan* application, including a site plan application for improvements for parkland or trails, may be processed by the City concurrently with a preliminary plat application for that phase of the development.
- (f) A *Capital Facilities Agreement* in the form of *Exhibit 'D'*, attached hereto and incorporated herein by reference as *Exhibit 'D'*, shall be executed by Developer providing for delivery of adequate public facilities and services within the District.

Section 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine

not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF NOVEMBER, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2016

2nd Reading: November 7, 2016

Exhibit 'A':
Legal Description

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN PARTS OF THE J. STRICKLAND SURVEY, ABSTRACT NUMBER 187, T. R. BAILEY SURVEY, ABSTRACT NUMBER 30 AND THE J. SIMMONS SURVEY, ABSTRACT NUMBER 190 OF ROCKWALL COUNTY, AND BEING THAT TRACT OF LAND CONVEYED TO W.W. CARUTH, JR. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 66, PAGE 493, DEED RECORDS OF ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) ALSO A PORTION OF THE J. STRICKLAND SURVEY, ABSTRACT 794•3 LYING IN COLLIN COUNTY, TEXAS, THAT TRACT OF LAND CONVEYED TO MABEL CARUTH ACCORDING TO THE FILE OF RECORD IN COUNTY CLERK FILE NUMBER 92-0054539 OF COLLIN COUNTY, TEXAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND AT THE BASE OF A CORNER POST, SAID IRON ROD BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO DONG WON KANG RECORDED IN VOLUME 4703, PAGE 1402, D.R.R.C.T., AND SAME (BEING THE SOUTHEAST CORNER OF SAID TRACT "ONE" AS SHOWN HEREON;

THENCE NORTH 89°21'28" EAST, A DISTANCE OF 2077.92 FEET TO A 1/2" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°01'37" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 1274.60 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°19'07" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 686.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°42'37" EAST, ALONG THE CENTER OF BREEZY HILLS ROAD, A DISTANCE OF 4777.93 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN THE NORTH LINE OF F.M. HIGHWAY 552, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 89°20'36" WEST, ALONG THE NORTH LINE OF SAID F.M. HIGHWAY, A DISTANCE OF 1887.13 FEET, TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN AN ENTRYWAY OF A RANCH ROAD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 00°31'43" WEST, GENERALLY ALONG THE CENTER OF SAID RANCH ROAD, PASSING AT A DISTANCE OF 10.00 FEET A 1/2" IRON ROD FOUND ON THE WEST LINE OF THIS TRACT AND CONTINUING A TOTAL DISTANCE OF 593.55 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH S9°15'47" WEST, A DISTANCE OF 503.29 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 01°31'06" WEST, A DISTANCE OF 1189.10 FEET TO A 5/8" IRON ROD FOUND AT THE BASE OF A CORNER POST, FOR A CORNER OF THIS TRACT;

THENCE SOUTH 88°05'58" WEST, A DISTANCE OF 1546.66 FEET TO A 3/8" IRON ROD

Exhibit 'A':
Legal Description

FOUND FOR A CORNER OF THIS TRACT;

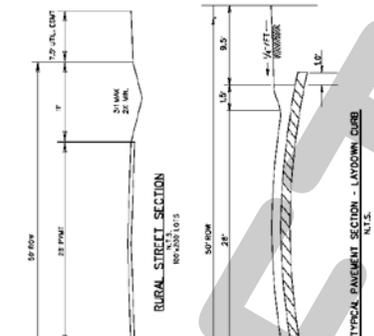
THENCE NORTH 00°47'14" WEST, A DISTANCE OF 1067.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 88°33'50" E, A DISTANCE OF 748.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°45'11" W, A DISTANCE OF 2243.67 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 89°21'28" E, A DISTANCE OF 754.93 FEET TO THE POINT OF BEGINNING, AND CONTAINING 405.184 ACRES OF LAND, MORE OR LESS.

Exhibit 'B': Concept Plan



LEGEND

TYPICAL LOT SIZES

- TYPE A - 866 LOTS (60%)
- TYPE B - 117 LOTS (70%)
- TYPE C - 328 LOTS (80%)
- TYPE D - 127 LOTS (100a)
- TYPE E - 40 LOTS (60%)
- PUBLIC OPEN SPACE / LANDSCAPE BUFFER

RESIDENTIAL OPEN SPACE

Number	Acres	Open Space	Comments
1	11.5	11.5	Open Space
2	1.3	1.3	Open Space
3	7.5	7.5	Open Space
4	1.6	1.6	Open Space
5	5.4	5.4	Open Space
6	7.1	7.1	Open Space
7	32.5	32.5	Open Space
8	0.7	0.7	Open Space
9	6.6	6.6	Fractured
10	11.9	5.34	Floodplain
11	1.4	0.74	Floodplain
12	0.2	0.2	Open Space
13	1.9	1.9	Open Space
14	1.2	1.2	Open Space
15	0.8	0.8	Open Space
16	0.09	0.09	Open Space
17	3.56	1.78	Fractured
18	97.0	97.0	Fractured
19	97.0	97.0	Fractured
TOTAL	97.0	97.0	Fractured

MASTER PLAN OF
BREEZY HILL
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
T.R. BAILEY SURVEY, ABSTRACT NO. 30
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNERS
BREEZY HILL 405 LTD.
521 WEST TEXAS, SUITE 710
DALLAS, TEXAS 75225
214-522-8945
PREPARED BY
CORWIN ENGINEERING, INC.
200 BRIDGEMAN SUITE E
PLUMEN, TEXAS 75075
972-396-1000
AUGUST 2016 SCALE 1" = 400'
CASE #2015-XXX

NOTE:
BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PLACED AS NEEDED TO ACCOMMODATE FIRE PROTECTION. FEMA FLOODPLAIN PANEL NO. 483920000L. THIS 93.5 ACRE TRACT DESIGNATED AS "RESIDENTIAL" WILL REQUIRE A SEPARATE PD DEVELOPMENT PLAN AND IS INCLUDED IN THE AREA COVERED BY THIS MASTER PLAN.

TOTAL ACRES 405.15
RESIDENTIAL TRACT 38120 ac.
RETAIL TRACT 19.4 ac.

TOTAL RESIDENTIAL LOTS 776
RESIDENTIAL DENSITY 1.92

ZONED-PLANNED DEVELOPMENT-DISTRICT 74 (PD-74)

Exhibit 'C':
PD Development Standards

TEXT TO BE ADDED TO THE ORDINANCE
TEXT TO BE REMOVED FROM THE ORDINANCE

A. GENERAL REQUIREMENTS

1. *Uses Allowed.* The following uses are permitted for the Property.

- a. *Residential uses.* Uses permitted of right or by special use permit for the Single Family 10 (SF-10) District, as set forth in Article IV, Permissible Uses, of the City of Rockwall Unified Development Code, shall be allowed for areas designated as Single-Family on the Concept Plan, subject to approval of a Special Use Permit if required by the SF-10 District Regulations.
- b. *Non-residential uses.* Non-residential uses shall be allowed only within the area designated as Retail on the approved Concept Plan for the District, and are limited to those uses permitted of right or by special use permit for the General Retail (GR) District subject to approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations, Article X, Section 2 of the Unified Development Code, and subject to approval of a Special Use Permit if required by the General Retail (GR) District regulations; provided, however, that the following uses are expressly prohibited:

- Animal Hospital, Clinic
- Convent or Monastery
- Hotel or Motel
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (Outside)
- Gun Club, Skeet or Target Range (indoor)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply/Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service*
- Service Station*
- Mining and Extraction (Sand, Gravel, Oil & other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

* Not including a convenience store with an accessory car wash use or more than four (4) gas pumps, which accessory uses are permitted by SUP.

The following additional use shall be permitted of right in the PD District:

- Grocery Store with a maximum building area of one hundred and thirty thousand (130,000) square feet.

- c. *Design of non-residential uses.* The retail area shall be designed to be pedestrian-oriented and easily accessible to adjacent residential neighborhoods. Additionally, the retail area shall be designed and constructed to be integrated with adjacent uses, not separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from adjacent development into the retail area and

Exhibit 'C':
PD Development Standards

through the use of landscaping buffers, building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

- d. *Density and lot composition.* If the retail develops in accordance with the attached Concept Plan, no more than **742 776** single-family residential dwelling units may be constructed within the Property. Except as provided in subsection (e), single-family residential units shall be allocated by product type in accordance with the following table:

Table 1: Lot Composition

Lot Type	Lot Size Minimum	Lot SF Minimum	Driveway Access	Total Units	Total Dwelling Units (%)
A	60' x 120'	7,200	Front	206 186	27.80 23.97%
B	70' x 120'	8,400	Front	442 117	15.40 15.08%
C	80' x 125'	10,000	Front	326	43.90 42.01%
D	100' x 200'	20,000	Front	98 107	13.29 13.79%
E	60' x 120'	7,200	Front	40	5.15%
AVERAGE LOT SIZE:		10,000			
MAXIMUM ALLOWED TOTAL UNITS:				742 776	100%

- e. *Variation in lot composition.* The allocation of single-family dwellings among lot types may deviate from that in subsection (d), provided that the maximum allowed total dwelling units does not exceed **742 776** units, the average lot size for the development is not less than 10,000 sq. ft., and the following rules are met:

- (1) Lot types "A & B" may increase not more than 5% in aggregate number.
- (2) Lot type "C" shall not be decreased below **42% 42.01%** of the total **742 776** lots.
- (3) Lot Type "D" shall not be decreased below **98 107** of the total lots.
- (4) Lot Type "E" shall not increase above 40 of the total lots.**

2. *Development Standards Applicable.* Except as may be modified by these Development Standards, residential uses shall be subject to the development standards for a (SF-10) Single Family Residential District, as set forth in Article V, District Development Standards for Section 3.4 of the City of Rockwall Unified Development Code; to the development standards in the 205 Bypass Overlay District; and to all supplemental standards contained in the Unified Development Code, including but not limited to the tree preservation regulations in the Unified Development Code.

Exhibit 'C':
PD Development Standards

B. SPECIAL DEVELOPMENT STANDARDS

1. *Dimensional Standards for Residential Uses*

Table 2: Lot Type Matrix

Lot Types	A	B	C	D	E
Maximum Building Height	36'	36'	36'	36'	36'
Minimum Air Conditioned Square Footage	2,200	2,400	2,600 ²	3,000	2,200
Minimum Front Yard Building Setback	20' ⁴	20'	20'	40' ³	20' ⁴
Minimum Rear Yard Building Setback	10'	10'	15'	15'	10'
Minimum Side Yard (<i>Interior</i>)	5'	5'	6'	7'	5'
Minimum Side Yard Adjacent to a Street	15'	15'	15'	15'	15'
Minimum Distance of Driveway (<i>from Property Line</i>)	20'	20'	20'	40'	20'
Minimum Lot Area (<i>Square Feet</i>)	7,200	8,400	10,000	20,000	7,200
Minimum Lot Frontage ¹	60'	70'	80'	100'	60'

Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by twenty percent (20%) in lot width measured at the front property line provided that the lot width will be met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10 percent (10%) but shall meet the minimum lot size for each lot type as referenced within *Table 1*.
- ²: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.
- ³: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.
- ⁴: Front porch may encroach to within 10-feet of the front property line.

2. *Development Standards for Residential Uses by Lot Product/Type*

a. *Detached Single Family Lot Type A*

Development Standards

Minimum Lot Size	7,200 SF
Minimum Lot Width (@ Front Building Line)	60'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	65'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,200 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drive. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'A' lots shall have 3-car garages.
Maximum Lot Coverage	65%

Exhibit 'C':
PD Development Standards

b. Detached Single Family Lot Type B

Development Standards	
Minimum Lot Size	8,400 SF
Minimum Lot Width (@ Front Building Line)	70'
Minimum Lot Depth	120'
Minimum Lot Width (Corner Lot)	75'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,400 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drives. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'B' lots shall have 3 car garages.
Maximum Lot Coverage	65%

c. Detached Single Family Lot Type C

Development Standards	
Minimum Lot Size	10,000 SF
Minimum Lot Width (@ Front Building Line)	80'
Minimum Lot Depth	125'
Minimum Lot Width (Corner Lot)	85'
Minimum Side Yard Setback	6'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	2,600 SF ¹
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 80% of Type 'C' lots shall have 3 car garages.
Maximum Lot Coverage	65%

Notes:

¹: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.

Exhibit 'C':
PD Development Standards

d. *Detached Single Family Lot Type D*

Development Standards	
Minimum Lot Size	20,000 SF
Minimum Lot Width (@ Front Building Line)	100'
Minimum Lot Depth	175'
Minimum Lot Width (Corner Lot)	100'
Minimum Side Yard Setback	7'
Minimum Front Yard Building Setback	40' ¹
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	3,000 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. 80% of Type D lots shall have a minimum of 3 car garages.
Maximum Lot Coverage	70%

Notes:

¹: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.

e. **Detached Single Family Lot Type E**

Development Standards	
Minimum Lot Size	7,200 SF
Minimum Lot Width (@ Front Building Line)	60'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	65'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20' (Front porch may encroach to within 10-feet of the front property line) ¹
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,200 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation ¹	Up to 50% of garages will be allowed to be accessed from the street in a front entry format (i.e. facing the street even with the front façade of the primary structure); however, a minimum driveway length of 20-feet must be provided. The remaining garages will be in a "traditional swing" or "j-swing" format or have a garage door that is a minimum of 20-feet behind the front façade of the primary structure.
Maximum Lot Coverage	65%

Exhibit 'C':
PD Development Standards

Notes:

¹: No two adjacent lots on the same side of the street may have front entry only garages facing the street.

3. *Fencing.* All individual residential fencing for lots less than 20,000 square feet shall be cedar standard fencing material (minimum ½” thickness) or better (spruce fencing will not be allowed). All cedar pickets shall be placed on the “public side” facing the street, alley or neighboring property. Lots containing 20,000 sq. ft., lots located along perimeter roadways, and lots abutting open spaces, greenbelts and parks shall be required to install tubular steel fencing. Corner lot fencing (adjacent to the street) shall provide masonry columns at forty-five feet (45’) off center spacing that begins at the rear property line corner and terminates ten feet (10’) behind the front yard building setback line. A maximum six (6’) foot solid board on board “panel” cedar fencing shall be allowed between the masonry columns along the side and/or rear yard lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five feet (5’). The property owner shall maintain that portion of the property outside the fence.
4. *Anti-Monotony Features.* Lot types shall incorporate the following elevation features.

Table 3 : Anti-Monotony Matrix

Lot Type	Lot Size (Approx.)	Elevation Features
A	60’ x 120’	i., ii., iii.
B	70’ x 120’	i., ii., iii.
C	80’ x 125’	i., ii., iii.
D	100’ x 200’	i., ii., iii.
E	60’ x 120’	i., ii.

- i. Exterior facade must be composed of eighty percent (80%) masonry (brick, stone, cultured stone, or three-part stucco). Identical brick blends may not occur to adjacent (side-by-side) properties. Elevations shall not repeat along the fronting or siding streetscape without at least four (4) intervening homes of sufficient dissimilarity (to be determined by the ARC) on the same side of the street and (2) intervening homes on the opposite side of the street). The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least two (2) intervening homes of sufficient dissimilarity (to be determined by the ARC). Masonry (brick, stone, cultured stone, or three-part stucco) chimneys shall be required on all homes.
 - ii. Minimum of 8:12 roof pitch, except for 4:12 roof pitches on porches. For each phase, a maximum of four compatible roof colors may be used. Dimensional shingles shall be used. Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized. No Formica counters in kitchens and bathrooms, no blown acoustic ceilings. No vinyl flooring will be used in kitchens.
 - iii. For front entry driveway access a traditional “swing” or “J” drive will be used. Second single garage door facing street is permitted behind (width) of double garage door in “swing” or “J” configuration only.
5. *Streetscape Landscape.* Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy trees.
 - (1) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.

Exhibit 'C':
PD Development Standards

- (2) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - (3) For purposes of this section only, the term “front yard” includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.
6. *Master Design Guidelines.* Additional design guidelines specific to each phase of development that shall apply to all single-family dwellings units within that phase of development, shall be submitted to the City prior to issuance of any building permits for that portion of the development.

C. STANDARDS FOR DISTRICT DESIGN AND CONNECTIVITY

1. *Streetscape Standards for Collectors & Non-Fronting Thoroughfares.* All streets, excluding drives, fire lanes and private parking areas, shall be built according to City of Rockwall street standards. Sidewalks and Hike / Bike trails are to be placed according to city requirements and as set forth in the Open Space Master Plan for the District.
 - a. *Buffer-Strip and Sidewalks (John King Boulevard Overlay District).* The landscape buffer strip along John King Blvd shall be as described in the City of Rockwall Unified Development Code, Article V (District Development Standards), Section 6.10 E (Landscape Standards) and be a minimum width of fifty (50) feet as shown on the Planned Development Concept Plan in Exhibit 'B'. Additionally, the developer shall construct a minimum of a ten (10) foot sidewalk, on both sides of John King Boulevard, within the fifty (50) foot landscape buffer strip as recommended by the John King Boulevard Design Concept Plan located in the Comprehensive Plan of the City of Rockwall.
 - b. *Buffer-Strip (FM 552).* A landscape buffer strip with a minimum width of fifteen (15) feet shall be provided along the frontage of FM 552, and shall be landscaped with at least one canopy tree per 30-ft and a combination of berms and shrubbery to be reviewed with the PD Site Plan(s) for the retail tract.
 - c. *Buffer-Strip (Breezy Hill) Retail.* The minimum buffer width between the proposed retail area and Breezy Hill Rd shall be fifty (50) feet, and shall include a berm with a minimum height of five (5) feet with at least three (3) canopy trees and four (4) accent trees per 100-ft of frontage. A detail of this landscape buffer shall be approved by the Planning and Zoning Commission and City Council at the time of PD Development Plan for the retail tract.
 - d. *Buffer-Strip (Breezy Hill) Residential.* A landscape buffer strip with a minimum width of ten (10) feet shall be provided between any residential area and Breezy Hill Rd.
 - e. *Irrigation.* Any irrigation installed in landscape areas and public parks must be designed by a Texas licensed irrigator or landscape architect.
 - f. *Fencing.* The Association will maintain all common area and perimeter fencing surrounding the Property. Such perimeter fencing shall be composed of six foot (6') tall tubular steel fencing with masonry entry features or such other fencing as may be approved by the City at the time of platting. Perimeter screening may also be accomplished by earthen berms landscaped with living screening. Property owners will maintain all fences constructed on private property.
 - g. *Curvilinear Walks.* Walks are to be a minimum of five feet (5') wide to six feet (6') maximum width (hike and bike trail) consistent with the approved Open Space Master Plan. “Collector streets” with or without center medians may incorporate sidewalks six feet (6') in width adjacent to or within “front yard” landscape easements. Walks may

Exhibit 'C':
PD Development Standards

meander within parkway and common area; however, edge of walk shall be no closer than four feet (4') from back-of-curb.

- h. *Medians.* Any proposed median openings shall meet the City standards at the time of PD site plan approval.
2. *Lighting.* Light poles shall not exceed twenty feet (20') in height. All light fixtures shall direct light downward and be contained to the site.
3. *Sidewalks.* At a minimum, sidewalks located on lay down curb section streets shall begin four feet (4') behind the back of curb and be five feet (5') in overall width. Sidewalks will not be required on rural street sections.
4. *Curbing.* Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
5. *Buried Utilities.* New distribution power-lines required to serve the Property shall be placed underground, whether such lines are located internally or along the perimeter of the Property, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3 phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the Property, except along the 205 Bypass. Additionally, if such above ground lines are installed along the perimeter of the property and adjacent to non-residential use, then the lines shall be installed behind the non-residential buildings where the installation is possible. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the Property. Temporary power-lines constructed across undeveloped portions of the Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered "existing lines" at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph.
6. *Parks and Open Space.*
 - a. Residential and retail acreages (net of right-of-way dedication) shall contain no less than 20% open space and.
 - b. Allowable open space may include but is not limited to 50% of floodplain, amenity center, public or private parks, trails, natural areas, buffers, traffic circle medians, entry features, common areas (including any Association recreation center or similar facilities) and other features depicted on the Development Plan, as set forth in the Open Space Master Plan prepared in accordance with subparagraph (c) below. Street right of way will not be included as open space. At least 80% of the single-family dwellings within the development shall be located within eight hundred feet (800') of public or private open space. In order to qualify, such open space must be at least one (1) continuous acre in area, not including roadway buffers less than fifty (50') feet in width.
 - c. The Developer shall prepare the Open Space Master Plan to be consistent with the approved Development Plan. The purpose of an Open Space Master Plan is to supplement the Development Plan by providing an additional level of detail for public and private open space areas. The Open Space Master Plan shall identify the locations of and improvements to public parks, and other public and private open space or common areas and shall illustrate an integral system of trail improvements that, together with intervening land held by other property owners or the City, is designed to connect residential areas, schools and retail areas within the District to parks and open space within the District and that provides for continuation and connection of the trail system to off-site parks and open space, in accordance with the City's Master Park and Recreation Plan. The Open Space Master Plan shall clearly differentiate public parks from private facilities and common lands to be maintained by the Association. The locations of public parks, school sites and other public and private open space or common areas shown on

Exhibit 'C':
PD Development Standards

- the Open Space Master Plan shall be in conformance with the Development Plan. The Open Space Master Plan shall include a phasing plan for construction of all trails, parks, common open space and facilities. The Open Space Master Plan shall be considered for approval if it complies with this section, the applicable City regulations, the Development Plan, and generally accepted park-planning practices.
- d. The District shall contain not less than eleven (11) acres of land to be used as public or private parkland. A minimum of eleven (11) contiguous acres shall be dedicated to the City in accordance with the City's Neighborhood Parkland Dedication Ordinance on approval of the final plats for those phases adjacent to or abutting the proposed parkland dedication and will provide access to said parkland area. The remaining parkland area will be retained as a private park within the District. Park improvements shall be constructed in accordance with the approved Open Space Master Plan. The site plan incorporating the design of park improvements and hike/bike trail improvements shall be considered for approval with the final plat for the phase of the development containing such improvements. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding land dedication. At the time of recordation of final plats for each phase, the Developer shall pay park improvement fees to the City. These fees shall be held in an escrow account until the parkland is dedicated to the City, at which time the Developer shall inform the City if the Developer wishes to use the escrowed fees as well as future fees to construct park improvements. Prior to construction, said improvements shall be approved by Parks Director, approval not to be unreasonably withheld, and invoices for improvements shall be submitted to Parks Director for approval. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding park development fees, provided that park improvements are installed at a value equal or exceeding the value of park improvement fees for the entire District applicable at that time, or improvement fees are paid. Thereafter, the Developer shall not be responsible for additional parkland dedication or park development fees associated with the Property, except as otherwise may be provided in a capital facilities agreement approved by the City.
7. Developer shall provide a minimum of one (1) retention pond in the District with hard edges and fountain features. The exact configuration and location of the ponds will be determined at development. All retention pond hardedges shall be similar to the hardedge shown on Figure 1 (below).

Exhibit 'C':
PD Development Standards



Figure 1: Retention Pond with Hardedge.

8. *Signage.* Permanent subdivision identification signage shall be permitted at all major entry points, in general conformance to the signage shown in Figure 2 & 3 (below). Final design of entry features to be determined with the Planned Development Site Plan.



Figure 2: Example of Subdivision Signage Locations

Exhibit 'C':
PD Development Standards

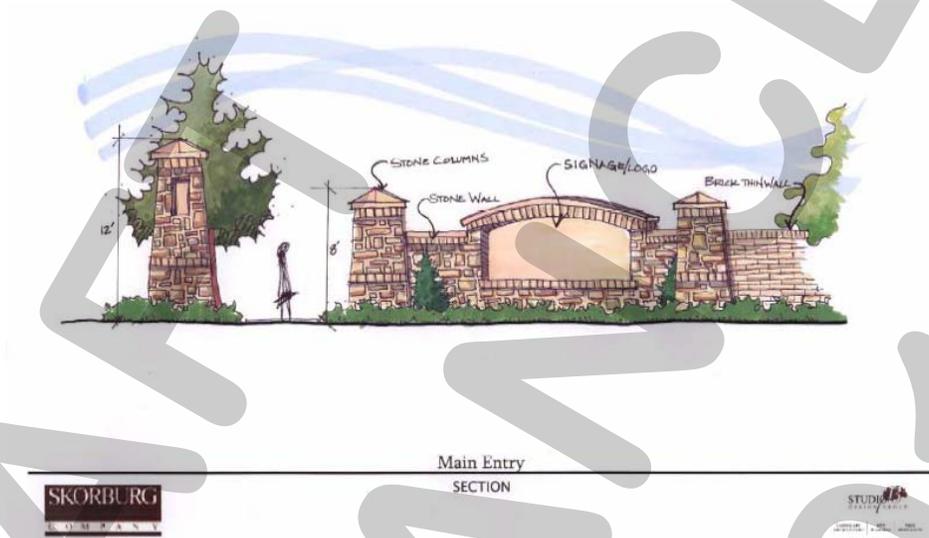


Figure 3: Example of Subdivision Signage Design Standard

9. *Variations.* The variance procedures and standards for approval set forth in the Unified Development Code shall apply to any application for variances to this ordinance.
10. *Amenity Center.* Site plan, landscape plan and building elevations for the Amenity Center shall be approved by the Planning and Zoning Commission prior to construction.
11. *Trees.* All trees planted within the District shall be a minimum three (3) inch caliper measured six (6) inches above the root ball.

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

THIS CAPITAL FACILITIES AGREEMENT (the "Agreement") is by and among the Breezy Hill 405, Ltd, ("Breezy" or "Developer") and the City of Rockwall, Texas ("City" or "Rockwall"),

I. RECITALS

1. Breezy seeks to rezone and subdivide the Property for single-family residential use and certain commercial uses. Breezy shall submit an application to rezone the 405 acres north of FM-552 (the "Property") as a planned development (PD) district for a development currently known as Breezy Hill (the "PD District"),

NOW, THEREFORE, in consideration of the foregoing recitals and mutual covenants contained herein, the Parties hereto agree as follows:

II. ADEQUATE PUBLIC FACILITIES

1. *General Provisions.*
 - a. *Adequacy Required.* Development of the Property shall be supported with adequate levels of public facilities and services, Adequate facilities and services are those that (i) comply with the applicable City regulations, including this Agreement, and (ii) are consistent with generally accepted engineering and planning practices for similar developments, The Parties agree that the dedication and construction of public improvements, or the contribution of proportionate development fees, required to support development of the Property shall precede or be concurrent with the construction of private improvements to the land, in accordance with the phasing provisions incorporated within this section, or as otherwise may be provided through approval of a master plat.
 - b. *Proportionality.* The Parties agree that the dedication or construction of public improvements, or the contributions of development fees, provided for in this Agreement are roughly proportional to the nature and extent of the proposed development of the Property on the City's public facilities systems. Breezy hereby covenants not to sue the City for any claim, or otherwise consent to participate in any action against the City arising from any claim by such party or by its affiliates, alleging that application of the adequate facilities requirements set forth in this Part II of the Agreement to the development of the Property, or the imposition of conditions to a plat application for a portion of the Property that are consistent with the requirements of this section, are not roughly proportional to the impacts of the development depicted in the Concept Plan, including but not limited to any action premised upon Tex. Loc. Gov't Code sec. 212.904 or successor statute. Such covenant not to sue touches and concerns the Property, and is a covenant running with the land such that it binds successors-in-interest and assigns of Breezy. Should any successor-in-interest or assign of Breezy other than an affiliate of Breezy assert any of the foregoing claims in a court of competent jurisdiction, in violation of this Subsection 1 (b), with respect to the development of any portion of the Property, the Parties agree that, with respect to such portion of the Property or all of the Property, at the City's option, this Agreement thereupon shall become null and void and any rights that may otherwise have

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

vested under then existing state law shall be waived upon such event. Breezy further agrees that the City may expressly rely upon the provisions of this paragraph in any certification under section 212.904 and that a court in determining rough proportionality may consider all of the Property. Should Breezy or an affiliate of Breezy violate the covenant not to sue contained in this paragraph, the City may either enforce the covenant or pursue the remedies provided for herein that are applicable to successors or assigns, other than affiliates. As used in this Agreement, the term "affiliate" means any person, corporation, partnership, or other entity controlled by, controlling, or under common control with Breezy.

- c. *No Waiver.* The requirements in this Part II shall be considered additional standards and conditions applicable to development within the PD District. Except in the event of a conflict between the standards in this Agreement and other standards applicable within the District, nothing in this Agreement shall be construed as superseding any requirement or standard in the City's subdivision or utility regulations relating to provision of adequate public facilities and services.

2. *Wastewater Services.*

- a. *City as Provider.* The City shall be the supplier of wastewater services to the Property.
- b. *Line Extensions.* The Developer shall extend wastewater mains sufficient to serve each phase of development within the PD District, sized in accordance with the City's master plan for wastewater facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall design and construct a lift station in order to serve the development within the PD District. The Developer shall be entitled to pro-rata fees for the costs of over-sizing the lift station from other future developments using the lift station, calculated on a per acreage basis. Developer also shall be eligible for credits against wastewater impact fees otherwise due for construction of improvements identified and included in the City's wastewater improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro-rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.
- c. *Payment of Impact Fees.* Wastewater impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.

3. *Water Services*

- a. *City as provider.* The City shall be the supplier of water services to the Property. The City represents that it has sufficient capacity to serve the Property.
- b. *Line Extensions.* The Developer shall extend water mains sufficient to serve each phase of development within the PD District, sized in accordance with

PLS

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

the City's master plan for water facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall be eligible for City participation in the costs of over-sizing water distribution mains or appurtenances that serve other land in addition to the Property, in accordance with the City's standard policies, or for collection of pro-rata fees for such facilities. Developer also shall be eligible for credits against, water impact fees otherwise due for construction of improvements identified and included in the City's water improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.

- c. *Payment of Impact Fees.* Water impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.
4. *Road Improvements.* The Developer shall make the following road improvements.
 - a. *John King Boulevard (Highway 205 Bypass).* The Developer shall have no obligation with respect to construction of John King Blvd. other than as outlined herein regarding payment of road impact fees.
 - b. *FM-552 Improvements.* The Developer shall dedicate rights-of-way for and construct turn lanes and acceleration/deceleration lanes concurrent with construction of any road on the Property that intersects FM 552, in accordance with City and TXDOT standards and specifications at the time of development of adjoining property.
 - c. *Breezy Hill Road Improvements.* The Developer shall dedicate a minimum of twenty-five feet (25') of right-of-way or such right-of-way as is needed to construct a twenty-four foot (24') concrete rural section of Breezy Hill Road and appurtenances adjacent to the Property, together with a two-foot (2') asphalt or concrete shoulder on either side of the concrete section, the total not to exceed twenty-eight feet (28') in width, from the northern point of Breezy Hill Road adjacent to the Property, to FM-552, as shown on the Development Plan. The Developer also shall dedicate and improve a minimum landscape buffer of ten feet (10') for the residential tract and fifty feet (50') for the retail tract, adjacent to the right-of-way for Breezy Hill Road, designed in accordance with the requirements of a PD District then in effect for a rural collector. The bar ditch that abuts the buffer strip, designed to a maximum slope of 3: 1, shall not encroach into the required ten-foot or fifty-foot buffer area, except to the extent that the buffers exceed ten feet (10') in width. The Developer shall dedicate right-of-way for Breezy Hill Road and the landscape buffer at the time of final plat approval for any lot abutting Breezy Hill Road. Developer shall construct Breezy Hill Road in conjunction with the retail tract that is final platted adjacent to Breezy Hill Road. Breezy Hill Road will be constructed from the northernmost intersection created by any portion of the retail tract being platted, south to FM-552. Developer shall install any

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**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

needed expansion of existing culverts created by such construction or the development, of such retail tract.

- d. *Payment of Roadway Impact Fees.* Roadway impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations. Construction costs incurred by Developer for roadway improvements in this Agreement that are included in the City's roadway improvements plan for impact fees shall be credited against roadway impact fees otherwise due, in accordance with the City's impact fee regulations.
5. *Drainage Improvements.* Dedication of rights-of-way for and construction of drainage improvements shall be provided as specified in conditions imposed with approval of the master plat for development within the PD District and in accordance with City standards and specifications.
6. *Parks and Open Space.*
 - a. The Developer or a property owners association shall maintain public parklands and improvements within the development for a period of three (3) months from the completion and acceptance of the improvements. Thereafter, the City shall assume responsibilities for maintenance. All open space and improvements which are not dedicated as parkland to the City shall be maintained as common areas in perpetuity by the property owners association for the PD District. Additionally, the property owners association shall maintain Developer-installed landscaping areas in public rights-of-way and public drainage ways internal to and adjacent to the Property.

III. GENERAL PROVISIONS

1. *Notice on Sale.* The Developer shall provide the City with notice of the sale of any tract or parcel within the District that has not been platted at the following address:

Rockwall City Manager
Rockwall City Hall
385 S. Goliad Street
Rockwall, TX 75087

2. *Recording.* This Agreement is intended to run with the land, and shall be recorded in the Real Property Records, Rockwall County, Texas.
3. *Term of Agreement.* This Agreement shall terminate two (2) years following the City's acceptance of the dedication and construction of the public improvements described herein serving the last phase of development within the PD District, after which the City agrees, upon the request of the Developer to execute a termination of this Agreement in recordable form. Any reimbursements for payment of impact fees shall not expire.
4. *Effective Date.* This Agreement shall take effect upon the date of its execution by the last of the Parties to the Agreement; provided, however, that Breezy shall execute this Agreement no later than five (5) business days following the

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

effective date of the PD zoning ordinance for the Property. If Breezy fails to execute this Agreement within such period, this Agreement shall become null and void, and unless a subsequent agreement, acceptable to the City and the Developer, is agreed to, the City may thereafter deny any PD site plan, master plat or other plat application on grounds that the application is not supported by adequate public facilities and services.

5. *Severability.* Invalidation of any provision of this Agreement by judgment or court order shall not invalidate any of the remaining provisions which shall remain in full force and effect, unless such remaining provisions are an integral part of the invalid provisions or the invalid provision is necessary to give effect to the remaining provisions.
6. *Enforcement.* This Agreement may be enforced by the Parties by any proceeding at law or in equity. Failure to do so shall not be deemed a waiver to enforce the provisions of this Agreement thereafter.
7. *Venue.* Venue for this Agreement shall be in Rockwall County, Texas.
8. *Execution.* This Agreement may be separately executed in individual counterparts, and upon execution, shall constitute one and the same instrument.
9. *Amendment.* This Agreement may only be amended in writing upon mutual consent of the City and the Developer.
10. *Joint preparation.* This Agreement shall be deemed to have been jointly prepared by all Parties hereto, and no ambiguity of this Agreement shall be construed against any party based upon the identity of the author of this Agreement or any portion thereof.
11. *Recitals Incorporated.* Statements and representations contained herein are to be considered contractual in nature and not merely recitations of fact. The Recitals contained in Part I of this Agreement hereby are expressly incorporated into this Agreement by reference.
12. *Construction.* All references herein in the singular shall be construed to include the plural where applicable, the masculine to include the feminine and neuter genders.
13. *Authority.* Each of the signatories to this Agreement represents and warrants that he is authorized to execute this Agreement and bind his principals to the terms and provisions hereof. Each Party warrants that any action required to be taken in order for this Agreement to be binding on it has been duly and properly taken prior to the execution of this Agreement.
14. *Conflicts.* In the event of a conflict between this Agreement and any provision of the Unified Development Code, the City Code, or any City ordinance, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this Agreement, the standards in this Agreement shall control.

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

15. *No Waiver.* Developer retains the right to challenge the application of any City impact fee regulations to the Property solely on the basis that such regulations fail to comply with Chapter 395 of the Texas Local Government Code, as amended. If Developer prevails in such a claim, impact fees shall be applied to the development of the Property and paid by the Developer, as applicable, in accordance with the court order.

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

CITY OF ROCKWALL



By: 

Name: DAVID SWEET

Title: MAYOR

STATE OF TEXAS

COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said DAVID SWEET, who in their capacity as MAYOR for the City of Rockwall, acknowledges that he was authorized to execute the foregoing document this 2nd day of October, 2012, certify witness my hand and seal of office.


Notary Public in and for the State of Texas

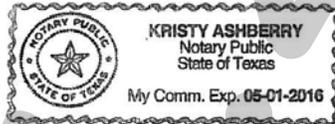


Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

BREEZY HILL 405, LTD, ^{TEXAS LIMITED PARTNERSHIP}
^{BREEZY HILL 405 GP CORPORATION, TEXAS CORPORATION,}
^{13 CENTRE ROAD}

By: [Signature]

Name: RICHARD M. SKOBERG

Title: PRESIDENT

STATE OF TEXAS
COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said RICHARD M. SKOBERG, who in their capacity as PRESIDENT for the Breezy Hill 405, LTD, acknowledges that he was authorized to execute the foregoing document this 1st day of OCTOBER 2012, certify witness my hand and seal of office.

[Signature]
Notary Public in and for the State of Texas



**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 10/11/2016

APPLICANT: Chad & Lindsay Hudson

AGENDA ITEM: **P2016-040**; *Lots 7 & 8, Block A, Independence Pass Addition*

SUMMARY:

Discuss and consider a request by Chad & Lindsay Hudson for the approval of a replat for Lots 7 & 8, Block A, Independence Pass Addition being a replat of a 1.4-acre parcel of land identified as Lot 5, Block A, Independence Pass Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single family land uses, addressed as 107 Independence Place, and take any action necessary.

PLAT INFORMATION:

- The objective of the request is to replat one (1) 1.4-acre lot [Lot 5, Block A, Independence Pass Addition] into two (2) .70-acre lots [Lots 7 & 8, Block A, Independence Pass Addition] for the purpose of subdividing one (1) lot into two (2) lots.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to approve the *replat* for *Lots 7 & 8, Block A, Independence Pass Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2016-040	Owner CHAD, J HUDSON PROPERTIES INC	Applied 9/16/2016 LM
Project Name Lots 7 & 8, Block A	Applicant CHAD, J HUDSON PROPERTIES INC	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address 107 INDEPENDENCE PL	City, State Zip ROCKWALL, TX 75032	Zoning
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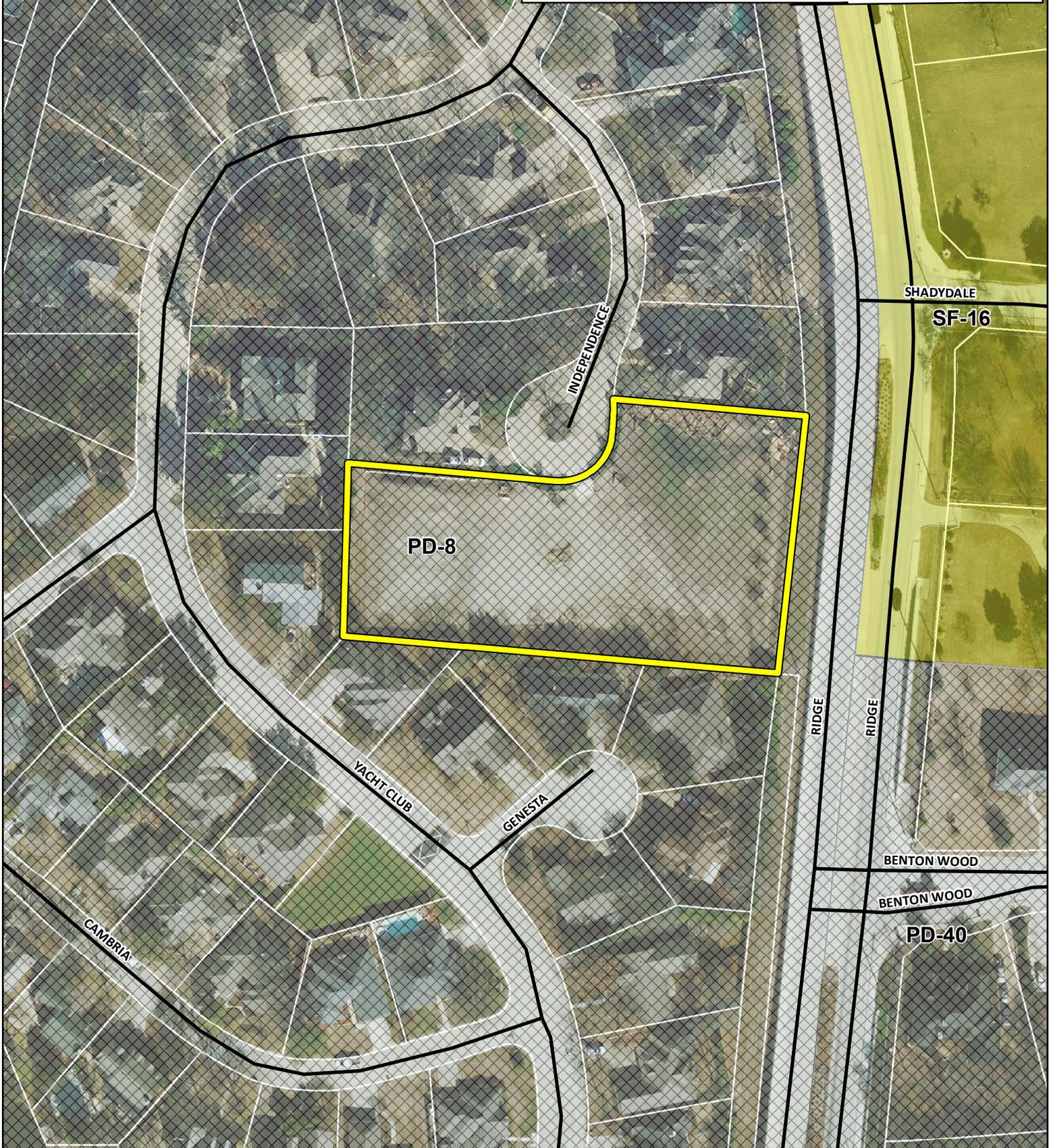
Subdivision INDEPENDENCE PASS	Tract 1	Block A	Lot No 1	Parcel No 4043-000A-0001-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	8/12/2016	8/19/2016	9/20/2016	39	APPROVED	
ENGINEERING (9/20/2016 3:51 PM AW) Need common access easement between lot 7 and 8	Amy Williams	8/12/2016	8/19/2016	9/20/2016	39	COMMENTS	See Comment
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	9/22/2016	41	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016				
PLANNING (9/23/2016 12:08 PM KB) P2016-040 Independence Pass Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Korey Brooks	8/12/2016	8/19/2016	9/23/2016	42	COMMENTS	Comments

- I.1 This is a request by Chad & Lindsay Hudson for the approval of a replat for Lots 7 & 8, Block A, Independence Pass Addition being a replat of a 1.4-acre parcel of land identified as Lot 5, Block A, Independence Pass Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single family land uses, addressed as 107 Independence Place.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-040) in the lower right hand corner of all pages on future submittals.
- I.4 A mother-in-law cottage will not be allowed on a separate lot unless it conforms to the Single Family standards
- I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by October 4, 2016. The Planning & Zoning Worksession date for this case will be September 27, 2016. The Planning and Zoning Meeting is October 11, 2016.
- I.6 The projected City Council meeting date and subsequent approval for this plat is October 17, 2016.



