

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
September 27, 2016
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. **Approval of Minutes** for the *September 13, 2016* Planning and Zoning Commission meeting.
2. **P2016-042 (David)**
Discuss and consider a request by Greg Helsel of Spiars Engineering on behalf of the owner Will Shaddock of Master Developers-SNB, LLC for the approval of an amended plat for Phase 1 of the Preserve Subdivision, containing 132 single-family residential lots on a 52.545-acre tract of land identified as the Preserve, Phase 1 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single Family 10 (SF-10) District land uses, located at the southeast at corner of the intersection of Highland Drive and East Fork Drive, and take any action necessary.
3. **SP2016-018 (David)**
Discuss and consider a request by Greg Wallis of Mereshawn Architects on behalf of Natalee Davenport for the approval of a site plan for the purpose of converting an existing single-family home into an office building on a 0.24-acre parcel of land identified as a part of Lot 1, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 902 N. Goliad Street, and take any action necessary.

APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

DISCUSSION ITEMS

5. **Z2016-030 (Korey)**
Hold a public hearing to discuss and consider a request by James Shaw for the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4692-acre parcel of land identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1910 Copper Ridge Circle, and take any action necessary.
6. **Z2016-031 (Ryan)**
Hold a public hearing to discuss and consider a request by Kasey Weadon of New Craft Brewing, LLC on behalf of the owner Benbrooke Ridge Partners, LP for the approval of an amendment to Planned Development District 1 (PD-1) for the purpose of allowing the *Brewery or Distillery (Excluding Brew Pub)* land use in the Planned Development District, being identified as ~39.5249-acre tract of land situated in the B. J. T. Lewis Survey, Abstract No. 255 and the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, located on the eastside of Ridge Road south of the intersection of Ridge Road [FM-740] and SH-205, and take any action necessary.
7. **Z2016-032 (Ryan)**
Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of *Ordinance No. 14-26* for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.
8. **P2016-040 (Korey)**
Discuss and consider a request by Chad & Lindsay Hudson for the approval of a replat for Lots 7 & 8, Block A, Independence Pass Addition being a replat of a 1.4-acre parcel of land identified as Lot 5, Block A,

Independence Pass Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single family land uses, addressed as 107 Independence Place, and take any action necessary.

9. P2016-043 (David)

Discuss and consider a request by Jay Webb of Dalrock Homes, LLC for the approval of a final plat for Lots 1-10, Block A, Estates on the Ridge Subdivision, containing ten (10) single-family residential lots on an 18.84-acre tract of land identified as Tract 7-04 & 23 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located at the northwest corner of the intersection of FM-3549 and Cornelius Road, and take any action necessary.

10. SP2016-019 (Korey)

Discuss and consider a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1292 East Fork Drive, and take any action necessary.

11. SP2016-020 (Korey)

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway, and take any action necessary.

12. SP2016-021 (Korey)

Discuss and consider a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Dewese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive, and take any action necessary.

13. SP2016-022 (David)

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

14. SP2016-023 (David)

Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC for the approval of a site plan for a multi-tenant commercial/retail building on a 1.56-acre tract of land being a portion of a larger 6.1091-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 8-4, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the southwest corner of Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

15. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ P2016-038: Lots 1 & 2, Block A, Autumn Addition [Approved]
- ✓ P2016-039: Lots 1 & 2, Block A, Burke Addition [Approved]
- ✓ SP2016-016: Exception and Variance at 496 National Drive [Approved]
- ✓ SP2016-017: Variance to the Articulations Requirements for Life Springs Church [Approved]
- ✓ Z2016-026: PD Development Plan for Townhomes in PD-32 (2nd Reading) [Approved]
- ✓ Z2016-023: Amendment to S-118 for 1970 Copper Ridge Circle (1st Reading) [Approved]
- ✓ Z2016-025: PD Development Plan for Condominiums in PD-32 (1st Reading) [Approved]
- ✓ Z2016-028: Zoning Change for 2001 Ridge Road (AG to RO) (1st Reading) [Approved]
- ✓ Z2016-029: SUP for a Gas Station at the SWC of SH-205 & FM-549 (1st Reading) [Approved]

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 23rd day of September, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
September 27, 2016
5:00 P.M.

DISCUSSION ITEMS

1. SP2016-019 (Korey)

Discuss and consider a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1292 East Fork Drive, and take any action necessary.

2. SP2016-020 (Korey)

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway, and take any action necessary.

3. SP2016-021 (Korey)

Discuss and consider a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive, and take any action necessary.

4. SP2016-022 (David)

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

5. SP2016-023 (David)

Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC for the approval of a site plan for a multi-tenant commercial/retail building on a 1.56-acre tract of land being a portion of a larger 6.1091-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 8-4, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the southwest corner of Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 23rd day of September, 2016, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

2
3
4
5
6
7
8

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
September 13, 2016
6:00 P.M.

9 I. CALL TO ORDER

10
11 **Vice-Chairman Johnny Lyons called the meeting to order at 6:00 p.m. The Commissioners**
12 **present at the meeting were, Patrick Trowbridge, Sandra Whitley, Tracey Logan, Annie Fishman,**
13 **and Mark Moeller. Commissioners absent were Chairman Craig Renfro. Staff members present**
14 **were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Korey Brooks,**
15 **Planning Coordinator, Laura Morales, Assistant City Engineer, Amy Williams, Civil Engineer,**
16 **Jeremy White and Fire Marshall, Ariana Hargrove.**

17
18 II. CONSENT AGENDA

19
20 1. Approval of Minutes for the *August 30, 2016* Planning and Zoning Commission meeting.

21
22 2. P2016-038

23 Discuss and consider a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2,
24 Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the
25 B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7)
26 District, addressed as 601 E. Rusk Street, and take any action necessary.

27
28 3. P2016-039

29 Discuss and consider a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke
30 for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land
31 identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas,
32 zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as
33 1406 Ridge Road, and take any action necessary.

34
35 **Commissioner Trowbridge made a motion to approve the consent agenda. Commissioner Logan**
36 **seconded the motion, which passed by a vote of 6-0, with Chairman Renfro absent.**

37
38
39 III. APPOINTMENTS

40
41 4. Appointment with Architectural Review Board representative to receive the Board's
42 recommendations and comments for items on the agenda requiring architectural review.

43
44 **Vice-Chairman Lyons noted this item would be discussed at the time the case comes up on the**
45 **agenda.**

46
47
48 IV. PUBLIC HEARING ITEMS

49
50 5. Z2016-025

51 Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the
52 approval of a PD Development Plan establishing a 228 unit, condo development situated on a 3.453-
53 acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition,
54 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated
55 within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of
56 Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

57
58 **Planning Director, Ryan Miller, gave a brief explanation of the request stating that at the last City**
59 **Council meeting the applicant proposed a 50 foot cross section in lieu of the 40 foot that the**
60 **Planning and Zoning Commission voted on August 30th to deny. In light of the change the City**
61 **Council chose to remand the case back to the Planning and Zoning Commission to review the 50**
62 **foot cross section. The applicant is requesting a PD Development Plan for the purpose of**
63 **changing the street cross section for the street type G that is required by Ordinance 10-21.**

64 Mr. Miller provided a power point slide which showed a side by side comparison of the proposed
65 cross section and that of the City's street type G that is required by the Ordinance. Street type G
66 is composed of an 8 foot sidewalk and parkway, 24 foot travel lane, 8 foot parallel parking lane
67 and 60 feet of right of way. The proposed cross section proposes an 8 foot sidewalk, 2 foot
68 parkway on the northern western side of the roadway, a 24 foot travel lane, 8 foot parallel
69 parking lane and a 50 foot of right of way. In the City Council meeting the applicant stated that
70 after surveying the property they found that they were able to fit a 50 foot section in and that was
71 what they proposed at City Council, however in the applicant's opinion as was stated at that
72 meeting they believe the proposed road section meets the intent of the Ordinance because the
73 creek adjacent to the roadway will be preserved as open space which mitigates the inability to
74 provide a wider parkway. Mr. Miller went on to explain that as was previously discussed when
75 looking at waivers to the plan, Ordinance 10-21 states it is a discretionary decision for the
76 Planning and Zoning Commission and City Council to consider whether or not the waiver meets
77 the general intent of the PD District in which the property is located, if the proposed project will
78 result in an improvement which will be an attractive contribution to the PD District or Sub-
79 district, and will not prevent the implementation of the intent of this PD District.

80
81 Mr. Miller added that staff was available for questions and the applicant was present and
82 available for questions as well.

83
84 Vice-Chairman Lyons asked the applicant to come forward.

85
86 Jason Lentz
87 5339 Alpha Road
88 Dallas, TX
89

90 Mr. Lentz came forward and stated that after what they heard at the previous two meetings, the
91 two main objections to the proposed plan was one, the walkability was being decreased by the
92 fact that there was not an 8 foot sidewalk on each side, although an 8 foot sidewalk had been
93 proposed on one side, but would have only a buffer on the other and in addition to that the road
94 did not connect at the correct point to the road to the adjacent property. Once they received the
95 final surveying data they realized they could push the property a little more and had a little more
96 room between the properties boundary and the creek which allowed them to offer a 50 foot right
97 of way versus the 40 foot right of way that was presented previously which was denied. Mr.
98 Lentz provided a slide showing what they are requesting, which is a variance to the landscape
99 buffers within the 60 feet between the building and the outside edge, and instead go to the 50
100 feet that will still have two 8 foot sidewalks, 8 feet of parallel parking, 24 feet of drive isle and the
101 additional space will be in the preserve natural buffer in the creek. The right of way will fall
102 within the proposed retaining wall and will not be the City's duty to maintain. Also in a
103 discussion with one of the adjacent property owners it was discussed where the road needed to
104 connect and that has since been addressed.

105
106 Mr. Lentz went on to state that it is their opinion that they have addressed all of the concerns
107 brought forth by the Commission as previously discussed, the condominiums as they sit are a
108 by right development and the only thing that they are seeking a variance on is related to the right
109 of way and they feel they have maintained the outlook of what was expected when street type G
110 was put together. He added that by proposing 50 feet they have maintained all the intended
111 uses, preserved the walkability of the site, and the overall expectation of the Street type G of
112 PD32.

113
114 Vice-Chairman Lyons opened the public hearing and asked anyone who wished to speak to
115 come forward and do so, there being no one indicating such Vice-Chairman Lyons closed the
116 public hearing and brought the item back to the Commission for questions/discussion.

117
118 Vice-Chairman Lyons asked Mr. Lentz to come forward for any additional comments or
119 questions from the Commission.

120
121 Vice-Chairman Lyons asked concerning the portion that goes into the creek, how many feet is
122 the drop off. Mr. Lentz stated he does not have exact measurements but it is an approximation
123 of the slope, they have hired wetlands consultants who will survey the creek. The slope steeper
124 than what is actually out there; it is more of a gully than it is a deep creek. They do not feel it will

125 be that deep, the water is jurisdictional but they will do all that is needed to address that it is left
126 alone and preserved.

127
128 Mr. Miller added that would be addressed at time of engineering to ensure that proper drainage
129 and detention is provided.

130
131 Vice-Chairman Lyons made a motion to approve the item with staff recommendations.
132 Commissioner Trowbridge seconded the motion which passed by a vote of 6-0, with Chairman
133 Renfro absent.

134
135
136 6. Z2016-023
137 Hold a public hearing to discuss and consider a request by Kevin Dale Wommack & Pamela McCollum
138 for the approval of an amendment to *Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02]* to
139 allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV,
140 Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17,
141 Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate
142 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle, and take any action necessary.

143
144 Planner, Korey Brooks, gave brief explanation of request stating the applicant is requesting to
145 amend an existing Specific Use Permit to allow for an accessory building that exceeds the
146 maximum size requirements specified in the UDC. In December of 2013 the applicants requested
147 an SUP for an accessory building, and the City Council approved that request for a building that
148 does not meet the exterior material requirements to the Single Family Estate 1.5 District. The
149 current metal building is 22-feet by 31-feet or approximately or 682 sq. ft. The applicants are
150 proposing to expand their current metal building by approximately 30-feet for a building
151 footprint that is 22-feet x 62-feet or 1,364 sq. ft. With the expansion, the accessory building will
152 be approximately 114 sq. ft. larger than the maximum size allowed in a SFE-1.5 District.

153
154 Mr. Brooks went on to state that on August 19, 2016 staff mailed 36 notices to property owners
155 and occupants within 500-feet of the subject property and also notified the Lofland Farms and
156 Timber Creek Estates Home Owners Associations. Staff received one notice in favor and none
157 opposed.

158
159 Mr. Brooks added that staff was available for questions and the applicant was present and
160 available for questions as well.

161
162 Vice-Chairman Lyons asked the applicant to come forward.

163
164 Dale Wommack
165 1970 Copper Ridge Circle
166 Rockwall, TX

167
168 Mr. Wommack came forward stating he wants to put an open air awning and use it for storage
169 and put his smoker in there instead of having it on his patio.

170
171 Commissioner Trowbridge asked if a business would be running out of the building. Mr.
172 Wommack stated there would not.

173
174 Vice-Chairman Lyons opened the public hearing and asked anyone who wished to speak to
175 come forward and do so, there being no one indicating such Vice-Chair Lyons closed the public
176 hearing and brought the item back to the Commission for discussion/questions.

177
178 Commissioner Whitley made a motion to approve the item with staff recommendations.
179 Commissioner Fishman seconded the motion which passed by a vote of 6-0, with Chairman
180 Renfro absent.

181
182
183 7. Z2016-028
184 Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning
185 change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land
186 identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas,

187 zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001
188 Ridge Road, and take any action necessary.

189
190 Planning Director, Ryan Miller, gave a brief explanation of the request stating the subject
191 property is about a half an acre zoned Agricultural District and is located behind a commercial
192 retail center that is zoned Commercial. It was annexed into the City in the 1960's and currently
193 has an existing single family home situated on it. Directly north of the subject property is an
194 agricultural property followed by another agricultural property with a single family home, to the
195 south is a commercial retail center followed by the intersection of Ride Road and Yellow Jacket.
196 Directly north of the subject property is a vacant tract of land as well as the commercial parking
197 area for the commercial shopping center and directly south is the Independent School Districts
198 parking for the Spring Sports Complex. The applicant is requesting to rezone the property to a
199 Commercial District and according to the Unified Development Code; Commercial Districts are
200 intended for major retail and intensive commercial uses with large volumes of retail traffic. The
201 UDC also states that this designation is appropriate for properties that are situated on major
202 collectors and arterials and should be adequately buffered from residential areas.

203
204 Mr. Miller went on to state that staff recommended to the applicant to consider the Residential
205 Office District as a possible alternative to the Commercial Districts since the property is set back
206 off of Old County Road off of Ridge Road and is not on a major collector nor is the existing
207 residential structure appropriate for high volume traffic retail uses. The proposed use is allowed
208 in all Commercial Districts, Residential-Office, Neighborhood Service, General Retail, Heavy
209 Commercial, and Downtown Districts. There has been some success in converting single family
210 homes using Residential Office development standards. The applicant has showed a
211 willingness to have a Residential Office designation if approved by the Planning and Zoning
212 Commission and City Council.

213
214 Mr. Miller further stated that on August 19, 2016, staff mailed 13 notices to property owners and
215 residents within 500-feet of the subject property and also sent a notice to the Turtle Cove and
216 Waterstone Homeowner's Associations. Staff did not receive any notices in favor or opposed to
217 the request. The Comprehensive Plan designates the three properties as medium densities
218 residential in the future, therefore should the Commission chose to recommend to City Council
219 that the zoning either Residential Office or Commercial be approved it would change the Future
220 Land Use Map to a Commercial District designation.

221
222 Mr. Miller added that staff was available for questions and the applicant was present and
223 available for questions as well.

224
225 Vice-Chairman Lyons asked the applicant to come forward.

226
227 Susan Gamez
228 602 Laurence Drive
229 Heath, TX

230
231 Ms. Gamez came forward and stated she feels the recommendation for Residential Office
232 designation fits as the business she currently owns off of Ridge Road is in a Residential Office
233 and is already familiar with all the requirements involved.

234
235 Vice-Chairman Lyons opened the public hearing and asked if there was anyone wishing to speak
236 to come forward and do so.

237
238 RD Vanderslice
239 1408 S. Lakeshore Drive
240 Rockwall, TX

241
242 Mr. Vanderslice came forward and stated he has been a resident of Rockwall for 42 years and
243 owns several commercial buildings along Ridge Road similar to that of Ms. Gamez. He feels the
244 changing of these properties to commercial has been met with little or no opposition and has
245 improved the properties. He stated he knows Ms. Gamez and believes she runs a good business
246 for over ten years and he feels as a fellow business owner and property owner is in favor of the
247 approval of the request.
248

249 Vice-Chairman Lyons closed the public hearing and stated he felt the proposal for a Residential
250 Office designation is a perfect fit for that area rather than Commercial.

251
252 Commissioner Fishman made a motion to approve the item with a designation of Residential
253 Office and with staff recommendations. Vice-Chairman Lyons seconded the motion which
254 passed by a vote of 6-0, with Chairman Renfro absent.

255
256
257 8. Z2016-029
258 Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects
259 on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail
260 store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-
261 acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall,
262 Rockwall County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the
263 intersection of SH-205 [S. *Goliad Street*] and FM-549, and take any action necessary.

264
265 Senior Planner, David Gonzales, gave a brief explanation of the case stating that Mr. Jimmy
266 Strohmeyer with Strohmeyer Architects is present to represent the property owner and is
267 requesting a Specific Use Permit for the subject property which is located at the southwest
268 corner of FM-549 and Goliad. The current zoning on the property is General Retail for General
269 Retail land uses. The Specific Use Permit being requested is for a retail operation with more than
270 two gasoline dispensers. Mr. Gonzales provided a slide of the conceptual plan of the site that
271 was submitted by the applicant indicating that they want to have eight dispensers on site which
272 would equate to a maximum of sixteen vehicles that could be serviced at any one time. It will
273 have two points of entry off of FM-549 and SH-205. There will be a slight change to the current
274 concept plan for the entrances that will be moved as they don't currently meet the distance
275 requirements for the City or TXDOT and that will be tied to the Ordinance if the request is
276 approved.

277
278 Mr. Gonzales went on to state that staff sent out 11 notices to property owners and residents
279 within 500 feet of the subject property and also notified one HOA, Oaks of Buffalo Way that is
280 within 1,500 feet of the subject property. Staff received four notices back against the proposal.

281
282 Mr. Gonzales added that staff was available for questions and the applicant was present and
283 available for questions as well.

284
285 Vice-Chairman Lyons asked the applicant to come forth and speak.

286
287 Jimmy Strohmeyer
288 2701 Sunset Ridge
289 Rockwall, TX

290
291 Mr. Strohmeyer came forward and stated FM-549 and SH-205 is a major intersection that is going
292 to be rerouted in the future and feels that this retail store is needed at this corner and is the ideal
293 corner for it and will fit by the traffic that the street improvement will generate at that
294 intersection. This is planning for the future as FM-549 gets rerouted and as this area develops
295 will be a major intersection.

296
297 Mr. Gonzales added that the Future Land Use map shows TXDOT will be adding a four lane
298 divided on FM-549.

299
300 Vice-Chairman Lyons asked for clarification of how many vehicles per pump. Mr. Strohmeyer
301 stated in the past one pump had only one dispenser whereas now each pump has two
302 dispensers and they are requesting eight pumps, sixteen dispensers that will allow sixteen cars.

303
304 Commissioner Trowbridge asked staff what the Future Land Use map designates the subject
305 property and what the use for the adjacent property. Mr. Gonzales stated the subject property is
306 zoned General Retail and the adjacent property is an office use.

307
308 Commissioner Moeller asked when the change of the concept plan for the distance of the
309 driveways would be made. Mr. Gonzales stated that those corrections would be done at the time
310 of site plan and they will be involved with engineering to get the proper distances.

311 Vice-Chairman Lyons asked engineering staff when the projected date for TXDOT to begin that
312 expansion was. Assistant City Engineer Amy Williams stated there was not a set date, but
313 should be about four or five years out.
314

315 Vice-Chairman Lyons opened up the public hearing and asked for anyone who wished to speak
316 to come forward and do so, there being no one indicating such Vice-Chairman Lyons closed the
317 public hearing and brought the item back to the Commission for discussion/questions.
318

319 Vice-Chairman Lyons asked the reason for asking for the eight pumps. Mr. Strohmeyer they are
320 planning for the future expansion of the road and the need he feels that major intersection will
321 call for.
322

323 Vice-Chairman Lyons asked Engineering staff if there was a designated date for when TXDOT
324

325 Commissioner Logan expressed concern of going from an estate lots to this use, does not feel it
326 is the right direction for this corner.
327

328 Mr. Gonzales added this went from originally being Agriculture to General Retail in 2010 and that
329 was based on the Future Land Use Map and has since evolved.
330

331 Commissioner Whitley asked for clarification if it is already zoned General Retail if the issue is
332 simply the number of dispensers that are being requested. Mr. Gonzales stated that by right
333 they can have a General Retail store with two dispensers serving four vehicles. What they are
334 asking for is for the ability to put eight on the property.
335

336 Commissioner Whitley asked if the expansion of FM-449 would continue through SH-205 making
337 it a major four corner intersection. Mr. Gonzales stated that was correct.
338

339 Commissioner Trowbridge made a motion to approve the item with staff recommendations.
340 Commissioner Whitley seconded the motion which passed by a vote of 6-0, with Chairman
341 Renfro absent.
342

343

344 V. ACTION ITEMS
345

346 9. SP2016-016
347 Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James
348 & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on
349 an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey,
350 Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District,
351 addressed as 496 National Drive, and take any action necessary.
352

353 Senior Planner, David Gonzales, gave brief explanation of request stating the applicant is
354 requesting an amendment to the site plan is required due to the proposed building exceeding
355 50% of the size of the existing building. The applicant is proposing the new facility to be
356 constructed with 100% metal panels on the exterior. This will require approval of an exception
357 to the exterior material requirements and has been added as a condition of approval. The
358 property is a 2.02-acre parcel of land that is zoned Heavy Commercial District and is addressed
359 as 496 National Drive. The proposed storage facility is permitted by right on the subject
360 property. The existing site has a total of 12 parking spaces and requires one additional space.
361 The applicant is requesting a variance to allow for the 12 existing spaces rather than provide an
362 additional space due to the buildings' use as a storage facility. The applicant has stated that the
363 owner is not expanding their existing work force, which eliminates the need for the additional
364 parking space. This variance has also been included as a condition of approval.
365

366 Mr. Gonzales went on to add that aside from the exterior material exceptions, the variance to the
367 parking standards, and the conditions listed in the recommendations shown in the
368 Commissioners report, the submitted site plan and building elevations are in substantial
369 compliance with the technical requirements contained within the Unified Development Code.
370
371
372

373 Mr. Gonzales stated the applicant is present and is available for questions.

374
375 Vice-Chairman Lyons asked the applicant to come forward.

376
377 James Meade
378 2965 Misty Ridge Lane
379 Rockwall, TX

380
381 Mr. Meade came forward and stated he needs additional storage space and is the reason for his
382 request. The building will not have electricity and will only be used for storage. He does not plan
383 on hiring any additional employees.

384
385 Vice-Chairman Lyons opened for any discussion or questions from the Commission.

386
387 Vice-Chairman Lyons made a motion to approve the item with staff recommendations.
388 Commissioner Fishman seconded the motion which passed by a vote of 6-0, with Chairman
389 Renfro absent.

390
391 10. SP2016-017
392 Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended
393 site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract
394 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned
395 Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District,
396 located on the north side of John King Boulevard east of the intersection of John King Boulevard and
397 SH-205, and take any action necessary.

398
399 Senior Planner, David Gonzales, gave brief explanation of request stating that the applicant is
400 requesting approval of an amended site plan for the purpose of revising the approved elevations
401 by reducing the 25,433 sq. ft. building to a 16,839 sq. ft. building. The applicant will be modifying
402 the exterior appearance of the rear east elevation by reducing the massing of the tower elements
403 and by changing the roof to slope towards the rear of the property for drainage purposes. Also,
404 the applicant is proposing to change the front (west) elevation by replacing the standing seam
405 metal roof element atop the facility with a stucco parapet wall. If approved, the site plan will
406 indicate the 6,000 sq. ft. vacated area as future expansion of the Church facility.

407
408 Mr. Gonzales went on to state the Architectural Review Board met with the applicant two weeks
409 ago at the previous meeting and discussed the elevations they had submitted on the original site
410 plan and this evening met with the ARB again with some changes and the Board gave a little
411 more direction although they like what was brought in they would like to see some minor
412 changes and the applicant has agreed to what the ARB is recommending. The ARB wants the
413 stone on the north and south elevations to wrap around, that way it blends in and they also want
414 symmetry as shown on the previous elevations that were approved. The applicant will be making
415 those adjustments. Since there are changes to the horizontal articulation from the originally
416 approved site plan that both Planning and Zoning Commission and City Council approved it will
417 require the horizontal articulation to be approved for them to move forward. Approval is for both
418 to amend the site plan and for the variance to the horizontal articulation. They will send changes
419 to staff if it requires ARB to review they can do so.

420
421 Mr. Gonzales stated the applicant was present and available for questions as well as staff.

422
423 Vice-Chairman Lyons asked for discussion or questions from the Commission for staff.

424
425 Commissioner Logan asked when site plan was approved a year ago was there was a variance
426 that was approved for natural vegetation landscaping rather than fencing. Mr. Gonzales stated
427 that was correct the applicant had requested to use live vegetation to screen and that was
428 approved and those trees have since been planted and are now providing some screening along
429 that rear side that face the properties of Breezy Hill.

430
431 Vice-Chairman Lyons asked the applicant to come forward.

432
433
434

435 Rex Walker
436 2105 Berkdale
437 Rockwall, TX
438

439 Mr. Walker came forward and stated that due to financial restraints they had to do the building in
440 two phases instead of how it was originally proposed building the gymnasium center at a future
441 date. He stated they want to have a nice building that will be nice for the community.
442

443 Vice-Chairman Lyons brought the item back to the Commission for discussion or questions. No
444 further questions or discussion took place for this item
445

446 Vice-Chairman Lyons made motion to approve the item with staff recommendations.
447 Commissioner Logan seconded the motion which passed by a vote of 6-0, with Chairman Renfro
448 absent.
449

450
451 VI. DISCUSSION ITEMS
452

453 11. Director's Report of post Council meeting outcomes of Planning & Zoning cases.
454

- 455 ✓ P2016-036: Final Plat for Lot 1, Block A, Service King Addition [Approved]
- 456 ✓ P2016-037: Amending Plat for Lakeview Summit, Phase IV [Approved]
- 457 ✓ Z2016-022: SUP for SPR Packaging (2nd Reading) [Approved]
- 458 ✓ Z2016-025: Harbor Urban Center Condominiums (1st Reading) [Approved]
- 459 ✓ Z2016-027: Zoning Amendment to Article V of the UDC (2nd Reading) [Approved]

460
461 Planning Director, Ryan Miller, provided a brief update about the outcome of the above
462 referenced case at the City Council meeting. No discussion took place concerning this agenda
463 item.
464

465 VII. ADJOURNMENT
466

467 The meeting adjourned at 7.08 p.m.
468
469

470 VIII. TRAINING SESSION
471

472 12. *Planning and Zoning Commission Training Session*

473 A work session will be held in the City Council meeting room immediately following the adjournment of
474 the September 13, 2016 Planning and Zoning Commission work session meeting. The agenda for the
475 training session will include a presentation from staff over Planned Development District 32 (PD-32).
476
477

478
479 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL,

480 Texas, this _____ day of _____, 2016.
481

482
483 _____
484 Craig Renfro, Chairman
485

486 Attest:
487

488 _____
489 Laura Morales, Planning Coordinator
490

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 09/27/2016

APPLICANT: Greg Helsel, *Spiars Engineering*

AGENDA ITEM: **P2016-042** (Preserve Addition Phase 1 – *Amended Plat*)

SUMMARY:

Discuss and consider a request by Greg Helsel of Spiars Engineering on behalf of the owner Will Shaddock of Master Developers-SNB, LLC for the approval of an amended plat for Phase 1 of the Preserve Subdivision, containing 132 single-family residential lots on a 52.545-acre tract of land identified as the Preserve, Phase 1 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single Family 10 (SF-10) District land uses, located at the southeast at corner of the intersection of Highland Drive and East Fork Drive, and take any action necessary.

COMMENTS:

- The objective of this request is to amend the final plat by correcting the side yard set-back for Lot 11, Block A from 25-feet to 15-feet. Ordinance No. 01-27 (PD-41) area requirements allow for a single-family lot to have a minimum side yard set-back (where the side yard abuts a street) to have a minimum set-back of 15-feet.
- The property is zoned Planned Development District 41 (PD-41), has an underlying zoning of Single Family 10 (SF-10) District for residential land uses, and is located at the southeast corner of the intersection of Highland Drive and East Fork Drive.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions listed in the Recommendations section below.
- With the exception of the items listed in the Recommendation section of this case memo, this amending plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the request for the amending plat, staff would recommend the following conditions of approval:

- 1) All the technical comments from the Planning, Engineering, and Fire Departments shall be addressed prior to the filing of this amended plat.
- 2) Any construction resulting from the approval of this amended plat shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



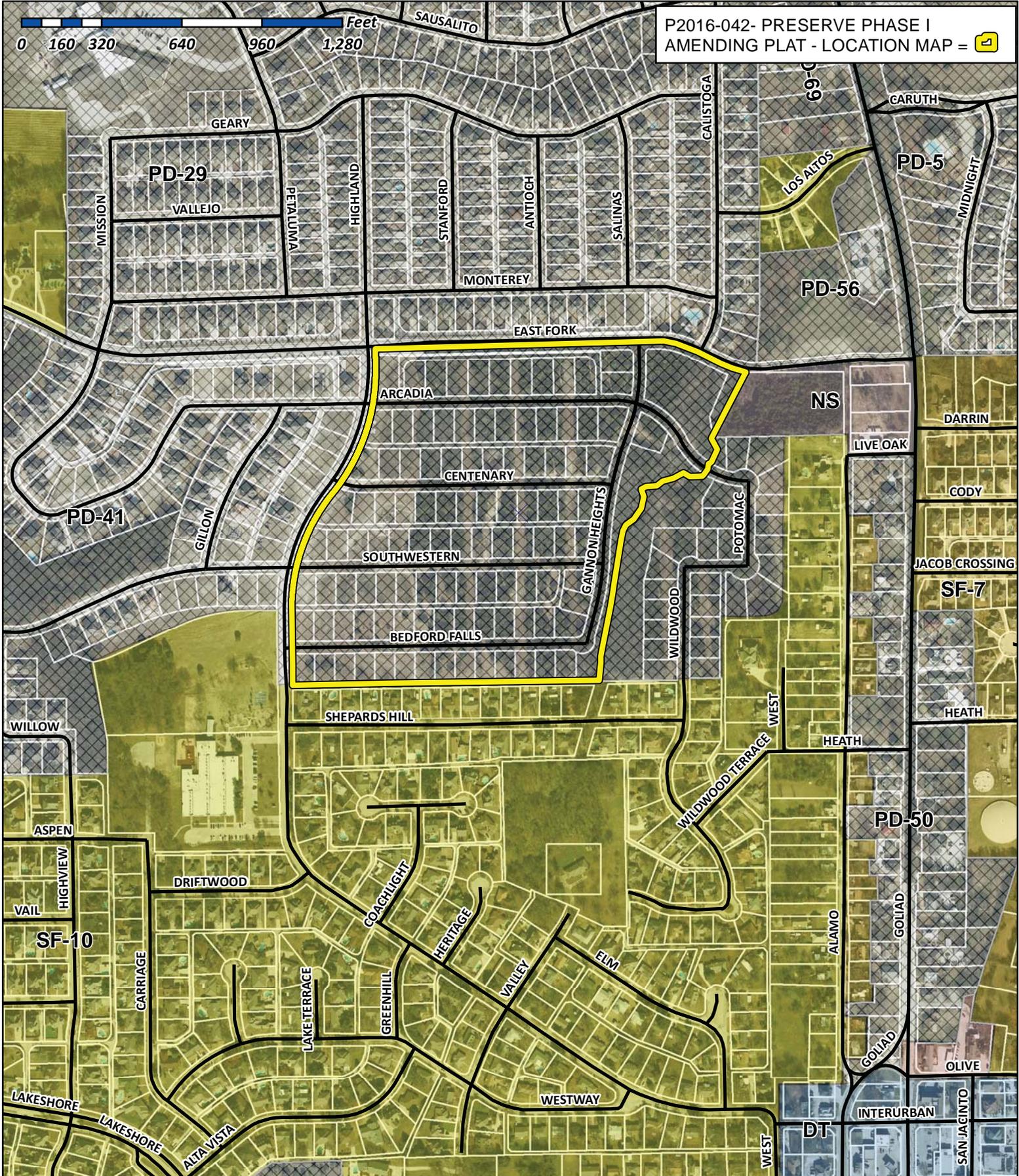
Project Number P2016-042	Owner MASTER, DEVELOPERS SNB LLC	Applied 9/16/2016 LM
Project Name Preserve Phase I	Applicant SPIARS ENGINEERING	Approved
Type PLAT		Closed
Subtype AMENDING		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address EAST FORK DR	City, State Zip ,	Zoning
-------------------------------------	-----------------------------	---------------

Subdivision NORTHSHORE PH 1	Tract 26-1	Block	Lot No 26-1	Parcel No 0124-0000-0026-01-OR	General Plan
---------------------------------------	----------------------	--------------	-----------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
ENGINEERING (9/20/2016 3:34 PM AW) Add note on plat "All drainage/detention systems to be maintained, repaired, and replaced by HOA"	Amy Williams	9/16/2016	9/23/2016	9/20/2016	4	COMMENTS	See Comment
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	David Gonzales	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 09.22.2016						
<p>Discuss and consider a request by Greg Helsel of Spiars Engineering on behalf of the owner Will Shaddock of Master Developers-SNB, LLC for the approval of an amended plat for Phase 1 of the Preserve Subdivision, containing 132 single-family residential lots on a 52.545-acre tract of land identified as the Preserve, Phase 1 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single Family 10 (SF-10) District land uses, located at the southeast at corner of the intersection of Highland Drive and East Fork Drive, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide two large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:</p> <ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-042" on the lower right corner on all pages of the revised plat. 3. Provide Standard Signature Block (P&Z and City Council) on last page. 4. Notary Certificate is not necessary when plat is stamped by Surveyor. <p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **</p> <p>Meeting Dates to Attend (Since this plat request will be placed on the Consent Agenda for both the Planning and City Council meetings, it is not necessary for you to attend; however, staff would recommend that someone be present for the meetings. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Planning - Consent Agenda: September 27, 2016 (6:00 p.m.)</p> <p>City Council - Consent Agenda: October 3, 2016 (6:00 p.m.)</p>						

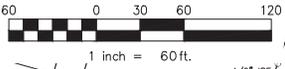
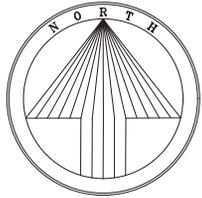


City of Rockwall

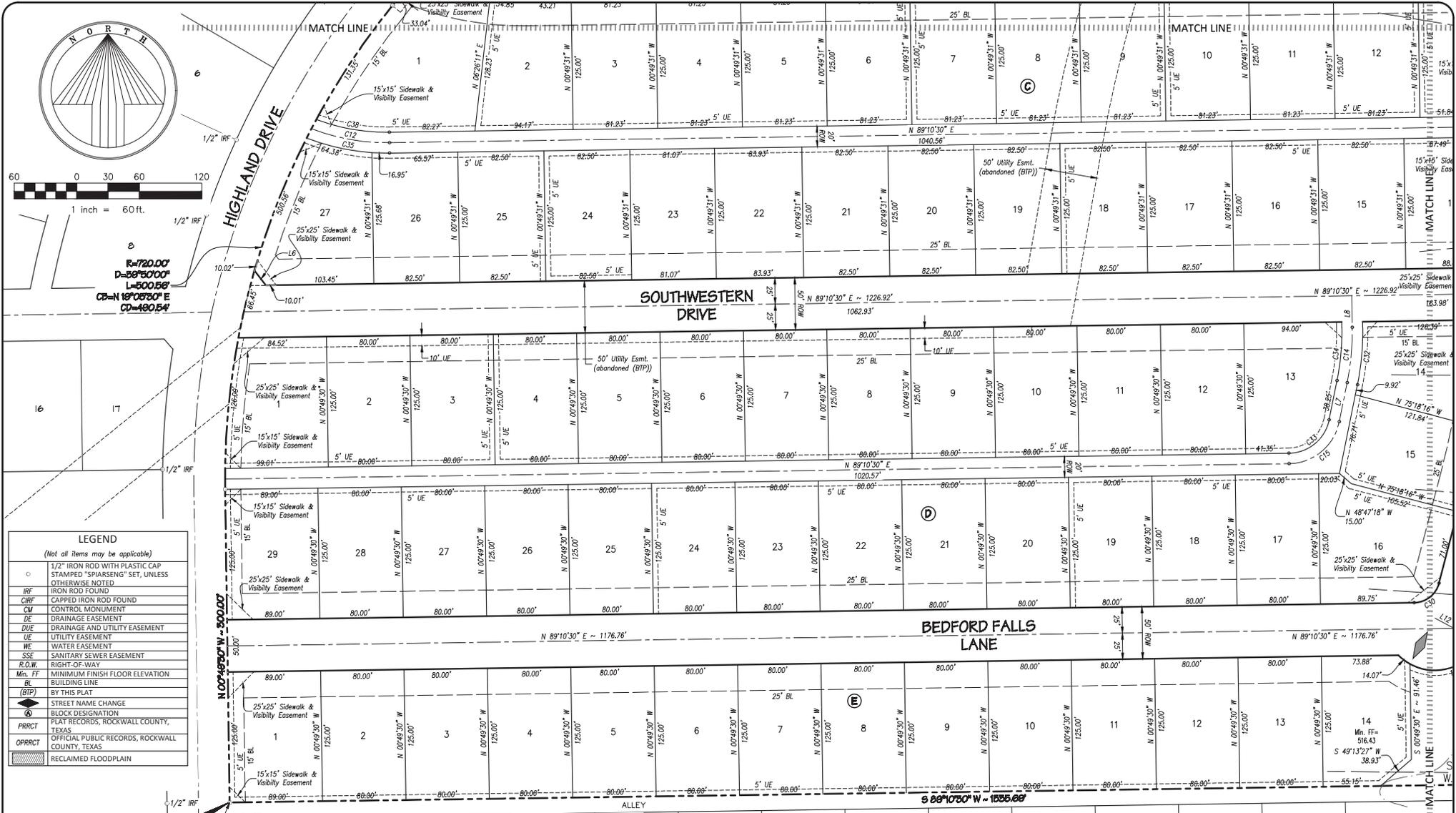
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



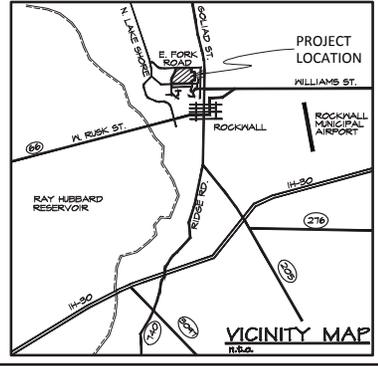
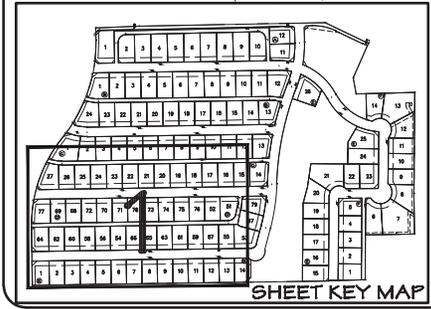


$R=720.00'$
 $D=26^{\circ}50'00''$
 $L=600.66'$
 $CB=N 19^{\circ}08'30'' E$
 $CD=490.54'$



LEGEND	
(Not all items may be applicable)	
	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSEN" SET, UNLESS OTHERWISE NOTED
	IRF IRON ROD FOUND
	CRIF CAPPED IRON ROD FOUND
	CM CONTROL MONUMENT
	DE DRAINAGE EASEMENT
	DUE DRAINAGE AND UTILITY EASEMENT
	UE UTILITY EASEMENT
	WE WATER EASEMENT
	SSE SANITARY SEWER EASEMENT
	R.O.W. RIGHT-OF-WAY
	M.F.F. BL MINIMUM FINISH FLOOR ELEVATION BUILDING LINE
	(BTP) BY THIS PLAT
	STREET NAME CHANGE
	BLOCK DESIGNATION
	PRRCT PLAT RECORDS, ROCKWALL COUNTY, TEXAS
	OPRRECT OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
	RECLAIMED FLOODPLAIN

POINT OF BEGINNING

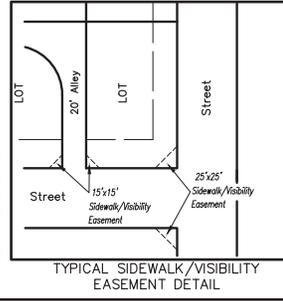


NORTHSHORE PHASE ONE

Cab. A, Sld. 181 PRRCT

Plat Amendment Purpose:
 Revise side yard setback (adjacent to street) of Lot II, Block A from 25' to 15' per zoning ordinance.

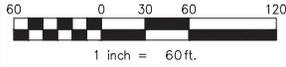
- NOTES:
1. Basis of bearing derived from the Texas WDS RTK Network-Texas State Plane Coordinate System, NAD83, North Central Zone (4202).
 2. Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 3. The 50' Lone Star Gas Co. Easement recorded in Vol. 25, Pg. 685, Vol. 25, Pg. 646 and modified by Partial Release recorded Vol. 103, Pg. 369 has been completely abandoned from this site by Doc. No. 2016000002276



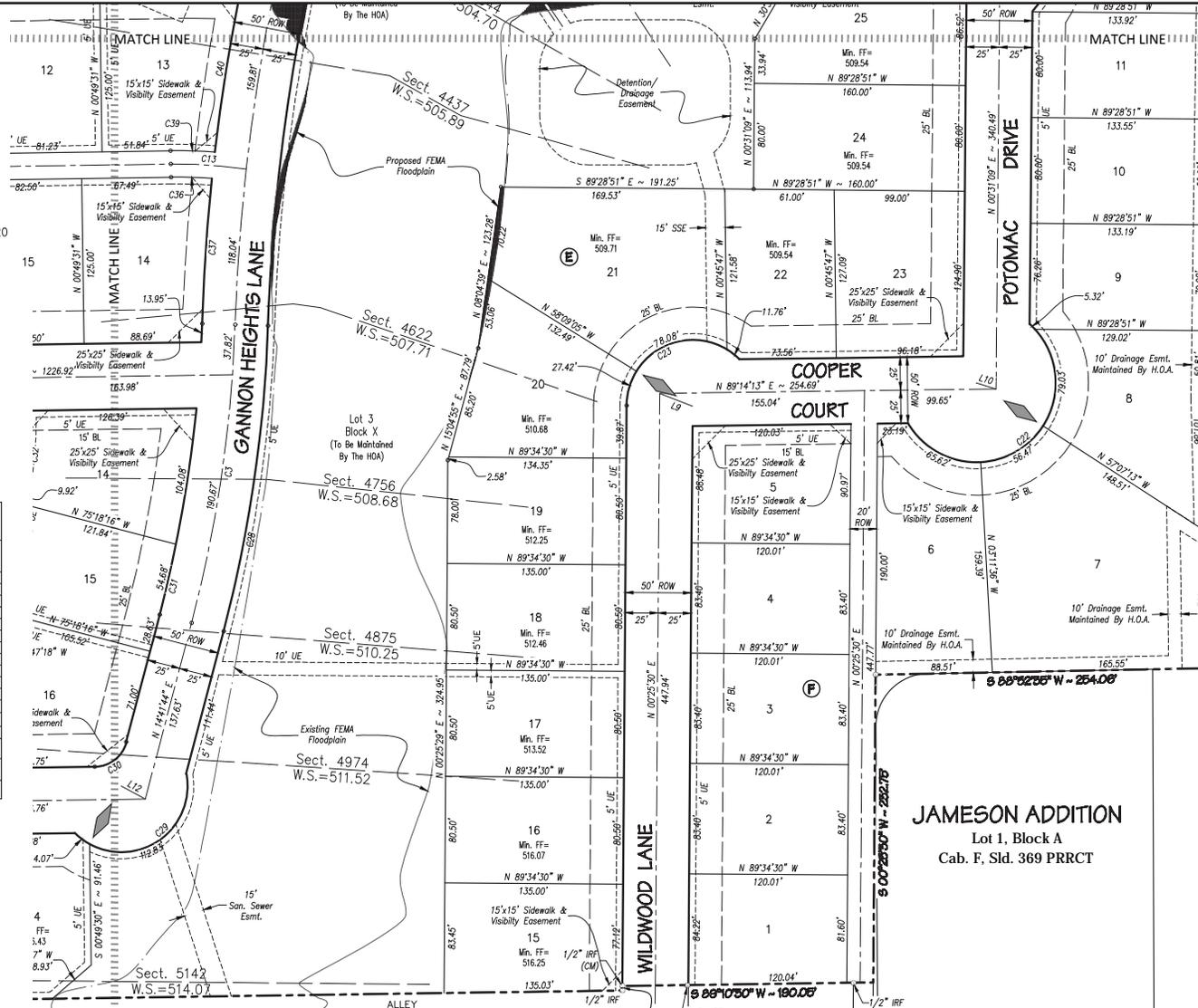
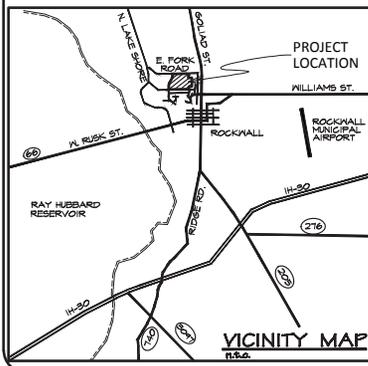
CASE NO. P2016-XXX
AMENDING PLAT
THE PRESERVE PHASE I
 Being an amending plat of THE PRESERVE PHASE I recorded in Cabinet I, Page 325, Plat Records, Rockwall County, Texas
 A. HANNA SURVEY, ABSTRACT NO. 98
 J.H.B. JONES SURVEY, ABSTRACT NO. 124
 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ENGINEER / SURVEYOR
 Spiars Engineering, Inc.
 765 Custer Road, Suite 100
 Plano, TX 75075
 Telephone: (972) 422-0077
 TBPE No. F-2121
 Contact: Greg Helsel
 Scale: 1" = 60' September 14, 2016 SEI Job No. 13-141

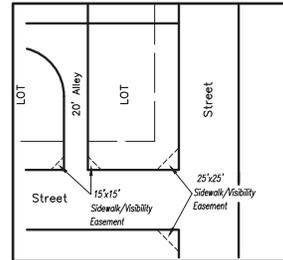
OWNER / APPLICANT
 MASTER DEVELOPERS-SNB, LLC
 2400 Dallas Parkway, Suite 560
 Plano, Texas 75093
 Telephone: (972) 985-5505
 Contact: Will Shaddock



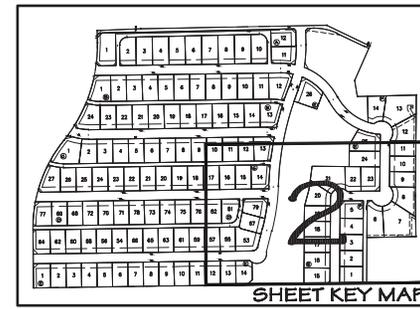
LEGEND	
(Not all items may be applicable)	
	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPARSING" SET, UNLESS OTHERWISE NOTED
	IRON ROD FOUND
	CAPPED IRON ROD FOUND
	CONTROL MONUMENT
	DE DRAINAGE EASEMENT
	DUE DRAINAGE AND UTILITY EASEMENT
	UE UTILITY EASEMENT
	WE WATER EASEMENT
	SSE SANITARY SEWER EASEMENT
	R.O.W. RIGHT-OF-WAY
	Min. FF MINIMUM FINISH FLOOR ELEVATION
	BL BUILDING LINE
	BD BLOCK DESIGNATION
	PRRCT PLAT RECORDS, ROCKWALL COUNTY, TEXAS
	OPRCT OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
	RECLAIMED FLOODPLAIN



GARNER ADDITION
Unrecorded addition

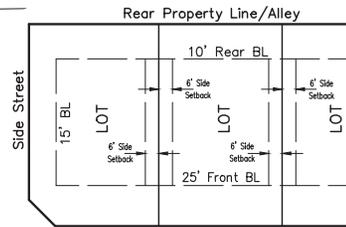


TYPICAL SIDEWALK/VISIBILITY EASEMENT DETAIL



SHEET KEY MAP

JAMESON ADDITION
Lot 1, Block A
Cab. F, Sld. 369 PRRCT



FRONT PROPERTY LINE/STREET
TYPICAL LOT DETAILS
ON 50' R.O.W. (w/ALLEY ACCESS)

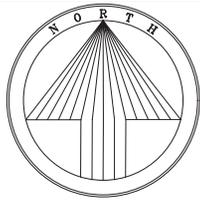
- NOTES:
- Basis of bearing derived from the Texas WDS RTK Network-Texas State Plane Coordinate System, NAD83, North Central Zone (4202).
 - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - The 50' Lone Star Gas Co. Easement recorded in Vol. 25, Pg. 685, Vol. 25, Pg. 646 and modified by Partial Release recorded Vol. 103, Pg. 369 has been completely abandoned from this site by Doc. No. 2016000002276

Plat Amendment Purpose:
Revise side yard setback (adjacent to street) of Lot 1, Block A from 25' to 15' per zoning ordinance.

CASE NO. P2016-XXX
AMENDING PLAT
THE PRESERVE PHASE I
Being an amending plat of THE PRESERVE PHASE I recorded in Cabinet I, Page 325, Plat Records, Rockwall County, Texas
A. HANNA SURVEY, ABSTRACT NO. 98
J.H.B. JONES SURVEY, ABSTRACT NO. 124
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ENGINEER / SURVEYOR
Spinars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg Helsel

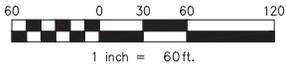
OWNER / APPLICANT
MASTER DEVELOPERS-SNB, LLC
2400 Dallas Parkway, Suite 560
Plano, Texas 75093
Telephone (972) 985-5505
Contact: Will Shaddock



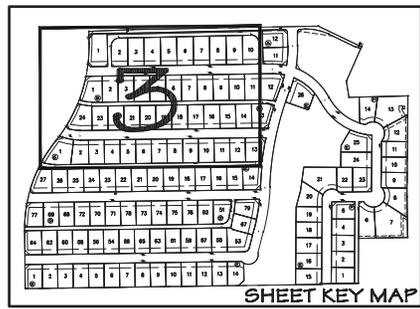
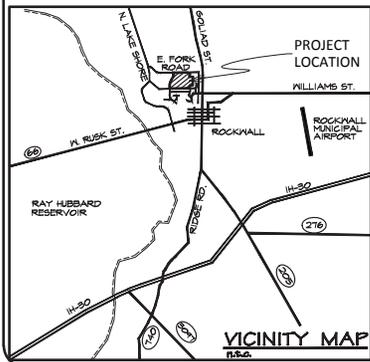
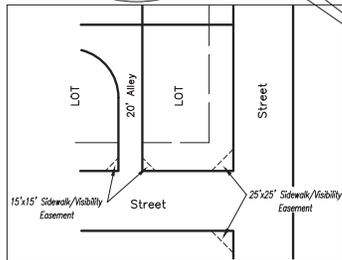
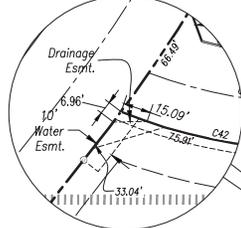
NOTES:

1. Basis of bearing derived from the Texas WDS RTK Network-Texas State Plane Coordinate System, NAD83, North Central Zone (4202).
2. Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
3. The 50' Lone Star Gas Co. Easement recorded in Vol. 25, Pg. 665, Vol. 25, Pg. 646 and modified by Partial Release recorded Vol. 103, Pg. 369 has been completely abandoned from this site by Doc. No. 2016000002276

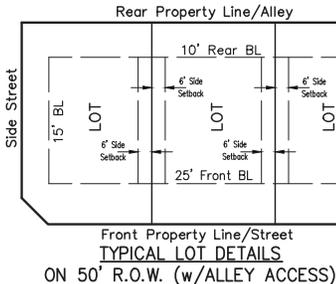
Plot Amendment Purpose:
Revise side yard setback (adjacent to street) of Lot 11, Block A from 25' to 15' per zoning ordinance.



Line #	Bearing	Distance
L1	S 43°48'30" W	14.17'
L2	S 46°11'30" E	14.12'
L3	N 43°48'51" E	14.17'
L4	S 41°49'49" E	19.68'
L5	N 20°07'01" W	18.32'
L6	N 37°40'12" W	17.96'
L7	N 11°24'29" E	38.25'
L8	N 00°49'30" W	30.24'
L9	N 68°47'18" W	26.74'
L10	S 72°56'25" E	15.65'
L11	S 53°56'32" W	24.90'
L12	N 61°59'50" W	20.74'



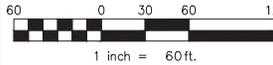
LEGEND	
(Symbol)	(Not all items may be applicable)
IRF	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPRINGS" SET, UNLESS OTHERWISE NOTED
CRF	CAPPED IRON ROD FOUND
CM	CONTROL MONUMENT
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
R.O.W.	RIGHT-OF-WAY
Min. FF	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE
(Symbol)	BY THIS PLAT
(Symbol)	STREET NAME CHANGE
(Symbol)	BLOCK DESIGNATION
PRRCT	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
OPRCT	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
(Symbol)	RECLAIMED FLOODPLAIN



CASE NO. P2016-XXX
AMENDING PLAT
THE PRESERVE PHASE 1
Being an amending plat of THE PRESERVE PHASE I recorded in Cabinet I, Page 325, Plat Records, Rockwall County, Texas A. HANNA SURVEY, ABSTRACT NO. 98 J.H.B. JONES SURVEY, ABSTRACT NO. 124 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

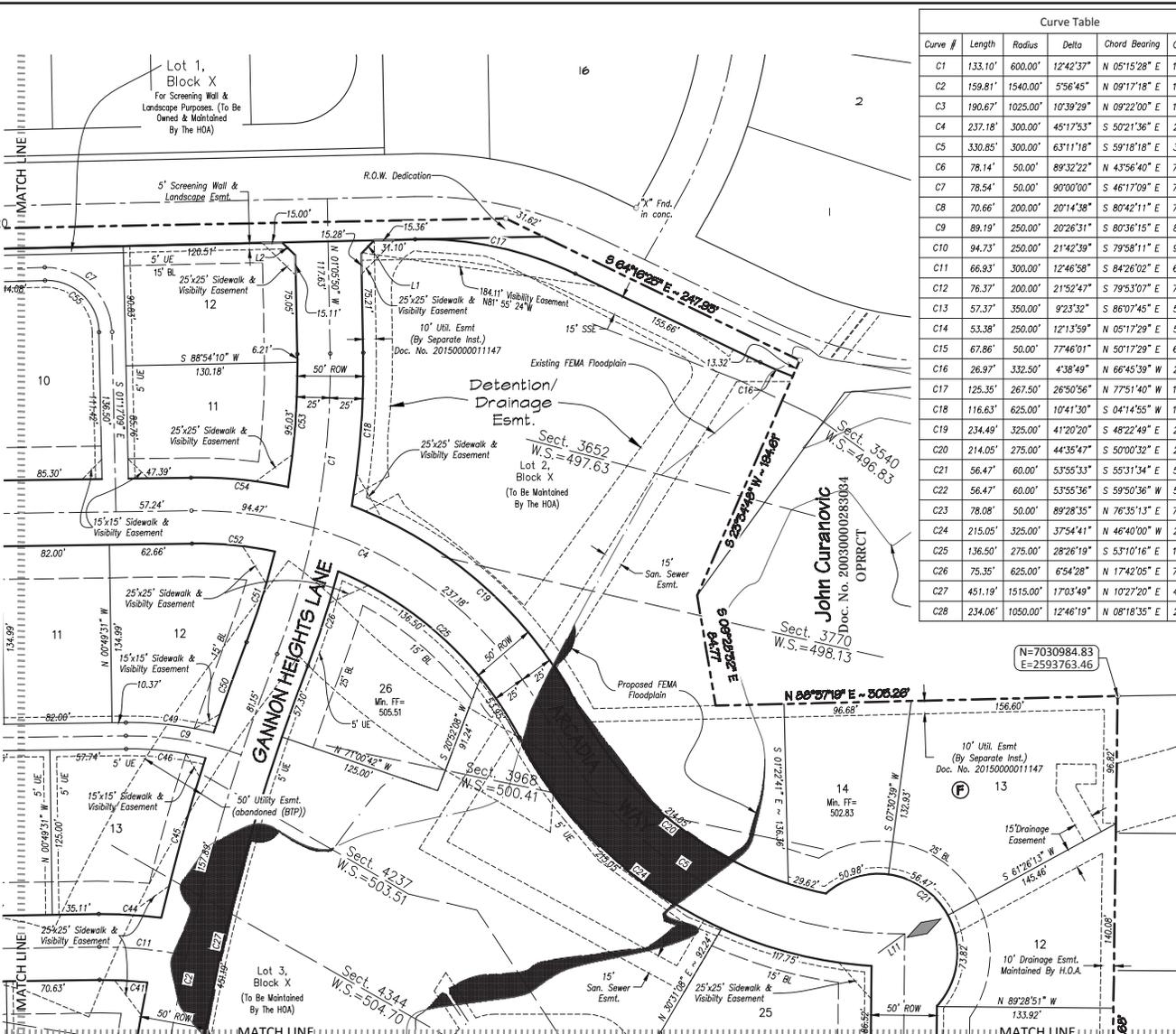
ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg Helsel

OWNER / APPLICANT
MASTER DEVELOPERS-SNB, LLC
2400 Dallas Parkway, Suite 560
Plano, Texas 75093
Telephone (972) 985-5505
Contact: Will Shaddock



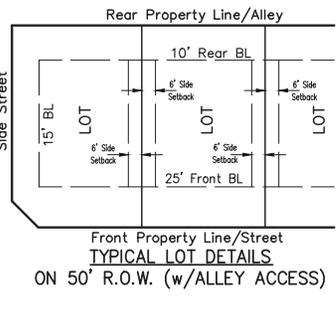
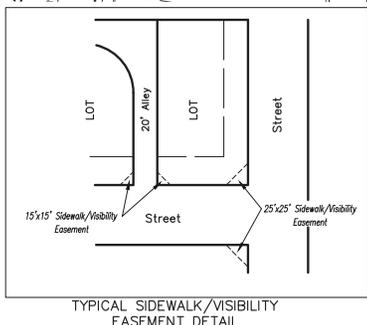
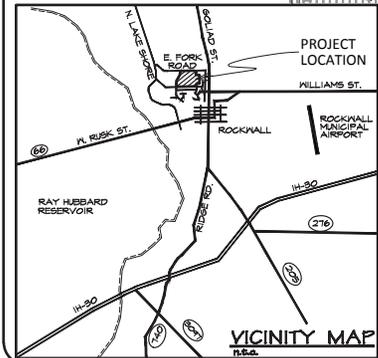
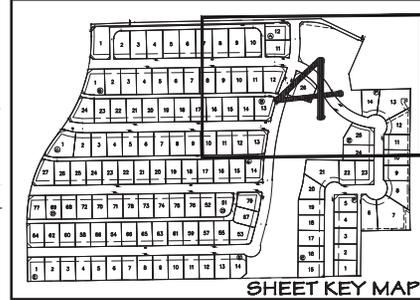
- NOTES:
1. Basis of bearing derived from the Texas WDS RTK Network—Texas State Plane Coordinate System, NAD83, North Central Zone (4202).
 2. Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 3. The 50' Lone Star Gas Co. Easement recorded in Vol. 25, Pg. 685, Vol. 25, Pg. 646 and modified by Partial Release recorded Vol. 103, Pg. 369 has been completely abandoned from this site by Doc. No. 2016000002276

LEGEND	
(Not all items may be applicable)	
○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSENS" SET, UNLESS OTHERWISE NOTED
○	IRON ROD FOUND
○	CAPPED IRON ROD FOUND
□	CONTROL MONUMENT
—	DRAINAGE EASEMENT
—	DRAINAGE AND UTILITY EASEMENT
—	UTILITY EASEMENT
—	WATER EASEMENT
—	SANITARY SEWER EASEMENT
—	RIGHT-OF-WAY
Min. FF	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE
(BTP)	BY THIS PLAT
⊙	STREET NAME CHANGE
⊙	BLOCK DESIGNATION
PRRCT	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
OPRRCCT	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
▨	RECLAIMED FLOODPLAIN



Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Dist.
C1	133.10'	600.00'	12°42'37"	N 05°15'28" E	132.83'
C2	159.81'	1540.00'	5°56'45"	N 09°17'18" E	159.74'
C3	190.67'	1025.00'	10°39'29"	N 09°22'00" E	190.39'
C4	237.18'	300.00'	45°17'53"	S 50°21'36" E	231.05'
C5	330.85'	300.00'	63°11'18"	S 59°18'18" E	314.34'
C6	78.14'	50.00'	89°32'22"	N 43°56'40" E	70.43'
C7	78.54'	50.00'	90°00'00"	S 46°17'09" E	70.71'
C8	70.66'	200.00'	20°14'38"	S 80°42'11" E	70.30'
C9	89.19'	250.00'	20°26'31"	S 80°36'15" E	88.72'
C10	94.73'	250.00'	21°42'39"	S 79°58'11" E	94.17'
C11	66.93'	300.00'	12°46'58"	S 84°26'02" E	66.79'
C12	76.37'	200.00'	21°52'47"	S 79°53'07" E	75.91'
C13	57.37'	350.00'	9°23'32"	S 86°07'45" E	57.31'
C14	53.38'	250.00'	12°13'59"	N 05°17'29" E	53.28'
C15	67.86'	50.00'	77°46'01"	N 50°17'29" E	62.77'
C16	26.97'	332.50'	4°38'49"	N 66°45'39" W	26.96'
C17	126.35'	267.50'	26°50'56"	N 77°51'40" W	124.21'
C18	116.63'	625.00'	10°41'30"	S 04°14'55" W	116.46'
C19	234.49'	325.00'	41°20'20"	S 48°22'49" E	229.43'
C20	214.05'	275.00'	44°35'47"	S 50°00'32" E	208.68'
C21	56.47'	60.00'	53°55'33"	S 55°31'34" E	54.41'
C22	56.47'	60.00'	53°55'36"	S 59°50'36" W	54.41'
C23	78.08'	50.00'	89°28'35"	N 76°35'13" E	70.39'
C24	215.05'	325.00'	37°54'41"	N 46°40'00" W	211.14'
C25	136.50'	275.00'	28°26'19"	S 53°10'16" E	135.10'
C26	75.35'	625.00'	6°54'28"	N 17°42'05" E	75.31'
C27	451.19'	1515.00'	17°03'49"	N 10°27'20" E	449.53'
C28	234.06'	1050.00'	12°46'19"	N 08°18'35" E	233.57'

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Dist.
C29	112.83'	50.00'	12°91'73"	N 53°59'00" E	90.37'
C30	32.50'	25.00'	74°28'45"	S 51°56'07" W	30.26'
C31	54.68'	1000.00'	3707'59"	S 137°07'45" W	54.68'
C32	55.51'	260.00'	12°13'59"	S 05°17'29" W	55.41'
C33	54.29'	40.00'	77°46'01"	N 50°17'29" E	50.22'
C34	51.24'	240.00'	12°13'59"	N 05°17'29" E	51.14'
C35	64.38'	210.00'	17°33'54"	S 77°25'09" E	64.13'
C36	31.15'	340.00'	5°14'59"	S 88°12'01" E	31.14'
C37	110.04'	1565.00'	4°01'44"	S 03°56'17" W	110.02'
C38	71.34'	190.00'	21°30'45"	N 80°04'08" W	70.92'
C39	33.65'	360.00'	5°21'18"	N 88°08'51" W	33.63'
C40	126.05'	1565.00'	4°36'33"	S 08°59'33" W	126.01'
C41	36.40'	275.00'	7°35'02"	S 87°02'00" E	36.37'
C42	75.91'	275.00'	15°49'00"	S 75°39'20" E	75.67'
C43	64.53'	225.00'	16°25'59"	N 82°36'31" W	64.31'
C44	47.79'	325.00'	8°25'31"	N 86°36'45" W	47.75'
C45	125.89'	1565.00'	4°36'33"	S 15°26'34" W	125.86'
C46	60.90'	240.00'	14°32'21"	S 83°33'20" E	60.74'
C47	74.66'	210.00'	20°22'08"	S 80°38'26" E	74.26'
C48	66.80'	190.00'	20°08'41"	N 80°45'10" W	66.46'
C49	67.51'	260.00'	14°52'41"	N 83°23'10" W	67.33'
C50	73.04'	1565.00'	2°40'26"	S 19°49'06" W	73.03'
C51	72.07'	575.00'	7°10'52"	S 17°33'54" W	72.02'
C52	63.46'	275.00'	13°13'20"	S 84°27'01" E	63.32'
C53	95.03'	575.00'	9°28'10"	S 04°15'20" W	94.92'
C54	74.30'	325.00'	13°05'56"	N 84°29'35" W	74.14'
C55	62.83'	40.00'	90°00'00"	S 46°17'09" E	56.57'
C56	62.51'	40.00'	89°32'22"	N 43°56'40" E	56.34'



Plat Amendment Purpose:
 Revise side yard setback (adjacent to street) of Lot 11, Block A from 25' to 15' per zoning ordinance.