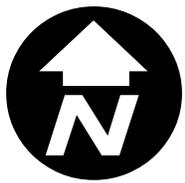
P2016-040- LOTS 7 & 8, BLOCK A, INDEPENDENCE PLACE
REPLAT - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

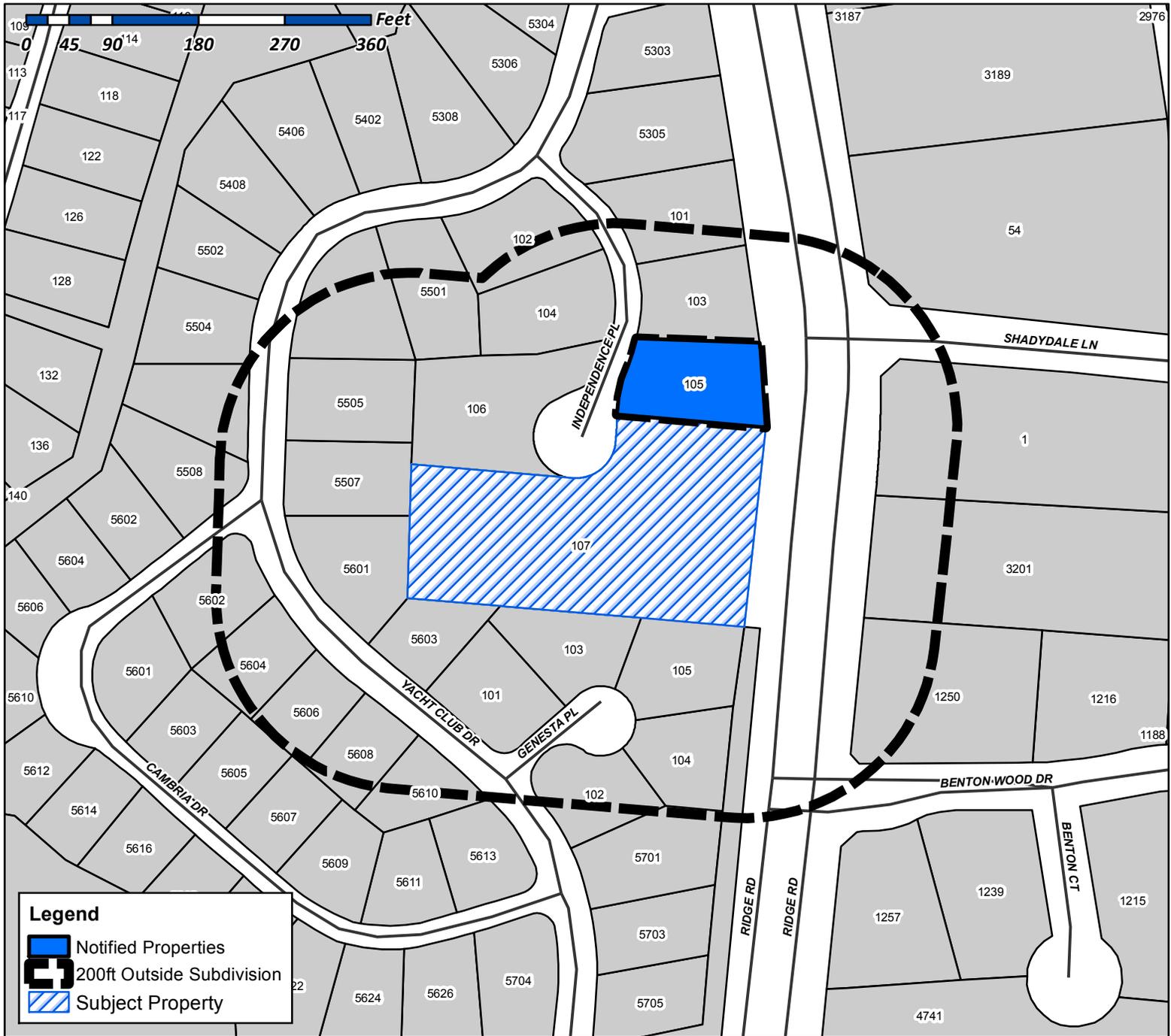
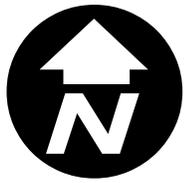




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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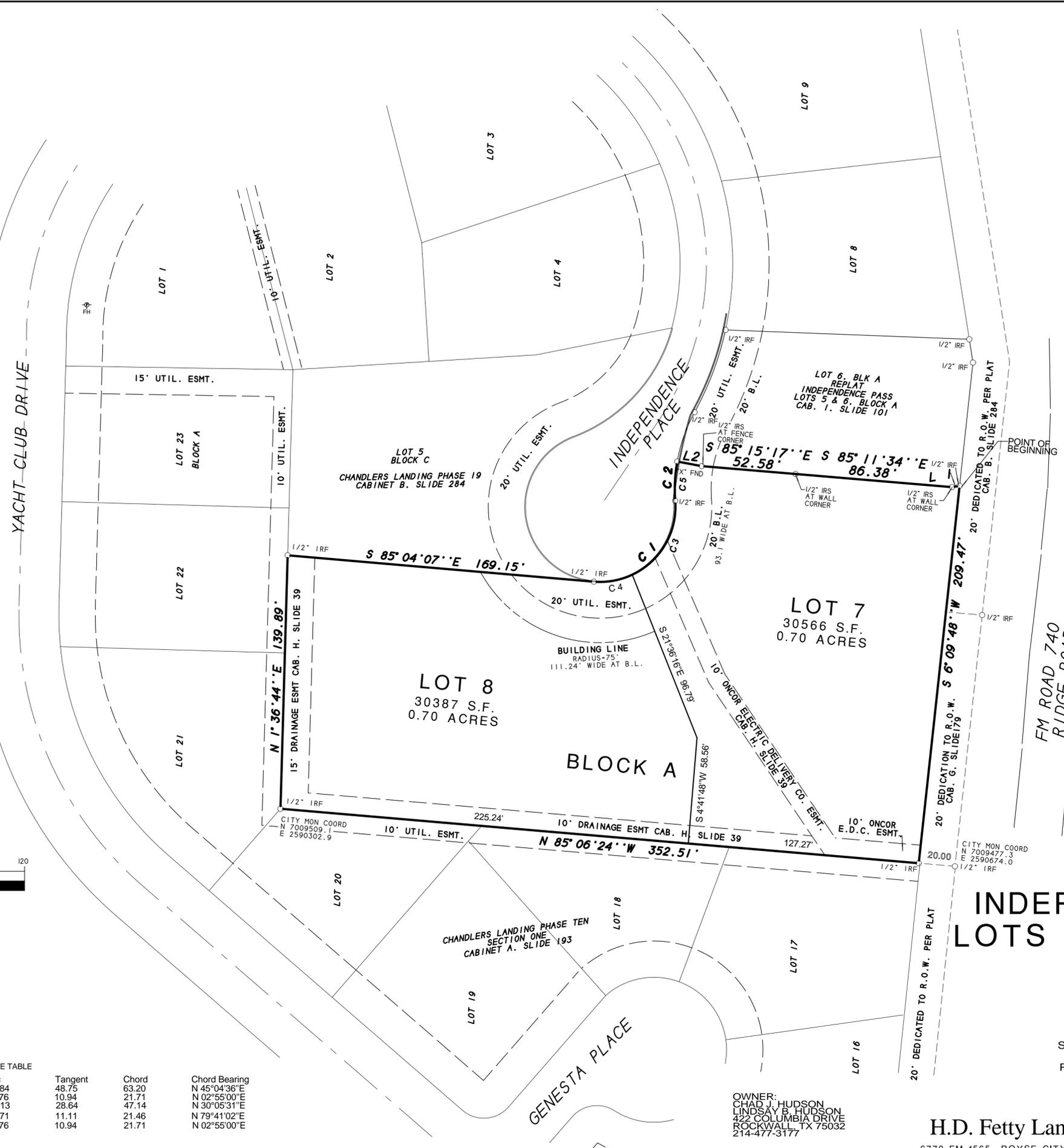
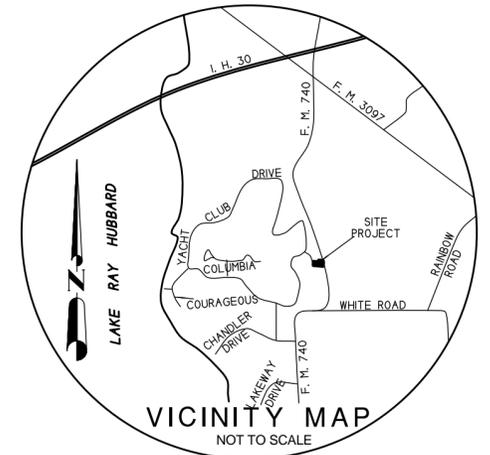


Case Number: Z2016-040
Case Name: Lots 7 & 8, Block A
Case Type: Replat
Zoning: Planned Development District 8
Case Address: 107 Independence Place
Subdivision: Independence Place

Date Created: 09/19/2016
For Questions on this Case Call (972) 771-7745



SHORT, MELISSA HUDSON
AND CORY WAYNE
105 INDEPENDENCE PL
ROCKWALL, TX 75032



LINE TABLE

Line	Bearing	Distance
1	N 80°18'23\"E	4.26'
2	S 78°43'36\"E	12.98'

CURVE TABLE

Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	99°11'02\"	41.50	71.84	48.75	63.20	N 45°04'36\"E
2	14°05'18\"	88.50	21.76	10.94	21.71	N 02°55'00\"E
3	69°12'51\"	41.50	50.13	28.64	47.14	N 30°05'31\"E
4	29°58'11\"	41.50	21.71	11.11	21.46	N 79°41'02\"E
5	14°05'18\"	88.50	21.76	10.94	21.71	N 02°55'00\"E

OWNER:
 CHAD J. HUDSON
 LINDSAY B. HUDSON
 422 COLUMBIA DRIVE
 ROCKWALL, TX 75082
 214-477-3177

REPLAT
**INDEPENDENCE PASS
 LOTS 7 & 8, BLOCK A**

1.40 ACRES 60953 S.F.
 (2 LOTS)
 BEING A REPLAT OF
 LOT 5, BLOCK A
 INDEPENDENCE PASS
 A PART OF THE E. TEAL
 SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SURVEY DATE AUGUST 30, 2016
 SCALE 1\"/>

H.D. Fetty Land Surveyor, LLC
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2016-

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, CHAD J. HUDSON and LINDSAY B. HUDSON, BEING THE OWNER OF A TRACT OF land in the E. TEAL SURVEY, ABSTRACT NO. 207, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the EDWARD TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas, and being all of Lot 5, Block A, Replat Independence Pass, Lots 5 & 6, Block A, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet I, Slide 101, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the northeast corner of said Lot 5, Block A, said point being in the west right-of-way line of F.M. Highway 740 Ridge Road (Variable width R.O.W.) and also being at the southeast corner of Lot 5, Block A;

THENCE S. 06 deg. 09 min. 48 sec. W. along the west line of said F.M. Highway 740 Ridge Road, a distance of 207.47 feet to a 1/2" iron rod found for corner at the southeast corner of said Lot 5 and at the Northeast corner of Lot 17, of CHANDLERS LANDING, PHASE TEN, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 193 of the Plat Records of Rockwall County, Texas;

THENCE N. 85 deg. 06 min. 24 sec. W. along the south line of said Lot 4, Block A, a distance of 352.51 feet to a 1/2" iron rod found for corner at the southwest corner of said Lot 4 and the northwest corner of Lot 20, in said Phase Ten;

THENCE N. 01 deg. 36 min. 44 sec. E. a distance of 139.89 feet to a 1/2" iron rod found for corner at the northwest corner of said Lot 4 and the southwest corner of Lot 5, in Phase 19;

THENCE S. 85 deg. 04 min. 07 sec. E. a distance of 169.15 feet to a 1/2" iron rod found for corner in the curving South right-of-way line of Independence Place (41.5' radius);

THENCE in a northeasterly direction along a curve to the left having a central angle of 99 deg. 11 min. 02 sec., a radius of 41.50 feet, a tangent of 48.75 feet, a chord of N. 45 deg. 04 min. 36 sec. E., 63.20 feet, along said right-of-way line, an arc distance of 71.84 feet to a 1/2" iron rod found for corner;

THENCE in a northeasterly direction along a curve to the right having a central angle of 14 deg. 05 min. 18 sec., a radius of 88.50 feet, a tangent of 10.94 feet, a chord of N. 02 deg. 55 min. 00 sec. E., 21.71 feet along said right-of-way line, an arc distance of 21.76 feet to a "X" found chiseled in concrete for corner at the southwest corner of Lot 6;

THENCE in a easterly direction along the south boundary line of Lot 6 as follows:

S. 78 deg. 43 min. 36 sec. E. a distance of 12.98 feet;
S. 85 deg. 15 min. 17 sec. E. a distance of 52.58 feet;
S. 85 deg. 11 min. 34 sec. E. a distance of 86.38 feet;
N. 80 deg. 18 min. 23 sec. E. a distance of 4.26 feet the POINT OF BEGINNING and containing 60,953 square feet or 1.40 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as INDEPENDENCE PASS, LOTS 7 & 8, BLOCK A, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

CHAD J. HUDSON

LINDSAY B. HUDSON

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared CHAD J. HUDSON, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared LINDSAY B. HUDSON, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED:

I hereby certify that the above and foregoing plat of INDEPENDENCE PASS, LOTS 7 & 8, BLOCK A, an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the _____ day of _____, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, 2016.

Director of Planning & Zoning

City Engineer

REPLAT
**INDEPENDENCE PASS
LOTS 7 & 8, BLOCK A**

1.40 ACRES 60953 S.F.
(2 LOTS)
BEING A REPLAT OF
LOT 5, BLOCK A
INDEPENDENCE PASS

A PART OF THE E. TEAL
SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER:
CHAD J. HUDSON
LINDSAY B. HUDSON
422 COLUMBIA DRIVE
ROCKWALL, TX 75083
214-477-3177

SHEET 2 OF 2

SURVEY DATE AUGUST 30, 2016
SCALE 1" = 40' FILE # 20050733RP5
CLIENT HUDSON

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2016-



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Senior Planner*

COPY: Ryan Miller, *Director of Planning and Zoning*

DATE: October 11, 2016

SUBJECT: Reinstatement of the Preliminary Plat for Fontanna Ranch Phase III

On September 22, 2016, the Planning and Zoning Department received a written request (attached as *Exhibit 'A'*) from Chris Cuny, of F. C. Cuny Corporation on behalf of Fontanna Ranch, LTD requesting the reinstatement of a preliminary plat for Phase III of the Fontanna Ranch Subdivision. This phase consists of 52 single family residential lots on a 27.89-acre tract of land. The subject property is currently zoned Planned Development District 67 (PD-67), and is generally located south of SH-276 and east of FM-549.

The City's subdivision regulations specify that a preliminary plat shall be expired after one (1) year if a final plat for the entire area has not been submitted. Generally, if a developer submits a final plat or engineering plans for any portion of the overall tract, and continues to submit subsequent plans for additional *phases* of the development, the City will continue to consider that preliminary plat active. In this case the preliminary plat (depicted in *Exhibit 'B'*) was approved by the City Council on July 17, 2006 under *Case No. P2006-021*; however, with no final plat being requested within the one (1) year time limit (*July 17, 2007*), the preliminary plat was considered to be officially expired. The applicant will be required to submit a PD Site Plan, civil engineering plans, and a final plat before development of the site can begin.

Section 38-8(f), *Lapse and Extension of Preliminary Plat Approval*, of the City's *Subdivision Ordinance* contained in the Municipal Code of Ordinances, lays out the procedure and criteria for considering the extension of a preliminary plat. In this case, the applicant's request is generally in conformance with this criterion. Additionally, the zoning ordinance approved with Planned Development District 67 (PD-67) incorporated a concept plan that provided the general layout of the proposed Phase III of the Fontanna Ranch Subdivision. This ordinance, having not changed in a manner that would necessitate the creation and submittal of a new preliminary plat, staff would recommend approval of the reinstatement request for a period of one (1) year.

Exhibit 'A': Reinstatement Request



FC Cuny Corporation

#2 Horizon Court. • Suite 500 • Heath, TX 75032
Tel: 469-402-7700 • Fax: 469-402 0700
email: crc@fccuny.com

September 22, 2016

Mr. Ryan Miller:
Planning Director – City of Rockwall
385 South Goliad
Rockwall, Texas 75087

RE: Re-instatement of Fontanna Ranch Phase III Preliminary Plat

Dear Ryan,

This letter is to formally request that you please re-instate the Preliminary Plat for Fontanna Ranch Phase III at the earliest available meeting. This Preliminary Plat is the last and third phase of this project. The third Phase consists of 52-residential lots and is the portion my client, Spring Haven Investments, Inc., desires us to commence work on for final platting and engineering to provide for ultimate development. I believe that the appropriate plat referred to 27.89 acres and was dated July 2006.

Please contact me if you have any questions regarding this process.

Sincerely,

A handwritten signature in blue ink that reads "Chris Cuny".

Chris Cuny, P.E. – President, FC Cuny Corporation

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 10/11/2016

APPLICANT: Kevin Patel; *Masters Developers-SNB, LLC*

AGENDA ITEM: **SP2016-019**; Dunkin Academy

Discuss and consider a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1450 East Fork Drive, and take any action necessary.

PURPOSE:

In 2008, the City Council approved a Specific Use Permit (SUP) [Ordinance No. 08-39] to allow for a “Daycare (7 or more children)” on the subject property. The applicant is requesting approval of a Site Plan for the purpose of constructing a 13,342 sq. ft. *daycare* facility. The proposed daycare is situated on two (2) tracts of land. One (1) tract of land [Lot 1, Block S, Preserve, Phase 3 Addition] is 1.511-acres and is zoned Planned Development District 41 (PD-41). The other tract of land [Tract 12, A Hanna Survey, Abstract No. 98] is 1.4376-acres and is zoned Single Family 10 (SF-10) District. The site is located at the northeast corner of East Fork Drive and North Lakeshore Drive and is addressed as 1450 East Fork Drive.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The submitted site plan, landscape plan, and photometric plan conform to the technical requirements contained within the approved SUP [Ordinance No. 08-39] as well as the Unified Development Code (UDC) for properties located in Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>~128,943 SF; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>80-Feet</i>	<i>X>80-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X>100-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback (Abutting an Arterial)</i>	<i>20-Feet</i>	<i>20-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP</i>	<i>27-Ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>35%</i>	<i>10.34%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>45</i>	<i>45 Provided; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X>15%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85%</i>	<i>61.51%; In Conformance</i>

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On September 27, 2016, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. The Board's motion to recommend approval of the building elevations as submitted by the applicant pass by a vote of 6 to 0 with Board Member Strohmeyer absent.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) That development of the daycare meet the conditions as stipulated in SUP Ordinance No. 08-39;
- 3) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Project Number	SP2016-019	Owner	MASTER, DEVELOPERS SNB LLC	Applied	9/16/2016	LM
Project Name	Dunkin Academy	Applicant	KARTAVYA PATEL, P.E.	Approved		
Type	SITE PLAN			Closed		
Subtype				Expired		
Status	NEED REVISIONS			Status	9/28/2016	KB

New comments are highlighted in yellow

Site Address	City, State Zip	Zoning			
1450 EAST FORK RD	ROCKWALL, TX 75087				
Subdivision	Tract	Block	Lot No	Parcel No	General Plan
THE PRESERVE PH 3	1	S	1	4694-0005-0001-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/21/2016	5	APPROVED	
ENGINEERING	Amy Williams	10/6/2016	10/13/2016	10/6/2016		COMMENTS	See Comment
(10/6/2016 10:50 AM AW) Add note on the site plan that states that detention will be provided on-site.							
ENGINEERING	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comments
(9/21/2016 10:12 AM AW) See markups Show removal of the old driveway along North Lakeshore All parking adjacent to building, head to head, and with wheel stops to be 20'x9' Show fully developed 100 year water surface in the creek Detention is required (not allowed in 100 year water surface) Need to show relocation of existing 16" water if relocating it Dumpster area to drain to grease trap or an oil/water separator. Landscaping: Add note:"All shrubs adjacent to parking spaces to be planted a minimum of 4' behind the curb"							
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	see comments
(9/22/2016 12:32 PM AA) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant. A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.							
GIS	Lance Singleton	9/16/2016	9/23/2016	9/23/2016	7	APPROVED	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(9/26/2016 3:05 PM LS) Address Assignment will be: 1450 East Fork Rd, Rockwall, TX 75087							
PLANNING	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments

Planning comments on next page

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2016 10:37 AM KB)						
SP2016-019 (Dunkin Academy): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1						This is a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1292 East Fork Drive
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2016-019) in the lower right hand corner of all pages on future submittals.
I.4						This property will be required to be plated prior to the issuance of a building permit.
M.5						Site Plan. Please show both lots on the vicinity map.
M.6						Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.
M.7						Site Plan. Please indicate the distance between all property lines and existing/planned buildings located on the site.
M.8						Site Plan. Please locate all playground equipment behind the building.
M.9						Site Plan. Please indicate depth of paving material.
M.10						Site Plan. Please show and label 10' landscape buffer along East Fork and along N. Lakeshore Drive.
M.11						Site Plan. Please indicate the street centerline for SH 205.
M.12						Site Plan. Please indicate whether utility equipment will be pad/ground mounted roof mounted. Pad mounted utility equipment shall be screened from horizontal view from any adjacent public street and from any adjacent property. All buildings must be designed so that no roof mounted mechanical equipment shall be visible from any direction.
M.13						Site Plan. Please remove legal description from top of site plan since this will change once it is platted. Also, since this is two lots the legal description provided is not accurate.
I.14						Site Plan. Please indicate "Public Access" instead of "Access" in the legend of the site plan.
M.15						Site Plan. Please note that the parking requirements for this site is 1 per 300 sq. ft. You are currently over-parked.
M.16						Site Plan. Please change "Summery" to "Summary" on the Site Data and Summary Table.
M.17						Landscape Plan. Please correct the parking requirements (item M.15)
M.18						Landscape Plan. Please show and label the 10' landscape buffer adjacent to East Fork and N. Lakeshore (item M.10)
I.19						Landscape Plan. Please identify all visibility triangles for all driveway and intersections and public streets.
M.20						Landscape Plan. Trees must be planted at least five feet from water, sewer, and storm sewer lines.
M.21						Landscape Plan. Please provide note indicating that irrigation will be the requirements of the UDC.
M.22						Treescape Plan. Please provide the Site Data and Summary Table on the Treescape Plan.
M.23						Treescape Plan. Please label the two protected trees being removed.
M.24						Photometric. Please show entire site so that we can verify FC at property line.
M.25						Photometric. Please provide Site Data and Summary Table.
M.26						Photometric. Please indicate the location and type of all exterior lighting including pole mounted, wall mounted, signage, etc.
M.27						Photometric. No light pole, base or combination shall exceed 30 feet, unless further restricted within an Overlay District. Please provide a detail of light pole to that we can ensure compliance.
M.28						Building Elevations. Please remove lot and block designation from the title block as it will change once the site is replatted (this site is two different lots)
M.29						Building Elevations. Please indicate elevations adjacent to public right-of-way.
M.30						Building Elevations. Please indicate the surface area of each façade.
M.31						Building Elevations. Please indicate any additional design elements for the base, wall, or parapets. Be sure to include the location, size, color, and material of any proposed structure.
I.32						The Architectural Review Board (ARB) meeting for this case will be held on September 27, 2016 at 5 pm..

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>I.33 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 27, 2016 at 6 pm.</p> <p>I.34 If necessary the projected City Council meeting date for this case will be October 17, 2016.</p>						
Planning Department	Korey Brooks	10/7/2016	10/7/2016	10/7/2016	COMMENTS	Comments
<p>(10/7/2016 8:55 AM KB)</p> <ol style="list-style-type: none"> 1. Photometric Plan. Please provide Site Data and Summary Table--See markups-- (The same table that is on the Site Plan). 2. Photometric Plan. Please provide a north arrow and numeric/graphic scale. 3. Photometric Plan. Please show the entire lot. Currently the eastern property line is not showing--See markups. 						



T: 214.609.9271 | F: 469.359.6709 | W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

ATTN: Korey Brooks
Planner
385 S. Goliad
Rockwall, Texas 75087
T 972.772.6434
kbrooks@rockwall.com
<http://www.rockwall.com/planning/>

Date: October 4th, 2016

RE: Comment response letter for Dunkin Academy, N Alamo Road, Rockwall, Texas 75087 (City Project # SP2016-019)

Dear Korey

Please find comment responses below.

Engineering:

1. Removal of the old driveway shown per this comment.
2. Comment Addressed. Parking sizes changed.
3. Comment addressed. Fully Developed 100 year water surface limit shown.
4. Detention will be provided outside the 100 year water surface area.
5. No need to relocate water line. We have field verify location of the existing water line. We will have to relocate existing water easement to accommodate accurate water line per field survey.
6. Comment addressed Grease trap and oil water separator shown.

Fire:

1. FDC is shown within 100 feet from FH.
2. Sidewalk provided to access FDC.

Planning:

1. Informational.
2. Informational.
3. Comment addressed. City Project number shown.
4. Informational.
5. Comment addressed. Vicinity map corrected.
6. Comment addressed. Perimeter dimensions shown.
7. Comment addressed. Dimensions added.
8. Comment addressed. Playground moved to the back.
9. Comment addressed. Paving depth shown.
10. Comment addressed. Landscape buffer shown.
11. Comment addressed. Street centerline shown.
12. Comment addressed. Location of the HVAC units shown with the wrought iron fence and shrub screening.
13. Comment addressed. Legal removed.
14. Comment addressed.

15. Comment addressed. Extra spaces are removed.
16. Comment addressed.
17. Site Data table and landscape tabulations updated to show the correct parking count.
18. The 10' landscape buffer has been labeled on the plans
19. 15' Visibility triangles at the drive have been added to the plan.
20. Trees are at least 5' from water, sewer and storm line. A note is on the plan specifying the same.
21. A note has been added that irrigation is required per the UDC.
22. The site data table has been added to the tree plan.
23. The two protected trees proposed to be removed have been labeled on the tree plan.
24. Comment addressed.
25. Comment addressed.
26. Comment addressed.
27. Comment addressed.
28. Comment addressed.
29. Comment addressed.
30. Comment addressed.
31. Comment addressed.

Please feel free to contact me if you have any question.

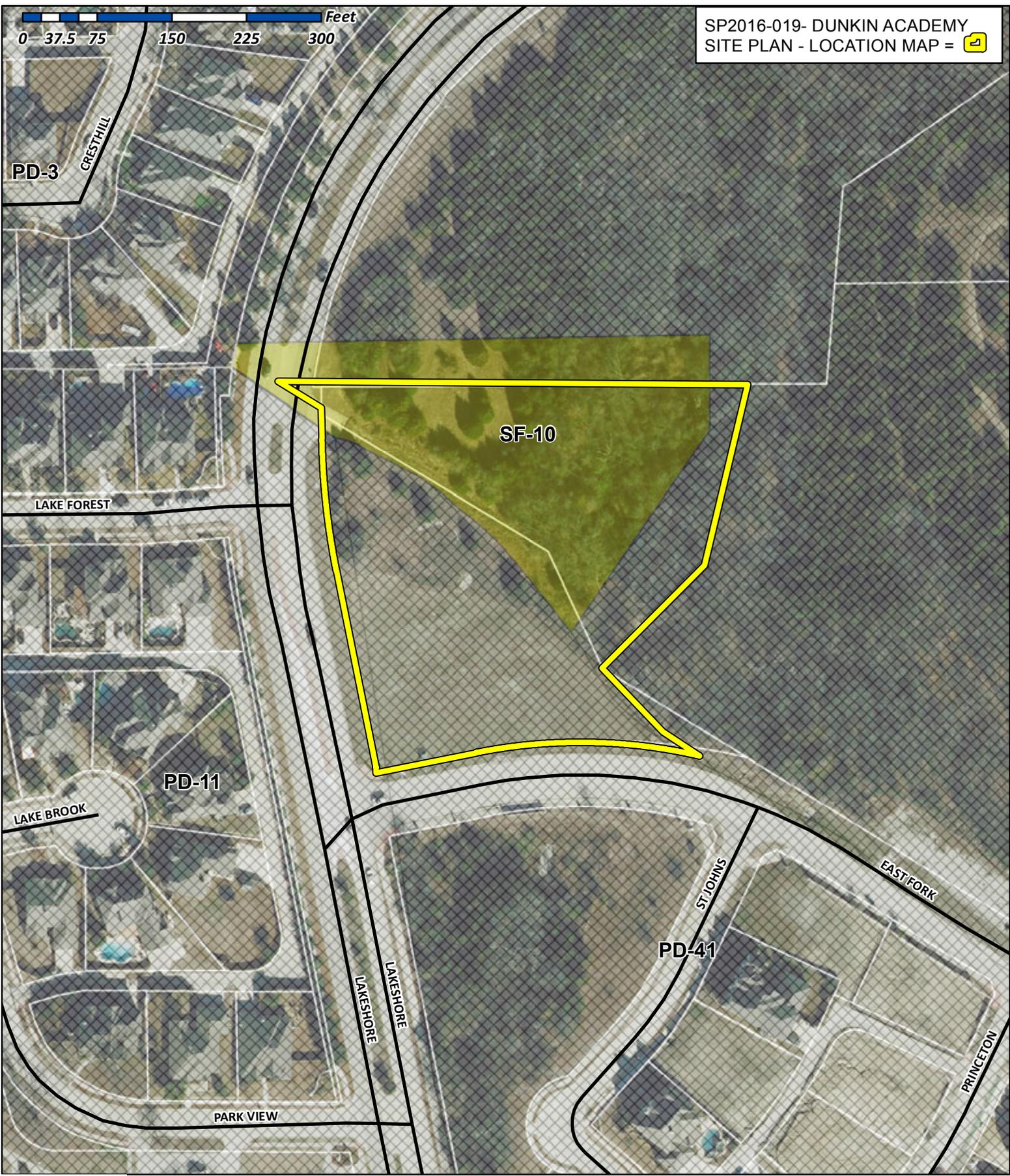
Thanks

A handwritten signature in blue ink, consisting of a horizontal line with a stylized, looped flourish above it.

Sincerely
(Kartavya (Kevin) Patel, P.E.)

0 37.5 75 150 225 300 Feet

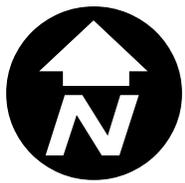
SP2016-019- DUNKIN ACADEMY
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LEGEND	
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.
DRAINAGE EASEMENT	D.E.
WATERLINE EASEMENT	W.E.
VISIBILITY EASEMENT	V.E.
SIDEWALK EASEMENT	S.E.
ELECTRICAL EASEMENT	E.E.
CLEAN OUT	C.O.
GAS METER	GM
ELECTRICAL VAULT	EV
LIGHT POLE	LP
TRAFFIC SIGN	TS
ELECTRICAL TRANSFORMER	ET
FIRE HYDRANT	FH
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	STMMH
BUILDING SET BACK	B.S.
LANDSCAPE BUFFER	L.B.
PRESSURE REDUCING VALVE	PRV
FIRE DEPARTMENT CONNECTION	F.D.C.
PEDESTRIAN SIGN & VISIBILITY EASEMENT	P.S.&V.E.
BARRIER FREE RAMP	BFR

SITE DATA SUMMARY TABLE	
PHYSICAL ADDRESS	TO BE DETERMINED
GROSS SITE AREA	2,960 ACRES (128,943 S.F.)
NET AREA	2,960 ACRES (128,943 S.F.)
ZONING	PD-41
CURRENT USE	VACANT
PROPOSED USE	DAYCARE
LOT COVERAGE DATA	
BUILDING COVERAGE	13,342 S.F. (10.34%)
IMPERVIOUS COVERAGE	79,032 S.F. (61.51%)
PERVIOUS COVERAGE	49,991 S.F. (38.49%)
PARKING SUMMARY	
PARKING REQUIREMENT	REQUIRED PROVIDED
1 SPACE PER 300 GFA	44 45
TOTAL PARKING	44 45
BUILDING DATA	
BUILDING	1
PEAK HEIGHT	30'-0"
TOTAL SQUARE FOOTAGE	13,342 S.F.

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
(D)	DOM.	1"	1	6"
(I)	IRR.	1"	1	N/A

CASE # SP2016-019

SITE PLAN
DUNKIN ACADEMY
 NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

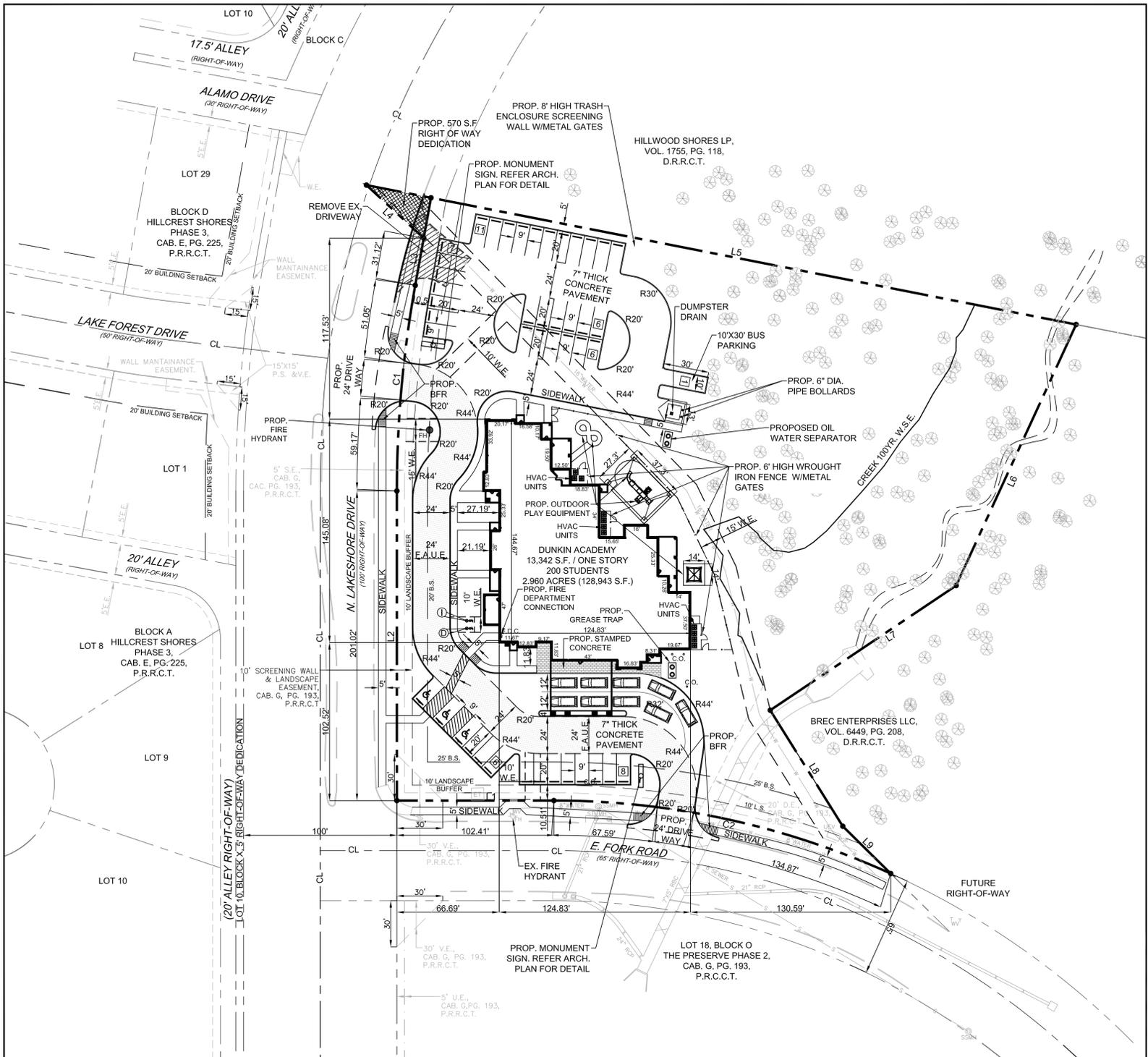
TRIANGLE ENGINEERING LLC

T: 214.609.9271 | F: 469.359.6709 | E: kpatel@triangle-engr.com
 W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	DS	08/23/16	028-16	3

TX PE FIRM #11525



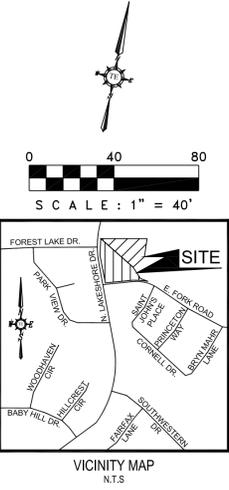
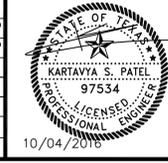
- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
 - A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P, PG. 128 - 137, AND ANY AMENDMENTS THERETO.
 - ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	S 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

CURVE DATA TABLE					
NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'

OWNER/DEVELOPER DUNKIN ACADEMY ROCKWALL LLC 320 N TOWN BLVD EAST SUNNYVALE, TEXAS 75182 CONTACT: JOHN DUNKIN TEL: (469) 358-5590	ENGINEER TRIANGLE ENGINEERING LLC 1333 McDERMOTT ROAD STE 200 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: (214) 609-9271	SURVEYOR A&W SURVEYORS INC. P.O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER, R.P.L.S. TEL: (972) 881-4975	ARCHITECT GRAY WOOD ARCHITECTS 4606 PARK SPRINGS BLVD. SUITE 110 ARLINGTON, TEXAS 76017 CONTACT: GRAY WOOD TEL: (817) 975-9767
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NO.	DATE	DESCRIPTION	BY
1	09/16/16	1st CITY SUBMITTAL	KP
2	10/04/16	2nd CITY SUBMITTAL	KP



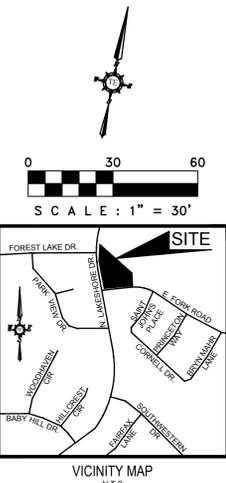
LEGEND

- PROPERTY LINE
- EXISTING WATER LANE
- PROPOSED WATER LANE
- EX. SANITARY SEWER LINE
- PROP. SANITARY SEWER LINE
- PROPOSED STORM SEWER
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE CONNECTION
- PROPOSED WATER METERS
- PROPOSED BACK FLOW PREVENTER
- PEDESTRIAN SIGN & VISIBILITY EASEMENT
- UTILITY EASEMENT
- WATER EASEMENT
- SANITARY SEWER EASEMENT
- DRAINAGE EASEMENT
- FIRE LANE, PUBLIC ACCESS & WATER EASEMENT
- VISIBILITY EASEMENT
- PROPOSED FIRE LANE
- FRONT SET BACK
- LANDSCAPE SET BACK
- BARRIER FREE RAMP
- EXISTING STORM SEWER
- EXISTING PAVEMENT/CURB
- EXISTING SEWER MANHOLE
- PROPOSED HANDICAP PARKING SPACE
- EXISTING POWER POLE
- EXISTING STORM INLETS
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED BOLLARDS
- PROPOSED CAR STACKING
- PROP. 6" HIGH WROUGHT IRON FENCE
- EXISTING TREE
- TRANSFORMER
- FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
- GREASE TRAP
- SAMPLING WELL
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- MONUMENT/POLE SIGN
- PROPOSED WHEEL STOP
- PROPOSED HANDICAP SIGN



DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



SITE DATA SUMMARY TABLE	
PHYSICAL ADDRESS	TO BE DETERMINED
GROSS SITE AREA	2.960 ACRES (128,943 S.F.)
NET AREA	2.960 ACRES (128,943 S.F.)
ZONING	PD-41
CURRENT USE	VACANT
PROPOSED USE	DAYCARE
LOT COVERAGE DATA	
BUILDING COVERAGE	13,342 S.F. (10.34%)
IMPERVIOUS COVERAGE	79,032 S.F. (61.51%)
PERVIOUS COVERAGE	49,991 S.F. (38.49%)
PARKING SUMMARY	
PARKING REQUIREMENT	REQUIRED PROVIDED
1 SPACE PER 300 GFA	44 45
TOTAL PARKING	44 45
BUILDING DATA	
BUILDING	1
PEAK HEIGHT	30'-0"
TOTAL SQUARE FOOTAGE	13,342 S.F.

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
D	DOM.	1"	1	6"
I	IRR.	1"	1	N/A

LANDSCAPE TABULATIONS:
 SITE REQUIREMENTS (site area 128,943 s.f.)
 Requirements: 10% site area to be landscaped

Required	Provided
19,341 s.f. (15%)	48,881 s.f.

FRONT YARD REQUIREMENTS
 Requirements: 50% of required landscape must be located in front yard

Required	Provided
9,670s.f. (50%)	17,868 s.f.

STREET REQUIREMENTS
 Requirements: (1) tree 3" cal. per 50 l.f. of frontage

N LAKESHORE DRIVE (366.35 L.F.)

Required	Provided
(8) trees	(8) trees

E FORK ROAD (328.97 l.f.)

Required	Provided
(7) trees	(7) trees

PARKING LOT (45 spaces)
 Requirements: (1) tree, 3" cal. per 20 parking spaces

Required	Provided
(3) trees, 3" cal.	(3) trees, 3" cal.

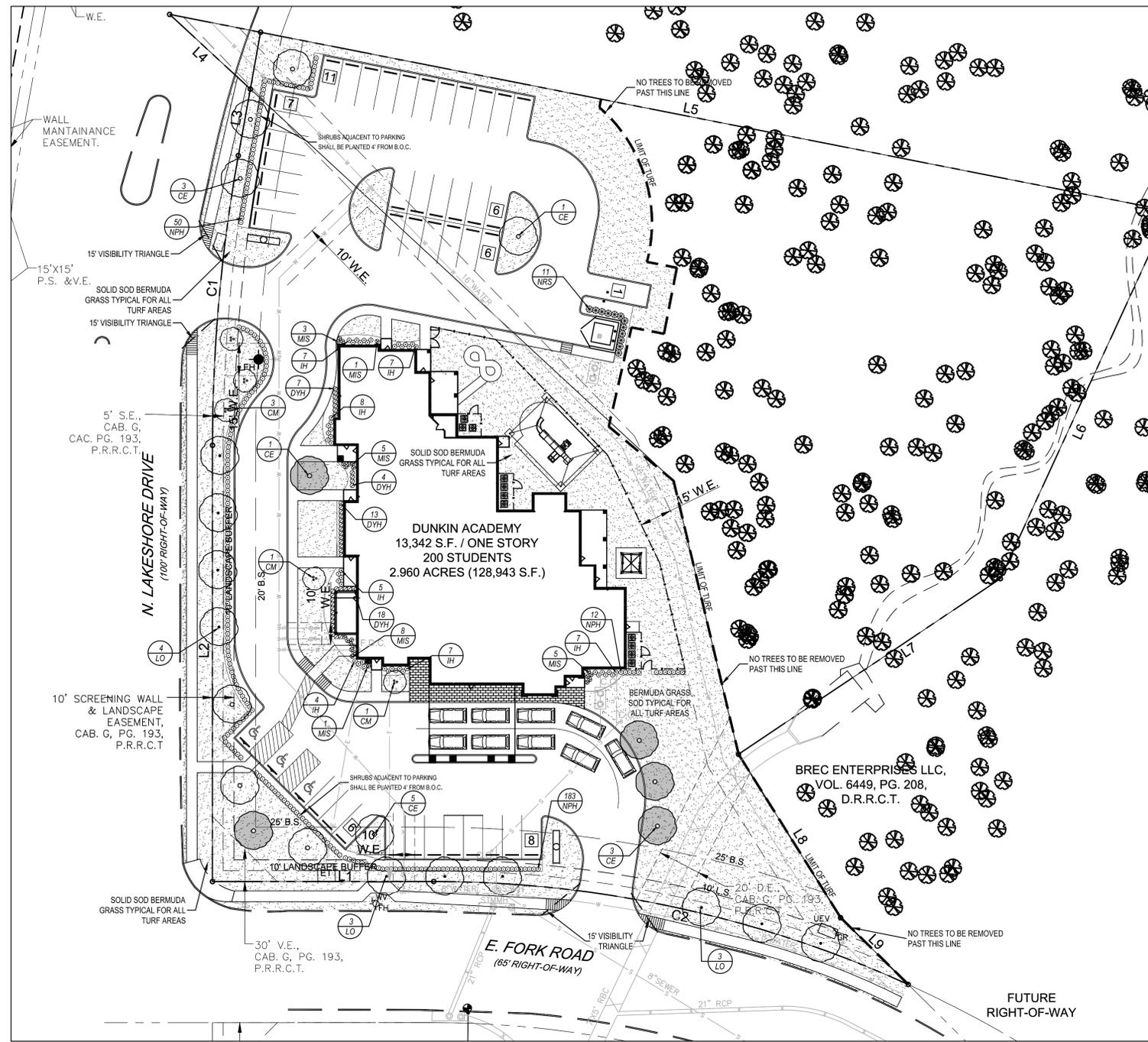
TREE MITIGATION-
 (5) 3" caliper trees are proposed to meet the 12.5 caliper inches required. Refer to sheet L.1 for existing tree plan

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
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OWNER/DEVELOPER COOPER GENERAL CONTRACTORS 2560 TECHNOLOGY DRIVE SUITE 100 PLANO, TEXAS 75074 CONTACT: DOUG GALLOWAY TEL: (469) 249-9279	ENGINEER TRIANGLE ENGINEERING LLC 1333 McDERMOTT ROAD STE 200 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: (214) 609-9271	SURVEYOR A&W SURVEYORS INC. P.O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER, R.P.L.S. TEL: (972) 881-4975	ARCHITECT GRAY WOOD ARCHITECTS 4606 PARK SPRINGS BLVD., SUITE 110 ARLINGTON, TEXAS 76017 CONTACT: GRAY WOOD TEL: (817) 975-9767
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NO.	DATE	DESCRIPTION	BY
1	09/15/16	1st CITY SUBMITTAL	KP



GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	13	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	B&B, 13' ht., 5' spread min., 5' clear trunk
CM	5	Crepe Myrtle	<i>Lagerstroemia indica</i>	6" ht.	container, 3-5 canes, tree form
LO	10	Live Oak	<i>Quercus virginiana</i>	3" cal.	container, 14' ht., 6' spread, 5' clear straight trunk
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DYH	42	Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>	3 gal.	container grown, 20" spread
IH	45	Indian Hawthorn 'Clara'	<i>Rhodaphys indica 'clara'</i>	3 gal.	container, 18" ht., 18" spread
MIS	23	Adagio Maiden Grass	<i>miscanthus sinensis 'Adagio'</i>	3 gal.	container full, well rooted
NPH	245	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	container, 24" ht., 20" spread
NRS	11	Nellie R. Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	48" ht.	container, 36" spread, full to base
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



ALL TREES TO BE LOCATED A MINIMUM OF 5' FROM PUBLIC UTILITIES.
 ALL SHRUBS ADJACENT FROM HEAD IN PARKING SHALL BE PLANTED 4' FROM BACK OF CURB

IRRIGATION IS REQUIRED PER THE UDC

SP-2016-019

LANDSCAPE PLAN
DUNKIN ACADEMY
 NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

T: 214.609.9271 F: 469.359.6709 | E: kpatel@triangle-engr.com
 W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	08/23/16	SEE SCALE BAR	028-16	L.2

TX PE FIRM #11525

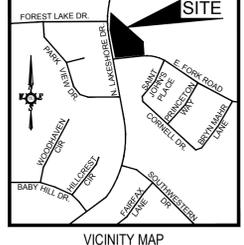
DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TREE SURVEY FIELD DATA

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS
101	8	CEDAR	TO BE REMOVED	151	6	CEDAR	TO REMAIN
102	8	CEDAR	TO BE REMOVED	152	7	CEDAR	TO REMAIN
103	8	CEDAR	TO BE REMOVED	153	8	CEDAR	TO REMAIN
104	13	CEDAR	PROTECTED - TO BE REMOVED	154	6	CEDAR	TO REMAIN
105	7	CEDAR	TO BE REMOVED	155	6	CEDAR ELM	TO REMAIN
106	6	CEDAR	TO BE REMOVED	156	6	TEXAS ASH	TO REMAIN
107	6	CEDAR	TO BE REMOVED	157	6	TEXAS ASH	TO REMAIN
108	7	CEDAR	TO BE REMOVED	158	8	TEXAS ASH	TO REMAIN
109	6	CEDAR	TO BE REMOVED	159	7	CEDAR ELM	TO REMAIN
110	7	CEDAR	TO BE REMOVED	160	6	CEDAR ELM	TO REMAIN
111	6	CEDAR	TO BE REMOVED	161	6	CEDAR ELM	TO REMAIN
112	6	CEDAR	TO BE REMOVED	162	12	CEDAR ELM	TO REMAIN
113	8	CEDAR	TO BE REMOVED	163	8	AMERICAN ELM	TO REMAIN
114	6	CEDAR	TO BE REMOVED	164	10	AMERICAN ELM	TO REMAIN
115	7	CEDAR	TO BE REMOVED	165	11	CEDAR	TO REMAIN
116	6	CEDAR	TO BE REMOVED	166	9	CEDAR	TO REMAIN
117	12	CEDAR	PROTECTED - TO BE REMOVED	167	10	HACKBERRY	TO REMAIN
118	10	CEDAR	TO BE REMOVED	168	31	AMERICAN ELM	TO REMAIN
119	6	CEDAR ELM	TO BE REMOVED	169	6	CEDAR ELM	TO REMAIN
120	7	CEDAR	TO BE REMOVED	170	8	CEDAR ELM	TO REMAIN
121	6	HACKBERRY	TO BE REMOVED	171	13	CEDAR ELM	TO REMAIN
122	7	CEDAR	TO BE REMOVED	172	8	CEDAR ELM	TO REMAIN
123	8	CEDAR	TO BE REMOVED	173	13	CEDAR ELM	TO REMAIN
124	8	CEDAR	TO BE REMOVED	174	8	HACKBERRY	TO REMAIN
125	8	CEDAR	TO BE REMOVED	175	7	HACKBERRY	TO REMAIN
126	8	CEDAR	TO BE REMOVED	176	8	HACKBERRY	TO REMAIN
127	7	HACKBERRY	TO BE REMOVED	177	14	CEDAR ELM	TO REMAIN
128	9	HACKBERRY	TO BE REMOVED	178	9	CEDAR ELM	TO REMAIN
129	8	CEDAR	TO BE REMOVED	179	14	CEDAR ELM	TO REMAIN
130	9	CEDAR	TO BE REMOVED	180	8	HACKBERRY	TO REMAIN
131	6	CEDAR	TO BE REMOVED	181	7	HACKBERRY	TO REMAIN
132	8	DEAD	TO BE REMOVED	182	8	CEDAR ELM	TO REMAIN
133	6	HACKBERRY	TO BE REMOVED	183	7	CEDAR ELM	TO REMAIN
134	10	HACKBERRY	TO BE REMOVED	184	6	CEDAR ELM	TO REMAIN
135	9	HACKBERRY	TO BE REMOVED	185	9	CEDAR ELM	TO REMAIN
136	10	HACKBERRY	TO BE REMOVED	186	6	CEDAR ELM	TO REMAIN
137	6	HACKBERRY	TO BE REMOVED	187	7	CEDAR ELM	TO REMAIN
138	7	CEDAR	TO BE REMOVED	188	7	CEDAR ELM	TO REMAIN
139	8	CEDAR	TO BE REMOVED	189	8	HACKBERRY	TO REMAIN
140	7	CEDAR	TO BE REMOVED	190	7	HACKBERRY	TO REMAIN
141	10	HACKBERRY	TO BE REMOVED	191	7	HACKBERRY	TO REMAIN
142	7	HACKBERRY	TO BE REMOVED	192	8	HACKBERRY	TO REMAIN
143	8	CEDAR	TO BE REMOVED	193	6	HACKBERRY	TO REMAIN
144	7	HACKBERRY	TO BE REMOVED	194	6	HACKBERRY	TO REMAIN
145	6	CEDAR	TO BE REMOVED	195	9	HACKBERRY	TO REMAIN
146	6	CEDAR	TO BE REMOVED	196	7	HACKBERRY	TO REMAIN
147	6	CEDAR	TO BE REMOVED	197	13	AMERICAN ELM	TO REMAIN
148	6	CEDAR	TO REMAIN	198	10	AMERICAN ELM	TO REMAIN
149	6	CEDAR	TO REMAIN	199	12	AMERICAN ELM	TO REMAIN
150	6	CEDAR	TO REMAIN	200	11	CEDAR ELM	TO REMAIN
201	7	CEDAR ELM	TO REMAIN	251	10	HACKBERRY	TO REMAIN
202	8	CEDAR ELM	TO REMAIN	252	6	HACKBERRY	TO REMAIN
203	7	CEDAR ELM	TO REMAIN	253	7	HACKBERRY	TO REMAIN
204	6	WILLOW	TO REMAIN	254	10	HACKBERRY	TO REMAIN
205	6	WILLOW	TO REMAIN	255	7	CEDAR	TO REMAIN
206	16	AMERICAN ELM	TO REMAIN	256	6	CEDAR	TO REMAIN
207	21	AMERICAN ELM	TO REMAIN	257	7	CEDAR	TO REMAIN
208	12	AMERICAN ELM	TO REMAIN	258	9	CEDAR	TO REMAIN
209	9	AMERICAN ELM	TO REMAIN	259	10	CEDAR	TO REMAIN
210	36	AMERICAN ELM	TO REMAIN	260	6	CEDAR	TO REMAIN
211	24	AMERICAN ELM	TO REMAIN	261	7	CEDAR	TO REMAIN
212	6	TEXAS ASH	TO REMAIN	262	8	CEDAR	TO REMAIN
213	11	TEXAS ASH	TO REMAIN	263	7	CEDAR	TO REMAIN
214	6	TEXAS ASH	TO REMAIN	264	6	CEDAR	TO REMAIN
215	12	AMERICAN ELM	TO REMAIN	265	15	CEDAR	TO REMAIN
216	15	HACKBERRY	TO REMAIN	266	6	CEDAR	TO REMAIN
217	14	AMERICAN ELM	TO REMAIN	267	7	CEDAR	TO REMAIN
218	12	CEDAR ELM	TO REMAIN	268	6	CEDAR	TO REMAIN
219	8	CEDAR ELM	TO REMAIN	269	6	CEDAR	TO REMAIN
220	9	AMERICAN ELM	TO REMAIN	270	6	CEDAR	TO REMAIN
221	15	AMERICAN ELM	TO REMAIN	271	6	CEDAR	TO REMAIN
222	7	AMERICAN ELM	TO REMAIN	272	6	CEDAR	TO REMAIN
223	7	AMERICAN ELM	TO REMAIN	273	6	CEDAR	TO REMAIN
224	10	CEDAR ELM	TO REMAIN	274	6	CEDAR	TO REMAIN
225	9	AMERICAN ELM	TO REMAIN	275	6	CEDAR	TO REMAIN
226	10	CEDAR ELM	TO REMAIN	276	8	CEDAR	TO REMAIN
227	7	AMERICAN ELM	TO REMAIN	277	8	CEDAR	TO REMAIN
228	6	AMERICAN ELM	TO REMAIN				
229	9	AMERICAN ELM	TO REMAIN				
230	7	AMERICAN ELM	TO REMAIN				
231	9	AMERICAN ELM	TO REMAIN				
232	17	CEDAR ELM	TO REMAIN				
233	8	CEDAR ELM	TO REMAIN				
234	18	CEDAR ELM	TO REMAIN				
235	8	HACKBERRY	TO REMAIN				
236	19	CEDAR ELM	TO REMAIN				
237	6	AMERICAN ELM	TO REMAIN				
238	6	AMERICAN ELM	TO REMAIN				
239	7	AMERICAN ELM	TO REMAIN				
240	7	AMERICAN ELM	TO REMAIN				
241	6	AMERICAN ELM	TO REMAIN				
242	9	AMERICAN ELM	TO REMAIN				
243	8	AMERICAN ELM	TO REMAIN				
244	10	AMERICAN ELM	TO REMAIN				
245	7	AMERICAN ELM	TO REMAIN				
246	6	AMERICAN ELM	TO REMAIN				
247	10	AMERICAN ELM	TO REMAIN				
248	6	AMERICAN ELM	TO REMAIN				
249	14	AMERICAN ELM	TO REMAIN				
250	10	HACKBERRY	TO REMAIN				

TREES 104-113 CEDAR AND 117-127 CEDAR ARE THE TWO PROTECTED TREES PROPOSED TO BE REMOVED 25 CALIPER INCHES X 5= 12.5 CALIPER INCHES OF TREES REQUIRED TO BE MITIGATED ON SITE. REFER TO SHEET L2 FOR PROPOSED TREE LOCATIONS



- ### EXISTING TREE NOTES
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
 - If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
 - No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
 - Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
 - Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the drip line of any tree.
 - Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the drip line of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
 - Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
 - Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the drip line of trees.
 - Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
 - Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
 - Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
 - Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's drip line. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
 - Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
 - Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

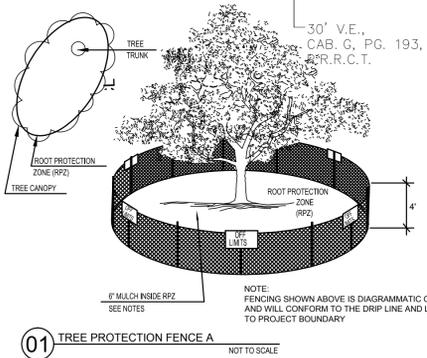
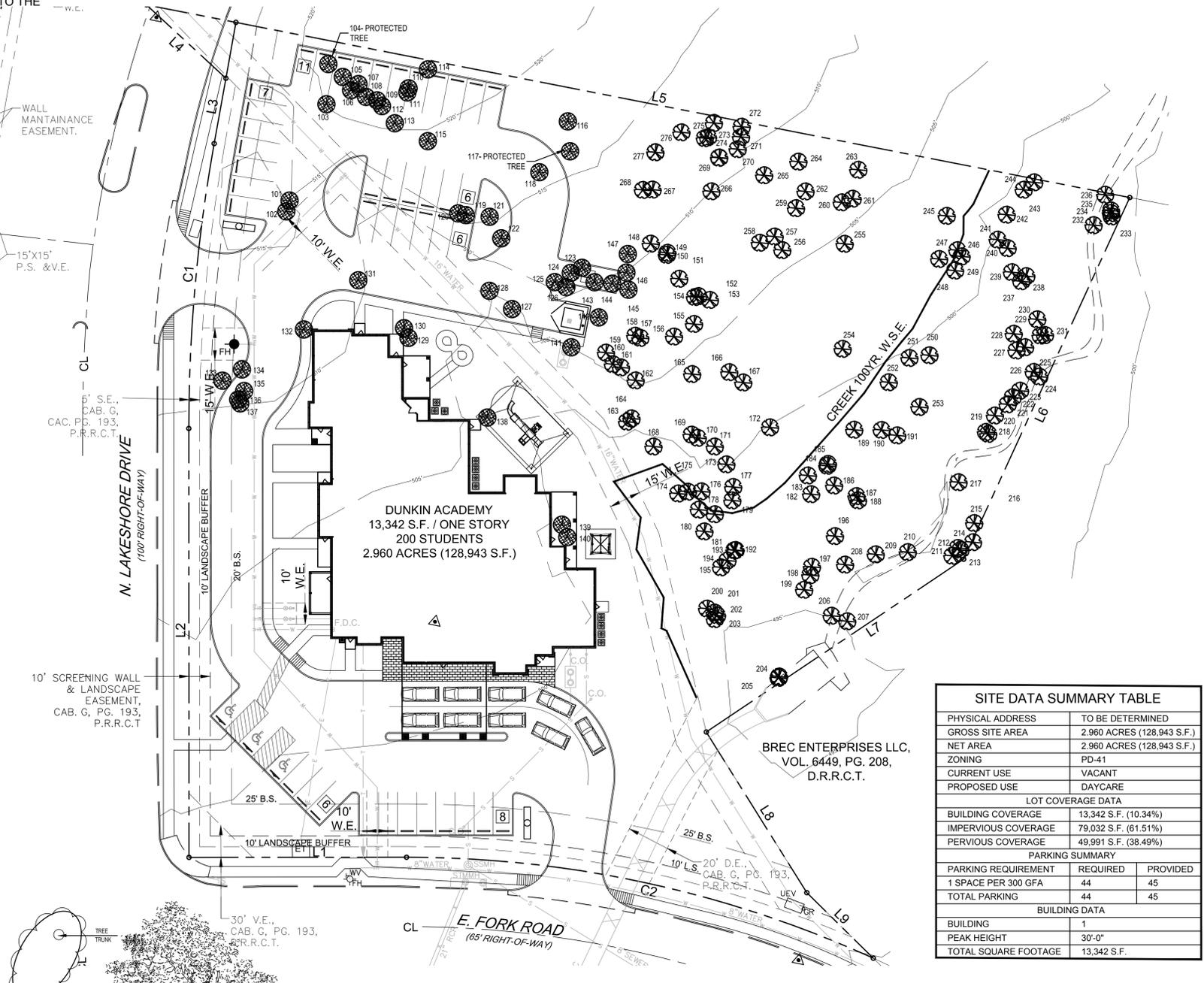
BOUNDARY LINE DATA

LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

CURVE DATA TABLE

NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'

OWNER/DEVELOPER COOPER GENERAL CONTRACTORS 2560 TECHNOLOGY DRIVE SUITE 100 PLANO, TEXAS 75074 CONTACT: DOUG GALLOWAY TEL: (469) 924-9279	ENGINEER TRIANGLE ENGINEERING LLC 1333 McDERMOTT ROAD STE 200 ALLEN, TEXAS 75013 CONTACT: KARTAVYYA PATEL TEL: (214) 609-9271	SURVEYOR A&W SURVEYORS INC. P.O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER, R.P.L.S. TEL: (972) 881-4975	ARCHITECT GRAY WOOD ARCHITECTS 4606 PARK SPRINGS BLVD. SUITE 110 ARLINGTON, TEXAS 76017 CONTACT: GRAY WOOD TEL: (817) 975-9767
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- ### EXISTING TREE LEGEND
- (Symbol with cross) EXISTING TREES TO REMAIN
 - (Symbol with circle) EXISTING TREES TO BE REMOVED

SITE DATA SUMMARY TABLE

PHYSICAL ADDRESS	TO BE DETERMINED	
GROSS SITE AREA	2.960 ACRES (128,943 S.F.)	
NET AREA	2.960 ACRES (128,943 S.F.)	
ZONING	PD-41	
CURRENT USE	VACANT	
PROPOSED USE	DAYCARE	
LOT COVERAGE DATA		
BUILDING COVERAGE	13,342 S.F. (10.34%)	
IMPERVIOUS COVERAGE	79,032 S.F. (61.51%)	
PERVIOUS COVERAGE	49,991 S.F. (38.49%)	
PARKING SUMMARY		
PARKING REQUIREMENT	REQUIRED	PROVIDED
1 SPACE PER 300 GFA	44	45
TOTAL PARKING	44	45
BUILDING DATA		
BUILDING	1	
PEAK HEIGHT	30'-0"	
TOTAL SQUARE FOOTAGE	13,342 S.F.	

SP2016-019

EXISTING TREE PLAN

DUNKIN ACADEMY
NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

T: 214.609.9271 | F: 469.359.6709 | E: kpatel@triangle-engr.com
W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	DS	08/23/16	SEE SCALE BAR	028-16

TX PE FIRM #11525

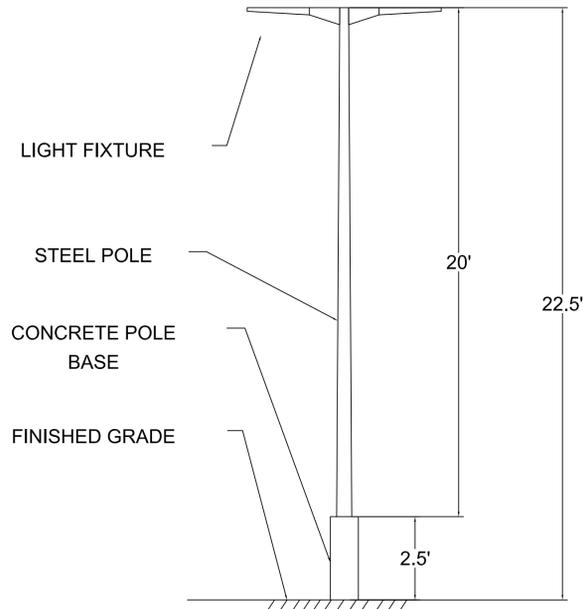
L.1

NO.	DATE	DESCRIPTION	BY
1	09/15/16	1st CITY SUBMITTAL	KP



REVISIONS

REV #	DATE	BY:
1	9/20/16	J.P.
2	10/3/16	TO



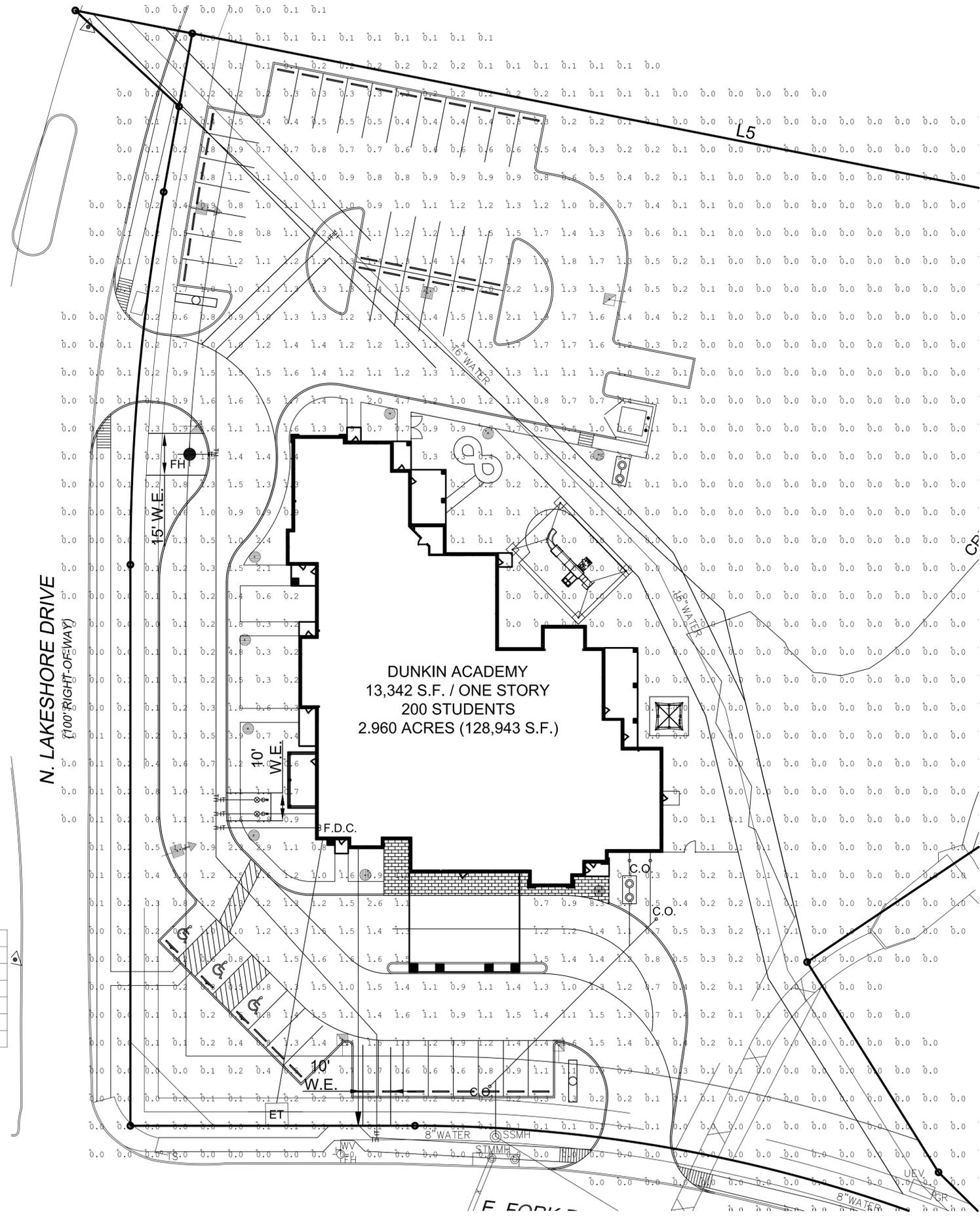
POLE DETAIL

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
DRIVE AISLE	Fc	0.76	2.3	0.1	7.60	23.00	10	10
FRONT PARKING	Fc	1.10	8.3	0.1	11.00	83.00	10	10
PROPERTY LINE	Fc	0.04	0.2	0.0	N.A.	N.A.	10	10
REAR PARKING	Fc	1.13	2.2	0.3	3.77	7.33	10	10

Luminaire Schedule								
Symbol	Qty	Label	Lumens	LLF	Description	Lum. Watts		
	1	A	N.A.	0.950	WLS-CLXS-5E-LED-SS-NW 20' POLE 2.5' BASE	96.4		
	2	B	N.A.	0.950	WLS-CLXS-FPE-LED-SS-NW-GS 20' POLE 2.5' BASE	96.4		
	4	C	N.A.	0.950	WLS-CLXS-FPE-LED-HO-NW-GS 20' POLE 2.5' BASE	145.7		
	9	D	N.A.	0.950	WLS-PBL-180-LED-16-350-NW-UE 42'' MOUNTING HEIGHT	20		

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.



**DUNKIN ACADEMY
ROCKWALL, TX**

WLS LIGHTING SYSTEMS

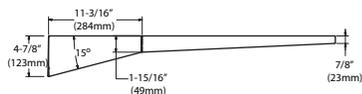
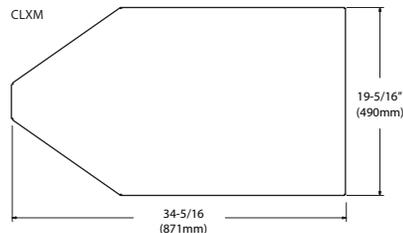
Consider the Impact!

1919 WINDSOR PLACE
FORT WORTH, TX 76110
WWW.WLSLIGHTING.COM

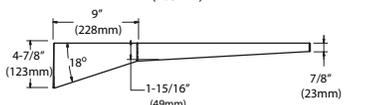
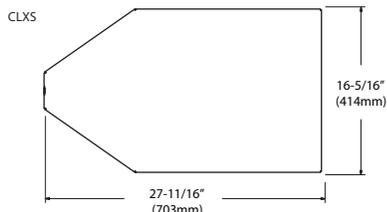
CLX SERIES LED AREA



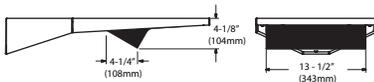
DIMENSIONS



HOUSE SIDE SHIELD



HOUSE SIDE SHIELD



SPECIFICATIONS

HOUSING - One-piece, die-formed aluminum housing contains factory prewired driver. Wiring access door (with safety lanyard) located underneath.

OPTICAL UNIT - Clear tempered flat glass lens permanently sealed to weather-tight aluminum optic frame creates an IP65 rated optical unit (includes pressure-stabilizing breather). Optic frame recessed into housing cavity and sealed to the housing with one piece EPDM gasket.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location.

LEDS - Select high-brightness LEDs in Cool White (5000K nominal), or Neutral White (4000K nominal) color temperature, 70 CRI (nominal).

DISTRIBUTION / PERFORMANCE - Types III, FT, 5 and enhanced 5E and FTE. Exceptional uniformity creates bright environment at lower levels. Internal Louver (IL) option available for improved backlight control without sacrificing street side performance for FT distribution.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets Location Category C Low. Available with universal voltage power supply 120-277 VAC (50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVER - Available in SS (Super Saver) and HO (High Output) drive currents. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

MOUNTING - Use with 5" traditional drilling pattern. An extruded radius 8" arm is shipped standard and compatible with all fixture mounting configurations. The fixture may also be mounted to 3"-5" round poles using the round pole plate adaptor accessory (RPP), which must be ordered separately.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

FINISH - Fixtures are finished with WLS DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years.

WARRANTY - WLS LED fixtures carry a limited 5-year warranty.

LISTING - ETL listed to U.S. and Canadian safety standards. Suitable for wet locations.



Suitable for wet locations



Approved By: _____ Project Name: _____

Location: _____ Date: _____

1919 Windsor Place ■ Fort Worth, TX 76110 ■ 800.633.8711 ■ Fax: 817.735.4824 ■ www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!

CLX SERIES LED AREA

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

SERIES	DISTRIBUTION	LIGHT SOURCE	DRIVE CURRENT	COLOR TEMPERATURE	LINE VOLTAGE	LUMINAIRE FINISH	OPTIONS	ACCESSORIES
CLXS	3 - Type III 5 - Type V FP - Forward Throw 5E - Type V Enhanced FPE - Forward Throw Enhanced	LED	SS - Super Saver HO - High Output	CW - Cool White NW - Neutral White	UE - Universal Voltage (120-277) 347 - 480	BRZ - Bronze BLK - Black PLP - Platinum Plus WHT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver CC - Custom Color	PCR - Photoelectric Control Receptacle ¹ NO - No Options	GS - Glare Shield PC - Photocell RPP - Round Pole Plate WM - Wall Mount Plate RA - Radius Arm UB - Upsweep Bracket for round or square poles SF - Single Fusing DF - Double Fusing NA - No Accessories
CLXM CLXL²	5 - Type V FP - Forward Throw FPL - Forward Optic Rotated for D180 (left) FPR - Forward Optic Rotated for D180(Right) 5E - Type V Enhanced FPE - Forward Throw Enhanced							

CLXM 5 LED SS CW UE BRZ NO NA

(EXAMPLE ORDER)

**ORDER:
WLS-CLX**

FOOTNOTES:

1- Photocell must be ordered separately - see Accessories.
2- 5E and FPE not available in CLXL.

LUMINAIRE EPA CHART - CLXS

Single	0.4
D180°	0.8
D90°	0.6
T90°	1.4
TN120°	1.4
Q90°	1.6

Note: House Side Shield adds to fixture EPA. Consult Factory.

LUMINAIRE EPA CHART - CLXM

Single	0.5
D180°	1.0
D90°	0.8
T90°	1.7
TN120°	1.7
Q90°	1.9

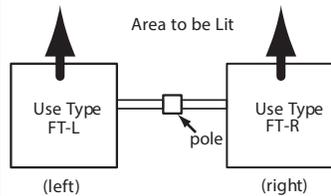
Note: House Side Shield adds to fixture EPA. Consult Factory.

LUMINAIRE EPA CHART - CLXL

Single	.7
D180°	1.4
D90°	1.1
T90°	2.3
TN120°	2.3
Q90°	2.6

Note: House Side Shield adds to fixture EPA. Consult Factory.

LEFT AND RIGHT VERSIONS OF TYPE FT REFLECTORS (TOP VIEW)



Note: Optics are not field-rotatable. For D180 Forward Throw installations specify left (FT-L) and/or right (FT-R) side mounting. Orientation is based on standing at the pole and looking out at the area to be lit.

LIGHT OUTPUT - CLXS

		Lumens (Nominal)				Watts (Nominal)	
		Type 3	Type FT	Type 5	Type5E		TypeFTE
Cool White	SS	10100	11400	11400	8200	7800	97
	HO	14000	15500	15700	11600	10600	140
Neutral White	SS	9700	10400	10800	7900	7500	97
	HO	13400	14700	15200	11000	10500	140

LED Chips are frequently updated therefore values may increase.

LIGHT OUTPUT - CLXM

		Lumens (Nominal)				Watts (Nominal)	
		Type 3	Type FT	Type 5	Type5E		TypeFTE
Cool White	SS	19900	22800	22900	15500	15800	193
	HO	27500	30900	31100	21200	21100	278
Neutral White	SS	19300	20000	20600	15000	15000	193
	HO	26700	27800	28500	20100	20400	278

LED Chips are frequently updated therefore values may increase.

LIGHT OUTPUT- CLXL

		Lumens (Nominal)				Watts (Nominal)
		Type 3	Type FT	Type 5	FTA	
Cool White	SS	45800	49500	50700	C/F	435
	HO	53400	57300	59100	58900	542
Neutral White	SS	45600	48600	49600	C/F	435
	HO	52800	56300	57600	C/F	542

LED Chips are frequently updated therefore values may increase.

Approved By: _____ Project Name: _____

Location: _____ Date: _____

1919 Windsor Place ■ Fort Worth, TX 76110 ■ 800.633.8711 ■ Fax: 817.735.4824 ■ www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!

SPECIFICATIONS

POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5" and 6" square.

HAND HOLE - Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM-A36 with a minimum yield strength of 36,000 psi.

GROUND LUG - Ground lug is standard.

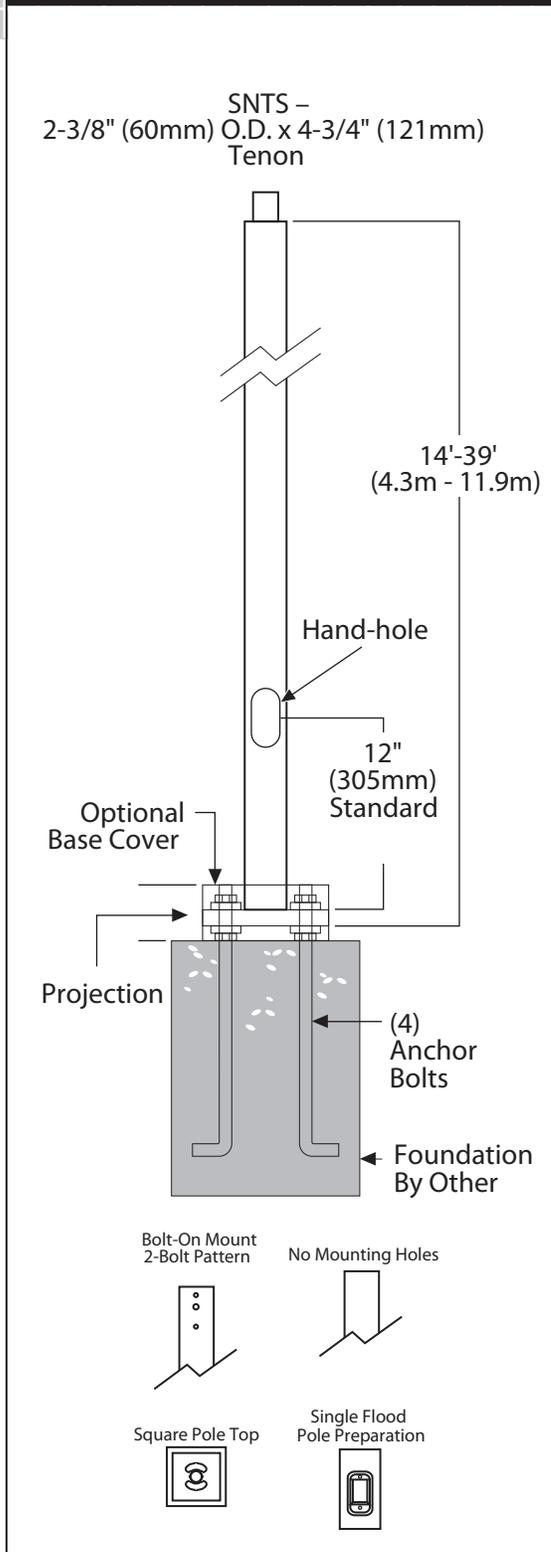
DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

GROUND FAULT CIRCUIT INTERRUPTER - Ground fault circuit interrupter.

FINISH - Each pole is finished with WLS DuraGrip® polyester powder coat finishing process to give the pole an exceptionally attractive appearance. The process electrostatically applies and thermally fuses a polyester powder to the pole. This unique protection process provides an extremely smooth and uniform finish which withstands extreme weather changes without cracking or peeling. DuraGrip® finish features a five-year limited warranty. Standard finish colors available for poles are bronze, black, platinum plus, buff, white, satin verde green, metallic silver, and graphite. Optional DuraGrip® Plus features added protection with a 3.0 to 5.0 mil thickness of polyester-powder coat finish plus an inner coating. This specially designed inner coating is a thermal plastic hydrocarbon resin applied to the inside of the pole to seal and protect against atmospheric and corrosive matter. DuraGrip® Plus finish features a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION

- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in Appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire/bracket EPA as was previously determined.



Approved By: _____ Project Name: _____

Location: _____ Date: _____

SNTS11

SQUARE
NON-TAPERED STEEL

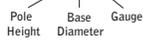
SERIES

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

CATALOG NUMBER ¹	MOUNTING CONFIGURATION	POLE TOP	FINISH	OPTIONS	ACCESSORIES
WLS-SNTS-14-4-11 WLS-SNTS-16-4-11 WLS-SNTS-16-5-11 WLS-SNTS-18-4-11 WLS-SNTS-18-5-11 WLS-SNTS-20-4-11 WLS-SNTS-20-5-11 WLS-SNTS-22-4-11 WLS-SNTS-22-5-11 WLS-SNTS-24-4-11 WLS-SNTS-24-5-11 WLS-SNTS-26-5-11	S - Single / Parallel D180° - Double D90° - Double DN90° - Double T90° - Triple TN120° - Triple Q90° - Quad QN90° - Quad PT - Pole Top N - Tenon Mount (Standard tenon size is 2-3/8" O.D.) I - For use with internal slipfitter	SBO - Square pole, bolt-on mount, 2 bolt pattern SPT - Square pole, pole top mount STM - Square pole, tenon mount SNH - Square pole, no mounting holes or pole top caps	BRZ - Bronze BLK - Black PLT - Platinum Plus BUF - Buff WHT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver	GA - Galvanized Anchor Bolts SF - Single Flood DF - Double Flood DGP - DuraGrip® Plus LAB - Less Anchor Bolts NO - No Options	4BC - 4" Square Base Cover 5BC - 5" Square Base Cover 6BC - 6" Square Base Cover ER2 - Weatherproof Duplex Receptacle GFI - Ground Fault Circuit Interrupter MHP - Mounting Hole Plugs 4VD - Vibration Damper - 4" Square Pole 5VD - Vibration Damper - 5" Square Pole 6VD - Vibration Damper - 6" Square Pole NA - No Accessories

(EXAMPLE ORDER)

WLS-SNTS-24-5-11



D90°

STM

BRZ

NO

NA

ORDER:

WLS-SNTS- _____

FOOTNOTES:

1 - Pole heights will have +/- 1/2" tolerance.