CASE NO. P2016-XXX
AMENDING PLAT
THE PRESERVE PHASE 1
 Being an amending plat of THE PRESERVE PHASE I recorded in Cabinet I, Page 325, Plat Records, Rockwall County, Texas
 A. HANNA SURVEY, ABSTRACT NO. 98
 J.H.B. JONES SURVEY, ABSTRACT NO. 124
 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ENGINEER / SURVEYOR
 Spiars Engineering, Inc.
 765 Custer Road, Suite 100
 Plano, TX 75075
 Telephone: (972) 422-0077
 TBP# No. 71211
 Contact: Greg Helsel

OWNER / APPLICANT
 MASTER DEVELOPERS-SNB, LLC
 2400 Dallas Parkway, Suite 560
 Plano, Texas 75093
 Telephone (972) 985-5505
 Contact: Will Shaddock

STATE OF TEXAS §
COUNTY OF ROCKWALL §

OWNER'S CERTIFICATE

WHEREAS, MASTER DEVELOPERS SNB, LCC is the owner of a tract of land situated in the J. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, the subject tract being all of The Preserve Phase I, an addition recorded in Cabinet I, Slide 325 of the Plat Records, Rockwall County, Texas (PRRCT), the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "SPIARSENG" set at the intersection of the east line of Highland Drive, created by the final plat of The Preserve Phase III, an addition recorded in Cabinet G, Slide 193 PRRCT, with the south line of East Fork Drive, a variable width public right-of-way, from which an "X" found in concrete for the southeast corner of Lot 24, Block Q, The Preserve Phase III, bears S 19°52'51" W, 195.40 feet;

THENCE N 87°40'12" E, 225.21 feet along the south line of East Fork Drive to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE N 88°54'10" E, 965.12 feet continuing along the south line of East Fork Drive to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE S 64°16'25" E, 247.93 feet continuing along the south line of East Fork Drive to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE S 23°34'48" W, 194.61 feet departing the south line thereof to a point for corner, and being a westerly corner of a tract conveyed to John Curanovic, recorded in Instrument No. 20030000283034 OPRRCT;

THENCE S 09°28'32" E, 84.77 feet along the west line thereof to a point for corner;

THENCE N 88°37'19" E, 305.26 feet along the south line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the northwest corner of the Garner Addition, an unrecorded addition to the City of Rockwall;

THENCE S 00°46'50" W, 527.68 feet along the west line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE S 01°28'07" E, 204.50 feet continuing along the west line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE S 88°52'35" W, passing along the north line of North West Street and Lot 1, Block A, Jameson Addition, an addition recorded in Cabinet F, Page 369 PRRCT, and along the north line of a right-of-way dedication created by said plat, total distance of 254.06 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE S 00°25'30" W, 232.75 feet along the west line of said right-of-way dedication and Lot 1, Block A, Jameson Addition, to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the northeast corner of Northshore Phase One, an addition recorded in Cabinet A, Slide 181 PRRCT;

THENCE S 89°10'30" W, 190.05 feet along the north line thereof to a 1/2" iron rod found;

THENCE S 00°30'30" W, 3.38 feet continuing along the north line thereof to a 1/2" iron rod found;

THENCE S 89°10'30" W, 1535.69 feet continuing along the north line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set on the east line of Highland Drive;

THENCE along the east line of Highland Drive, the following:

N 00°49'30" W, 300.00 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

Around a tangent curve to the right having a central angle of 39°50'00", a radius of 720.00 feet a chord of N 19°05'30" E - 490.54 feet an arc length of 500.56 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

Around a non-tangent curve to the left having a central angle of 40°05'24", a radius of 780.00 feet, a chord of N 18°57'48" E - 534.70 feet, an arc length of 545.77 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

And N 01°05'10" W, 63.44 feet to the POINT OF BEGINNING with the subject tract containing 2,287,985 square feet or 52.525 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, MASTER DEVELOPERS SNB, LCC, do hereby adopt this plat designating the hereinabove described property as THE PRESERVE PHASE I, an Addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

Witness our hands at _____ County, Texas, this _____ day of _____, 2016.

MASTER DEVELOPERS SNB, LCC

By: _____
William C. Shaddock, Manager

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared William C. Shaddock, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2016.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Rockwall, Texas.

Dated this the _____ day of _____, 2016.

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2016.

Notary Public, State of Texas

CASE NO. P2016-XXXX
AMENDING PLAT
THE PRESERVE PHASE 1
Being an amending plat of THE PRESERVE PHASE I
recorded in Cabinet I, Page 325, Plat Records, Rockwall County, Texas
A. HANNA SURVEY, ABSTRACT NO. 98
J.H.B. JONES SURVEY, ABSTRACT NO. 124
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Note:
Property Owner/HOA Is Responsible For
Maintaining, Repairing And Replacing All
Detention Systems.

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg Helsel

OWNER / APPLICANT
MASTER DEVELOPERS-SNB, LLC
2400 Dallas Parkway, Suite 560
Plano, Texas 75093
Telephone (972) 985-5505
Contact: Will Shaddock

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 09/27/2016

APPLICANT: Greg Wallis, *Mershawn Architects*

AGENDA ITEM: **SP2016-018**; 902 N. Goliad Street (*PD-50*)

SUMMARY:

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Natalee Davenport for the approval of a site plan for the purpose of converting an existing single-family home into an office building on a 0.24-acre parcel of land identified as a part of Lot 1, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 902 N. Goliad Street, and take any action necessary.

BACKGROUND:

The applicant is requesting approval of a Site Plan for the purpose of converting an existing 2,439 sq. ft. single-family home into an office building on a 0.24-acre parcel of land. The proposed *General Office* is a use permitted by right within Planned Development District No. 50 (PD-50). The *subject property* is also within the North Goliad Corridor Overlay (NGC OV) District, has an underlying zoning of Residential Office (RO) District, and is generally located at 902 N. Goliad Street.

The site will incorporate five (5) parking spaces; meeting PD-50's parking standards of 1 space per 500 sq. ft. for a general office use. The *subject property* will have one (1) point of ingress/egress along Heath Street and will share the driveway with the property to the north via a private cross access easement in order to circulate traffic. Also, the site plan indicates the parking spaces to be located behind the front façade of the building (at the rear boundary of the property) meeting the requirements of PD-50 and the RO district.

Although the site has existing trees and shrubs throughout the property, the applicant intends to provide an additional four (4) caliper inch Live Oak near the front of the property line. Aside from the existing nature of the property (building, landscaping, etc.) and the conditions listed in the *Recommendations* section of this report, the submitted site plan and landscape plan are in substantial compliance with the technical requirements contained within Planned Development District No. 50 (PD-50) and the Unified Development Code (UDC).

RECOMMENDATIONS:

The site plan submitted by the applicant meets all the technical criteria stipulated by the UDC, NGC OV, and PD-50. Should the Planning and Zoning Commission choose to approve the applicant's request, then the following conditions of approval should be adopted with this case:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Project Number SP2016-018	Owner NATALEE DAVENPORT	Applied 9/16/2016 LM
Project Name 902 N Goliad	Applicant MERSHAWN ARCHITECTS	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 9/22/2016 DG

Site Address 902 N GOLIAD	City, State Zip ROCKWALL, TX 75087	Zoning
-------------------------------------	--	---------------

Subdivision AUSTIN	Tract PT 1	Block NULL	Lot No PT 1	Parcel No 3070-0160-0004-00-0R	General Plan
------------------------------	----------------------	----------------------	-----------------------	--	---------------------

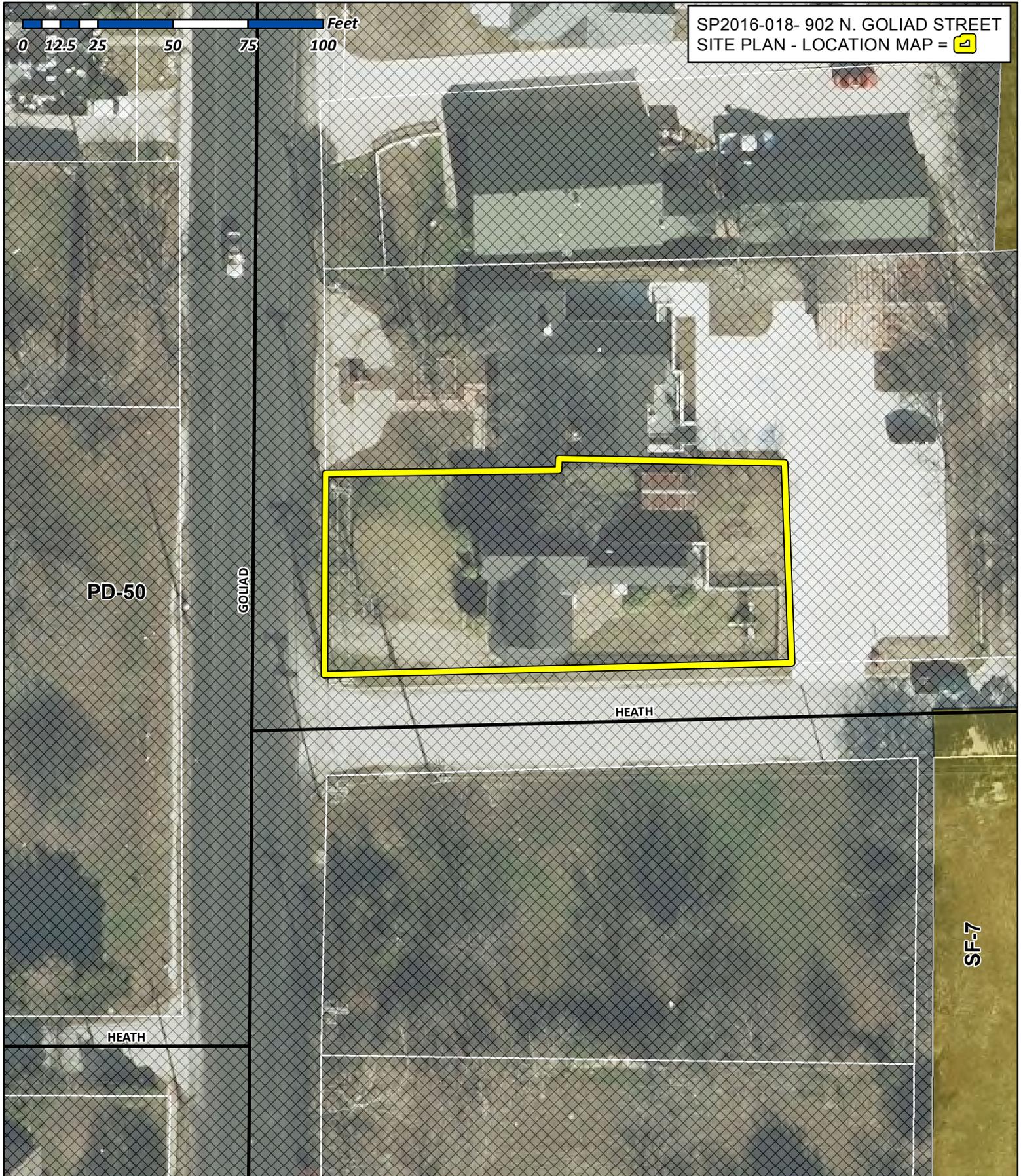
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING (9/21/2016 11:02 AM JA) Accessible parking access aisle for one parking space should be 96" wide.	John Ankrum	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	
ENGINEERING (9/21/2016 8:00 AM AW) Removing access area from front? Need engineering plans prior to construction Paving to be concrete	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comments
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/22/2016 12:06 PM AA) Approved, unobstructed fire department access (fire lanes) shall be provided such that all portions of the exterior of the building shall be within 150-feet (as the hose lays) of a fire lane and/or other approved fire apparatus access roadway. The path of measurement shall be along a minimum of a ten feet (10') wide unobstructed pathway with a maximum of a 5% slope around the external walls of the structure. (Obstructions include AC units, shrubs, trees, gates, or other construction or utilities.) Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided. Show location of fire hydrants. An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the fire department prior to vertical construction. Fire hydrants utilized to meet the requirements of this section shall be available to fire department personnel with no obstructions which obstructions, which cannot be crossed by fire fighters pulling hose lines. Proposed new fire hydrants shall be indicated on the plans. Existing fire hydrants to be considered for the use shall be indicated on the plans. (Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants on public streets are allowed to be considered as available where streets are not provided with median dividers which cannot be crossed by fire fighters pulling hose lines.)						
GIS	Lance Singleton	9/16/2016	9/23/2016			
PLANNING	David Gonzales	9/16/2016	9/23/2016	9/22/2016	6 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 09.22.2016						
<p>Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Natalee Davenport for the approval of a site plan for the purpose of converting an existing single-family home into an office building on a 0.24-acre parcel of land identified as a part of Lot 1, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 902 N. Goliad Street, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required. 2. Label revised site plan documents with "Case No. SP2016-018" at the lower right corner of each plan. <p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend:</p> <p>Planning - Action: September 27, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]</p>						

0 12.5 25 50 75 100 Feet

SP2016-018- 902 N. GOLIAD STREET
SITE PLAN - LOCATION MAP = 



PD-50

GOLIAD

HEATH

HEATH

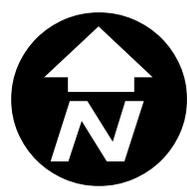
SF-7



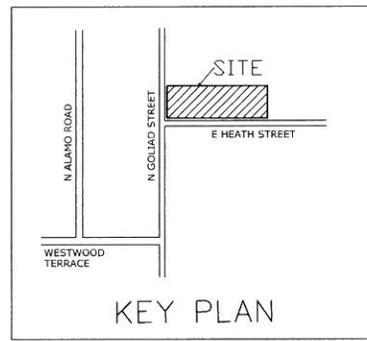
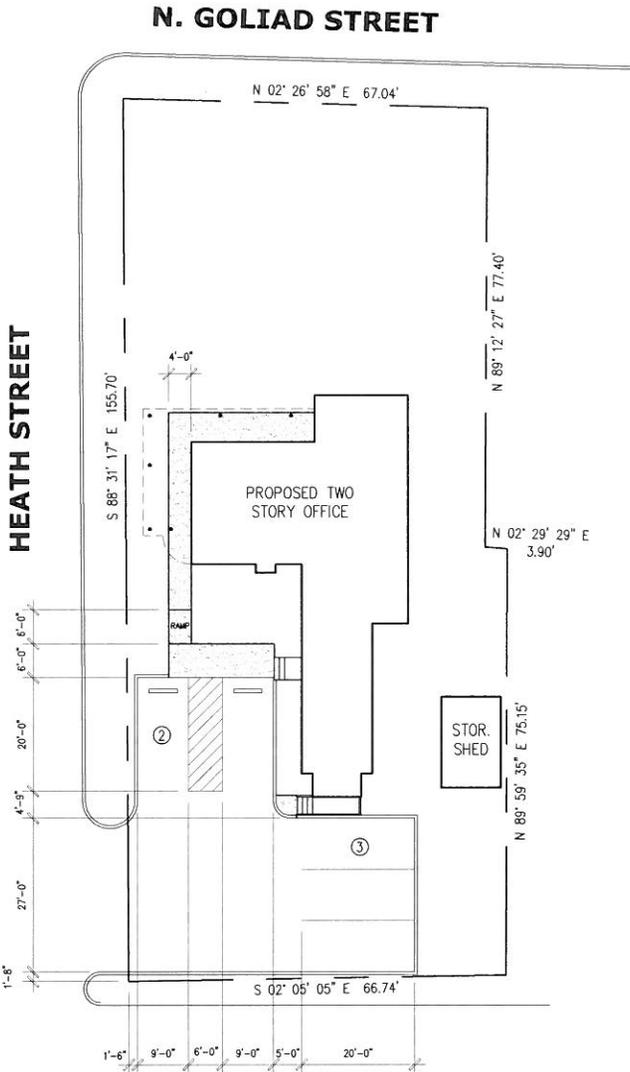
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



W.D. AUSTIN ADDITION
 BEING A 0.24 AC. TRACT OF LAND SITUATED IN THE
 S.S. MCCURRY SURVEY BEING 902 N. GOLIAD ROAD, IN
 THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

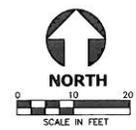
PARKING REQUIREMENTS

- OFFICE 2,439 SF @ 1/500 = 5
- 5 PARKING SPACES REQUIRED
- 1 HANDICAP PARKING SPACE REQUIRED FOR 0-25
- 1 HANDICAP PARKING SPACES PROVIDED

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DIMENSIONS AND DIMENSIONS TO BE MAINTAINED AND ARE NOT INTENDED TO INDICATE SIZE AND EXIST FITTING, OFFSET, OR OTHER APPROPRIATE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND PROVIDE ALL NECESSARY TIES TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY OPENINGS NOTED BY THE CONTRACTOR SHALL BE SUBJECT TO THE ATTENTION OF THE ARCHITECT OR BEFORE BEING MADE TO PROTECT.
4. AFTER BIDS ARE TAINED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS OWNERS RISK.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO PROPER CONSTRUCTION AND MAINTAINING RECORDS. CONTRACTOR SHALL REMOVE ALL DAMAGES FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHAT TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS NEEDED FOR WORKING SYSTEM AS NOTED.

OWNER
NATALEE DAVENPORT
 2105 WATERVIEW PKVY
 RICHARDSON, TEXAS 75080
 214-576-2954



© COPYRIGHT 2016 MERSHAWN ARCHITECTS, INC.
 NO PRINTING OR COPYING IS ALLOWED
 WITHOUT PERMISSION FROM MERSHAWN.

MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
 INSTITUTIONAL RESTAURANTS
 ARCHITECTS
 1000 W. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: 972-242-2001
 FAX: 972-242-2001

No.	Date	Revision	By

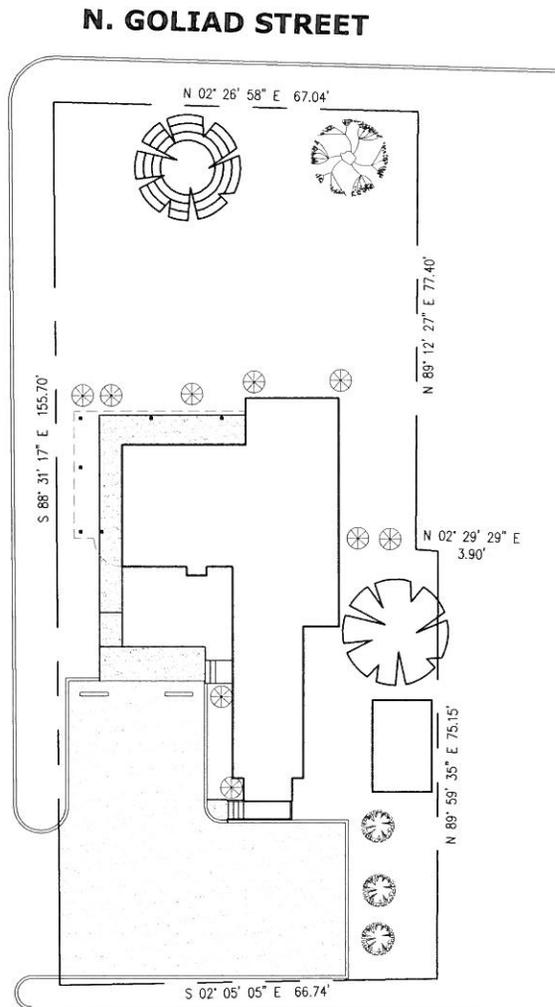
PROPOSED OFFICE
 902 N. GOLIAD ST., ROCKWALL, TEXAS
SITE PLAN

Scale:	1" = 20'-0"
Date:	06/06/16
Project No.:	160021
Designed:	AA
Drawn:	AA
Checked:	MM

A1 OF

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAW ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

HEATH STREET

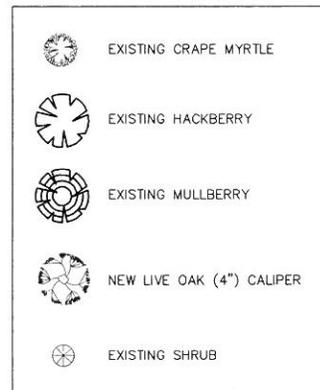


GENERAL NOTES:

1. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
2. EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/TESTING LAB. OWNER WILL PAY FOR TESTING LABS.
3. ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE; SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
4. LANDSCAPE SUBCONTRACTOR SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
5. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
6. NO TREES SHALL BE PLANTED WITHIN 5'-0" OF ANY UTILITIES.
7. NO SHRUBS SHALL BE PLANTED CLOSER THAN 4'-0" FROM CURB @ 18" DEEP PARKING SPACES

902 N. GOLIAD OF THE W.D. AUSTIN SURVEY

1. PROPOSED USE: - OFFICE
2. PROPERTY AREA: 10,454 SF OR 0.24 ACRES
3. BUILDING AREA: 2,439 SF
4. BUILDING HEIGHT: EXISTING TWO STORY
5. LOT COVERAGE :14.6%
F.A.R. = 0.15:1
6. PARKING REQUIRED: 2,439 @ 1 SPACE PER 500 = 5
5 SPACES REQUIRED
7. HANDICAP REQUIRED 1 ACCESSIBLE FOR 0-25 SPACES = 1 ACCESSIBLE
8. TOTAL PARKING PROVIDED: 5 SPACES
9. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 3,973 SF



PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE GUARANTEED IN VALUE AND ARE NOT INTENDED TO INSURE SUCH AND EXISTING CONDITION OR OTHER APPEARANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND MAKE ALL NECESSARY FIELD TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR WRITTEN BEFORE BEGINS THE PROJECT.
4. AFTER 80% HAS BEEN TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS OWNERSHIP COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO MAINTAIN COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO OBTAIN, AND PROVIDE, ALL NECESSARY PERMITS AND RETAIL BUY COMPONENTS NEEDED FOR WORKING SYSTEMS AS NEEDED.

OWNER
NATALEE DAVENPORT
2105 WATERVIEW PKWY
RICHARDSON, TEXAS 75080
214-576-2954



© COPYRIGHT 2016 MERSHAW ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED
WITHOUT PERMISSION FROM MERSHAW

RESIDENTIAL RESTAURANTS
INSTITUTIONAL
MERSHAW ARCHITECTS
MEDICAL COMMERCIAL CHURCHES

3311 ROSE BOWS APT
ROCKWALL, TEXAS 75087
PHONE: 972-742-1800
FAX: 972-742-1801

No.	Date	By	Revision

PROPOSED OFFICE
902 N. GOLIAD ST. ROCKWALL, TEXAS

SITE PLAN

Scale:	1" = 20'-0"
Date:	06/06/16
Project No:	160601
Designer:	AA
Drawn:	AA
Checked:	AA
SHEET	1 OF
A1	

City of Rockwall
Project Plan Review History



Project Number Z2016-030	Owner JAMES SHAW	Applied 9/16/2016 LM
Project Name SUP for 1910 Copper Ridge Circle	Applicant JAMES SHAW	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address 1910 COPPER RIDGE CIR	City, State Zip ROCKWALL, TX 75032	Zoning
--	--	---------------

Subdivision STERLING FARMS ADDITION	Tract 14	Block B	Lot No 14	Parcel No 5069-000B-0014-00-OR	General Plan
---	--------------------	-------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING (9/23/2016 12:05 PM JA) 1. 2015 IRC requires structures to be designed for a 115 mph wind load and 5 pound snow load. These plans show a 90 mph wind load and 3 pound snow load. 2. Side yard setback is 25'	John Ankrum	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	
ENGINEERING	Amy Williams	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
PLANNING (9/23/2016 12:12 PM KB) Z2016-030 SUP for Accessory Building: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments
<p>I.1 This is a request by James Shaw for the approval of a Specific Use Permit (SUP) to allow for an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4692-acre parcel of land identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1910 Copper Ridge Circle.</p> <p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (Z2016-030) in the lower right hand corner of all pages on future submittals.</p> <p>I.4 Please review the attached draft ordinance prior to the October 11, 2016 Planning & Zoning Commission meeting.</p> <p>I.5 The Planning and Zoning Worksession is September 27. The Planning and Zoning Meeting is September 13.</p> <p>I.6 The projected City Council meeting dates for this case will be October 17, 2016 [1st Reading] & November 7, 2016 [2nd Reading].</p>							

0 37.5 75 150 225 300 Feet

Z2016-030- SUP FOR 1910 COPPER RIDGE CIRCLE
SUP - LOCATION MAP = 

PD-46

STATE HIGHWAY 276

C

SFE-1.5

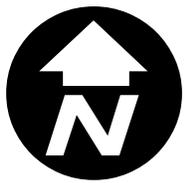
COPPER RIDGE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

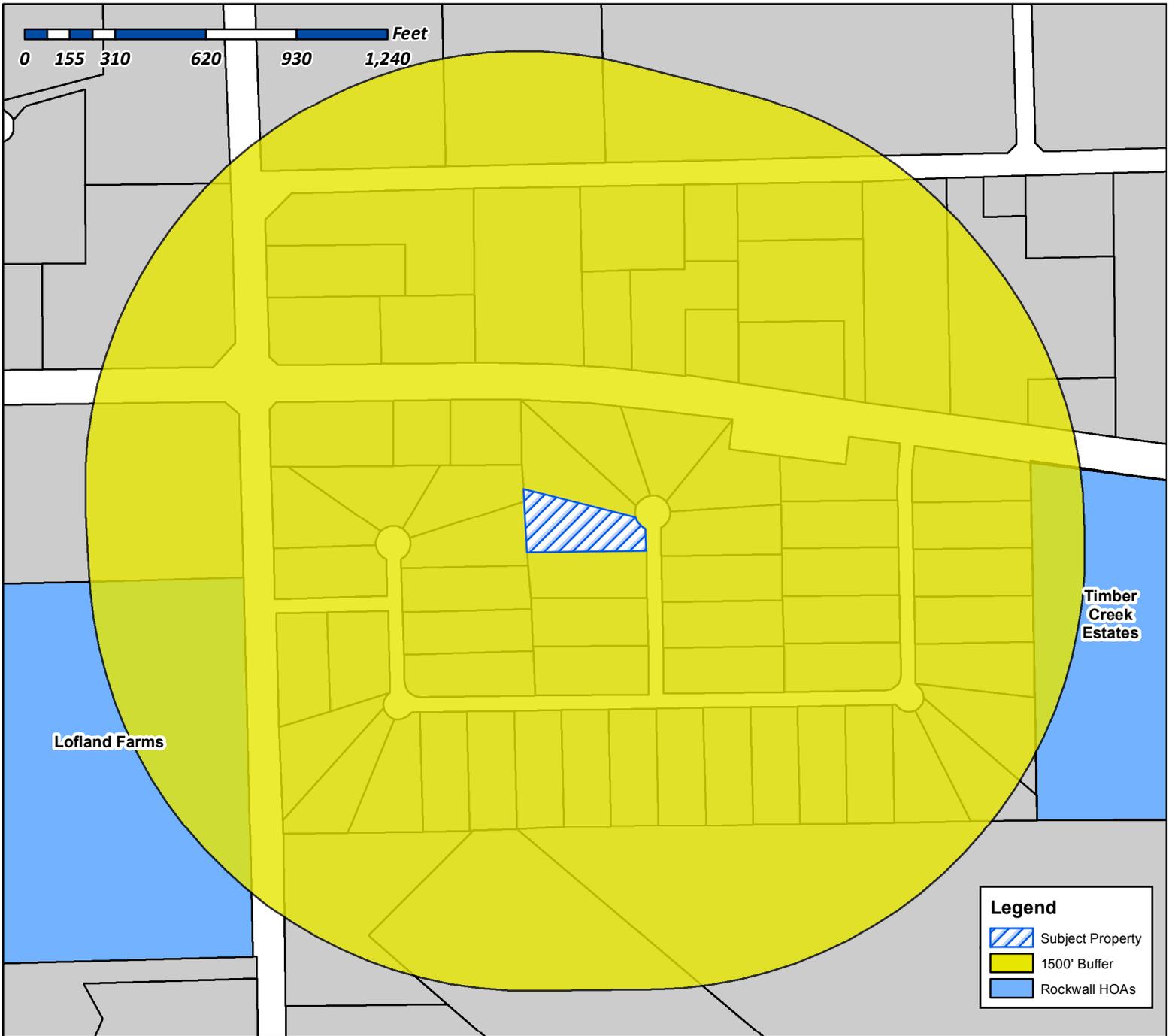




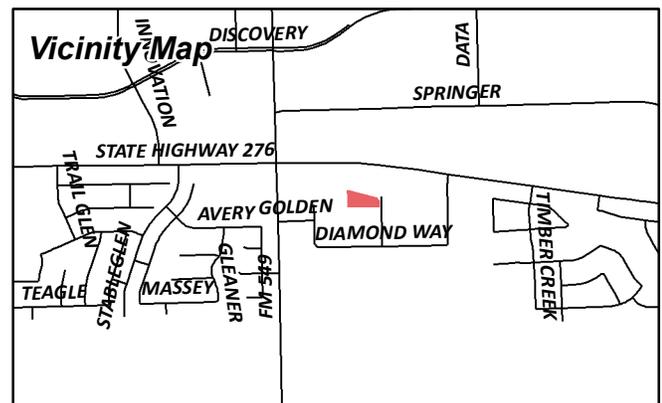
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-030
Case Name: SUP for 1910 Copper Ridge Circle
Case Type: Zoning
Zoning: SFE-1.5
Case Address: 1910 Copper Ridge Circle



Date Created: 09/16/2016

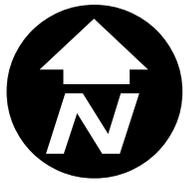
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

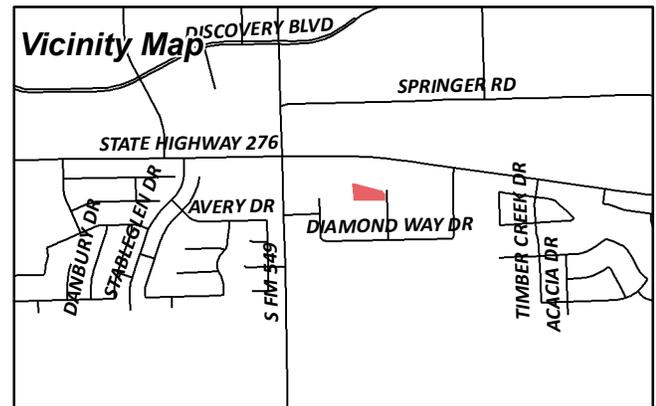
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2016-030
Case Name: SUP for 1910 Copper Ridge Circle
Case Type: Zoning
Zoning: SFE-1.5
Case Address: 1910 Copper Ridge Circle



Date Created: 09/16/2016
For Questions on this Case Call (972) 771-7745

DFW DISTRIBUTOR,
PETROLEUM INC.
11551 FOREST CENTRAL DR #230
DALLAS, TX 75243

DFW DISTRIBUTOR PETROLEUM INC
11551 FOREST CENTRAL DR STE 230
DALLAS, TX 75243

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL
1895 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

MCDOUGLE RONNIE D & DEBORAH J
1905 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

JONES SCOTT G & CAROLINE D
1910 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT SUSAN
1910 SILVER VIEW LN
ROCKWALL, TX 75032

HALL RICHARD N JR AND ELIZABETH A
1913 STERLING CT
ROCKWALL, TX 75032

WILLESS WAYNE & PRISCILLA K
1915 COPPER RIDGE CIR
ROCKWALL, TX 75032

WESTPHAL WILMA
1918 STERLING CT
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

USSERY DAVID & PAMELA
1930 COPPER RIDGE CIR
ROCKWALL, TX 75032

REYNOLDS CHRISTOPHER & RENA
1930 SILVER VIEW LN
ROCKWALL, TX 75032

PHILLIPS JEFFREY A
1930 STERLING COURT
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY
1950 COPPER RIDGE CIR
ROCKWALL, TX 75032

AVILA HUMBERTO J II
1950 SILVER VIEW LN
ROCKWALL, TX 75032

RISHER CONNIE LYNN
1955 COPPER RIDGE CIR
ROCKWALL, TX 75032

GLASSCOCK BILLY B & PENNY
1955 STERLING CT
ROCKWALL, TX 75032

WHITAKER JOSHUA & KRISTIN
1970 COPPER RIDGE CIRCLE
ROCKWALL, TX 75032

HELMS DEBBIE B
1975 COPPER RIDGE CIR
ROCKWALL, TX 75032

THOMAS CLIFTON D & YASMIN P TEJANI
THOMAS
1975 STERLING CT
ROCKWALL, TX 75032

TABESTAN ENTERPRISES LLC
206 WESTWIND DRIVE
COPPELL, TX 75019

CURRENT RESIDENT
2205 HWY276
ROCKWALL, TX 75087

CURRENT RESIDENT
2301 HWY276
ROCKWALL, TX 75087

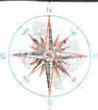
CURRENT RESIDENT
2305 HWY276
ROCKWALL, TX 75087

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

CONNOLLY SQUARED LLC
2922 S HWY 205
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

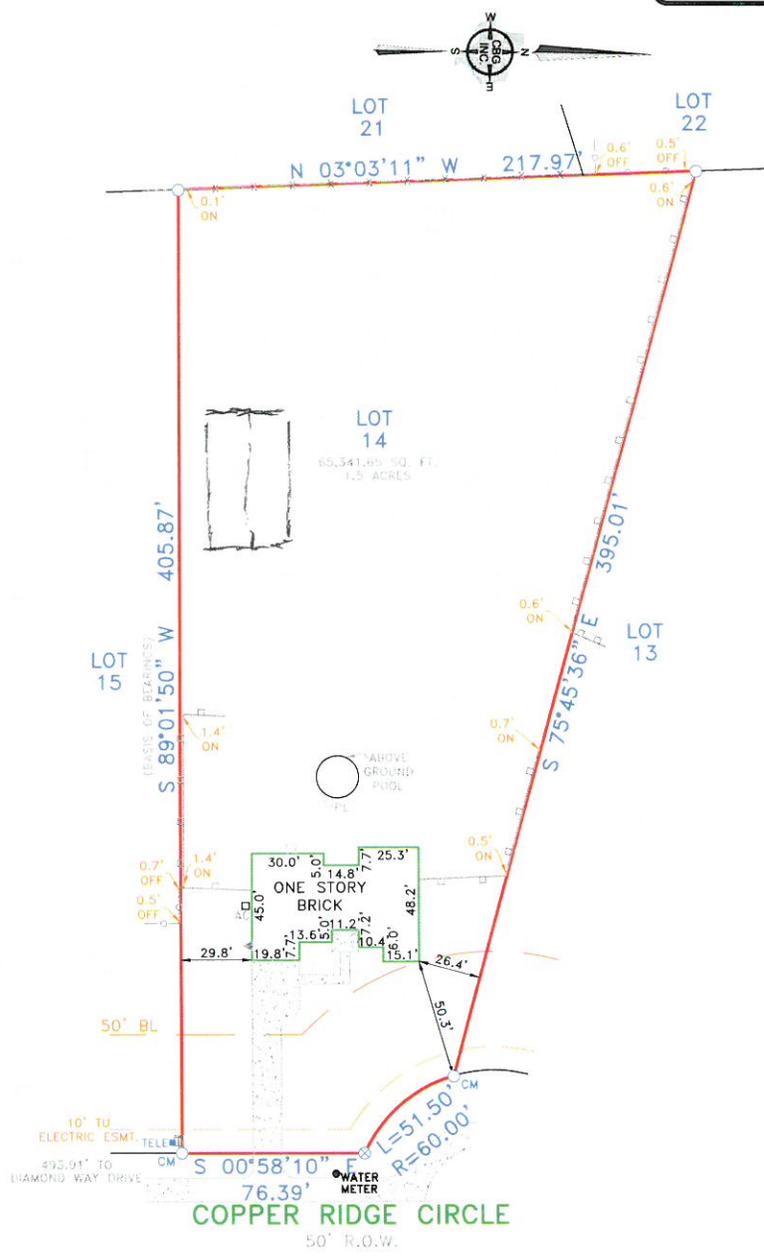
PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087



1910 Copper Ridge Circle
 Being Lot 14, in Block B, oc Sterling Farms Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 395, of the Plat Records of Rockwall County, Texas.



- LEGEND**
- 1/2" ROD FOUND
 - ⊗ 1/2" ROD SET
 - 1" PIPE FOUND
 - ⊗ "X" FOUND/SET
 - ⊕ 604 NAIL FOUND
 - FENCE POST FOR CORNER
 - CM CONTROLLING MONUMENT
 - AC AIR CONDITIONER
 - PE POOL EQUIPMENT
 - T TRANSFORMER PAD
 - COLUMN
 - POWER POLE
 - ▲ UNDERGROUND ELECTRIC
 - △ OVERHEAD ELECTRIC
 - OHP OVERHEAD ELECTRIC POWER
 - OES OVERHEAD ELECTRIC SERVICE
 - CHAIN LINK
 - WOOD FENCE 0.5' WIDE TYPICAL
 - IRON FENCE
 - × BARBED WIRE
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - CONCRETE
 - COVERED AREA



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
 VOL. 46, PG. 197; VOL. 75, PG. 583;
 VOL. 113, PG. 35

Accepted by: _____
 Date: _____ Purchaser

Accepted by: _____
 Date: _____ Purchaser

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0045L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the Information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JHH

Scale: 1" = 50'

Date: 06/30/16

GF No.: 1007-192062-RTT

Job No. 1612735

C.B.G. Surveying, Inc.
 12025 Shiloh Road, Ste. 230
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
www.cbgsd.com

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN ACCESSORY BUILDING THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON A 1.4692-ACRE PARCEL OF LAND ZONED SINGLE FAMILY ESTATE 1.5 (SFE-1.5) AND IDENTIFIED AS LOT 14, BLOCK B, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by James Shaw for the approval for a Specific Use Permit (SUP) for the purpose constructing an accessory building that does not meet the minimum masonry requirements, situated on a 1.4692-acre parcel of land, zoned Single Family Estate 1.5 (SFE-1.5) District, and being identified as Lot 14, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, addressed as 1910 Copper Ridge Circle, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of a metal accessory building that does not conform to the minimum masonry requirements for accessory buildings in a Single Family Estate 1.5 (SFE-1.5) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.2, Single-Family Estate (SF/E 1.5) District*, of *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

- 1) The accessory building shall generally conform to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The accessory building shall not exceed a maximum size of 1,200 square feet.
- 3) The accessory building is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF NOVEMBER, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

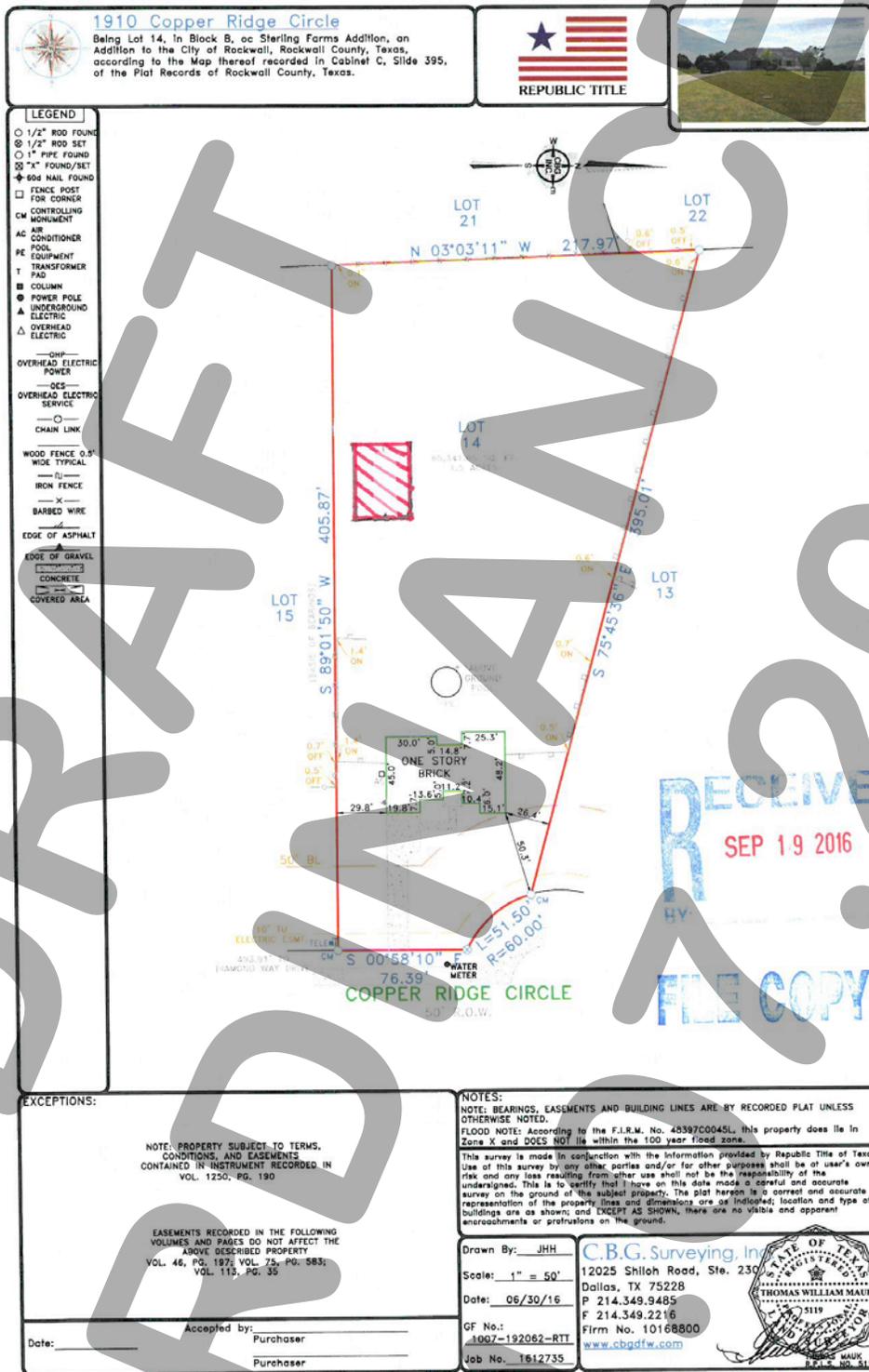
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2016

2nd Reading: November 7, 2016

Exhibit 'A': Site Plan



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL. 46, PG. 197; VOL. 75, PG. 583;
VOL. 113, PG. 35

Accepted by: _____
Date: _____
Purchaser
Purchaser

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 4597C0045L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be of user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JHH
Scale: 1" = 50'
Date: 06/30/16
OF No.: 1007-192062-RTI
Job No. 1612735

C.B.G. Surveying, Inc.
12025 Shiloh Road, Ste. 230
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgdlw.com

STATE OF TEXAS
REGISTERED SURVEYOR
THOMAS WILLIAM MAUK
No. 5119
EXPIRES 08/31/2018

Z2016 030

**Exhibit 'B':
Building Elevations**



City of Rockwall Project Plan Review History



Project Number Z2016-031	Owner DAVID ENGLISH	Applied 9/19/2016 LM
Project Name Amendment to PD-1	Applicant NEW CRAFT BREWING COMPANY, LLC	Approved
Type ZONING		Closed
Subtype REZONE		Expired
Status STAFF REVIEW		Status 9/19/2016 LM

Site Address 1201 RIDGE RD	City, State Zip ROCKWALL, TX 75087	Zoning
--------------------------------------	--	---------------

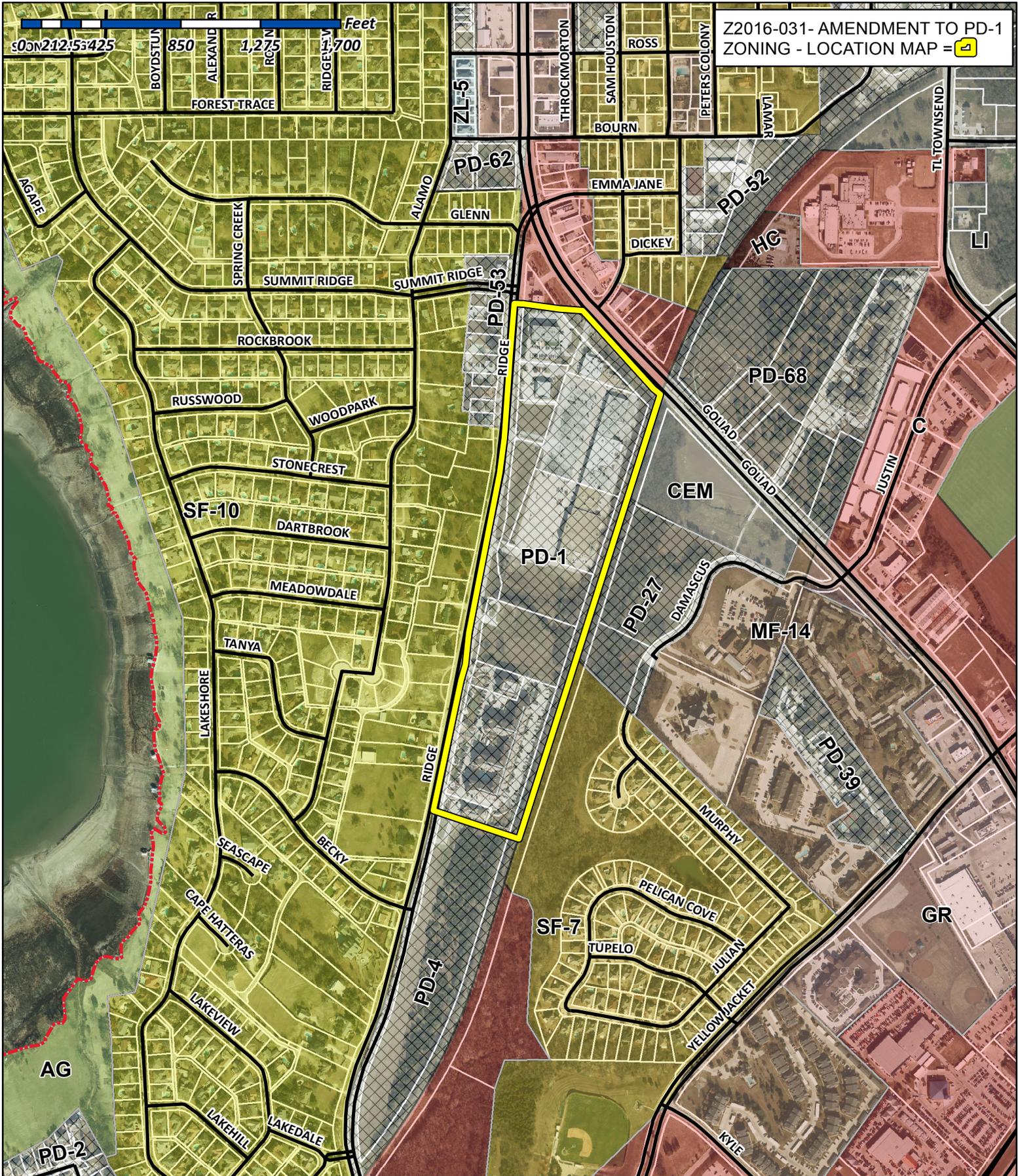
Subdivision EASTRIDGE CENTER	Tract	Block	Lot No	Parcel No 3570-0484-A001-A0-OR	General Plan
--	--------------	--------------	---------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
ENGINEERING	Amy Williams	9/19/2016	9/26/2016	9/20/2016	1	APPROVED	
FIRE	Ariana Hargrove	9/19/2016	9/26/2016				

PLANNING	Ryan Miller	9/19/2016	9/26/2016	9/21/2016	2	APPROVED	See Comments
----------	-------------	-----------	-----------	-----------	---	----------	--------------

Z2016-031 (Amendment to PD-1): Please address the following comments (M= Mandatory Comments; I = Informational Comments).

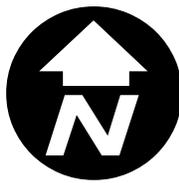
- I.1 This case is for the approval of an amendment to Planned Development District 1 (PD-1) for the purpose of allowing the Brewery or Distillery (Excluding Brew Pub) land use in the Planned Development District, being identified as ~39.5249-acre tract of land situated in the B. J. T. Lewis Survey, Abstract No. 255 and the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, and located on the eastside of Ridge Road south of the intersection of Ridge Road [FM-740] and SH-205
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 On all future submittals please include the case number (Z2016-031) in the lower right hand corner.
- I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on September 27, 2016.
- I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on October 4, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting.
- I.6 The projected City Council dates for this case are project to be: 1) October 17, 2016 [1st Reading], and 2) November 7, 2016 (Tuesday) [2nd Reading].