CATALOG NUMBER	SHAFT LENGTH	SHAFT SIZE	BASE PLATE	BOLT CIRCLE	ANCHOR BOLT SIZE	WT.	80 MPH EPA	90 MPH EPA	100 MPH EPA
WLS-SNTS-14-4-11	14'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	105	16.7	12.2	9.0
WLS-SNTS-16-4-11	16'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	120	13.1	9.3	6.5
WLS-SNTS-16-5-11	16'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	144	25.0	18.5	13.8
WLS-SNTS-18-4-11	18'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	135	9.7	6.5	4.2
WLS-SNTS-18-5-11	18'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	162	19.7	14.1	10.1
WLS-SNTS-20-4-11	20'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	150	7.0	4.2	2.2
WLS-SNTS-20-5-11	20'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	180	15.4	10.5	7.0
WLS-SNTS-22-4-11	22'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	165	6.3	3.4	1.4
WLS-SNTS-22-5-11	22'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	198	13.8	8.9	5.5
WLS-SNTS-24-4-11	24'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	180	4.0	1.5	-
WLS-SNTS-24-5-11	24'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	216	10.5	6.2	3.1
WLS-SNTS-26-5-11	26'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	234	7.6	3.8	1.0

EPA INFORMATION:

All WLS Lighting Systems' poles are guaranteed to meet the EPA requirements listed. WLS Lighting Systems is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole is located.

CAUTION:

This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. WLS Lighting Systems cannot accept responsibility for harm or damage caused in these situations.

Approved By: _____ Project Name: _____

Location: _____ Date: _____

WLS LIGHTING SYSTEMS



4 RIGHT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



3 LEFT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"
(FACING LAKESHORE DRIVE)

DESIGN ELEMENTS

SOUTH ELEVATION

METAL AWNING: STANDING SEAM ALUMINUM AWNING WITH WOOD BRACKETS, TWO ON SOUTH ELEVATION 3' X 8' AND 3' X 10'

BRICK WAINGCOAT: DOUBLE ROWLOCK BAND 1/8" OFF FINISH FLOOR RUNNING ALONG ENTIRE LENGTH OF BUILDING (136'-4")

COVERED DROP-OFF: DROP OFF AREA 39'-1" X 32'-9" WITH FOUR TAPERED BRICK COLUMNS

FILASTERS: TAPERED BRICK FILASTERS 2'-8" WIDE AT BASE WITH WOOD BEAM DETAIL AT TOP, FOUR FILASTERS ON SOUTH ELEVATION.

NORTH ELEVATION

FILASTERS: TAPERED BRICK FILASTERS 2'-8" WIDE AT BASE WITH WOOD BEAM DETAIL AT TOP, TWO FILASTERS ON NORTH ELEVATION.

COVERED PATIOS: APPROX. 11'X20' EACH WITH 18" BRICK COLUMNS

BRICK WAINGCOAT: DOUBLE ROWLOCK BAND 1/8" OFF FINISH FLOOR RUNNING ALONG ENTIRE LENGTH OF BUILDING (161'-2")

COVERED PORCH: 10'-10"X6'-6" WITH A TAPERED BRICK COLUMN 2'-8" WIDE AT BASE

WEST ELEVATION

METAL AWNING: STANDING SEAM ALUMINUM AWNING WITH WOOD BRACKETS, ONE ON WEST ELEVATION 3' X 10'

COVERED PATIO: WOOD POST AND BEAM CONSTRUCTION 10'X20' ON WEST ELEVATION

BRICK WAINGCOAT: DOUBLE ROWLOCK BAND 1/8" OFF FINISH FLOOR RUNNING ALONG ENTIRE LENGTH OF BUILDING (161'-2")

COVERED DROP-OFF: DROP OFF AREA 39'-1" X 32'-9" WITH TAPERED BRICK COLUMNS

COVERED PORCH: 15'X8'-10" WITH A TAPERED BRICK COLUMN 2'-8" WIDE AT BASE

FILASTERS: TAPERED BRICK FILASTERS 2'-8" WIDE AT BASE WITH WOOD BEAM DETAIL AT TOP, TWO FILASTERS ON WEST ELEVATION.

EAST ELEVATION

COVERED DROP-OFF: DROP OFF AREA 39'-1" X 32'-9" WITH TAPERED BRICK COLUMNS

FILASTERS: TAPERED BRICK FILASTERS 2'-8" WIDE AT BASE WITH WOOD BEAM DETAIL AT TOP, THREE FILASTERS ON EAST ELEVATION.

COVERED PATIOS: APPROX. 11'X20' EACH WITH 18" BRICK COLUMNS



2 REAR ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"
(FACING FORK ROAD)

FACADE MATERIAL AREA.

SOUTH ELEVATION	
BRICK: 6400 SF	= 40%
CEMENTITIOUS SIDING/SHINGLES: 571 SF	= 38%
STONE: 322 SF	= 22%
TOTAL SURFACE AREA: 1,493 SF	= 100%
NORTH ELEVATION	
BRICK: 1073 SF	= 93%
CEMENTITIOUS SIDING/SHINGLES: 81 SF	= 7%
TOTAL SURFACE AREA: 1,160 SF	= 100%
WEST ELEVATION	
BRICK: 145 SF	= 4%
CEMENTITIOUS SIDING/SHINGLES: 386 SF	= 25%
STONE: 492 SF	= 26%
TOTAL SURFACE AREA: 1,031 SF	= 100%
EAST ELEVATION	
BRICK: 935 SF	= 71%
CEMENTITIOUS SIDING/SHINGLES: 323 SF	= 25%
STONE: 50 SF	= 4%
TOTAL SURFACE AREA: 1,308 SF	= 100%

FACADE MATERIAL SPECS.

BRICK: 'ACME' - CEDAR VALLEY

STONE: GRANBURY REGULAR CHOPPED GRAY

PAINT FOR HORIZONTAL SIDING: 'SHERWIN WILLIAMS' - SW 6424

PAINT FOR SHINGLE SIDING: 'SHERWIN WILLIAMS' - SW 6366

PAINT FOR TRIM: 'SHERWIN WILLIAMS' - SW 6100

WINDOWS: 'VINYL' - ALMOND

COMPOSITION SHINGLE ROOF: WEATHERED WOOD

AWNING: 'STANDING SEAM METAL' - ALUMINUM

GUTTERS: 'ALUMINUM' - FEBBLESTONE CLAY

FACADE NOTES

- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE.
- MONUMENT SIGN TO BE CONSTRUCTED OF SAME MATERIALS & COLORS AS BUILDINGS.
- SEE LANDSCAPE PLAN FOR MASONRY SCREENING (COLORS & MATERIALS TO MATCH BUILDING).

ARCHITECT
ARCHON CORPORATION
ARCHITECTS & PLANNERS
2929 CARLISLE, STE 130
DALLAS, TX 75204
817-975-9761
ATTN: GARY WOOD

OWNER
DUNKIN ACADEMY ROCKWALL LLC
320 N TOWN EAST BLYD
SUNNYVALE, TX 75182
469-358-5590
ATT: JOHN DUNKIN

A CHILD CARE FACILITY IN ROCKWALL, TEXAS
COLOR FACADE/ELEV. PLAN

N. LAKESHORE DRIVE & E. FORK ROAD

A 2.960 acre tract of land situated in the A, Hanna Survey, Abstract Number 98, Rockwall County, Texas

REVISIONS	BY
CITY COMMENTS 9-28-16	TT

PROJECT NAME & ADDRESS
DUNKIN ACADEMY
N. LAKE SHORE DRIVE
ROCKWALL, TEXAS

DUNKIN ACADEMY
ROCKWALL, TEXAS

ARCHON CORPORATION
ARCHITECTS/ PLANNERS
2929 CARLISLE STREET
SUITE 130 - DALLAS TX
75204 214/526-0731



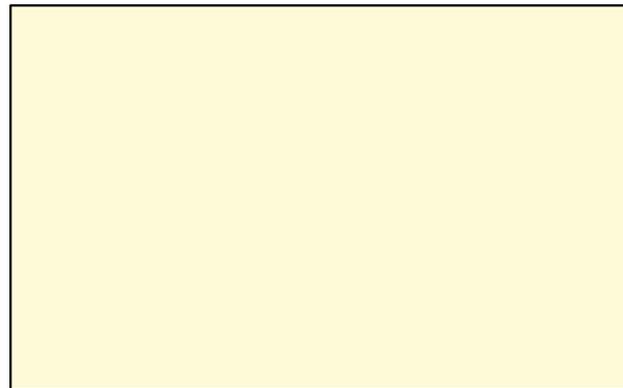
Date: 9-15-16
Drawn:
Job:
Sheet
ELEVS
Of Sheets



A HORIZONTAL SIDING
'SW 6424'
SHERWIN WILLIAMS



B SHINGLE SIDING
'SW 6366'
SHERWIN WILLIAMS



C TRIM
'SW 6700'
SHERWIN WILLIAMS



D WINDOWS
'ALMOND'
VINYL



F ROOF
'WEATHERED WOOD'
COMPOSITION SHINGLE



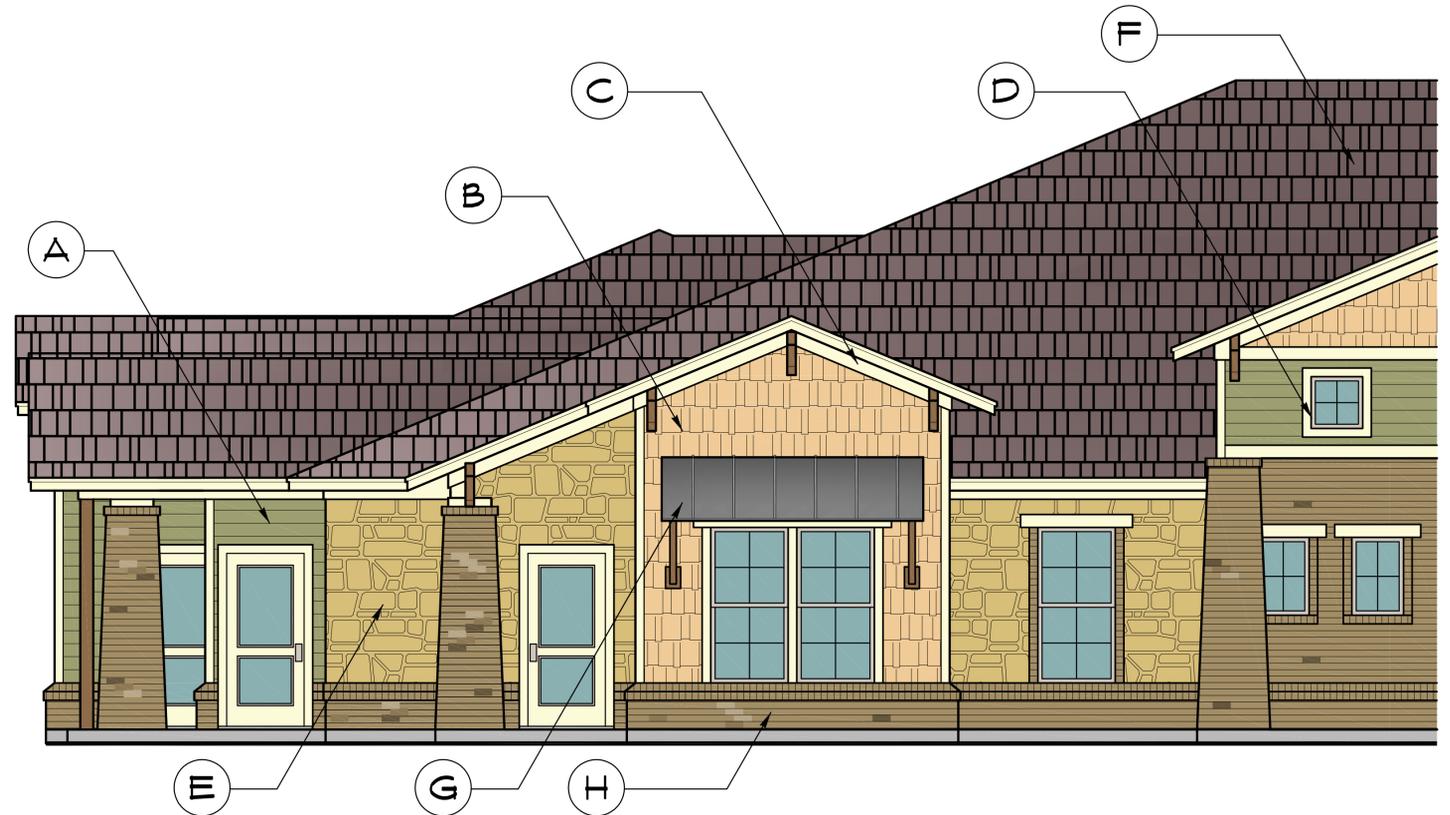
G AWNINGS
'ALUMINUM'
STANDING SEAM METAL



E STONE
GRANBURY REGULAR
CHOPPED GRAY



H BRICK
'CEDAR VALLEY'
ACME BRICK



ARCHITECT
ARCHON CORPORATION
ARCHITECTS & PLANNERS
2929 CARLISLE, STE 130
DALLAS, TX 75204
817-975-9767
ATTN: GARY WOOD

OWNER
DUNKIN ACADEMY ROCKWALL LLC
320 N TOWN EAST BLVD
SUNNYVALE, TX 75182
469-358-5590
ATT: JOHN DUNKIN

DUNKIN ACADEMY
CASE NO.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 10/11/2016

APPLICANT: Matt Moore; *Claymoore Engineering; Inc.*

AGENDA ITEM: **SP2016-020**; Rockwall Regional Hospital, LLC

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway, and take any action necessary.

PURPOSE:

The applicant is requesting approval of a Site Plan for the purpose of constructing a 55,827 sq. ft. *medical office building (MOB)* facility. The proposed medical office building is situated on a 5.75-acre portion of a larger 17.8321-acre parcel of land and is zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses. The site is located east of the intersection of Summer Lee Drive and Rockwall Parkway and is addressed as 914 Rockwall Parkway.

On January 8, 2007, the Planning and Zoning Commission approved a site plan for a MOB development that was to include two (2) buildings (MOB #1 and MOB #2). On January 22, 2008 City Council approved variances to the stone requirements, rooftop screening of mechanical equipment, and vertical articulation requirements. The submitted site plan is for MOB #2 for future development.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The submitted site plan, landscape plan, photometric plan, and building elevations conform to the technical requirements contained within the Unified Development Code (UDC) for properties located in Planned Development District 9 (PD-9) and zoned for General Retail (GR) District land uses. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>~250,470 SF; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>~112-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X>100-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP</i>	<i>48'-8"; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>4.3%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X>90%;</i>
<i>Minimum Number of Parking Spaces</i>	<i>280</i>	<i>281 Provided; In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Landscaping Percentage</i>	<i>10%</i>	<i>10%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85%</i>	<i>43%; In Conformance</i>

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On January 8, 2008, the Architectural Review Board (ARB) recommended approval of the building elevations by a vote of 6 to 0 with Board member Jeffus absent. Staff should note that conditions of approval were that the building elevations of the future MOB #2 be finished out with materials and design matching the front building elevations of the hospital and the proposed MOB #1.

On September 27, 2016, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site and recommended approval of the building elevations, as submitted, by a vote of 6 to 0 with Board Member Strohmeyer absent.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Project Number	SP2016-020	Owner	ROCKWALL, REGIONAL HOSPITAL LLP	Applied	9/16/2016	LM
Project Name	Presbyterian Hospital of Rockwall	Applicant	CLAYMOORE ENGINEERING INC	Approved		
Type	ADDITIONAL			Closed		
Subtype				Expired		
Status	NEED REVISIONS			Status	9/28/2016	KB

New comments are highlighted in yellow

Site Address	City, State Zip	Zoning
3150 HORIZON RD	ROCKWALL, TX 75032	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITIO	15	A	15	4703-000A-0015-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
ENGINEERING	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	APPROVED	
FIRE (9/22/2016 12:22 PM AA) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant. A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	see comments
GIS (9/26/2016 3:39 PM LS) Address Assignment: 914 Rockwall Pkwy, Rockwall, TX 75032	Lance Singleton	9/16/2016	9/23/2016	9/23/2016	7	APPROVED	See Comments
PLANNING	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments

Planning comments on next page

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2016 11:20 AM KB)						
SP2016-020 (Presbyterian Hospital of Rockwall Addition): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2016-020) in the lower right hand corner of all pages on future submittals.						
I.4 This property will be required to be plated prior to the issuance of a building permit.						
M.5 Site Plan. Please provide a vicinity map.						
M.6 Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.						
M.7 Site Plan. Please provide perimeter dimensions of the site.						
M.8 Site Plan. Please indicate property line and show entire property.						
M.9 Landscape Plan. Please show the impervious area v.s. pervious area.						
Landscape Plan. Please identify visibility triangles.						
Landscape Plan. Trees must be planted at least five feet from water, sewer, and storm sewer lines.						
M.10 Photometric. Please show entire site so that we can verify FC at property line.						
M.11 Photometric. Please provide Site Data and Summary Table.						
M.12 Photometric. Please indicate the location and type of all exterior lighting including pole mounted, wall mounted, signage, etc.						
M.13 Photometric. No light pole, base or combination shall exceed 30 feet, unless further restricted within an Overlay District. Please provide a detail of light pole to that we can ensure compliance.						
M.14 Photometric. Please show the entire site including the parking lot to the South. Also please provide FC for that parking lot.						
Photometric. Please provide drawings and/or cut sheets of proposed light fixtures.						
M.15 Building Elevations. Currently, the elevations do not meet the 20% stone requirement, therefore a variance will be required. (I believe that you applied for a variance for the other MOB)						
M.16 Building Elevations. Please indicate any proposed roof mounted mechanical equipment and indicate how these will be screened.						
I.17 The Architectural Review Board (ARB) meeting for this case will be held on September 27, 2016 at 5 pm.						
I.18 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 27, 2016 at 6 pm.						
I.19 If necessary the projected City Council meeting date for this case will be October 17, 2016.						
Planning Department	Korey Brooks	10/7/2016	10/7/2016	10/7/2016	COMMENTS	Comments
(10/7/2016 9:46 AM KB)						
1. Photometric Plan. Please show FC for the entire lot on the south side of the MOB--See markup						
2. Site Plan. Please provide perimeter dimensions of all walls--See markup.						



SP2016-020 - PRESBYTERIAN HOSPITAL OF ROCKWALL
 SITE PLAN - LOCATION MAP = [location pin icon]

**SITE PLAN
 AREA**



City of Rockwall

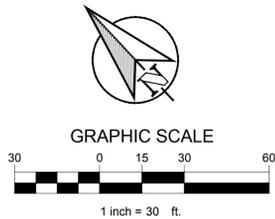
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



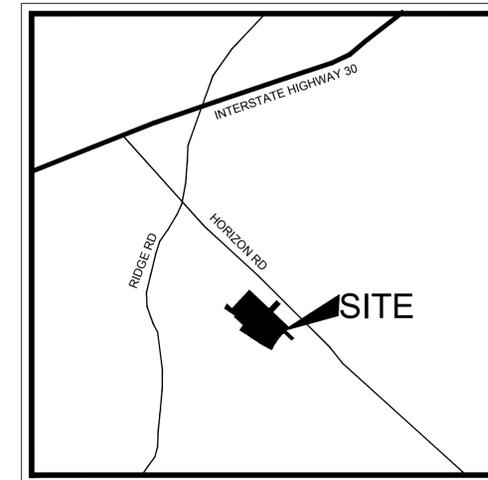
SITE DATA TABLE	
SITE AREA	18.87 ACRES (821,862.51 SF)
ZONING	PD-009
PROPOSED USE	MEDICAL OFFICE
BUILDING SIZE	55,827 SF
LOT COVERAGE	4.3%
FLOOR TO AREA RATIO	0.04 : 1
BUILDING HEIGHT	48'-8" (2 STORY)

PARKING TABLE	
PARKING REQUIREMENTS	1 PER 200 SQ FT
PARKING REQUIRED	280 SPACES (6 ADA)
PARKING PROVIDED	281 SPACES (8 ADA)



GRAPHIC SCALE

1 inch = 30 ft.



VICINITY MAP
N.T.S.



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
Engineer: **MATT MOORE**
P.E. No. 95813, Date: 10/04/2016

ROCKWALL MOB
HORIZON ROAD AT ROCKWALL
PARKWAY
ROCKWALL, TX 75201

No.	DATE	REVISION

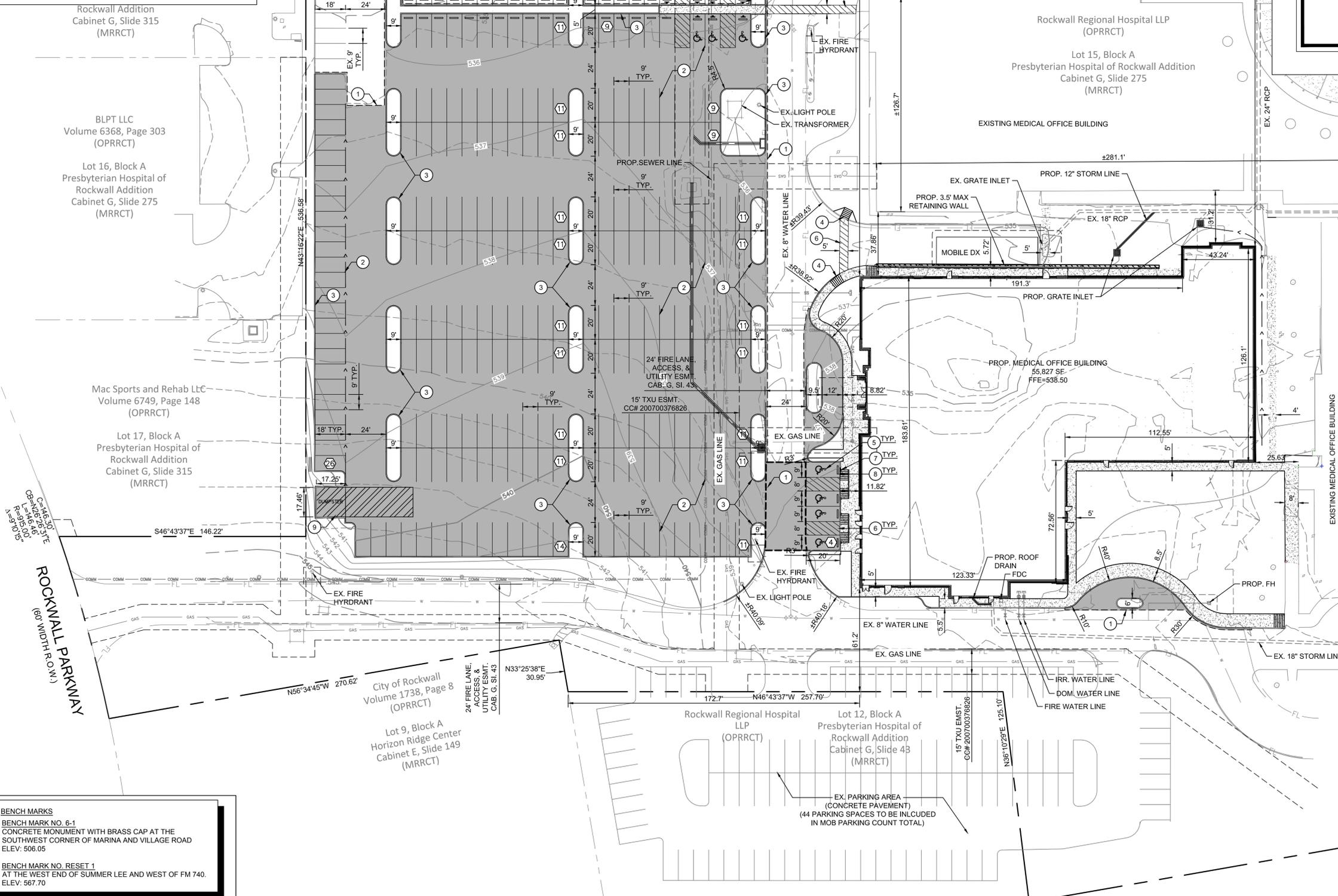
SITE PLAN

DESIGN	JEV
DRAWN	JEV
CHECKED	MAM
DATE	10/04/2016

SHEET
SP-1

PLOTTED BY: JVALDEZ
PLOT DATE: 10/4/2016 8:06 AM
LOCATION: C:\EGNYTE\SHARED\PROJECTS\2016-113 P+W ROCKWALL MOB\CADD\SHEETS\SP-1 SITE PLAN.DWG
LAST SAVED: 10/4/2016 7:53 AM

BENCH MARKS
BENCH MARK NO. 6-1
CONCRETE MONUMENT WITH BRASS CAP AT THE
SOUTHWEST CORNER OF MARINA AND VILLAGE ROAD
ELEV: 506.05
BENCH MARK NO. RESET 1
AT THE WEST END OF SUMMER LEE AND WEST OF FM 740.
ELEV: 567.70



LEGEND	
[Pattern]	PROPOSED 5" LIGHT DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED 6" HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROPOSED SIDEWALK
[Line]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PARKING COUNT
[Line]	PROPOSED FIRE LANE

CONSTRUCTION SCHEDULE	
1	SAW CUT FULL DEPTH EXISTING PAVEMENT
2	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	CURB & GUTTER
4	PROPOSED CURB RAMP
5	HANDICAP SYMBOL
6	PAVEMENT STRIPING
7	HANDICAP SIGN
8	PROPOSED CURB STOP
8	PROPOSED PRIVATE SIDEWALK
9	PROPOSED DUMPSTER ENCLOSURE REFER TO ARCH PLANS FOR DETAILS

NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
3. REFER TO ARCHITECTURAL PLANS FOR FENCE AND GATE DETAILS.

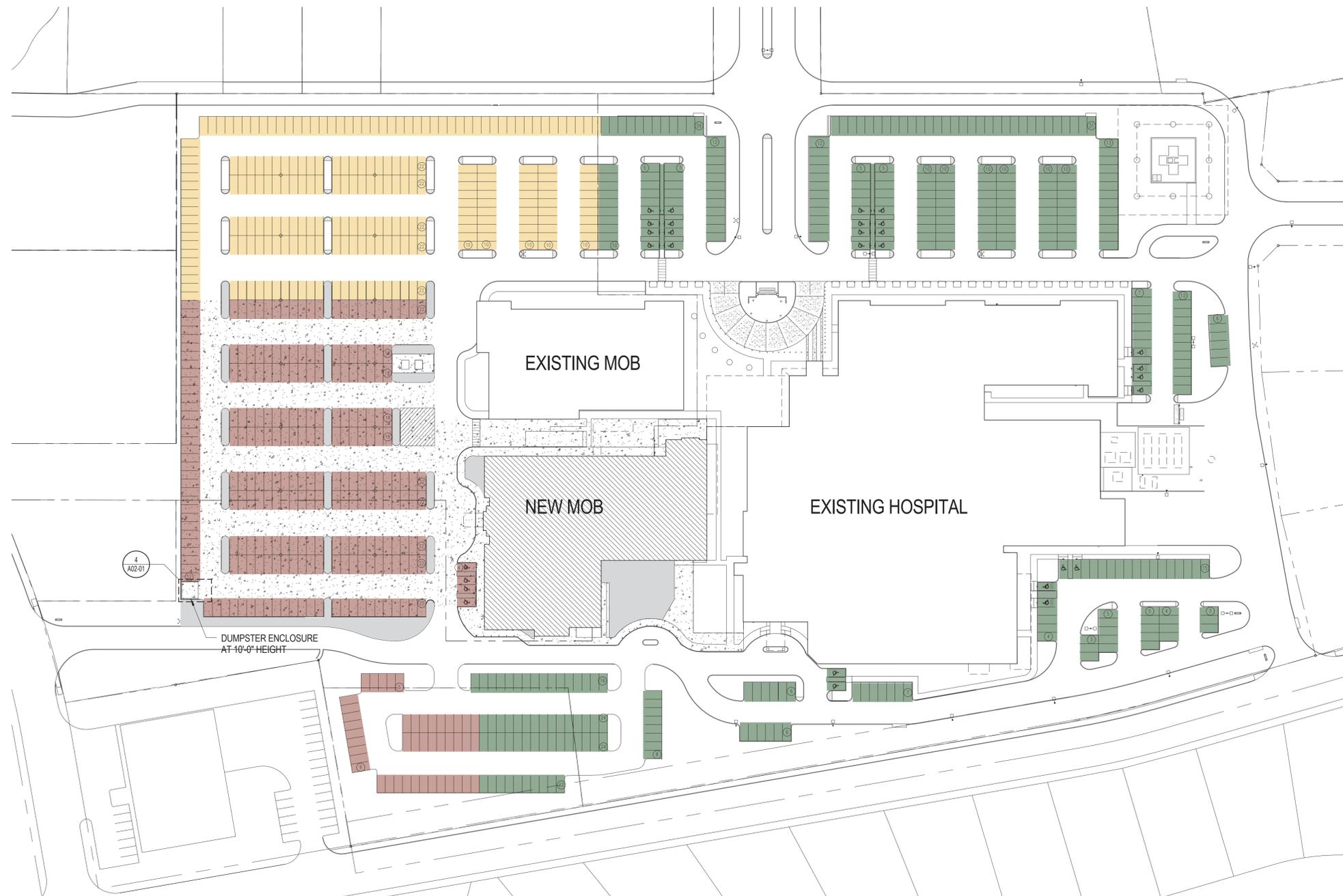
ROCKWALL MOB
LEGAL DESCRIPTION:
**LOT 15, BLOCK A
PRESBYTERIAN HOSPITAL OF ROCKWALL ADD.
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

OWNER:
CAMBRIDGE ROCKWALL, LTD
8383 PRESTON CENTER PLAZA DRIVE
DALLAS, TX 75201
CONTACT: TREY SULLIVAN
PH: 214.915.0107

DEVELOPER:
CAMBRIDGE ROCKWALL, LTD
8383 PRESTON CENTER PLAZA DRIVE
DALLAS, TX 75201
CONTACT: TREY SULLIVAN
PH: 214.915.0107

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DR., SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CITY CASE #:
SP2016-020

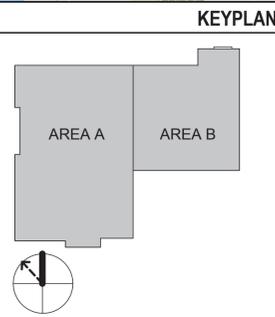


1 SITE - CAMPUS PARKING PLAN
1" = 60'-0"

PARKING SPACES REQUIRED	
HOSPITAL TOTAL	310 SPACES REQUIRED
EXISTING MOB TOTAL	229 SPACES REQUIRED
NEW MOB TOTAL	280 SPACES REQUIRED
819 TOTAL REQUIRED	17 ACCESSIBLE REQUIRED

PARKING SPACES PROVIDED	
EXISTING	
HOSPITAL STANDARD SPACES	317 SPACES
HOSPITAL ACCESSIBLE SPACES	26 SPACES
EXISTING MOB STANDARD SPACES	229 SPACES
EXISTING MOB ACCESSIBLE SPACES	0 SPACES
TOTAL EXISTING SPACES	572 SPACES PROVIDED
	(26 ACCESSIBLE)
NEW	
NEW MOB STANDARD SPACES	+281 SPACES
NEW MOB ACCESSIBLE SPACES	+4 SPACES
TOTAL NEW SPACES	285 SPACES PROVIDED
	(4 ACCESSIBLE)
REVISED TOTAL SPACES (EXISTING PLUS NEW)	857 SPACES PROVIDED
	(30 ACCESSIBLE)

NOTES:
1. 1 IN EVERY 8 ACCESSIBLE SPACES SHALL BE SERVED BY A 96 INCH WIDE ACCESS AISLE AND SHALL BE DESIGNATED AS "VAN ACCESSIBLE". SO FOR THIS PROJECT, 6 VAN ACCESSIBLE SPACES ARE REQUIRED.



APPLICANT INFORMATION
HANNAH AIKIN
PERKINS+WILL
10100 NORTH CENTRAL EXPRESSWAY,
SUITE 300 DALLAS, TX 75231
214-283-8866
HANNAH.AIKIN@PERKINSWILL.COM

OWNER INFORMATION
GRANT CALLISON
CAMBRIDGE HEALTHCARE
DEVELOPMENT, INC.
8389 PRESTON CENTER PLAZA DRIVE,
5TH FLOOR
DALLAS, TX 75225
214-665-0890

MARK	ISSUE	DATE
Job Number	147201.000	
Drawn	DRG	
Checked	MSK	
Approved	MSK	
TITLE		

C PREPARATION GENERAL NOTES

1. PLAN PREPARED BY:
MICHAEL S. KENDALL
KENDALL + LANDSCAPE ARCHITECTURE
8150 NORTH CENTRAL EXPRESSWAY
SUITE M2025
DALLAS, TEXAS 75206
PHONE: (214) 739-3226
E-MAIL: MIKE@KENDALL7.COM
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
2. ALL AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
3. ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.

D PLANTING GENERAL NOTES

1. ALL SOIL EXCAVATION MAY BE DISPOSED OF ON SITE.
2. IF A LIVE UTILITY IS ENCOUNTERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE.
3. SEE PLANTING SPECIFICATIONS FOR A COMPLETE DESCRIPTION OF PLANT MATERIAL AND INSTALLATION.
4. ALL BEDS MUST BE LAID OUT AND APPROVED PRIOR TO THE INSTALLATION OF THE IRRIGATION FOR COORDINATION.
5. ALL PLANT MATERIAL SHALL BE STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
6. ALL PLANTING DETAILS ARE TYPICAL.
7. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS MUST BE EITHER HYDROMULCHING OR SOLID SODDED UNLESS NOTED.
8. IRRIGATION WILL MEET REQUIREMENTS OF UDC.

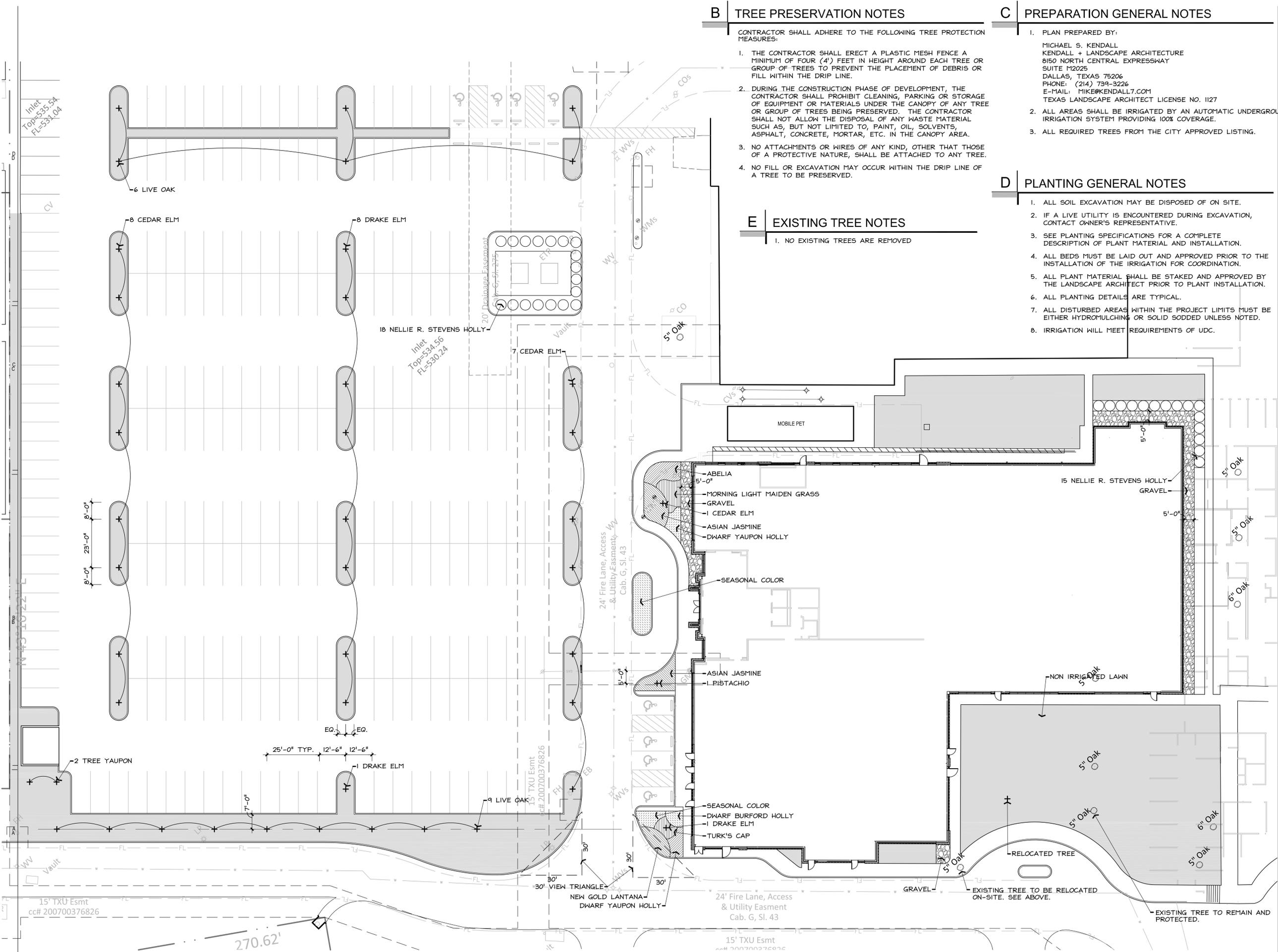
B TREE PRESERVATION NOTES

- CONTRACTOR SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:
1. THE CONTRACTOR SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF FOUR (4') FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
 2. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE CONTRACTOR SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE CONTRACTOR SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC. IN THE CANOPY AREA.
 3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 4. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED.

E EXISTING TREE NOTES

1. NO EXISTING TREES ARE REMOVED

A LANDSCAPE PLAN



1" = 20'-0"



A PLANT LISTING

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED.

BOTANIC NAME	COMMON NAME	SIZE	DESCRIPTION
LARGE TREES			
PISTACHIO CHINENSIS	PISTACHIO	100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS CRASSIFOLIA	CEDAR ELM	100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM	100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER.
ORNAMENTAL TREES			
ILEX VOMITORIA	TREE YAUPON	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
SHRUBS			
ABELIA GRANDIFLORA	ABELIA	3 GALLON	42" ON CENTER
ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3 GALLON	24" ON CENTER
ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GALLON	24" ON CENTER
SALVIA GREGGI 'HOTLIPS'	HOTLIPS CHERRY SAGE	3 GALLON	24" ON CENTER
RAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	3 GALLON	36" ON CENTER
ROSA 'RADRAZZ'	RADAZZ KNOCK OUT ROSE	3 GALLON	30" ON CENTER
GROUND COVER			
TRACHELSPERMUM ASIATICUM	ASIAN JASMINE	1 GALLON	18" ON CENTER
PERENNIALS			
LANTANA X 'NEW GOLD'	NEW GOLD LANTANA	1 GALLON	24" ON CENTER
MALVAVISCUS DRUMMONDII	TURK'S CAP	1 GALLON	24" ON CENTER
MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	1 GALLON	18" ON CENTER

ANNUALS
 SPRING - PANSIES 'BEACON FIELD' OR 'MAXIM BLUE' OR 'IMPERIAL SILVER PRINCESS' - 4" POT, 8" ON CENTER.
 SUMMER - NEW GOLD LANTANA - 1 GALLON, 18" ON CENTER
 FALL - CHRYSANTHEMUM 'SEMINOLE' - 4" POT, 8" ON CENTER.