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

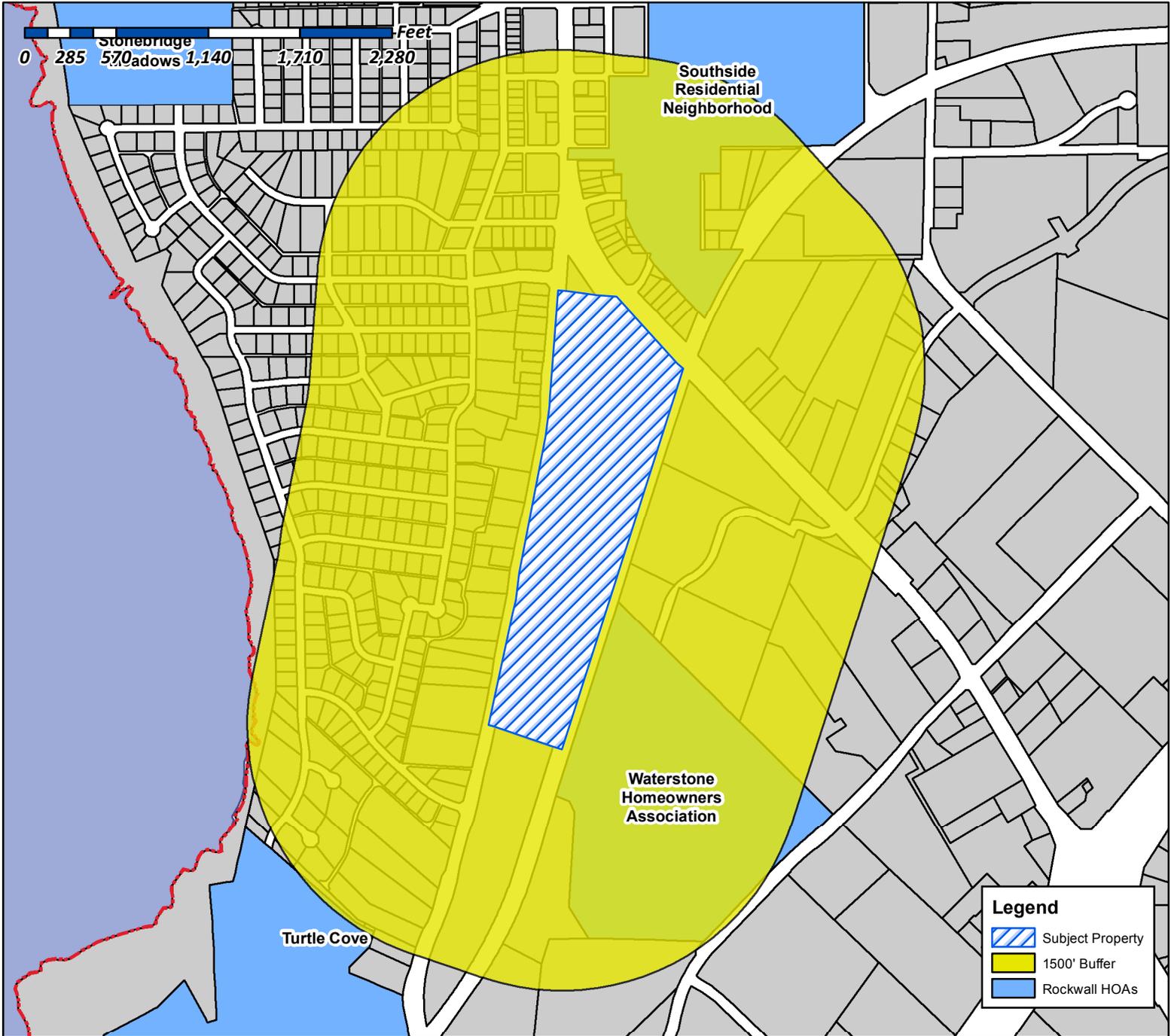
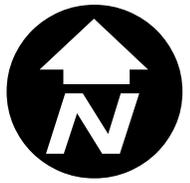




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-031
Case Name: Amendment to PD-1
Case Type: Zoning
Zoning: Planned Development District 1 (PD-1)
Case Address: South of the intersection of Ridge Rd. and SH-205

Date Created: 09/20/2016
 For Questions on this Case Call (972) 771-7745

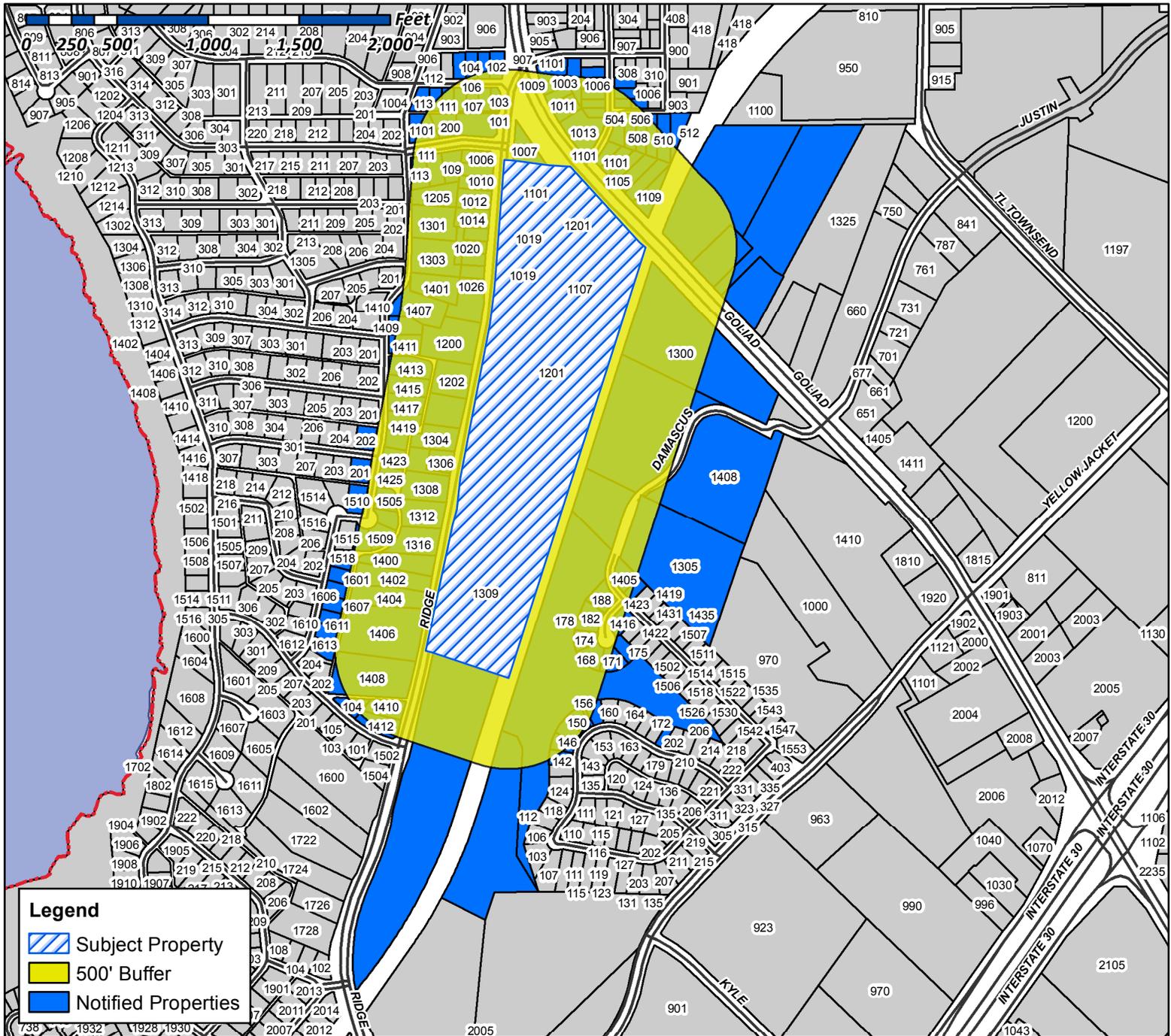




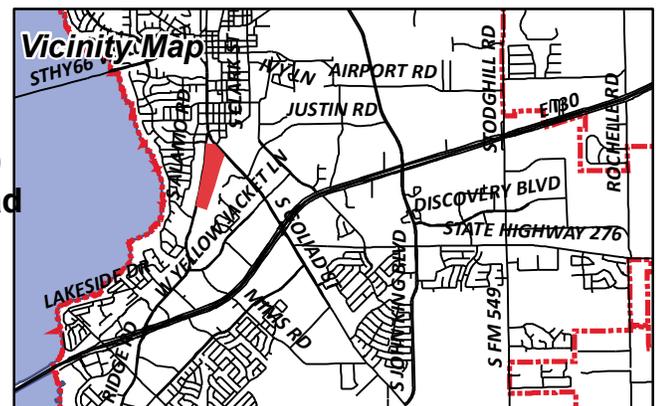
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-031
Case Name: Amendment to PD-1
Case Type: Zoning
Zoning: Planned Development District 1 (PD-1)
Case Address: South of the intersection of Ridge Road and SH-205



Date Created: 09/20/2016

For Questions on this Case Call (972) 771-7745

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1003 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1007 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1007 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1008 SAM HOUSTON
ROCKWALL, TX 75087

GOODMAN MICHAEL & CARLA
1008 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 S GOLIAD
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
101 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 SAM HOUSTON
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY
HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1011 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1012 SAM HOUSTON
ROCKWALL, TX 75087

GUSSIO PROPERTIES LLC
1012 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1019 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1019 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
102 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
1020 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1024 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 RIDGE RD
ROCKWALL, TX 75087

HERNANDEZ COURTNEY AND JAVIER
HERNANDEZ-ROSALES
103 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
104 GLENN AVE
ROCKWALL, TX 75087

TRAMMELL JAMES T & ERNESTINE H
TRUSTEES FOR LIVING TRUST
104 BECKY LN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

ROJAS MARY ANN
10521 TRAYMORE DR
FORT WORTH, TX 76244

RIDGE ROAD PARTNERS LP
106 EAST RUSK STREET 0
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
107 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
108 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
109 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
109 SUMMIT RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1105 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1107 RIDGE RD
ROCKWALL, TX 75087

LUKE LINDA FAYE
1109 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
111 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
111 SUMMIT RIDGE DR
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

BROWN RHONDA
113 SUMMIT RIDGE DR
ROCKWALL, TX 75087

BENBROOKE RIDGE PARTNERS LP
C/O PRETIUM PROPERTY MANAGEMENT, LLC
115 W 7TH ST 0
FORT WORTH, TX 76102

LOFLAND WILLIAM B & SHERRIE
1200 RIDGE RD
ROCKWALL, TX 75087

LOFLAND WILLIAM B & SHERRIE
1200 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1201 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1202 RIDGE RD
ROCKWALL, TX 75087

FISHER GREGORY A & TINA
1205 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

HFS MANAGEMENT INC
C/O HANNA SAHLIYEH
122 W JOHN CARPENTER FWY
IRVING, TX 75039

CURRENT RESIDENT
1300 S GOLIAD
ROCKWALL, TX 75087

MCMASTER CHRISTOPHER QUE & BROOKE E
1301 S ALAMO RD
ROCKWALL, TX 75087

WELLS JOEL A AND SHOLANA K
1303 S ALAMO RD
ROCKWALL, TX 75087

JACOBS DAVID R & BEVERLY
1304 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1305 DAMASCUS RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1306 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1308 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1309 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1312 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1316 RIDGE RD
ROCKWALL, TX 75087

ANDERSON JERRY C AND MELVA J
138 PELICAN COVE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1400 RIDGE RD
ROCKWALL, TX 75087

GUILLORY MARK E & MARY J
1401 S ALAMO RD
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M
1402 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST, INNIS WAYNE
ROGERS
AND WANDA MAY TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST
MICHAEL WAYNE ROGERS AND RELLA
VILLASANA ROGERS, TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST, INNIS WAYNE
ROGERS
AND WANDA MAY TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS MICHAEL W
1404 RIDGE RD
ROCKWALL, TX 75087

GRIFFIN ALLEN AND LISA
1405 MURPHY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1406 RIDGE RD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

WEBSTER WILLIAM L
1407 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1408 RIDGE RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1410 RIDGE RD
ROCKWALL, TX 75087

FULLER JIMMY
1411 S ALAMO RD
ROCKWALL, TX 75087

NAJMABADI NATHAN R & JENNIFER N
1412 RIDGE ROAD
ROCKWALL, TX 75087

GREEN LARRY W JR AND
JAN E PHILLIPS
1413 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1415 MURPHY DR
ROCKWALL, TX 75087

GILLOCK MICHAEL J AND JEANETTE L
1415 S ALAMO RD
ROCKWALL, TX 75087

ORJI WILLY
1416 MURPHY DR
ROCKWALL, TX 75087

UNDERWOOD MARK ALLAN
1417 S ALAMO
ROCKWALL, TX 75087

BROOKS RICHARD L
1419 S ALAMO RD
ROCKWALL, TX 75087

BISHOP ROBERT L JR & SARA A
142 PELICAN COVE DR
ROCKWALL, TX 75087

BAUGH GINGER KAY
1421 S ALAMO RD
ROCKWALL, TX 75087

ROSS JOSHUA A
1423 S ALAMO RD
ROCKWALL, TX 75087

PINNELL CHARLES C & GENEVA
1425 S ALAMO RD
ROCKWALL, TX 75087

CRANE ADAM T
146 PELICAN COVE DR
ROCKWALL, TX 75087

VOLLBEER BONNIE
150 PELICAN COVE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1505 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1507 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1509 S ALAMO RD
ROCKWALL, TX 75087

PARRISH GERALD L JR AND JENNIFER F
1510 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1511 S ALAMO RD
ROCKWALL, TX 75087

TEBBUTT BRIAN C
156 PELICAN COVE DR
ROCKWALL, TX 75087

WEDDLE TRUST
JOHN C WEDDLE AND PAULETTE S WEDDLE
TRUSTEES
1601 S ALAMO RD
ROCKWALL, TX 75087

LYLE WILLIAM M JR & ERICA
1603 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1605 ALAMO RD
ROCKWALL, TX 75087

TALLEY JANICE KAY
1607 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1609 S ALAMO RD
ROCKWALL, TX 75087

CHILDS WILLIAM C & SHERYL L
1611 S ALAMO RD
ROCKWALL, TX 75087

LOOSIER CHERE R AND JASON M BAWCUM
1613 S ALAMO RD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
16600 DALLAS PARKWAY 0
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY 0
DALLAS, TX 75248

UHLIG JANET KAY
168 MURPHY CT
ROCKWALL, TX 75087

SOTZING SCOTT DOUGLAS
171 MURPHY CT
ROCKWALL, TX 75087

CURRENT RESIDENT
174 MURPHY CT
ROCKWALL, TX 75087

ISSAC PARAMPOTTIL T & LEELAMMA
1745 BISON MEADOW LN
HEATH, TX 75032

GEHRING W ROBERT & CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

PHILLIPS MYRNA E
175 MURPHY CT
ROCKWALL, TX 75087

PIERATT LINDY & JASON
178 MURPHY CT
ROCKWALL, TX 75087

MYERS DAVID F & NINA G
182 MURPHY CT
ROCKWALL, TX 75087

ABBOTT DIANA L & SHAUN E
188 MURPHY CT
ROCKWALL, TX 75087

GASCOIGNE ANGUS A & ELIZABETH
1910 CLUB LAKE CIR
ROCKWALL, TX 75087

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

CURRENT RESIDENT
200 SUMMIT RIDGE DR
ROCKWALL, TX 75087

CAWTHON RICK
2000 E INTERSTATE 30
ROCKWALL, TX 75087

CHRISTOPHER CATHY
201 GOLD STREET 0
GARLAND, TX 75042

VIZZINI SABARINA L
201 MEADOWDALE DR
ROCKWALL, TX 75087

HIRIGOYEN IGNACIO A & LISA RAE
202 MEADOWDALE DRIVE
ROCKWALL, TX 75087

COLES JOSEPH R III AND WENDY A
208 LAKEVIEW DR
ROCKWALL, TX 75087

CAMERON LAND HOLDINGS LLC
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

CAMERON LAND HOLDINGS LLC
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

PFENNING BARBARA JANE
210 WILLOWCREEK ROAD
CHICKASHA, OK 73018

HART ROBERT N & HOPE C
218 CARRIAGE HILL LN
HEATH, TX 75032

HUMPHREY ELDORA B &
DERRILL DELOYD
2310 BERWICK AVE
DALLAS, TX 75203

OREILLY AUTO ENTERPRISES LLC
233 S PATTERSON
SPRINGFIELD, MO 65802

JBR2 LLC
2701 SUNSET RIDGE DR 0
ROCKWALL, TX 75032

WAFFER JULIUS
3002 WELDON LN
ROYSE CITY, TX 75189

TEMUNOVIC PETAR & CVIJETA
3021 RIDGE RD 0
ROCKWALL, TX 75032

RPSC ROCKWALL PROPERTIES LLC
3201 E PRESIDENT GEORGE BUSH HIGHWAY 0
RICHARDSON, TX 75082

ROCKWALL COMMONS LLC
341 VERACLIFF CT
OVIDO, FL 32765

GRAHMANN CHARLES V
BISHOP OF ROMAN CATHOLIC DIOCESE
3725 BLACKBURN ST
DALLAS, TX 75219

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

BURNS LORRAINE MARIETTI
403 W WASHINGTON ST
ROCKWALL, TX 75087

COMPTON EARL D & SU ELLEN
5 HALFORD DR
HEATH, TX 75032

MATHIS MICHAEL L & DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

SIMS VERNA MAE
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ ROGELO & MARIA
507 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA AND
FLORIDA TAYLOR
508 DICKEY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
510 DICKEY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
512 DICKEY ST
ROCKWALL, TX 75087

WONG ERIK J & ELIZABETH M
517 SUMMIT DR
RICHARDSON, TX 75081

HOLLAND RODNEY B
536 LOMA VISTA
HEATH, TX 75032

EAST SHORE J/V
5499 GLEN LAKES DR 0
DALLAS, TX 75231

SMITH JOHN H
5630 MERRIMAC AVE
DALLAS, TX 75206

CHURCH ON THE ROCK
6005 DALROCK RD
ROWLETT, TX 75088

GAMEZ SUSAN
602 LAURENCE DR
ROCKWALL, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

TALLEY C W & PAULA J
703 RIDGEVIEW DR
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
7047 E GREENWAY PARKWAY 0
SCOTTSDALE, AZ 85254

BENNETT FAMILY LIVING TRUST
WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

WALKER TOM H & SUE A
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

7-ELEVEN
C/O SILVER OAK ADVISORS, LLC
ATTN JEFF TARLTON 0
ATLANTA, GA 30339

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 0
ROCKWALL, TX 75087

CAIN FAMILY REVOCABLE TRUST
PO BOX 1119
ROCKWALL, TX 75087

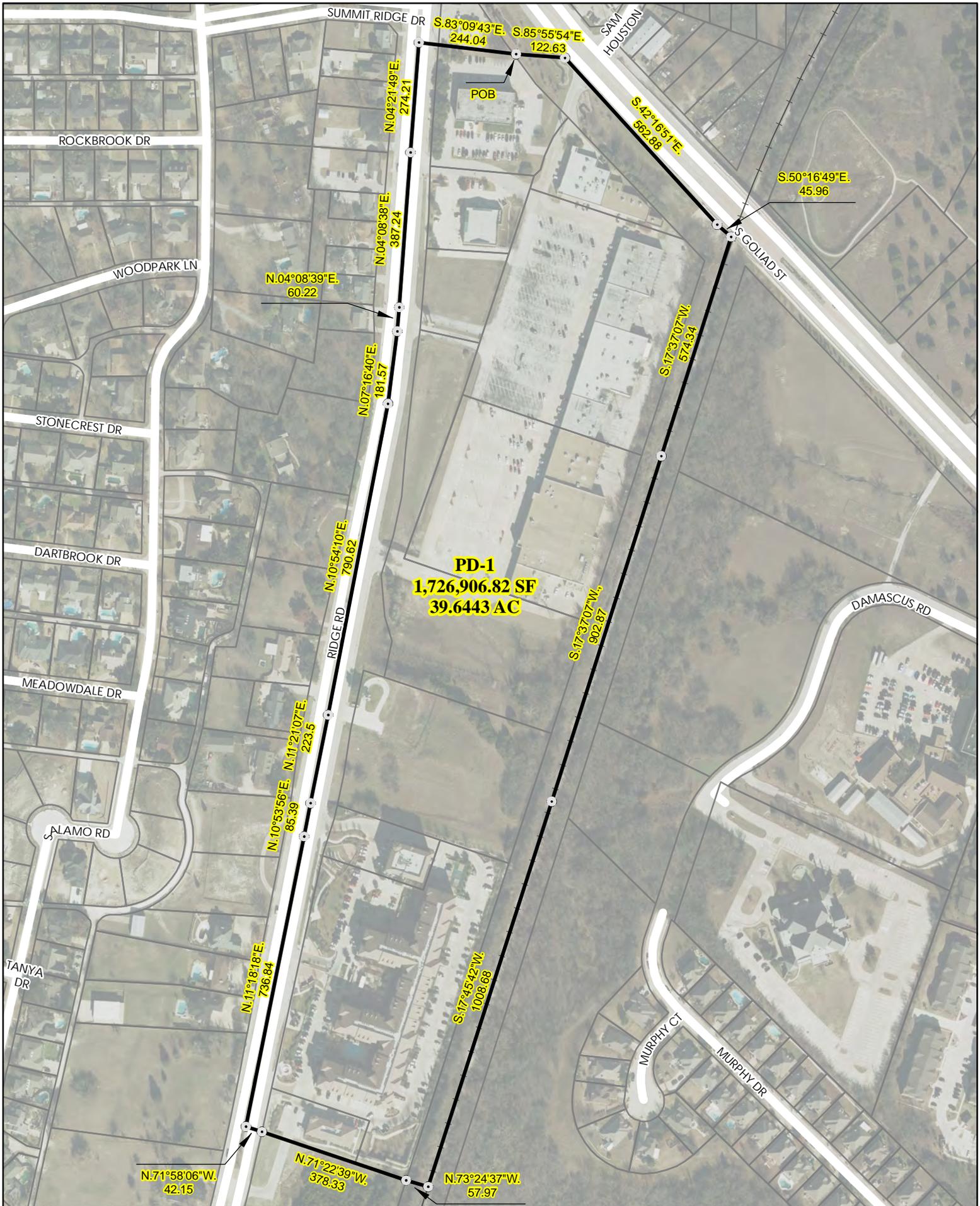
DORRIS CHARLES E
PO BOX 216
ROCKWALL, TX 75087

PEOPLES BILLY W
PO BOX 35
ROCKWALL, TX 75087

PEOPLES BILLY W
PO BOX 35
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

REID STEPHEN M II AND JAN K
PO BOX 8791
GREENVILLE, TX 75404



PD-1
1,726,906.82 SF
39.6443 AC

S.83°09'43"E. 244.04
 S.85°55'54"E. 122.63

S.50°16'49"E. 45.96

S.42°16'51"E. 562.88

S.17°37'07"W. 574.84

S.17°37'07"W. 902.87

S.17°45'42"W. 1008.68

N.73°24'37"W. 57.97

N.71°22'39"W. 378.33

N.71°58'06"W. 42.15

N.11°18'18"E. 736.84

N.10°53'56"E. 86.39
 N.11°21'07"E. 223.5

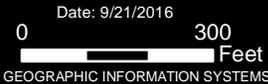
N.10°54'10"E. 790.62

N.07°16'40"E. 181.57

N.04°08'39"E. 60.22

N.04°08'38"E. 387.24

N.04°21'49"E. 274.21



Date: 9/21/2016



**City of
 Rockwall**

**PLANNED DEVELOPMENT DISTRICT 1
 LEGAL DESCRIPTION**

PD1

**PLANNED DEVELOPMENT NO. 1
LEGAL DESCRIPTION**

BEING an approximate 39.6443 acre tract of land situated in the Eastridge Center Addition, Oreilly Addition, and Rockwall Commons Addition, as recorded in the County of Rockwall, Texas and being more particularly described as follows:

BEGINNING at a point in the south right of way line of State Highway 205 (S. Goliad St) and the most northeastern corner of the Eastridge Center Addition (Plat Date 06/27/1977), said point being the **POINT OF BEGINNING**;

THENCE S.85°55'54"E., a distance of 122.63 feet to a point in the right of way of State Highway 205 (S. Goliad St);

THENCE S.42°16'51"E., a distance of 562.88 feet;

THENCE S.50°16'49"E., a distance of 45.96 feet for a corner;

THENCE S.17°37'07"W., a distance of 574.34 feet along the centerline of the Dallas, Garland and Northeastern Railroad;

THENCE continue southerly along said line, a distance of 902.87 feet;

THENCE S.17°45'42"W., a distance of 1,008.68 feet for a corner;

THENCE N.73°24'37"W., a distance of 57.97 feet;

THENCE N.71°22'39"W., a distance of 378.33 feet;

THENCE N.71°58'06"W., a distance of 42.15 feet for a corner;

THENCE N.11°18'18"E., a distance of 736.84 feet;

THENCE N.10°53'56"E., a distance of 85.39 feet;

THENCE N.11°21'07"E., a distance of 223.50 feet;

THENCE N.10°54'10"E., a distance of 790.62 feet;

THENCE N.07°16'40"E., a distance of 181.57 feet;

THENCE N.04°08'39"E., a distance of 60.22 feet;

THENCE N.04°08'38"E., a distance of 387.24 feet;

THENCE N.04°21'49"E., a distance of 274.21 feet for a corner;

THENCE S.83°09'43"E., a distance of 244.04 feet to the **POINT OF BEGINNING**.

Containing 1,726,906.82 square feet or 39.6443 acres, more or less.

END OF DESCRIPTION.

Written Request for Rezoning of 1201 Ridge Rd. Rockwall TX 75087 Currently under the ownership of Benbrooke Ridge Partners

Rockwall City Council

City of Rockwall

385 S. Goliad St.

Rockwall, TX 75087

September 15 , 2016

To the members of the Rockwall City Council,

New Craft Brewing Company would like to notify the City of Rockwall of our intent to open a micro-brewery at 1201 Ridge Rd in the Ridge Road Shopping Center. At present our business location is not zoned for our required light industrial use. However, with the approval of the planning and zoning commission, New Craft Brewing Company is respectfully requesting a zoning change to allow the manufacturing and distribution of beer for the above address with no further or future land use. The conditional use will be consistent with the goals, objectives, and policies of the comprehensive plan and land regulations as well as all city, state, and federal licensing.

The primary intent of opening our brewery facility is to manufacture beer for distribution and to sell the beer we produce in kegs and cans to retail vendors. The large majority of our sales will be made from the distribution of our product to local and surrounding markets. Our brewery will also have a front of house taproom where customers can come to our location and try our beers. The taproom will serve jointly as a venue which will host various events and functions as well. However, we are foremost a manufacturer of beer, not a restaurant, brewpub, or bar. While in operation, we will allow and encourage patrons to purchase food from local area restaurants and food trucks, but we will not serve food as a means of revenue.

The micro-brewery industry has been explosive in recent years and there is only more room for growth. Breweries of our nature have very positive economic impact on growing suburban cities such as Rockwall. The beer we produce is taxed both in house at the tap and the keg in retail. The tax revenue we generate will be collected and reused in our local community. We can ensure that our brewery will make appropriate use of the zoning change and positively affect the community and public interest.

Respectfully,

[Signature Here]

Kasey Weadon

Owner and Founder of New Craft BrewCo

Written Request for Rezoning of 1201 Ridge Rd. Rockwall TX 75087 Currently under the ownership of Benbrooke Ridge Partners

110
PD-1

PLANNED DEVELOPMENT DISTRICTS ADOPTED
WITH ORIGINAL ORDINANCE AND REFERENCED
ON ZONING DISTRICT MAP

PLANNED DEVELOPMENT DISTRICT 1 - Shopping Center and Multiple Family Dwellings (symbol designation PD-1-SC & MF).

Planned Development District permitting uses as prescribed in the Uses Schedule of the Zoning Ordinance for Shopping Center permitting General Retail uses and Multiple Family Dwellings, subject to the approval of a site plan by the Planning and Zoning Commission prior to the issuance of any building permit or certificate of occupancy. The Shopping Center shall be developed subject to general retail standards and the housing development for Multiple Family dwellings shall be subject to the MF-2 Multi Family Dwelling standards. Such site plan shall set forth the building areas, offstreet parking, points of access, any screening walls, open areas, building setback, curbs, sidewalks, drainage facilities indicated as necessary by the location, and provide for the dedication and improvement of any street deemed essential by the Planning and Zoning Commission for access to the property, to adjacent property, or for circulation around the site.

The density, coverage, height, parking and offstreet loading standards shall be as set forth on the site plan or as specified in the "GR" General Retail for the Shopping Center and in the "MF-2" for the Multiple Family area.

The requisite site plan may be approved in whole or in part for one or several ownerships, provided the overall arrangement of streets, land uses, utilities and parking applying to the entire tract is coordinated and understood by the various owners.

City of Rockwall Project Plan Review History

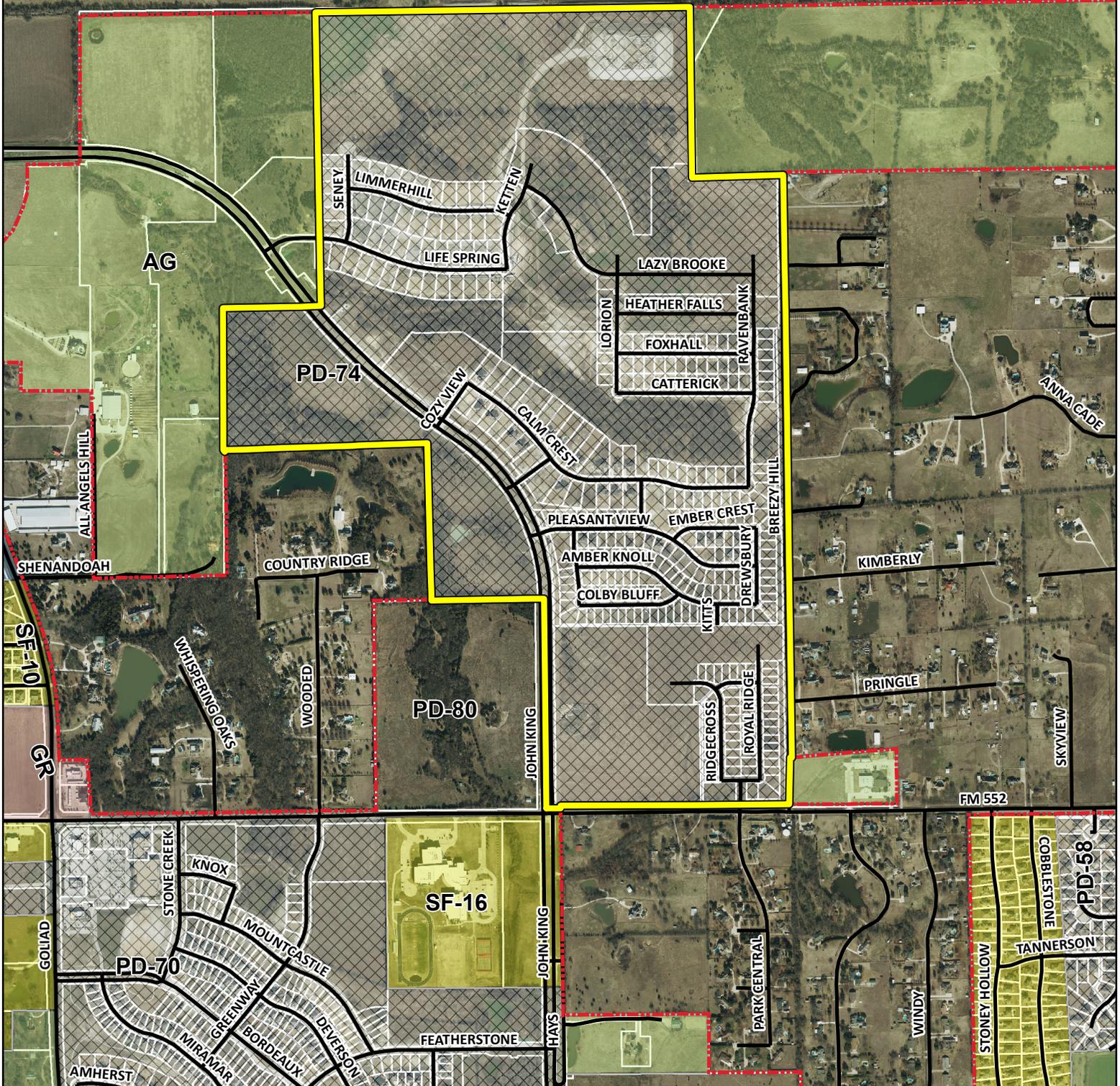


Project Number Z2016-032	Owner BH BALANCE IV LLC	Applied 9/19/2016	LM
Project Name Amendment PD-74 (Breezy Hill	Applicant BH BALANCE IV LLC	Approved	
Type ZONING		Closed	
Subtype PD		Expired	
Status STAFF REVIEW		Status 9/19/2016	LM
Site Address BREEZY HILLS RD		City, State Zip ROCKWALL, TX 75087	
Subdivision BREEZY HILL PH 2A & 2B		Tract 7-5	Block NULL
		Lot No 7-5	Parcel No 0187-0000-0007-05-OR
			General Plan
			Zoning

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Building Inspections District	John Ankrum	9/20/2016	9/20/2016	9/20/2016		APPROVED	
ENGINEERING (9/20/2016 4:01 PM AW) Detention will be required Sanitary sewer service issue May not get a median cut in John King Need trail system to connect phase to existing/proposed trail system	Amy Williams	9/19/2016	9/26/2016	9/21/2016	2	APPROVED	See Conditions
FIRE	Ariana Hargrove	9/19/2016	9/26/2016				
PLANNING Z2016-032 (Amendment to PD-74 [Breezy Hill Subdivision]): Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Ryan Miller	9/19/2016	9/26/2016	9/20/2016	1	APPROVED	See Comments
<p>I.1 This case is for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance No. 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, and generally located north of FM-552 and west of Breezy Hill Road.</p> <p>I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.</p> <p>M.3 On all future submittals please include the case number (Z2016-032) in the lower right hand corner.</p> <p>I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on September 27, 2016.</p> <p>I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on October 4, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting.</p> <p>I.6 The projected City Council dates for this case are project to be: 1) October 17, 2016 [1st Reading], and 2) November 7, 2016 (Tuesday) [2nd Reading].</p>							



Z2016-032 - AMENDMENT TO PD-74 (BREEZY HILL) SUBDIVISION
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





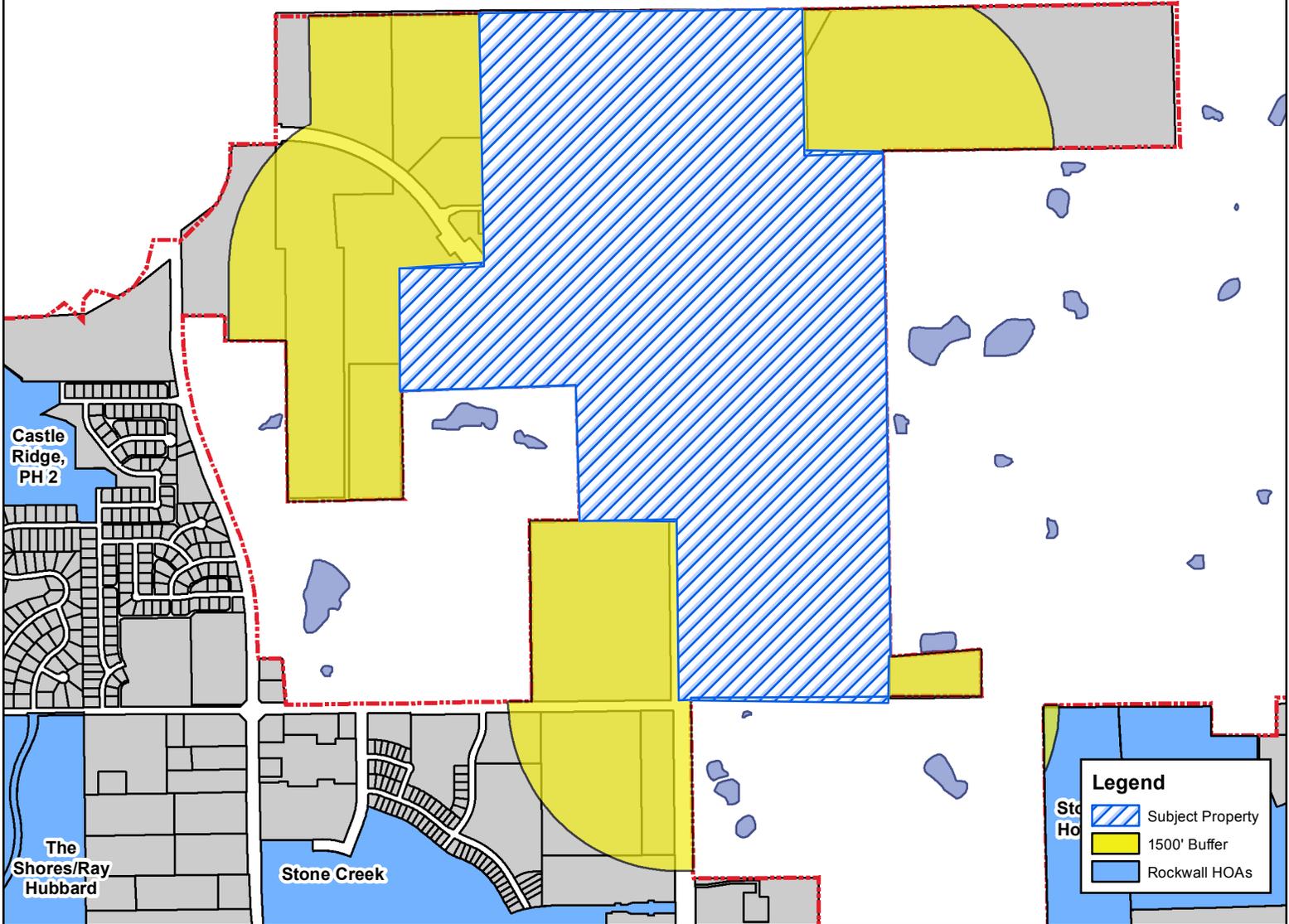
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



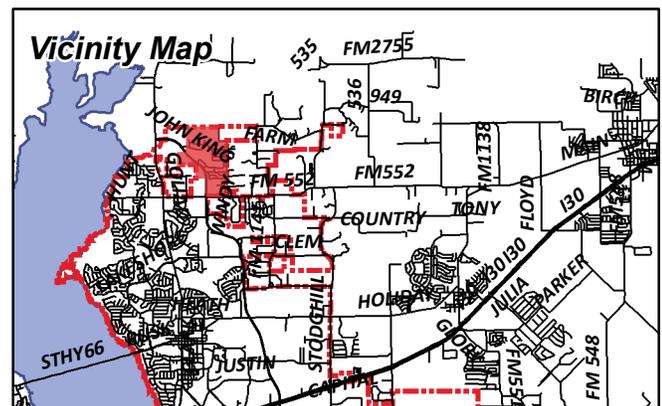
0 445 890 1,780 2,670 3,560 Feet



Case Number: Z2016-032
Case Name: Breezy Hill Amendment to PD-74
Case Type: Zoning
Zoning: Planned Development District 74
Case Address: North of FM 552 and west of Breezy Hill Road

Date Created: 09/20/2016

For Questions on this Case Call (972) 771-7745





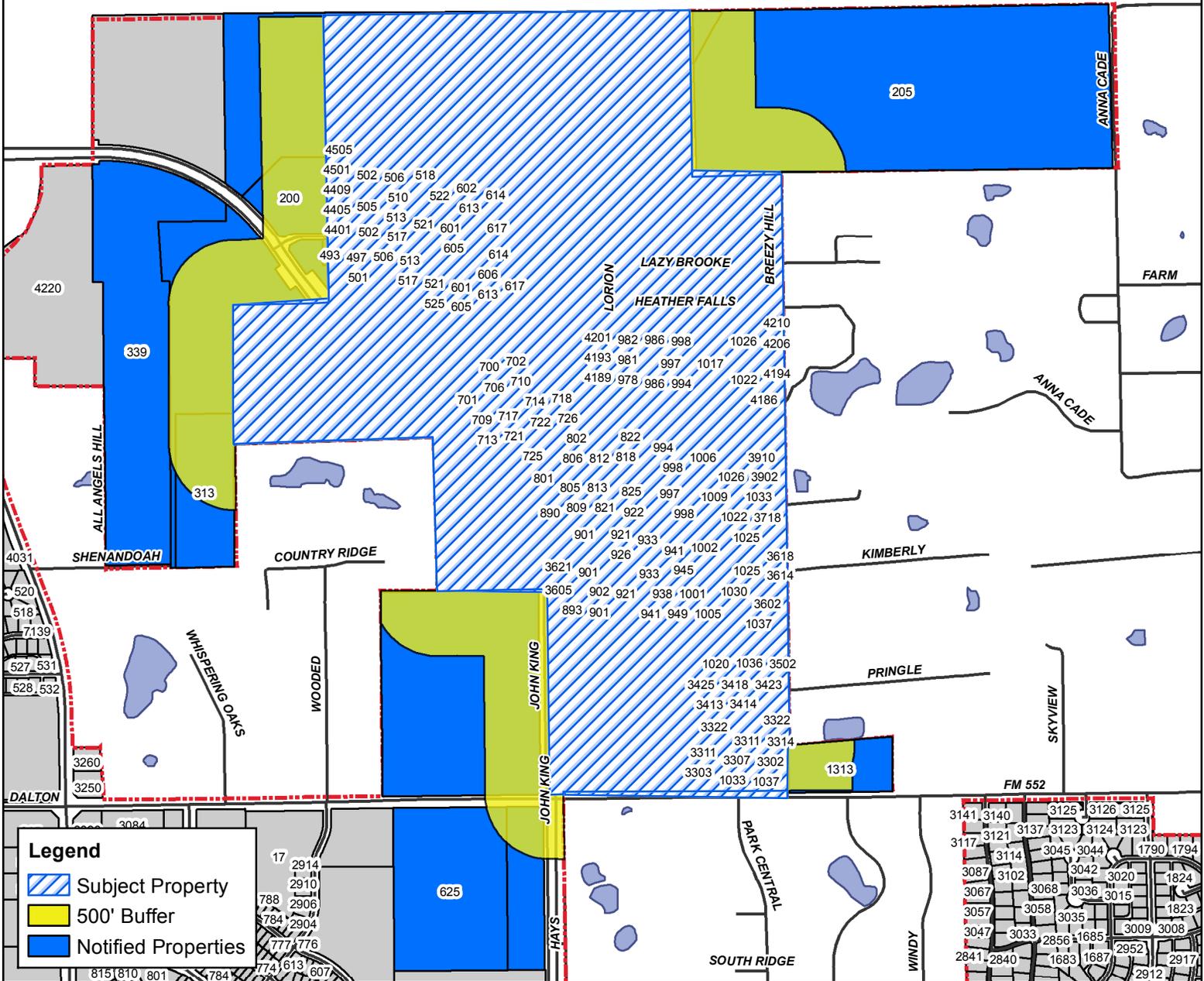
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

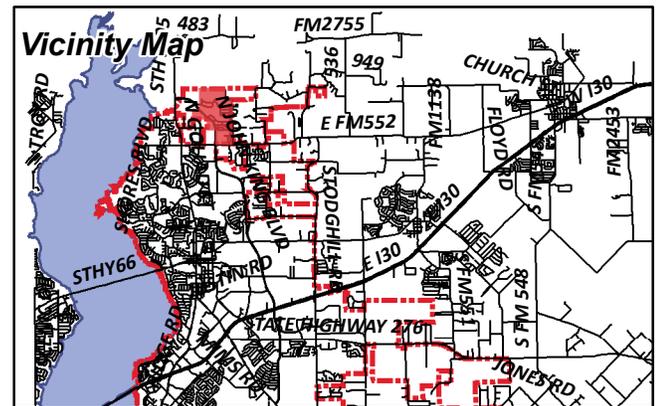


0 365 730 1,460 2,190 2,920 Feet



Case Number: Z2016-032
Case Name: Amendment to PD-74
Case Type: Zoning
Zoning: PD-74
Case Address: North of FM 552 and west of Breezy Hill Road

Date Created: 09/20/2016
For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1001 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1004 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 PLEASANT VIEW DR
ROCKWALL, TX 75087

GOODWIN ALLAN AND JULIE
1005 EMBER CREST DR
ROCKWALL, TX 0

CURRENT RESIDENT
1006 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1010 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1013 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1017 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1017 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1017 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1017 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1017 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1020 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 AMER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 PLEASANT VIEW DR
ROCKWALL, TX 75087

BIANCO DIEGO L
1022 PLEASANT VIEW DR
ROCKWALL, TX 0

CURRENT RESIDENT
1024 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1028 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1029 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1029 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1030 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1030 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1032 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 AMER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 FAWN TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
1036 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1037 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1037 FAWN TRL
ROCKWALL, TX 75087

RIGGS WILLIAM AUDY SR ESTATE
105 E KAUFMAN ST
ROCKWALL, TX 0

CURRENT RESIDENT
1313 FM552
ROCKWALL, TX 75087

RIDGEVIEW CHURCH
1362 E FM 522
ROCKWALL, TX 0

PAUL TAYLOR HOMES LTD
17950 PRESTON RD 0
DALLAS, TX 0

CURRENT RESIDENT
200 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
205 ROCKHOUSE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
313 SHENNENDOAH
ROCKWALL, TX 75087

CURRENT RESIDENT
3302 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3303 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3306 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3306 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3307 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3307 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3310 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3310 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3311 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3311 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3314 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3314 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3315 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3315 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3318 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3318 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3319 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3319 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3322 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3322 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3323 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3323 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3326 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
339 ALL ANGELS HILL
ROCKWALL, TX 75087

CURRENT RESIDENT
3401 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3401 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3402 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3402 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3405 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3405 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3406 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3406 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3409 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3409 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3410 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3410 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3413 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3413 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3414 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3414 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3418 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3418 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3422 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3423 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3425 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3426 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3502 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3506 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3510 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3602 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3605 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3606 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3609 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3610 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3613 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3614 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3617 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3618 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3621 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3702 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3706 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3710 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3714 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3718 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3902 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3906 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3910 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4186 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4189 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4190 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4193 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4194 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4197 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4198 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4201 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4202 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4205 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4206 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4210 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4401 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4405 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4409 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4413 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4501 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4505 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
493 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
497 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
501 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
502 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
502 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
505 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
505 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
506 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
506 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
509 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
509 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
510 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
510 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
513 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
513 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
514 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
514 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
517 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
517 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
518 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
518 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
521 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
521 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
522 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
522 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
525 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
526 LIFE SPRING DR
ROCKWALL, TX 75087

MEGATEL HOMES INC
5512 W PLANO PARKWAY 0
PLANO, TX 0

SINKS CHARLES WILLIAM II & SANDRA LYNN
555 SINKS ROAD
ROCKWALL, TX 0

CURRENT RESIDENT
601 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
601 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
602 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
602 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
605 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
605 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
606 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
606 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
609 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
609 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
610 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
610 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
613 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
613 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
614 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
614 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
617 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
617 LIMMERHILL DR
ROCKWALL, TX 75087

DREES CUSTOM HOMES LP
6225 N STATE HIGHWAY 161 0
IRVING, TX

CURRENT RESIDENT
625 FM552
ROCKWALL, TX 75087

HANCE LARRY
6306 GLENHOLLOW CT
DALLAS, TX

GILBERT ADAM AND AMANDA
700 CALM CREST DR
ROCKWALL, TX0

CURRENT RESIDENT
701 CALM CREST DR
ROCKWALL, TX 75087

LONES STEVEN M JR AND KELLY SUSAN
702 CALM CREST DR
ROCKWALL, TX

JONES ELOISE AND
705 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
706 CALM CREST DR
ROCKWALL, TX 75087

EVANS JEFFREY WILLIAM AND JULIE BONDS
709 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
710 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
713 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
714 CALM CREST DR
ROCKWALL, TX 75087

WILLIAMS TOMMY EUGENE AND PEGGIE J
717 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
718 CALM CREST DR
ROCKWALL, TX 75087

CAVALLI DAVID MICHAEL AND JULIE HARRISON
721 CALM CREST DR
ROCKWALL, TX

ROGERS DAMIAN W AND JESSICA L
722 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
725 CALM CREST DR
ROCKWALL, TX 75087

BLOCHER AYERS H III AND KAREN L
726 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
801 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
802 CALM CREST DR
ROCKWALL, TX 75087

YAO CHAN-HWA AND ESTHER KUO-LIN
805 CLAM CREST DR
ROCKWALL, TX

COLLINS HOPE AND GUY JR
806 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
809 CALM CREST DR
ROCKWALL, TX 75087

ETLEY MICHAEL EUGENE
812 CALM CREST DR
ROCKWALL, TX 0

CURRENT RESIDENT
813 CALM CREST DR
ROCKWALL, TX 75087

LOWDERMILK SHANE AND CHERYL
817 CALM CREST
ROCKWALL, TX

CARIKER KEVIN L AND LESLIE J
818 CALM CREST DR
ROCKWALL, TX

CAMP JOSEPH RICHARD AND
821 CALM CREST DR
ROCKWALL, TX 0

WINDSOR HOMES CUMBERLAND LLC
8214 WESTCHESTER
DALLAS, TX

BH PHASE III SF, LTD. / BH AMC, LTD.
8214 WESTCHESTER DR
DALLAS, TX

BH PHASE V 80'S POD LTD
8214 WESTCHESTER DR 0
DALLAS, TX

BH 60'S POD LTD
8214 WESTCHESTER DR
DALLAS, TX

BH PHASE IV SF, LTD.
8214 WESTCHESTER DR
DALLAS, TX

BH BALANCE III LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX

BH PHASE I SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH PHASE IIB SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH PHASE IIA SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH BALANCE I LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH PHASE III SF LTD
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH BALANCE IV LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH BALANCE II LLC
8214 WESTCHESTER DRIVE
DALLAS, TX

BRADLEY ERIK DOUGLAS
822 CALM CREST DR
ROCKWALL, TX

WEBB JOHN DAVID AND CAROLYN PARKER
825 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
890 PLEASANT VIEW DR
ROCKWALL, TX 75087

RICE JAMES RANDOLPH JR AND CANDACE
ELAINE
893 COLBY BLUFF DR
ROCKWALL, TX

CURRENT RESIDENT
894 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
898 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
906 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
906 PLEASANT VIEW DR
ROCKWALL, TX 75087

SICILIANO LAURA EDITH AND
906 AMBER KNOLL DR
ROCKWALL, TX 0

CURRENT RESIDENT
909 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
909 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
909 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
926 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
926 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
929 COLBY BLUFF DR
ROCKWALL, TX 75087

MASSEY REBECCA LYNNE ALAMAT AND DARRIN
TODD
929 PLEASANT VIEW DR
ROCKWALL, TX 0

CURRENT RESIDENT
930 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
930 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
934 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
934 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
937 COLBY BLUFF DR
ROCKWALL, TX 75087

ROBSON SCOTT WAYNE
937 PLEASANT VIEW DR
ROCKWALL, TX

CURRENT RESIDENT
938 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
938 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
941 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
941 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
942 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
945 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
945 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
946 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
949 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
950 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
978 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
981 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
982 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
982 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
985 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
986 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
986 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
989 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
993 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
997 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
997 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 CATTERICK DR
ROCKWALL, TX 75087

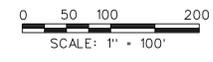
CURRENT RESIDENT
998 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 FOXHALL DR
ROCKWALL, TX 75087

LIFE SPRING CHURCH
P O BOX 886
ROCKWALL, TX

CLARK BRUCE A
PO BOX 1473
ROCKWALL, TX 0

SHENNENDOAH REAL ESTATE PARTNERS
PO BOX 941428
PLANO, TX



LEGAL DESCRIPTION

BEING, a tract of land situated in the T.R. Bailey Survey, Abstract No. 30 in the City of Rockwall, Rockwall County, Texas, being out of a 405.184 acre tract, as described in Clerks File No. 2007-00375392 in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the southwest corner of Breezy Hill Phase II A & II B, an addition to the City of Rockwall, as described in Cab. H, Pg. 397-398 in the Plat Records of Rockwall County, Texas, being in the east line of John King Boulevard (120' R.O.W.);

THENCE, South 89° 28' 34" East, along the south line of said Breezy Hill Phase II A & II B, for a distance of 723.98 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 00° 31' 26" West, departing said south line, for a distance of 600.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North 89° 28' 34" West, for distance of 722.61 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", being in the east line of said John King Boulevard;

THENCE, North 00° 23' 34" East, along the east line of said John King Boulevard, for a distance of 600.00 feet, to the POINT OF BEGINNING and containing 9.962 acres of land.

SURVEYORS CERTIFICATE

I do hereby certify to Breezy Hill 405, Ltd., BH Balance IV, Ltd., Vestor T. Hughes, Jr., Independent Executor of the Estate of W.W. Coruth, Jr. Deceased, that a survey was made on the ground under my supervision in April 2015, and that this map correctly represents the facts found at the time of survey and that this professional service conforms to the current Texas Society of Professional Land Surveyors Standards and Specifications for Category 1A, Condition II Survey.

FOR REVIEW PURPOSES ONLY

Warren L. Corwin
Registered Professional Land Surveyor
No. 4621

Date _____

- NOTES:**
- 1/2" IRON RODS WITH YELLOW "CORWIN ENGR. INC." CAPS SET AT ALL CORNERS UNLESS OTHERWISE INDICATED
 - BEARINGS ARE REFERENCED A 405.184 ACRE TRACT, AS DESCRIBED IN CLERKS FILE NO. 2007-00375392, IN THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS
 - IRF - IRON ROD FOUND
CM - CONTROLLING MONUMENT
PP - POWER POLE
WV - WATER VALVE
-X- - FENCE LINE
 - COPYRIGHT © CORWIN ENGINEERING, INC. ALL RIGHTS RESERVED
 - THE FOLLOWING EASEMENTS DO NOT AFFECT SUBJECT TRACT:
- TEXAS POWER & LIGHT CO. EASEMENT DATED JAN. 3, 1949, VOL. 45, PG. 343

BOUNDARY SURVEY
OF
9.962 ACRE TRACT
OUT OF THE
T.R. BAILEY SURVEY ABSTRACT NO. 30
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
APRIL 2015 SCALE: 1"=100'

LEGAL DESCRIPTION

BEING, a tract of land situated in the T.R. Bailey Survey, Abstract No. 30 in the City of Rockwall, Rockwall County, Texas, being out of a 405.184 acre tract, as described in Clerks File No. 2007-00375392 in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING, at a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”, at the southwest corner of Breezy Hill Phase IIA & IIB, an addition to the City of Rockwall, as described in Cab. H, Pg. 397-398 in the Plat Records of Rockwall County, Texas, being in the east line of John King Boulevard (120' R.O.W.);

THENCE, South 89°28'34” East, along the south line of said Breezy Hill Phase IIA & IIB, for a distance of 723.98 feet, to a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”

THENCE, South 00°31'26” West, departing said south line, for a distance of 600.00 feet, to a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”

THENCE, North 89°28'34” West, for distance of 722.61 feet, to a ½ inch iron rod set with a yellow cap stamped “Corwin Eng. Inc.”, being in the east line of said John King Boulevard;

THENCE, North 00°23'34” East, along the east line of said John King Boulevard, for a distance of 600.00 feet, to the POINT OF BEGINNING and containing 9.962 acres of land.

DONG WON KANG
VOL. 4703, PG. 1402

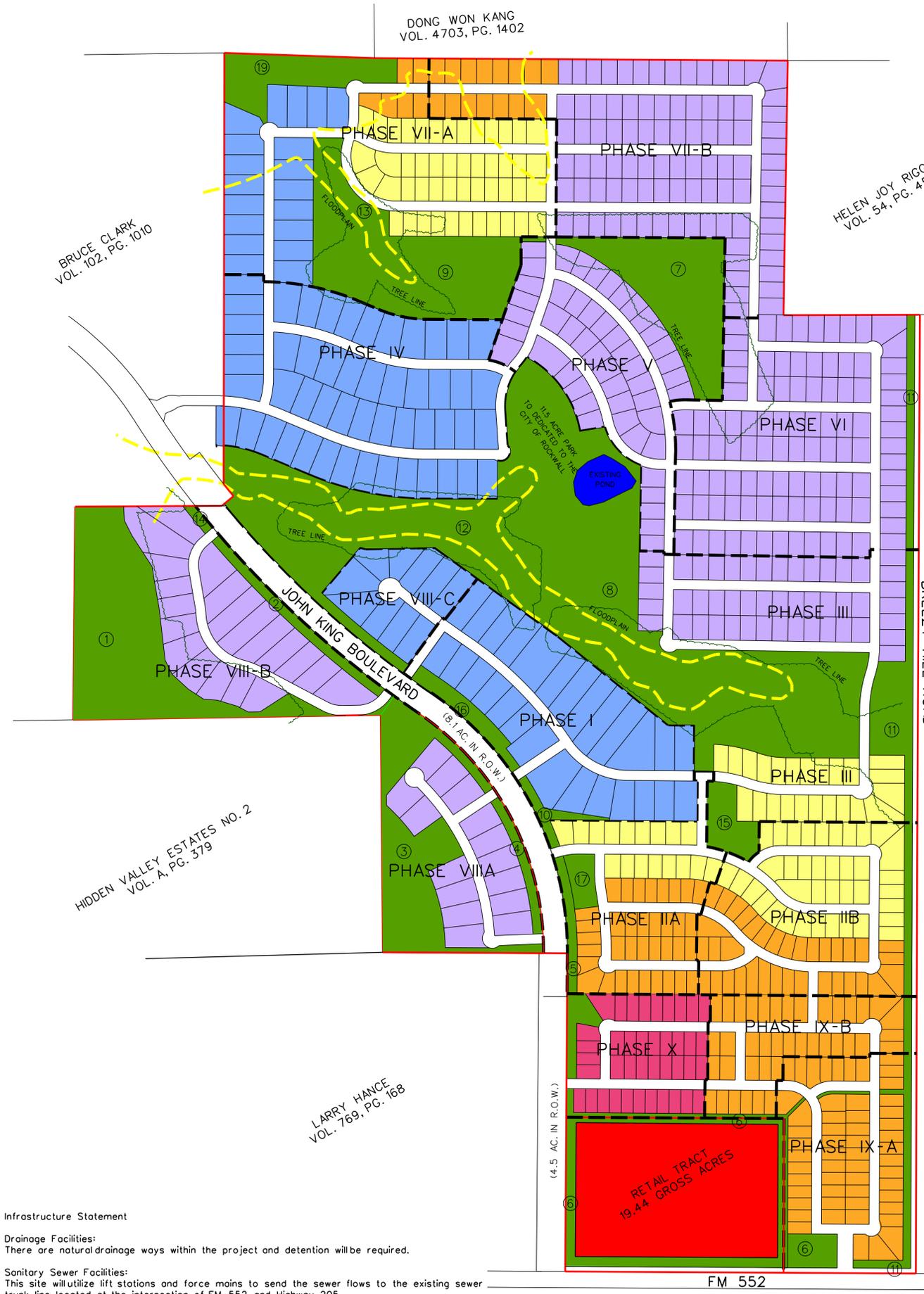
HELEN JOY RIGGS
VOL. 54, PG. 456

BRUCE CLARK
VOL. 102, PG. 1010

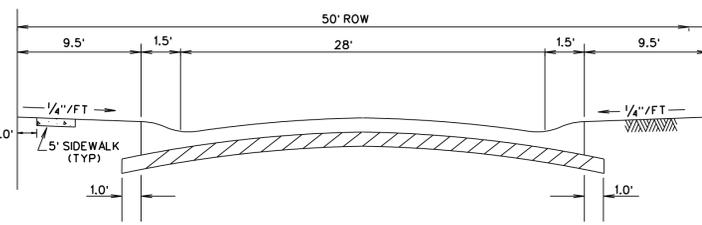
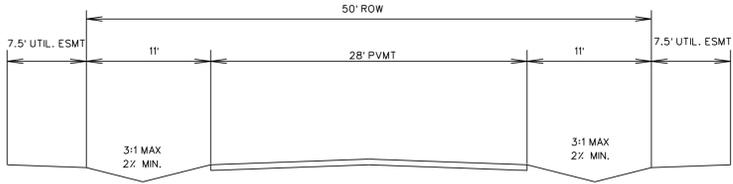
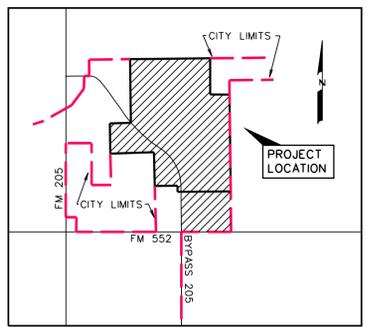
HIDDEN VALLEY ESTATES NO. 2
VOL. A, PG. 379

LARRY HANCE
VOL. 769, PG. 168

SKYVIEW COUNTRY ESTATES
VOL. A, PG. 261



0 200 400 800
SCALE: 1" = 400'



LEGEND

TYPICAL LOT SIZES

- TYPE A - 186 LOTS (60's)
- TYPE B - 117 LOTS (70's)
- TYPE C - 326 LOTS (80's)
- TYPE D - 107 LOTS (100's)
- TYPE E - 40 LOTS (60's)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER

RESIDENTIAL OPEN SPACE

Number	Acres	OPEN SPACE CREDITS	Comments
1	11.5	11.5	Open Space
2	1.3	1.3	Open Space
3	7.5	7.5	Open Space
4	0.8	0.8	Open Space
5	1.6	1.6	Open Space
6	5.4	5.4	Open Space
7	7.1	7.1	Open Space
8	32.5	32.5	Open Space
9	9.7	9.7	Open Space
10	0.7	0.7	Open Space
11	6.6	6.6	Floodplain
12	11.9	5.9*	Floodplain
13	1.4	0.7*	Floodplain
14	0.2	0.2	Open Space
15	1.6	1.6	Amenity Center
16	1.2	1.2	Open Space
17	0.8	0.8	Open Space
18	0.09	0.09	Open Space
19	3.56	1.78*	Floodplain
TOTAL	105.4 AC.	97.0 AC.	

* indicates 50% Credit for Flood Plain
 TOTAL RESIDENTIAL ACRES - 381.20 AC.
 JOHN KING R.O.W. - 8.1 AC.
 NET ACRES - 373.10 AC.
 20% required Open Space - 74.62 AC.
 per PD

TOTAL RETAIL - 19.4 AC.
 JOHN KING R.O.W. - 4.45 AC.
 NET RETAIL ACRES - 16.2 AC.
 20% required Open Space - 3.2 AC
 per PD

NOTE:
 BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PLACED AS NEEDED TO ACCOMMODATE FIRE PROTECTION.

FEMA FLOODPLAIN PANEL NO. 48397C0030L
 THE 19.5 ACRE TRACT DESIGNATED AS "RETAIL TRACT" WILL REQUIRE A SEPARATE PD DEVELOPMENT PLAN AND IS INCLUDED IN THE AREA COVERED BY THIS MASTER PLAT.

RETAIL TRACT 19.4 ac.
 RESIDENTIAL TRACT 381.20 ac.

TOTAL ACRES 405.15
 TOTAL RESIDENTIAL LOTS 776
 RESIDENTIAL DENSITY 1.92

Infrastructure Statement

Drainage Facilities:
 There are natural drainage ways within the project and detention will be required.

Sanitary Sewer Facilities:
 This site will utilize lift stations and force mains to send the sewer flows to the existing sewer trunk line located at the intersection of FM 552 and Highway 205

Water Facilities:
 There is an existing water line located in FM 552. A new 16" water line will be constructed along John King Boulevard north of FM 552 to service this tract.

Roadway Facilities:
 The west side of the project is bounded by John King Boulevard, the south side is bounded by FM 552, the east side is bounded by Breezy Hill Road.

MASTER PLAT
 OF
BREEZY HILL
 OUT OF THE
 J. STRICKLAND SURVEY, ABSTRACT NO. 187
 T.R. BAILEY SURVEY, ABSTRACT NO. 30
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNERS
BREEZY HILL 405, LTD.
 8214 WESTCHESTER, SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 AUGUST 2016 SCALE 1" = 400'

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 74 (PD-74) [ORDINANCE NO. 14-26] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING THE PLANNED DEVELOPMENT CONCEPT PLAN AND THE DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 14-26, BEING A 405.184-ACRE TRACT OF LAND SITUATED IN THE J. STRICKLAND SURVEY, ABSTRACT NO. 187, T. R. BAILEY SURVEY, ABSTRACT NO. 30 AND THE J. SIMMONS SURVEY, ABSTRACT NO. 190, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE..

WHEREAS, the City has received a request by the Noah Flabiano of the Skorburg Company on behalf of Breezy Hill 405, LTD for an amendment to the Planned Development Concept Plan and Development Standards contained within Planned Development District 74 (PD-74) [specifically contained within *Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, for a 405.184-acre tract of land situated in the J. Strickland Survey, Abstract No. 187, T. R. Bailey Survey, Abstract No. 30 and the J. Simmons Survey, Abstract No. 190, Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 74 [*Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 14-26*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That a master parks and open space plan for the Property, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, (*Open Space Master Plan*) shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

Section 6. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 1. Open Space Master Plan
 2. Master plat
 3. PD development plans (*required for retail areas only*)
 4. PD site plans
 5. Preliminary plats
 6. Final plats
- (c) A Master Plat application covering all of the *Subject Property*, other than the area designated on the *Planned Development Concept Plan* as *Retail*, shall be submitted and shall identify each phase of development. No master plat application shall be approved until the *Open Space Master Plan* for all of the Property has been approved; however, the *Open Space Master Plan* may be processed by the City concurrently with the master plat application.
- (d) A *PD Development Plan* must be approved for the area designated on the Concept Plan as *Retail* prior to submittal of a *PD Site Plan* application and/or a preliminary plat application. No master plat is required for the area designated on the Concept Plan as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for the retail tract.
- (e) A preliminary plat application shall be submitted for each phase of residential development. A *PD Site Plan* application, including a site plan application for improvements for parkland or trails, may be processed by the City concurrently with a preliminary plat application for that phase of the development.
- (f) A *Capital Facilities Agreement* in the form of *Exhibit 'D'*, attached hereto and incorporated herein by reference as *Exhibit 'D'*, shall be executed by Developer providing for delivery of adequate public facilities and services within the District.

Section 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine

not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF NOVEMBER, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2016

2nd Reading: November 7, 2016

Exhibit 'A':
Legal Description

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN PARTS OF THE J. STRICKLAND SURVEY, ABSTRACT NUMBER 187, T. R. BAILEY SURVEY, ABSTRACT NUMBER 30 AND THE J. SIMMONS SURVEY, ABSTRACT NUMBER 190 OF ROCKWALL COUNTY, AND BEING THAT TRACT OF LAND CONVEYED TO W.W. CARUTH, JR. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 66, PAGE 493, DEED RECORDS OF ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) ALSO A PORTION OF THE J. STRICKLAND SURVEY, ABSTRACT 794•3 LYING IN COLLIN COUNTY, TEXAS, THAT TRACT OF LAND CONVEYED TO MABEL CARUTH ACCORDING TO THE FILE OF RECORD IN COUNTY CLERK FILE NUMBER 92-0054539 OF COLLIN COUNTY, TEXAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND AT THE BASE OF A CORNER POST, SAID IRON ROD BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO DONG WON KANG RECORDED IN VOLUME 4703, PAGE 1402, D.R.R.C.T., AND SAME (BEING THE SOUTHEAST CORNER OF SAID TRACT "ONE" AS SHOWN HEREON);

THENCE NORTH 89°21'28" EAST, A DISTANCE OF 2077.92 FEET TO A 1/2" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°01'37" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 1274.60 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°19'07" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 686.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°42'37" EAST, ALONG THE CENTER OF BREEZY HILLS ROAD, A DISTANCE OF 4777.93 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN THE NORTH LINE OF F.M. HIGHWAY 552, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 89°20'36" WEST, ALONG THE NORTH LINE OF SAID F.M. HIGHWAY, A DISTANCE OF 1887.13 FEET, TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN AN ENTRYWAY OF A RANCH ROAD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 00°31'43" WEST, GENERALLY ALONG THE CENTER OF SAID RANCH ROAD, PASSING AT A DISTANCE OF 10.00 FEET A 1/2" IRON ROD FOUND ON THE WEST LINE OF THIS TRACT AND CONTINUING A TOTAL DISTANCE OF 1593.55 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH S9°15'47" WEST, A DISTANCE OF 503.29 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 01°31'06" WEST, A DISTANCE OF 1189.10 FEET TO A 5/8" IRON ROD FOUND AT THE BASE OF A CORNER POST, FOR A CORNER OF THIS TRACT;

THENCE SOUTH 88°05'58" WEST, A DISTANCE OF 1546.66 FEET TO A 3/8" IRON ROD

Exhibit 'A':
Legal Description

FOUND FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°47'14" WEST, A DISTANCE OF 1067.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 88°33'50" E, A DISTANCE OF 748.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°45'11" W, A DISTANCE OF 2243.67 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 89°21'28" E, A DISTANCE OF 754.93 FEET TO THE POINT OF BEGINNING, AND CONTAINING 405.184 ACRES OF LAND, MORE OR LESS.

Exhibit 'C':
PD Development Standards

TEXT TO BE ADDED TO THE ORDINANCE
TEXT TO BE REMOVED FROM THE ORDINANCE

A. GENERAL REQUIREMENTS

1. *Uses Allowed.* The following uses are permitted for the Property.
 - a. *Residential uses.* Uses permitted of right or by special use permit for the Single Family 10 (SF-10) District, as set forth in Article IV, Permissible Uses, of the City of Rockwall Unified Development Code, shall be allowed for areas designated as Single-Family on the Concept Plan, subject to approval of a Special Use Permit if required by the SF-10 District Regulations.
 - b. *Non-residential uses.* Non-residential uses shall be allowed only within the area designated as Retail on the approved Concept Plan for the District, and are limited to those uses permitted of right or by special use permit for the General Retail (GR) District subject to approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations, Article X, Section 2 of the Unified Development Code, and subject to approval of a Special Use Permit if required by the General Retail (GR) District regulations; provided, however, that the following uses are expressly prohibited:

- Animal Hospital, Clinic
- Convent or Monastery
- Hotel or Motel
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (Outside)
- Gun Club, Skeet or Target Range (indoor)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply/Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service*
- Service Station*
- Mining and Extraction (Sand, Gravel, Oil & other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

* Not including a convenience store with an accessory car wash use or more than four (4) gas pumps, which accessory uses are permitted by SUP.

The following additional use shall be permitted of right in the PD District:

- Grocery Store with a maximum building area of one hundred and thirty thousand (130,000) square feet.

- c. *Design of non-residential uses.* The retail area shall be designed to be pedestrian-oriented and easily accessible to adjacent residential neighborhoods. Additionally, the retail area shall be designed and constructed to be integrated with adjacent uses, not separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from adjacent development into the retail area and

Exhibit 'C':
PD Development Standards

through the use of landscaping buffers, building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

- d. *Density and lot composition.* If the retail develops in accordance with the attached Concept Plan, no more than **742 776** single-family residential dwelling units may be constructed within the Property. Except as provided in subsection (e), single-family residential units shall be allocated by product type in accordance with the following table:

Table 1: Lot Composition

Lot Type	Lot Size Minimum	Lot SF Minimum	Driveway Access	Total Units	Total Dwelling Units (%)
A	60' x 120'	7,200	Front	206 186	27.80 23.97%
B	70' x 120'	8,400	Front	442 117	15.40 15.08%
C	80' x 125'	10,000	Front	326	43.90 42.01%
D	100' x 200'	20,000	Front	98 107	13.29 13.79%
E	60' x 120'	7,200	Front	40	5.15%
AVERAGE LOT SIZE:		10,000			
MAXIMUM ALLOWED TOTAL UNITS:				742 776	100%

- e. *Variation in lot composition.* The allocation of single-family dwellings among lot types may deviate from that in subsection (d), provided that the maximum allowed total dwelling units does not exceed **742 776** units, the average lot size for the development is not less than 10,000 sq. ft., and the following rules are met:

- (1) Lot types "A & B" may increase not more than 5% in aggregate number.
- (2) Lot type "C" shall not be decreased below **42% 42.01%** of the total **742 776** lots.
- (3) Lot Type "D" shall not be decreased below **98 107** of the total lots.
- (4) Lot Type "E" shall not increase above 40 of the total lots.**

2. *Development Standards Applicable.* Except as may be modified by these Development Standards, residential uses shall be subject to the development standards for a (SF-10) Single Family Residential District, as set forth in Article V, District Development Standards for Section 3.4 of the City of Rockwall Unified Development Code; to the development standards in the 205 Bypass Overlay District; and to all supplemental standards contained in the Unified Development Code, including but not limited to the tree preservation regulations in the Unified Development Code.

Exhibit 'C':
PD Development Standards

B. SPECIAL DEVELOPMENT STANDARDS

1. *Dimensional Standards for Residential Uses*

Table 2: Lot Type Matrix

Lot Types	A	B	C	D	E
Maximum Building Height	36'	36'	36'	36'	36'
Minimum Air Conditioned Square Footage	2,200	2,400	2,600 ²	3,000	2,200
Minimum Front Yard Building Setback	20' ⁴	20'	20'	40' ³	20' ⁴
Minimum Rear Yard Building Setback	10'	10'	15'	15'	10'
Minimum Side Yard (<i>Interior</i>)	5'	5'	6'	7'	5'
Minimum Side Yard Adjacent to a Street	15'	15'	15'	15'	15'
Minimum Distance of Driveway (<i>from Property Line</i>)	20'	20'	20'	40'	20'
Minimum Lot Area (<i>Square Feet</i>)	7,200	8,400	10,000	20,000	7,200
Minimum Lot Frontage ¹	60'	70'	80'	100'	60'

Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by twenty percent (20%) in lot width measured at the front property line provided that the lot width will be met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10 percent (10%) but shall meet the minimum lot size for each lot type as referenced within *Table 1*.
- ²: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.
- ³: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.
- ⁴: Front porch may encroach to within 10-feet of the front property line.

2. *Development Standards for Residential Uses by Lot Product/Type*

a. *Detached Single Family Lot Type A*

Development Standards

Minimum Lot Size	7,200 SF
Minimum Lot Width (@ Front Building Line)	60'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	65'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,200 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drive. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'A' lots shall have 3-car garages.
Maximum Lot Coverage	65%

Exhibit 'C':
PD Development Standards

b. Detached Single Family Lot Type B

Development Standards	
Minimum Lot Size	8,400 SF
Minimum Lot Width (@ Front Building Line)	70'
Minimum Lot Depth	120'
Minimum Lot Width (Corner Lot)	75'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,400 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drives. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'B' lots shall have 3 car garages.
Maximum Lot Coverage	65%

c. Detached Single Family Lot Type C

Development Standards	
Minimum Lot Size	10,000 SF
Minimum Lot Width (@ Front Building Line)	80'
Minimum Lot Depth	125'
Minimum Lot Width (Corner Lot)	85'
Minimum Side Yard Setback	6'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	2,600 SF ¹
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 80% of Type 'C' lots shall have 3 car garages.
Maximum Lot Coverage	65%

Notes:

¹: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.

Exhibit 'C':
PD Development Standards

d. *Detached Single Family Lot Type D*

Development Standards	
Minimum Lot Size	20,000 SF
Minimum Lot Width (@ Front Building Line)	100'
Minimum Lot Depth	175'
Minimum Lot Width (Corner Lot)	100'
Minimum Side Yard Setback	7'
Minimum Front Yard Building Setback	40' ¹
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	3,000 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. 80% of Type D lots shall have a minimum of 3 car garages.
Maximum Lot Coverage	70%

Notes:

¹: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.

e. **Detached Single Family Lot Type E**

Development Standards	
Minimum Lot Size	7,200 SF
Minimum Lot Width (@ Front Building Line)	60'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	65'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20' (Front porch may encroach to within 10-feet of the front property line) ¹
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,200 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation ¹	Garages will be allowed to be accessed from the street; however a minimum driveway length of 20-ft must be provided
Maximum Lot Coverage	65%

Notes:

¹: The driveways for Lot Type E shall be front-entry facing the street. Swing garages shall not be required for this Lot Type.

- Fencing.* All individual residential fencing for lots less than 20,000 square feet shall be cedar standard fencing material (minimum ½" thickness) or better (spruce fencing will not be allowed). All cedar pickets shall be placed on the "public side" facing the street, alley or

Exhibit 'C':
PD Development Standards

neighboring property. Lots containing 20,000 sq. ft., lots located along perimeter roadways, and lots abutting open spaces, greenbelts and parks shall be required to install tubular steel fencing. Corner lot fencing (adjacent to the street) shall provide masonry columns at forty-five feet (45') off center spacing that begins at the rear property line corner and terminates ten feet (10') behind the front yard building setback line. A maximum six (6') foot solid board on board "panel" cedar fencing shall be allowed between the masonry columns along the side and/or rear yard lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five feet (5'). The property owner shall maintain that portion of the property outside the fence.

4. *Anti-Monotony Features.* Lot types shall incorporate the following elevation features.

Table 3 : Anti-Monotony Matrix

Lot Type	Lot Size (Approx.)	Elevation Features
A	60' x 120'	i., ii., iii.
B	70' x 120'	i., ii., iii.
C	80' x 125'	i., ii., iii.
D	100' x 200'	i., ii., iii.
E	60' x 120'	i., ii.

- i. Exterior facade must be composed of eighty percent (80%) masonry (brick, stone, cultured stone, or three-part stucco). Identical brick blends may not occur to adjacent (side-by-side) properties. Elevations shall not repeat along the fronting or siding streetscape without at least four (4) intervening homes of sufficient dissimilarity (to be determined by the ARC) on the same side of the street and (2) intervening homes on the opposite side of the street). The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least two (2) intervening homes of sufficient dissimilarity (to be determined by the ARC). Masonry (brick, stone, cultured stone, or three-part stucco) chimneys shall be required on all homes.
 - ii. Minimum of 8:12 roof pitch, except for 4:12 roof pitches on porches. For each phase, a maximum of four compatible roof colors may be used. Dimensional shingles shall be used. **Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized.** No Formica counters in kitchens and bathrooms, no blown acoustic ceilings. No vinyl flooring will be used in kitchens.
 - iii. For front entry driveway access a traditional "swing" or "J" drive will be used. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only.
5. *Streetscape Landscape.* Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy trees.
- (1) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (2) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - (3) For purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.
6. *Master Design Guidelines.* Additional design guidelines specific to each phase of development that shall apply to all single-family dwellings units within that phase of development, shall be submitted to the City prior to issuance of any building permits for that portion of the development.

Exhibit 'C':
PD Development Standards

C. STANDARDS FOR DISTRICT DESIGN AND CONNECTIVITY

1. *Streetscape Standards for Collectors & Non-Fronting Thoroughfares.* All streets, excluding drives, fire lanes and private parking areas, shall be built according to City of Rockwall street standards. Sidewalks and Hike / Bike trails are to be placed according to city requirements and as set forth in the Open Space Master Plan for the District.
 - a. *Buffer-Strip and Sidewalks (John King Boulevard Overlay District).* The landscape buffer strip along John King Blvd shall be as described in the City of Rockwall Unified Development Code, Article V (District Development Standards), Section 6.10 E (Landscape Standards) and be a minimum width of fifty (50) feet as shown on the Planned Development Concept Plan in Exhibit 'B'. Additionally, the developer shall construct a minimum of a ten (10) foot sidewalk, on both sides of John King Boulevard, within the fifty (50) foot landscape buffer strip as recommended by the John King Boulevard Design Concept Plan located in the Comprehensive Plan of the City of Rockwall.
 - b. *Buffer-Strip (FM 552).* A landscape buffer strip with a minimum width of fifteen (15) feet shall be provided along the frontage of FM 552, and shall be landscaped with at least one canopy tree per 30-ft and a combination of berms and shrubbery to be reviewed with the PD Site Plan(s) for the retail tract.
 - c. *Buffer-Strip (Breezy Hill) Retail.* The minimum buffer width between the proposed retail area and Breezy Hill Rd shall be fifty (50) feet, and shall include a berm with a minimum height of five (5) feet with at least three (3) canopy trees and four (4) accent trees per 100-ft of frontage. A detail of this landscape buffer shall be approved by the Planning and Zoning Commission and City Council at the time of PD Development Plan for the retail tract.
 - d. *Buffer-Strip (Breezy Hill) Residential.* A landscape buffer strip with a minimum width of ten (10) feet shall be provided between any residential area and Breezy Hill Rd.
 - e. *Irrigation.* Any irrigation installed in landscape areas and public parks must be designed by a Texas licensed irrigator or landscape architect.
 - f. *Fencing.* The Association will maintain all common area and perimeter fencing surrounding the Property. Such perimeter fencing shall be composed of six foot (6') tall tubular steel fencing with masonry entry features or such other fencing as may be approved by the City at the time of platting. Perimeter screening may also be accomplished by earthen berms landscaped with living screening. Property owners will maintain all fences constructed on private property.
 - g. *Curvilinear Walks.* Walks are to be a minimum of five feet (5') wide to six feet (6') maximum width (hike and bike trail) consistent with the approved Open Space Master Plan. "Collector streets" with or without center medians may incorporate sidewalks six feet (6') in width adjacent to or within "front yard" landscape easements. Walks may meander within parkway and common area; however, edge of walk shall be no closer than four feet (4') from back-of-curb.
 - h. *Medians.* Any proposed median openings shall meet the City standards at the time of PD site plan approval.
2. *Lighting.* Light poles shall not exceed twenty feet (20') in height. All light fixtures shall direct light downward and be contained to the site.
3. *Sidewalks.* At a minimum, sidewalks located on lay down curb section streets shall begin four feet (4') behind the back of curb and be five feet (5') in overall width. Sidewalks will not be required on rural street sections.

Exhibit 'C':
PD Development Standards

4. Curbing. Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
5. *Buried Utilities*. New distribution power-lines required to serve the Property shall be placed underground, whether such lines are located internally or along the perimeter of the Property, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3 phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the Property, except along the 205 Bypass. Additionally, if such above ground lines are installed along the perimeter of the property and adjacent to non-residential use, then the lines shall be installed behind the non-residential buildings where the installation is possible. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the Property. Temporary power-lines constructed across undeveloped portions of the Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered "existing lines" at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph.
6. *Parks and Open Space*.
 - a. Residential and retail acreages (net of right-of-way dedication) shall contain no less than 20% open space and.
 - b. Allowable open space may include but is not limited to 50% of floodplain, amenity center, public or private parks, trails, natural areas, buffers, traffic circle medians, entry features, common areas (including any Association recreation center or similar facilities) and other features depicted on the Development Plan, as set forth in the Open Space Master Plan prepared in accordance with subparagraph (c) below. Street right of way will not be included as open space. At least 80% of the single-family dwellings within the development shall be located within eight hundred feet (800') of public or private open space. In order to qualify, such open space must be at least one (1) continuous acre in area, not including roadway buffers less than fifty (50') feet in width.
 - c. The Developer shall prepare the Open Space Master Plan to be consistent with the approved Development Plan. The purpose of an Open Space Master Plan is to supplement the Development Plan by providing an additional level of detail for public and private open space areas. The Open Space Master Plan shall identify the locations of and improvements to public parks, and other public and private open space or common areas and shall illustrate an integral system of trail improvements that, together with intervening land held by other property owners or the City, is designed to connect residential areas, schools and retail areas within the District to parks and open space within the District and that provides for continuation and connection of the trail system to off-site parks and open space, in accordance with the City's Master Park and Recreation Plan. The Open Space Master Plan shall clearly differentiate public parks from private facilities and common lands to be maintained by the Association. The locations of public parks, school sites and other public and private open space or common areas shown on the Open Space Master Plan shall be in conformance with the Development Plan. The Open Space Master Plan shall include a phasing plan for construction of all trails, parks, common open space and facilities. The Open Space Master Plan shall be considered for approval if it complies with this section, the applicable City regulations, the Development Plan, and generally accepted park-planning practices.
 - d. The District shall contain not less than eleven (11) acres of land to be used as public or private parkland. A minimum of eleven (11) contiguous acres shall be dedicated to the City in accordance with the City's Neighborhood Parkland Dedication Ordinance on approval of the final plats for those phases adjacent to or abutting the proposed parkland dedication and will provide access to said parkland area. The remaining parkland area

Exhibit 'C':
PD Development Standards

will be retained as a private park within the District. Park improvements shall be constructed in accordance with the approved Open Space Master Plan. The site plan incorporating the design of park improvements and hike/bike trail improvements shall be considered for approval with the final plat for the phase of the development containing such improvements. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding land dedication. At the time of recordation of final plats for each phase, the Developer shall pay park improvement fees to the City. These fees shall be held in an escrow account until the parkland is dedicated to the City, at which time the Developer shall inform the City if the Developer wishes to use the escrowed fees as well as future fees to construct park improvements. Prior to construction, said improvements shall be approved by Parks Director, approval not to be unreasonably withheld, and invoices for improvements shall be submitted to Parks Director for approval. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding park development fees, provided that park improvements are installed at a value equal or exceeding the value of park improvement fees for the entire District applicable at that time, or improvement fees are paid. Thereafter, the Developer shall not be responsible for additional parkland dedication or park development fees associated with the Property, except as otherwise may be provided in a capital facilities agreement approved by the City.

7. Developer shall provide a minimum of one (1) retention pond in the District with hard edges and fountain features. The exact configuration and location of the ponds will be determined at development. All retention pond hardedges shall be similar to the hardedge shown on Figure 1 (below).



Figure 1: Retention Pond with Hardedge.

8. **Signage.** Permanent subdivision identification signage shall be permitted at all major entry points, in general conformance to the signage shown in Figure 2 & 3 (below). Final design of entry features to be determined with the Planned Development Site Plan.

Exhibit 'C':
PD Development Standards



Figure 2: Example of Subdivision Signage Locations

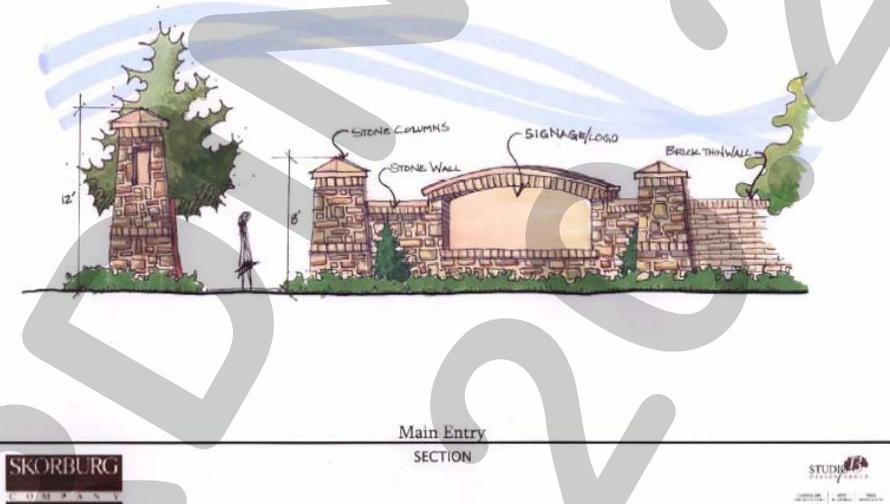


Figure 3: Example of Subdivision Signage Design Standard

9. *Variations.* The variance procedures and standards for approval set forth in the Unified Development Code shall apply to any application for variances to this ordinance.
10. *Amenity Center.* Site plan, landscape plan and building elevations for the Amenity Center shall be approved by the Planning and Zoning Commission prior to construction.
11. *Trees.* All trees planted within the District shall be a minimum three (3) inch caliper measured six (6) inches above the root ball.

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

THIS CAPITAL FACILITIES AGREEMENT (the "Agreement") is by and among the Breezy Hill 405, Ltd, ("Breezy" or "Developer") and the City of Rockwall, Texas ("City" or "Rockwall"),

I. RECITALS

1. Breezy seeks to rezone and subdivide the Property for single-family residential use and certain commercial uses. Breezy shall submit an application to rezone the 405 acres north of FM-552 (the "Property") as a planned development (PD) district for a development currently known as Breezy Hill (the "PD District"),

NOW, THEREFORE, in consideration of the foregoing recitals and mutual covenants contained herein, the Parties hereto agree as follows:

II. ADEQUATE PUBLIC FACILITIES

1. *General Provisions.*

- a. *Adequacy Required.* Development of the Property shall be supported with adequate levels of public facilities and services, Adequate facilities and services are those that (i) comply with the applicable City regulations, including this Agreement, and (ii) are consistent with generally accepted engineering and planning practices for similar developments, The Parties agree that the dedication and construction of public improvements, or the contribution of proportionate development fees, required to support development of the Property shall precede or be concurrent with the construction of private improvements to the land, in accordance with the phasing provisions incorporated within this section, or as otherwise may be provided through approval of a master plat.

- b. *Proportionality.* The Parties agree that the dedication or construction of public improvements, or the contributions of development fees, provided for in this Agreement are roughly proportional to the nature and extent of the proposed development of the Property on the City's public facilities systems. Breezy hereby covenants not to sue the City for any claim, or otherwise consent to participate in any action against the City arising from any claim by such party or by its affiliates, alleging that application of the adequate facilities requirements set forth in this Part II of the Agreement to the development of the Property, or the imposition of conditions to a plat application for a portion of the Property that are consistent with the requirements of this section, are not roughly proportional to the impacts of the development depicted in the Concept Plan, including but not limited to any action premised upon Tex. Loc. Gov't Code sec. 212.904 or successor statute. Such covenant not to sue touches and concerns the Property, and is a covenant running with the land such that it binds successors-in-interest and assigns of Breezy. Should any successor-in-interest or assign of Breezy other than an affiliate of Breezy assert any of the foregoing claims in a court of competent jurisdiction, in violation of this Subsection 1 (b), with respect to the development of any portion of the Property, the Parties agree that, with respect to such portion of the Property or all of the Property, at the City's option, this Agreement thereupon shall become null and void and any rights that may otherwise have

PLS

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

vested under then existing state law shall be waived upon such event. Breezy further agrees that the City may expressly rely upon the provisions of this paragraph in any certification under section 212.904 and that a court in determining rough proportionality may consider all of the Property. Should Breezy or an affiliate of Breezy violate the covenant not to sue contained in this paragraph, the City may either enforce the covenant or pursue the remedies provided for herein that are applicable to successors or assigns, other than affiliates. As used in this Agreement, the term "affiliate" means any person, corporation, partnership, or other entity controlled by, controlling, or under common control with Breezy.

- c. *No Waiver.* The requirements in this Part II shall be considered additional standards and conditions applicable to development within the PD District. Except in the event of a conflict between the standards in this Agreement and other standards applicable within the District, nothing in this Agreement shall be construed as superseding any requirement or standard in the City's subdivision or utility regulations relating to provision of adequate public facilities and services.

2. Wastewater Services.

- a. *City as Provider.* The City shall be the supplier of wastewater services to the Property.
- b. *Line Extensions.* The Developer shall extend wastewater mains sufficient to serve each phase of development within the PD District, sized in accordance with the City's master plan for wastewater facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall design and construct a lift station in order to serve the development within the PD District. The Developer shall be entitled to pro-rata fees for the costs of over-sizing the lift station from other future developments using the lift station, calculated on a per acreage basis. Developer also shall be eligible for credits against wastewater impact fees otherwise due for construction of improvements identified and included in the City's wastewater improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro-rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.
- c. *Payment of Impact Fees.* Wastewater impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.

3. Water Services

- a. *City as provider.* The City shall be the supplier of water services to the Property. The City represents that it has sufficient capacity to serve the Property.
- b. *Line Extensions.* The Developer shall extend water mains sufficient to serve each phase of development within the PD District, sized in accordance with

PLS

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

the City's master plan for water facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall be eligible for City participation in the costs of over-sizing water distribution mains or appurtenances that serve other land in addition to the Property, in accordance with the City's standard policies, or for collection of pro-rata fees for such facilities. Developer also shall be eligible for credits against, water impact fees otherwise due for construction of improvements identified and included in the City's water improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.

- c. *Payment of Impact Fees.* Water impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.
4. *Road Improvements.* The Developer shall make the following road improvements.
 - a. *John King Boulevard (Highway 205 Bypass).* The Developer shall have no obligation with respect to construction of John King Blvd. other than as outlined herein regarding payment of road impact fees.
 - b. *FM-552 Improvements.* The Developer shall dedicate rights-of-way for and construct turn lanes and acceleration/deceleration lanes concurrent with construction of any road on the Property that intersects FM 552, in accordance with City and TXDOT standards and specifications at the time of development of adjoining property.
 - c. *Breezy Hill Road Improvements.* The Developer shall dedicate a minimum of twenty-five feet (25') of right-of-way or such right-of-way as is needed to construct a twenty-four foot (24') concrete rural section of Breezy Hill Road and appurtenances adjacent to the Property, together with a two-foot (2') asphalt or concrete shoulder on either side of the concrete section, the total not to exceed twenty-eight feet (28') in width, from the northern point of Breezy Hill Road adjacent to the Property, to FM-552, as shown on the Development Plan. The Developer also shall dedicate and improve a minimum landscape buffer of ten feet (10') for the residential tract and fifty feet (50') for the retail tract, adjacent to the right-of-way for Breezy Hill Road, designed in accordance with the requirements of a PD District then in effect for a rural collector. The bar ditch that abuts the buffer strip, designed to a maximum slope of 3: 1, shall not encroach into the required ten-foot or fifty-foot buffer area, except to the extent that the buffers exceed ten feet (10') in width. The Developer shall dedicate right-of-way for Breezy Hill Road and the landscape buffer at the time of final plat approval for any lot abutting Breezy Hill Road. Developer shall construct Breezy Hill Road in conjunction with the retail tract that is final platted adjacent to Breezy Hill Road. Breezy Hill Road will be constructed from the northernmost intersection created by any portion of the retail tract being platted, south to FM-552. Developer shall install any

BL)

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

needed expansion of existing culverts created by such construction or the development, of such retail tract.

- d. *Payment of Roadway Impact Fees.* Roadway impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations. Construction costs incurred by Developer for roadway improvements in this Agreement that are included in the City's roadway improvements plan for impact fees shall be credited against roadway impact fees otherwise due, in accordance with the City's impact fee regulations.
5. *Drainage Improvements.* Dedication of rights-of-way for and construction of drainage improvements shall be provided as specified in conditions imposed with approval of the master plat for development within the PD District and in accordance with City standards and specifications.
6. *Parks and Open Space.*
 - a. The Developer or a property owners association shall maintain public parklands and improvements within the development for a period of three (3) months from the completion and acceptance of the improvements. Thereafter, the City shall assume responsibilities for maintenance. All open space and improvements which are not dedicated as parkland to the City shall be maintained as common areas in perpetuity by the property owners association for the PD District. Additionally, the property owners association shall maintain Developer-installed landscaping areas in public rights-of-way and public drainage ways internal to and adjacent to the Property.

III. GENERAL PROVISIONS

1. *Notice on Sale.* The Developer shall provide the City with notice of the sale of any tract or parcel within the District that has not been platted at the following address:

Rockwall City Manager
Rockwall City Hall
385 S. Goliad Street
Rockwall, TX 75087
2. *Recording.* This Agreement is intended to run with the land, and shall be recorded in the Real Property Records, Rockwall County, Texas.
3. *Term of Agreement.* This Agreement shall terminate two (2) years following the City's acceptance of the dedication and construction of the public improvements described herein serving the last phase of development within the PD District, after which the City agrees, upon the request of the Developer to execute a termination of this Agreement in recordable form. Any reimbursements for payment of impact fees shall not expire.
4. *Effective Date.* This Agreement shall take effect upon the date of its execution by the last of the Parties to the Agreement; provided, however, that Breezy shall execute this Agreement no later than five (5) business days following the

BL

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

effective date of the PD zoning ordinance for the Property. If Breezy fails to execute this Agreement within such period, this Agreement shall become null and void, and unless a subsequent agreement, acceptable to the City and the Developer, is agreed to, the City may thereafter deny any PD site plan, master plat or other plat application on grounds that the application is not supported by adequate public facilities and services.

5. *Severability.* Invalidation of any provision of this Agreement by judgment or court order shall not invalidate any of the remaining provisions which shall remain in full force and effect, unless such remaining provisions are an integral part of the invalid provisions or the invalid provision is necessary to give effect to the remaining provisions.
6. *Enforcement.* This Agreement may be enforced by the Parties by any proceeding at law or in equity. Failure to do so shall not be deemed a waiver to enforce the provisions of this Agreement thereafter.
7. *Venue.* Venue for this Agreement shall be in Rockwall County, Texas.
8. *Execution.* This Agreement may be separately executed in individual counterparts, and upon execution, shall constitute one and the same instrument.
9. *Amendment.* This Agreement may only be amended in writing upon mutual consent of the City and the Developer.
10. *Joint preparation.* This Agreement shall be deemed to have been jointly prepared by all Parties hereto, and no ambiguity of this Agreement shall be construed against any party based upon the identity of the author of this Agreement or any portion thereof.
11. *Recitals Incorporated.* Statements and representations contained herein are to be considered contractual in nature and not merely recitations of fact. The Recitals contained in Part I of this Agreement hereby are expressly incorporated into this Agreement by reference.
12. *Construction.* All references herein in the singular shall be construed to include the plural where applicable, the masculine to include the feminine and neuter genders.
13. *Authority.* Each of the signatories to this Agreement represents and warrants that he is authorized to execute this Agreement and bind his principals to the terms and provisions hereof. Each Party warrants that any action required to be taken in order for this Agreement to be binding on it has been duly and properly taken prior to the execution of this Agreement.
14. *Conflicts.* In the event of a conflict between this Agreement and any provision of the Unified Development Code, the City Code, or any City ordinance, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this Agreement, the standards in this Agreement shall control.

7/1

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

15. *No Waiver.* Developer retains the right to challenge the application of any City impact fee regulations to the Property solely on the basis that such regulations fail to comply with Chapter 395 of the Texas Local Government Code, as amended. If Developer prevails in such a claim, impact fees shall be applied to the development of the Property and paid by the Developer, as applicable, in accordance with the court order.

80

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

CITY OF ROCKWALL



By: *[Signature]*

Name: DAVID SWEET

Title: MAYOR

STATE OF TEXAS

COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said DAVID SWEET, who in their capacity as MAYOR for the City of Rockwall, acknowledges that he was authorized to execute the foregoing document this 2nd day of October 2012, certify witness my hand and seal of office.

Kristy Ashberry
Notary Public in and for the State of Texas

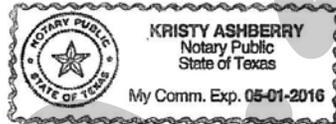


Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

BREEZY HILL 405, LTD, ^{ATXAS LIMITED PARTNERSHIP}
^{BREEZY HILL 405 GP CORPORATION, ATXAS CORPORATION,}
^{13 CENTRE PARKWAY}

By: [Signature]

Name: RICHARD M. SKOEBERG

Title: PRESIDENT

STATE OF TEXAS
COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said RICHARD M. SKOEBERG, who in their capacity as PRESIDENT for the Breezy Hill 405, LTD, acknowledges that he was authorized to execute the foregoing document this 1st day of OCTOBER 2012, certify witness my hand and seal of office.

[Signature]
Notary Public in and for the State of Texas



City of Rockwall Project Plan Review History



Project Number P2016-040	Owner CHAD, J HUDSON PROPERTIES INC	Applied 9/16/2016 LM
Project Name Lots 7 & 8, Block A	Applicant CHAD, J HUDSON PROPERTIES INC	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address 107 INDEPENDENCE PL	City, State Zip ROCKWALL, TX 75032	Zoning
--	--	---------------

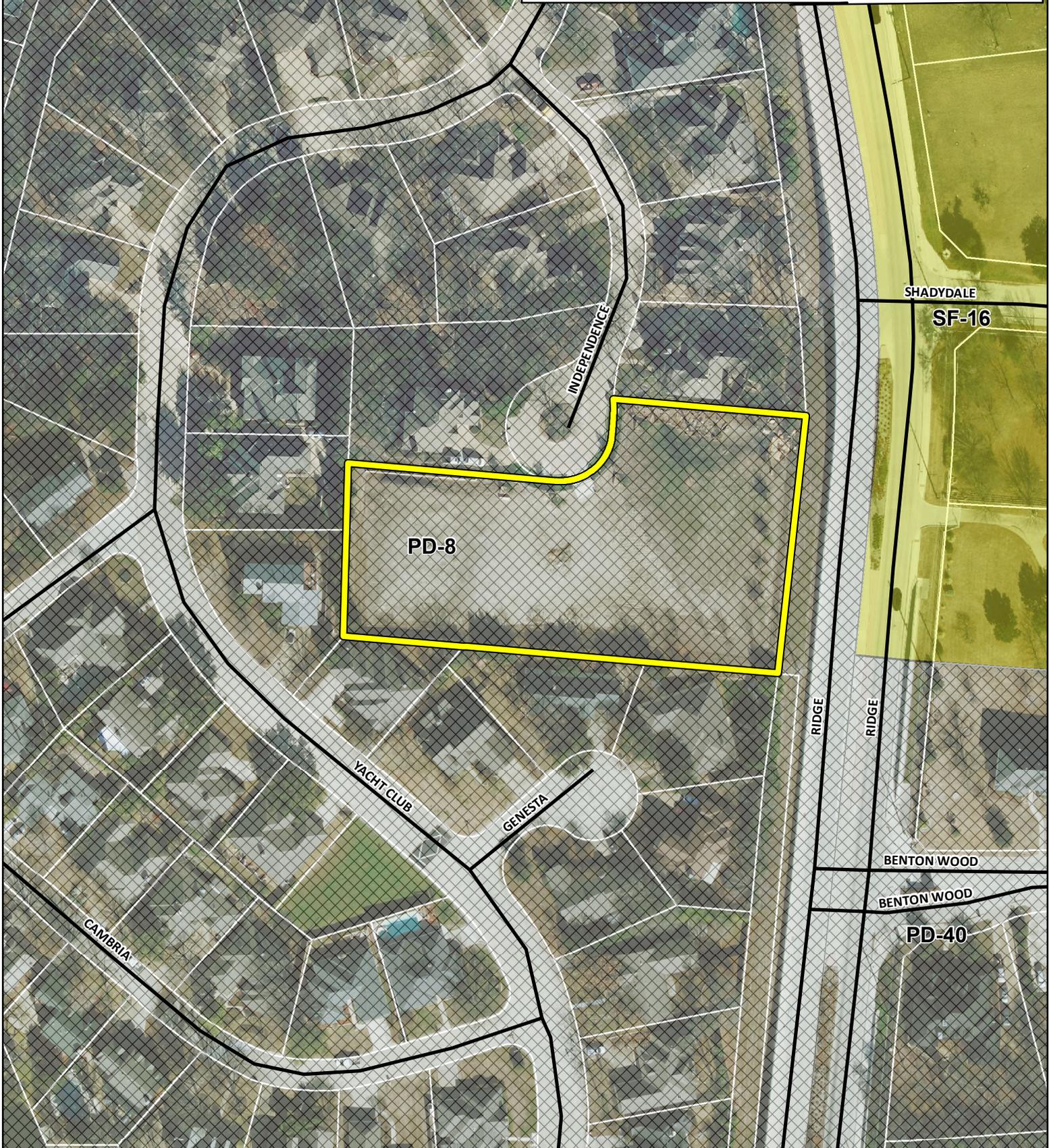
Subdivision INDEPENDENCE PASS	Tract 1	Block A	Lot No 1	Parcel No 4043-000A-0001-00-OR	General Plan
---	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	8/12/2016	8/19/2016	9/20/2016	39	APPROVED	
ENGINEERING (9/20/2016 3:51 PM AW) Need common access easement between lot 7 and 8	Amy Williams	8/12/2016	8/19/2016	9/20/2016	39	COMMENTS	See Comment
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	9/22/2016	41	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016				
PLANNING (9/23/2016 12:08 PM KB) P2016-040 Independence Pass Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Korey Brooks	8/12/2016	8/19/2016	9/23/2016	42	COMMENTS	Comments

- I.1 This is a request by Chad & Lindsay Hudson for the approval of a replat for Lots 7 & 8, Block A, Independence Pass Addition being a replat of a 1.4-acre parcel of land identified as Lot 5, Block A, Independence Pass Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single family land uses, addressed as 107 Independence Place.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-040) in the lower right hand corner of all pages on future submittals.
- I.4 A mother-in-law cottage will not be allowed on a separate lot unless it conforms to the Single Family standards
- I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by October 4, 2016. The Planning & Zoning Worksession date for this case will be September 27, 2016. The Planning and Zoning Meeting is October 11, 2016.
- I.6 The projected City Council meeting date and subsequent approval for this plat is October 17, 2016.



P2016-040- LOTS 7 & 8, BLOCK A, INDEPENDENCE PLACE
REPLAT - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

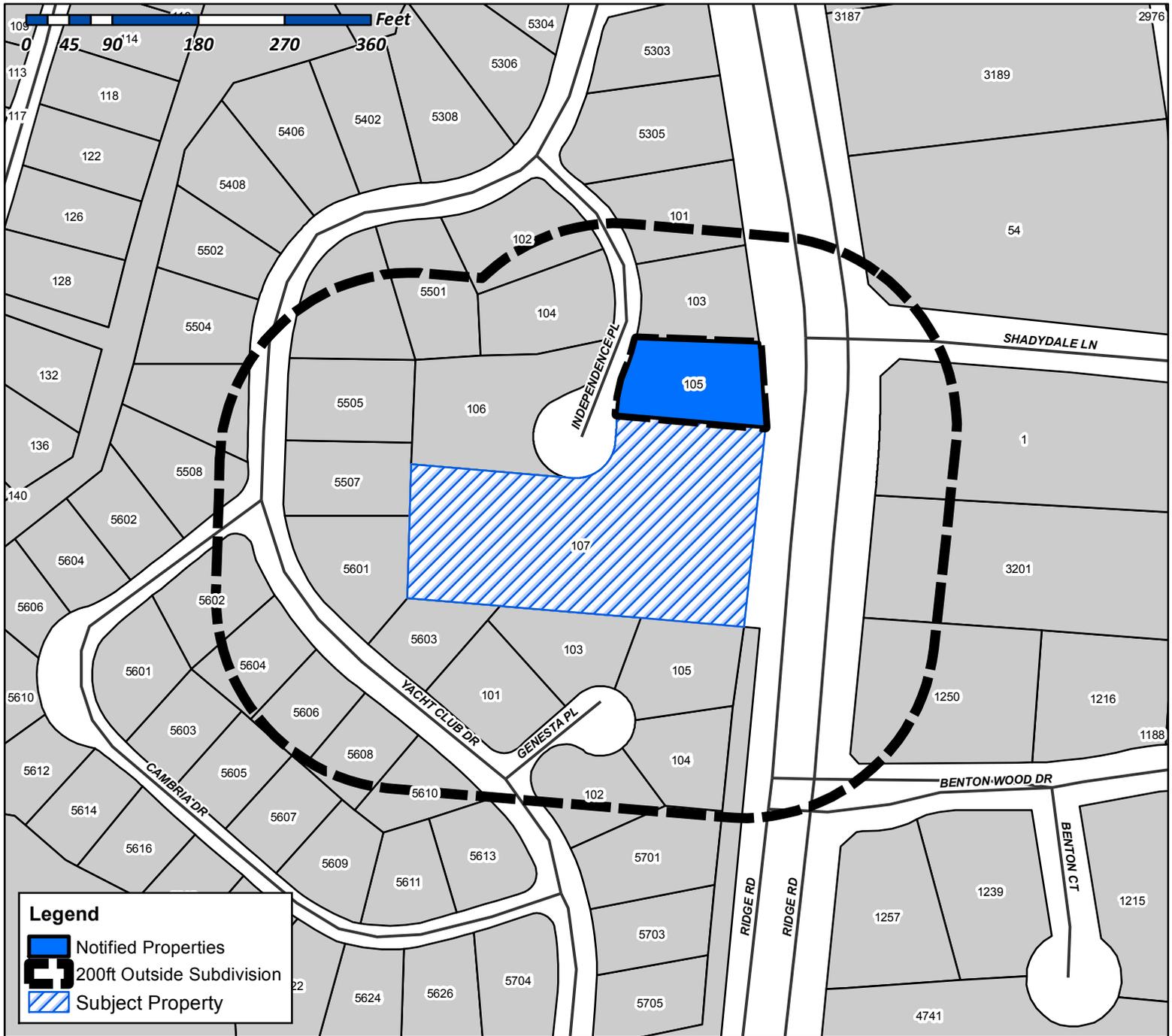




City of Rockwall

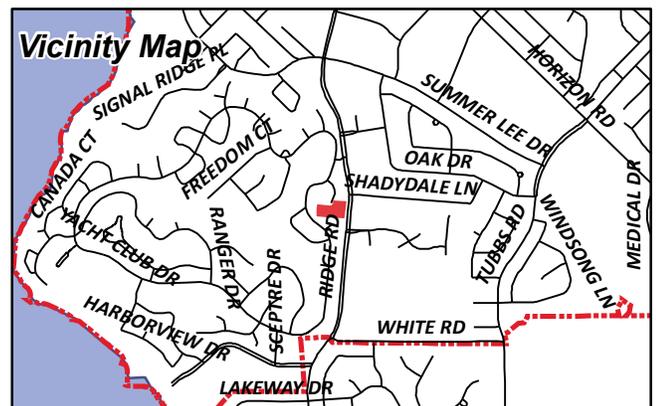
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

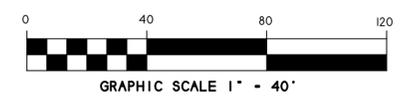
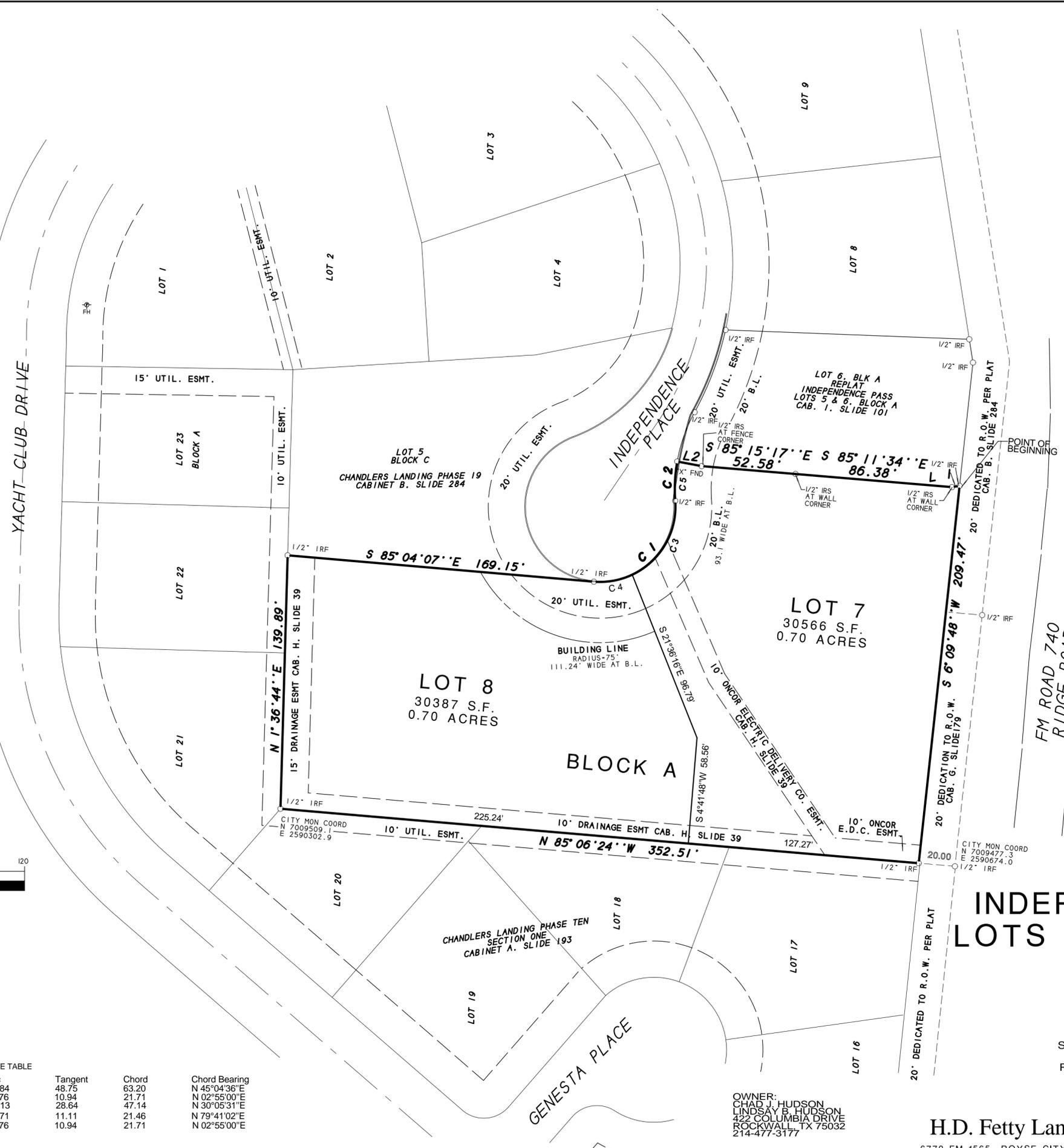
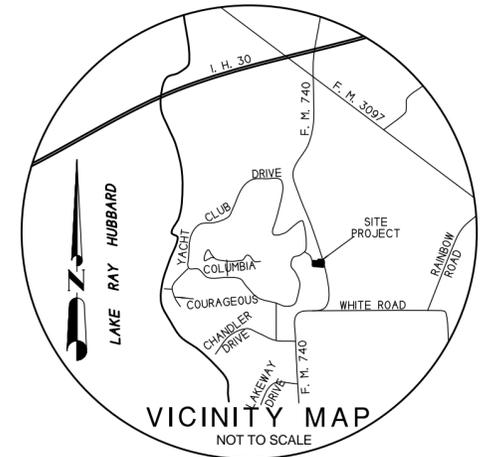


Case Number: Z2016-040
Case Name: Lots 7 & 8, Block A
Case Type: Replat
Zoning: Planned Development District 8
Case Address: 107 Independence Place
Subdivision: Independence Place

Date Created: 09/19/2016
For Questions on this Case Call (972) 771-7745



SHORT, MELISSA HUDSON
AND CORY WAYNE
105 INDEPENDENCE PL
ROCKWALL, TX 75032



LINE TABLE

Line	Bearing	Distance
1	N 80°18'23"E	4.26'
2	S 78°43'36"E	12.98'

CURVE TABLE

Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	99°11'02"	41.50	71.84	48.75	63.20	N 45°04'36"E
2	14°05'18"	88.50	21.76	10.94	21.71	N 02°55'00"E
3	69°12'51"	41.50	50.13	28.64	47.14	N 30°05'31"E
4	29°58'11"	41.50	21.71	11.11	21.46	N 79°41'02"E
5	14°05'18"	88.50	21.76	10.94	21.71	N 02°55'00"E

REPLAT
INDEPENDENCE PASS
LOTS 7 & 8, BLOCK A

1.40 ACRES 60953 S.F.
 (2 LOTS)
 BEING A REPLAT OF
 LOT 5, BLOCK A
 INDEPENDENCE PASS
 A PART OF THE E. TEAL
 SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNER:
 CHAD J. HUDSON
 LINDSAY B. HUDSON
 422 COLUMBIA DRIVE
 ROCKWALL, TX 75082
 214-477-3177

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2
 SURVEY DATE AUGUST 30, 2016
 SCALE 1" = 40' FILE # 20050733RP5
 CLIENT HUDSON

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, CHAD J. HUDSON and LINDSAY B. HUDSON, BEING THE OWNER OF A TRACT OF land in the E. TEAL SURVEY, ABSTRACT NO. 207, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the EDWARD TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas, and being all of Lot 5, Block A, Replat Independence Pass, Lots 5 & 6, Block A, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet I, Slide 101, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the northeast corner of said Lot 5, Block A, said point being in the west right-of-way line of F.M. Highway 740 Ridge Road (Variable width R.O.W.) and also being at the southeast corner of Lot 5, Block A;

THENCE S. 06 deg. 09 min. 48 sec. W. along the west line of said F.M. Highway 740 Ridge Road, a distance of 207.47 feet to a 1/2" iron rod found for corner at the southeast corner of said Lot 5 and at the Northeast corner of Lot 17, of CHANDLERS LANDING, PHASE TEN, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 193 of the Plat Records of Rockwall County, Texas;

THENCE N. 85 deg. 06 min. 24 sec. W. along the south line of said Lot 4, Block A, a distance of 352.51 feet to a 1/2" iron rod found for corner at the southwest corner of said Lot 4 and the northwest corner of Lot 20, in said Phase Ten;

THENCE N. 01 deg. 36 min. 44 sec. E. a distance of 139.89 feet to a 1/2" iron rod found for corner at the northwest corner of said Lot 4 and the southwest corner of Lot 5, in Phase 19;

THENCE S. 85 deg. 04 min. 07 sec. E. a distance of 169.15 feet to a 1/2" iron rod found for corner in the curving South right-of-way line of Independence Place (41.5' radius);

THENCE in a northeasterly direction along a curve to the left having a central angle of 99 deg. 11 min. 02 sec., a radius of 41.50 feet, a tangent of 48.75 feet, a chord of N. 45 deg. 04 min. 36 sec. E., 63.20 feet, along said right-of-way line, an arc distance of 71.84 feet to a 1/2" iron rod found for corner;

THENCE in a northeasterly direction along a curve to the right having a central angle of 14 deg. 05 min. 18 sec., a radius of 88.50 feet, a tangent of 10.94 feet, a chord of N. 02 deg. 55 min. 00 sec. E., 21.71 feet along said right-of-way line, an arc distance of 21.76 feet to a "X" found chiseled in concrete for corner at the southwest corner of Lot 6;

THENCE in a easterly direction along the south boundary line of Lot 6 as follows:

S. 78 deg. 43 min. 36 sec. E. a distance of 12.98 feet;
S. 85 deg. 15 min. 17 sec. E. a distance of 52.58 feet;
S. 85 deg. 11 min. 34 sec. E. a distance of 86.38 feet;
N. 80 deg. 18 min. 23 sec. E. a distance of 4.26 feet the POINT OF BEGINNING and containing 60,953 square feet or 1.40 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as INDEPENDENCE PASS, LOTS 7 & 8, BLOCK A, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

CHAD J. HUDSON

LINDSAY B. HUDSON

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared CHAD J. HUDSON, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared LINDSAY B. HUDSON, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20__.

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED:

I hereby certify that the above and foregoing plat of INDEPENDENCE PASS, LOTS 7 & 8, BLOCK A, an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the _____ day of _____, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, 2016.

Director of Planning & Zoning

City Engineer

REPLAT
**INDEPENDENCE PASS
LOTS 7 & 8, BLOCK A**

1.40 ACRES 60953 S.F.
(2 LOTS)
BEING A REPLAT OF
LOT 5, BLOCK A
INDEPENDENCE PASS

A PART OF THE E. TEAL
SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER:
CHAD J. HUDSON
LINDSAY B. HUDSON
422 COLUMBIA DRIVE
ROCKWALL, TX 75083
214-477-3177

SHEET 2 OF 2

SURVEY DATE AUGUST 30, 2016
SCALE 1" = 40' FILE # 20050733RP5
CLIENT HUDSON

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2016-

City of Rockwall Project Plan Review History



Project Number P2016-043	Owner DALROCK HOMES LLC	Applied 9/16/2016 LM
Project Name Estates on the Ridge	Applicant DALROCK HOMES LLC	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address NW CORNER CORNELIUS AND FM 354	City, State Zip ROCKWALL, TX 75087	Zoning
---	--	---------------

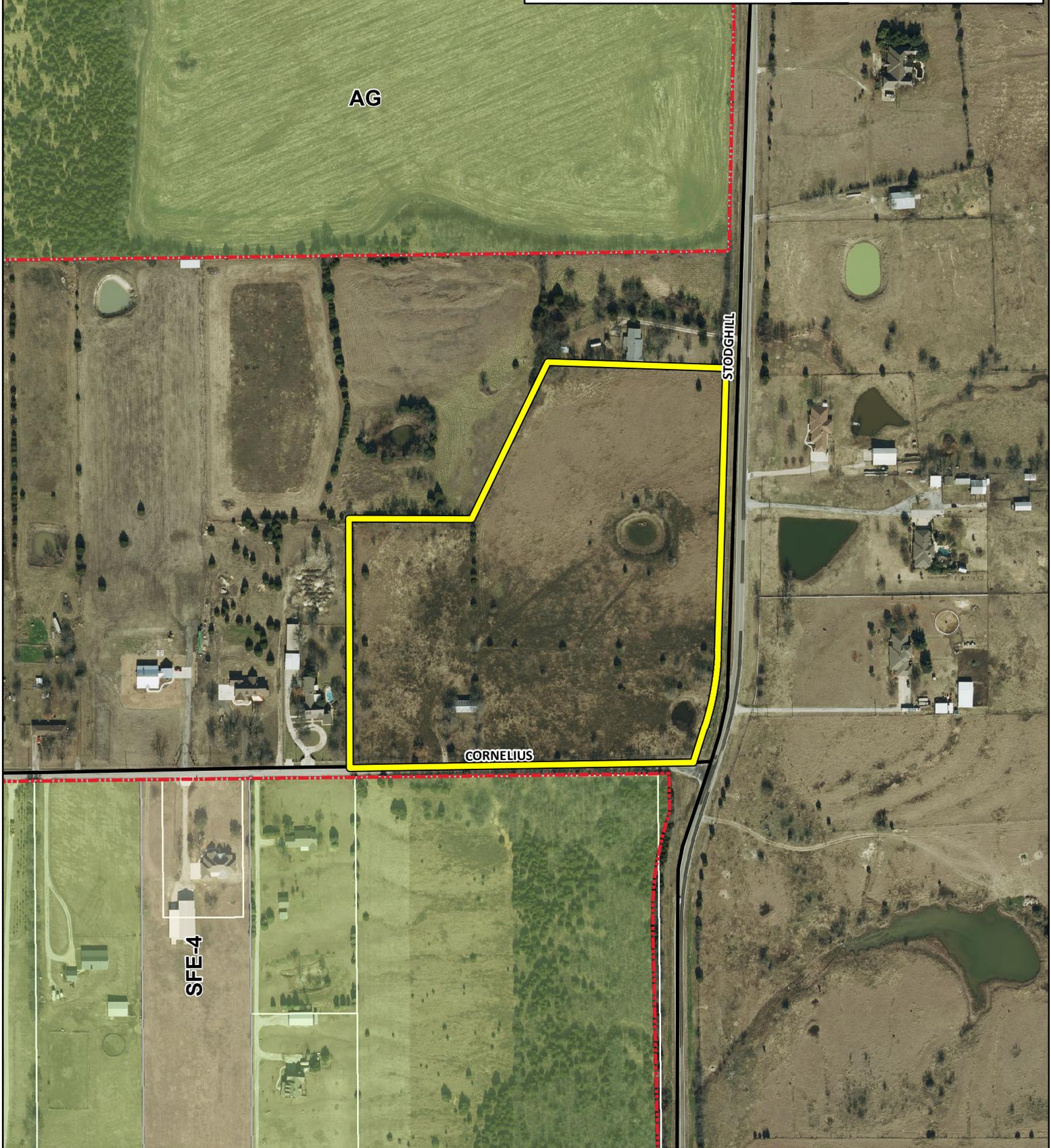
Subdivision	Tract	Block	Lot No	Parcel No	General Plan
--------------------	--------------	--------------	---------------	------------------	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
ENGINEERING (9/21/2016 4:33 PM AW) Add note to plat: If ponds are proposed to be filled in, a Wetland and Waters of the US determination will need completed, submitted to the City and approved prior to any grading/building.	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comments
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	David Gonzales	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 09.22.2016						
<p>Discuss and consider a request by Jay Webb of Dalrock Homes, LLC for the approval of a final plat for Lots 1-10, Block A, Estates on the Ridge Subdivision, containing ten (10) single-family residential lots on an 18.84-acre tract of land identified as Tract 7-04 & 23 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located at the northwest corner of the intersection of FM-3549 and Cornelius Road, and take any action necessary.</p> <p>The following staff comments (including Rockwall County comments) are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide three large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:</p> <ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-043" on the lower right corner on all pages of the revised plat. 3. Provide City staff with a .dwg file. 4. Rockwall County to approve plat. 5. County comments (Ron Merritt - e-mail): I have called the surveyor about lot 3-4-5 cant use the ponds as part of the 1 ½ acres. If they will be filled in then no problems. I will have to present this to the court for approval. If ponds are not filled, provide a net acreage for each lot. 6. Engineering comments regarding ponds: If ponds are proposed to be filled in, a Wetland and Waters of the US determination will need completed, submitted to the City and approved prior to any grading/building. 7. Use a lighter gray scale for the contour lines. 8. Remove tree layer from plat. 9. Provide adjacent property owner information for lots east of subdivision. 10. Provide Rockwall County Judge Signature Block. 11. Correct language in the standards signature block under "Approved" to indicate "...was approved by the City Council of the..." 12. Notary Certificate is not necessary when plat is stamped by Surveyor. <p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **</p> <p>Meeting Dates to Attend; Please be sure that a representative is present during both scheduled meetings as indicated below. The meetings will be held in the City's Council Chambers. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Planning - Consent Agenda: September 27, 2016 (6:00 p.m.)</p> <p>City Council - Consent Agenda: October 3, 2016 (6:00 p.m.)</p>						

0 105 210 420 630 840 Feet

P2016-043- LOTS 1-10, BLOCK A, ESTATES ON THE RIDGE
FINAL PLAT - LOCATION MAP = 

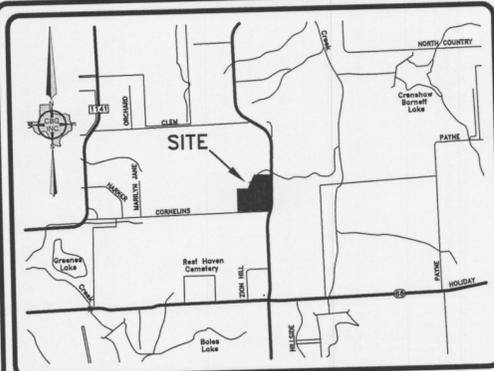


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP - NOT TO SCALE



SCALE: 1" = 100'

W. KYLE ALLEN AND WIFE,
DOROTHY E. ALLEN
VOL. 124, PG. 749
D.R.R.C.T.

STATE PLANE
COORDINATES
N=7,033,607.489
E=2,607,356.115

ALLEN BROTHERS INVESTMENT COMPANY
VOL. 153, PG. 629
D.R.R.C.T.