LAWN
 CYNDON SPP. BERMUDA GRASS - SOLID SOD
 CYNDON TIFF TUFF BERMUDA GRASS - SOLID SOD
 BUCHLOE DACTYLOIDES BUFFALO GRASS - SOLID SOD

B LANDSCAPE ORDINANCE - ROCKWALL, TEXAS

- 10' LANDSCAPE BUFFER**
PROVIDED AT ROCKWALL PARKWAY
- SCREENING OF OFF-STREET LOADING AREAS**
PROVIDED
- RESIDENTIAL ADJACENCY**
NOT APPLICABLE
- BUFFER LANDSCAPING**
SHRUBS AT 3' ON CENTER 180 /50
4 3" CALIPER TREES REQUIRED
4 3" CALIPER TREES PROVIDED
- PARKING LOT LANDSCAPING**
SHRUBS AT 3' ON CENTER 89,000 *.05
4,450 REQUIRED SQUARE FEET
5,472 PROVIDED SQUARE FEET
- OPEN SPACE**
OFFICE ZONING REQUIRES 20% 229,964 *.20
45,993 REQUIRED SQUARE FEET
54,000 PROVIDED SQUARE FEET

SITE AREA	18.87 ACRES (821,862.51 SF)
ZONING	PD-009
PROPOSED USE	MEDICAL OFFICE
BUILDING SIZE	55,827 SF
LOT COVERAGE	4.3%
FLOOR TO AREA RATIO	0.04 : 1
BUILDING HEIGHT	48'-8" (2 STORY)

PARKING REQUIREMENTS	1 PER 200 SQ FT
PARKING REQUIRED	280 SPACES (6 ADA)
PARKING PROVIDED	281 SPACES (7 ADA)

PERKINS + WILL

10100 North Central Expressway
 Suite 300
 Dallas, Texas 75231
 t 214.283.8700
 f 214.283.8761
 www.perkinswill.com

CONSULTANTS

CIVIL
 CLAYMOORE ENGINEERING, INC.
 1105 CHECK SPARGER RD, STE. 1
 COLLEYVILLE, TX 76034

STRUCTURAL
 ARMSTRONG-DOUGLASS STRUCTURAL
 6060 N. CENTRAL EXPRESSWAY, STE. 360
 DALLAS, TX 75206

MEP
 SW ASSOCIATES CONSULTING
 5429 LBJ FREEWAY, STE. 300, DALLAS, TX 75240

LANDSCAPING
 KENDALL + Landscape Architecture
 8150 North Central, Suite 701, Dallas, TX 75206

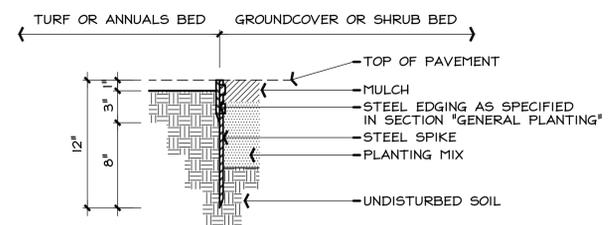
OWNER
 CAMBRIDGE ROCKWALL, LTD
 1717 MAIN STREET, 59TH FLOOR, DALLAS, TX 75201

CONTRACTOR

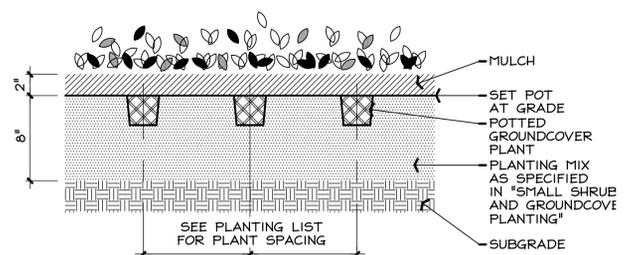
PROJECT

ROCKWALL MOB
 HORIZON ROAD AT
 ROCKWALL PARKWAY
 ROCKWALL, TEXAS 75201

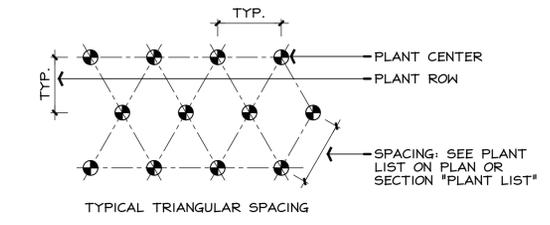
CAMBRIDGE ROCKWALL
 1717 MAIN STREET, 59TH
 FLOOR, DALLAS, TX 75201
KEYPLAN



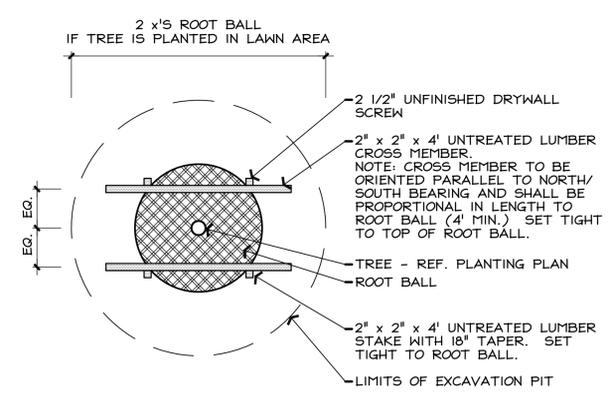
C STEEL EDGING - SECTION
 1 1/2" = 1'-0"



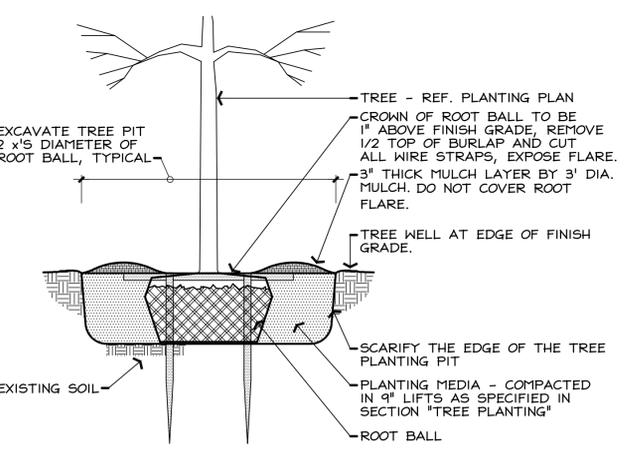
D GROUND COVER PLANTING - SECTION
 1 1/2" = 1'-0"



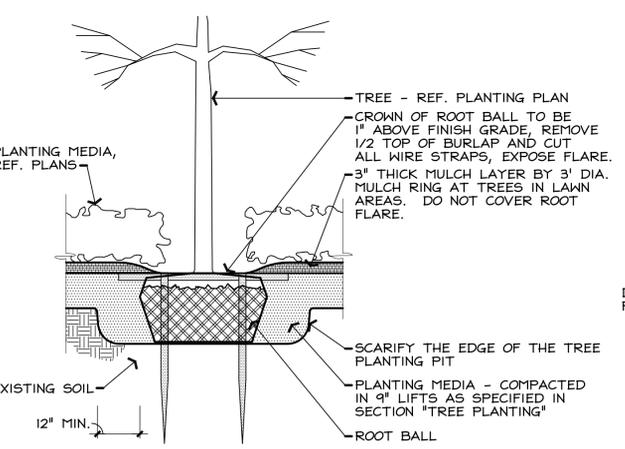
E PLANT SPACING - PLAN
 1/2" = 1'-0"



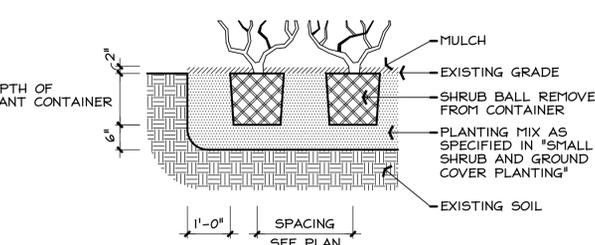
F TYPICAL TREE STAKING - PLAN
 1/2" = 1'-0"



G TREE PLANTING IN LAWN - SECTION
 1/2" = 1'-0"



H TREE PLANTING IN PLANTER - SECTION
 1/2" = 1'-0"



I SHRUB PLANTING - SECTION
 1/2" = 1'-0"

ISSUE CHART

CITY COMMENT 09.15.16

MARK	ISSUE	DATE
Job Number	147201.000	
Drawn	DRG	
Checked	MSK	
Approved	MSK	

LANDSCAPE PLAN

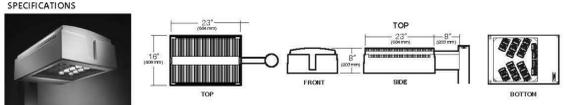
SHEET NUMBER

L10-02

ET LED
Entablature® Large PicoPrism™ LED
ki_led_spec.pdf

JOB: PRESBYTERIAN - ROCKWALL TYPE: APPROVALS

FEATURES
Full Cutoff PicoPrism technology
Patented low profile luminaire
Available in 1500lm, 2000K, 4000K and 5000K
Type 1, 2, 3, 4, 5, R, L, U distributions
0-10V dimming drivers standard
Sealed optical chamber, IP66 certified standard CCT



Max. Weight: 4.5 lbs. 1.9m x 0.8m 1A
See Configuration for Additional EPAs

ORDERING CODE

Configuration	ET	3	P70	80L	4K	DB
1.4m x 0.8m 1A	ET Large, 30 LEDs	1 Type I	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
2B 2.7m x 0.8m 2B	ET Large, 30 LEDs	2 Type II	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
2L 2.7m x 0.8m 2L	ET Large, 30 LEDs	2 Type III	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
3T 3.3m x 0.8m 3T	ET Large, 30 LEDs	3 Type III	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
4T 4.4m x 0.8m 4T	ET Large, 30 LEDs	4 Type IV	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
5T 5.5m x 0.8m 5T	ET Large, 30 LEDs	5 Type V	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
6T 6.6m x 0.8m 6T	ET Large, 30 LEDs	6 Type VI	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
7T 7.7m x 0.8m 7T	ET Large, 30 LEDs	7 Type VII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
8T 8.8m x 0.8m 8T	ET Large, 30 LEDs	8 Type VIII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
9T 9.9m x 0.8m 9T	ET Large, 30 LEDs	9 Type IX	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
10T 11.0m x 0.8m 10T	ET Large, 30 LEDs	10 Type X	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
11T 12.1m x 0.8m 11T	ET Large, 30 LEDs	11 Type XI	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
12T 13.2m x 0.8m 12T	ET Large, 30 LEDs	12 Type XII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
13T 14.3m x 0.8m 13T	ET Large, 30 LEDs	13 Type XIII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
14T 15.4m x 0.8m 14T	ET Large, 30 LEDs	14 Type XIV	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
15T 16.5m x 0.8m 15T	ET Large, 30 LEDs	15 Type XV	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
16T 17.6m x 0.8m 16T	ET Large, 30 LEDs	16 Type XVI	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
17T 18.7m x 0.8m 17T	ET Large, 30 LEDs	17 Type XVII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
18T 19.8m x 0.8m 18T	ET Large, 30 LEDs	18 Type XVIII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
19T 20.9m x 0.8m 19T	ET Large, 30 LEDs	19 Type XIX	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
20T 22.0m x 0.8m 20T	ET Large, 30 LEDs	20 Type XX	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
21T 23.1m x 0.8m 21T	ET Large, 30 LEDs	21 Type XXI	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
22T 24.2m x 0.8m 22T	ET Large, 30 LEDs	22 Type XXII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
23T 25.3m x 0.8m 23T	ET Large, 30 LEDs	23 Type XXIII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
24T 26.4m x 0.8m 24T	ET Large, 30 LEDs	24 Type XXIV	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
25T 27.5m x 0.8m 25T	ET Large, 30 LEDs	25 Type XXV	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
26T 28.6m x 0.8m 26T	ET Large, 30 LEDs	26 Type XXVI	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
27T 29.7m x 0.8m 27T	ET Large, 30 LEDs	27 Type XXVII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
28T 30.8m x 0.8m 28T	ET Large, 30 LEDs	28 Type XXVIII	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
29T 31.9m x 0.8m 29T	ET Large, 30 LEDs	29 Type XXIX	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze
30T 33.0m x 0.8m 30T	ET Large, 30 LEDs	30 Type XXX	P70 30kva Position	80L 80LEDs	4K 30kva	DB Dark Bronze

Photocell Options	Face Options	NFO Options	Optional Entablatures	Controls
A25.7 5pin Photocell Receptacle	SF 120, 277, 347 Line Volt	NFO High/Low/Off/On	A1 Arch	MSL Manual Switch
A30 10pin Photocell Receptacle	DF 240, 240, 480 Line Volt	NFO High/Low/Off/On	A2 Broke Arch	SCS Factory Mounted Occupancy Sensor up to 10'
A31 10pin Photocell Receptacle		NFO High/Low/Off/On	A3 Stopped Arch	SOH Factory Mounted Occupancy Sensor 16' to 30'
A32 10pin Photocell Receptacle		NFO High/Low/Off/On	A4 Stopped Broke Arch	
A33 277V Photocell Receptacle		NFO High/Low/Off/On	A5 Staircase Entablature	
A34 480V Photocell Receptacle		NFO High/Low/Off/On	A6 Peak	
A35 240V Photocell Receptacle		NFO High/Low/Off/On	A7 Broke Peak	
		NFO High/Low/Off/On	A8 Stopped Peak	
		NFO High/Low/Off/On	A9 Stopped	

Kim Lighting reserves the right to change specifications without notice.
© 2016 KIM LIGHTING | 10555 East Cole Ave. | City of Industry | CA 91745
P.O. Box 968 5566 | P. 626.363.2695 | www.kimlighting.com | Rev. Jul. 26, 2016

SOFT SQUARE STEEL DS330
Fatigue Resistant



Job Name: PRESBYTERIAN - ROCKWALL TX Client Name: _____
Job Location - City: _____ State: _____ Created By: _____ Date: _____
Product: _____ Quote: _____ Customer Approval: _____ Date: _____

DESIGNATION, LOAD AND DIMENSIONAL DATA

DESIGNATION	DESIGN INFORMATION				POLE DIMENSIONS				DESIGNATION		
	NORMAL WEIGHT	WIND WEIGHT	WIND WEIGHT	WIND WEIGHT	SHAF. DIAM.	SHAF. DIAM.	SHAF. DIAM.	SHAF. DIAM.			
12'-0"	24.4	18.8	4.0	14.8	370	4.00	4.00	11	90	400Q120	
14'-0"	19.9	15.1	3.76	11.7	293	4.00	4.00	11	100	400Q140	
16'-0"	15.9	11.8	2.96	8.9	223	4.00	4.00	11	115	400Q160	
18'-0"	12.8	9.2	2.30	6.7	168	4.00	4.00	11	125	400Q180	
20'-0"	9.8	240	6.7	167	4.5	150	4.00	4.00	11	140	400Q200
22'-0"	17.7	443	12.7	343	9.4	293	5.00	5.00	11	145	500Q200
24'-0"	28.1	703	21.4	535	16.2	408	5.00	5.00	7	285	500W200
26'-0"	4.8	158	2.8	100	1.0	50	4.00	4.00	11	170	400Q250
28'-0"	10.8	270	7.7	188	5.4	135	4.00	4.00	7	245	400W250
30'-0"	9.8	245	6.3	157	3.7	150	5.00	5.00	11	225	500Q250
32'-0"	18.5	483	13.3	333	9.5	298	5.00	5.00	7	360	500W250
34'-0"	6.7	158	4.4	110	2.6	85	4.00	4.00	7	291	400W300
36'-0"	10.7	267	6.7	167	3.9	100	5.00	5.00	7	380	500W300
38'-0"	19.0	475	13.2	330	8.0	225	6.00	6.00	7	520	600W300
40'-0"	5.9	150	2.5	100	N/A	N/A	5.00	5.00	7	440	500W350
42'-0"	12.4	310	7.6	199	4.2	105	6.00	6.00	7	540	600W350
44'-0"	7.2	189	3.0	115	N/A	N/A	5.00	5.00	7	605	600W400

1. Maximum SPS (Effective Proposed Area) and weight values are based on site mounted fixtures only. Consult factory on hoisting criteria for pole top mounted luminaires and/or brackets.
2. Weights shown are based on available weight capacity of the luminaire. Separately performance criteria is dependent upon the pole being properly attached to a supporting foundation of adequate design.
3. Bracket design is a nominal value which includes the pole dead and base plate only.
4. Base plate will have reduced flexures due to the cold setting process. However, the bracket design may or may not exceed the structural capacity of the original square section.
In addition, the number section provides better fatigue resistance.

ANCHORAGE DATA

POLE	BASE PLATE	ANCHOR BOLTS	Anchor Base Detail
4.00	11 8.50 (0.50) 8.25 (0.750) 0.75 x 17.00 x 3.00	3.50 10.25	180°
4.00	7 8.50 (0.50) 8.25 (0.750) 0.75 x 17.00 x 3.00	3.63 10.25	180°
5.00	11 11.00 (1.00) 11.00 (1.000) 0.75 x 17.00 x 3.00	3.75 10.25	180°
5.00	7 11.00 (1.00) 11.00 (1.000) 0.75 x 17.00 x 3.00	3.75 10.25	180°
6.00	7 12.00 (1.00) 12.00 (1.000) 0.75 x 17.00 x 4.00	4.25 10.25	180°

STANDARD ORDERING CODE STRUCTURE

| DS330 |
|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| DS330 |

Luminaire Schedule

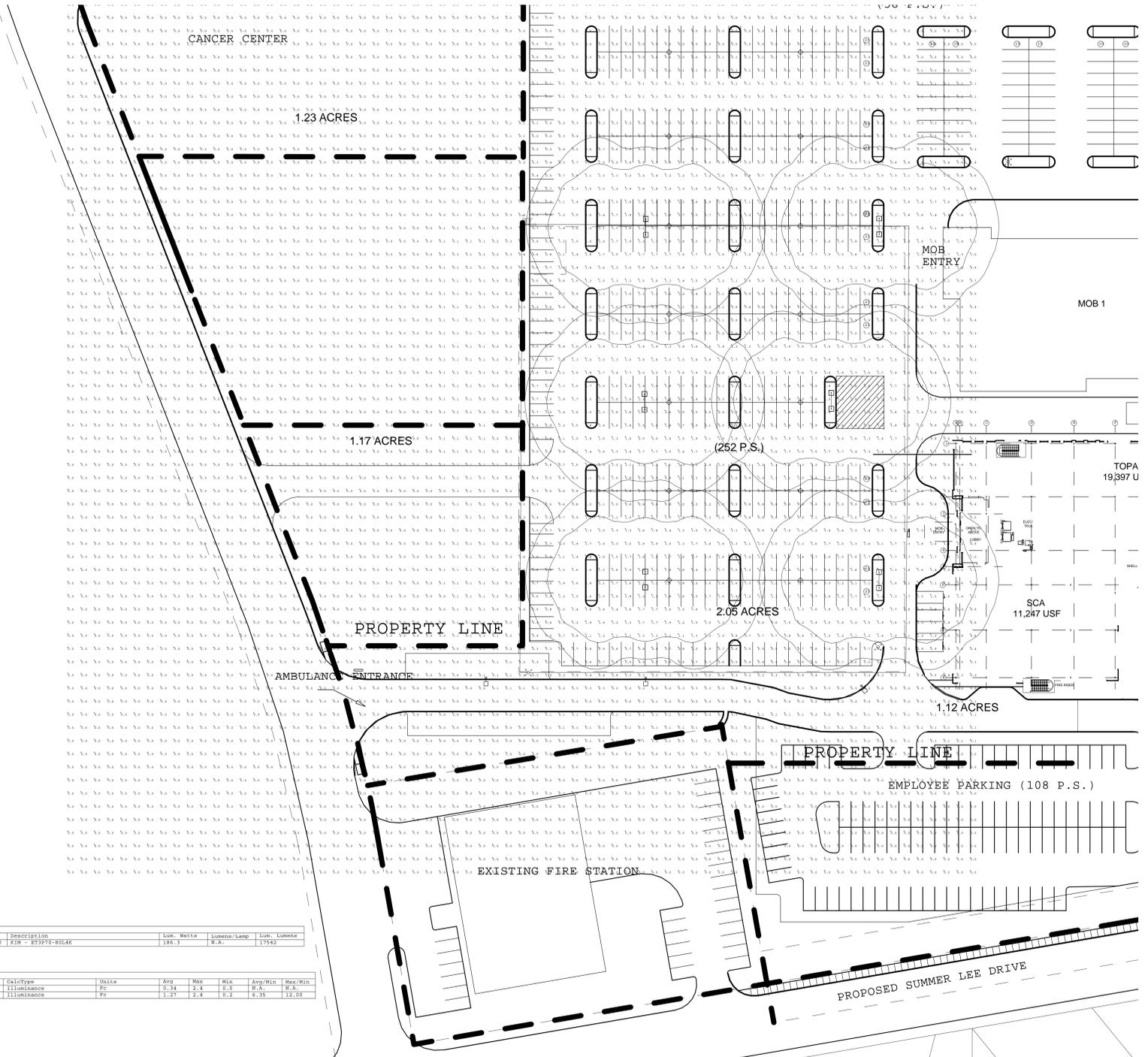
Symbol	Qty	Label	DAF	Description	Dim. Watts	Lumens/Lamp	Dim. Lumens
□	1	2883	0.880	14K - 87970-8014K	146.3	N.A.	1392

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcType_1	1	Footcandle	0.34	3.4	0.0	N.A.	N.A.
CalcType_2	1	Footcandle	1.27	2.4	0.2	6.35	12.00

NOTES
1. Calc at grade level
2. Mounted 30' AFF

1 SITE PLAN - PHOTOMETRIC ANALYSIS
1" = 40'-0"





2 ELEVATION- WEST
3/32" = 1'-0"



1 ELEVATION- EAST
3/32" = 1'-0"

EXTERIOR MATERIALS OVERALL SURFACE AREAS AND %			
Material: Name	Material: Area	Material: Description	% Material
Curtain Wall Glazing	2,932.90 SF		11%
Exterior Stone Cladding- Flamed	4,885.97 SF	Concrete masonry units	19%
Masonry Brick	10,281.44 SF		39%
Masonry Featherite	7,962.78 SF	Concrete masonry units	30%
Masonry Stone Veneer	93.63 SF	Concrete masonry units	0%
	26,156.71 SF		100%

SURFACE AREA BY FACADE		
Name	Surface Area	% of Total Surface Area
NORTH ELEVATION	6251 FT2	24.2%
SOUTH ELEVATION	6251 FT2	24.2%
WEST ELEVATION	6726 FT2	26.1%
EAST ELEVATION	6558 FT2	25.5%

APPLICANT INFORMATION
 HANNAH AIKIN
 PERKINS+WILL
 10100 NORTH CENTRAL EXPRESSWAY,
 SUITE 300 DALLAS, TX 75231
 214-283-8866
 HANNAH.AI KIN@PERKINSWILL.COM

OWNER INFORMATION
 GRANT CALLISON
 CAMBRIDGE HEALTHCARE
 DEVELOPMENT, INC.
 8389 PRESTON CENTER PLAZA DRIVE,
 5TH FLOOR
 DALLAS, TX 75225
 214-665-0890



① ELEVATION- NORTH
3/32" = 1'-0"

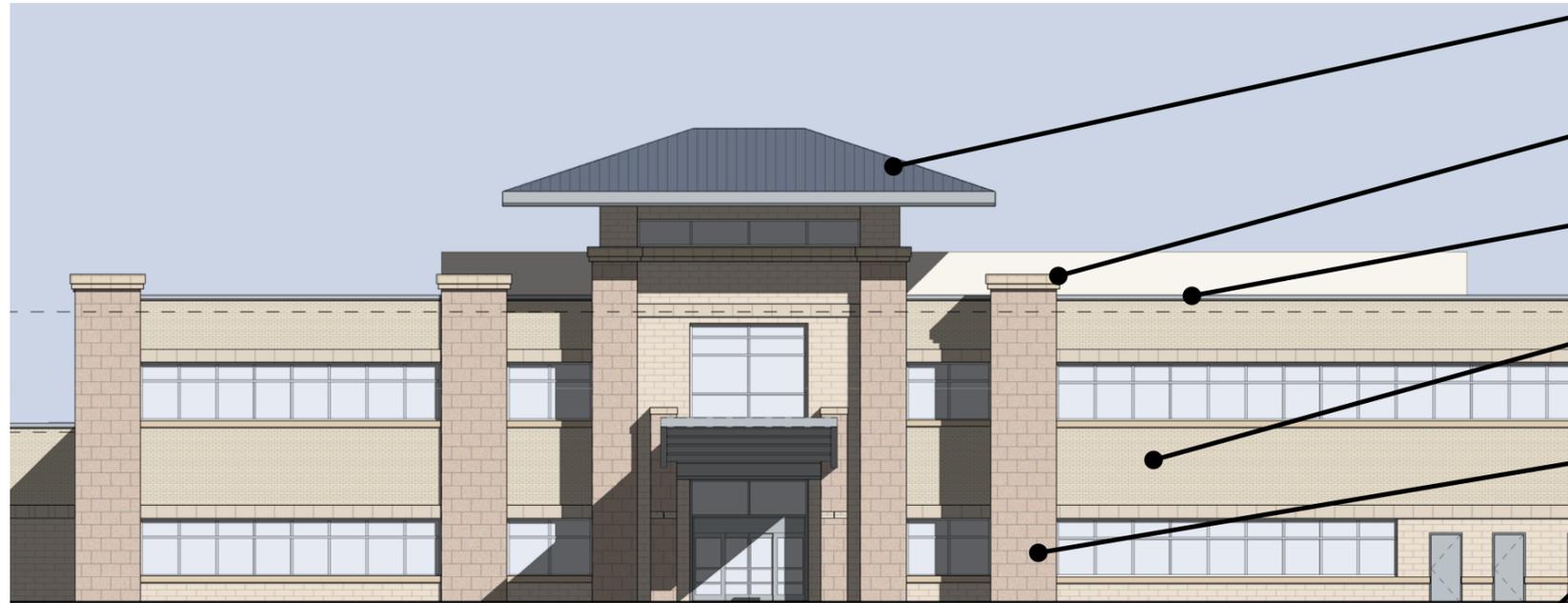


② ELEVATION- SOUTH
3/32" = 1'-0"

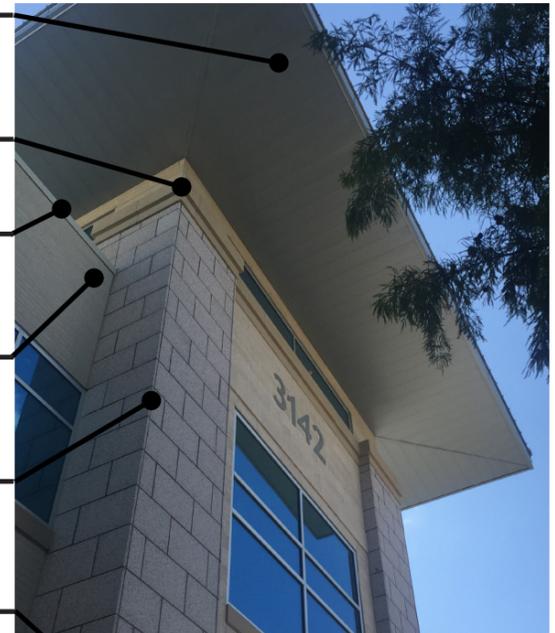
EXTERIOR MATERIALS OVERALL SURFACE AREAS AND %			
Material: Name	Material: Area	Material: Description	% Material
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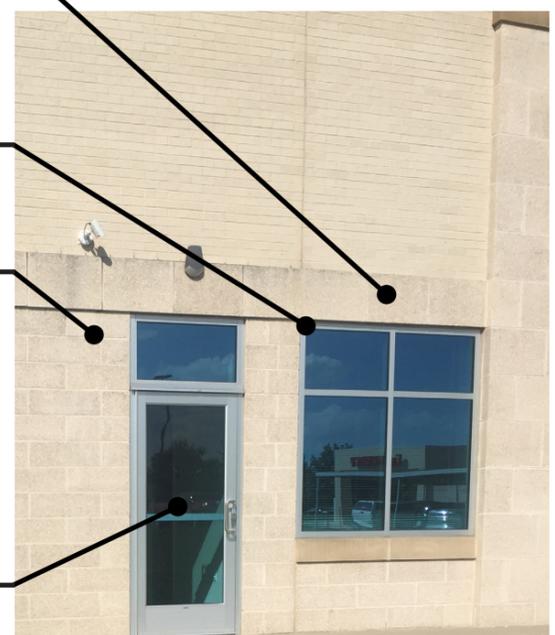
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- 1.) ROOF- STANDING SEAM METAL ROOFING
- 2.) CAST STONE
- 3.) METAL COPING- MATCHING STOREFRONT SYSTEM COLOR
- 4.) BRICK- ACME, PERLA PLANT, RIDGEMAR
- 5.) GRANITE- PINK PORRINO, FLAMED



- 6.) CMU- BURNISHED FEATHERLITE, ROUND ROCK PLANT, GROUND-FACE, SADDLE TAN, 16X24"
- 7.) WINDOW FRAMING- ANODIZED ALUMINUM
- 8.) CMU- BURNISHED FEATHERLITE, ROUND ROCK PLANT, GROUND-FACE, SADDLE TAN, 8X24"
- 9.) CANOPY- MATCHING STOREFRONT SYSTEM COLOR
- 10.) GLAZING- LOW- E COATED, TINTED GLASS



APPLICANT INFORMATION

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 PERKINS+WILL
 10100 NORTH CENTRAL EXPRESSWAY, SUITE 300
 DALLAS, TX 75231
 214-283-8866
 HANNAH.AIKIN@PERKINSWILL.COM

OWNER INFORMATION

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 CAMBRIDGE HEALTHCARE DEVELOPMENT, INC.
 8383 PRESTON CENTER PLAZA DRIVE, 5TH FLOOR
 DALLAS, TX 75225
 214-665-0890
 GCALLISON@CAMBRIDGEINC.COM

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 10/11/2016

APPLICANT: Vinod Sharma; *Little Genius of Texas, LLC*

AGENDA ITEM: **SP2016-021**; Woodbridge Montessori Academy

Discuss and consider a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive, and take any action necessary

PURPOSE:

The applicant is requesting approval of a Site Plan for the purpose of constructing an 11,834 sq. ft. *private pre-school* facility. The proposed preschool is situated 2.28-acre tract of land [Tract 2-3 of the W.T. Deweese Survey, Abstract No. 71] and is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses. The site is located at the southeast corner FM-552 and Stone Creek Drive and is addressed as 3100 Stone Creek Drive.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The submitted site plan, landscape plan, photometric plan, and building elevations conform to the technical requirements contained within the Unified Development Code (UDC) for properties located in Planned Development District 70 (PD-70) and zoned for General Retail (GR) District land uses. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>~99,669 SF; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>~213-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>~381-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>20-Feet</i>	<i>X>20-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP</i>	<i>32-Ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>35%</i>	<i>11.9%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>40</i>	<i>40 Provided; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>10%</i>	<i>10%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85%</i>	<i>43%; In Conformance</i>

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On September 27, 2016, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. The Board asked the applicant to make revisions to the symmetry of the

building, add more detail to the vertical elements on the West Elevation, to add landscaping to provide screening to the North Elevation, and to widen the columns on the West Elevation. The applicant agreed to make revisions and have submitted revisions to staff for the ARB to review.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Project Number	SP2016-021	Owner	METROPLEX, ACQUISITION FUND LP	Applied	9/16/2016	LM
Project Name	Woodbridge Montessori Academy	Applicant	LITTLE GENIUS OF TEXAS LLC	Approved		
Type	SITE PLAN			Closed		
Subtype				Expired		
Status	NEED REVISIONS			Status	9/28/2016	KB

New comments are highlighted in yellow

Site Address	3100 STONE CREEK DR	City, State Zip	ROCKWALL, TX 75087	Zoning	
Subdivision	STONE CREEK PH 6	Tract	2-3	Block	NULL
				Lot No	2-3
				Parcel No	0071-0000-0002-03-OR
				General Plan	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/21/2016	5	APPROVED	
ENGINEERING (10/6/2016 10:57 AM AW) The new parking adjacent to building to be 20'x9' (not 18'x9').	Amy Williams	10/6/2016	10/13/2016	10/6/2016		COMMENTS	See Comment
ENGINEERING (9/21/2016 8:15 AM AW) Label right-of-way dedication Need 10' utility easement along FM 552 Move sign and dumpster out of easement. Water pro-rata due = \$19.75/ lf of property length along FM 552	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comments
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
GIS (9/23/2016 3:39 PM LS) Address Assignment will be: 3100 Stone Creek Dr, Rockwall, TX 75087	Lance Singleton	9/16/2016	9/23/2016	9/23/2016		APPROVED	See Comments
PLANNING	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments

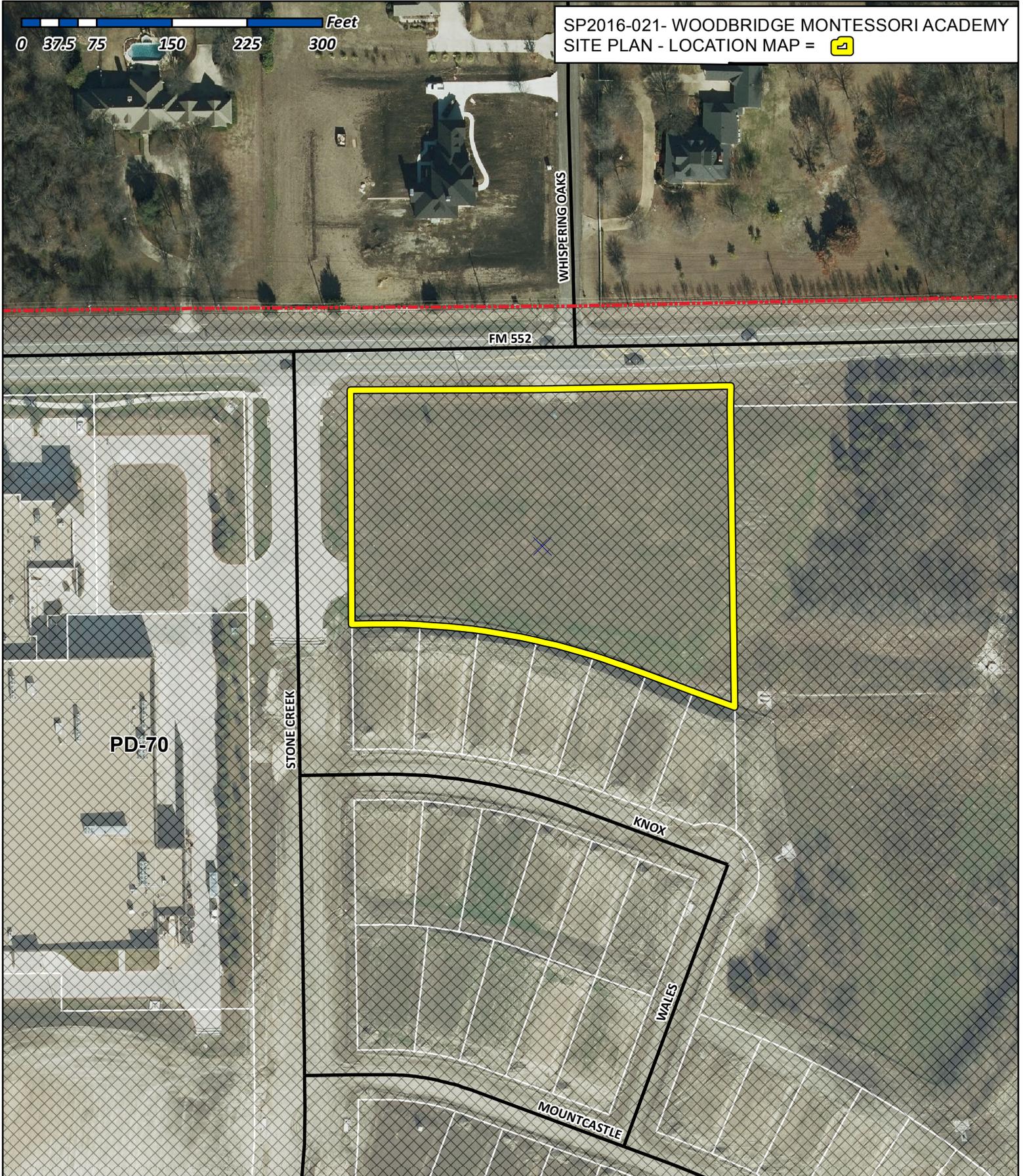
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2016-021 (Woodbridge Montessori Academy of Rockwall): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive (CORRECTED CAPTION)						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2016-021) in the lower right hand corner of all pages on future submittals.						
I.4 This property will be required to be plated prior to the issuance of a building permit.						
M.5 Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.						
M.6 Site Plan. Please provide perimeter dimensions of the site.						
M.7 Site Plan. Please indicate the distance between all property lines and the planned buildings.						
M.8 Site Plan. Please show the 15' building setback along Stone Creek Drive and FM. 552.						
M.9 Site Plan. Your legend shows a symbol for sidewalks, however, it is not used on the site plan.						
M.10 Site Plan. Your call out for the proposed dumpster does not point to the dumpster.						
M.11 Landscape Plan. Please show and label 10' landscape buffer adjacent to Stone Creek Drive and FM 552.						
M.12 Landscape Plan. Please note that 1 tree per 50' is required on Stone Creek Drive and FM. 552.						
M.13 Landscape Plan. If no protected trees are being removed, please provide a note stating that.						
M.14 Photometric. Please show FC of entire site. (it usually looks like a grid of FC numbers across the entire site)						
M.15 Photometric. Please indicate the location and type of all exterior lighting including pole mounted, wall mounted, signage, etc.						
M.16 Photometric. No light pole, base or combination shall exceed 30 feet, unless further restricted within an Overlay District. Please provide a detail of light pole to that we can ensure compliance.						
M.17 Photometric. Please provide drawings and/or cut sheets of proposed light fixtures.						
M.18 Building Elevations. Currently, the elevations do not meet the 20% stone requirement for each facade, therefore a variance your elevation directions are incorrect. Please see markups.						
M.19 Building Elevations. Please change "Spring Creek" to "Stone Creek" and FM 255 to FM 552"						
I.20 The Architectural Review Board (ARB) meeting for this case will be held on September 27, 2016 at 5 pm.						
I.21 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 27, 2016 at 6 pm.						
I.22 If necessary the projected City Council meeting date for this case will be October 17, 2016.						
Planning Department	Korey Brooks	10/4/2016	10/4/2016	10/4/2016	COMMENTS	Comments

Planning comments are on next page

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2016-021 (Woodbridge Montessori Academy of Rockwall): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
M.1 Site Plan.						Please note the address as 3100 Stone Creek Drive in the Title Block
M.2 Site Plan.						This site is not platted. Please remove the Lot and Block designation from title block. This will be assigned during the final plat stage.
M.3 Site Plan.						I cannot determine where the firelane is on the site plan. There is a symbol in the legend, however, I do not see that symbol used on any of the drives on the site.
M.4 Landscape Plan.						The "10' LS Buffer" text adjacent to Stone Creek Drive is covered by landscaping. Please move the text so that it is clearly visible.
M.5 Landscape Plan.						Please note that 1 tree per 50' is required on Stone Creek Drive and FM. 552.
M.6 Landscape Plan.						I am unable to determine where the firelane is. There is a symbol in the legend, however, I do not see that symbol used on any of the drives on the site.
M.7 Landscape Plan.						Please note the address as 3100 Stone Creek Drive in the Title Block.
M.8 Landscape Plan.						This site is not platted. Please remove the Lot and Block designation from the Title Block. This will be assigned during final platting.
M.9 Photometric.						The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. Please look at the lighting adjacent to Stone Creek Drive and try to get it as close as possible to 0.2 FC.
M.10						Building Elevations. Please indicate the materials of the structures on the West Elevation. (Please see markups)
M.11						Building Elevations. Please provide separate North and South Elevations. Currently they are combined.
M.12						Building Elevations. It may be helpful to provide a rendering of the building. Especially to show the landscaping that the ARB asked for on the North Elevation (adjacent to FM. 552).
M.13						Building Elevations. Please take a look at the surface area calculations on the North and South Elevations. The brick (57%), cast stone (5%), and stone (21%) only adds up to 89%. (This elevation still meets the 90% masonry requirement.)
M.14						Building Elevations. Please correct "Decoratice Truss" to "Decorative Truss"
M.15						The Architectural Review Board (ARB) meeting for this case will be held on October 11, 2016 at 5 pm.
M.16						The Planning and Zoning Meeting is October 11, 2016.
I.17						Staff has not identified any variances for this Site Plan.

0 37.5 75 150 225 300 Feet

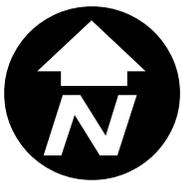
SP2016-021- WOODBRIDGE MONTESSORI ACADEMY
SITE PLAN - LOCATION MAP = 



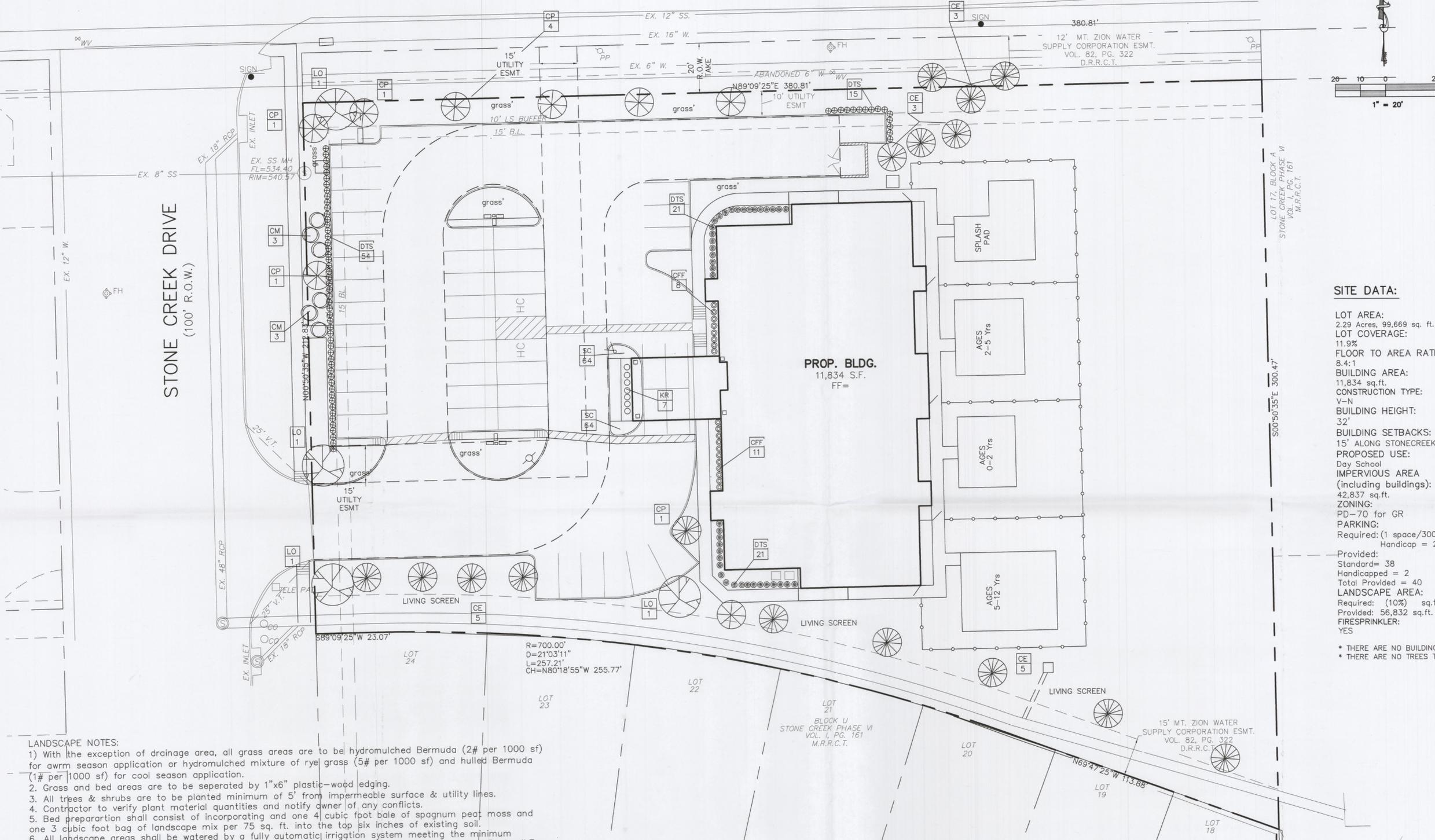
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



F.M. 552
(R.O.W. VARIES)



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- V.T. = VISIBILITY TRIANGLE
- EX. W = EX. WATER LINE
- EX. SS = EX. SANITARY SEWER LINE
- ⊙ = EX. SS MANHOLE
- ∞ WV = EX. WATER VALVE
- ⊙ PP = EX. POWER POLE
- ⊙ = EX. TELEPHONE BOX
- ⊙ = EX. STORM MANHOLE
- ⊙ FH = EX. FIRE HYDRANT
- ⊙ = PROPOSED FIRE HYDRANT
- ⊙ = PROPOSED FIRELANE

SITE DATA:

LOT AREA:
2.29 Acres, 99,669 sq. ft.
LOT COVERAGE:
11.9%
FLOOR TO AREA RATIO:
8.4:1
BUILDING AREA:
11,834 sq.ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:
32'
BUILDING SETBACKS:
15' ALONG STONECREEK & FM 552
PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq.ft.
ZONING:
PD-70 for GR
PARKING:
Required: (1 space/300) = 40
Handicap = 2
Provided:
Standard = 38
Handicapped = 2
Total Provided = 40
LANDSCAPE AREA:
Required: (10%) sq.ft.
Provided: 56,832 sq.ft.
FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE
* THERE ARE NO TREES TO BE REMOVED

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

- LANDSCAPE NOTES:
- 1) With the exception of drainage area, all grass areas are to be hydromulched Bermuda (2# per 1000 sf) for warm season application or hydromulched mixture of rye grass (5# per 1000 sf) and hulled Bermuda (1# per 1000 sf) for cool season application.
 - 2) Grass and bed areas are to be separated by 1"x6" plastic-wood edging.
 - 3) All trees & shrubs are to be planted minimum of 5' from impermeable surface & utility lines.
 - 4) Contractor to verify plant material quantities and notify owner of any conflicts.
 - 5) Bed preparation shall consist of incorporating and one 4 cubic foot bale of spagnum peat moss and one 3 cubic foot bag of landscape mix per 75 sq. ft. into the top six inches of existing soil.
 - 6) All landscape areas shall be watered by a fully automatic irrigation system meeting the minimum standards of the American Society of Irrigation Consultants, and the current building codes of Rockwall, Texas.
 - 7) All plant material shall meet American Nursery Standards for height and width in each container size.
 - 8) With the exception of ground cover beds, all plants material shall be mulched with 2" of Cedar mulch. (min)
 - 9) Trees shall have a root ball of a minimum 10 inch diameter for each inch of caliper.
 - 10) Contractor shall be responsible for location all utilities and obtaining permits as required by City.
 - 11) Trees and shrubs are to be a minimum of 2.5 feet from all impermeable surfaces and 5' from utility lines.

Streetcape (380 LF. FM. 522, 235 LF. STONECREEK DR.)
Required: 1 Tree per 50 LF. 381/50=8, 233/50 = 5
Provides: 13 Trees
15 Trees

Area Landscape:
Required: 10% of Site (99,669 sf x 10%)
Provided: 9,967 S.F.
Required: 50% of required landscape in front)
Provided: 4,984 S.F.
9,634 S.F.

Parking Lot Landscape:
Required: 5% 27,550 S.F. x .05 = 1,378 S.F.
Provided: 1,378 S.F.
2,020 S.F.

Trees—No required parking space further than 80' from tree.
Required: 1 tree per 10 required parking spaces 42/10=4.2
Provided: 5 Trees
5 Trees

PROVIDED LIVING SCREEN ALONG RESIDENTIAL SIDE.

PLANT	PLANT NAME	SIZE	SPACING	HEIGHT	WIDTH	QUANTITY
LO	Live Oak(Quercus Virginiana)	3" CAL	A/1	12'	4'	4
CE	Cedar Elm(Ulmus Crassifolia)	3" CAL	A/1	12'	4'	13
CP	Chinese Pistachio(Platisco Chinensis)	3" CAL	A/1	12'	4'	7
CM	Crap Myrtle (Lagerstroemia Fauriei Tuscarora)	30gal	A/1	8'	4'	6
DTS	Dwarf Texas Sage (Leucophyllum Frutescens Compacta)	5gal	36"	20"	18"	111
KR	Knock Out Roses (Rosa "Knock-out")	3gal	36"	16"	14"	7
CFF	Chinese Fringeflower (Loropetalum "Purple Diamond")	3gal	36"	14"	14"	19
SC	Seasonal Color	4" potal	12"	na	na	128

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.



CASE #: SP2016-021

LANDSCAPE PLAN
WOODBRIDGE MONTESSORI ACADEMY OF ROCKWALL

Stonecreek Dr.
Lot 17, Block A, 2.29 Acres
STONE CREEK PHASE VI
City of Rockwall, Rockwall County, Texas
Developer

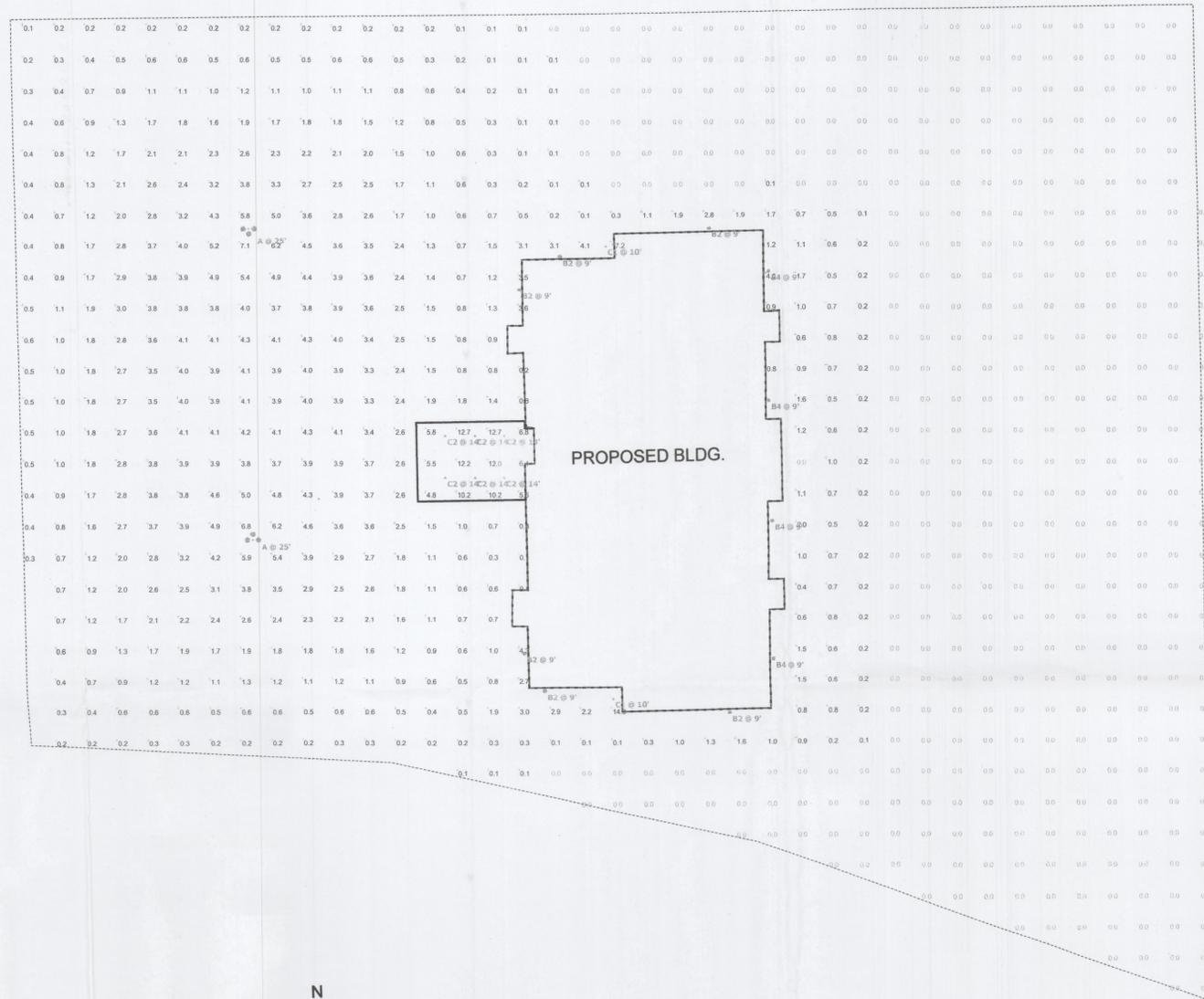
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

prepared by
SMV, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

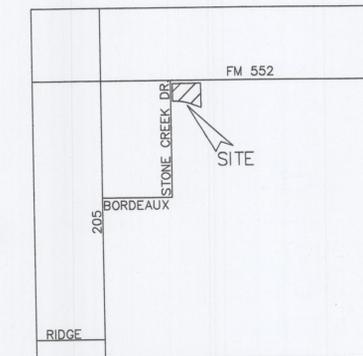
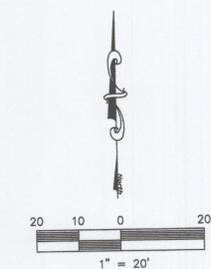
PROJECT NO.: 2016-12 REG NO.: F-2567
date: 10/3/16 scale: 1" = 20' sheet: L101

FILE COPY

STONE CREEK DR.



PHOTOMETRIC SITE PLAN
SCALE: 1" = 20 FT.



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- V.T. = VISIBILITY TRIANGLE
- EX. W. = EX. WATER LINE
- EX. SS. = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- (WV) = EX. WATER VALVE
- (PP) = EX. POWER POLE
- (T) = EX. TELEPHONE BOX
- (SM) = EX. STORM MANHOLE
- (FH) = EX. FIRE HYDRANT
- (FH) = PROPOSED FIRE HYDRANT
- (Dotted Box) = PROPOSED FIRELANE
- (Dotted Box) = PROPOSED SIDEWALK

SITE DATA:

LOT AREA:
2.29 Acres, 99,669 sq. ft.
LOT COVERAGE:
11.9%
FLOOR TO AREA RATIO:
8.4:1
BUILDING AREA:
11,834 sq.ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:

BUILDING SETBACKS:

PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq.ft.
ZONING:

PARKING:
Required: (1 space/300) = 40
Handicap = 2

Provided:
Standard = 41
Handicapped = 2
Total Provided = 43
LANDSCAPE AREA:
Required: (10%) sq.ft.
Provided: 56,832 sq.ft.
FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE

NOTES:

1. REFER TO THE ARCHITECTURAL & CIVIL SITE PLANS FOR DIMENSIONS & DETAILS.
2. REFER TO THE ELECTRICAL SHEETS FOR ADDITIONAL LIGHTING INFORMATION & ELECTRICAL SPECIFICATIONS
3. SUPPORT FOR PHOTOMETRIC MODEL PROVIDED BY ALA

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

REVISIONS

RECEIVED
OCT 03 2016
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Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	(Symbol)	A	2	Lithonia Lighting	MR2 LED 60C 700 40K TFTM	OMERO ARCHITECTURAL ARM-MOUNTED LED AREA LUMINAIRE WITH 60 4000K LEDS OPERATED AT 700mA AND PRECISION MOLDED ACRYLIC FORWARD THROW LENS	LED	3	15892	0.8	132
	(Symbol)	B2	6	Lithonia Lighting	MRW LED 1 10A700/40K SR2 MVOLT	MRW LED WITH 1 MODULE, 10 LED'S, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 2 LENS	1. LUMINAIRE OUTPUT: 1994 Lms.	1	2007	0.8	24.1
	(Symbol)	B4	4	Lithonia Lighting	MRW LED 1 10A700/40K SR4 MVOLT	MRW LED WITH 1 MODULE, 10 LED'S, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 4 LENS	LED	1	1527	0.8	24
	(Symbol)	C1	2	Lithonia Lighting	LDN6 40/20 L06AR LS	6IN LDN, 4000K, 2000LM, 80CRI, CLEAR, SPECULAR REFLECTOR	LED	1	2074	0.8	22.61
	(Symbol)	C2	6	Lithonia Lighting	LDN6 40/20 L06AR LS	6IN LDN, 4000K, 2000LM, 80CRI, CLEAR, SPECULAR REFLECTOR	LED	1	2074	0.8	22.61



Radford Engineering Co.
Mechanical & Electrical Engineering Consultants
PO Box 1552 Richardson, TX 75083
Tel: 214-215-4437 F-1526

PHOTOMETRIC PLAN

ROCKWALL
MONTESSORI ACADEMY

STONECREEK DR.
Lot , Block , 2.29 Acres
City of Rockwall, Rockwall County, Texas

developer
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

prepared by
SMV, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12		
date:	scale:	sheet:
9/9/16	1" = 20'	E101



MR2 LED LED Area Luminaire



Catalog Number

"A"

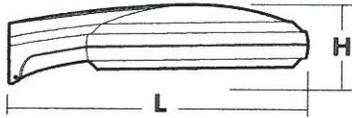
Notes

20' POLE

Type

Specifications

- EPA:** 0.9 ft² (0.08 m²)
- Length:** 32-7/8" (83.5 cm)
- Width:** 25" (63.5 cm)
- Height:** 8-1/4" (21.0 cm)
- Weight (max):** 42 lbs (19.1 kg)



Introduction

The Omero™ family of luminaires blends a traditional round dayform with contemporary, low-profile styling to accent architectural elements in a variety of applications.

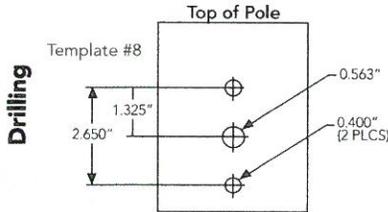
The MR2 LED combines the latest in LED technology with the designer aesthetic of the Omero™ family for stylish, high-performance illumination that lasts. The MR2 LED is ideal for replacing 250-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: MR2 LED 60C 1000 40K T5M MVOLT SPA DDBXD

MR2 LED 60C

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (required)
MR2 LED	60C 60 LEDs	700 700 mA	40K 4000 K	T2M Type II	MVOLT ¹	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket Shipped Separately ² SPUMBA Square pole universal mounting adaptor ³ RPUMBA Round pole universal mounting adaptor ³ KMA8 Mast arm mounting bracket adaptor (specify finish) ⁴ DDBXD U	Shipped installed PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) ⁵ DMG 0-10V dimming driver (no controls) HS House-side shield ² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ DS Dual switching ^{7,8} BL30 Bi-level switched dimming, nominal 30% ^{8,9} BL50 Bi-level switched dimming, nominal 50% ^{8,9} Shipped separately ² VG Vandal guard	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
		1000 1000 mA	50K 5000 K	T3M Type III	120 ¹			
				T4M Type IV	208 ¹			
				T5M Type V	240 ¹			
				TFTM Forward throw	277 ¹ 347 480			



Omero™ shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° **
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-330	AST35-490

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as a separate accessory; see Accessories information at left.
- 1.5 G vibration load rating per ANCI C136.31.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745 or email: sales@roamservices.net. N/A with BL30, BL50, or DS.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER or DCR.
- Requires an additional switched line.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories
Ordered and shipped separately

- DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V)¹⁰
- DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V)¹⁰
- DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V)¹⁰
- SC U Shorting cap¹⁰
- MR2LEDHS U House-side shield (includes 2 shields)
- MR2VG U Vandal guard accessory
- KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)⁴
- RPUMBA DDBXD U* Round and square pole universal mounting bracket adaptor (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.



1/A

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60C	700 mA	132	T2M	14,831	2	0	2	112	14,924	3	0	3	113
			T3M	15,707	2	0	3	119	15,805	3	0	3	120
			T4M	15,607	2	0	3	118	15,704	2	0	3	119
			T5M	15,776	4	0	2	120	15,874	4	0	2	120
			TFTM	15,892	2	0	3	120	15,992	2	0	3	121
	1000 mA	206	T2M	20,224	3	0	3	98	20,350	3	0	3	99
			T3M	21,418	3	0	3	104	21,552	3	0	4	105
			T4M	21,282	3	0	4	103	21,415	3	0	4	104
			T5M	21,512	5	0	3	104	21,647	5	0	3	105
			TFTM	21,671	3	0	3	105	21,807	3	0	4	106

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the MR2 LED 60C platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.82

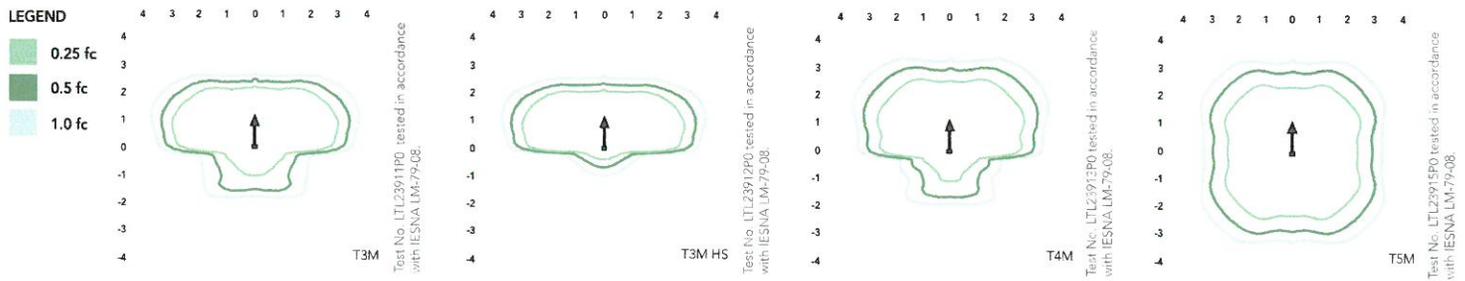
Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
60C	700	132W	1.321	0.756	0.659	0.580	0.462	0.337
	1000	206W	2.068	1.198	1.056	0.943	0.764	0.605

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's MR2 LED homepage.

Isofootcandle plots for the MR2 LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

Highly efficient and long-lasting, the MR2 LED is ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A perforated housing prevents debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants. Low EPA (0.9 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000 K (67 CRI) or optional 5000 K (67 CRI) configurations. The MR2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver

designed to provide a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 2.0 G vibration load rating per ANSI C136.31. The MR2 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. **U.S. Patent No. D556,357.**

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomersResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



"B2 & B4"

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Light Engines	Drive Current (mA)	Performance Package	System Watts (MVOLT)	Dist. Type	40K (4000K, 70 CRI)				
					Nominal Lumens	B	U	G	LPW
1 (10 LEDs)	700	10A700/--K	24W	SR2	2,005	1	0	1	84
				SR3	2,029	1	0	1	84
				SR4	1,959	1	0	1	82
2 (20 LEDs)	700	10A700/--K	47W	SR2	3,944	1	0	1	84
				SR3	4,028	1	0	1	86
				SR4	3,851	1	0	1	82

1 See electrical load chart for 347/480V system watts.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.10
10°C	50°F	1.06
20°C	68°F	1.02
25°C	77°F	1.00
30°C	86°F	0.98
40°C	104°F	0.92

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **MRW LED 2 10A700** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.88	0.77

Electrical Load

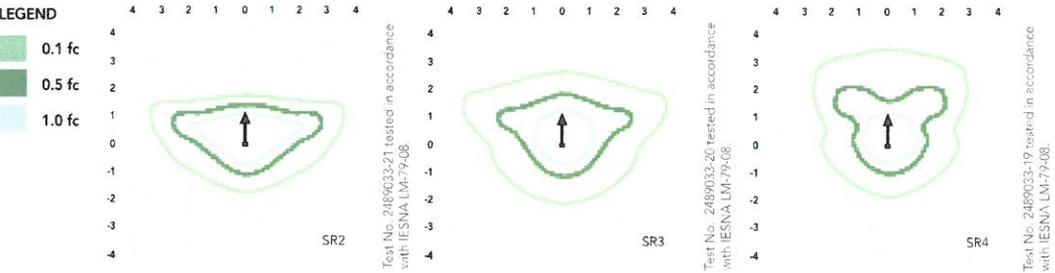
Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	700	24W	0.24	0.14	0.12	0.1	-	-
		29W ¹	-	-	-	-	0.09	0.07
2	700	47W	0.44	0.27	0.23	0.20	-	-
		53W ¹	-	-	-	-	0.17	0.12

1 Higher wattage is due to electrical losses from step-down transformer.

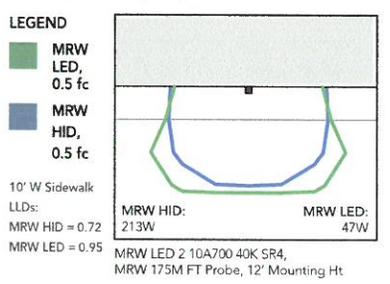
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [MRW LED homepage](#).

Isfootcandle plots for the MRW LED 2 10A700/40K SR2, SR3, and SR4. Distances are in units of mounting height (12').



Distribution overlay comparison to 175W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the MRW LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses are engineered for superior distribution, uniformity, and spacing in wall-mount applications. Light engines are 4000K (70 CRI). The MRW LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 25°C, L77). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated and suitable for wet locations when mounted with the lenses down. WLU option offers wet location listing in "up" orientation. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/Customer/Resources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Catalog Number	H C1 & C2
Notes	
Type	

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) eldoLED 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional).

WARRANTY — 5-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

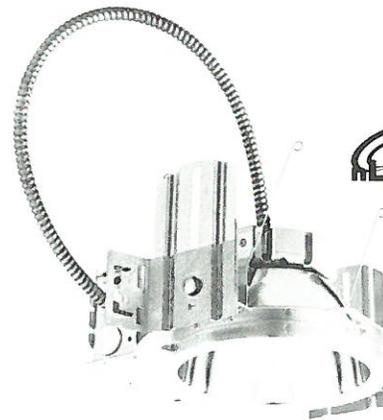
Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

LDN6

**6" OPEN and WALLWASH LED
Non-IC
New Construction Downlight**



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR LSS MVOLT EZ10

LDN6 Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27/ 2700K	05 500 lumens 25 2500 lumens	L06 Downlight AR Clear	LSS Semi-specular	MVOLT Multi-volt
	30/ 3000K	10 1000 lumens 30 3000 lumens	LW6 Wallwash WR ² White	LD Matte diffuse	120 120V
	35/ 3500K	15 1500 lumens 40 4000 lumens	BR ³ Black	LS Specular	277 277V
	40/ 4000K	20 2000 lumens 50 5000 lumens			347 ³ 347V

Driver	Options
EZ10 eldoLED 10% 0-10V	SF ⁴ Single fuse
EZ1 eldoLED 1% 0-10V	TRW ⁵ White painted flange
	TRBL ⁵ Black painted flange
	ELR ⁴ Battery pack (remote)
	EL ⁴ Battery pack
	NPS80EZ ⁴ nLight® dimming pack controls 0-10V eldoLED drivers.
	NPS80EZER ⁴ nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
	HAO High ambient option
	CP Chicago Plenum
	WL Wet location
	RRL RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC125.

Accessories: Order as separate catalog number.	
EACISSM 375	Compact interruptible emergency AC power system
EACISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter ¹
SCA6	Sloped ceiling adapter. Refer to TECH-SCA for more options.

Notes

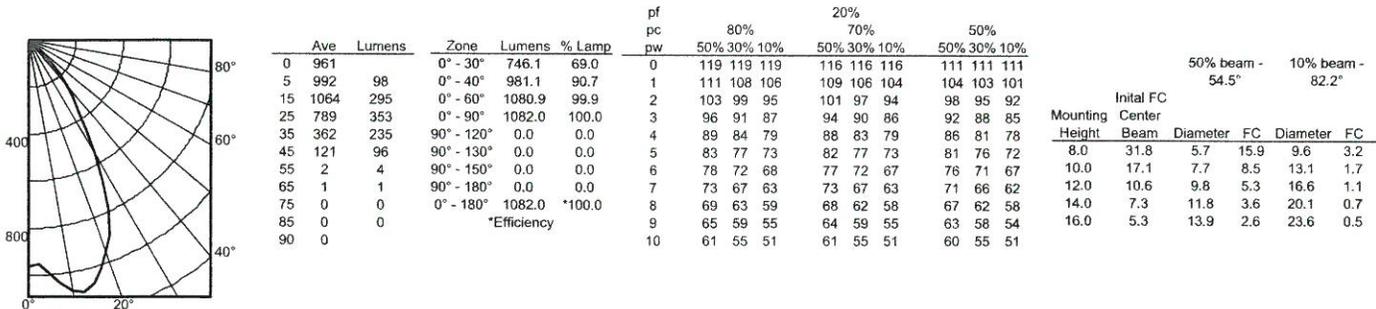
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.

"C1 & C2"

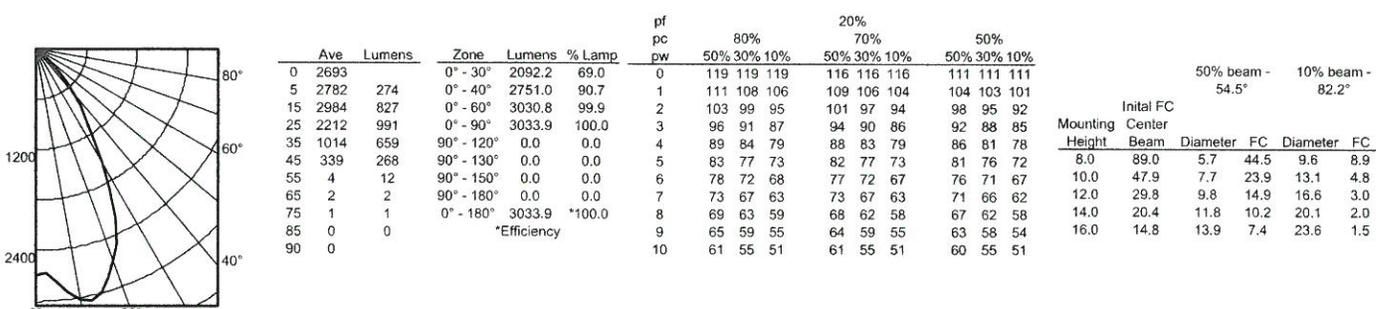
PHOTOMETRY

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for a Single Luminaire
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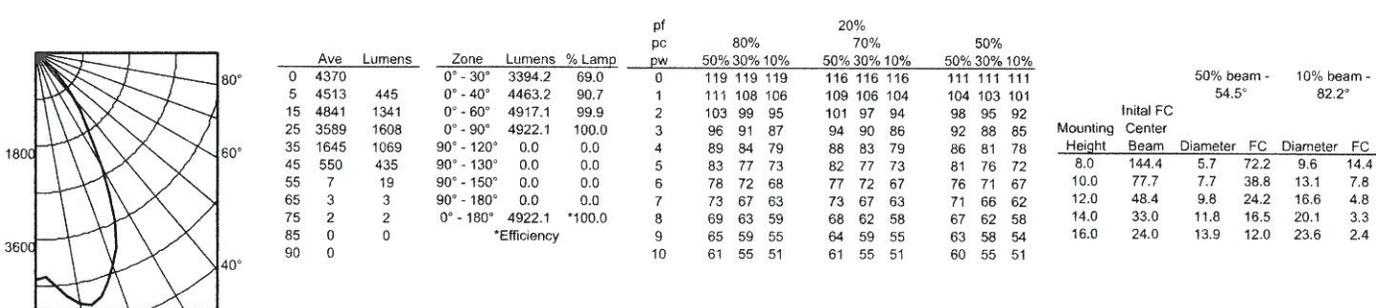
LDN6 35/10 L06AR, input watts: 12.75, delivered lumens: 1082, LM/W = 84.86, spacing criterion at 0= 1.02, test no. ISF 30716P31.



LDN6 35/30 L06AR, input watts: 34.69, delivered lumens: 3033.9, LM/W = 87.45, spacing criterion at 0= 1.02, test no. ISF 30716P22.



LDN6 35/50 L06AR, input watts: 55.56, delivered lumens: 4922.1, LM/W = 88.59, spacing criterion at 0= 1.02, test no. ISF 30716P40.

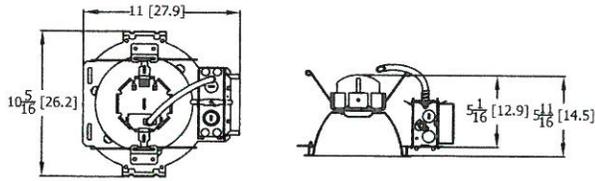


LDN6

"C1 & C2"

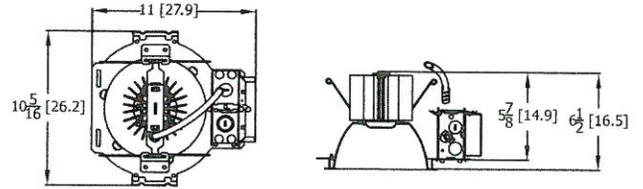
* All dimensions are inches (centimeters) unless otherwise noted.

LDN6 1500 LUMEN



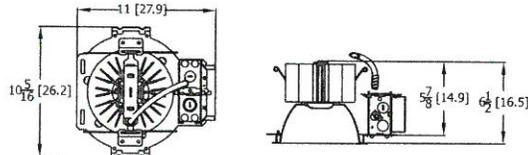
Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 3000 LUMEN



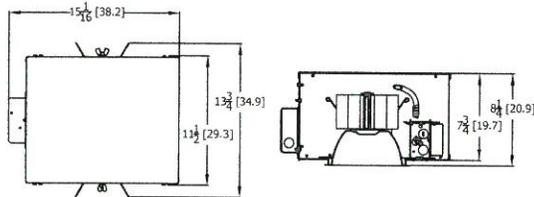
Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 5000 LUMEN



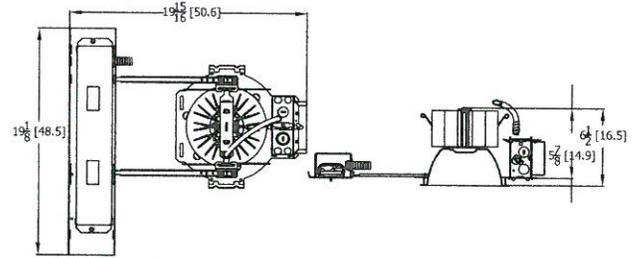
Marked Spacing: 24 x 24 x 10
 Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 CP



Marked Spacing above 3000 lumen: 24 x 24 x 10
 Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 1500 EL-ELR



Marked Spacing above 3000 lumen: 24 x 24 x 10
 Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6			
Target Lumen	Lumens @ 3500K	Wattage	LPW
500	662.2	7.6	87.1
1000	1082.0	12.8	84.5
1500	1606.0	20.5	78.3
2000	2023.0	22.6	89.5
2500	2529.5	27.1	93.3
3000	3034.0	34.7	87.4
4000	3977.5	44.1	90.2
5000	4922.2	55.5	88.7

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

"C1 & C2"

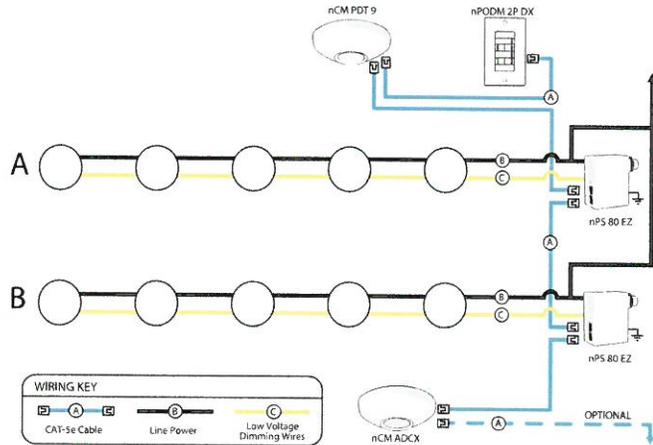
ADDITIONAL DATA

COMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DDTV	
	Diva® DVSVCTV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IllumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis 0A2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALI Net Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

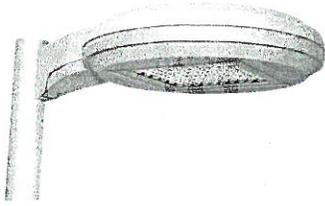
EL/ELR AVAILABILITY/COMPATIBILITY - INITIAL LUMENS			
Lumen package	Watts	Initial lumens EL/ELR	Emergency LED driver
600	12	500	PS1050
1000	18	575	PS1050
1500	26	640	PS1050
2000	35	690	PS1050

LUMEN OUTPUT MULTIPLIERS - FINISH			
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

LUMEN OUTPUT MULTIPLIERS - CCT				
	2700K	3000K	3500K	4000K
80CRI	0.950	0.966	1.000	1.025



nLight® Control Accessories:			
Order as separate catalog number. Visit www.sensorswitch.com/nLight for complete listing of nLight controls.			
WallPod stations	Model number	Occupancy sensors	Model number
On/Off	nPODM [color]	Small motion 360°, ceiling (PIR / dual tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPODM DX [color]	Large motion 360°, ceiling (PIR / dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX [color]	Wide view (PIR / dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model number	Wall Switch w/ Raise/Lower (PIR / dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model number
		10', CAT5 10FT	CAT5 10FT J1
		15', CAT5 15FT	CAT5 15FT J1



MR2 LED LED Area Luminaire



Catalog Number

"A"

Notes

20' POLE

Type



Specifications

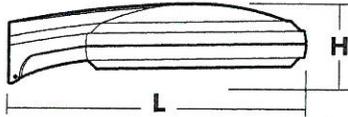
EPA: 0.9 ft²
(0.08 m²)

Length: 32-7/8"
(83.5 cm)

Width: 25"
(63.5 cm)

Height: 8-1/4"
(21.0 cm)

Weight (max): 42 lbs
(19.1 kg)



Introduction

The Omero™ family of luminaires blends a traditional round dayform with contemporary, low-profile styling to accent architectural elements in a variety of applications.

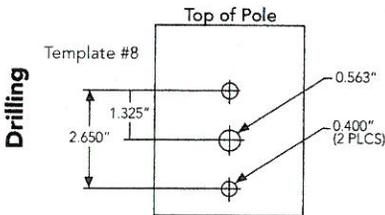
The MR2 LED combines the latest in LED technology with the designer aesthetic of the Omero™ family for stylish, high-performance illumination that lasts. The MR2 LED is ideal for replacing 250-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: MR2 LED 60C 1000 40K T5M MVOLT SPA DDBXD

MR2 LED 60C

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (required)			
MR2 LED	60C 60 LEDs	700 700 mA	40K 4000 K	T2M Type II T3M Type III T4M Type IV T5M Type V TFTM Forward throw	MVOLT ¹	Shipped included	Shipped installed	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white			
									1000 1000 mA	50K 5000 K	120 ¹
		208 ¹	RPA Round pole mounting								
									240 ¹	WBA Wall bracket	DMG 0-10V dimming driver (no controls)
		277 ¹	Shipped Separately²								
									347	SPUMBA Square pole universal mounting adaptor ³	SF Single fuse (120, 277, 347V) ⁶
		480	RPUMBA Round pole universal mounting adaptor ³								
									KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁴	DS Dual switching ^{7,8}	BL30 Bi-level switched dimming, nominal 30% ^{9,9}
		VG Vandal guard	BL50 Bi-level switched dimming, nominal 50% ^{9,9}								



Omero™ shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° **
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as a separate accessory; see Accessories information at left.
- 1.5 G vibration load rating per ANCI C136.31.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745 or email: sales@roamservices.net. N/A with BL30, BL50, or DS.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER or DCR.
- Requires an additional switched line.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories	Description
DL1127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁰
DL1347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁰
DL1480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁰
SCU	Shorting cap ¹⁰
MR2LEDHS U	House-side shield (includes 2 shields)
MR2VG U	Vandal guard accessory
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴
RPUMBA DDBXD U*	Round and square pole universal mounting bracket adaptor (specify finish)

For more control options, visit DLC and ROAM online.



11A''

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60C	700 mA	132	T2M	14,831	2	0	2	112	14,924	3	0	3	113
			T3M	15,707	2	0	3	119	15,805	3	0	3	120
			T4M	15,607	2	0	3	118	15,704	2	0	3	119
			T5M	15,776	4	0	2	120	15,874	4	0	2	120
			TFTM	15,892	2	0	3	120	15,992	2	0	3	121
	1000 mA	206	T2M	20,224	3	0	3	98	20,350	3	0	3	99
			T3M	21,418	3	0	3	104	21,552	3	0	4	105
			T4M	21,282	3	0	4	103	21,415	3	0	4	104
			T5M	21,512	5	0	3	104	21,647	5	0	3	105
			TFTM	21,671	3	0	3	105	21,807	3	0	4	106

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the MR2 LED 60C platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.82

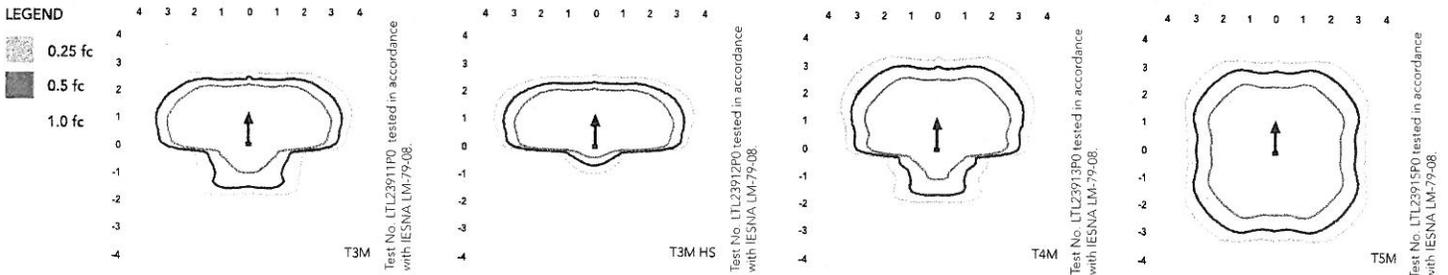
Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
60C	700	132W	1.321	0.756	0.659	0.580	0.462	0.337
	1000	206W	2.068	1.198	1.056	0.943	0.764	0.605

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's MR2 LED homepage.

Isofootcandle plots for the MR2 LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

Highly efficient and long-lasting, the MR2 LED is ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A perforated housing prevents debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants. Low EPA (0.9 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000 K (67 CRI) or optional 5000 K (67 CRI) configurations. The MR2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver

designed to provide a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 2.0 G vibration load rating per ANSI C136.31. The MR2 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. **U.S. Patent No. D556,357.**

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



MRW LED

Architectural Wall Sconce



OMERO

Inverted available with WLU option only.



Catalog Number

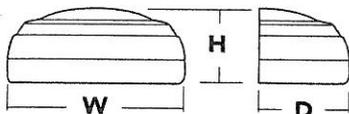
"B2 & B4"

Notes

Type

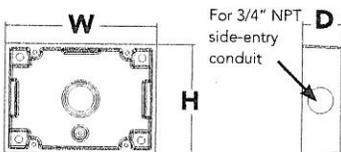
Specifications Luminaire

Height: 7-1/4" (18.4 cm)
Width: 18" (45.7 cm)
Depth: 9" (22.8 cm)
Weight: 18 lbs (8.2 kg)



Optional Back Box (BBW)

Height: 4" (10.2 cm)
Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)



Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

The MRW LED is ideal for replacing existing 50-175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information

EXAMPLE: MRW LED 2 10A700/40K SR3 MVOLT DDBTXD

MRW LED

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options ¹	Finish (required)
MRW LED	1 One engine (10 LEDs)	700 mA options: 10A700/30K 3000K 10A700/40K 4000K 10A700/50K 5000K	SR2 Type II SR3 Type III SR4 Type IV	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included (blank) Surface mount Shipped separately² BBW Surface-mounted back box UT5 Uptilt 5 degrees	Shipped installed PE Photoelectric cell, button type ^{4,5} SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ DMG 0-10V dimming driver (no controls) ELCW Emergency battery backup ⁶ WLU Wet location door for up orientation ⁷ PIR Motion/ambient light sensor ⁸ DS Dual switching ⁹ Shipped separately VG Vandal guard WG Wire guard	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Emergency Battery Operation

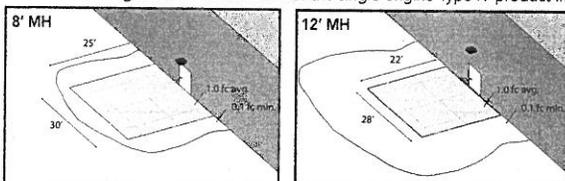
The emergency battery backup (ELCW option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All ELCW configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. Dual light engines are wired in parallel so both engines operate in emergency mode and provide additional component redundancy. These design features meet various interpretations of NFPA 70/NEC 2008 - 700.16.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.