COUNTY OF ROCKWALL
VOL. 163, PG. 284
D.R.R.C.T.

11.5' R.O.W. DEDICATION
BY THIS PLAT
(TOTAL 40,416 sq.ft./
0.93 acres)

15' MT. ZION WATER
SUPPLY CORP. ESMT.
VOL. 180, PG. 757
D.R.R.C.T.

STATE PLANE
COORDINATES
N=7,033,214.101
E=2,606,584.427

JIMMY PANNELL AND
CRYSTAL PANNELL
VOL. 5104, PG. 289
D.R.R.C.T.

ERNSKINE WILLIAMS, JR.
VOL. 1122, PG. 15
D.R.R.C.T.

LEGEND:

- IRS IRON ROD SET WITH YELLOW PLASTIC CAP
- IRF STAMPED "CBG SURVEYING"
- IPF INCH IRON ROD FOUND
- CONC. MON. IRON PIPE FOUND
- CM CONCRETE MONUMENT
- N CONTROLLING MONUMENT
- E NORTHING
- E EASTING
- VOL. VOLUME
- PG. PAGE
- FND. FOUND
- R.O.W. RIGHT-OF-WAY
- INST. NO. INSTRUMENT NUMBER
- SQ.FT. SQUARE FEET
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS

GENERAL NOTES:

- 1) BEARINGS ARE REFERENCED TO GRID NORTH, BASED ON GPS OBSERVATIONS AND CONFORM TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE.
- 2) THE PURPOSE OF THIS PLAT IS TO CREATE 10 LOTS.
- 3) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 4) THERE ARE NO STRUCTURES ON THE SUBJECT PROPERTY.
- 5) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0035 L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.

SHEET 1 OF 2

**FINAL PLAT
ESTATES ON THE RIDGE**

LOTS 1-10, BLOCK A
820,481 SQ.FT. / 18.84 ACRES
10 LOTS
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



PLANNING & SURVEYING
Main Office
12025 Shiloh Road, Ste. 230
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbginctx.com

OWNER: DALROCK HOMES
ATTN: JAY WEBB
19 GREENHOLLOW
ROCKWALL, TEXAS 75032

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Dalrock Homes, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Owner: Dalrock Homes

Being a tract of land situated in the William Dalton Survey, Abstract No. 72 in the City of Rockwall, Rockwall County, Texas, being all of a tract of land conveyed to Dalrock Homes by deed recorded in Instrument No. ... Official Public Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a Mag Nail set in asphalt at the intersection of the West line of N. F.M. 3549 (N. Stodghill Road—a variable width right-of-way) and the approximate centerline of Cornelius Road (a variable width right-of-way) being the Northeast corner of a tract of land conveyed to Ernskin Williams, Jr. by deed recorded in Volume 1122, Page 15, Deed Records, Rockwall County, Texas;

Thence South 88 degrees 46 minutes 57 seconds West, leaving said intersection and along the said approximate centerline of Cornelius Road, a distance of 886.95 feet to a Mag Nail set in asphalt at the Southeast corner of a tract of land conveyed to Jimmy Pannell and Crystal Pannell by deed recorded in Volume 5104, Page 289, Deed Records, Rockwall County, Texas;

Thence North 00 degrees 26 minutes 06 seconds West, along the East line of said Pannell tract, a distance of 644.31 feet to a 1/2 inch iron rod with yellow cap stamped "CBG SURVEYING" set at the Northeast corner of said Pannell tract, being in the South line of a tract of land conveyed to Allen Brothers Investment Company by deed recorded in Volume 153, Page 629, Deed Records, Rockwall County, Texas;

Thence North 89 degrees 54 minutes 32 seconds East, along the said South line of Allen Brothers Investment Company tract, a distance of 316.33 feet to a 1/2 inch iron rod with yellow cap stamped "CBG SURVEYING" set at the Southeast corner of said Allen Brothers Investment Company tract;

Thence North 25 degrees 37 minutes 12 seconds East, along the East line of said Allen Brothers Investment Company tract, a distance of 451.18 feet to a 1/2 inch iron pipe found at the Southwest corner of a tract of land conveyed to W. Kyle Allen and wife, Dorothy E. Allen by deed recorded in Volume 124, Page 749, Deed Records, Rockwall County, Texas;

Thence South 88 degrees 15 minutes 57 seconds East, along the South line of said Allen tract, a distance of 460.48 feet to a 3/8 inch iron rod found for corner in the said West line of N. F.M. 3549;

Thence South 01 degrees 23 minutes 12 seconds West, along the said West line of N. F.M. 3549, a distance of 728.31 feet to a concrete monument found for corner, said point being the beginning of a curve to the right having a radius of 713.94 feet, a delta of 16 degrees 19 minutes 45 seconds, and a chord that bears South 09 degrees 30 minutes 39 seconds West, a distance of 202.78 feet;

Thence continuing along the said West line of N. F.M. 3549 and said curve to the right, an arc length of 203.47 feet to a 1/2 inch iron rod with yellow cap stamped "CBG SURVEYING" set for corner, from which a concrete monument found for witness bears North 80 degrees West, a distance of 0.5 feet;

Thence South 17 degrees 40 minutes 32 seconds West, continuing along the said West line of N. F.M. 3549, a distance of 95.24 feet to the Point of Beginning and containing 820,481 square feet or 18.84 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner(s) of the land shown on this plat, and designated herein as the ESTATES ON THE RIDGE, LOTS 1-10, BLOCK A, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the ESTATES ON THE RIDGE, LOTS 1-10, BLOCK A have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

By: Jay Webb
Dalrock Homes

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Jay Webb, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2016.

By: Notary Public in and for the State of Texas

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

GENERAL NOTES:

- 1) BEARINGS ARE REFERENCED TO GRID NORTH, BASED ON GPS OBSERVATIONS AND CONFORM TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE.
2) THE PURPOSE OF THIS PLAT IS TO CREATE 10 LOTS.
3) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
4) THERE ARE NO STRUCTURES ON THE SUBJECT PROPERTY.
5) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0035 L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the ____ day of _____, 2016.

RELEASED 09/16/16 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

Bryan Connally
Texas Registered Professional Land Surveyor No. 5513

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Bryan Connally known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____ 2016.

Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved Council of the City of Rockwall on the ____ day of _____ 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2016.

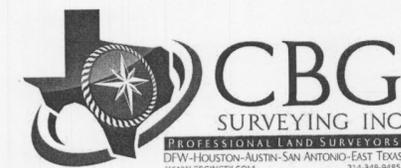
Mayor, City of Rockwall

City Secretary

City Engineer

SHEET 2 OF 2

FINAL PLAT
ESTATES ON THE RIDGE
LOTS 1-10, BLOCK A
820,481 SQ.FT. / 18.84 ACRES
10 LOTS
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



PLANNING & SURVEYING
Main Office
12025 Shiloh Road, Ste. 230
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbginctx.com

OWNER: DALROCK HOMES
ATTN: JAY WEBB
19 GREENHOLLOW
ROCKWALL, TEXAS 75032

SCALE: 1"=100' / DATE: SEPTEMBER 15, 2016 / JOB NO. 1617648 / DRAWN BY: CG

City of Rockwall Project Plan Review History



Project Number SP2016-019	Owner MASTER, DEVELOPERS SNB LLC	Applied 9/16/2016 LM
Project Name Dunkin Academy	Applicant KARTAVYA PATEL, P.E.	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address N ALAMO RD	City, State Zip ROCKWALL, TX 75087	Zoning
-----------------------------------	--	---------------

Subdivision THE PRESERVE PH 3	Tract 1	Block S	Lot No 1	Parcel No 4694-0005-0001-00-0R	General Plan
---	-------------------	-------------------	--------------------	--	---------------------

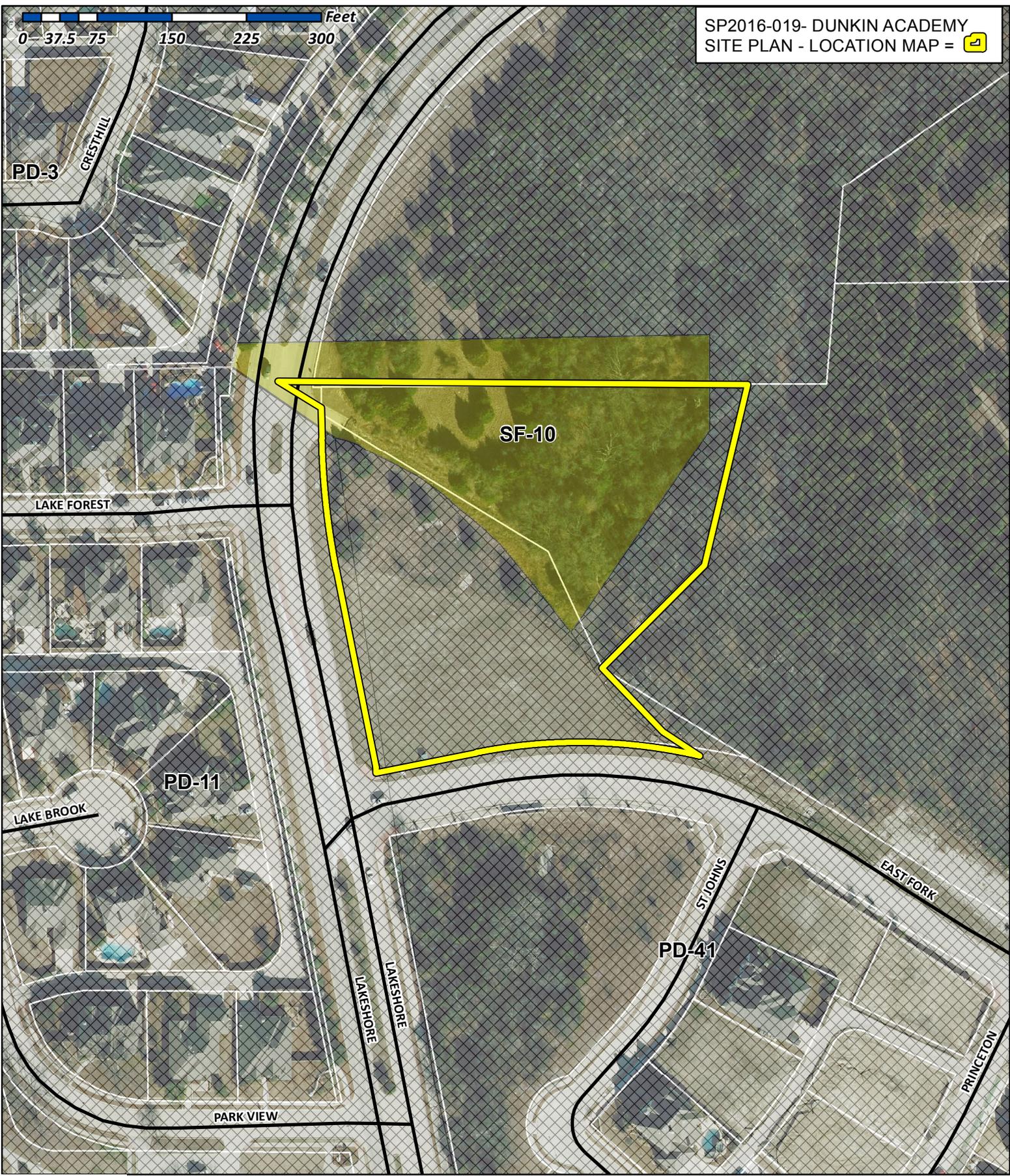
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/21/2016	5	APPROVED	
ENGINEERING (9/21/2016 10:12 AM AW) See markups Show removal of the old driveway along North Lakeshore All parking adjacent to building, head to head, and with wheel stops to be 20'x9' Show fully developed 100 year water surface in the creek Detention is required (not allowed in 100 year water surface) Need to show relocation of existing 16" water if relocating it Dumpster area to drain to grease trap or an oil/water separator. Landscaping: Add note:"All shrubs adjacent to parking spaces to be planted a minimum of 4' behind the curb"	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comments
FIRE (9/22/2016 12:32 PM AA) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant. A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	see comments
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2016 10:37 AM KB)						
SP2016-019 (Dunkin Academy): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1						This is a request by Kevin Patel, P. E. on behalf of William Shaddock of Master Developers-SNB, LLC for the approval of a site plan for a daycare facility on a 2.960-acre tract of land identified as Lot 1, Block S, Preserve, Phase 3 Addition and Tract 12 [1.4376-acres], A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) and Single Family 10 (SF-10) District, addressed as 1292 East Fork Drive
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2016-019) in the lower right hand corner of all pages on future submittals.
I.4						This property will be required to be plated prior to the issuance of a building permit.
M.5						Site Plan. Please show both lots on the vicinity map.
M.6						Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.
M.7						Site Plan. Please indicate the distance between all property lines and existing/planned buildings located on the site.
M.8						Site Plan. Please locate all playground equipment behind the building.
M.9						Site Plan. Please indicate depth of paving material.
M.10						Site Plan. Please show and label 10' landscape buffer along East Fork and along N. Lakeshore Drive.
M.11						Site Plan. Please indicate the street centerline for SH 205.
M.12						Site Plan. Please indicate whether utility equipment will be pad/ground mounted roof mounted. Pad mounted utility equipment shall be screened from horizontal view from any adjacent public street and from any adjacent property. All buildings must be designed so that no roof mounted mechanical equipment shall be visible from any direction.
M.13						Site Plan. Please remove legal description from top of site plan since this will change once it is plated. Also, since this is two lots the legal description provided is not accurate.
I.14						Site Plan. Please indicate "Public Access" instead of "Access" in the legend of the site plan.
M.15						Site Plan. Please note that the parking requirements for this site is 1 per 300 sq. ft. You are currently over-parked.
M.16						Site Plan. Please change "Summery" to "Summary" on the Site Data and Summary Table.
M.17						Landscape Plan. Please correct the parking requirements (item M.15)
M.18						Landscape Plan. Please show and label the 10' landscape buffer adjacent to East Fork and N. Lakeshore (item M.10)
I.19						Landscape Plan. Please identify all visibility triangles for all driveway and intersections and public streets.
M.20						Landscape Plan. Trees must be planted at least five feet from water, sewer, and storm sewer lines.
M.21						Landscape Plan. Please provide note indicating that irrigation will be the requirements of the UDC.
M.22						Treescape Plan. Please provide the Site Data and Summary Table on the Treescape Plan.
M.23						Treescape Plan. Please label the two protected trees being removed.
M.24						Photometric. Please show entire site so that we can verify FC at property line.
M.25						Photometric. Please provide Site Data and Summary Table.
M.26						Photometric. Please indicate the location and type of all exterior lighting including pole mounted, wall mounted, signage, etc.
M.27						Photometric. No light pole, base or combination shall exceed 30 feet, unless further restricted within an Overlay District. Please provide a detail of light pole to that we can ensure compliance.
M.28						Building Elevations. Please remove lot and block designation from the title block as it will change once the site is replatted (this site is two different lots)
M.29						Building Elevations. Please indicate elevations adjacent to public right-of-way.
M.30						Building Elevations. Please indicate the surface area of each façade.
M.31						Building Elevations. Please indicate any additional design elements for the base, wall, or parapets. Be sure to include the location, size, color, and material of any proposed structure.
I.32						The Architectural Review Board (ARB) meeting for this case will be held on September 27, 2016 at 5 pm..

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.33						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 27, 2016 at 6 pm.
I.34						If necessary the projected City Council meeting date for this case will be October 17, 2016.

0 37.5 75 150 225 300 Feet

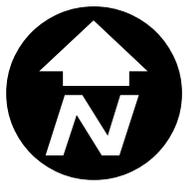
SP2016-019- DUNKIN ACADEMY
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

LEGEND	
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.
DRAINAGE EASEMENT	D.E.
WATERLINE EASEMENT	W.E.
VISIBILITY EASEMENT	V.E.
SIDEWALK EASEMENT	S.E.
ELECTRICAL EASEMENT	E.E.
CLEAN OUT	C.O.
GAS METER	GM
ELECTRICAL VAULT	EV
LIGHT POLE	LP
TRAFFIC SIGN	TS
ELECTRICAL TRANSFORMER	ET
FIRE HYDRANT	FH
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	SSMH
BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
PRESSURE REDUCING VALVE	PRV
FIRE DEPARTMENT CONNECTION	F.D.C.
PEDESTRIAN SIGN & VISIBILITY EASEMENT	P.S.&V.E.
BARRIER FREE RAMP	BFR

SITE DATA SUMMARY TABLE	
PHYSICAL ADDRESS	TO BE DETERMINED
GROSS SITE AREA	2,960 ACRES (128,943 S.F.)
NET AREA	2,960 ACRES (128,943 S.F.)
ZONING	PD-41
CURRENT USE	VACANT
PROPOSED USE	DAYCARE
LOT COVERAGE DATA	
BUILDING COVERAGE	13,342 S.F. (10.34%)
IMPERVIOUS COVERAGE	79,032 S.F. (61.51%)
PERVIOUS COVERAGE	49,991 S.F. (38.49%)
PARKING SUMMARY	
PARKING REQUIREMENT	REQUIRED PROVIDED
1 SPACE PER 250 GFA	53 54
TOTAL PARKING	53 54
BUILDING DATA	
BUILDING	1
PEAK HEIGHT	30'-0"
TOTAL SQUARE FOOTAGE	13,342 S.F.

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
(D)	DOM.	1"	1	6"
(I)	IRR.	1"	1	N/A

CASE #

SITE PLAN
DUNKIN ACADEMY
 NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC
 T: 214.609.9271 | F: 469.359.6709 | E: kpatel@triangle-engr.com
 W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013
Planning | Civil Engineering | Construction Management
 DESIGN/DRAWN DATE SCALE PROJECT NO. SHEET NO.
 KP DS 08/23/16 SEC SCALE BAR 028-16
 TX PE FIRM #11525



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS," VOL. 29, SUBPART P, PG. 128 - 137, AND ANY AMENDMENTS THERETO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

CURVE DATA TABLE					
NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'

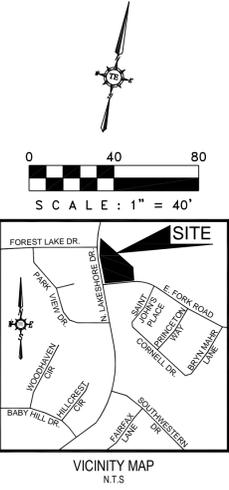
OWNER/DEVELOPER
 DUNKIN ACADEMY ROCKWALL LLC
 320 N TOWN BLVD EAST
 SUNNYVALE, TEXAS 75182
 CONTACT: JOHN DUNKIN
 TEL: (469) 358-5590

ENGINEER
 TRIANGLE ENGINEERING LLC
 1333 McDERMOTT ROAD STE 200
 ALLEN, TEXAS 75013
 CONTACT: KARTAVYA PATEL
 TEL: (214) 609-9271

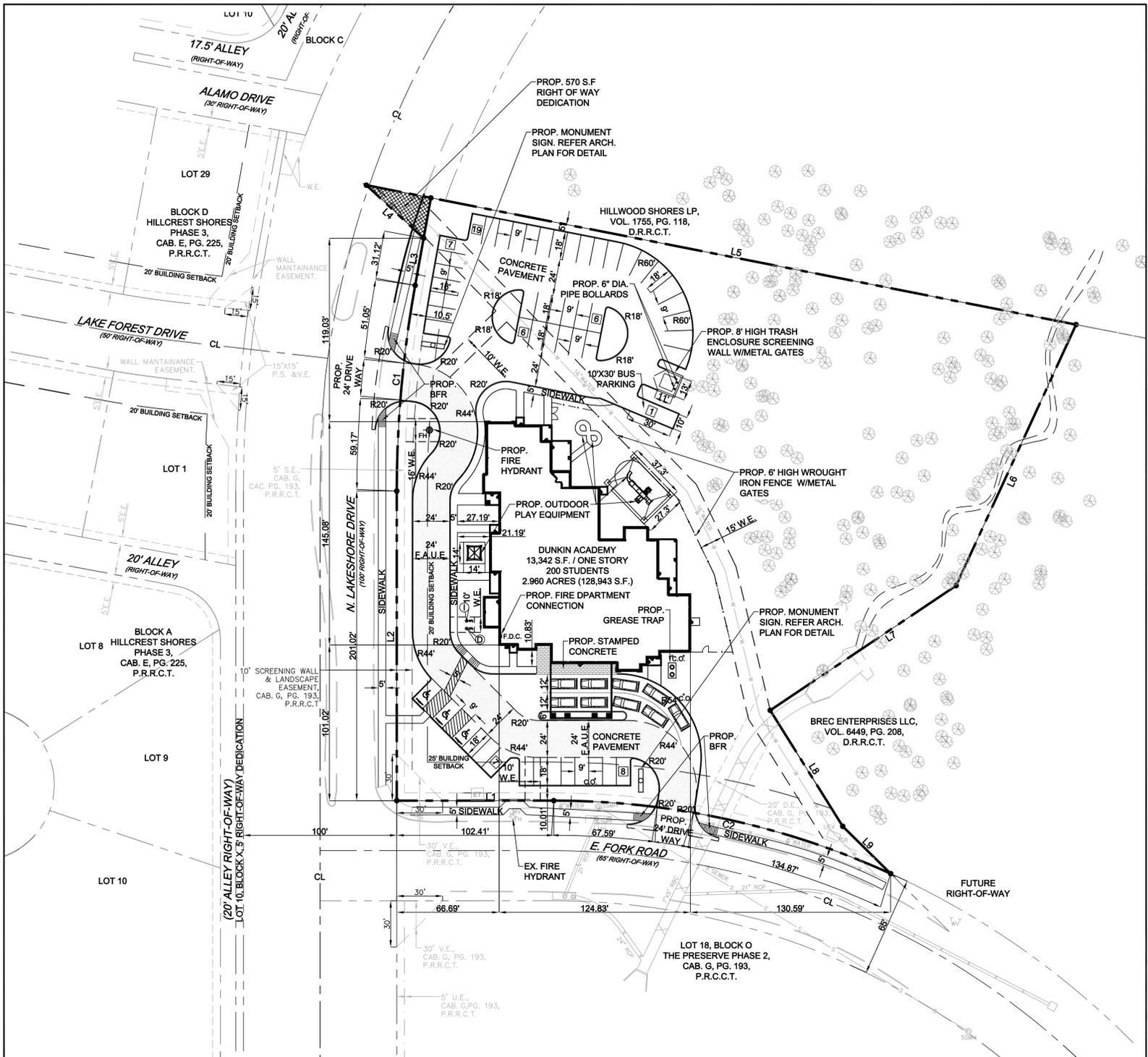
SURVEYOR
 A&W SURVEYORS INC.
 P.O. BOX 870029
 MESQUITE, TEXAS 75157
 CONTACT: JOHN TURNER, R.P.L.S.
 TEL: (972) 881-4975

ARCHITECT
 GRAY WOOD ARCHITECTS
 4606 PARK SPRINGS BLVD. SUITE 110
 ARLINGTON, TEXAS 76017
 CONTACT: GRAY WOOD
 TEL: (817) 975-9767

NO.	DATE	DESCRIPTION	BY
1	09/16/16	1st CITY SUBMITTAL	KP

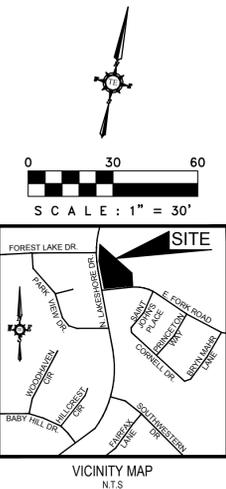


LEGEND	
	PROPERTY LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EX. SANITARY SEWER LINE
	PROP. SANITARY SEWER LINE
	PROPOSED STORM SEWER
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE CONNECTION
	PROPOSED WATER METERS
	PROPOSED BACK FLOW PREVENTER
	PEDESTRIAN SIGN & VISIBILITY EASEMENT
	UTILITY EASEMENT
	WATER EASEMENT
	SANITARY SEWER EASEMENT
	DRAINAGE EASEMENT
	FIRE LANE, ACCESS & WATER ESMT.
	VISIBILITY EASEMENT
	PROPOSED FIRE LANE
	FRONT SET BACK
	LANDSCAPE SET BACK
	BARRIER FREE RAMP
	EXISTING STORM SEWER
	EXISTING PAVEMENT/CURB
	EXISTING SEWER MANHOLE
	PROPOSED HANDICAP PARKING SPACE
	EXISTING POWER POLE
	EXISTING STORM INLETS
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED BOLLARDS
	PROPOSED CAR STACKING
	PROP. 6' HIGH WROUGHT IRON FENCE
	EXISTING TREE
	TRANSFORMER
	FIRE LANE, ACCESS & UTILITY EASEMENT
	GREASE TRAP
	SAMPLING WELL
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	MONUMENT/POLE SIGN
	PROPOSED WHEEL STOP
	PROPOSED HANDICAP SIGN



DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



SITE DATA SUMMARY	
PHYSICAL ADDRESS	TO BE DETERMINED
GROSS SITE AREA	2.960 ACRES (128,943 S.F.)
NET AREA	2.960 ACRES (128,943 S.F.)
ZONING	PD-41
CURRENT USE	VACANT
PROPOSED USE	DAYCARE
LOT COVERAGE DATA	
BUILDING COVERAGE	13,342 S.F. (10.34%)
IMPERVIOUS COVERAGE	79,032 S.F. (61.51%)
PERVIOUS COVERAGE	49,991 S.F. (38.49%)
PARKING SUMMARY	
PARKING REQUIREMENT	REQUIRED PROVIDED
1 SPACE PER 250 GFA	53 55
TOTAL PARKING	53 55
BUILDING DATA	
BUILDING	1
PEAK HEIGHT	30'-0"
TOTAL SQUARE FOOTAGE	13,342 S.F.

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
①	DOM.	1"	1	6"
②	IRR.	1"	1	N/A

LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (Site Area: 128,943 S.F.)
 Required: 10% (12,894 S.F.)
 Provided: 48,881 S.F. (15%)

FRONT YARD REQUIREMENTS
 Required: 50% of required (6,447 S.F.)
 Provided: 17,889 S.F. (50%)

STREET REQUIREMENTS
 Required: (1) tree 3" c.l. per 50 L.F. of front lot

N LAKESHORE DRIVE (366.35 L.F.)
 Required: (8) trees
 Provided: (8) trees

E FORK ROAD (328.97 L.F.)
 Required: (7) trees
 Provided: (7) trees

PARKING LOT (55 S.F.)
 Required: (1) tree, 3" c.l. per 20 S.F. of parking area

Required: (3) trees, 3" c.l.
 Provided: (3) trees, 3" c.l.

TREE MITIGATION:
 (5) 3" c.l. or tree to be planted to meet the 12.5 c.f. or more
 required. Refer to sheet L.1 for tree list.

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

CURVE DATA TABLE					
NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'

OWNER/DEVELOPER COOPER GENERAL CONTRACTORS 2560 TECHNOLOGY DRIVE SUITE 100 PLANO, TEXAS 75074 CONTACT: DOUG GALLOWAY TEL: (469) 249-9279	ENGINEER TRIANGLE ENGINEERING LLC 1333 McDERMOTT ROAD STE 200 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: (214) 609-9271	SURVEYOR A&W SURVEYORS INC. P.O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER, R.P.L.S. TEL: (972) 881-4975	ARCHITECT GRAY WOOD ARCHITECTS 4606 PARK SPRINGS BLVD., SUITE 110 ARLINGTON, TEXAS 76017 CONTACT: GRAY WOOD TEL: (817) 975-9767
--	--	--	---

NO.	DATE	DESCRIPTION	BY
1	09/15/16	1st CITY SUBMITTAL	KP



- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.
- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PLANT MATERIAL SCHEDULE

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	CM	13	Cedar Elm	<i>Ulmus crassifolia</i>	3" c.l.	B&B, 13' ht., 5" tree d. (in., 5' clear tr. ht.)
CE	LO	5	Crepe Myrtle	<i>Lagerstroemia indica</i>	6" ht.	cont. iner, 3-5 c.in.; tree for
LO	LO	10	Lie Oak	<i>Quercus virginiana</i>	3" c.l.	cont. iner, 14" ht., 6" tree d. (in., 5' clear tr. ht.)
SHRUBS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DYH	IH	42	Dwarf Yucca on Holly	<i>Ilex vomitoria 'nana'</i>	3" c.l.	cont. iner, 10" ht., 20" tree d.
MIS	MIS	45	Indigo Bush	<i>Rhaphirolepis indica 'clara'</i>	3" c.l.	cont. iner, 18" ht., 18" tree d.
NPH	NPH	36	Adiantum	<i>Miscanthus sinensis 'Adagio'</i>	3" c.l.	cont. iner, 1.1', self-rooted
NRS	NRS	233	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5" c.l.	cont. iner, 24" ht., 20" tree d.
NRS	NRS	16	Nellie R. Steffen Holly	<i>Ilex x 'Nellie R. Stevens'</i>	48" ht.	cont. iner, 36" tree d. (in. to tree)
GROUNDCOVERS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
			'419' Bermuda	<i>Cynodon dactylon '419'</i>		Solid Sod refer to note

NOTE: Plant list to be added to schedule. Contractor shall verify all quantities on plan. All heights and tree diameters in inches. All plants to be set or seeded as indicated. All trees to be set or planted as indicated. All trees to be set or planted as indicated. All trees to be set or planted as indicated.

LANDSCAPE PLAN
DUNKIN ACADEMY
 NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

ALL TREES TO BE LOCATED A MINIMUM OF 5' FROM PUBLIC UTILITIES

TRIANGLE ENGINEERING LLC
 T: 214.609.9271 | F: 469.359.6709 | E: info@triangle-engineering.com
 W: triangle-engineering.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	DS	08/23/16	SEE SCALE BAR	028-16

TX PE FIRM #11525

L.2

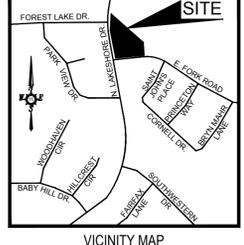
DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TREE SURVEY FIELD DATA

NO.	DIA INCHES	SPECIES (COMMON NAME)	REMARKS	NO.	DIA INCHES	SPECIES (COMMON NAME)	REMARKS
101	8	CEDAR	TO BE REMOVED	151	6	CEDAR	TO REMAIN
102	8	CEDAR	TO BE REMOVED	152	7	CEDAR	TO REMAIN
103	8	CEDAR	TO BE REMOVED	153	8	CEDAR	TO REMAIN
104	13	CEDAR	TO BE REMOVED	154	6	CEDAR	TO REMAIN
105	7	CEDAR	TO BE REMOVED	155	6	CEDAR ELM	TO REMAIN
106	6	CEDAR	TO BE REMOVED	156	6	TEXAS ASH	TO REMAIN
107	6	CEDAR	TO BE REMOVED	157	6	TEXAS ASH	TO REMAIN
108	7	CEDAR	TO BE REMOVED	158	8	TEXAS ASH	TO REMAIN
109	6	CEDAR	TO BE REMOVED	159	7	CEDAR ELM	TO REMAIN
110	7	CEDAR	TO BE REMOVED	160	6	CEDAR ELM	TO REMAIN
111	6	CEDAR	TO BE REMOVED	161	6	CEDAR ELM	TO REMAIN
112	6	CEDAR	TO BE REMOVED	162	12	CEDAR ELM	TO REMAIN
113	8	CEDAR	TO BE REMOVED	163	8	AMERICAN ELM	TO REMAIN
114	6	CEDAR	TO BE REMOVED	164	10	AMERICAN ELM	TO REMAIN
115	7	CEDAR	TO BE REMOVED	165	11	CEDAR	TO REMAIN
116	6	CEDAR	TO BE REMOVED	166	9	CEDAR	TO REMAIN
117	12	CEDAR	TO BE REMOVED	167	10	HACKBERRY	TO REMAIN
118	10	CEDAR	TO BE REMOVED	168	31	AMERICAN ELM	TO REMAIN
119	6	CEDAR ELM	TO BE REMOVED	169	6	CEDAR ELM	TO REMAIN
120	7	CEDAR	TO BE REMOVED	170	8	CEDAR ELM	TO REMAIN
121	6	HACKBERRY	TO BE REMOVED	171	13	CEDAR ELM	TO REMAIN
122	7	CEDAR	TO BE REMOVED	172	8	CEDAR ELM	TO REMAIN
123	8	CEDAR	TO BE REMOVED	173	13	CEDAR ELM	TO REMAIN
124	8	CEDAR	TO BE REMOVED	174	8	HACKBERRY	TO REMAIN
125	8	CEDAR	TO BE REMOVED	175	7	HACKBERRY	TO REMAIN
126	8	CEDAR	TO BE REMOVED	176	8	HACKBERRY	TO REMAIN
127	7	HACKBERRY	TO BE REMOVED	177	14	CEDAR ELM	TO REMAIN
128	9	HACKBERRY	TO BE REMOVED	178	9	CEDAR ELM	TO REMAIN
129	8	CEDAR	TO BE REMOVED	179	14	CEDAR ELM	TO REMAIN
130	9	CEDAR	TO BE REMOVED	180	8	HACKBERRY	TO REMAIN
131	6	CEDAR	TO BE REMOVED	181	7	HACKBERRY	TO REMAIN
132	8	DEAD	TO BE REMOVED	182	8	CEDAR ELM	TO REMAIN
133	6	HACKBERRY	TO BE REMOVED	183	7	CEDAR ELM	TO REMAIN
134	10	HACKBERRY	TO BE REMOVED	184	8	CEDAR ELM	TO REMAIN
135	9	HACKBERRY	TO BE REMOVED	185	9	CEDAR ELM	TO REMAIN
136	10	HACKBERRY	TO BE REMOVED	186	6	CEDAR ELM	TO REMAIN
137	6	HACKBERRY	TO BE REMOVED	187	8	CEDAR ELM	TO REMAIN
138	7	CEDAR	TO BE REMOVED	188	7	CEDAR ELM	TO REMAIN
139	8	CEDAR	TO BE REMOVED	189	8	HACKBERRY	TO REMAIN
140	7	CEDAR	TO BE REMOVED	190	7	HACKBERRY	TO REMAIN
141	10	HACKBERRY	TO BE REMOVED	191	7	HACKBERRY	TO REMAIN
142	7	HACKBERRY	TO BE REMOVED	192	8	HACKBERRY	TO REMAIN
143	8	CEDAR	TO REMAIN	193	8	HACKBERRY	TO REMAIN
144	7	TEXAS ASH	TO REMAIN	194	6	HACKBERRY	TO REMAIN
145	6	CEDAR	TO REMAIN	195	9	HACKBERRY	TO REMAIN
146	6	CEDAR	TO REMAIN	196	7	HACKBERRY	TO REMAIN
147	6	CEDAR	TO REMAIN	197	13	AMERICAN ELM	TO REMAIN
148	6	CEDAR	TO REMAIN	198	10	AMERICAN ELM	TO REMAIN
149	6	CEDAR	TO REMAIN	199	12	AMERICAN ELM	TO REMAIN
150	6	CEDAR	TO REMAIN	200	11	CEDAR ELM	TO REMAIN
201	7	CEDAR ELM	TO REMAIN	251	10	HACKBERRY	TO REMAIN
202	8	CEDAR ELM	TO REMAIN	252	6	HACKBERRY	TO REMAIN
203	7	CEDAR ELM	TO REMAIN	253	7	HACKBERRY	TO REMAIN
204	8	WILLOW	TO REMAIN	254	10	HACKBERRY	TO REMAIN
205	6	WILLOW	TO REMAIN	255	7	CEDAR	TO REMAIN
206	16	AMERICAN ELM	TO REMAIN	256	6	CEDAR	TO REMAIN
207	21	AMERICAN ELM	TO REMAIN	257	7	CEDAR	TO REMAIN
208	12	AMERICAN ELM	TO REMAIN	258	9	CEDAR	TO REMAIN
209	9	AMERICAN ELM	TO REMAIN	259	10	CEDAR	TO REMAIN
210	36	AMERICAN ELM	TO REMAIN	260	6	CEDAR	TO REMAIN
211	24	AMERICAN ELM	TO REMAIN	261	7	CEDAR	TO REMAIN
212	6	TEXAS ASH	TO REMAIN	262	8	CEDAR	TO REMAIN
213	11	TEXAS ASH	TO REMAIN	263	7	CEDAR	TO REMAIN
214	6	TEXAS ASH	TO REMAIN	264	6	CEDAR	TO REMAIN
215	12	AMERICAN ELM	TO REMAIN	265	15	CEDAR	TO REMAIN
216	7	HACKBERRY	TO REMAIN	266	6	CEDAR	TO REMAIN
217	14	AMERICAN ELM	TO REMAIN	267	7	CEDAR	TO REMAIN
218	12	CEDAR ELM	TO REMAIN	268	6	CEDAR	TO REMAIN
219	8	CEDAR ELM	TO REMAIN	269	6	CEDAR	TO REMAIN
220	9	AMERICAN ELM	TO REMAIN	270	6	CEDAR	TO REMAIN
221	15	AMERICAN ELM	TO REMAIN	271	6	CEDAR	TO REMAIN
222	7	AMERICAN ELM	TO REMAIN	272	6	CEDAR	TO REMAIN
223	7	AMERICAN ELM	TO REMAIN	273	6	CEDAR	TO REMAIN
224	10	CEDAR ELM	TO REMAIN	274	6	CEDAR	TO REMAIN
225	8	AMERICAN ELM	TO REMAIN	275	9	CEDAR	TO REMAIN
226	10	CEDAR ELM	TO REMAIN	276	8	CEDAR	TO REMAIN
227	7	AMERICAN ELM	TO REMAIN	277	8	CEDAR	TO REMAIN
228	6	AMERICAN ELM	TO REMAIN				
229	9	AMERICAN ELM	TO REMAIN				
230	7	AMERICAN ELM	TO REMAIN				
231	9	AMERICAN ELM	TO REMAIN				
232	17	CEDAR ELM	TO REMAIN				
233	8	CEDAR ELM	TO REMAIN				
234	18	CEDAR ELM	TO REMAIN				
235	8	HACKBERRY	TO REMAIN				
236	19	CEDAR ELM	TO REMAIN				
237	6	AMERICAN ELM	TO REMAIN				
238	6	AMERICAN ELM	TO REMAIN				
239	7	AMERICAN ELM	TO REMAIN				
240	7	AMERICAN ELM	TO REMAIN				
241	6	AMERICAN ELM	TO REMAIN				
242	9	AMERICAN ELM	TO REMAIN				
243	8	AMERICAN ELM	TO REMAIN				
244	10	AMERICAN ELM	TO REMAIN				
245	7	AMERICAN ELM	TO REMAIN				
246	6	AMERICAN ELM	TO REMAIN				
247	10	AMERICAN ELM	TO REMAIN				
248	6	AMERICAN ELM	TO REMAIN				
249	14	AMERICAN ELM	TO REMAIN				
250	10	HACKBERRY	TO REMAIN				

TREES 104-13 CEDAR AND 117-12 CEDAR ARE THE TWO PROTECTED TREES PROPOSED TO BE REMOVED 25 CALIPER INCH X.5- 12.5 CALIPER INCHES OF TREES REQUIRED TO BE MITIGATED ON SITE. REFER TO SHEET L.2 FOR PROPOSED TREE LOCATIONS



- EXISTING TREE NOTES**
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
 - If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
 - No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
 - Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
 - Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
 - Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
 - Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
 - Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
 - Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
 - Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
 - Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
 - Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
 - Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
 - Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

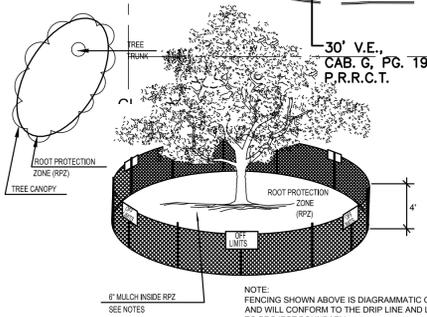
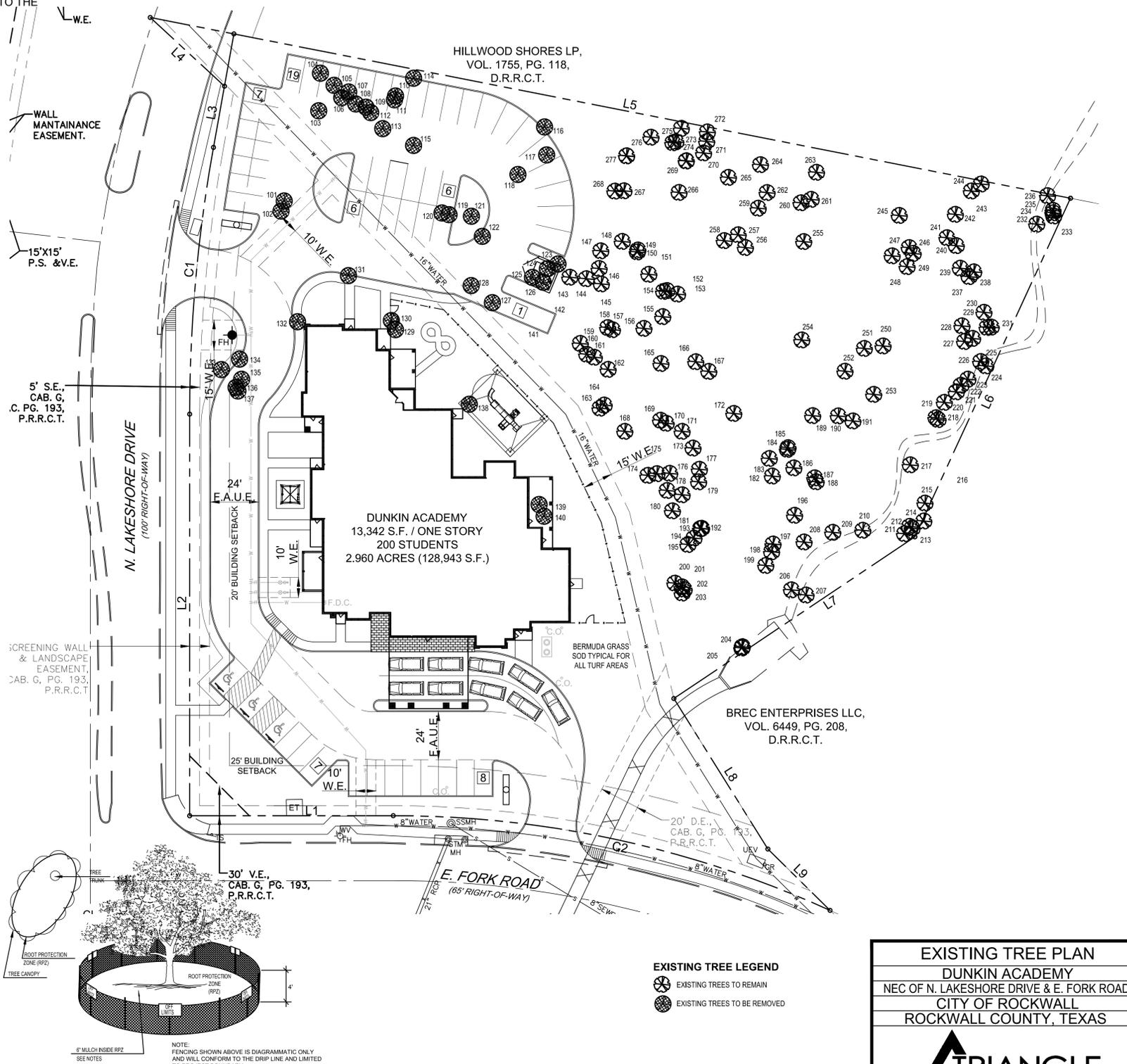
BOUNDARY LINE DATA

LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

CURVE DATA TABLE

NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'

OWNER/DEVELOPER COOPER GENERAL CONTRACTORS 2560 TECHNOLOGY DRIVE SUITE 100 PLANO, TEXAS 75074 CONTACT: DOUG GALLOWAY TEL: (469) 249-9279	ENGINEER TRIANGLE ENGINEERING LLC 1333 McDERMOTT ROAD STE 200 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: (214) 609-9271	SURVEYOR A&W SURVEYORS INC. P.O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER, R.P.L.S. TEL: (972) 881-4975	ARCHITECT GRAY WOOD ARCHITECTS 4606 PARK SPRINGS BLVD. SUITE 110 ARLINGTON, TEXAS 76017 CONTACT: GRAY WOOD TEL: (817) 975-9767
---	---	---	---



EXISTING TREE LEGEND

- ☉ EXISTING TREES TO REMAIN
- ☒ EXISTING TREES TO BE REMOVED

NO.	DATE	DESCRIPTION	BY
1	09/15/16	1st CITY SUBMITTAL	KP

EXISTING TREE PLAN
DUNKIN ACADEMY
NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC

T: 214.609.9271 | F: 469.359.6709 | E: [email] | W: [website]
W: [website] | O: 1333 McDermott Dr., Suite 200, Allen, TX 75013

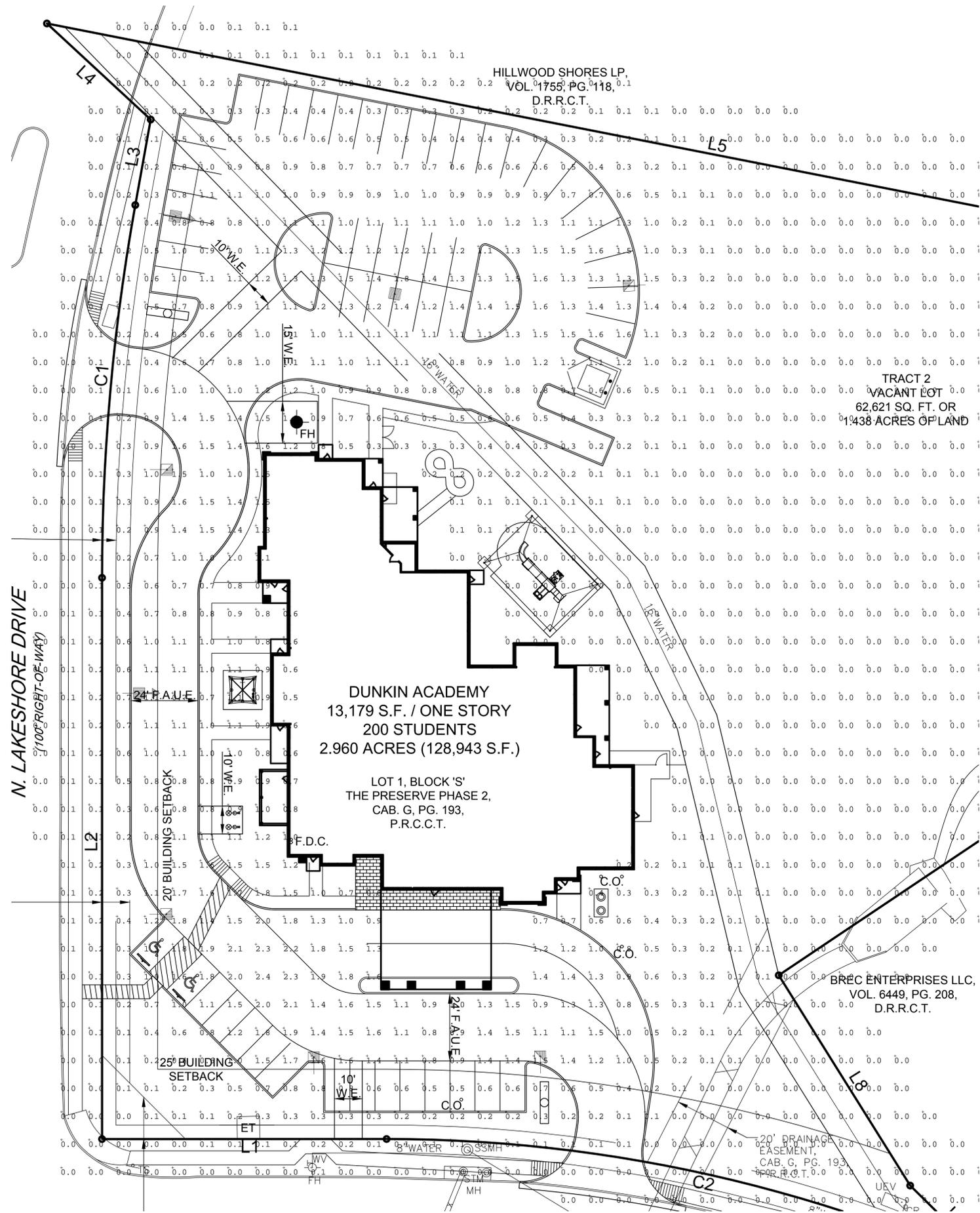
Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	08/23/16	SEE SCALE BAR	028-16	L.1

TX PE FIRM #11525

REVISIONS

REV #	DATE	BY:



Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PctSpClr	PctSpCtB
PARKING & DRIVE SUMMARY	Fc	1.10	2.4	0.1	11.00	24.00	10	10

Symbol	Qty	Label	Total Lamp Lumens	LLF	Description	Lum. Watts
—	1	A	N.A.	0.950	MLS-CLXS-58-LED-SS-NW 20' POLE 2.5' BASE	96.4
—	2	B	N.A.	0.950	MLS-CLXS-FPS-LED-SS-NW-GS 20' POLE 2.5' BASE	96.4
—	5	C	N.A.	0.950	MLS-CLXS-FPS-LED-HD-NW-GS 20' POLE 2.5' BASE	145.7

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

1919 WINDSOR PLACE
FORT WORTH, TX 76110
WWW.WLSLIGHTING.COM

WLS LIGHTING SYSTEMS
Consider the Impact!

**DUNKIN ACADEMY
ROCKWALL, TX**

BY: D.T. SHEET 1 OF 1

PM: STEVE

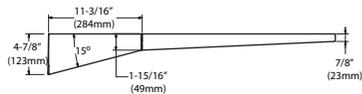
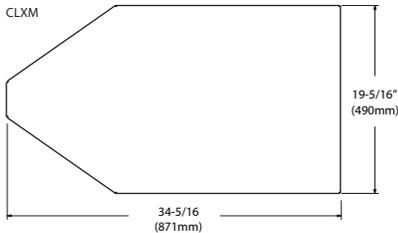
800-633-8711

DATE - 9/13/16 SCALE: 1"=20'

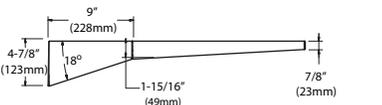
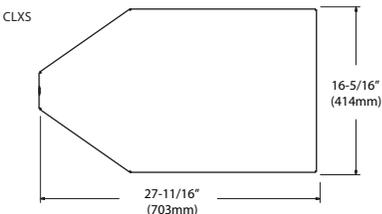
WLS-11216



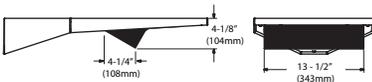
DIMENSIONS



HOUSE SIDE SHIELD



HOUSE SIDE SHIELD



SPECIFICATIONS

HOUSING - One-piece, die-formed aluminum housing contains factory prewired driver. Wiring access door (with safety lanyard) located underneath.

OPTICAL UNIT - Clear tempered flat glass lens permanently sealed to weather-tight aluminum optic frame creates an IP65 rated optical unit (includes pressure-stabilizing breather). Optic frame recessed into housing cavity and sealed to the housing with one piece EPDM gasket.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location.

LEDS - Select high-brightness LEDs in Cool White (5000K nominal), or Neutral White (4000K nominal) color temperature, 70 CRI (nominal).

DISTRIBUTION / PERFORMANCE - Types III, FT, 5 and enhanced 5E and FTE. Exceptional uniformity creates bright environment at lower levels. Internal Louver (IL) option available for improved backlight control without sacrificing street side performance for FT distribution.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets Location Category C Low. Available with universal voltage power supply 120-277 VAC (50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVER - Available in SS (Super Saver) and HO (High Output) drive currents. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

MOUNTING - Use with 5" traditional drilling pattern. An extruded radius 8" arm is shipped standard and compatible with all fixture mounting configurations. The fixture may also be mounted to 3"-5" round poles using the round pole plate adaptor accessory (RPP), which must be ordered separately.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

FINISH - Fixtures are finished with WLS DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years.

WARRANTY - WLS LED fixtures carry a limited 5-year warranty.

LISTING - ETL listed to U.S. and Canadian safety standards. Suitable for wet locations.



Approved By: _____ Project Name: _____

Location: _____ Date: _____

1919 Windsor Place ■ Fort Worth, TX 76110 ■ 800.633.8711 ■ Fax: 817.735.4824 ■ www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!

CLX SERIES LED AREA

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

SERIES	DISTRIBUTION	LIGHT SOURCE	DRIVE CURRENT	COLOR TEMPERATURE	LINE VOLTAGE	LUMINAIRE FINISH	OPTIONS	ACCESSORIES
CLXS	3 - Type III 5 - Type V FP - Forward Throw 5E - Type V Enhanced FPE - Forward Throw Enhanced	LED	SS - Super Saver HO - High Output	CW - Cool White NW - Neutral White	UE - Universal Voltage (120-277) 347 - 480	BRZ - Bronze BLK - Black PLP - Platinum Plus WHT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver CC - Custom Color	PCR - Photoelectric Control Receptacle ¹ NO - No Options	GS - Glare Shield PC - Photocell RPP - Round Pole Plate WM - Wall Mount Plate RA - Radius Arm UB - Upsweep Bracket for round or square poles SF - Single Fusing DF - Double Fusing NA - No Accessories
CLXM CLXL²	5 - Type V FP - Forward Throw FPL - Forward Optic Rotated for D180 (left) FPR - Forward Optic Rotated for D180(Right) 5E - Type V Enhanced FPE - Forward Throw Enhanced							

CLXM 5 LED SS CW UE BRZ NO NA

(EXAMPLE ORDER)

ORDER: WLS-CLX

FOOTNOTES:

1- Photocell must be ordered separately - see Accessories.
2- 5E and FPE not available in CLXL.

LUMINAIRE EPA CHART - CLXS

Single	0.4
D180°	0.8
D90°	0.6
T90°	1.4
TN120°	1.4
Q90°	1.6

Note: House Side Shield adds to fixture EPA. Consult Factory.

LUMINAIRE EPA CHART - CLXM

Single	0.5
D180°	1.0
D90°	0.8
T90°	1.7
TN120°	1.7
Q90°	1.9

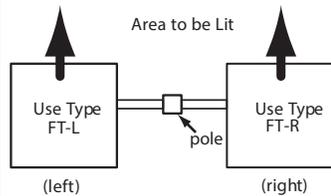
Note: House Side Shield adds to fixture EPA. Consult Factory.

LUMINAIRE EPA CHART - CLXL

Single	.7
D180°	1.4
D90°	1.1
T90°	2.3
TN120°	2.3
Q90°	2.6

Note: House Side Shield adds to fixture EPA. Consult Factory.

LEFT AND RIGHT VERSIONS OF TYPE FT REFLECTORS (TOP VIEW)



Note: Optics are not field-rotatable. For D180 Forward Throw installations specify left (FT-L) and/or right (FT-R) side mounting. Orientation is based on standing at the pole and looking out at the area to be lit.

LIGHT OUTPUT - CLXS

		Lumens (Nominal)				Watts (Nominal)	
		Type 3	Type FT	Type 5	Type5E		TypeFTE
Cool White	SS	10100	11400	11400	8200	7800	97
	HO	14000	15500	15700	11600	10600	140
Neutral White	SS	9700	10400	10800	7900	7500	97
	HO	13400	14700	15200	11000	10500	140

LED Chips are frequently updated therefore values may increase.