WST LED 1 10A700/40K SR4
 MVOLT ELCW
 10' x 10' Gridlines
 8' and 12' Mounting Height



NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with photocell (PE), fusing (SF, DF), or dual switching (DS).
- May also be ordered separately as an accessory. Ex: WSBW DDBXD U. Must specify finish.
- Must be ordered with fixture; cannot be field installed.
- Not available with MVOLT option. Button photocell (PE) can be ordered with a dedicated voltage option. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Not available with 480V option. Not available with motion/ambient light sensor (PIR).
- Integral battery pack is rated for -20° to 60°C operating temperature. ELCW warranty is 3-year period. Not available with 347V or 480V. Not available with WLU.
- WLU not available with PIR or ELCW.
- Specifies the SensorSwitch SFOD-7-ODP control (photocell included); see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with WLU, VG or WG.
- Provides 50/50 luminaire operation via two independent drivers and light engines on two separate circuits. Not available with one engine, MVOLT, ELCW, WLU, SF, or DF. Must specify voltage; voltage must be the same for both drivers. When ordered with photocell (PE) or motion sensor (PIR), only the primary power source leads will be controlled.



"B2 & B4"

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Light Engines	Drive Current (mA)	Performance Package	System Watts (MIVOLT [®])	Dist. Type	40K (4000K, 70 CRI)				
					Nominal Lumens	8	0	6	LPW
1 (10 LEDs)	700	10A700/-K	24W	SR2	2,005	1	0	1	84
				SR3	2,029	1	0	1	84
				SR4	1,959	1	0	1	82
2 (20 LEDs)	700	10A700/-K	47W	SR2	3,944	1	0	1	84
				SR3	4,028	1	0	1	86
				SR4	3,851	1	0	1	82

1 See electrical load chart for 347/480V system watts.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.10
10°C	1.06
20°C	1.02
25°C	1.00
30°C	0.98
40°C	0.92

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **MRW LED 2 10A700** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.88	0.77

Electrical Load

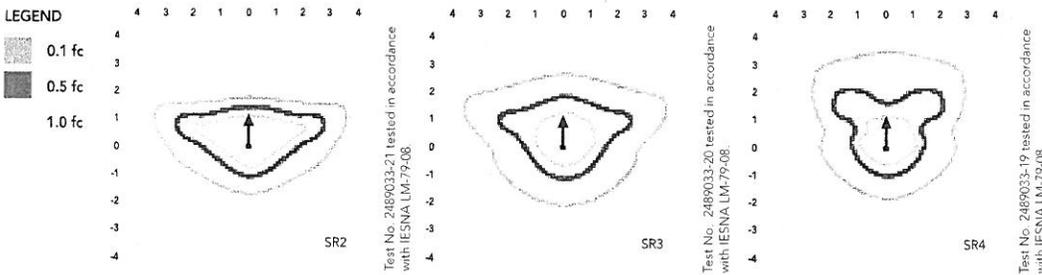
Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	700	24W	0.24	0.14	0.12	0.1	-	-
		29W ¹	-	-	-	-	0.09	0.07
2	700	47W	0.44	0.27	0.23	0.20	-	-
		53W ¹	-	-	-	-	0.17	0.12

1 Higher wattage is due to electrical losses from step-down transformer.

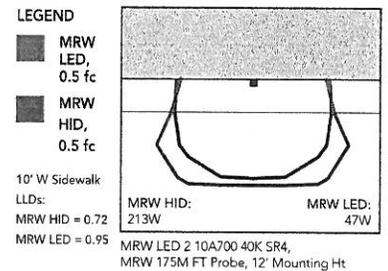
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's MRW LED homepage.

Isofootcandle plots for the MRW LED 2 10A700/40K SR2, SR3, and SR4. Distances are in units of mounting height (12').



Distribution overlay comparison to 175W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the MRW LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses are engineered for superior distribution, uniformity, and spacing in wall-mount applications. Light engines are 4000K (70 CRI). The MRW LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 25°C, L77). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated and suitable for wet locations when mounted with the lenses down. WLU option offers wet location listing in "up" orientation. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Catalog Number	"C1 & C2"
Notes	
Type	

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) eldoLED 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional).

WARRANTY — 5-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

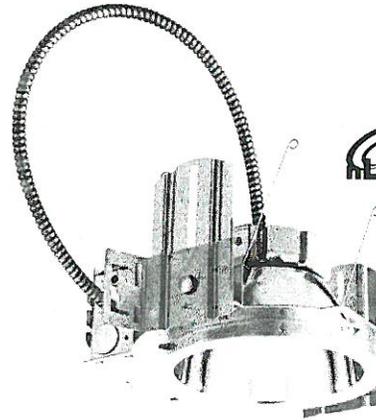
Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25°C.

Specifications subject to change without notice.

LDN6

6" OPEN and WALLWASH LED
 Non-IC
 New Construction Downlight



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR LSS MVOLT EZ10

LDN6		Color temperature		Lumens ¹		Aperture/Trim Color		Finish		Voltage					
Series	LDN6 6" round	27/	2700K	05	500 lumens	25	2500 lumens	L06	Downlight	AR	Clear	LSS	Semi-specular	MVOLT	Multi-volt
		30/	3000K	10	1000 lumens	30	3000 lumens	LW6	Wallwash	WR ²	White	LD	Matte diffuse	120	120V
		35/	3500K	15	1500 lumens	40	4000 lumens			BR ²	Black	LS	Specular	277	277V
		40/	4000K	20	2000 lumens	50	5000 lumens							347 ³	347V

Driver	Options		Options	
EZ10 eldoLED 10% 0-10V	SF ⁴	Single fuse	NPS80EZER ⁴	nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
EZ1 eldoLED 1% 0-10V	TRW ⁵	White painted flange	HAO	High ambient option
	TRBL ⁵	Black painted flange	CP	Chicago Plenum
	ELR ⁴	Batterypack (remote)	WL	Wet location
	EL ⁴	Batterypack	RRL	RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLCT2S.
	NPS80EZ ⁴	nLight® dimming pack controls 0-10V eldoLED drivers.		

Accessories: Order as separate catalog number.

EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter ¹
SCA6	Sloped ceiling adapter. Refer to TECH-SCA for more options.

Notes

- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.

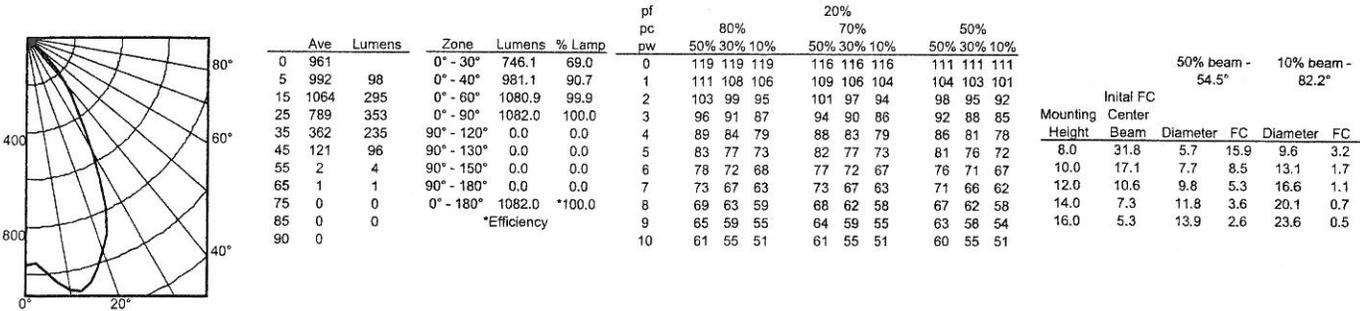
LDN6

"C1 & C2"

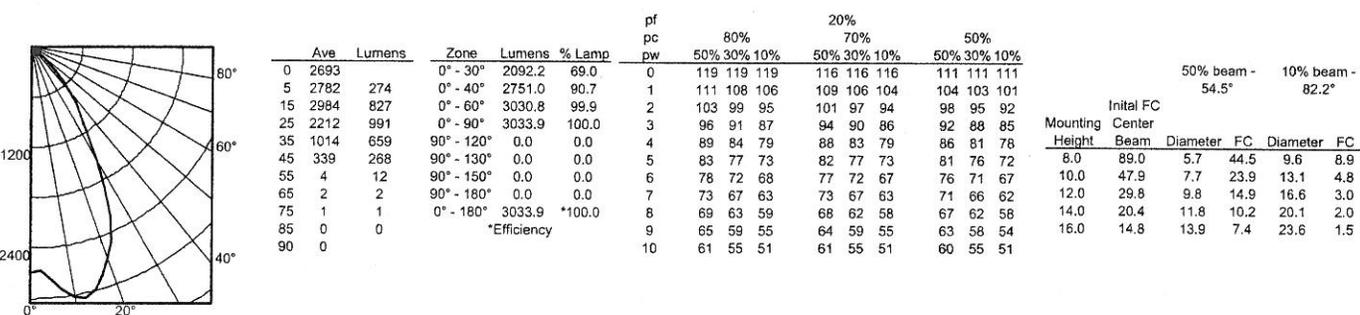
PHOTOMETRY

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for a Single Luminaire
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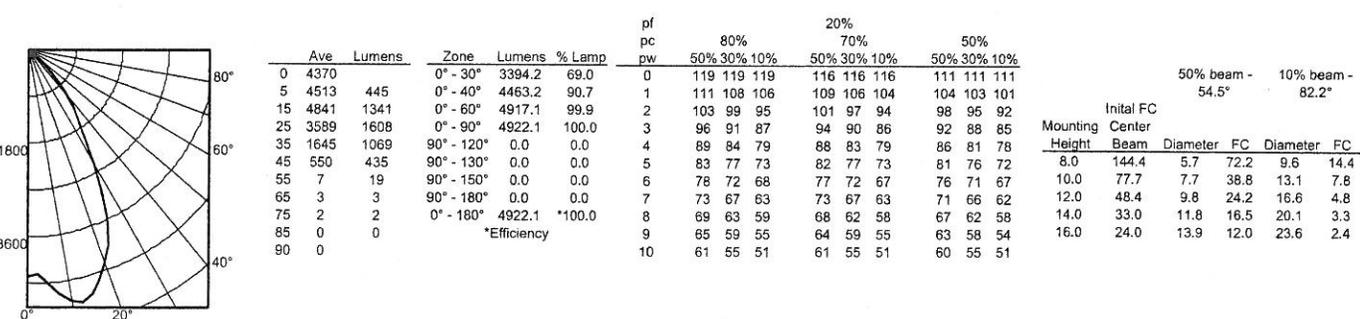
LDN6 35/10 L06AR, input watts: 12.75, delivered lumens: 1082, LM/W = 84.86, spacing criterion at 0= 1.02, test no. ISF 30716P31.



LDN6 35/30 L06AR, input watts: 34.69, delivered lumens: 3033.9, LM/W = 87.45, spacing criterion at 0= 1.02, test no. ISF 30716P22.



LDN6 35/50 L06AR, input watts: 55.56, delivered lumens: 4922.1, LM/W = 88.59, spacing criterion at 0= 1.02, test no. ISF 30716P40.

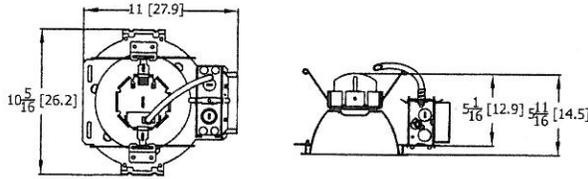


LDN6

"C1 & C2"

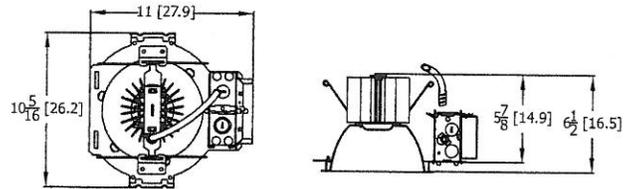
* All dimensions are inches (centimeters) unless otherwise noted.

LDN6 1500 LUMEN



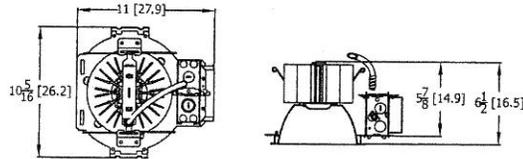
Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 3000 LUMEN



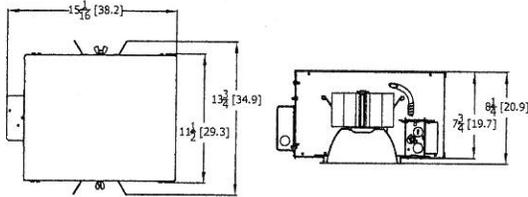
Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 5000 LUMEN



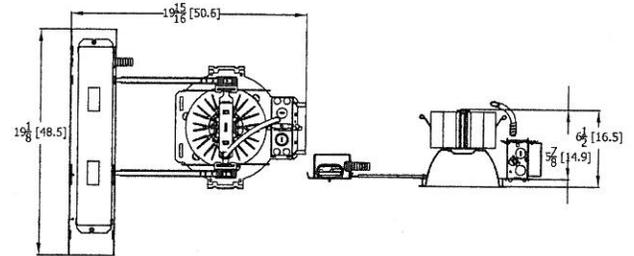
Marked Spacing: 24 x 24 x 10
 Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 CP



Marked Spacing above 3000 lumen: 24 x 24 x 10
 Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6 1500 EL-ELR



Marked Spacing above 3000 lumen: 24 x 24 x 10
 Aperture: 6-1/4 (15.9)
 Ceiling Opening: 7-1/8 (18.1)
 Overlap trim: 7-1/2 (19.1)

LDN6			
Target Lumen	Lumens @ 3500K	Wattage	LPW
500	662.2	7.6	87.1
1000	1082.0	12.8	84.5
1500	1606.0	20.5	78.3
2000	2023.0	22.6	89.5
2500	2529.5	27.1	93.3
3000	3034.0	34.7	87.4
4000	3977.5	44.1	90.2
5000	4922.2	55.5	88.7

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.



LDN6

"C1 & C2"

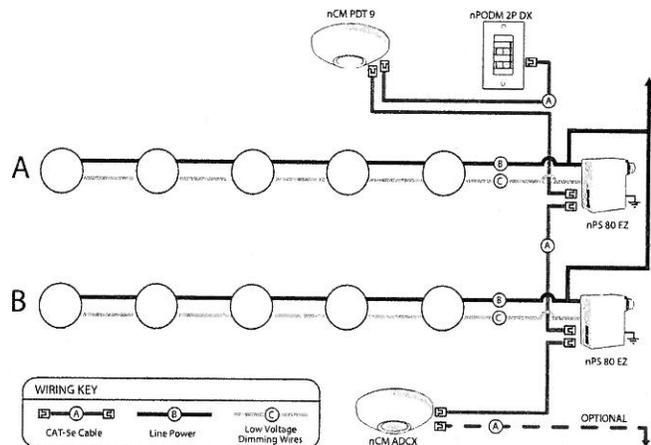
ADDITIONAL DATA

COMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Dival® DDTV	
	Dival® DVSC TV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IlumaTech® IP7 Series	
Synergy®	ISD BC	
	SLD LPCS	RDMFC
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis OA2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALI net Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

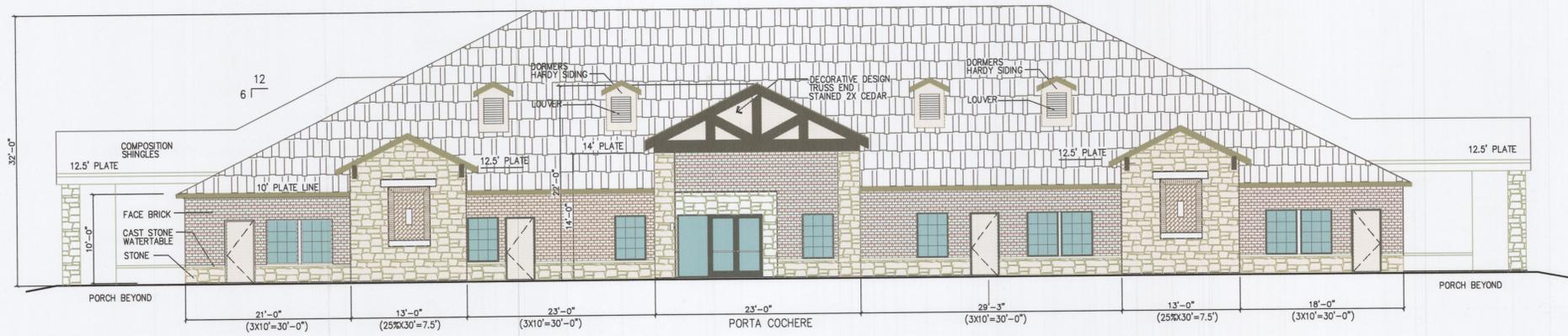
EL/ELR AVAILABILITY/COMPATIBILITY - INITIAL LUMENS			
Lumen package	Watts	Initial lumens EL/ELR	Emergency LED driver
600	12	500	PS1050
1000	18	575	PS1050
1500	26	640	PS1050
2000	35	690	PS1050

LUMEN OUTPUT MULTIPLIERS - FINISH			
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

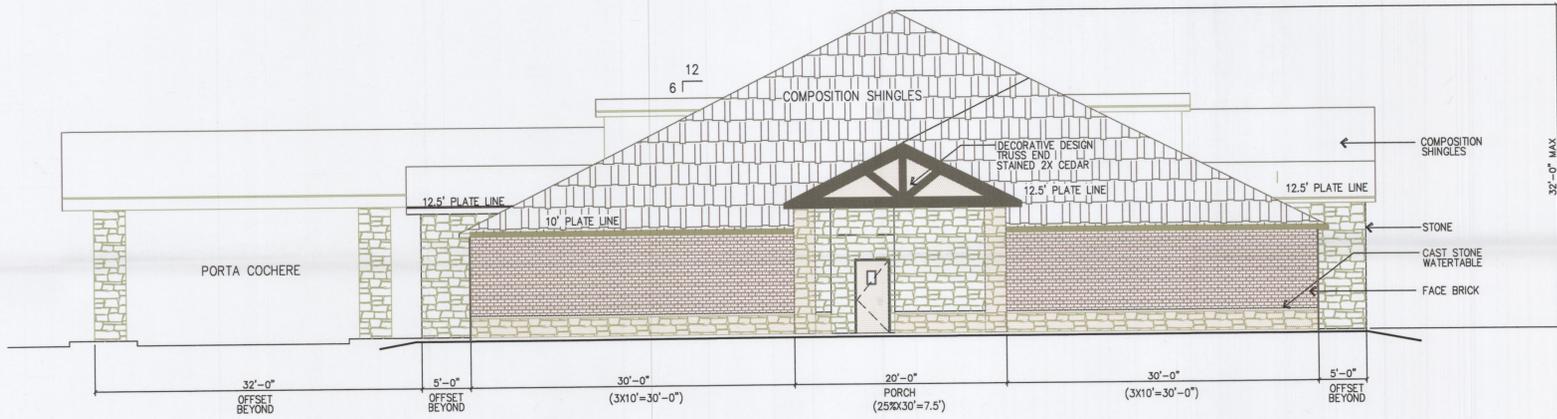
LUMEN OUTPUT MULTIPLIERS - CCT				
	2700K	3000K	3500K	4000K
80CRI	0.950	0.966	1.000	1.025



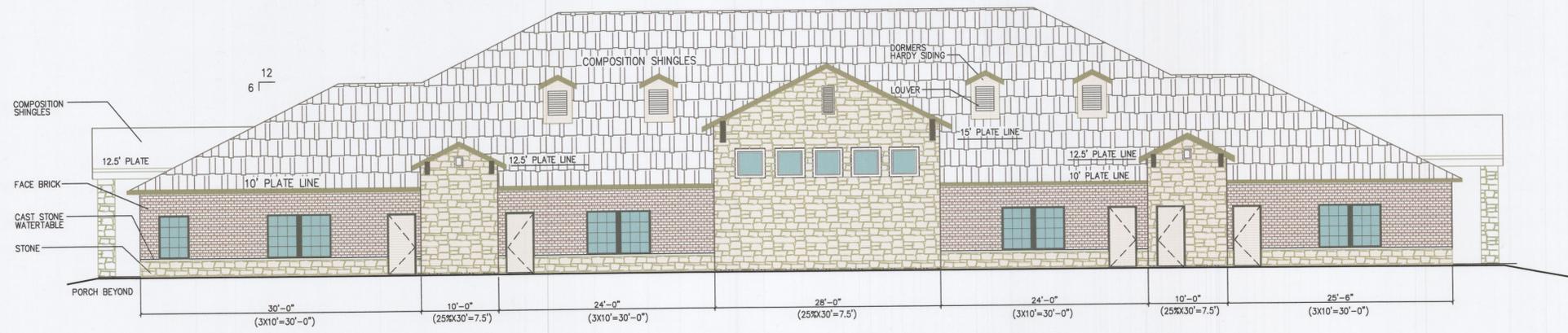
nLight® Control Accessories:			
Order as separate catalog number. Visit www.sensorswitch.com/nLight for complete listing of nLight controls.			
WallPod stations	Model number	Occupancy sensors	Model number
On/Off	nPDM [color]	Small motion 360°, ceiling (PIR / dual tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPDM DX [color]	Large motion 360°, ceiling (PIR / dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX [color]	Wide view (PIR / dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model number	Wall Switch w/ Raise/Lower (PIR / dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model number
		10', CAT5 10FT	CATS 10FT J1
		15', CAT5 15FT	CATS 15FT J1



1 WEST ELEVATION (STONECREEK DRIVE)
SCALE 1/8" = 1'-0"

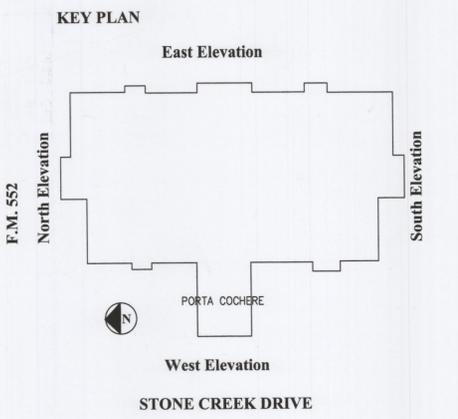


2 NORTH AND SOUTH ELEVATIONS
SCALE 1/8" = 1'-0"



3 EAST ELEVATION
SCALE 1/8" = 1'-0"

- 6.1 Building Elevations: Non Industrial**
- 6.1.1 Exterior Elevations Provided (All)
- 6.1.2 Indicated Exterior Elevations adjacent to Public Right-of-Way.
Front Elevation (West) faces Stone Creek
Side Elevation (North) faces S. H. 552
- 6.1.3 90% Masonry Requirement (Building less than 25,000 sf)
All Elevations are 100% masonry
- 6.1.4 Indicate the surface area on each facade.
- | Front Elevation (West) Stone Creek | | |
|------------------------------------|-------------------|------------|
| Brick Area | 1,712 s.f. | 66% |
| Cast Stone Area | 46 s.f. | 2% |
| Stone Area | 675 s.f. | 26% |
| Total | 2,433 s.f. | 94% |
| Hardy Dormers (3x14 s.f.) | 42 s.f. | 1.6% |
| Decorative Truss(Hardy/Cedar) | 109 s.f. | 4.4% |
| Total | 2,584 s.f. | |
-
- | Side Elevations (North & South) S.H. 522 | | |
|--|-----------------|------------|
| Brick Area | 497 s.f. | 57% |
| Cast Stone Area | 40 s.f. | 5% |
| Stone Area | 263 s.f. | 27% |
| Total | 800 s.f. | 93% |
| Hardy Dormers (1x8 s.f.) | 8 s.f. | .9% |
| Decorative Truss(Hardy/Cedar) | 62 s.f. | 6.1% |
| Total | 870 s.f. | |
- 6.1.5 Indicate all roof mounted equipment. (NONE)
- 6.1.6 Indicate any additional design elements proposed.
- Covered Porches on North and South Elevations. Decorative Truss Element with Stone Columns.
 - Proto Cochere Element at Front (West Elevation) Decorative Truss Element with Stone Columns.
- 6.1.7 Indicate Building Height
- Building Height 32'-0" at Ridge.
 - Porta Cochere 22'-0" at Ridge
- 6.1.8 Minimum Standard for Articulation
- Horizontal Articulation of Facades
Building Height 10' x 3 = 30'-0" max. w/o offset.
New plane 30' x .25 = 7.5' min.
Shown on Exterior Elevations
 - Vertical Articulation of Facades
Min. wall vertical offset 10' x .25 = 30"
Shown on Exterior Elevations



CASE NUMBER (SP2016-021)
REVISED 09-26-16

EXTERIOR ELEVATIONS	
WOODBRIDGE MONTESSORI ACADEMY OF ROCKWALL	
STONE CREEK DR. Lot , Block , 2.29 Acres City of Rockwall, Rockwall County, Texas	
developer VINOD SHARMA 436 Quail Creek Drive, Murphy Texas 75094 510 364-3007	
prepared by SMV, INC. 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761	
PROJECT NO.: 2016-12	date: 9/9/16
scale: 1/8" = 1'-0"	sheet: A101

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 10/11/2016

APPLICANT: Dub Douphrate of Douphrate & Associates, Inc

AGENDA ITEM: SP2016-022; Houser Addition – Amend Site Plan

SUMMARY:

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

PURPOSE:

The applicant is requesting approval of a site plan for the purpose of expanding an existing heavy commercial operation by constructing two (2) additional buildings. An amendment to the site plan is required due to the two (2) proposed buildings' total area exceeding 50% of the size of the existing buildings area (*when originally site planned in 1984*). Each new facility will be built emulating an existing structure in terms of appearance and materials; however, the proposed two new buildings will not meet certain standards established in the SH-276 Corridor Overlay (SH-276 OV) District and the Unified Development Code (UDC). This will require approval by the City Council for variances and exceptions (*as outlined in staff's report*) and has been added as a condition of approval. The property is a 6.19-acre parcel of land that is zoned Heavy Commercial (HC) District, situated within the SH-276 OV, and is addressed as 1161 SH-276.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The existing site has a total of five (5) parking spaces located adjacent to the existing office building; however, based on the total square footage of the additional two (2) buildings, an additional 25 parking spaces are required. The applicant's proposed site plan indicates the addition of 16 parking spaces and is requesting a variance to allow for less than the required 25 spaces. This is due to the sites building #2 being used as a laboratory rather than a traditional office use. This variance request has also been included as a condition of approval.

Aside from the exceptions and variances requested for the tow (2) building's exterior facades, the variance to the parking standards, and the conditions listed in the *Recommendations* section of this report, the submitted site plan and building elevations are in substantial compliance with the technical requirements contained within the SH-276 OV and the Unified Development Code (UDC).

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>12,500 sq. ft.</i>	<i>6.19-Acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>100-Feet</i>	<i>x=80-Feet; Lot of Record</i>
<i>Minimum Lot Depth</i>	<i>125-Feet</i>	<i>x>679-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>x>25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>0-Feet</i>	<i>x>130-Feet; In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Side Yard Setback</i>	<i>0-Feet¹</i>	<i>x=25-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP²</i>	<i>20-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>x<60%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x> 90% ; Bldg #1 In Conformance x<90%; Bldg #2 Metal Wall Panel – N. Elevation Exception Request</i>
<i>Floor Area Ratio</i>	<i>4:1</i>	<i>x<4:1; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>25 new</i>	<i>16 Provided; Variance Request</i>
<i>Minimum Stone Requirement (SH276 OV)</i>	<i>20% ea facade</i>	<i>Bldg #1 Stone-South Elev. Only Bldg #2=100% Split Face CMU; Variance Request</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>Existing Site; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85 to 90%</i>	<i><85%; In Conformance</i>

NOTES: 1. With fire retardant wall: zero feet plus one-half of the building height over 36 feet.

2. Maximum building height: 240 feet. Any structure over 60 feet shall require a specific use permit.

EXCEPTION AND VARIANCE REQUESTS:

The applicant is requesting exceptions and variances to the SH-276 Corridor (SH-276 OV) District and the Unified Development Code (UDC) for the sections as outlined below. As a note, a variance request to the SH-276 OV requires approval by a ¾ majority vote of City Council whereas an exception request to the UDC requires passage by a simple majority vote.

The requests are as follows:

1. Art V, Sec. 6.14.C.1.a of the SH 276 OV (*and the UDC*) requires each exterior wall to consist of 90% masonry materials...including a minimum of 20 percent natural or quarried stone on walls visible from a public street or open space. Building #2's north elevation is metal wall panel with split face CMU on the remainder of the building. Stone is not present on the north, east, and west elevations of building #1, and with no stone present on building #2.
2. Art V, Sec. 6.14.C.4 of the SH 276 OV requires all buildings to be designed to incorporate no less than four architectural elements to be present. Both buildings do not meet this requirement.
3. Art V, Sec. 6.14.C.5 of the SH 276 OV requires that all buildings be architecturally finished on all four sides with the same materials, details, and features. Both buildings do not meet this standard. (*Sec. 6.14.C.1.a requires natural or quarried stone unless approved by the Planning and Zoning Commission for the use of high quality manufactured or cultured stone meeting the standards as outlined in the ordinance for building #1*).
4. Art. V, Sec. 4.1. of the UDC – An exception to allow for not meeting the horizontal articulation standards of both buildings' east and west elevations.
5. Article VI, Parking and Loading, Sec. 2.3. of the UDC- Expansion of an existing use - If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. Based on the two (2) proposed office buildings area requires a minimum of 25 parking spaces to be added based on a ratio of 1 parking space per 300 sq. ft. for a general office use. The exception would allow for the addition of 16 new spaces as depicted on the site plan.

A request for the exceptions and variances as outlined above are considered discretionary decisions for the City Council.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On September 27, 2016, the Architectural Review Board (*ARB*) reviewed the proposed two (2) building elevations for the site. General discussion concerning the agenda item took place between the Board Members and city staff regarding the location and visibility for the site along SH-276 and the multi-family apartment complex to the east. The ARB recommended the applicant plant trees along the southern and eastern property boundary in order to screen the use from the surrounding properties.

The ARB made a motion to recommend approval of the elevations for both buildings with staff conditions. The motion also included the planting of trees along the southern and eastern property lines for screening purposes. The motion passed by a vote of 6 to 0 with Board Member Strohmeyer absent.

RECOMMENDATIONS:

The site plan submitted by the applicant meets all the technical criteria stipulated by the SH-276 OV and the Unified Development Code (*UDC*) with the exception of the variances and exceptions requested as outlined in this report. Should the Planning and Zoning Commission and the City Council choose to approve the applicant's request, then the following conditions of approval should be adopted with this case:

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- 2) Approval of the exceptions requested by the City Council as outlined in this report.
- 3) Approval of the variances requested by the City Council as outlined in this report.
- 4) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

10/5/2016

City of Rockwall Project Plan Review History



Project Number SP2016-022
Project Name Houser Addition
Type SITE PLAN
Subtype AMENDING
Status P&Z HEARING

Owner COLIN-G, PROPERTIES LTD
Applicant WL DOUPHRATE II

Applied 9/16/2016 LM
Approved
Closed
Expired
Status 10/5/2016 DG

Please Address Revised
Comments - Highlighted

Site Address 1611 HWY276
City, State Zip ROCKWALL, TX 75032

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
HOUSER ADDN	1	A	1	4007-000A-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
ENGINEERING (10/3/2016 8:46 AM AW) All parking spaces are 20'x9'	Amy Williams	10/3/2016	10/10/2016	10/5/2016	2	APPROVED	See Condition
ENGINEERING (9/21/2016 8:05 AM AW) Show all parking to be 20'x9'	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comment
FIRE	Ariana Hargrove	10/3/2016	10/10/2016	10/3/2016		APPROVED	revised plans
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	David Gonzales	10/5/2016	10/12/2016	10/5/2016		COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 10.05.2016						
The following staff comments for the revised plans are to be addressed and resubmitted no later than Tuesday, October 25, 2016. Please provide two large copies [24" X 36" FOLDED] and one PDF version for a final/subsequent review by staff:						
Planning Department General Comments to be addressed:						
1. Adherence to Engineering and Fire Department standards shall be required.						
2. Indicate where the A/C units are located on the site plan/building elevations? Must be screened from public rights-of-way and adjacent properties; provide screening detail.						
VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:						
* 1. Art V, Sec. 6.14.C.1.a of the SH 276 OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,..., including a minimum of 20 percent natural or quarried stone on walls visible from a public street or open space. Stone is not present on the north, east, and west elevations of bldg #1 and is not present on bldg #2.						
* 2. Art V, Sec. 6.14.C.4 of the SH 276 OV requires all buildings to be designed to incorporate no less than four architectural elements (from the list provided in the ordinance) to be present on both buildings.						
* 3. Art V, Sec. 6.14.C.5 of the SH 276 OV requires that all buildings be architecturally finished on all four sides with the same materials, details, and features (both buildings). (Sec. 6.14.C.1.a requires natural or quarried stone unless approved by the Planning and Zoning Commission for the use of high quality manufactured or cultured stone meeting the standards as outlined in the ordinance (bldg #1)).						
* Approval of the variances to the SH 276 OV requires passage by a 3/4 majority vote of City Council.						
** 4. UDC, Article VI Parking and Loading, Sec. 2.3. - Expansion of an existing use - If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. The proposed (office bldgs) structure requires a minimum of 25 spaces (1:300).						
**5. Art. V, Sec. 4.1. of the UDC - Exception to the horizontal articulation standards - both buildings' east and west elevations do not meet the minimum requirement: establish for the General Industrial District Standards regarding articulation. Requires a simple majority vote of council for approval.						
** Approval of the variance and exceptions to the UDC for parking and the horizontal and vertical articulation standards requires passage by a simple majority vote of City Council.						
Please address the following Planning Comments for each plan submitted:						
Site Plan:						
1. Variance to the parking standards to allow for not meeting the required number of parking spaces. Providing 16 new parking spaces; the new facilities require a minimum of 25 parking spaces or 9 less spaces. This requires approval by the City Council as noted above.						
2. ARB recommendation for a row of trees along the front property line and the eastern property line for screening purposes. Provide detail on site plan.						
Building Elevations:						
1. Approval of the variances & exceptions as submitted is required by the City Council as indicated above.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend:</p> <p>1. Planning - Action: October 11, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]</p> <p>2. City Council - Action: October 17, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUESTS ONLY]</p>							
PLANNING	David Gonzales	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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PLANNING COMMENTS - DAVID GONZALES - 09.22.2016

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Label revised site plan documents with "Case No. SP2016-022" at the lower right corner of each plan.
3. Provide a materials sample board for ARB review.
4. Where are the A/C units located? Locate units on site plan/roof top and provide screening detail. Must be screened from public rights-of-way and adjacent properties.

VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

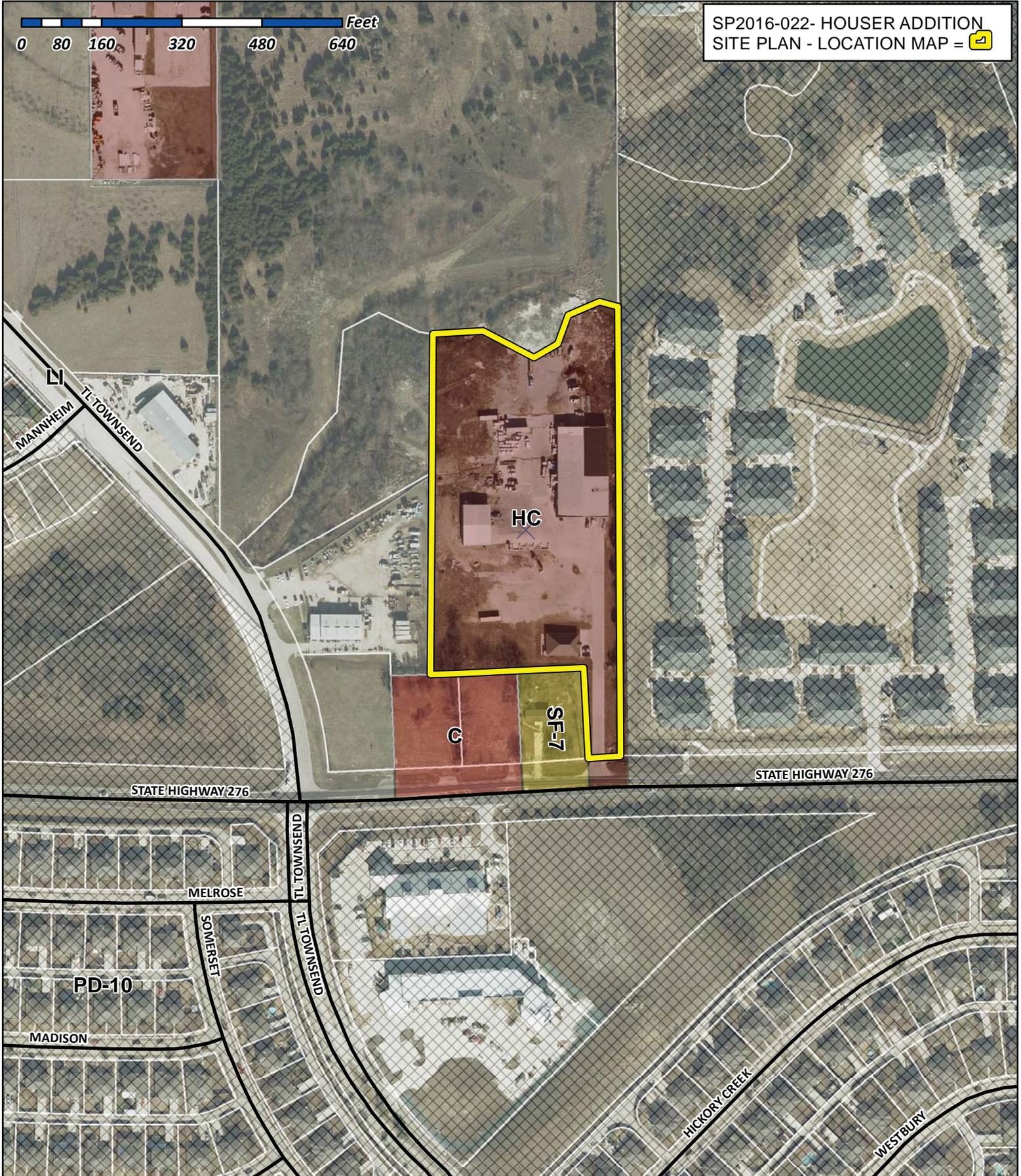
- * 1. Art V, Sec. 6.14.C.1.a of the SH 276 OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,...., and shall be limited to 50% cementaceous (stucco) materials. All elevations for bldg #2 exceeds 50% stucco.
- * 2. Art V, Sec. 6.14.C.2 of the SH 276 OV requires structures having a footprint of 6,000 sq. ft. or less be constructed with a pitched roof system. Bldg #2 (4,950 sq. ft.) has a flat roof system.
- * 3. Art V, Sec. 6.14.C.4 of the SH 276 OV requires all buildings to be designed to incorporate no less than four architectural elements (from the list provided in the ordinance) to be present on both buildings.
- * 4. Art V, Sec. 6.14.C.5 of the SH 276 OV requires that all buildings be architecturally finished on all four sides with the same materials, details, and features to be present on both buildings. (Sec. 6.14.C.1.a requires natural or quarried stone unless approved by the Planning and Zoning Commission for the use of high quality manufactured or cultured stone meeting the standards as outlined in the ordinance (both bldgs).
- * Approval of the variances to the SH 276 OV requires passage by a 3/4 majority vote of City Council.
- ** 5. UDC, Article VI Parking and Loading, Sec. 2.3. - Expansion of an existing use - If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. The proposed (office bldgs) structure requires a minimum of 25 spaces (1:300).
- **6. Art. V, Sec. 4.1. of the UDC - Exception to the Horizontal (both buildings) & Vertical Articulation (bldg #2) Standards - the buildings elevation (all four sides of both bldgs) as submitted is not meeting the minimum requirements establish for the General Commercial District Standards. Requires a simple majority vote of council for approval.
- ** Approval of the variance and exceptions to the UDC for parking and the horizontal and vertical articulation standards requires passage by a simple majority vote of City Council.