LIGHT OUTPUT - CLXM

		Lumens (Nominal)				Watts (Nominal)	
		Type 3	Type FT	Type 5	Type5E		TypeFTE
Cool White	SS	19900	22800	22900	15500	15800	193
	HO	27500	30900	31100	21200	21100	278
Neutral White	SS	19300	20000	20600	15000	15000	193
	HO	26700	27800	28500	20100	20400	278

LED Chips are frequently updated therefore values may increase.

LIGHT OUTPUT - CLXL

		Lumens (Nominal)				Watts (Nominal)
		Type 3	Type FT	Type 5	FTA	
Cool White	SS	45800	49500	50700	C/F	435
	HO	53400	57300	59100	58900	542
Neutral White	SS	45600	48600	49600	C/F	435
	HO	52800	56300	57600	C/F	542

LED Chips are frequently updated therefore values may increase.

Approved By: _____ Project Name: _____

Location: _____ Date: _____

1919 Windsor Place ■ Fort Worth, TX 76110 ■ 800.633.8711 ■ Fax: 817.735.4824 ■ www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!

SPECIFICATIONS

POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5" and 6" square.

HAND HOLE - Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM-A36 with a minimum yield strength of 36,000 psi.

GROUND LUG - Ground lug is standard.

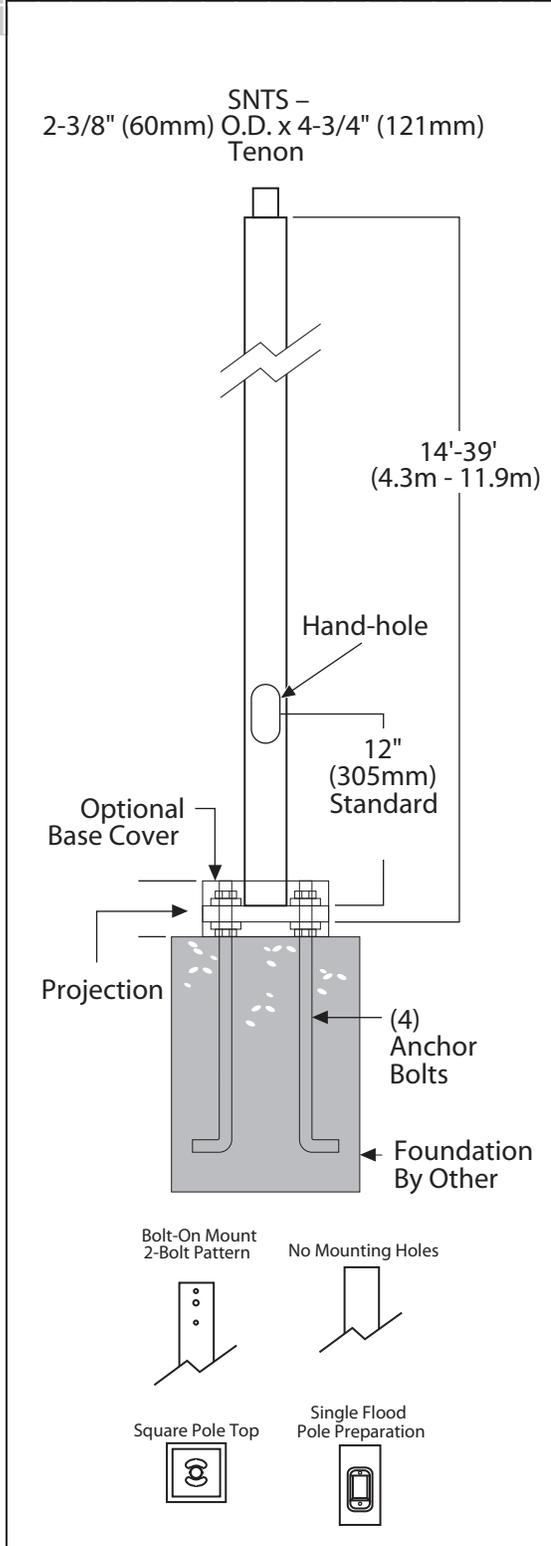
DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

GROUND FAULT CIRCUIT INTERRUPTER - Ground fault circuit interrupter.

FINISH - Each pole is finished with WLS DuraGrip® polyester powder coat finishing process to give the pole an exceptionally attractive appearance. The process electrostatically applies and thermally fuses a polyester powder to the pole. This unique protection process provides an extremely smooth and uniform finish which withstands extreme weather changes without cracking or peeling. DuraGrip® finish features a five-year limited warranty. Standard finish colors available for poles are bronze, black, platinum plus, buff, white, satin verde green, metallic silver, and graphite. Optional DuraGrip® Plus features added protection with a 3.0 to 5.0 mil thickness of polyester-powder coat finish plus an inner coating. This specially designed inner coating is a thermal plastic hydrocarbon resin applied to the inside of the pole to seal and protect against atmospheric and corrosive matter. DuraGrip® Plus finish features a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION

- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in Appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire/bracket EPA as was previously determined.



Approved By: _____ Project Name: _____

Location: _____ Date: _____

P.O. Box 100519 | Fort Worth, TX 76185 | 800.633.8711 | Fax: 817.735.4824 | www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!

SNTS11

SQUARE
NON-TAPERED STEEL

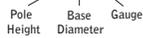
SERIES

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

CATALOG NUMBER ¹	MOUNTING CONFIGURATION	POLE TOP	FINISH	OPTIONS	ACCESSORIES
WLS-SNTS-14-4-11 WLS-SNTS-16-4-11 WLS-SNTS-16-5-11 WLS-SNTS-18-4-11 WLS-SNTS-18-5-11 WLS-SNTS-20-4-11 WLS-SNTS-20-5-11 WLS-SNTS-22-4-11 WLS-SNTS-22-5-11 WLS-SNTS-24-4-11 WLS-SNTS-24-5-11 WLS-SNTS-26-5-11	S - Single / Parallel D180° - Double D90° - Double DN90° - Double T90° - Triple TN120° - Triple Q90° - Quad QN90° - Quad PT - Pole Top N - Tenon Mount (Standard tenon size is 2-3/8" O.D.) I - For use with internal slipfitter	SBO - Square pole, bolt-on mount, 2 bolt pattern SPT - Square pole, pole top mount STM - Square pole, tenon mount SNH - Square pole, no mounting holes or pole top caps	BRZ - Bronze BLK - Black PLT - Platinum Plus BUF - Buff WHT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver	GA - Galvanized Anchor Bolts SF - Single Flood DF - Double Flood DGP - DuraGrip® Plus LAB - Less Anchor Bolts NO - No Options	4BC - 4" Square Base Cover 5BC - 5" Square Base Cover 6BC - 6" Square Base Cover ER2 - Weatherproof Duplex Receptacle GFI - Ground Fault Circuit Interrupter MHP - Mounting Hole Plugs 4VD - Vibration Damper - 4" Square Pole 5VD - Vibration Damper - 5" Square Pole 6VD - Vibration Damper - 6" Square Pole NA - No Accessories

(EXAMPLE ORDER)

WLS-SNTS-24-5-11



D90°

STM

BRZ

NO

NA

ORDER:
WLS-SNTS-

FOOTNOTES:

1 - Pole heights will have +/- 1/2" tolerance.

CATALOG NUMBER	SHAFT LENGTH	SHAFT SIZE	BASE PLATE	BOLT CIRCLE	ANCHOR BOLT SIZE	WT.	80 MPH EPA	90 MPH EPA	100 MPH EPA
WLS-SNTS-14-4-11	14'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	105	16.7	12.2	9.0
WLS-SNTS-16-4-11	16'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	120	13.1	9.3	6.5
WLS-SNTS-16-5-11	16'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	144	25.0	18.5	13.8
WLS-SNTS-18-4-11	18'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	135	9.7	6.5	4.2
WLS-SNTS-18-5-11	18'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	162	19.7	14.1	10.1
WLS-SNTS-20-4-11	20'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	150	7.0	4.2	2.2
WLS-SNTS-20-5-11	20'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	180	15.4	10.5	7.0
WLS-SNTS-22-4-11	22'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	165	6.3	3.4	1.4
WLS-SNTS-22-5-11	22'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	198	13.8	8.9	5.5
WLS-SNTS-24-4-11	24'	4"	10-1/8" X 3/4"	8" - 11"	3/4" X 30"	180	4.0	1.5	-
WLS-SNTS-24-5-11	24'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	216	10.5	6.2	3.1
WLS-SNTS-26-5-11	26'	5"	10-1/8" X 3/4"	9" - 11"	3/4" X 30"	234	7.6	3.8	1.0

EPA INFORMATION:

All WLS Lighting Systems' poles are guaranteed to meet the EPA requirements listed. WLS Lighting Systems is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole is located.

CAUTION:

This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. WLS Lighting Systems cannot accept responsibility for harm or damage caused in these situations.

Approved By: _____ Project Name: _____

Location: _____ Date: _____

WLS LIGHTING SYSTEMS



4 RIGHT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



3 LEFT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

FACADE MATERIAL AREA.	
SOUTH ELEVATION	
BRICK - 6200 SF - 40%	
CEMENTITIOUS SIDING/SHINGLES - 511 SF - 30%	
STONE - 322 SF - 22%	
NORTH ELEVATION	
BRICK - 1079 SF - 93%	
CEMENTITIOUS SIDING/SHINGLES - 81 SF - 7%	
WEST ELEVATION	
BRICK - 145 SF - 49%	
CEMENTITIOUS SIDING/SHINGLES - 306 SF - 25%	
STONE - 400 SF - 26%	
EAST ELEVATION	
BRICK - 935 SF - 71%	
CEMENTITIOUS SIDING/SHINGLES - 323 SF - 25%	
STONE - 50 SF - 4%	

FACADE MATERIAL SPECS.
BRICK: 'ACME' - CEDAR VALLEY
STONE: GRANBURY REGULAR CHOPPED GRAY
PAINT FOR HORIZONTAL SIDING: 'SHERWIN WILLIAMS' - SW 6424
PAINT FOR SHINGLE SIDING: 'SHERWIN WILLIAMS' - SW 6366
PAINT FOR TRIM: 'SHERWIN WILLIAMS' - SW 6100
WINDOWS: 'VINYL' - ALMOND
COMPOSITION SHINGLE ROOF: WEATHERED WOOD
AWNINGS: 'STANDING SEAM METAL' - ALUMINUM
GUTTERS: 'ALUMINUM' - FEBBLESTONE CLAY

- FACADE NOTES**
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
 - ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE.
 - MONUMENT SIGN TO BE CONSTRUCTED OF SAME MATERIALS & COLORS AS BUILDINGS.
 - SEE LANDSCAPE PLAN FOR MASONRY SCREENING (COLORS & MATERIALS TO MATCH BUILDING).

ARCHITECT
ARCHON CORPORATION
ARCHITECTS & PLANNERS
2929 CARLISLE, STE 130
DALLAS, TX 75204
817-915-9161
ATTN: GARY WOOD

OWNER
DUNKIN ACADEMY ROCKWALL LLC
320 N TOWN EAST BLVD
SUNNYVALE, TX 75182
469-358-5590
ATT: JOHN DUNKIN

A CHILD CARE FACILITY IN ROCKWALL, TEXAS
COLOR FACADE/ELEV. PLAN
LOT 1, BLOCK S
THE PRESERVE
PHASE 2

A 2.960 acre tract of land situated in the A.
Hanna Survey, Abstract Number 98, Rockwall
County, Texas

REVISIONS	BY

PROJECT NAME & ADDRESS
DUNKIN ACADEMY
N. LAKE SHORE DRIVE
ROCKWALL, TEXAS

DUNKIN ACADEMY
ROCKWALL, TEXAS

ARCHON CORPORATION
ARCHITECTS / PLANNERS
2929 CARLISLE STREET
SUITE 130 - DALLAS, TX
75204 214/526-0731

REGISTERED ARCHITECT
STATE OF TEXAS
9-15-16

Date: 9-15-16
Drawn:
Job:
Sheet
ELEVS
Of Sheets



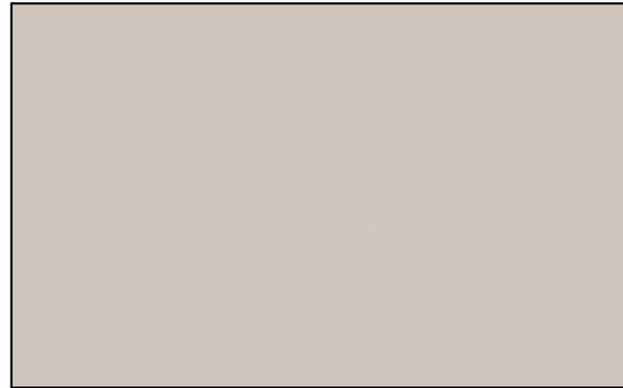
A HORIZONTAL SIDING
'SW 6424'
SHERWIN WILLIAMS



B SHINGLE SIDING
'SW 6366'
SHERWIN WILLIAMS



C TRIM
'SW 6700'
SHERWIN WILLIAMS



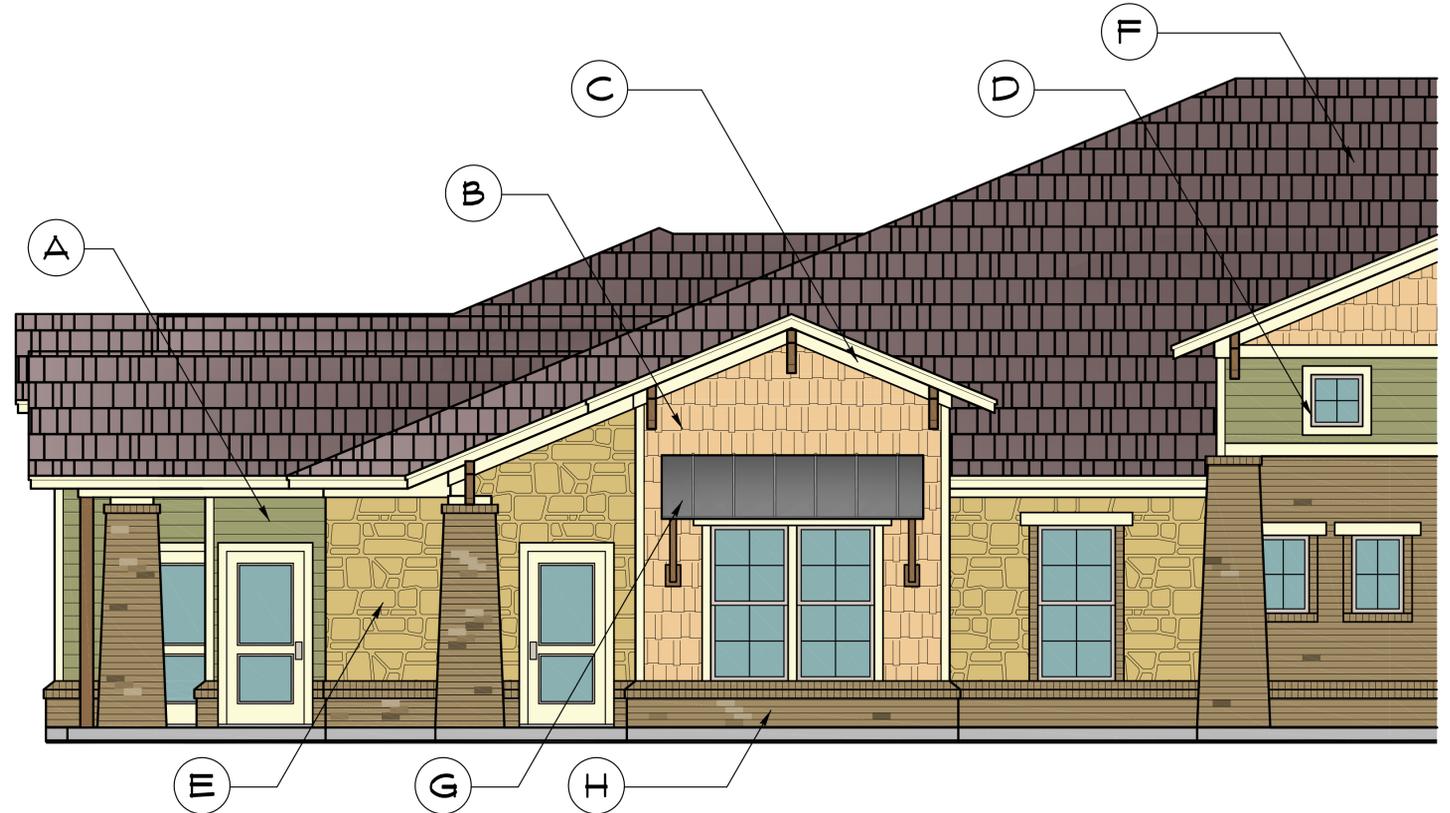
D WINDOWS
'ALMOND'
VINYL



F ROOF
'WEATHERED WOOD'
COMPOSITION SHINGLE



G AWNINGS
'ALUMINUM'
STANDING SEAM METAL



E STONE
GRANBURY REGULAR
CHOPPED GRAY



H BRICK
'CEDAR VALLEY'
ACME BRICK

ARCHITECT
ARCHON CORPORATION
ARCHITECTS & PLANNERS
2929 CARLISLE, STE 130
DALLAS, TX 75204
817-975-9767
ATTN: GARY WOOD

OWNER
DUNKIN ACADEMY ROCKWALL LLC
320 N TOWN EAST BLVD
SUNNYVALE, TX 75182
469-358-5590
ATT: JOHN DUNKIN

DUNKIN ACADEMY
CASE NO.

City of Rockwall Project Plan Review History



Project Number SP2016-020	Owner ROCKWALL, REGIONAL HOSPITAL LLP	Applied 9/16/2016 LM
Project Name Presbyterian Hospital of Rockwall	Applicant CLAYMOORE ENGINEERING INC	Approved
Type ADDITIONAL		Closed
Subtype		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address 3150 HORIZON RD	City, State Zip ROCKWALL, TX 75032	Zoning
--	--	---------------

Subdivision PRESBYTERIAN HOSPITAL OF ROCKWALL ADDITIO	Tract 15	Block A	Lot No 15	Parcel No 4703-000A-0015-00-OR	General Plan
---	--------------------	-------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
ENGINEERING	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	APPROVED	
FIRE (9/22/2016 12:22 PM AA) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant. A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	see comments
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2016 11:20 AM KB)						SP2016-020 (Presbyterian Hospital of Rockwall Addition): Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2016-020) in the lower right hand corner of all pages on future submittals.
I.4						This property will be required to be plated prior to the issuance of a building permit.
M.5						Site Plan. Please provide a vicinity map.
M.6						Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.
M.7						Site Plan. Please provide perimeter dimensions of the site.
M.8						Site Plan. Please indicate property line and show entire property.
M.9						Landscape Plan. Please show the impervious area v.s. pervious area. Landscape Plan. Please identify visibility triangles. Landscape Plan. Trees must be planted at least five feet from water, sewer, and storm sewer lines.
M.10						Photometric. Please show entire site so that we can verify FC at property line.
M.11						Photometric. Please provide Site Data and Summary Table.
M.12						Photometric. Please indicate the location and type of all exterior lighting including pole mounted, wall mounted, signage, etc.
M.13						Photometric. No light pole, base or combination shall exceed 30 feet, unless further restricted within an Overlay District. Please provide a detail of light pole to that we can ensure compliance.
M.14						Photometric. Please show the entire site including the parking lot to the South. Also please provide FC for that parking lot. Photometric. Please provide drawings and/or cut sheets of proposed light fixtures.
M.15						Building Elevations. Currently, the elevations do not meet the 20% stone requirement, therefore a variance will be required. (I believe that you applied for a variance for the other MOB)
M.16						Building Elevations. Please indicate any proposed roof mounted mechanical equipment and indicate how these will be screened.
I.17						The Architectural Review Board (ARB) meeting for this case will be held on September 27, 2016 at 5 pm.
I.18						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 27, 2016 at 6 pm.
I.19						If necessary the projected City Council meeting date for this case will be October 17, 2016.



SP2016-020 - PRESBYTERIAN HOSPITAL OF ROCKWALL
 SITE PLAN - LOCATION MAP = [location pin icon]

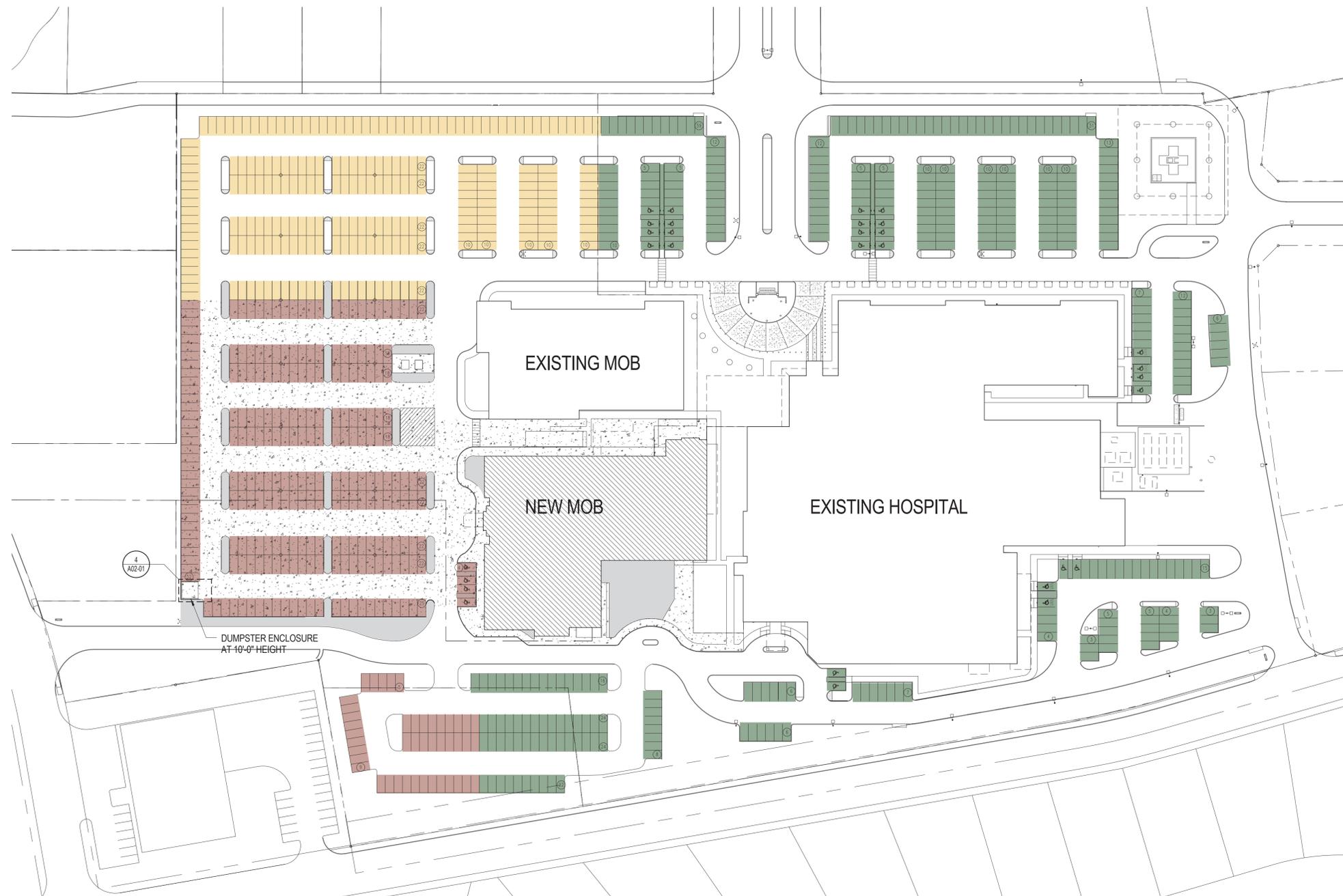
**SITE PLAN
 AREA**

City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 SITE - CAMPUS PARKING PLAN
1" = 60'-0"

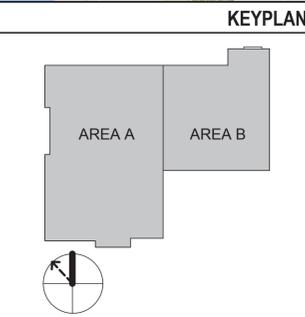
PARKING SPACES REQUIRED

HOSPITAL TOTAL	310 SPACES REQUIRED
EXISTING MOB TOTAL	229 SPACES REQUIRED
NEW MOB TOTAL	280 SPACES REQUIRED
819 TOTAL REQUIRED	17 ACCESSIBLE REQUIRED

PARKING SPACES PROVIDED

EXISTING	
HOSPITAL STANDARD SPACES	317 SPACES
HOSPITAL ACCESSIBLE SPACES	26 SPACES
EXISTING MOB STANDARD SPACES	229 SPACES
EXISTING MOB ACCESSIBLE SPACES	0 SPACES
TOTAL EXISTING SPACES	572 SPACES PROVIDED
	(26 ACCESSIBLE)
NEW	
NEW MOB STANDARD SPACES	+281 SPACES
NEW MOB ACCESSIBLE SPACES	+4 SPACES
TOTAL NEW SPACES	285 SPACES PROVIDED
	(4 ACCESSIBLE)
REVISED TOTAL SPACES (EXISTING PLUS NEW)	857 SPACES PROVIDED
	(30 ACCESSIBLE)

NOTES:
1. 1 IN EVERY 8 ACCESSIBLE SPACES SHALL BE SERVED BY A 96 INCH WIDE ACCESS AISLE AND SHALL BE DESIGNATED AS "VAN ACCESSIBLE". SO FOR THIS PROJECT, 6 VAN ACCESSIBLE SPACES ARE REQUIRED.



APPLICANT INFORMATION
HANNAH AIKIN
PERKINS+WILL
10100 NORTH CENTRAL EXPRESSWAY,
SUITE 300 DALLAS, TX 75231
214-283-8866
HANNAH.AIKIN@PERKINSWILL.COM

OWNER INFORMATION
GRANT CALLISON
CAMBRIDGE HEALTHCARE
DEVELOPMENT, INC.
8389 PRESTON CENTER PLAZA DRIVE,
5TH FLOOR
DALLAS, TX 75225
214-665-0890

CONSULTANTS

CIVIL
CLAYMOORE ENGINEERING, INC.
1105 CHECK SPARGER RD, STE. 1
COLLEYVILLE, TX 76034

STRUCTURAL
ARMSTRONG-DOUGLASS STRUCTURAL
6060 N. CENTRAL EXPRESSWAY, STE. 360
DALLAS, TX 75206

MEP
SW ASSOCIATES CONSULTING
5429 LBJ FREEWAY, STE. 300, DALLAS, TX
75240

LANDSCAPING
KENDALL + Landscape Architecture
8150 North Central, Suite 701, Dallas, TX 75206

OWNER

CAMBRIDGE ROCKWALL, LTD
1717 MAIN STREET, 59TH FLOOR, DALLAS,
TX 75201

CONTRACTOR

PROJECT

ROCKWALL MOB
HORIZON ROAD AT
ROCKWALL PARKWAY
ROCKWALL, TEXAS 75201

Cambridge
**CAMBRIDGE
ROCKWALL**
1717 MAIN STREET, 59TH
FLOOR, DALLAS, TX 75201
KEYPLAN

ISSUE CHART

CITY COMMENT 09.15.16

MARK	ISSUE	DATE
Job Number	147201.000	
Drawn	DRG	
Checked	MSK	
Approved	MSK	
TITLE		

LANDSCAPE PLAN

SHEET NUMBER

L10-01

C PREPARATION GENERAL NOTES

1. PLAN PREPARED BY:
MICHAEL S. KENDALL
KENDALL + LANDSCAPE ARCHITECTURE
8150 NORTH CENTRAL EXPRESSWAY
SUITE M2025
DALLAS, TEXAS 75206
PHONE: (214) 739-3226
E-MAIL: MIKE@KENDALL7.COM
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
2. ALL AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
3. ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.

D PLANTING GENERAL NOTES

1. ALL SOIL EXCAVATION MAY BE DISPOSED OF ON SITE.
2. IF A LIVE UTILITY IS ENCOUNTERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE.
3. SEE PLANTING SPECIFICATIONS FOR A COMPLETE DESCRIPTION OF PLANT MATERIAL AND INSTALLATION.
4. ALL BEDS MUST BE LAID OUT AND APPROVED PRIOR TO THE INSTALLATION OF THE IRRIGATION FOR COORDINATION.
5. ALL PLANT MATERIAL SHALL BE STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
6. ALL PLANTING DETAILS ARE TYPICAL.
7. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS MUST BE EITHER HYDROMULCHING OR SOLID SODDED UNLESS NOTED.
8. IRRIGATION WILL MEET REQUIREMENTS OF UDC.

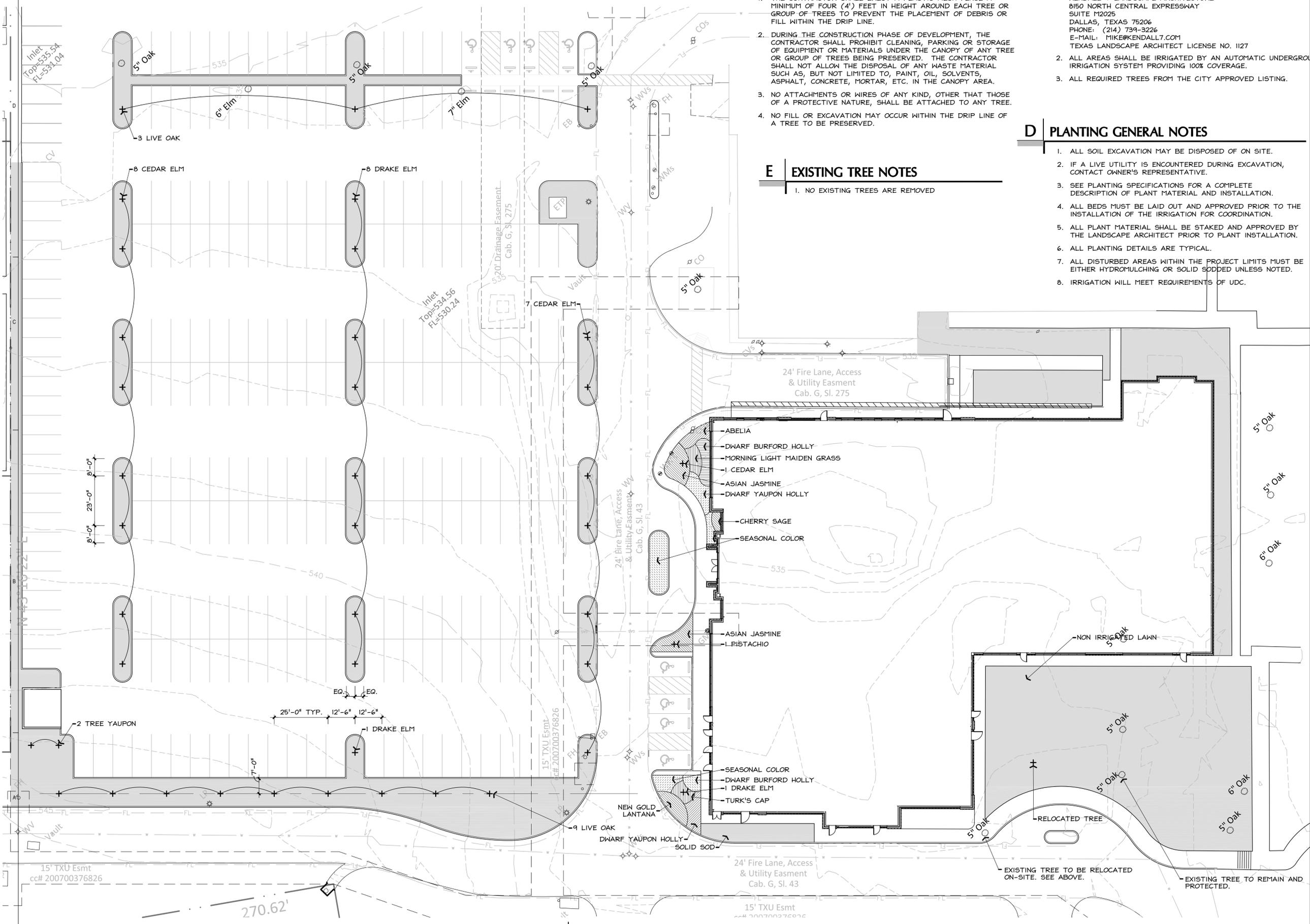
B TREE PRESERVATION NOTES

CONTRACTOR SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:

1. THE CONTRACTOR SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF FOUR (4') FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
2. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE CONTRACTOR SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE CONTRACTOR SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC. IN THE CANOPY AREA.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
4. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED.

E EXISTING TREE NOTES

1. NO EXISTING TREES ARE REMOVED



A LANDSCAPE PLAN

1" = 20'-0"

0 10' 20' 40'



A PLANT LISTING

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED.

BOTANIC NAME	COMMON NAME	SIZE	DESCRIPTION
LARGE TREES			
PISTACHIO CHINENSIS	PISTACHIO	100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS CRASSIFOLIA	CEDAR ELM	100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM	100 GALLON CONTAINER, 3"-3 1/2" CALIPER, 8' - 10' HEIGHT, 4'-5' SPREAD	SINGLE STRAIGHT LEADER.
ORNAMENTAL TREES			
ILEX VOMITORIA	TREE YAUPON	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
SHRUBS			
ABELIA GRANDIFLORA	ABELIA	3 GALLON	42" ON CENTER
ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3 GALLON	24" ON CENTER
ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GALLON	24" ON CENTER
SALVIA GREGGI 'HOTLIPS'	HOTLIPS CHERRY SAGE	3 GALLON	24" ON CENTER
RAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	3 GALLON	36" ON CENTER
ROSA 'RADRAZZ'	RADAZZ KNOCK OUT ROSE	3 GALLON	30" ON CENTER
GROUND COVER			
TRACHELSPERMUM ASIATICUM	ASIAN JASMINE	1 GALLON	18" ON CENTER
PERENNIALS			
LANTANA X 'NEW GOLD'	NEW GOLD LANTANA	1 GALLON	24" ON CENTER
MALVAVISCUS DRUMMONDII	TURK'S CAP	1 GALLON	24" ON CENTER
MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	1 GALLON	18" ON CENTER

ANNUALS
 SPRING - PANSIES 'BEACON FIELD' OR 'MAXIM BLUE' OR 'IMPERIAL SILVER PRINCESS' - 4" POT, 8" ON CENTER.
 SUMMER - NEW GOLD LANTANA - 1 GALLON, 18" ON CENTER
 FALL - CHRYSANTHEMUM 'SEMINOLE' - 4" POT, 8" ON CENTER.

LAWN
 CYNDON SPP. BERMUDA GRASS - SOLID SOD
 CYNDON TIFF TUFF BERMUDA GRASS - SOLID SOD
 BUCHLOE DACTYLOIDES BUFFALO GRASS - SOLID SOD

B LANDSCAPE ORDINANCE - ROCKWALL, TEXAS

- 10' LANDSCAPE BUFFER**
PROVIDED AT ROCKWALL PARKWAY
- SCREENING OF OFF-STREET LOADING AREAS**
PROVIDED
- RESIDENTIAL ADJACENCY**
NOT APPLICABLE
- BUFFER LANDSCAPING**
SHRUBS AT 3' ON CENTER
180 /50
4 3" CALIPER TREES REQUIRED
4 3" CALIPER TREES PROVIDED
- PARKING LOT LANDSCAPING**
SHRUBS AT 3' ON CENTER
89,000 *.05
4,450 REQUIRED SQUARE FEET
5,472 PROVIDED SQUARE FEET
- OPEN SPACE**
OFFICE ZONING REQUIRES 20%
229,964 *.20
45,993 REQUIRED SQUARE FEET
54,000 PROVIDED SQUARE FEET

SITE AREA	18.87 ACRES (821,862.51 SF)
ZONING	PD-009
PROPOSED USE	MEDICAL OFFICE
BUILDING SIZE	55,827 SF
LOT COVERAGE	4.3%
FLOOR TO AREA RATIO	0.04 : 1
BUILDING HEIGHT	48'-8" (2 STORY)

PARKING REQUIREMENTS	1 PER 200 SQ FT
PARKING REQUIRED	280 SPACES (6 ADA)
PARKING PROVIDED	281 SPACES (7 ADA)

PERKINS + WILL

10100 North Central Expressway
 Suite 300
 Dallas, Texas 75231
 t 214.283.8700
 f 214.283.8761
 www.perkinswill.com

CONSULTANTS

CIVIL
 CLAYMOORE ENGINEERING, INC.
 1105 CHECK SPARGER RD, STE. 1
 COLLEYVILLE, TX 76034

STRUCTURAL
 ARMSTRONG-DOUGLASS STRUCTURAL
 6060 N. CENTRAL EXPRESSWAY, STE. 360
 DALLAS, TX 75206

MEP
 SW ASSOCIATES CONSULTING
 5429 LBJ FREEWAY, STE. 300, DALLAS, TX
 75240

LANDSCAPING
 KENDALL + Landscape Architecture
 8150 North Central, Suite 701, Dallas, TX 75206

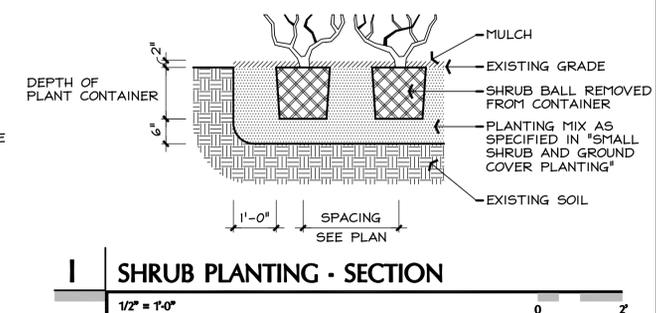
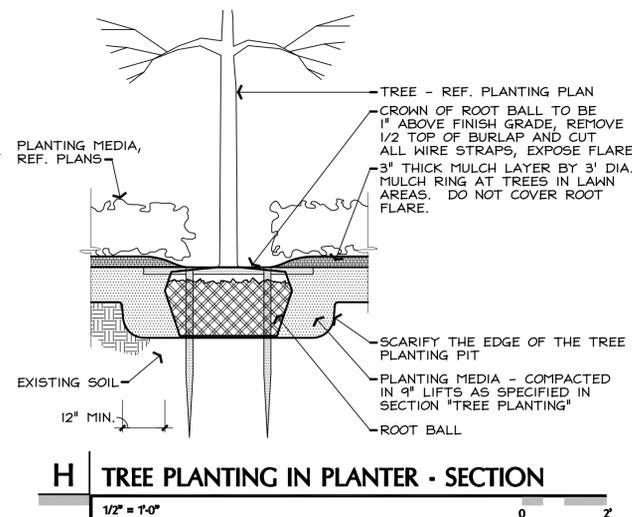
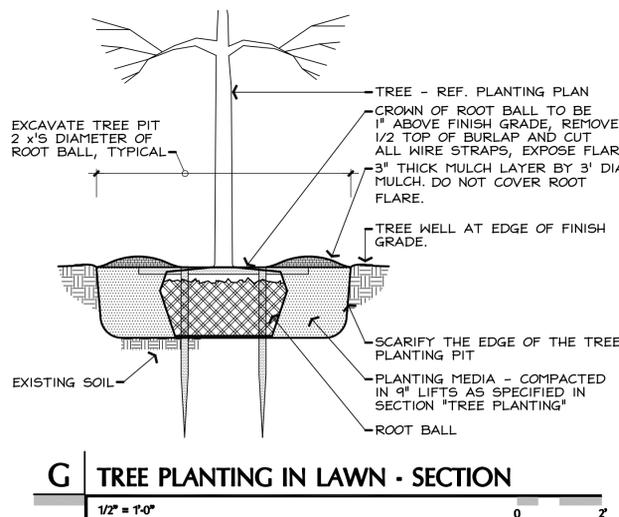
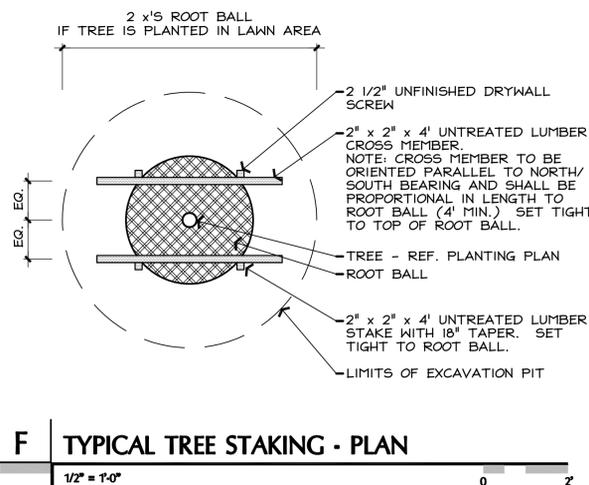
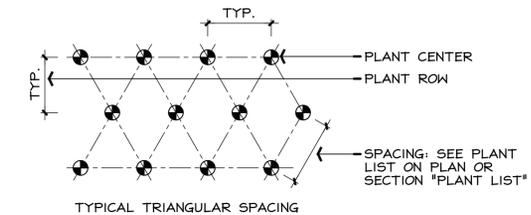
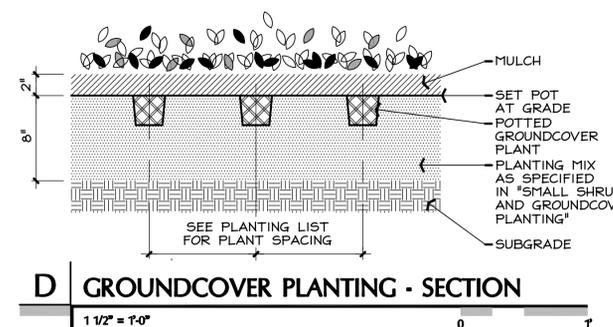
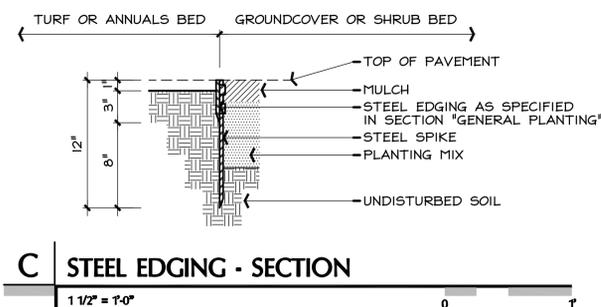
OWNER
 CAMBRIDGE ROCKWALL, LTD
 1717 MAIN STREET, 59TH FLOOR, DALLAS,
 TX 75201

CONTRACTOR

PROJECT

ROCKWALL MOB
 HORIZON ROAD AT
 ROCKWALL PARKWAY
 ROCKWALL, TEXAS 75201

CAMBRIDGE
ROCKWALL
 1717 MAIN STREET, 59TH
 FLOOR, DALLAS, TX 75201
KEYPLAN



ISSUE CHART
 CITY COMMENT 09.15.16

MARK	ISSUE	DATE
Job Number	147201.000	
Drawn	DRG	
Checked	MSK	
Approved	MSK	

LANDSCAPE PLAN

SHEET NUMBER

L10-02



② ELEVATION- WEST
3/32" = 1'-0"



① ELEVATION- EAST
3/32" = 1'-0"

EXTERIOR MATERIALS OVERALL SURFACE AREAS AND %			
Material: Name	Material: Area	Material: Description	% Material
Curtain Wall Glazing	2,932.90 SF		11%
Exterior Stone Cladding- Flamed	4,885.97 SF	Concrete masonry units	19%
Masonry Brick	10,281.44 SF		39%
Masonry Featherite	7,962.78 SF	Concrete masonry units	30%
Masonry Stone Veneer	93.63 SF	Concrete masonry units	0%
	26,156.71 SF		100%

SURFACE AREA BY FACADE		
Name	Surface Area	% of Total Surface Area
NORTH ELEVATION	6251 FT2	24.2%
SOUTH ELEVATION	6251 FT2	24.2%
WEST ELEVATION	6726 FT2	26.1%
EAST ELEVATION	6558 FT2	25.5%

APPLICANT INFORMATION
 HANNAH AIKIN
 PERKINS+WILL
 10100 NORTH CENTRAL EXPRESSWAY,
 SUITE 300 DALLAS, TX 75231
 214-283-8866
 HANNAH.AIKIN@PERKINSWILL.COM

OWNER INFORMATION
 GRANT CALLISON
 CAMBRIDGE HEALTHCARE
 DEVELOPMENT, INC.
 8389 PRESTON CENTER PLAZA DRIVE,
 5TH FLOOR
 DALLAS, TX 75225
 214-665-0890



1 ELEVATION- NORTH
3/32" = 1'-0"

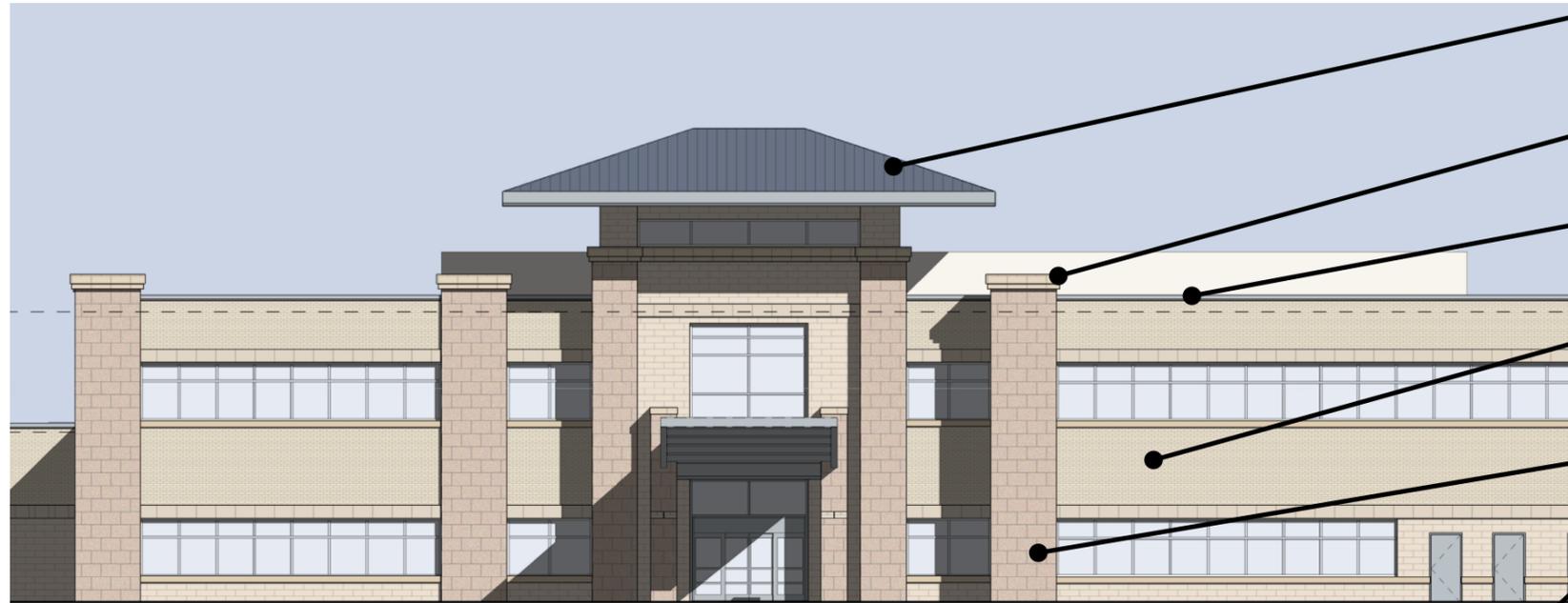


2 ELEVATION- SOUTH
3/32" = 1'-0"

EXTERIOR MATERIALS OVERALL SURFACE AREAS AND %			
Material: Name	Material: Area	Material: Description	% Material
Curtain Wall Glazing	2,932.90 SF		11%
Exterior Stone Cladding- Flamed	4,885.97 SF	Concrete masonry units	19%
Masonry Brick	10,281.44 SF		39%
Masonry Featherlite	7,962.78 SF	Concrete masonry units	30%
Masonry Stone Veneer	93.63 SF	Concrete masonry units	0%
	26,156.71 SF		100%

SURFACE AREA BY FACADE		
Name	Surface Area	% of Total Surface Area
NORTH ELEVATION	6251 FT2	24.2%
SOUTH ELEVATION	6251 FT2	24.2%
WEST ELEVATION	6726 FT2	26.1%
EAST ELEVATION	6558 FT2	25.5%

APPLICANT INFORMATION
 HANNAH AIKIN
 PERKINS+WILL
 10100 NORTH CENTRAL EXPRESSWAY,
 SUITE 300 DALLAS, TX 75231
 214-283-8866
 HANNAH.AIKIN@PERKINSWILL.COM
 OWNER INFORMATION
 GRANT CALLISON
 CAMBRIDGE HEALTHCARE
 DEVELOPMENT, INC.
 8383 PRESTON CENTER PLAZA DRIVE,
 5TH FLOOR
 DALLAS, TX 75225
 214-665-0890



1.) ROOF- STANDING SEAM METAL ROOFING

2.) CAST STONE

3.) METAL COPING- MATCHING STOREFRONT SYSTEM COLOR

4.) BRICK- ACME, PERLA PLANT, RIDGEMAR

5.) GRANITE- PINK PORRINO, FLAMED



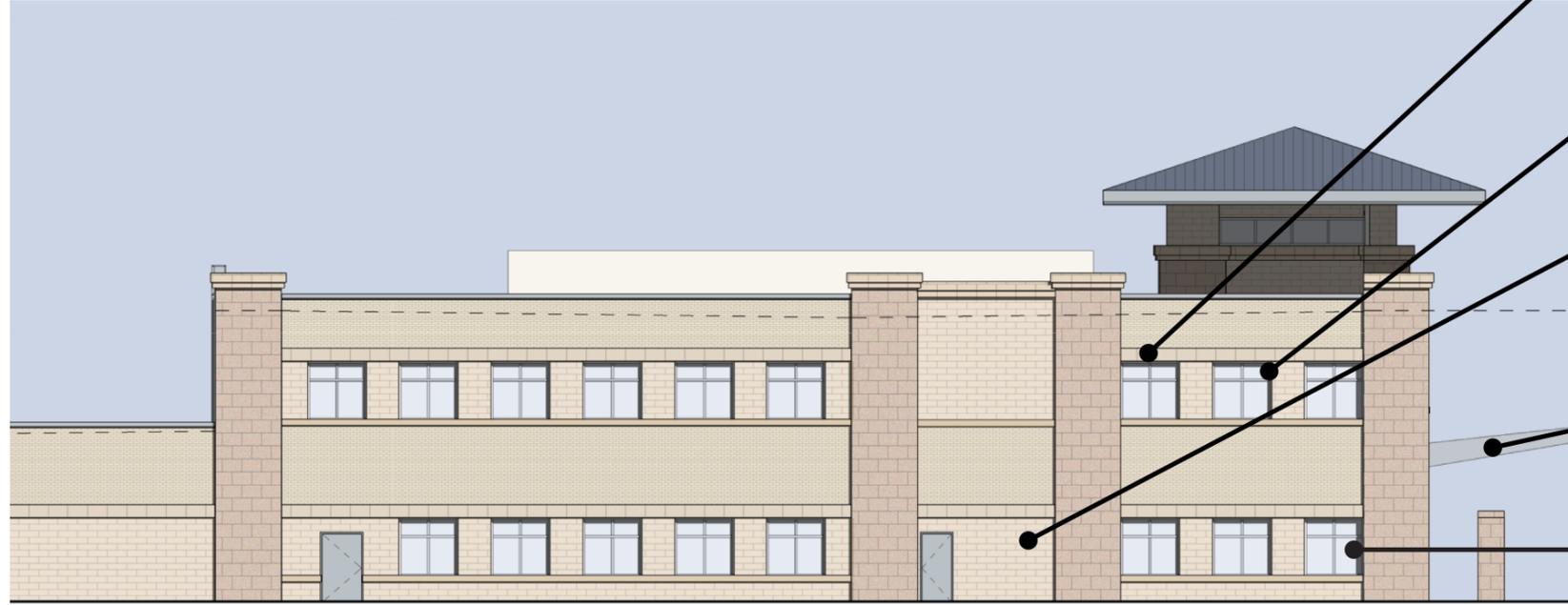
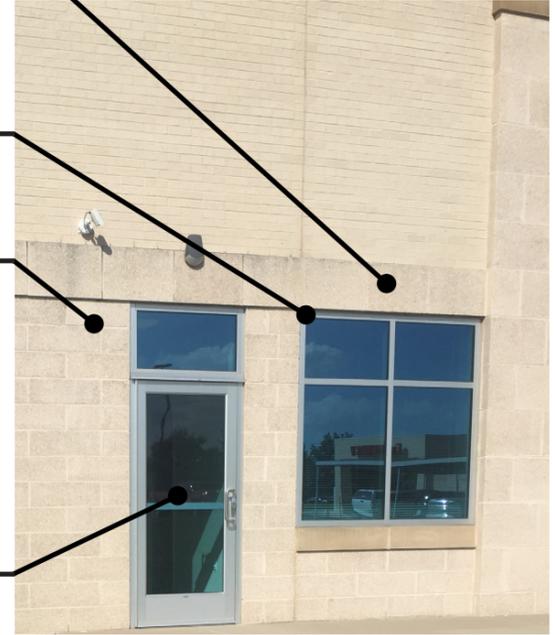
6.) CMU- BURNISHED FEATHERLITE, ROUND ROCK PLANT, GROUND-FACE, SADDLE TAN, 16X24"

7.) WINDOW FRAMING- ANODIZED ALUMINUM

8.) CMU- BURNISHED FEATHERLITE, ROUND ROCK PLANT, GROUND-FACE, SADDLE TAN, 8X24"

9.) CANOPY- MATCHING STOREFRONT SYSTEM COLOR

10.) GLAZING- LOW- E COATED, TINTED GLASS



APPLICANT INFORMATION

HANNAH AIKIN
 PERKINS+WILL
 10100 NORTH CENTRAL EXPRESSWAY, SUITE 300
 DALLAS, TX 75231
 214-283-8866
 HANNAH.AIKIN@PERKINSWILL.COM

OWNER INFORMATION

GRANT CALLISON
 CAMBRIDGE HEALTHCARE DEVELOPMENT, INC.
 8383 PRESTON CENTER PLAZA DRIVE, 5TH FLOOR
 DALLAS, TX 75225
 214-665-0890
 GCALLISON@CAMBRIDGEINC.COM

City of Rockwall
Project Plan Review History



Project Number SP2016-021	Owner METROPLEX, ACQUISITION FUND LP	Applied 9/16/2016 LM
Project Name Woodbridge Montessori Academy	Applicant LITTLE GENIUS OF TEXAS LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status STAFF REVIEW		Status 9/16/2016 LM

Site Address FM552	City, State Zip ROCKWALL, TX 75087	Zoning
------------------------------	--	---------------

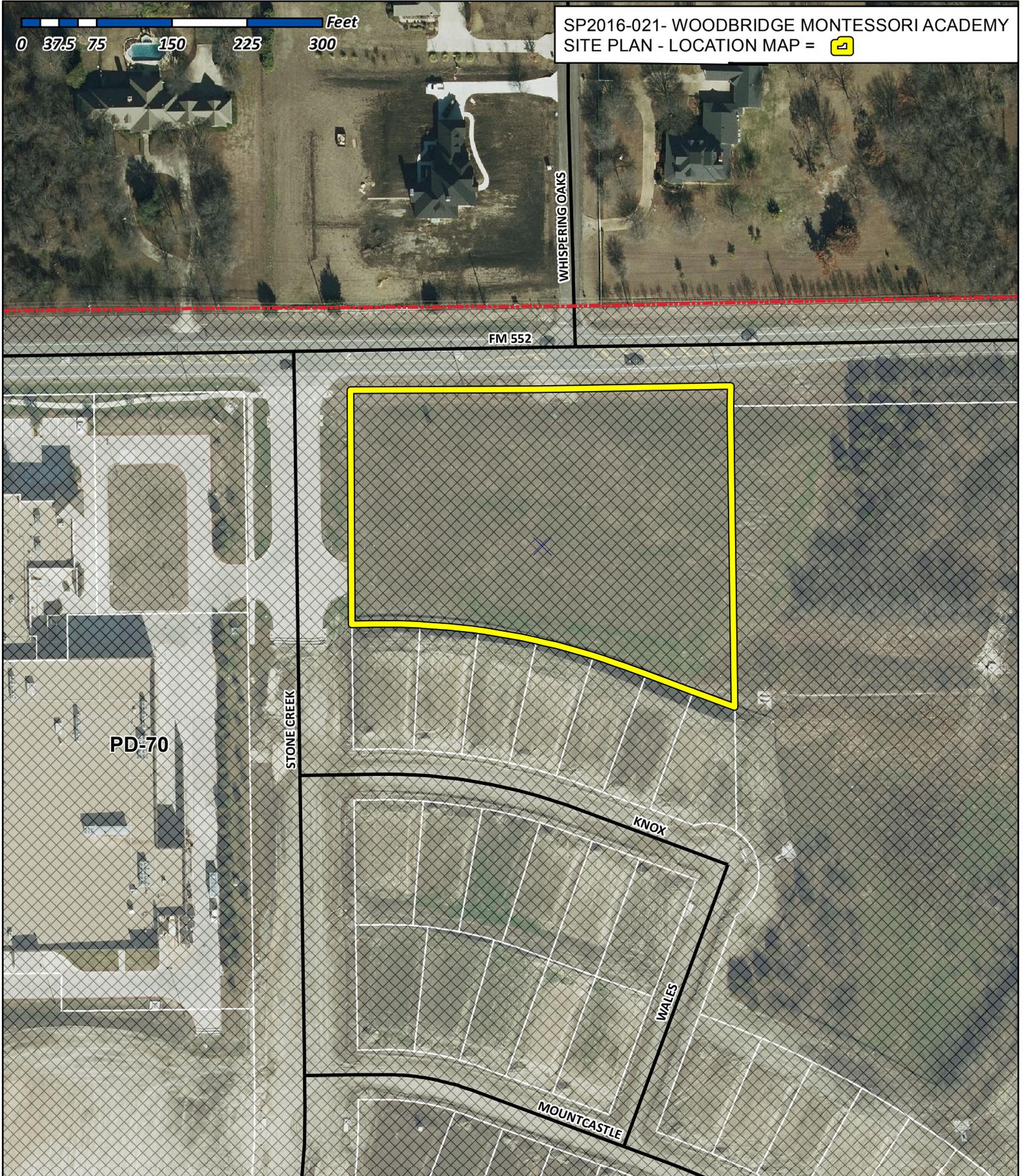
Subdivision STONE CREEK PH 6	Tract 2-3	Block NULL	Lot No 2-3	Parcel No 0071-0000-0002-03-0R	General Plan
--	---------------------	----------------------	----------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/21/2016	5	APPROVED	
ENGINEERING (9/21/2016 8:15 AM AW) Label right-of-way dedication Need 10' utility easement along FM 552 Move sign and dumpster out of easement. Water pro-rata due = \$19.75/ lf of property length along FM 552	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comments
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	Korey Brooks	9/16/2016	9/23/2016	9/23/2016	7	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2016 11:34 AM KB)						SP2016-021 (Woodbridge Montessori Academy of Rockwall): Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request by Vinod Sharma of Little Genius of Texas, LLC for the approval of a site plan for a private pre-school facility on a 2.28-acre tract of land identified as Tract 2-3 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, located at the southeast corner of the intersection of FM-552 and Stone Creek Drive, a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Cindy Paris of Rockwall Regional Hospital, LLC for the approval of a site plan for a medical office building on a 5.75-acre portion of a larger 17.8321-acre parcel of land being identified as Lot 15, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located east of the intersection of Summer Lee Drive and Rockwall Parkway
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2016-021) in the lower right hand corner of all pages on future submittals.
I.4						This property will be required to be plated prior to the issuance of a building permit.
M.5						Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.
M.6						Site Plan. Please provide perimeter dimensions of the site.
M.7						Site Plan. Please indicate the distance between all property lines and the planned buildings. Site Plan. Please show the 15' building setback along Stone Creek Drive and FM. 552. Site Plan. Your legend shows a symbol for sidewalks, however, it is not used on the site plan. Site Plan. Your call out for the proposed dumpster does not point to the dumpster.
M.8						Landscape Plan. Please show and label 10' landscape buffer adjacent to Stone Creek Drive and FM 552. Landscape Plan. Please note that 1 tree per 50' is required on Stone Creek Drive and FM. 552. Landscape Plan. If no protected trees are being removed, please provide a note stating that.
M.9						Photometric. Please show FC of entire site. (it usually looks like a grid of FC numbers across the entire site)
M.10						Photometric. Please indicate the location and type of all exterior lighting including pole mounted, wall mounted, signage, etc.
M.11						Photometric. No light pole, base or combination shall exceed 30 feet, unless further restricted within an Overlay District. Please provide a detail of light pole to that we can ensure compliance.
M.12						Photometric. Please show the entire site including the parking lot to the South. Also please provide FC for that parking lot. Photometric. Please provide drawings and/or cut sheets of proposed light fixtures.
M.13						Building Elevations. Currently, the elevations do not meet the 20% stone requirement for each facade, therefore a variance your elevation directions are incorrect. Please see markups. Building Elevations. Please change "Spring Creek" to "Stone Creek" and FM 255 to FM 552"
I.14						The Architectural Review Board (ARB) meeting for this case will be held on September 27, 2016 at 5 pm.
I.15						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 27, 2016 at 6 pm.
I.16						If necessary the projected City Council meeting date for this case will be October 17, 2016.

0 37.5 75 150 225 300 Feet

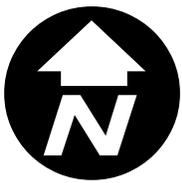
SP2016-021- WOODBRIDGE MONTESSORI ACADEMY
SITE PLAN - LOCATION MAP = 

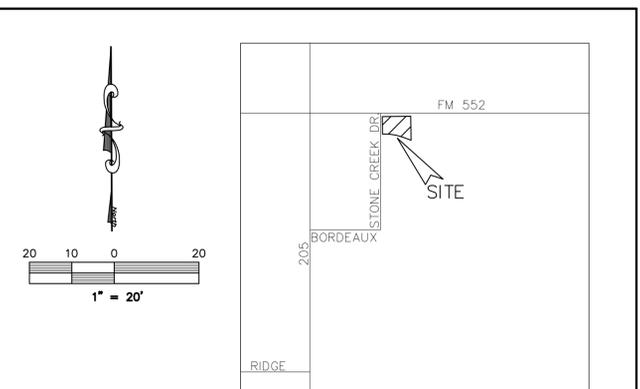
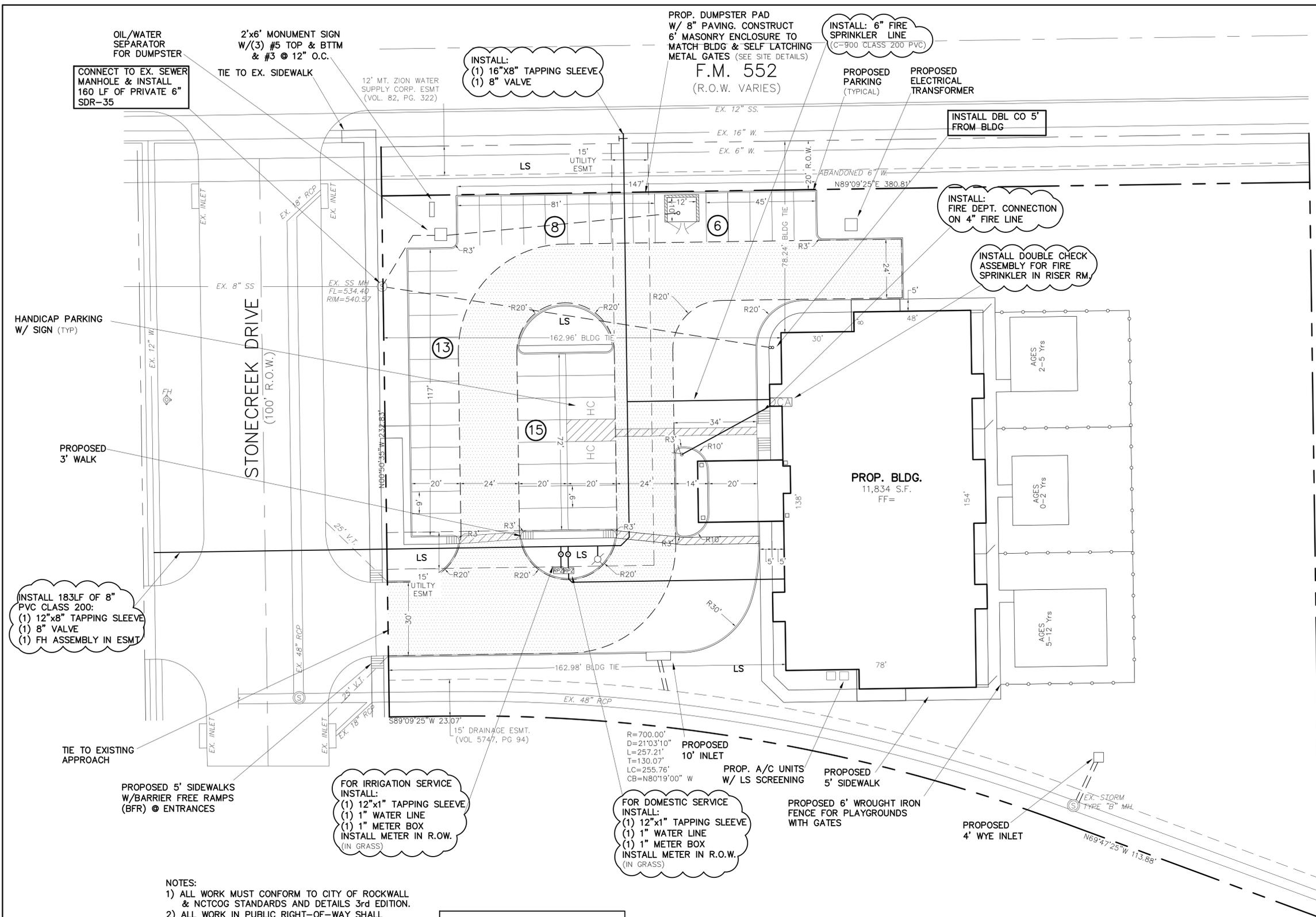


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- V.T. = VISIBILITY TRIANGLE
- EX. W. = EX. WATER LINE
- EX. SS = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- (WV) = EX. WATER VALVE
- (PP) = EX. POWER POLE
- (TB) = EX. TELEPHONE BOX
- (SM) = EX. STORM MANHOLE
- (FH) = EX. FIRE HYDRANT
- (P) = PROPOSED FIRE HYDRANT
- [---] = PROPOSED FIRELANE
- [---] = PROPOSED SIDEWALK

SITE DATA:

LOT AREA: 2.29 Acres, 99,669 sq. ft.
 LOT COVERAGE: 11.9%
 FLOOR TO AREA RATIO: 8.4:1
 BUILDING AREA: 11,834 sq.ft.
 CONSTRUCTION TYPE: V-N
 BUILDING HEIGHT: 13'-0"
 BUILDING SETBACKS:
 PROPOSED USE: Day School
 IMPERVIOUS AREA (including buildings): 42,837 sq.ft.
 ZONING:
 PARKING: Required: (1 space/300) = 40
 Handicap = 2
 Provided: Standard = 40
 Handicapped = 2
 Total Provided = 42
 LANDSCAPE AREA: Required: (10%) sq.ft.
 Provided: 56,832 sq.ft.
 FIRESPRINKLER: YES
 * THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #:

CONCEPT SITE PLAN
WOODBIDGE MONTESSORI ACADEMY OF ROCKWALL

Stonecreek Dr.
 Lot , Block , 2.29 Acres
 City of Rockwall, Rockwall County, Texas
 developer
VINOD SHARMA
 436 Quail Creek Drive, Murphy Texas 75094
 510 364-3007
 prepared by
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12 REG. NO.: F-2567
 date: 9/13/16 scale: 1" = 20' sheet: C101

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
 - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.

FIRE SPRINKLER LINE IS SEPARATE PERMIT FROM THE FIRE DEPARTMENT

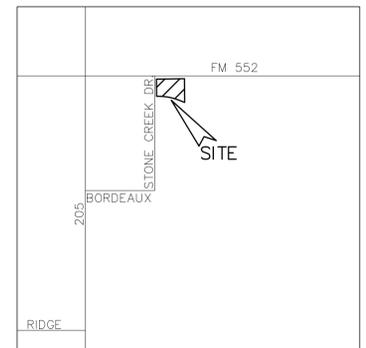
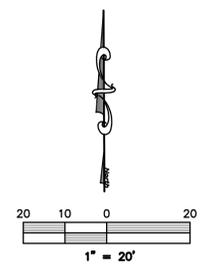
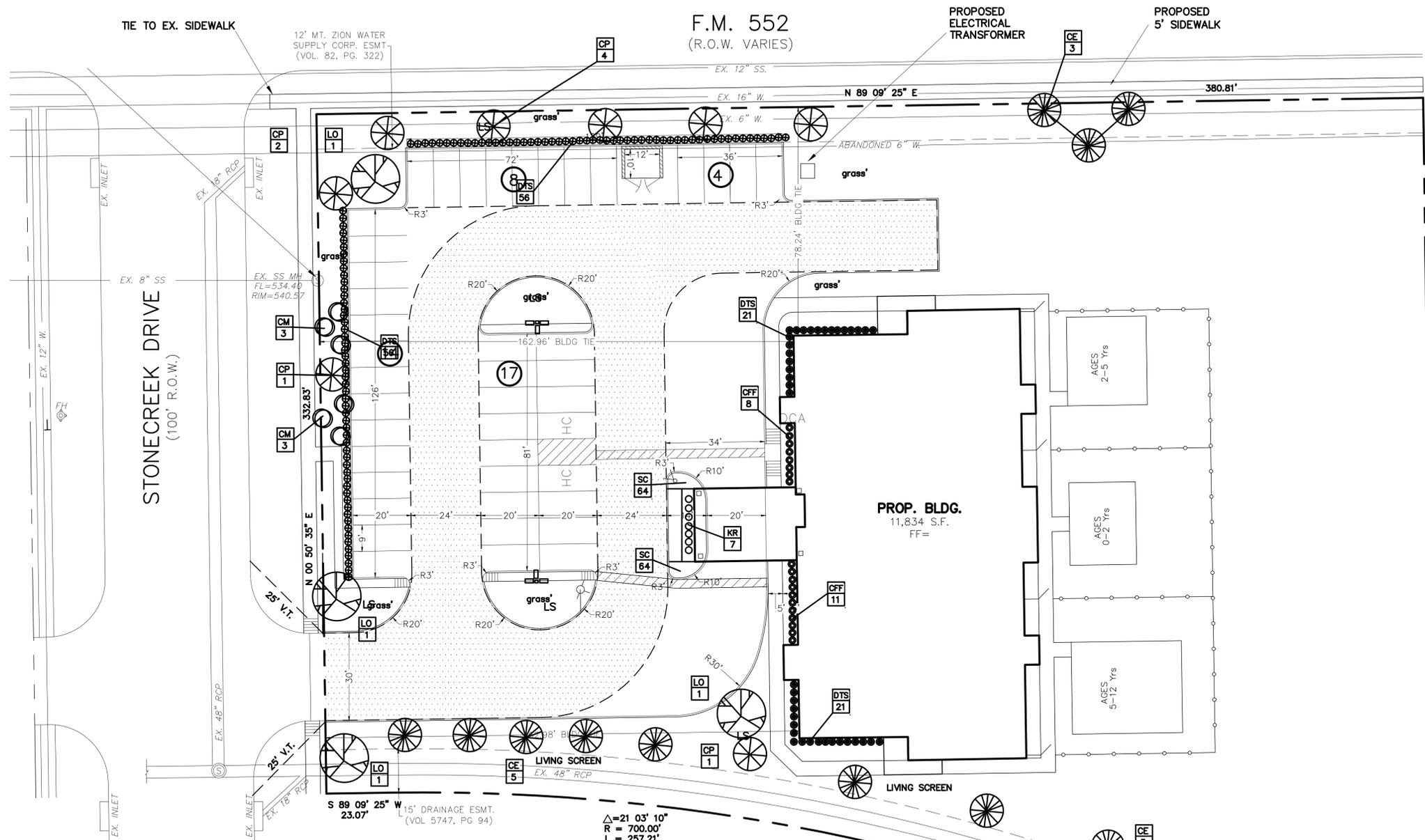
WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - All signage contingent upon Building Inspection Department.
 - Approval of the site plan is not final until all engineering plans are approved.
 - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 - All electrical transmission, distribution and service lines must be underground.

!!!! CAUTION !!!!
 CALL 811 TO LOCATE UNDERGROUND LINES 48 HRS PRIOR TO CONSTRUCTION



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- V.T. = VISIBILITY TRIANGLE
- EX. W. = EX. WATER LINE
- EX. SS = EX. SANITARY SEWER LINE
- ⊙ = EX. SS MANHOLE
- ∞ WV = EX. WATER VALVE
- ⊙ PP = EX. POWER POLE
- ⊙ = EX. TELEPHONE BOX
- ⊙ = EX. STORM MANHOLE
- ⊙ FH = EX. FIRE HYDRANT
- ⊙ = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE
- = PROPOSED SIDEWALK

SITE DATA:

LOT AREA:
2.29 Acres, 99,669 sq. ft.
LOT COVERAGE:
11.9%
FLOOR TO AREA RATIO:
8.4:1
BUILDING AREA:
11,834 sq. ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:
3
BUILDING SETBACKS:
S 00 50' 35" E 320.47'
PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq. ft.
ZONING:
PARKING:
Required: (1 space/300) = 40
Handicap = 2
Provided:
Standard = 41
Handicapped = 2
Total Provided = 43
LANDSCAPE AREA:
Required: (10%) sq. ft.
Provided: 56,832 sq. ft.
FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

REVISIONS

LANDSCAPE NOTES:

- 1) With the exception of drainage area, all grass areas are to be hydromulched Bermuda (2# per 1000 sf) for awrm season application or hydromulched mixture of rye grass (5# per 1000 sf) and hulled Bermuda (1# per 1000 sf) for cool season application.
2. Grass and bed areas are to be separated by 1"x6" plastic-wood edging.
3. All trees & shrubs are to be planted minimum of 5' from impermeable surface & utility lines.
4. Contractor to verify plant material quantities and notify owner of any conflicts.
5. Bed preparation shall consist of incorporating and one 4 cubic foot bale of spagnum peat moss and one 3 cubic foot bag of landscape mix per 75 sq. ft. into the top six inches of existing soil.
6. All landscape areas shall be watered by a fully automatic irrigation system meeting the minimum standards of the American Society of Irrigation Consultants, and the current building codes of Rockwall, Texas.
7. all plant material to shall meet American Nursery Standards for height and width in each container size. With the exception of ground cover beds, all plants material shall be mulched with 2" of Cedar mulch.(min)
8. Trees shall have a root ball of a minimum 10 inch of diameter for each inch of caliper.
9. Contractor shall be responsible for location all utilities and obtaining permits as required by City.
10. Trees and shrubs are to be a minimum of 2.5 feet from all impermeable surfaces and 5' from utility lines.

Streetcape ((380 LF. FM. 522, 235 LF. STONECREEK DR.)

Required: 1 Tree per 50 LF. 380/50=8, 235/50 = 5	13 Trees
Provides:	13 Trees
Area Landscape:	
Required: 10% of Site (99,669 sf x 10%)	9,967 S.F.
Provided:	
Required: 50% of required landscape in front)	4,984 S.F.
Provided:	9,634 S.F.
Parking Lot Landscape:	
Required: 5% 27,550 S.F. x .05 = 1,378 S.F.	1,378 S.F.
Provided:	2,020 S.F.
Trees-No required parking space further than 80' from tree.	
Required: 1 tree per 10 required parking spaces 42/10=4.2	5 Trees
Provided:	5 Trees
PROVIDED LIVING SCREEN ALONG RESIDENTIAL SIDE.	

Δ=21 03' 10"
R = 700.00'
L = 257.21'
T = 130.07'
CB = N 80 79' 00" W
CO = 255.76'

PLANT	PLANT NAME	SIZE	SPACING	HEIGHT	WIDTH	QUANTITY
LO	Live Oak(Quercus Virginiana)	3" CAL	A/I	12'	4'	4
CE	Cedar Elm(Ulmus Crassifolia)	3" CAL	A/I	12'	4'	13
CP	Chinese Pistachio(Pistacia Chinenais)	3" CAL	A/I	12'	4'	7
CM	Crap Myrtle (Lagerstroemia Fauriei Tuscarora)	30gal	A/I	8'	4'	6
DTS	Dwarf Texas Sage (Leucophyllum Frutescens Compacta)	5gal	36"	20"	18"	154
KR	Knock Out Roses (Rosa "Knock-out")	3gal	36"	16"	14"	7
CFF	Chinese Fringeflower (Loropetalum "Purple Diamond")	3gal	36"	14"	14"	19
SC	Seasonal Color	4" potal	12"	na	na	128

!!!! CAUTION !!!!
CALL 811 TO LOCATE
UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

PROJECT #:

LANDSCAPE PLAN

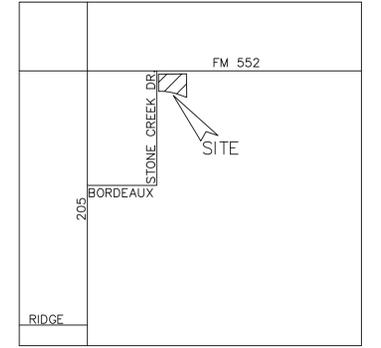
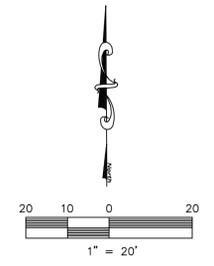
ROCKWALL MONTESSORI ACADEMY

STONECREEK DR.
Lot , Block , 2.29 Acres
City of Rockwall, Rockwall County, Texas

developer
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

prepared by
SMV, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12
date: 9/9/16 scale: 1" = 20' sheet: L101



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- V.T. = VISIBILITY TRIANGLE
- EX. W. = EX. WATER LINE
- EX. SS = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- WV = EX. WATER VALVE
- PP = EX. POWER POLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EX. STORM MANHOLE
- FH = EX. FIRE HYDRANT
- ⊙ = PROPOSED FIRE HYDRANT
- [Pattern] = PROPOSED FIRELANE
- [Pattern] = PROPOSED SIDEWALK

SITE DATA:

LOT AREA:
2.29 Acres, 99,669 sq. ft.
LOT COVERAGE:
11.9%
FLOOR TO AREA RATIO:
8.4:1
BUILDING AREA:
11,834 sq.ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:

BUILDING SETBACKS:

PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq.ft.
ZONING:

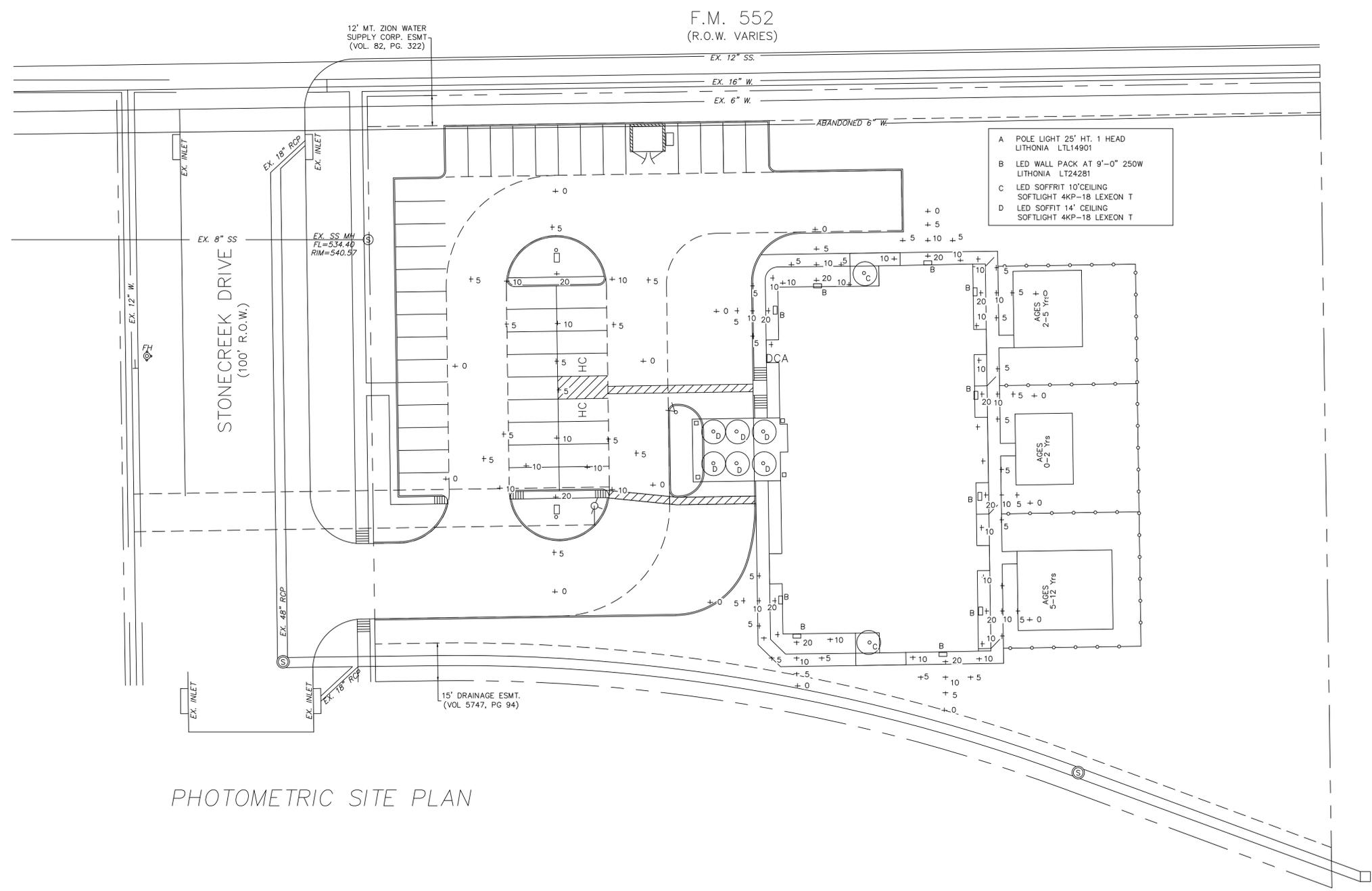
PARKING:
Required: (1 space/300) = 40
Handicap = 2

Provided:
Standard = 41
Handicapped = 2
Total Provided = 43
LANDSCAPE AREA:
Required: (10%) sq.ft.
Provided: 56,832 sq.ft.
FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

REVISIONS



PHOTOMETRIC SITE PLAN

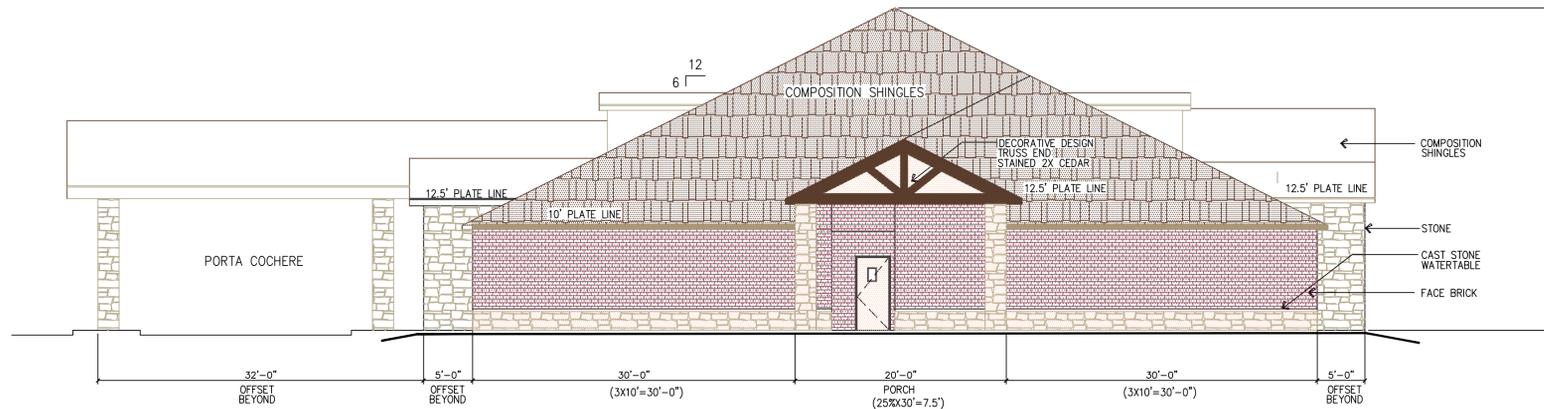
!!!! CAUTION !!!!
CALL 811 TO LOCATE UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

PHOTOMETRIC PLAN		
ROCKWALL MONTESSORI ACADEMY		
STONECREEK DR. Lot , Block , 2.29 Acres City of Rockwall, Rockwall County, Texas		
<i>developer</i>		
VINOD SHARMA 436 Quail Creek Drive, Murphy Texas 75094 510 364-3007		
<i>prepared by</i>		
SMV, INC. 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761		
PROJECT NO.: 2016-12		
date: 9/9/16	scale: 1" = 20'	sheet: E101



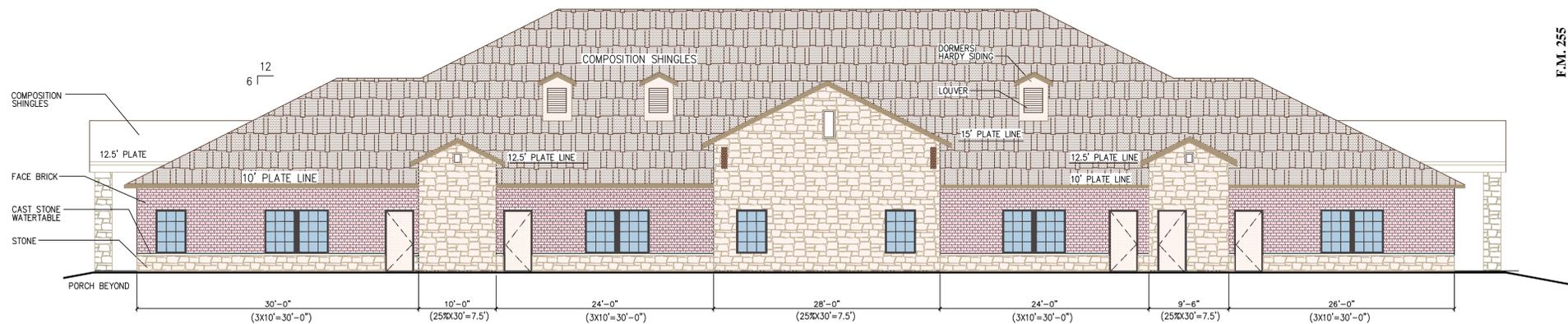
1 SOUTH ELEVATION (SPRINGCREEK DRIVE)

SCALE 1/8" = 1'-0"



2 WEST AND EAST ELEVATIONS

SCALE 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE 1/8" = 1'-0"

6.1 Building Elevations: Non Industrial

6.1.1 Exterior Elevations Provided (All)
6.1.2 Indicated Exterior Elevations adjacent to Public Right-of-Way.

Front Elevation (South) faces Spring Creek
Side Elevation (West) faces S. H. 255

6.1.3 90% Masonry Requirement
(Building less than 25,000 sf)
All Elevations are 100% masonry

6.1.4 Indicate the surface area on each facade.

Front Elevation (South) Spring Creek		
Brick Area	1,712 s.f.	66%
Cast Stone Area	46 s.f.	2%
Stone Area	675 s.f.	26%
Total	2,433 s.f.	94%
Hardy Dormers (3x14 s.f.)	42 s.f.	1.6%
Decorative Truss(Hardy/Cedar)	109 s.f.	4.4%
Total	2,584 s.f.	

Side Elevations (West/East) S.H. 255		
Brick Area	640 s.f.	74%
Cast Stone Area	40 s.f.	5%
Stone Area	120 s.f.	14%
Total	800 s.f.	93%
Hardy Dormers (1x8 s.f.)	8 s.f.	.9%
Decorative Truss(Hardy/Cedar)	62 s.f.	6.1%
Total	870 s.f.	

North Elevations		
Brick Area	640 s.f.	74%
Cast Stone Area	40 s.f.	5%
Stone Area	120 s.f.	14%
Total	800 s.f.	93%
Hardy Dormers (1x8 s.f.)	8 s.f.	.9%
Decorative Truss(Hardy/Cedar)	62 s.f.	6.1%
Total	870 s.f.	

6.1.5 Indicate all roof mounted equipment. (NONE)

6.1.6 Indicate any additional design elements proposed.

- Covered Porches on East and West elevations.
Decorative Truss Element with Stone Columns.
- Proto Cochere Element at Front (South Elevation)
Decorative Truss Element with Stone Columns.

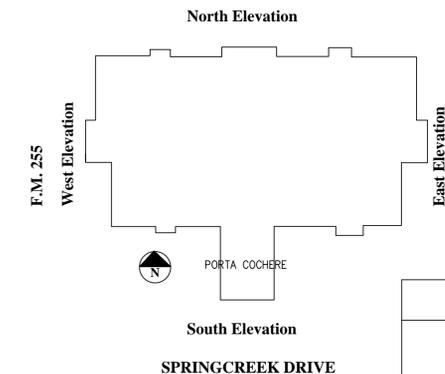
6.1.7 Indicate Building Height

- Building Height 32'-0" at Ridge.
- Porta Cochere 22'-0" at Ridge

6.1.8 Minimum Standard for Articulation.

- Horizontal Articulation of Facades
Building Height 10' x 3 = 30'-0" max. w/o offset.
New plane 30' x .25 = 7.5' min.
Shown on Exterior Elevations
- Vertical Articulation of Facades
Min. wall vertical offset 10' x .25 = 30"
Shown on Exterior Elevations

KEY PLAN



EXTERIOR ELEVATIONS

ROCKWALL
MONTESSORI ACADEMY

STONECREEK DR.
Lot , Block , 2.29 Acres
City of Rockwall, Rockwall County, Texas

developer
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 384-3007

prepared by
SMV, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO: 2016-12	date: 9/9/16	scale: 1/8" = 1'-0"	sheet: A101
---------------------	--------------	---------------------	-------------

City of Rockwall Project Plan Review History



Project Number SP2016-022	Owner COLIN-G, PROPERTIES LTD	Applied 9/16/2016 LM
Project Name Houser Addition	Applicant WL DOUPHRATE II	Approved
Type SITE PLAN		Closed
Subtype AMENDING		Expired
Status NEED REVISIONS		Status 9/22/2016 DG

Site Address 1611 HWY276	City, State Zip ROCKWALL, TX 75032	Zoning
------------------------------------	--	---------------

Subdivision HOUSER ADDN	Tract 1	Block A	Lot No 1	Parcel No 4007-000A-0001-00-OR	General Plan
-----------------------------------	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/16/2016	9/23/2016	9/20/2016	4	APPROVED	
ENGINEERING (9/21/2016 8:05 AM AW) Show all parking to be 20'x9'	Amy Williams	9/16/2016	9/23/2016	9/21/2016	5	COMMENTS	See Comment
FIRE	Ariana Hargrove	9/16/2016	9/23/2016	9/22/2016	6	APPROVED	
GIS	Lance Singleton	9/16/2016	9/23/2016				
PLANNING	David Gonzales	9/16/2016	9/23/2016	9/22/2016	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
------------------------	---------	------	-----	----------	----------------	---------

PLANNING COMMENTS - DAVID GONZALES - 09.22.2016

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Gerald Houser of Colin-G Properties, LTD for the approval of a site plan for the expansion of an existing industrial facility on a 6.19-acre parcel of land identified as Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Corridor Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

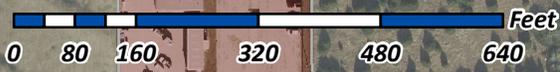
1. Adherence to Engineering and Fire Department standards shall be required.
2. Label revised site plan documents with "Case No. SP2016-022" at the lower right corner of each plan.
3. Provide a materials sample board for ARB review.
4. Where are the A/C units located? Locate units on site plan/roof top and provide screening detail. Must be screened from public rights-of-way and adjacent properties.

VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

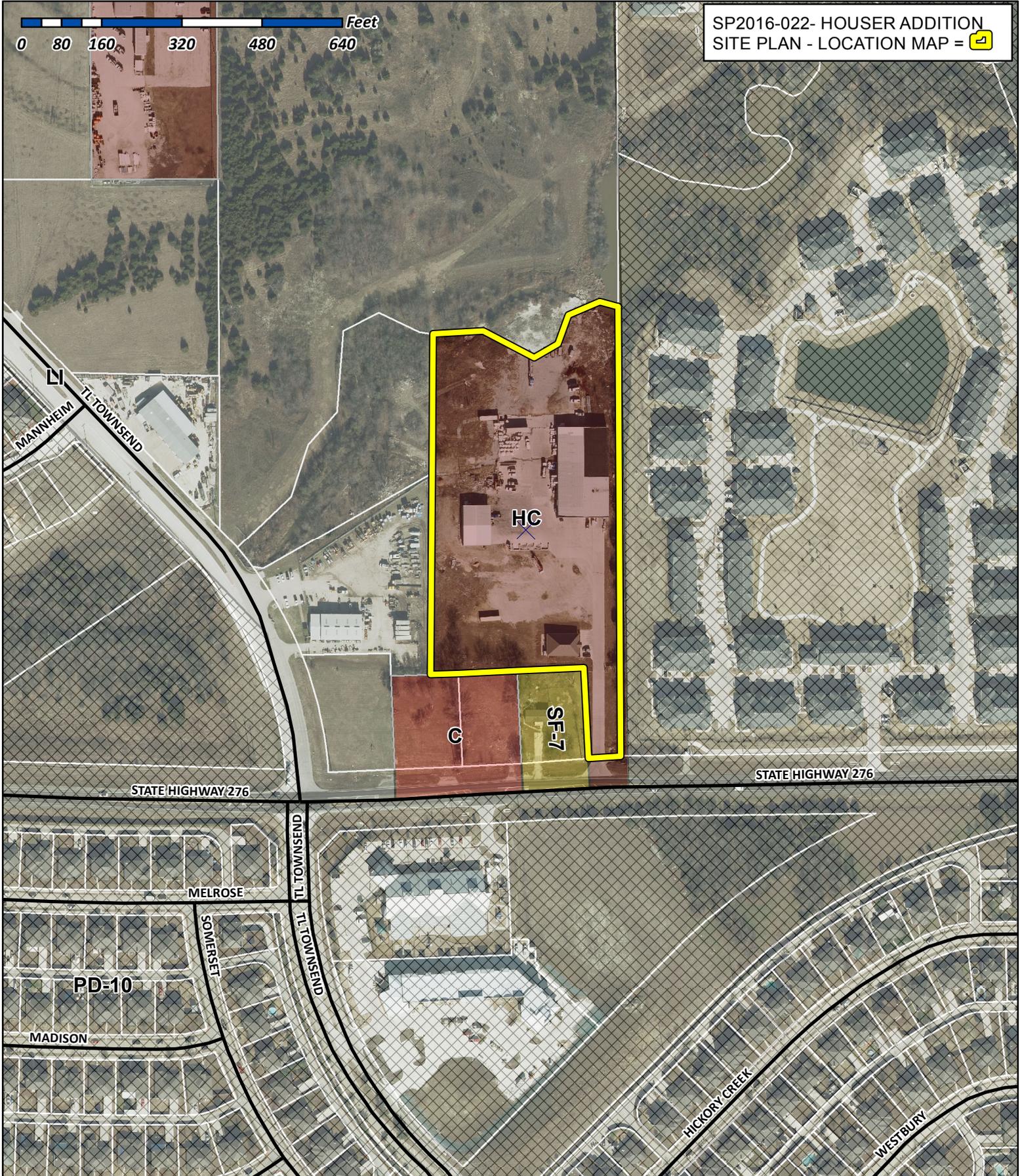
- * 1. Art V, Sec. 6.14.C.1.a of the SH 276 OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,...., and shall be limited to 50% cementaceous (stucco) materials. All elevations for bldg #2 exceeds 50% stucco.
- * 2. Art V, Sec. 6.14.C.2 of the SH 276 OV requires structures having a footprint of 6,000 sq. ft. or less be constructed with a pitched roof system. Bldg #2 (4,950 sq. ft.) has a flat roof system.
- * 3. Art V, Sec. 6.14.C.4 of the SH 276 OV requires all buildings to be designed to incorporate no less than four architectural elements (from the list provided in the ordinance) to be present on both buildings.
- * 4. Art V, Sec. 6.14.C.5 of the SH 276 OV requires that all buildings be architecturally finished on all four sides with the same materials, details, and features to be present on both buildings. (Sec. 6.14.C.1.a requires natural or quarried stone unless approved by the Planning and Zoning Commission for the use of high quality manufactured or cultured stone meeting the standards as outlined in the ordinance (both bldgs).
- * Approval of the variances to the SH 276 OV requires passage by a 3/4 majority vote of City Council.
- ** 5. UDC, Article VI Parking and Loading, Sec. 2.3. - Expansion of an existing use - If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. The proposed (office bldgs) structure requires a minimum of 25 spaces (1:300).
- **6. Art. V, Sec. 4.1. of the UDC - Exception to the Horizontal (both buildings) & Vertical Articulation (bldg #2) Standards - the buildings elevation (all four sides of both bldgs) as submitted is not meeting the minimum requirements establish for the General Commercial District Standards. Requires a simple majority vote of council for approval.
- ** Approval of the variance and exceptions to the UDC for parking and the horizontal and vertical articulation standards requires passage by a simple majority vote of City Council.

Please address the following Planning Comments for each plan submitted:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Site Plan:						
<ol style="list-style-type: none"> 1. Provide labels for each "Existing Building" and "Sq. Ft." 2. Provide label for '24-ft Firelane and Public Access Easement' where applicable. 3. Variance to the parking standards to allow for 9 less spaces requires approval by the City Council as noted above. The applicant is providing 16 new spaces for the site. 4. Can you provide a row of trees for screening of the proposed buildings along the front property line? 						
Building Elevations:						
<ol style="list-style-type: none"> 1. Provide calculation for all exterior materials for both bldgs. 2. Approval of the variances& exceptions as submitted is required by the City Council as indicated above. 						
<p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
Meeting Dates to Attend:						
<p>Planning - Work Session: September 27, 2016 (6:00 p.m.) [Applicant to provide presenation and discuss project]</p>						
<p>Planning - Action: October 11, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]</p>						
<p>City Council - Action: October 17, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUESTS ONLY]</p>						



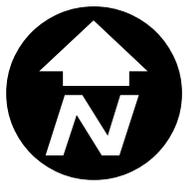
SP2016-022- HOUSER ADDITION
 SITE PLAN - LOCATION MAP =

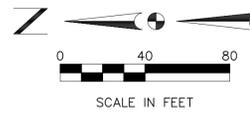


City of Rockwall

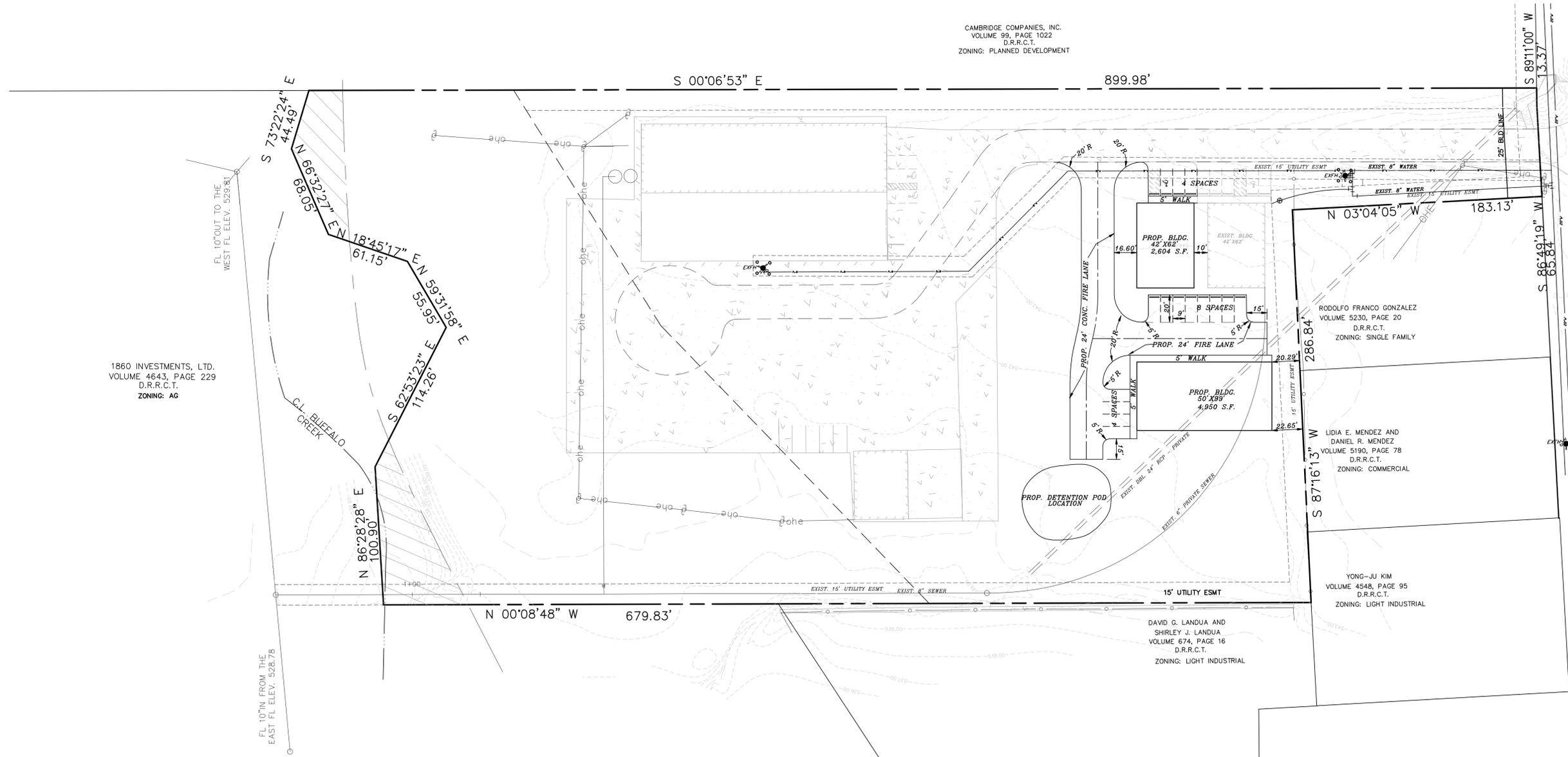
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CAMBRIDGE COMPANIES, INC.
VOLUME 99, PAGE 1022
D.R.R.C.T.
ZONING: PLANNED DEVELOPMENT

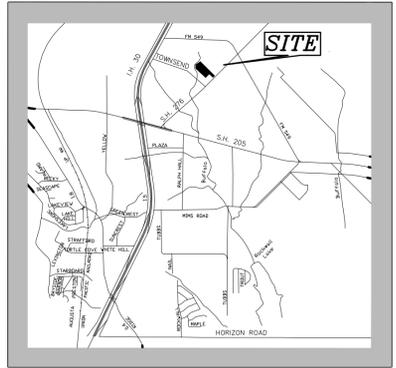


S.H. 276

1860 INVESTMENTS, LTD.
VOLUME 4643, PAGE 229
D.R.R.C.T.
ZONING: AG

FL 10' OUT TO THE WEST FL ELEV. 529.81

FL 10' IN FROM THE EAST FL ELEV. 528.78



VICINITY MAP

NOTE:
MARK FIRELANE TO CITY SPECIFICATIONS. "NO PARKING FIRELANE" EVERY 25' IN WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND ALL DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT

LEGEND

- FIRELANE STRIPPING
- 10"W--- EXISTING WATER LINE
- 10"SS--- EXISTING SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE

SITE DATA SUMMARY

ZONING	HEAVY COMMERCIAL
PROPOSED USE	OFFICE BUILDING
LOT AREA	6.1898 ACRES
EX. BUILDING SQUARE FOOTAGE	24,654 SF
PROP. BUILDING SQUARE FOOTAGE	7,554 SF
BUILDING FOOTPRINT	
BUILDING HEIGHT	15'-6"
LOT COVERAGE	78.5%
FAR	4:1
PARKING REQUIRED	15
HANDICAP PARKING REQ'D	1
PARKING PROVIDED	15
HANDICAP PARKING PROVIDED	1
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	106,702 SF

OWNER/DEVELOPER
GERALD HOUSER
1108 ASPEN COURT
ROCKWALL, TEXAS 75087
(214) 558-1577

ENGINEER
DOUPHRAE & ASSOCIATES, INC.
2235 RIDGE RD., # 200
ROCKWALL, TEXAS 75087
(972) 771-9004

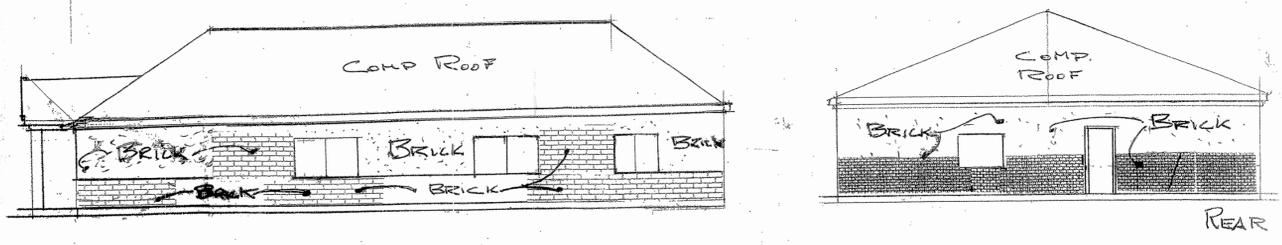
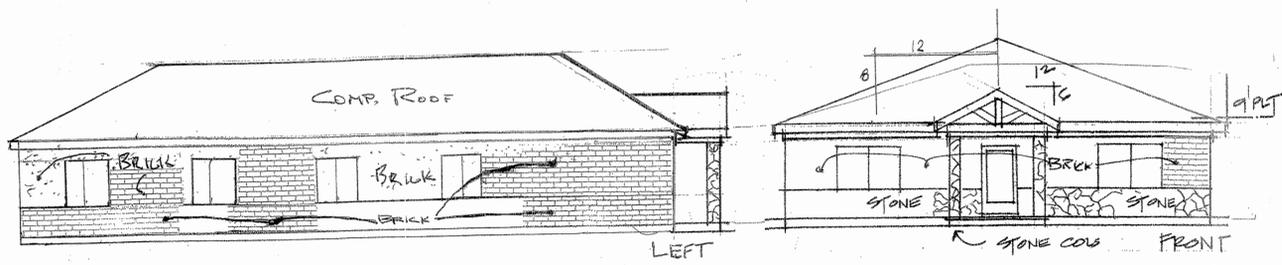


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRAE II TEXAS P.E. NO. 60103 ON 9/9/2016 FIRM NO. 886

DOUPHRAE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972) 771-9004 FAX: (972) 771-9005

SITE PLAN
HOUSER ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

REVISION	
W.L.D.	CHECKED
G.C.W.	DRAWN
10/08	DATE
06013	PROJECT
1	OF

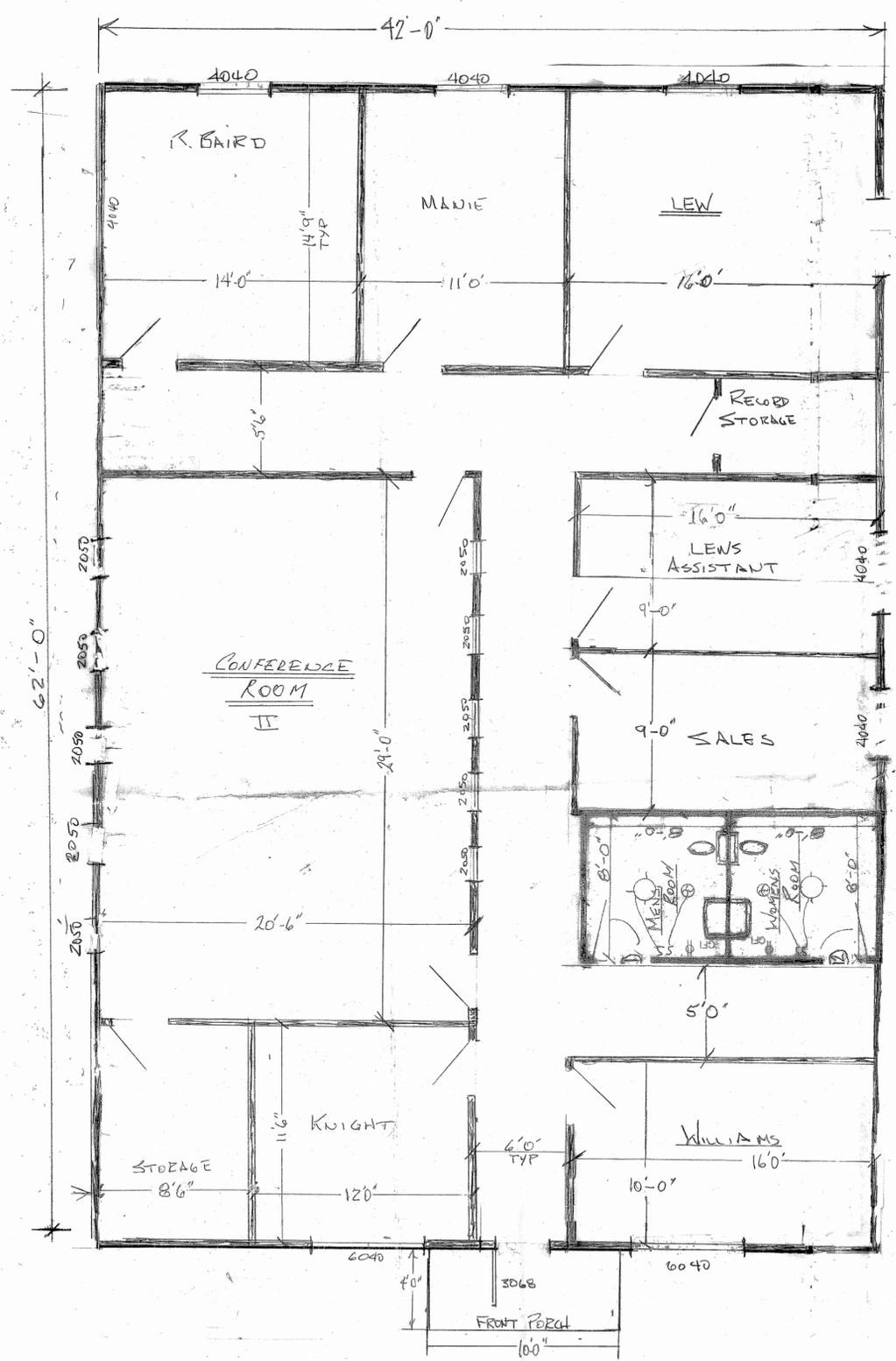


ELEVATIONS
SCALE 1/8" = 1'-0"

BUILDING DESIGN

CONSTRUCTION:
 Reinforced Concrete Slab: 3000 PSI Concrete
 Exterior Walls: Wood Framing With Insulated
 Exterior Sheathing, Masonry
 Exterior - 80% Brick / 20% Stone
 Roof System: Wood Truss with 30 YR Composition Roof
 Interior Walls: Wood Framing with Sheetrock, Tape and Bed,
 Painted Walls

OCCUPANCY: 6 EMPLOYEES
 OCCUPANCY LOAD: 12 EMPLOYEES
 SQUARE FOOTAGE: 2604 SF



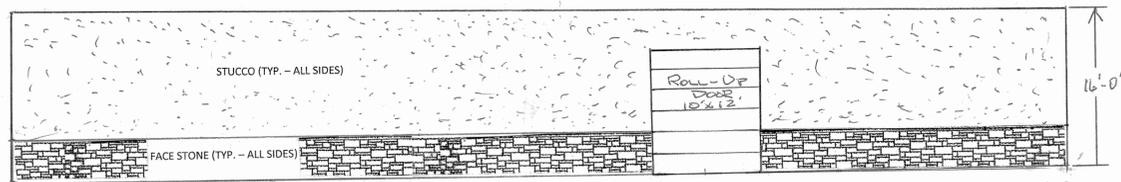
FLOOR PLAN
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION
FLOOR PLAN

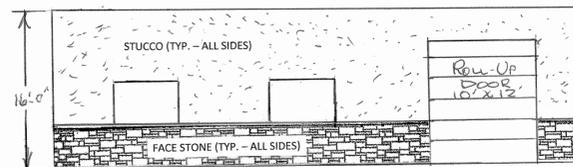


OWNER
 Gerald Houser
 Colin-G Properties LTD.
 P.O. Box 847
 Rockwall, TX 75087

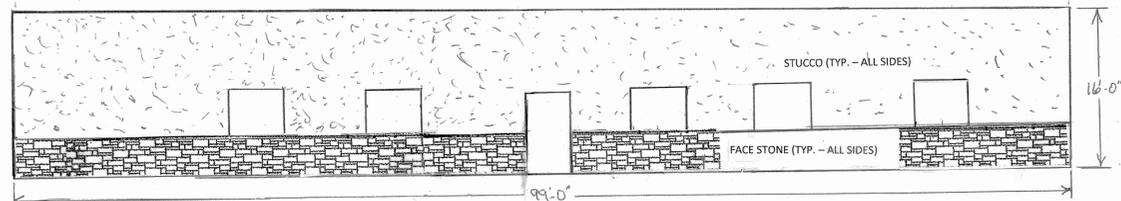
PROJECT
 CHRYSO Office Building
 1611 HWY 276
 Rockwall, TX 75032



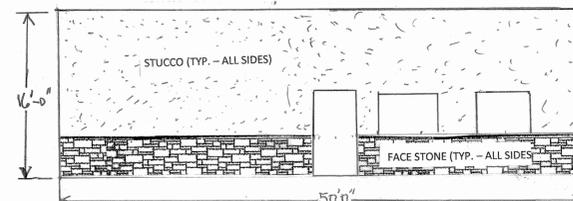
WEST ELEVATION



NORTH ELEVATION

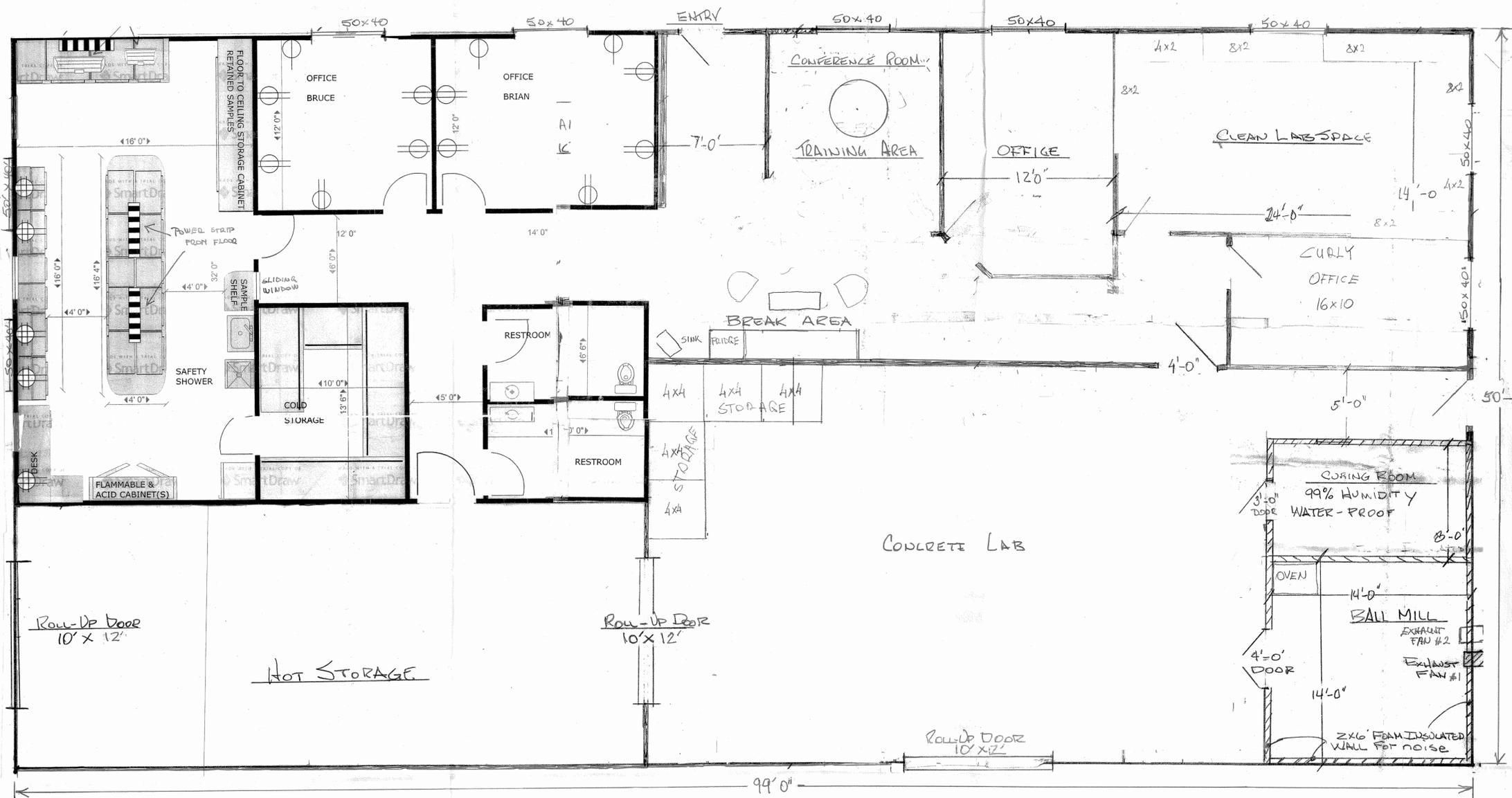


EAST ELEVATION



SOUTH ELEVATION

ELEVATIONS
1/8" = 1'-0"



BUILDING DESIGN

- CONSTRUCTION:**
 Reinforced Concrete Slab: 3000 PSI Concrete
 Exterior Walls: Steel Superstructure with Wood Exterior Framing
 Insulated Exterior Sheathing, Spray Foam Exterior Walls
 Masonry Exterior - 80% Stucco / 20% Face Stone
 Roof System: Stand Up Seam Metal Roof with Spray Foam Insulation
 Interior Walls: Wood Framing with Sheetrock, Tape and Bed,
 Painted Walls, Spray Foam Insulation