Please address the following Planning Comments for each plan submitted:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Site Plan:						
<ol style="list-style-type: none"> 1. Provide labels for each "Existing Building" and "Sq. Ft." 2. Provide label for '24-ft Firelane and Public Access Easement' where applicable. 3. Variance to the parking standards to allow for 9 less spaces requires approval by the City Council as noted above. The applicant is providing 16 new spaces for the site. 4. Can you provide a row of trees for screening of the proposed buildings along the front property line? 						
Building Elevations:						
<ol style="list-style-type: none"> 1. Provide calculation for all exterior materials for both bldgs. 2. Approval of the variances& exceptions as submitted is required by the City Council as indicated above. 						
<p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
Meeting Dates to Attend:						
<p>Planning - Work Session: September 27, 2016 (6:00 p.m.) [Applicant to provide presenation and discuss project]</p>						
<p>Planning - Action: October 11, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]</p>						
<p>City Council - Action: October 17, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUESTS ONLY]</p>						

0 80 160 320 480 640 Feet

SP2016-022- HOUSER ADDITION
SITE PLAN - LOCATION MAP = 

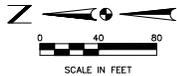


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

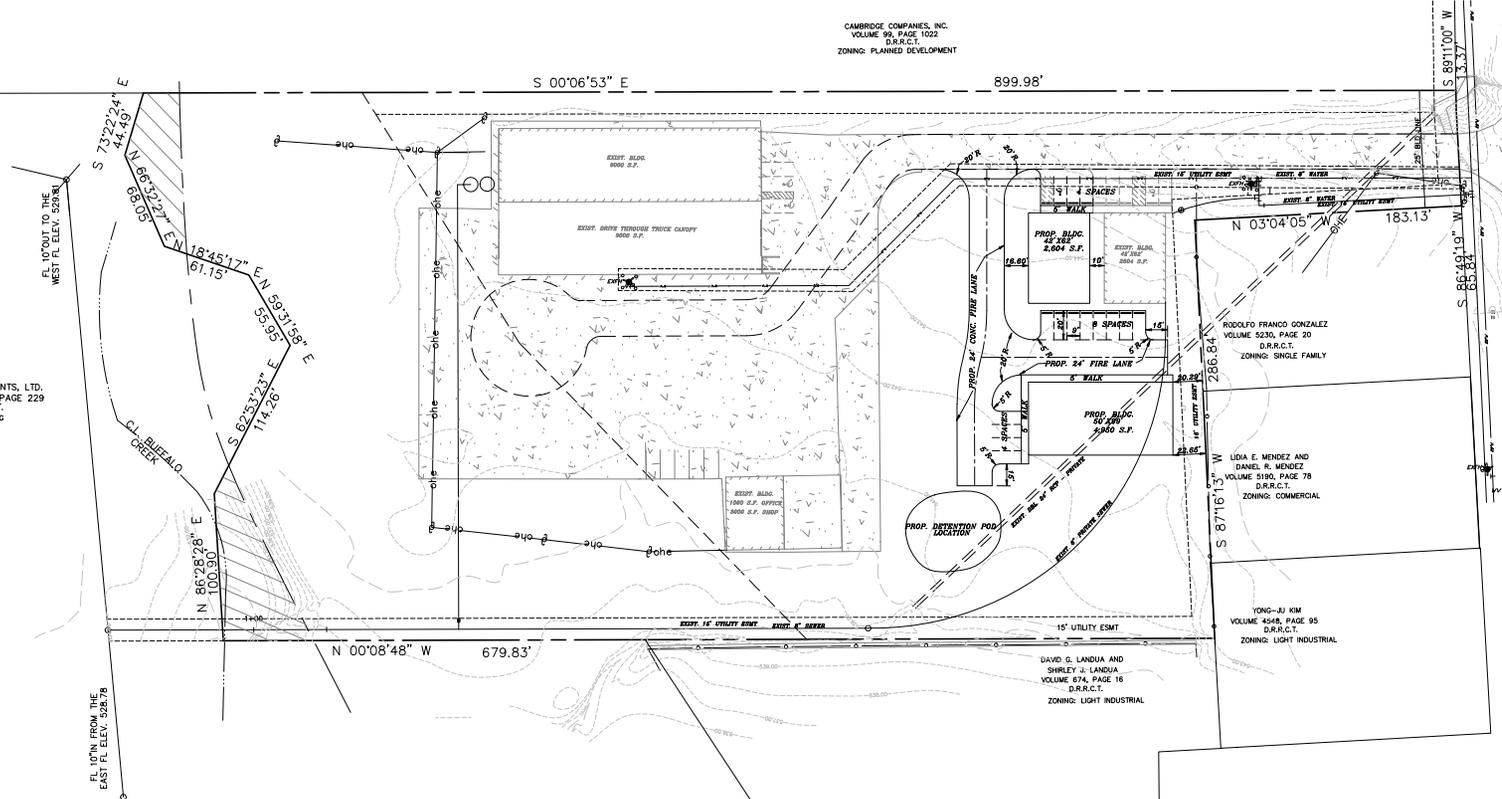
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



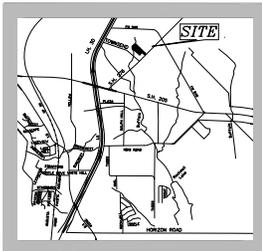


1860 INVESTMENTS, LTD.
VOLUME 4643, PAGE 229
D.R.R.C.T.
ZONING: AG

CAMBRIDGE COMPANIES, INC.
VOLUME 90, PAGE 1022
D.R.R.C.T.
ZONING: PLANNED DEVELOPMENT



S.H. 276



VICINITY MAP

NOTE:
MARK FIRELANE TO CITY SPECIFICATIONS. "NO
PARKING FIRELANE" EVERY 25' IN WHITE "A"
LETTERS ON A 4" RED STRIPED BACKGROUND
ALL DIMENSIONS AND RADI ARE TO EDGE OF PAVEMENT

LEGEND

- FIRELANE STRIPPING
- 10"W EXISTING WATER LINE
- PROPOSED WATER LINE
- 10"SS EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER LINE

SITE DATA SUMMARY

ZONING	HEAVY COMMERCIAL
PROPOSED USE	OFFICE BUILDING
LOT AREA	6,189.8 ACRES
EX. BUILDING SQUARE FOOTAGE	24,554 SF
PROP. BUILDING SQUARE FOOTAGE	7,554 SF
BUILDING FOOTPRINT	
BUILDING HEIGHT	15'-6"
LOT COVERAGE	78.5%
FAR	4:1
PARKING REQUIRED	15
HANDICAP PARKING REQ'D	1
PARKING PROVIDED	15
HANDICAP PARKING PROVIDED	1
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	106,702 SF

CASE NO. SP2016-022

OWNER/DEVELOPER

GERALD HOUSER
1108 ASPEN COURT
ROCKWALL, TEXAS 75087
(214) 558-1577

ENGINEER

DOUPHRAE & ASSOCIATES, INC.
2235 RIDGE RD., # 200
ROCKWALL, TEXAS 75087
(972) 771-9004

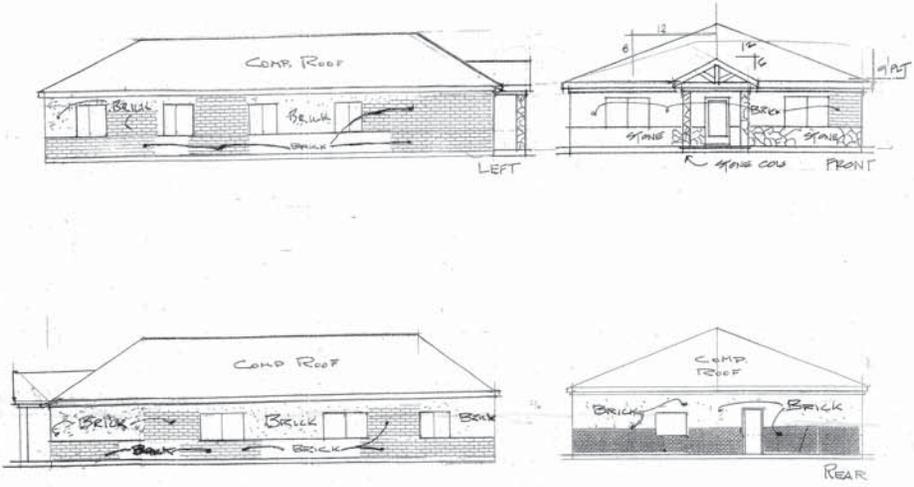


DOUGLAS M. HOUSER
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE NO. 10012
EXPIRES 09/30/2018
FIRM NO. 906

DOUPHRAE & ASSOCIATES, INC.
ENGINEERING PROJECT MANAGEMENT SERVICES
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
HOUSER ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

REVISION	
W.L.D.	
CHECKED	
Q.C.W.	
DRAWN	
10/08	
DATE	
08013	
PROJECT	
1	
0	

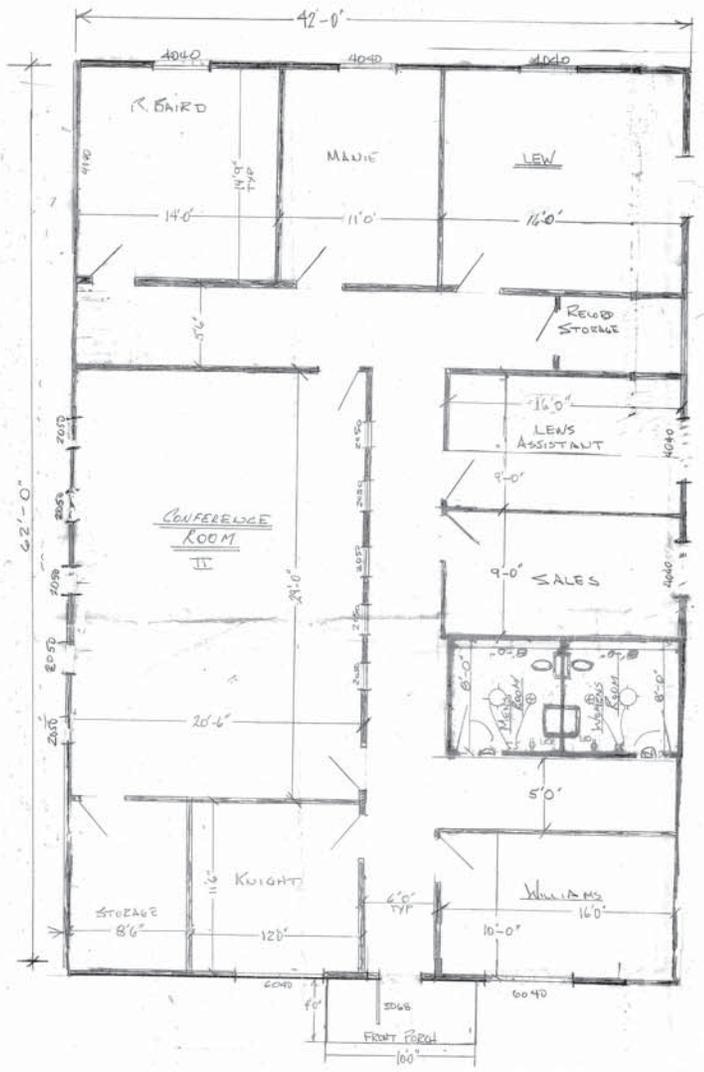


ELEVATIONS
SCALE 1/8" = 1'-0"

BUILDING DESIGN

CONSTRUCTION:
 Reinforced Concrete Slab: 3000 PSI Concrete
 Exterior Walls: Wood Framing With Insulated
 Exterior Sheathing, Masonry
 Exterior - 80% Brick / 20% Stone
 Roof System: Wood Truss with 30 YR Composition Roof
 Interior Walls: Wood Framing with Sheetrock, Tape and Bed,
 Painted Walls

OCCUPANCY: 6 EMPLOYEES
OCCUPANCY LOAD: 12 EMPLOYEES
SQUARE FOOTAGE: 2604 SF



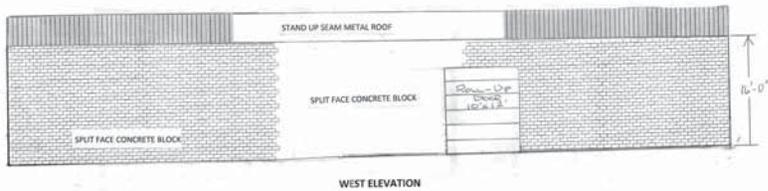
FLOOR PLAN
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION
FLOOR PLAN

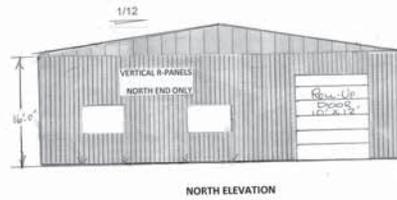


OWNER
 Gerald Houser
 Colin-G Properties LTD.
 P.O. Box 847
 Rockwall, TX 75087

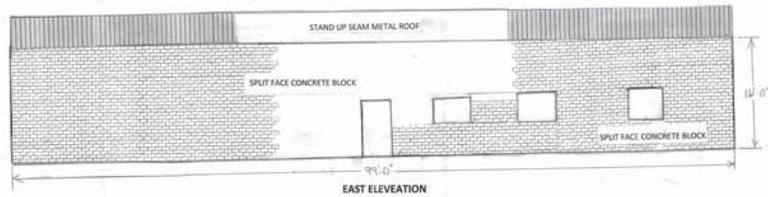
PROJECT
 CHRYSO Office Building
 1611 HWY 27E
 Rockwall, TX 75032



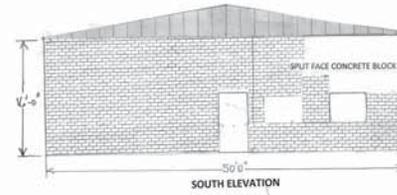
WEST ELEVATION



NORTH ELEVATION

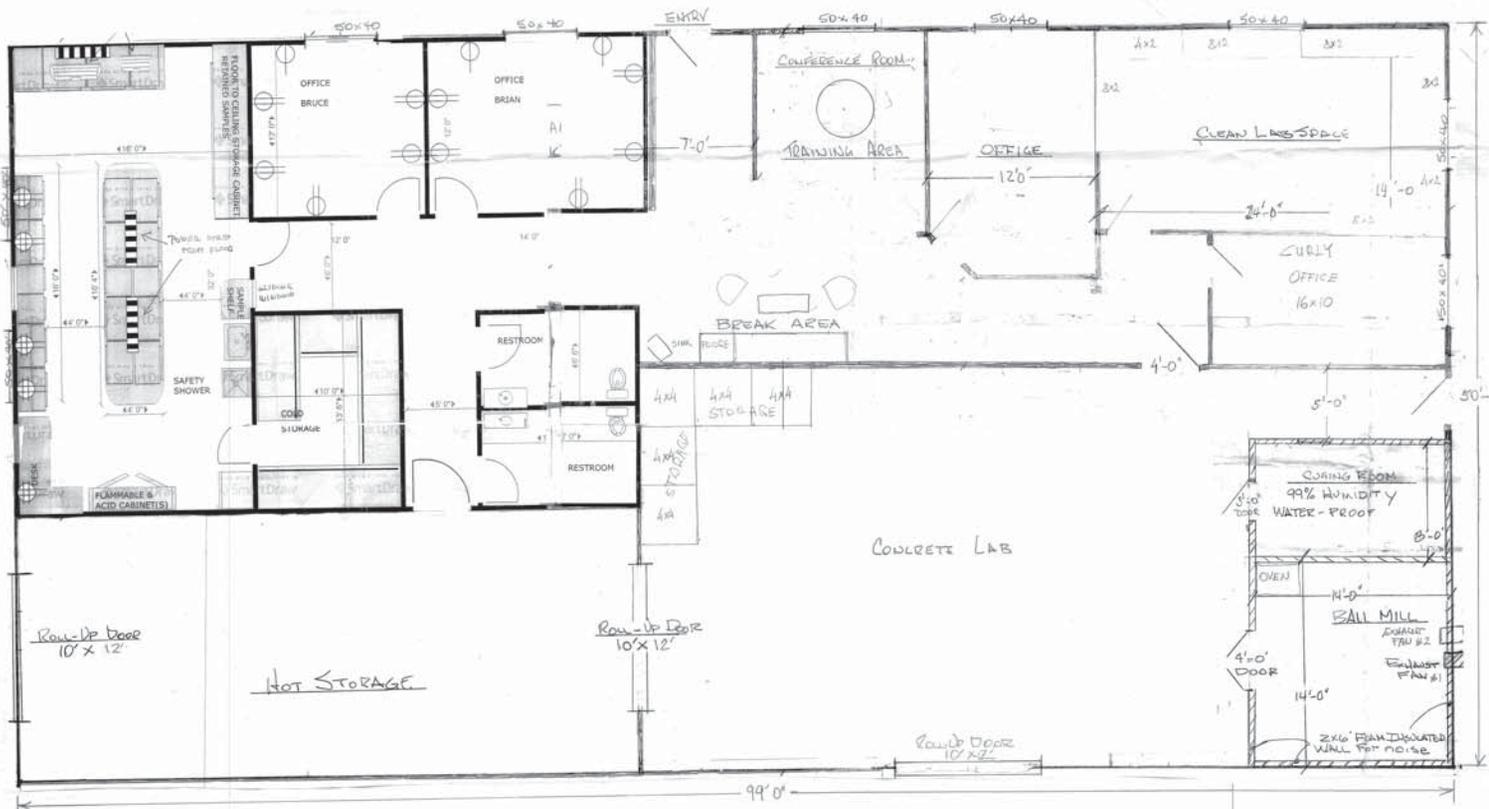


EAST ELEVATION



SOUTH ELEVATION

ELEVATIONS
1/8" = 1'-0"



BUILDING DESIGN

- CONSTRUCTION:**
 Reinforced Concrete Slab: 3000 PSI Concrete
 Exterior Walls: Steel Superstructure with Wood Exterior Framing
 Insulated Exterior Sheathing, Spray Foam Exterior Walls
 Masonry Exterior - 80% Stucco / 20% Face Stone
 Roof System: Stand Up Seam Metal Roof with Spray Foam Insulation
 Interior Walls: Wood Framing with Sheetrock, Tape and Bed, Painted Walls, Spray Foam Insulation
- OCCUPANCY:** 6 EMPLOYEES
OCCUPANCY LOAD: 12 EMPLOYEES
SQUARE FOOTAGE: 4950 SF

FLOOR PLAN
SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION
FLOOR PLAN

OWNER
 Gerald Houser
 Collin-G Properties LTD.
 P.O. Box 847
 Rockwall, TX 75087

PROJECT
 CHRYSO LAB Building
 1611 HWY 276
 Rockwall, TX 75032



CITY OF ROCKWALL, TEXAS
MEMORANDUM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Senior Planner*

COPY: Ryan Miller, *Director of Planning and Zoning*

DATE: October 11, 2016

SUBJECT: **SP2016-023**; *Lakeshore Commons Site Plan*

The applicant, Worth Williams of Moore Worth Investments, LLC, has requested that action on the site plan for the *Lakeshore Commons Retail Facility* be postponed until the October 25, 2016 Planning and Zoning Commission Work Session meeting. The purpose of this postponement request is to allow the applicant more time to address specific issues related to the site. This will not require any action of the Planning and Zoning Commission.

Gonzales, David

From: Worth Williams [REDACTED] >
Sent: Wednesday, October 05, 2016 4:45 PM
To: Gonzales, David
Cc: Amy (Cho) Sumners; 'Mark Hickman [REDACTED]'; [REDACTED]
Subject: Lakeshore Commons Project

Hi David,

As a follow up to our conversation, we would respectfully request tabling the above referenced project until the Planning and ARB meeting scheduled for October 25th. Please let us know if this is acceptable.

Kindest regards,
Worth Williams

The information contained in this communication is confidential and may be legally privileged. It is intended solely for the use of the individual or entity to whom it is addressed and others authorized to receive it. If you are not the intended recipient you are hereby notified that any disclosure, copying, distribution or taking action in reliance of the contents of this information is strictly prohibited and may be unlawful.



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Planning and Zoning Commission

CC: Ryan Miller, *Director of Planning and Zoning*

FROM: Korey Brooks, *Planner*

DATE: October 11, 2016

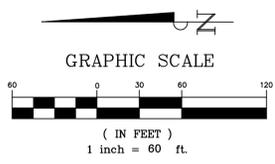
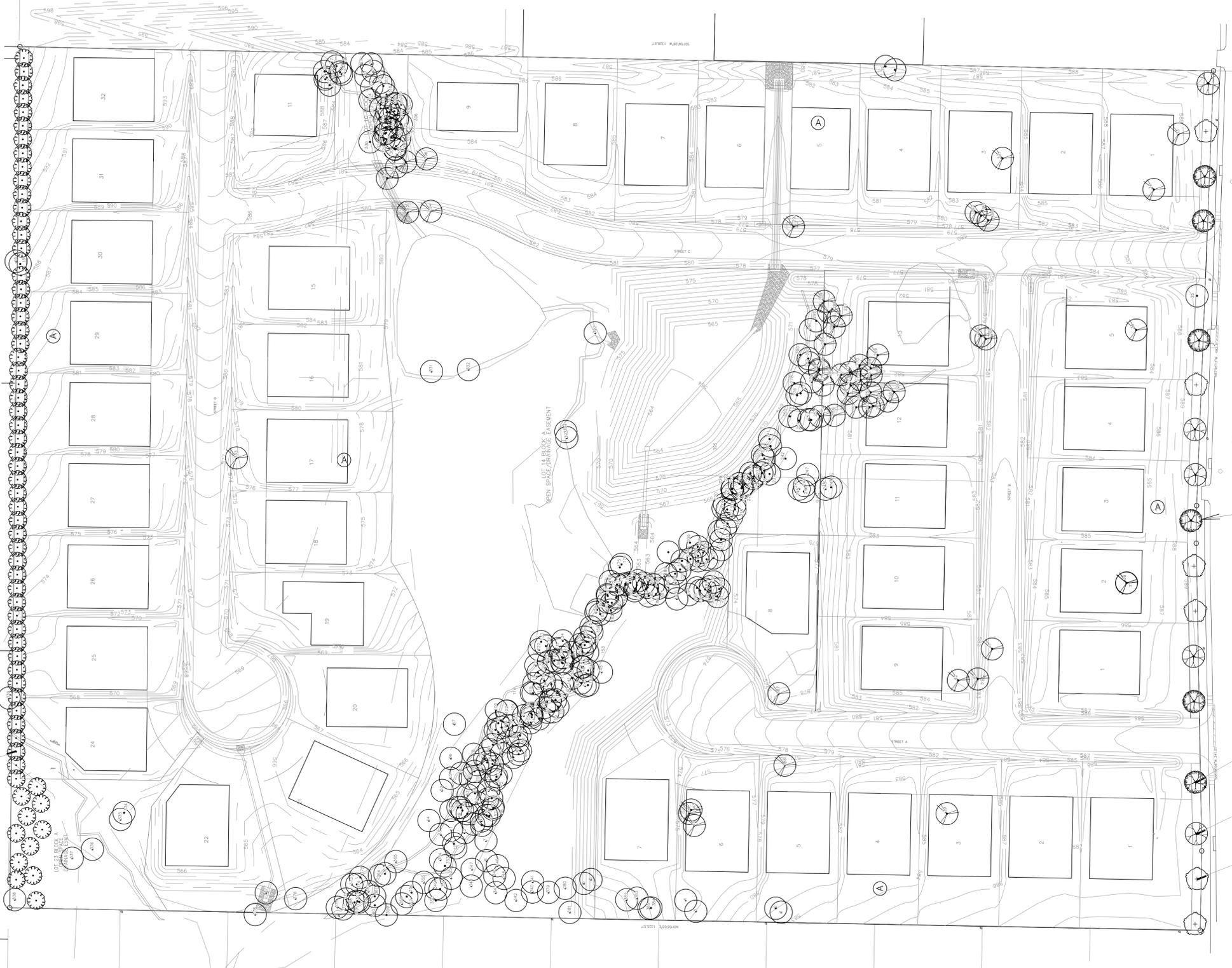
SUBJECT: MIS2016-009; *Tree Mitigation Plan (Skorburg Company)*

The applicant, Noah Flabiano of the Skorburg Company, has submitted a *Tree Mitigation Plan* for a planned subdivision (Ridgecrest Subdivision) being a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and located on the north side of Airport Road, west of the intersection of Airport Road and FM3549.

The applicant has provided a tree survey identifying a total of fifty-one (51) trees [*totaling 468.4-caliper inches*] that require removal in order to develop the property. All of the trees identified are considered to be protected trees and require mitigation. Of the trees being removed, five (5) of the trees [*totaling 32.65 caliper-inches*] are Cedar trees. According to the Unified Development Code (UDC) Cedar trees that are eleven (11) inches dbh or larger, shall be replaced at fifty (50) percent the total caliper inches being removed. Therefore, the applicant is only required to mitigate for 16.325-caliper inches of Cedar trees

According to the Unified Development Code (UDC) *feature trees* may not be removed without the approval of the Planning and Zoning Commission and are to be replaced on an inch-for-inch bases. Feature trees are identified as any pecan, oak, or elm that has a dbh of four (4) inches or greater or any tree that has a dbh of 30 inches or greater. The submitted *tree mitigation plan* identifies three (3) feature trees that will be removed and require Planning and Zoning approval.

The total required mitigation balance [*totaling 435.75-caliper inches or 142.25 3-inch caliper trees*] will be satisfied at the time of development of the site. It should be noted that the approval of the applicant's request is a discretionary decision for the Planning and Zoning Commission.



PLANT_SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE	FIELD4	FIELD5	FIELD6	QTY
	EXISTING TREE TO BE REMOVED							
	Existing Tree To Remain							
	Juniperus virginiana / Eastern Red Cedar	B 4 B	0' MIN.	0'-12"	SYMMETRICAL	MATCHING	FULL	64
	Pistacia chinensis / Chinese Pistache	30 GAL	3'	0'-12"	SYMMETRICAL	MATCHING	FULL	6
	Quercus shumardii / Shumard Red Oak	30 GAL	3'	0'-12"	SYMMETRICAL	MATCHING	FULL	6
	Quercus virginiana / Southern Live Oak	30 GAL	3'	0'-12"	SYMMETRICAL	MATCHING	FULL	5

LANDSCAPE TABULATIONS:

TOTAL LANDSCAPE AREA PROVIDED	1,2936,36 SF (29.7 AC)
AIRPORT ROAD TREES REQUIRED 1/50 LF: 853 LF	17 TREES
AIRPORT ROAD TREES PROVIDED:	17 NEW TREES 1 EXISTING TREE
TOTAL MITIGATION CALIPER INCHES:	435.75 CALIPER INCHES (146 TREES)
TOTAL MITIGATION CALIPER INCHES PROVIDED:	549 CALIPER INCHES (183 TREES) 17 TREES AIRPORT ROAD 64 SCREENING TREES 2 TREES PER RESIDENTIAL LOT 4 TREES PER CORNER RESIDENTIAL LOT

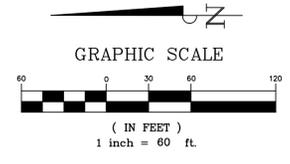
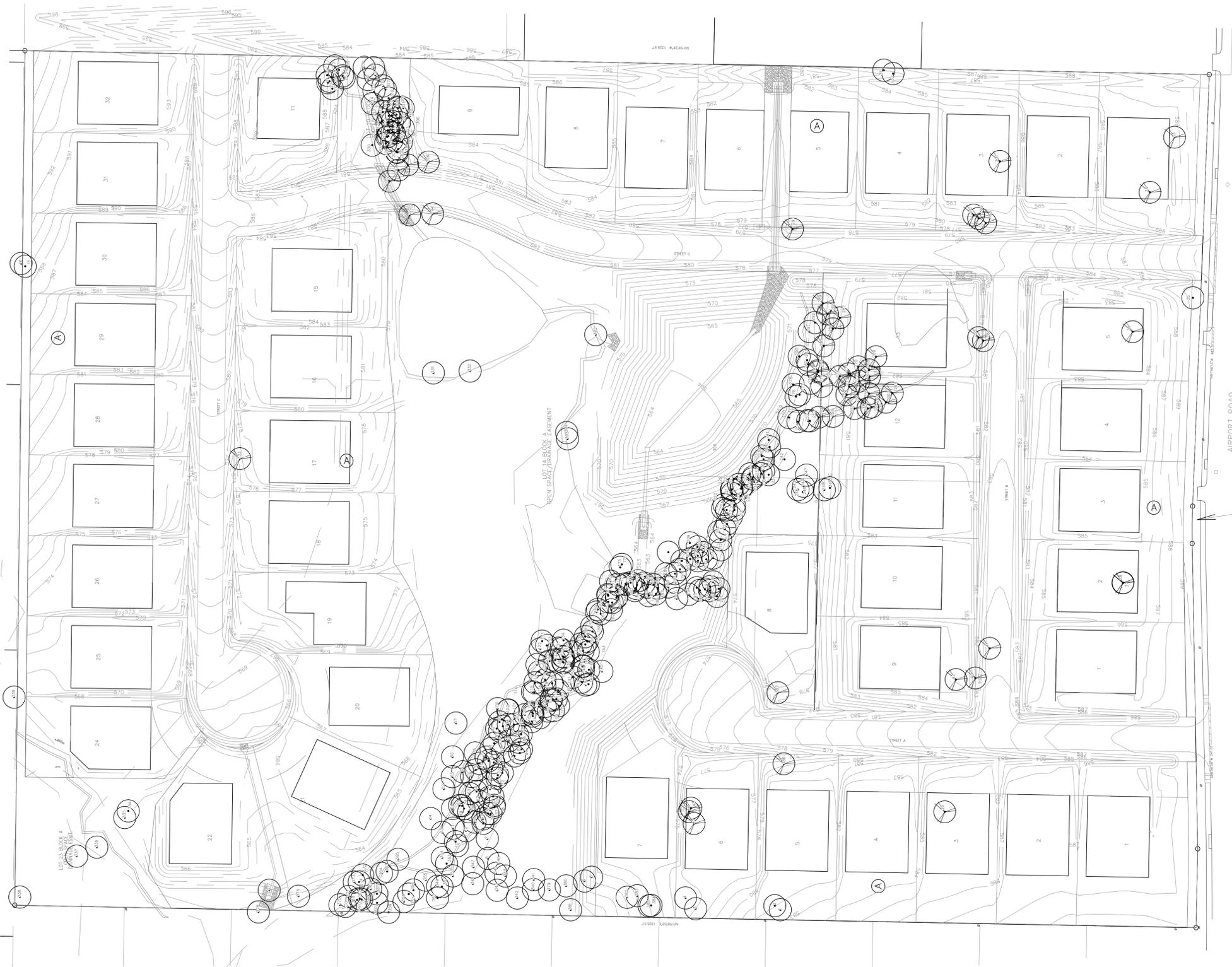
SPECIAL NOTE:

- LOT PLANTING:
- TWO (2), THREE (3) INCH CALIPER TREES MEASURED SIX (6) INCHES ABOVE THE ROOT BALL SHALL BE PLANTED IN THE FRONT YARD OF AN INTERIOR LOT
- TWO (2), THREE (3) INCH CALIPER TREES MEASURED SIX (6) INCHES ABOVE THE ROOT BALL SHALL BE PLANTED IN THE FRONT YARD OF A CORNER LOT AND TWO (2), THREE (3) CALIPER TREES SHALL BE PLANTED IN THE SIDE YARD FACING THE STREET.

No.	Date	Revision Description

FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT BE USED FOR CONSTRUCTION. ANY REVISIONS OR CHANGES TO THESE DOCUMENTS SHALL BE MADE UNDER THE SUPERVISION OF: ARCHITECT: DREW J. DUBOSCO
L.A. No. 3141 Date: 10/05/2016 PROJECT NO.: 090-16-17

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



PLANT_SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME
	Existing Tree to be Removed
	Existing Tree To Remain

RIDGECREST
Rockwall, Texas
TREE PRESERVATION PLAN

No.	Date	Revision Description

FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT BE USED FOR CONSTRUCTION. BUILDINGS OR REMAINING CONSTRUCTION HAVE BEEN PREPARED BY OR UNDER THE SUPERVISION OF:
Architect: DREW J. DUBOCCO
L.A. No. 3141 Date: 10/05/2016
PROJECT NO.: 090-16-17

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

Ridgecrest Tree Survey - City of Rockwall, TX									
Tree Number	Tree Species	Multi-Trunk Present?	Diameter @ Breast Height (DBH) (Inches)	Height (Feet)	Latitude	Longitude	Remain	Remove	Replacement Inches
1	sugarberry	No	16.2	7026324.527	2605037.162	X			
2	sugarberry	No	16.3	7026330.825	2605041.487	X			
3	sugarberry	Yes-1	13.3	7026419.559	2605035.639	X			
4	American elm	No	9.2	7026431.204	2605047.445	X			
5	green ash	Yes-1	4.8	7026537.160	2605067.564	X			
6	green ash	Yes-1	5.9	7026545.001	2605063.013	X			
7	green ash	No	4.9	7026655.332	2605107.333	X			
8	green ash	No	5.1	7026653.991	2605085.233	X			
9	green ash	Yes-1	12.2	7026690.949	2605103.034	X			
10	green ash	No	4.5	7026688.656	2605098.576	X			
11	green ash	No	5.6	7026691.670	2605117.076	X			
12	green ash	Yes-5	10.6	7026679.134	2605115.472	X			
13	green ash	Yes-1	10.4	7026706.119	2605112.837	X			
14	green ash	Yes-3	17.8	7026719.417	2605127.882	X			
15	cedar elm	No	4.3	7027191.424	2605731.870	X			
16	cedar elm	No	8.4	7027196.400	2605734.784	X			
17	green ash	No	5.0	7026850.446	2605955.147	X			
18	green ash	Yes-1	5.0	7026845.611	2605960.678	X			
19	green ash	Yes-4	11.5	7026852.433	2605953.693	X			
20	green ash	Yes-1	5.0	7026856.027	2605947.894	X			
21	green ash	Yes-1	5.2	7026857.671	2605946.181	X			
22	green ash	Yes-4	11.1	7026852.538	2605939.722	X			
23	green ash	Yes-1	4.4	7026846.708	2605936.965	X			
24	green ash	No	4.7	7026841.456	2605954.172	X			
25	green ash	Yes-4	8.8	7026839.681	2605952.128	X			
26	green ash	No	6.6	7026858.770	2605954.609	X			
27	green ash	Yes-1	8.2	7026811.394	2605964.442	X			
28	green ash	Yes-1	7.6	7026806.845	2605964.428	X			
29	green ash	Yes-1	6.4	7026804.212	2605956.302	X			
30	green ash	Yes-2	9.9	7026812.763	2605950.930	X			
31	green ash	Yes-1	10.4	7026234.531	2605977.565	X			
32	eastern red cedar	Yes-6	13.8	7026224.155	2605974.078	X			
33	green ash	No	12.9	7026906.395	2605911.730	X			
34	sugarberry	Yes-1	11.2	7025932.196	2605849.577	X			
35	sugarberry	No	16.8	7025880.904	2605733.908	X			
36	sugarberry	No	11.7	7026947.438	2605950.930	X			
37	eastern red cedar	No	12.3	7025950.587	2605612.979	X			
38	eastern red cedar	Yes-2	12.6	7025950.342	2605412.906	X			
39	Hercules-club	No	4.8	7026143.179	2605151.576	X			
40	sugarberry	Yes-1	13.1	7026113.021	2605301.793	X			
41	eastern red cedar	No	11.2	7026097.893	2605335.428	X			
42	eastern red cedar	No	12.1	7026134.692	2605299.582	X			
43	American elm	No	8.5	7026427.941	2605147.721	X			
44	American elm	No	8.2	7026429.910	2605143.780	X			
45	American elm	Yes-1	14.5	7026423.926	2605130.645	X			
46	green ash	No	5.7	7026660.581	2605124.205	X			
47	green ash	Yes-1	10.2	7026660.915	2605129.102	X			
48	green ash	Yes-3	13.8	7026669.685	2605125.365	X			
49	green ash	Yes-1	9.7	7026680.419	2605140.149	X			
50	green ash	No	9.9	7026687.553	2605143.387	X			
51	green ash	No	8.2	7026695.280	2605139.851	X			
52	green ash	Yes-1	15.6	7026705.654	2605161.530	X			
53	green ash	No	6.2	7026677.096	2605136.726	X			
54	green ash	No	5.4	7026684.697	2605143.266	X			
55	green ash	No	5.2	7026655.427	2605135.447	X			
56	green ash	No	6.0	7026653.250	2605131.538	X			
57	green ash	No	10.6	7026652.353	2605135.201	X			
58	green ash	No	5.9	7026648.503	2605142.624	X			
59	green ash	No	5.9	7026654.560	2605135.405	X			
60	green ash	No	6.4	7026648.178	2605144.893	X			
61	green ash	Yes-4	12.2	7026650.270	2605154.670	X			
62	green ash	No	7.0	7026666.464	2605149.985	X			
63	green ash	Yes-2	18.2	7026676.606	2605157.093	X			
64	green ash	No	6.7	7026668.954	2605159.523	X			
65	green ash	No	10.8	7026696.167	2605175.324	X			
66	American elm	No	8.1	7026696.895	2605197.492	X			
67	eastern red cedar	No	13.6	7026694.054	2605235.316	X			
68	green ash	No	7.1	7026685.137	2605181.179	X			
69	green ash	Yes-2	7.9	7026674.838	2605176.126	X			
70	green ash	No	4.5	7026655.253	2605172.685	X			
71	green ash	No	6.3	7026653.897	2605162.794	X			
72	green ash	No	8.3	7026646.271	2605175.024	X			
73	green ash	No	7.5	7026645.662	2605178.506	X			
74	green ash	No	9.3	7026656.444	2605193.403	X			
75	green ash	Yes-1	11.5	7026653.494	2605185.071	X			
76	green ash	No	4.2	7026670.351	2605183.745	X			
77	green ash	No	7.8	7026666.996	2605191.219	X			
78	green ash	Yes-2	12.5	7026671.689	2605202.563	X			
79	green ash	Yes-1	8.6	7026659.204	2605198.191	X			
80	green ash	No	5.5	7026650.440	2605192.510	X			
81	green ash	Yes-1	14.1	7026640.526	2605181.250	X			
82	green ash	No	8.7	7026640.645	2605204.884	X			
83	green ash	Yes-3	11.6	7026627.465	2605200.411	X			
84	green ash	No	10.3	7026621.584	2605204.087	X			
85	green ash	Yes-2	9.8	7026619.789	2605208.106	X			
86	green ash	No	9.1	7026623.275	2605215.928	X			
87	green ash	No	5.1	7026620.663	2605224.930	X			
88	green ash	No	7.0	7026624.501	2605233.357	X			
89	green ash	Yes-1	8.7	7026633.957	2605217.520	X			
90	green ash	Yes-1	20.4	7026605.627	2605213.968	X			
91	green ash	Yes-2	9.1	7026653.901	2605208.138	X			
92	green ash	No	5.5	7026648.322	2605230.458	X			
93	green ash	No	10.9	7026645.312	2605237.945	X			
94	green ash	No	6.5	7026641.388	2605233.308	X			
95	green ash	No	6.4	7026635.404	2605235.457	X			
96	green ash	No	5.0	7026629.154	2605235.447	X			
97	green ash	No	4.5	7026640.040	2605231.737	X			
98	green ash	No	5.4	7026644.949	2605227.817	X			
99	green ash	No	10.1	7026632.091	2605227.770	X			
100	green ash	Yes-1	7.0	7026647.802	2605252.756	X			
101	green ash	Yes-4	14.6	7026638.831	2605231.589	X			
102	green ash	No	5.3	7026636.431	2605251.237	X			
103	green ash	Yes-1	12.4	7026625.148	2605241.509	X			
104	green ash	Yes-1	9.1	7026608.966	2605249.785	X			
105	green ash	Yes-3	10.7	7026608.288	2605245.616	X			
106	green ash	Yes-5	13.1	7026600.011	2605243.993	X			
107	green ash	Yes-2	8.9	7026598.544	2605251.996	X			
108	green ash	No	7.2	7026594.541	2605256.645	X			
109	green ash	No	7.6	7026585.065	2605252.319	X			
110	green ash	No	7.5	7026579.545	2605258.073	X			
111	green ash	No	6.0	7026588.161	2605263.708	X			
112	green ash	No	8.3	7026589.934	2605265.218	X			
113	green ash	No	6.5	7026582.345	2605265.411	X			
114	green ash	Yes-5	14.6	7026567.300	2605270.988	X			
115	green ash	No	9.5	7026569.414	2605272.676	X			
116	green ash	No	5.7	7026607.418	2605272.116	X			
117	green ash	No	12.8	7026606.677	2605282.915	X			
118	green ash	Yes-1	8.1	7026595.561	2605279.944	X			
119	green ash	No	5.9	7026595.610	2605286.398	X			
120	green ash	No	6.3	7026591.500	2605285.120	X			
121	green ash	No	4.7	7026605.151	2605303.274	X			
122	green ash	No	5.7	7026601.917	2605320.711	X			
123	green ash	No	5.2	7026591.278	2605307.562	X			
124	green ash	No	7.5	7026609.113	2605239.453	X			
125	green ash	Yes-1	7.6	7026607.996	2605248.251	X			
126	green ash	Yes-2	8.2	7026617.075	2605246.800	X			
127	green ash	No	7.0	7026585.028	2605308.812	X			
128	green ash	No	4.5	7026575.247	2605312.523	X			
129	green ash	Yes-2	15.1	7026576.460	2605312.926	X			
130	green ash	No	7.7	7026578.668	2605321.358	X			
131	green ash	No	5.9	7026580.956	2605322.279	X			
132	green ash	No	8.5	7026594.783	2605324.858	X			

133	green ash	No	4.7	7026600.041	2605229.510	X			
134	green ash	Yes-1	10.2	7026576.056	2605331.124	X			
135	green ash	No	5.0	7026575.293	2605330.293	X			
136	green ash	No	7.5	7026576.375	2605307.500	X			
137	green ash	Yes-3	8.7	7026565.814	2605318.483	X			
138	green ash	No	8.4	7026556.287	2605272.627	X			
139	green ash	No	10.3	7026587.468	2605282.738	X			
140	green ash	No	7.2	7026580.389	2605275.111	X			
141	green ash	Yes-1	13.1	7026575.173	2605283.862	X			
142	green ash	Yes-1	11.3	7026549.714	2605281.899	X			
143	green ash	Yes-1	9.3	7026554.342	2605285.096	X			
144	green ash	Yes-2	10.2	7026546.729	2605282.953	X			
145	green ash	No	4.2	7026531.914	2605297.666	X			
146	green ash	Yes-1	7.6	7026546.813	2605299.035	X			
147	green ash	No	8.2	7026554.046	2605302.780</				