- OCCUPANCY:** 6 EMPLOYEES
OCCUPANCY LOAD: 12 EMPLOYEES
SQUARE FOOTAGE: 4950 SF

FLOOR PLAN
SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION
FLOOR PLAN

OWNER
 Gerald Houser
 Colin-G Properties LTD.
 P.O. Box 847
 Rockwall, TX 75087

PROJECT
 CHRYSO LAB Building
 1611 HWY 276
 Rockwall, TX 75032

City of Rockwall
Project Plan Review History



Project Number SP2016-023	Owner ARKOMA, DEVELOPMENT LLC	Applied 9/19/2016	LM
Project Name Lakeshore Commons	Applicant MOORE NORTH INVESTMENTS LLC	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status NEED REVISIONS		Status 9/22/2016	DG

Site Address LAKESHORE DR	City, State Zip ROCKWALL, TX 75087	Zoning
-------------------------------------	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	8-4	NULL	8-4	0124-0000-0008-04-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	9/19/2016	9/26/2016	9/21/2016	2	APPROVED	
ENGINEERING	Amy Williams	9/19/2016	9/26/2016	9/21/2016	2	COMMENTS	See Comments
<p>(9/21/2016 9:52 AM AW)</p> <p>Must show floodplain</p> <p>Must show detention (not allowed in floodplain)</p> <p>Engineering will not be approved until LOMR-F is approved by FEMA and the project that removed this property from the flood plain is accepted by the City.</p> <p>Engineering on this project will not be accepted until the infrastructure plans are approved</p> <p>See markups on site plan</p> <p>No bullhead services...separate services</p> <p>Need to label all "exisiting" as proposed by others</p> <p>Dumpster to have a drain to grease trap</p> <p>All parking adjacent to the building to be 20'x9'</p> <p>Sidewalk along North Lakeshore is to be 2' from the right-of-way...not to be installed at the back of curb.</p> <p>Landscape Plan:</p> <p>Add Note:"No trees to be planted within 5' of any utilities"</p>							
FIRE	Ariana Hargrove	9/19/2016	9/26/2016	9/22/2016	3	COMMENTS	see comments
<p>(9/22/2016 12:26 PM AA)</p> <p>The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.</p>							

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
GIS	Lance Singleton	9/19/2016	9/26/2016			
PLANNING	David Gonzales	9/19/2016	9/26/2016	9/22/2016	3 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING COMMENTS - DAVID GONZALES - 09.22.2016						
<p>Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC for the approval of a site plan for a multi-tenant commercial/retail building on a 1.56-acre tract of land being a portion of a larger 6.1091-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 8-4, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the southwest corner of Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday, October 4, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required. 2. Label revised site plan documents with "Case No. SP2016-018" at the lower right corner of each plan. 3. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO). Plat mylars are to be submitted prior to issuance of building permit. <p>THE FOLLOWING PLANS ARE NOT ACCEPTED OR REVIEWED - separate submittal through the building inspections department required:</p> <ol style="list-style-type: none"> 1. Irrigation plan 2. Signation plan <p>VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:</p> <ul style="list-style-type: none"> * 1. Art V, Sec. 6.11.C.1a of the N-SH 205 BY OV requires each exterior wall to consist of 90% masonry materials,...., including 20% natural or stone on walls which are visible from a public street or open space. The North elevation does not meet the requirement and is providing 15.55% stone. * Approval of the variance requested to the N-SH 205 OV requires passage by a 3/4 majority vote of City Council. <p>Please address the following Planning Comments for each plan submitted:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1. Dumpster enclosure gates to be metal panel per Ord. 08-02. 2. Provide label for firelane: "24-ft Firelane, Utility, and Public Access Easement" or as appropriate. <p>Building Elevations:</p> <ol style="list-style-type: none"> 1. The Planning and Zoning Commission may consider the use of high quality manufactured or cultured stone if it meets the standards (as listed in the ordinance). The stone submitted is not natural or quarried and requires P&Z approval. Provide cut sheet for determination. 2. A variance request for less than 20% stone on the North elevation requires approval by a 3/4 majority vote of City Council (as indicated above). 3. All RTU's are not to be visible from the property line or adjacent properties. The west elevations RTU's as dashed-in appear to be visible. Provide a line of sight study or an appropriate means of screening the units. <p>Landscape Plan:</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<ol style="list-style-type: none"> 1. Grass to be established (use of hydroseed) - prior to release of C.O., grass must be established or an erosion control method approved by the Engineering Department and functioning with an escrow deposit for assurance. 2. Parking on this plan is not consistent with the site plan. Revise plan. 						
Photometric Plan:						
<ol style="list-style-type: none"> 1. The lighting pole standards are not to exceed a maximum overall height of 20-ft (includes pole, base, or combination thereof) per the PD Ord. 08-02 standards. Provide detail. 						
<ol style="list-style-type: none"> 2. All lighting sources are to be directed down and contained on site with in order to control glare. Maximum lighting intensity at the property line is not to exceed 0.2-FC. 						
<p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
<p>Meeting Dates to Attend:</p>						
<p>Planning - Work Session: September 27, 2016 (6:00 p.m.) [Applicant to provide presentation and discuss project]</p>						
<p>Planning - Action: October 11, 2016 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]</p>						
<p>City Council - Action: October 17, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUESTS ONLY]</p>						



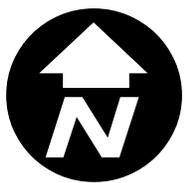
SP2016-023 - LAKESHORE COMMONS
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





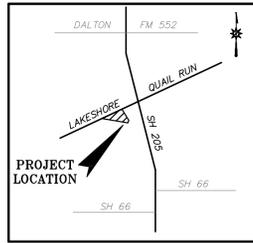
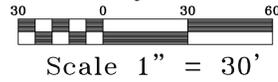
BEFORE YOU DIG CALL:
1-800-245-4545



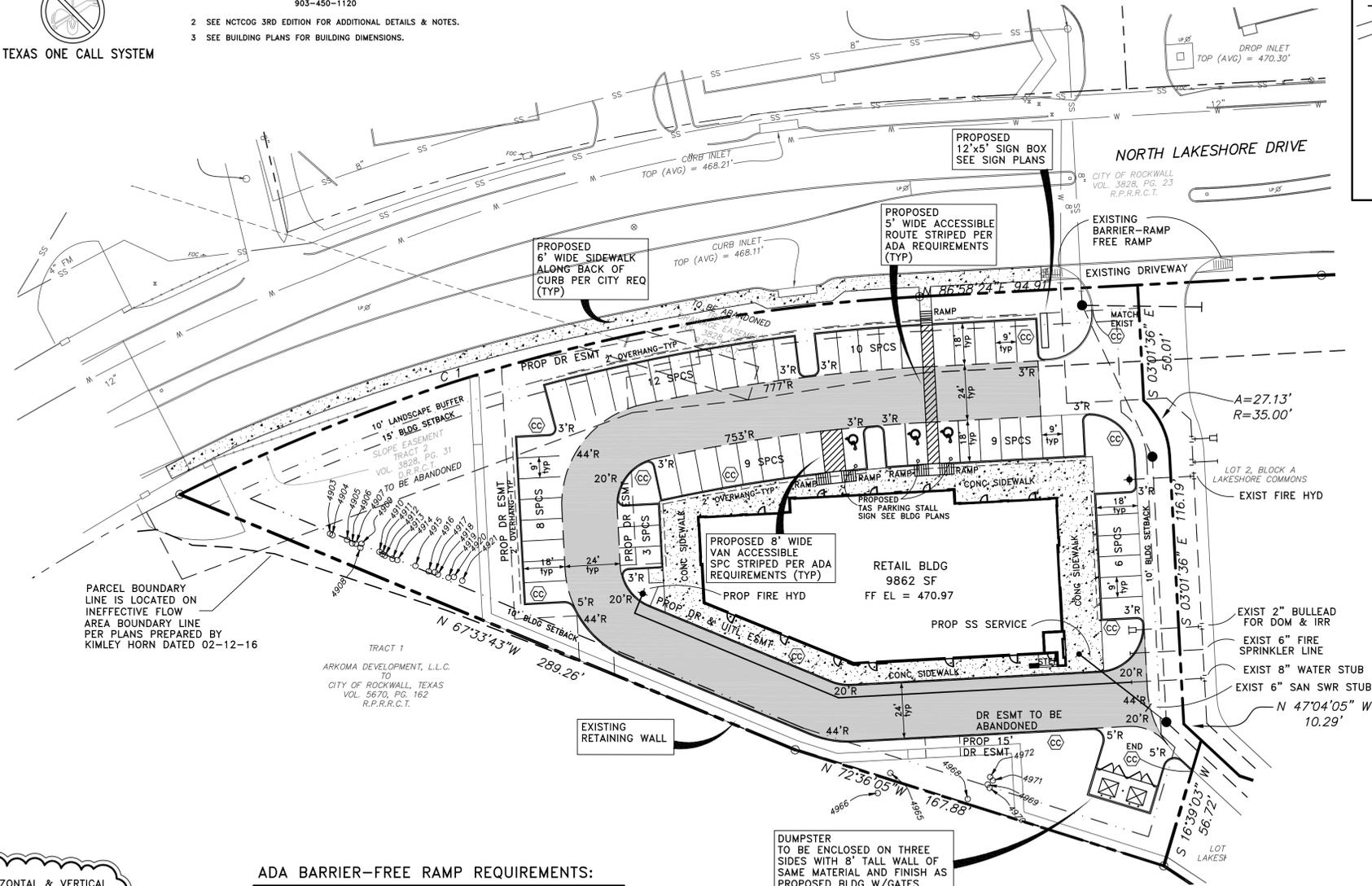
TEXAS ONE CALL SYSTEM

NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:
STOVALL & ASSOCIATES LAND SURVEYING
6417 WESLEY STREET
GREENVILLE, TEXAS 75402
903-450-1120
- SEE NCTCOG 3RD EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.



VICINITY MAP



LEGEND	
PROPOSED	EXISTING
500 - PROPOSED CONTOURS	○ = POWER POLE
515.00 - SPOT ELEVATION AT FINISHED GRADE	○ = ANCHOR
514.00 - INDICATES TOP OF STRUCTURE	○ = WATER METER
513.50 - INDICATES FLOW LINE ELEVATION	○ = IRRIGATION CONTROL VALVE
W - PROPOSED WATER LINE	○ = TELEPHONE PEDESTAL
SS - PROPOSED SANITARY SEWER LINE	○ = GAS METER
SD - PROPOSED STORM DRAIN LINE	○ = MAILBOX
CD - PROPOSED CONDUIT	○ = LIGHT POLE
G - PROPOSED GAS	○ = FIRE HYDRANT
CC - CONCRETE CURB PER CITY STD	BL = BUILDING LINE
1 - WATER SERVICE TAP NO	UE = UTILITY EASEMENT
	DUE = DRAINAGE & UTILITY EASEMENT
	FOC = FIBER OPTIC CABLE MARKER
	GAS = GAS SIGN
	SSSB = SUB SURFACE SERVICE BOX
	T = TRAFFIC SIGN
	TS = TRAFFIC SIGNAL
	U.E. = UTILITY EASEMENT
	○ = GAS STUB
	○ = GAS TEST STATION
	○ = BURIED CABLE SIGN

- SITE PLAN NOTES:**
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
 - ALL SIGNAGE BY SEPARATE PERMIT.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CITY REQUIREMENTS. SEE BLDG PLANS.

- SITE LAYOUT NOTES:**
- ALL FIRE LANES ARE 24' WIDE WITH MIN 20' INSIDE RADIUS AND MIN 44' OUTSIDE RADIUS. FIRE LANES SHALL BE CONSTRUCTED AND STRIPED PER CITY OF ROCKWALL FIRE DEPT REQUIREMENTS.
 - ALL PARKING STALLS, INCLUDING HANDICAP STALLS, SHALL BE 9' WIDE x 18' DEEP UNLESS SHOWN OTHERWISE. VAN ACCESSIBLE AREA SHALL BE 9' MIN WIDE x 18' DEEP. OTHER ACCESSIBLE ADJACENT TO H/C PARKING SHALL BE 5' WIDE x 18' DEEP. ALL PARKING STALLS SHALL BE CONSTRUCTED PER PAVING PLAN.
 - ALL OTHER DRIVING LANES SHALL BE MIN 24' WIDE AND CONSTRUCTED PER THE PAVING.

SITE SUMMARY - LOT 1	
ZONED	PD-65 (FOR GR USES)
PROPOSED USE	RETAIL/RESTAURANT/MEDICAL OFC
LOT AREA	1.47 AC (64,106.50 SF)
BUILDING AREA	9862 SF
PARKING	
RETAIL = 5819 SF	
REQUIRED TOTAL	24 SPACES
1/250	5819/250=23.3
RESTAURANT = 1972 SF	
REQUIRED TOTAL	20 SPACES
1/100	1972/100=19.7
MEDICAL OFFICE = 2071 SF	
REQUIRED TOTAL	11 SPACES
1/200	2071/200=10.4
REQUIRED TOTAL	55 SPACES (52 REG; 3 H/C)
PROVIDED TOTAL	57 SPACES (54 REG; 3 H/C)
LOT COVERAGE	15.4% (9862 SF)
IMPERVIOUS AREA	67% (42,915 SF)
PERVIOUS AREA	33% (21,191 SF)

NOTE:
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

ADA BARRIER-FREE RAMP REQUIREMENTS:

- TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS). SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES THAT ARE RAISED OR ETCHED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
- CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.
- RAMPS WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD. PROHIBITED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<5% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESSIBLE	<2% SLOPE IN ANY DIRECTION

NOTE:
PARKING & ACCESSIBLE ROUTES FOR DISABLED PERSONS SHALL BE DESIGNATED, DESIGNED & CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

FIRE LANE:

HATCHED AREA INDICATES PROP 24' FIRE LANE PER CITY OF ROCKWALL FIRE DEPT REQ

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	807.50'	335.03'	23°46'19"	332.63'	N 75°05'15" E

OWNER:
ARCOMA DEVELOPMENT, LLC
203 E INTERSTATE 30
ROCKWALL, TX 75087
972-771-6000

DEVELOPER:
MOORE WORTH INVESTMENTS, LLC
8445 FREEPORT PARKWAY, SUITE 175
IRVING, TX 75063
214-415-9993

This document is released for the purpose of REVIEW under the authority of Mark H. Hickman, P.E. 78409 on 09-16-16. It is not to be used for construction bidding permit purposes.

Hickman Consulting Engineers, Inc.
3094 County Road 1024
Farmersville, Texas 75442
Ph (972)764-2499
markredhick@gmail.com
Engineers Planners

HCE

SITE PLAN
LAKESHORE COMMONS
LOT 1; LAKESHORE COMMONS
ROCKWALL, ROCKWALL COUNTY, TEXAS
MOORE WORTH INVESTMENTS, LLC
8445 FREEPORT PARKWAY, SUITE 175
IRVING, TX 75063
214-415-9993

SCALE: 1"=30'
DATE: SEPT2016
DRAWN BY: FP
CHK'D BY: MHH
JOB NO: 1501-357
FILE:16-160157-16-PR-WD
DATE SUBMITTED: 09/16/16(1)

Hickman Consulting Engineers, Inc.
STATE OF TEXAS
MARK H. HICKMAN
78409
REGISTERED PROFESSIONAL ENGINEER
E-12172

DATE	BY	DESCRIPTION

SHEET
C-2

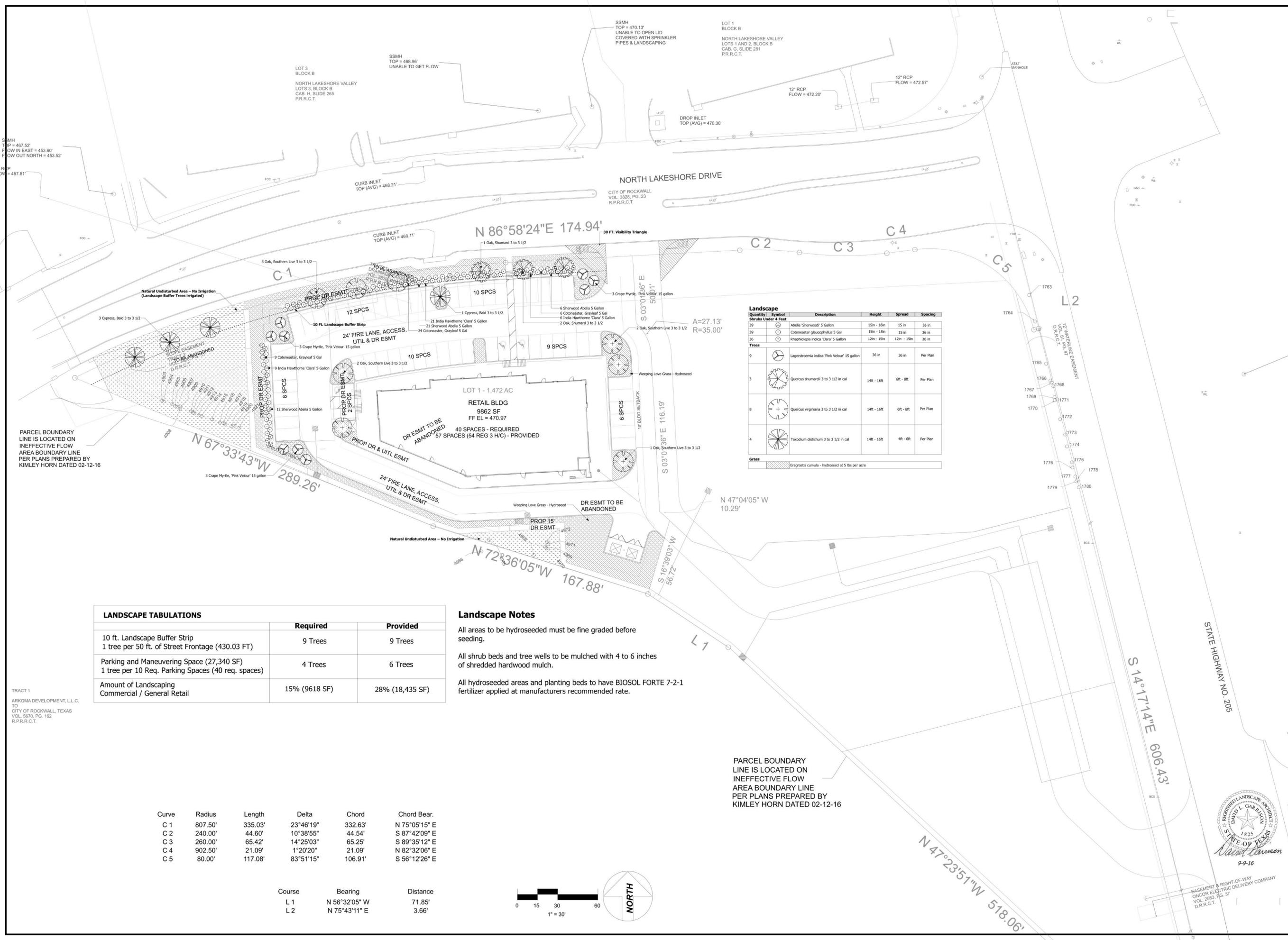
NOTES

2) OPPOSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD. ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1986)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVESSE" LOCATED AT THE INTERSECTION OF THE SOUTH LINE OF LAKESHORE DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205. ELEVATION = 476.35'

BM#2 = "C" CUT ON TOP OF INLET IN THE NORTH LINE OF PECAN VALLEY DRIVE ± 554' WEST OF STATE HIGHWAY NO. 205. ELEVATION = 468.31'

Note: Copyright © Hickman Consulting Engineers, Inc. All rights reserved. No part of this drawing may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in or by any computer or other systems without the prior written permission of Hickman Consulting Engineers, Inc. Copies of this plan without an original signature and seal are not valid.



Landscape

Quantity	Symbol	Description	Height	Spread	Spacing
Shrubs Under 4 Feet					
39	(Symbol)	Abelia 'Sherwood' 5 Gallon	15in - 18in	15 in	36 in
39	(Symbol)	Cotoneaster glaucophyllus 5 Gal	15in - 18in	15 in	36 in
36	(Symbol)	Rhapizalis indica 'Clara' 5 Gallon	12in - 15in	12in - 15in	36 in
Trees					
9	(Symbol)	Lagerstroemia indica 'Pink Velour' 15 gallon	36 in	36 in	Per Plan
3	(Symbol)	Quercus shumardii 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
8	(Symbol)	Quercus virginiana 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
4	(Symbol)	Taxodium distichum 3 to 3 1/2 in cal	14ft - 16ft	4ft - 6ft	Per Plan
Grass					
	(Symbol)	Eragrostis curvula - hydroseeded at 5 lbs per acre			

LANDSCAPE TABULATIONS

	Required	Provided
10 ft. Landscape Buffer Strip 1 tree per 50 ft. of Street Frontage (430.03 FT)	9 Trees	9 Trees
Parking and Maneuvering Space (27,340 SF) 1 tree per 10 Req. Parking Spaces (40 req. spaces)	4 Trees	6 Trees
Amount of Landscaping Commercial / General Retail	15% (9618 SF)	28% (18,435 SF)

Landscape Notes

All areas to be hydroseeded must be fine graded before seeding.

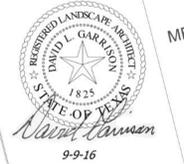
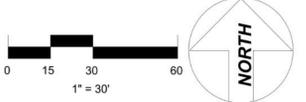
All shrub beds and tree wells to be mulched with 4 to 6 inches of shredded hardwood mulch.

All hydroseeded areas and planting beds to have BIOSOL FORTE 7-2-1 fertilizer applied at manufacturers recommended rate.

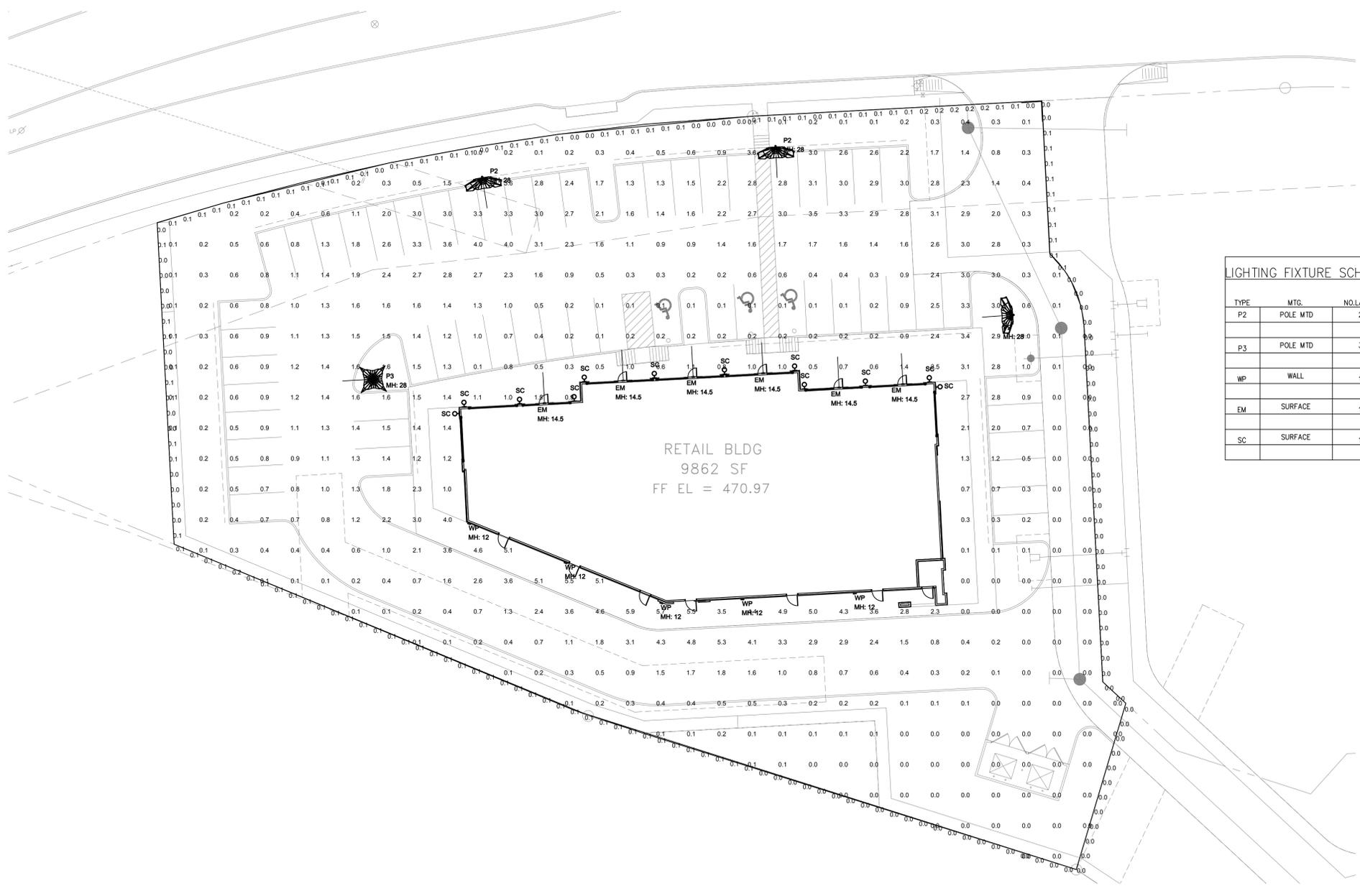
TRACT 1
ARKOMA DEVELOPMENT, L.L.C.
TO
CITY OF ROCKWALL, TEXAS
VOL. 5670, PG. 162
R.P.R.R.C.T.

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	807.50'	335.03'	23°46'19"	332.63'	N 75°05'15" E
C 2	240.00'	44.60'	10°38'55"	44.54'	S 87°42'09" E
C 3	260.00'	65.42'	14°25'03"	65.25'	S 89°35'12" E
C 4	902.50'	21.09'	1°20'20"	21.09'	N 82°32'06" E
C 5	80.00'	117.08'	83°51'15"	106.91'	S 56°12'26" E

Course	Bearing	Distance
L 1	N 56°32'05" W	71.85'
L 2	N 75°43'11" E	3.66'



9-9-16
EASEMENT & RIGHT-OF-WAY
ONCORE ELECTRIC DELIVERY COMPANY
VOL. 2563, PG. 37
D.R.R.C.T.



SITE LIGHTING PLAN
SCALE: 1"=20'

GENERAL NOTES

1. ALL LIGHT FIXTURES SHALL BE MOUNTED AT 28 FT AFF. WHICH IS LESS THAN THE REQUIRED MAX HEIGHT OF 30 FT.
2. THE FOOTCANDLE LEVELS AT THE PROPERTY LINES SHALL BE .2 FC OR LESS AS REQUIRED.
3. ALL LIGHT FIXTURES SHALL BE LED TYPE.
4. THE AVERAGE FOOTCANDLE ILLUMINANCE IS 1.4 FC.

LIGHTING FIXTURE SCHEDULE

TYPE	MTG.	NO. LAMPS	LAMPS	WATTS	VOLTS	MANUFACTURER	CATALOG NUMBER	NOTES
P2	POLE MTD	2	LED	226	208	COOPER	GLEON-AF-02-LED-E1-AFL-HSS	DOUBLE HEADED POLE LT
P3	POLE MTD	3	LED	339	208	COOPER	GLEON-AF-02-LED-E1-SNO	ON 25 FT STEEL POLE TRIPLE HEADED POLE LT
WP	WALL	1	LED	47	208	COOPER	IST-E02-LED-E1-BL2-7030	ON 25 FT STEEL POLE WALL PACK W/ SHARP CUTOFF
EM	SURFACE	1	LED	11	120	COOPER	MUE10X-T-21329	EMERG. EXT. EGRESS FIXT.
SC	SURFACE	1	LED	10	208	STUDIO M	SM868354CLTE	MULLION MOUNTED WALL MTD DECO SCNCE



LAKESHORE COMMONS RETAIL
ROCKWALL, TX

APPLICANT:
MOORE WORTH INVESTMENTS, LLC
10210 N CENTRAL EXP
SUITE 300
DALLAS TX 75231
CONTACT: WORTH WILLIAMS
214.415.9993

LOT 1, BLOCK A
LAKESHORE COMMONS ADDN



TOM C CLARK
ENGINEER

THIS PHOTOMETRIC PLAN HAS BEEN PROVIDED BY:
CLARK ENGINEERING ASSOCIATES REGISTRATION NO. 43525
8704 BALTUSUROL DRIVE
FLOWER MOUND, TX 75022
214.926.7840

E3.0

JOB#: 15-074
ISSUE DATE: 09/12/2016
SCALE: AS NOTED
APPROVED BY:

DATE: _____

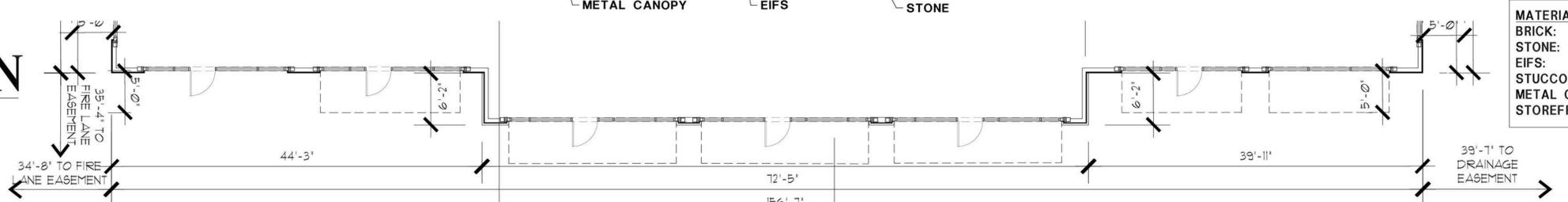
COPYRIGHT © 2016 GSO ARCHITECTS, INC.
THESE DRAWINGS, OR PARTS THEREOF, MAY NOT BE
REPRODUCED IN ANY FORM, BY ANY METHOD,
FOR ANY PURPOSE, WITHOUT PRIOR WRITTEN
CONSENT FROM GSO ARCHITECTS, INC.

FRONT	SF	TOTAL %
BRICK	1394	55.43%
STONE	391	15.55%
STUCCO	509	20.24%
EIFS	221	8.79%
TOTAL	2515	100.00%



KEY PLAN
NOT TO SCALE

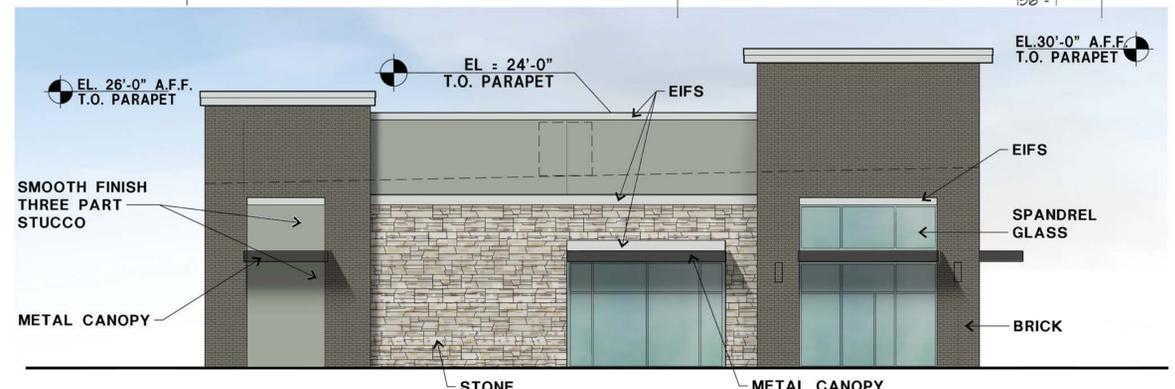
01 NORTH ELEVATION
FRONT
1/8" = 1'-0"



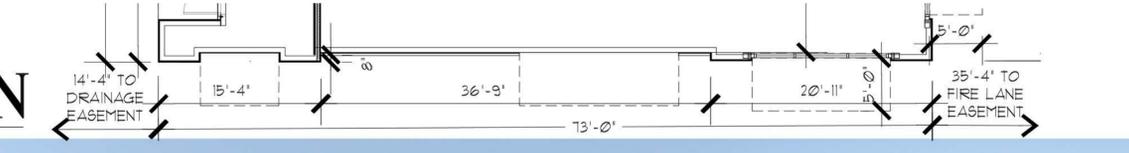
MATERIALS/COLORS:

BRICK:	ENDICOTT-LIGHT GRAY
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO:	COLOR TO MATCH SW 7744 ZEUS
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED

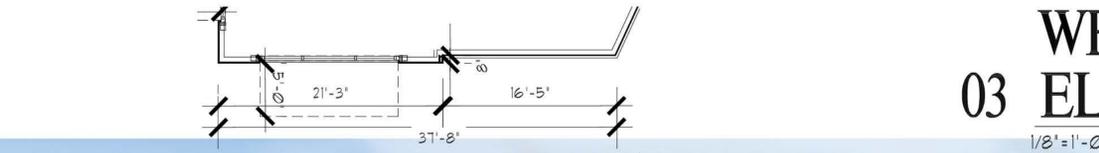
EAST	SF	TOTAL %
BRICK	661	47.83%
STONE	380	27.50%
STUCCO	256	18.52%
EIFS	85	6.15%
TOTAL	1382	100.00%



02 EAST ELEVATION
SIDE
1/8" = 1'-0"

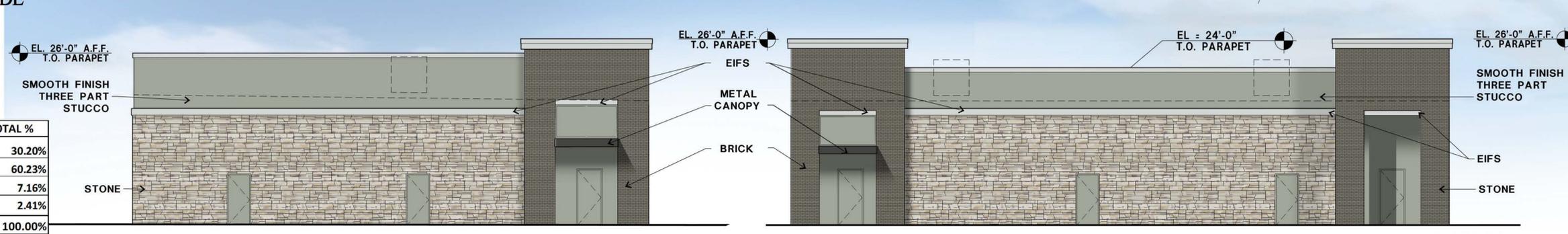


03 WEST ELEVATION
SIDE
1/8" = 1'-0"

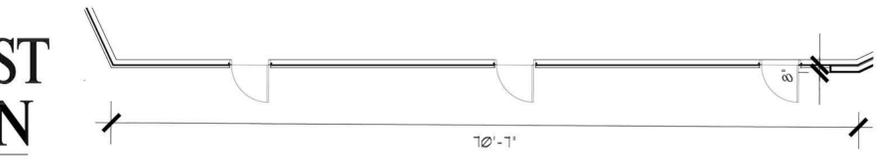


WEST	SF	TOTAL %
BRICK	393	26.15%
STONE	708	47.11%
STUCCO	321	21.36%
EIFS	81	5.39%
TOTAL	1503	100.00%

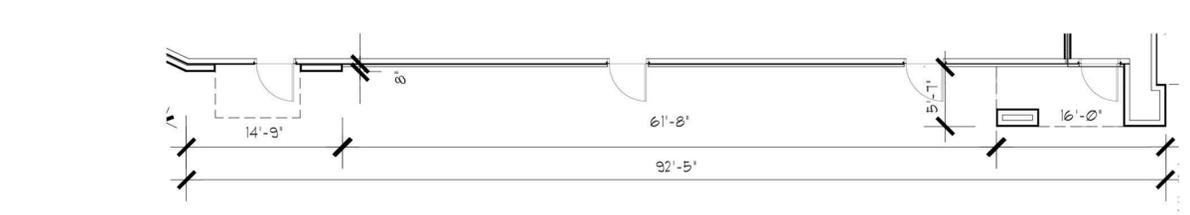
SOUTH WEST AND SOUTH	SF	TOTAL %
BRICK	840	30.20%
STONE	1675	60.23%
STUCCO	199	7.16%
EIFS	67	2.41%
TOTAL	2781	100.00%



04 SOUTHWEST ELEVATION
REAR
1/8" = 1'-0"



05 SOUTH ELEVATION
REAR
1/8" = 1'-0"



APPLICANT:
MOORE WORTH INVESTMENTS, LLC
10210 N CENTRAL EXP
SUITE 300
DALLAS TX 75231
CONTACT: WORTH WILLIAMS
214. 415. 9993

5310 Harvest Hill Rd. Suite 226
Dallas, Texas 75230
972-385-9651
www.GSOarchitects.com

LAKESHORE COMMONS RETAIL
ROCKWALL, TEXAS

LOT 1, BLOCK A
LAKESHORE COMMONS ADDN

ELEV01
JOB: 15-074
ISSUE DATE: 09/13/16
SCALE: AS NOTED
COPYRIGHT © 2016 GSO ARCHITECTS, INC. THESE DRAWINGS OR PARTS THEREOF, MAY NOT BE REPRODUCED IN ANY FORM, BY ANY METHOD, FOR ANY PURPOSE, WITHOUT PRIOR WRITTEN CONSENT FROM GSO ARCHITECTS, INC.

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

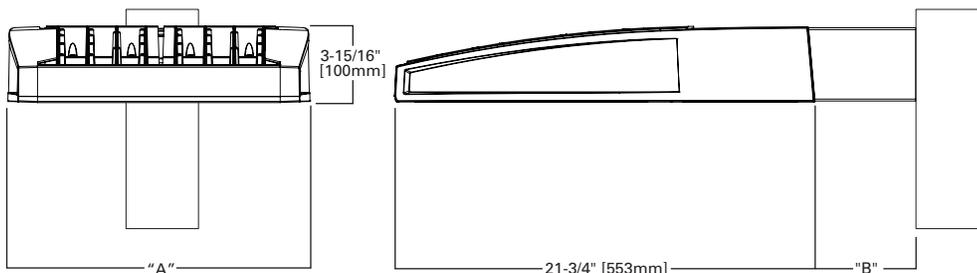


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

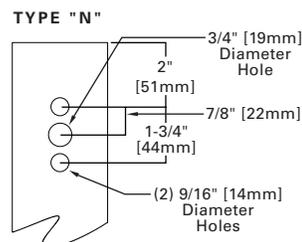


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

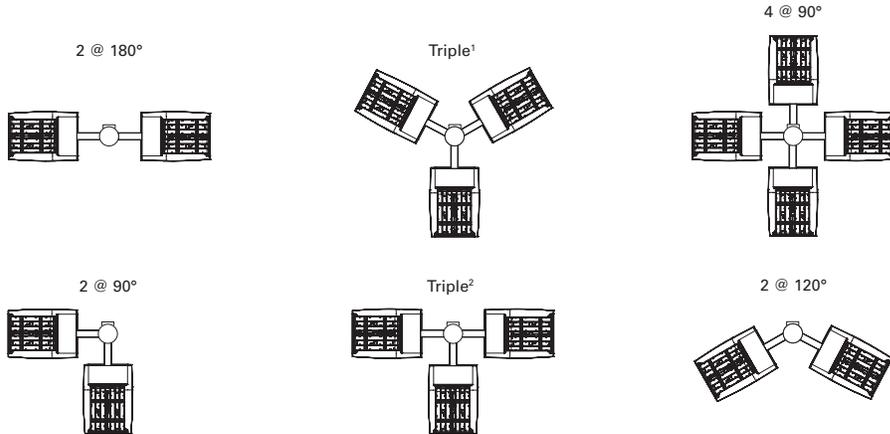
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

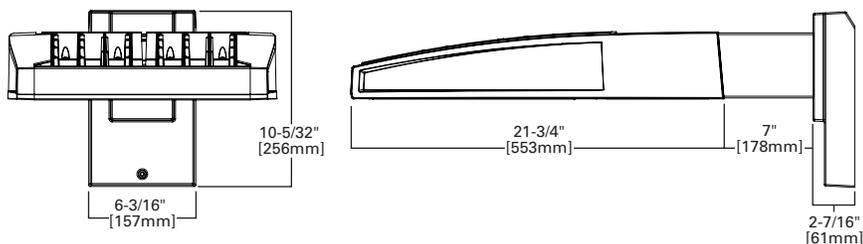
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

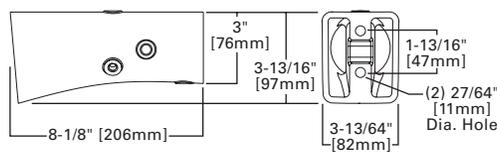


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

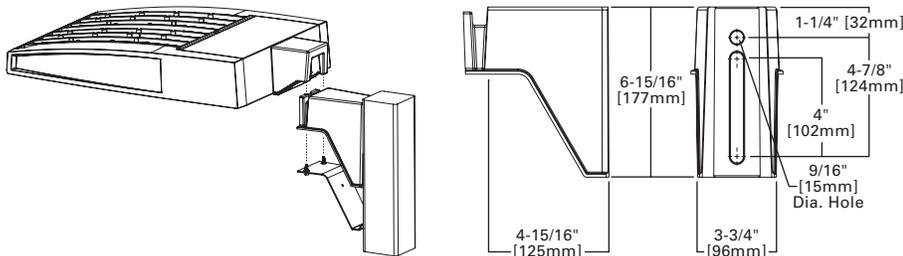
STANDARD WALL MOUNT



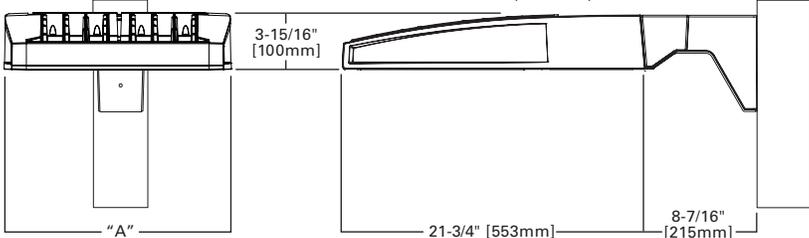
MAST ARM MOUNT



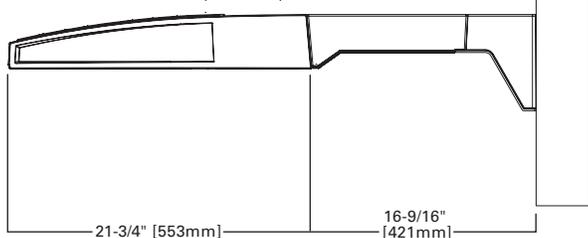
QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

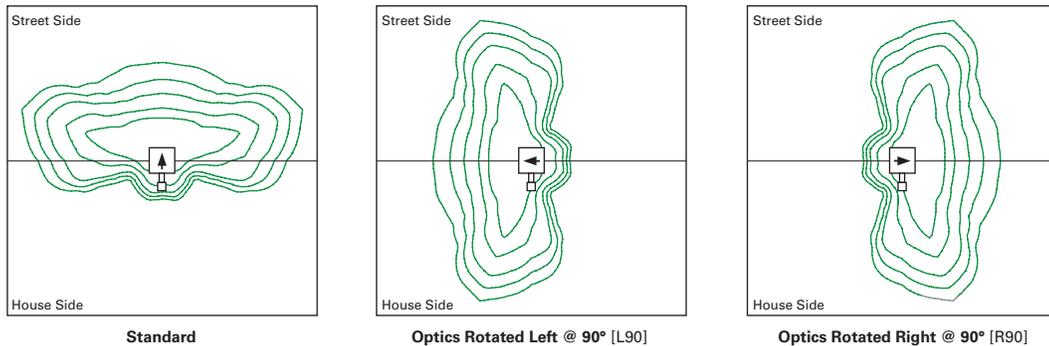


QUICK MOUNT ARM DATA

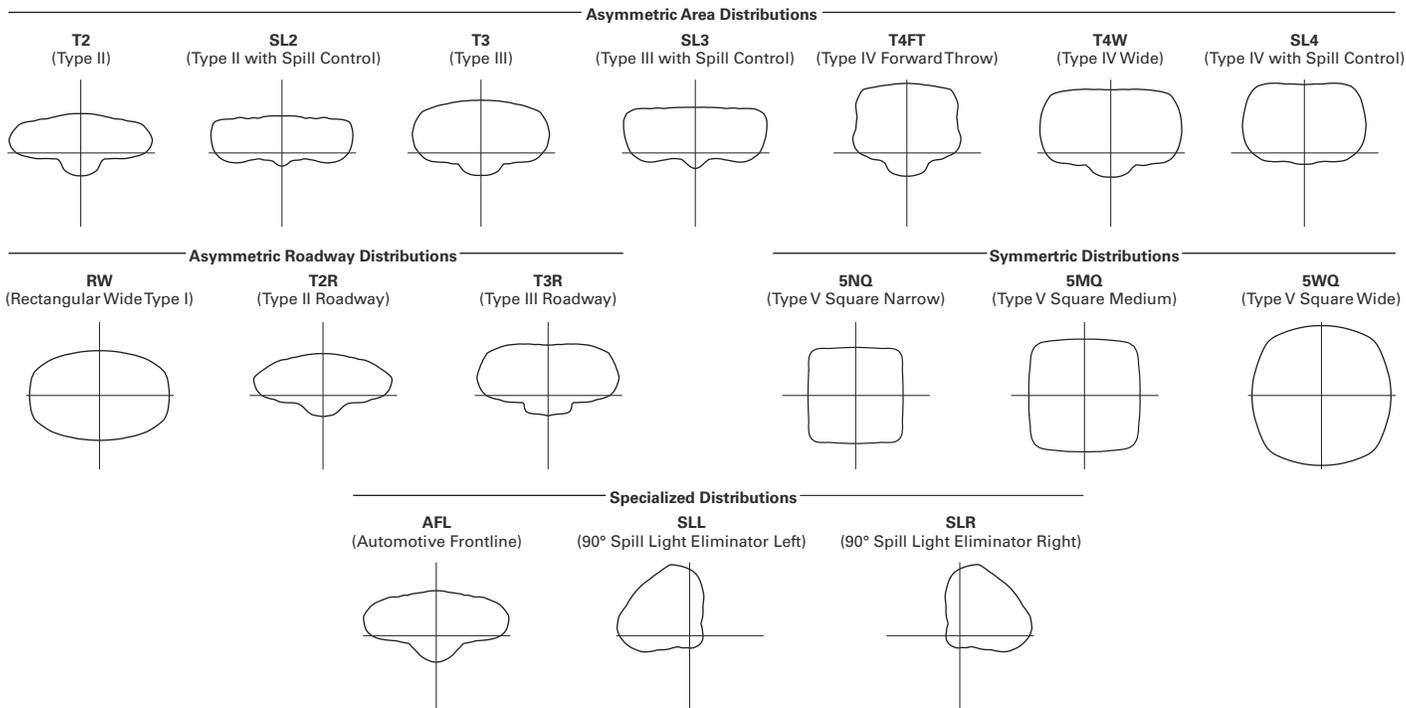
Number of Light Squares ^{1,2}	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 ³	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

OPTIC ORIENTATION



OPTICAL DISTRIBUTIONS

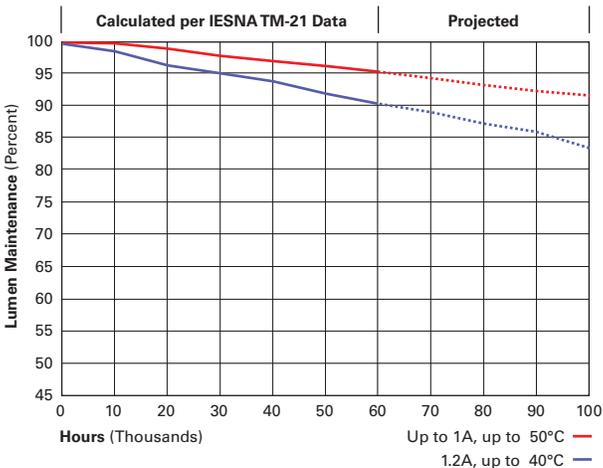


LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



NOMINAL POWER LUMENS (1.2A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	67	129	191	258	320	382	448	511	575	640	
Input Current @ 120V (A)	0.58	1.16	1.78	2.31	2.94	3.56	4.09	4.71	5.34	5.87	
Input Current @ 208V (A)	0.33	0.63	0.93	1.27	1.57	1.87	2.22	2.52	2.8	3.14	
Input Current @ 240V (A)	0.29	0.55	0.80	1.10	1.35	1.61	1.93	2.18	2.41	2.71	
Input Current @ 277V (A)	0.25	0.48	0.70	0.96	1.18	1.39	1.69	1.90	2.09	2.36	
Input Current @ 347V (A)	0.20	0.39	0.57	0.78	0.96	1.15	1.36	1.54	1.72	1.92	
Input Current @ 480V (A)	0.15	0.30	0.43	0.60	0.73	0.85	1.03	1.16	1.28	1.45	
Optics											
T2	4000K/5000K Lumens	6,709	13,111	19,562	25,848	32,026	38,325	45,324	51,355	57,286	63,424
	3000K Lumens	5,939	11,606	17,316	22,881	28,349	33,925	40,121	45,459	50,710	56,143
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	7,122	13,919	20,769	27,442	34,000	40,687	48,117	54,519	60,816	67,333
	3000K Lumens	5,939	11,606	17,316	22,881	28,349	33,925	40,121	45,459	50,710	56,143
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3	4000K/5000K Lumens	6,838	13,363	19,939	26,346	32,642	39,062	46,196	52,343	58,388	64,646
	3000K Lumens	6,053	11,829	17,650	23,321	28,895	34,578	40,893	46,334	51,685	57,225
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	6,990	13,660	20,382	26,931	33,368	39,930	47,223	53,506	59,686	66,081
	3000K Lumens	6,188	12,092	18,042	23,839	29,537	35,346	41,802	47,364	52,834	58,495
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T4FT	4000K/5000K Lumens	6,878	13,440	20,055	26,499	32,832	39,289	46,464	52,646	58,726	65,020
	3000K Lumens	6,088	11,897	17,753	23,457	29,063	34,779	41,130	46,602	51,984	57,556
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T4W	4000K/5000K Lumens	6,789	13,267	19,795	26,156	32,408	38,781	45,864	51,967	57,968	64,180
	3000K Lumens	6,010	11,744	17,523	23,153	28,688	34,329	40,599	46,001	51,313	56,812
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	6,697	13,088	19,529	25,804	31,970	38,259	45,245	51,267	57,186	63,315
	3000K Lumens	5,928	11,585	17,287	22,842	28,300	33,867	40,051	45,382	50,621	56,046
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	6,837	13,361	19,936	26,342	32,639	39,057	46,189	52,336	58,380	64,636
	3000K Lumens	6,052	11,827	17,647	23,318	28,892	34,573	40,887	46,328	51,678	57,216
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL4	4000K/5000K Lumens	6,496	12,695	18,943	25,029	31,011	37,110	43,886	49,727	55,470	61,414
	3000K Lumens	5,750	11,238	16,768	22,156	27,451	32,850	38,848	44,018	49,102	54,364
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	7,052	13,781	20,564	27,171	33,664	40,285	47,641	53,981	60,215	66,669
	3000K Lumens	6,242	12,199	18,203	24,052	29,799	35,660	42,172	47,784	53,302	59,015
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
5MQ	4000K/5000K Lumens	7,182	14,034	20,942	27,671	34,284	41,027	48,518	54,975	61,323	67,896
	3000K Lumens	6,358	12,423	18,538	24,494	30,348	36,317	42,948	48,664	54,283	60,102
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
5WQ	4000K/5000K Lumens	7,201	14,073	20,998	27,744	34,375	41,136	48,648	55,121	61,487	68,077
	3000K Lumens	6,374	12,457	18,587	24,559	30,429	36,414	43,063	48,793	54,428	60,262
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	4000K/5000K Lumens	6,009	11,741	17,519	23,148	28,681	34,321	40,589	45,990	51,301	56,798
	3000K Lumens	5,319	10,393	15,508	20,491	25,388	30,381	35,929	40,710	45,412	50,278
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
RW	4000K/5000K Lumens	6,989	13,657	20,378	26,925	33,360	39,921	47,211	53,494	59,672	66,066
	3000K Lumens	6,187	12,089	18,039	23,834	29,530	35,338	41,791	47,353	52,822	58,482
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
AFL	4000K/5000K Lumens	7,014	13,706	20,452	27,023	33,481	40,066	47,383	53,688	59,888	66,306
	3000K Lumens	6,209	12,133	18,104	23,921	29,637	35,466	41,943	47,525	53,013	58,694
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	59	113	166	225	279	333	391	445	501	558	
Input Current @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.6	5.07	
Input Current @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
Input Current @ 240V (A)	0.26	0.48	0.71	0.96	1.19	1.41	1.67	1.89	2.12	2.39	
Input Current @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
Input Current @ 347V (A)	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
Input Current @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
Optics											
T2	4000K/5000K Lumens	6,116	11,951	17,833	23,563	29,195	34,937	41,317	46,814	52,221	57,817
	3000K Lumens	5,414	10,579	15,786	20,858	25,843	30,926	36,574	41,440	46,226	51,180
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	6,493	12,688	18,932	25,015	30,994	37,090	43,863	49,699	55,439	61,380
	3000K Lumens	5,748	11,231	16,759	22,143	27,436	32,832	38,828	43,994	49,075	54,334
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3	4000K/5000K Lumens	6,234	12,181	18,176	24,017	29,756	35,609	42,111	47,715	53,225	58,930
	3000K Lumens	5,518	10,783	16,089	21,260	26,340	31,521	37,277	42,237	47,115	52,165
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	6,372	12,453	18,580	24,550	30,418	36,400	43,048	48,776	54,409	60,239
	3000K Lumens	5,640	11,023	16,447	21,732	26,926	32,221	38,106	43,177	48,163	53,324
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
T4FT	4000K/5000K Lumens	6,270	12,252	18,282	24,156	29,929	35,815	42,356	47,992	53,534	59,271
	3000K Lumens	5,550	10,845	16,183	21,383	26,493	31,703	37,494	42,483	47,388	52,467
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T4W	4000K/5000K Lumens	6,189	12,094	18,045	23,844	29,543	35,352	41,809	47,372	52,843	58,506
	3000K Lumens	5,479	10,706	15,973	21,107	26,151	31,294	37,009	41,934	46,777	51,790
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	6,105	11,931	17,803	23,522	29,144	34,877	41,245	46,734	52,130	57,717
	3000K Lumens	5,404	10,561	15,759	20,822	25,798	30,873	36,510	41,369	46,145	51,091
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	6,233	12,180	18,174	24,013	29,753	35,604	42,106	47,708	53,218	58,921
	3000K Lumens	5,517	10,782	16,088	21,256	26,337	31,517	37,272	42,231	47,109	52,157
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL4	4000K/5000K Lumens	5,922	11,572	17,268	22,816	28,269	33,829	40,006	45,330	50,566	55,984
	3000K Lumens	5,242	10,244	15,286	20,197	25,024	29,945	35,413	40,126	44,761	49,557
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	6,429	12,563	18,746	24,768	30,688	36,723	43,429	49,208	54,891	60,775
	3000K Lumens	5,691	11,121	16,594	21,925	27,165	32,507	38,443	43,559	48,590	53,798
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5MQ	4000K/5000K Lumens	6,547	12,794	19,090	25,224	31,253	37,400	44,228	50,114	55,902	61,893
	3000K Lumens	5,795	11,325	16,898	22,328	27,665	33,106	39,151	44,361	49,484	54,788
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
5WQ	4000K/5000K Lumens	6,564	12,828	19,141	25,291	31,336	37,499	44,347	50,248	56,051	62,058
	3000K Lumens	5,810	11,355	16,944	22,388	27,739	33,194	39,256	44,480	49,616	54,934
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
SL/SLR	4000K/5000K Lumens	5,478	10,703	15,970	21,102	26,145	31,286	37,001	41,924	46,765	51,777
	3000K Lumens	4,849	9,474	14,137	18,679	23,144	27,694	32,753	37,111	41,396	45,833
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	6,371	12,449	18,576	24,544	30,411	36,392	43,037	48,764	54,396	60,225
	3000K Lumens	5,640	11,020	16,443	21,726	26,920	32,214	38,096	43,166	48,151	53,311
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
AFL	4000K/5000K Lumens	6,394	12,494	18,644	24,634	30,521	36,524	43,194	48,942	54,593	60,444
	3000K Lumens	5,660	11,060	16,504	21,806	27,017	32,331	38,235	43,323	48,326	53,505
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (800MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	44	85	124	171	210	249	295	334	374	419	
Input Current @ 120V (A)	0.39	0.77	1.13	1.54	1.90	2.26	2.67	3.03	3.39	3.80	
Input Current @ 208V (A)	0.22	0.44	0.62	0.88	1.06	1.24	1.50	1.68	1.87	2.12	
Input Current @ 240V (A)	0.19	0.38	0.54	0.76	0.92	1.08	1.30	1.46	1.62	1.84	
Input Current @ 277V (A)	0.17	0.36	0.47	0.72	0.83	0.95	1.19	1.31	1.42	1.67	
Input Current @ 347V (A)	0.15	0.24	0.38	0.49	0.63	0.77	0.87	1.01	1.15	1.52	
Input Current @ 480V (A)	0.11	0.18	0.29	0.37	0.48	0.59	0.66	0.77	0.88	0.96	
Optics											
T2	4000K/5000K Lumens	4,941	9,656	14,408	19,038	23,588	28,227	33,382	37,823	42,191	46,713
	3000K Lumens	4,374	8,547	12,754	16,852	20,880	24,987	29,550	33,481	37,347	41,350
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	5,246	10,251	15,296	20,211	25,041	29,966	35,439	40,154	44,791	49,592
	3000K Lumens	4,644	9,074	13,540	17,891	22,166	26,526	31,371	35,544	39,649	43,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3	4000K/5000K Lumens	5,037	9,842	14,685	19,404	24,041	28,770	34,024	38,551	43,003	47,612
	3000K Lumens	4,459	8,712	12,999	17,176	21,281	25,467	30,118	34,125	38,066	42,146
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	5,148	10,061	15,011	19,835	24,576	29,409	34,780	39,408	43,959	48,669
	3000K Lumens	4,557	8,906	13,288	17,558	21,755	26,033	30,787	34,884	38,913	43,082
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	5,066	9,899	14,770	19,516	24,181	28,936	34,221	38,774	43,252	47,888
	3000K Lumens	4,484	8,763	13,074	17,276	21,405	25,614	30,292	34,323	38,287	42,390
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	5,000	9,771	14,579	19,264	23,869	28,562	33,779	38,274	42,694	47,269
	3000K Lumens	4,426	8,649	12,905	17,052	21,129	25,283	29,901	33,880	37,793	41,843
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	4,933	9,639	14,383	19,005	23,547	28,178	33,324	37,758	42,118	46,632
	3000K Lumens	4,367	8,532	12,732	16,823	20,844	24,943	29,498	33,423	37,283	41,279
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	5,036	9,841	14,683	19,401	24,039	28,766	34,019	38,546	42,997	47,605
	3000K Lumens	4,458	8,711	12,997	17,174	21,279	25,464	30,114	34,121	38,061	42,140
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	4,784	9,350	13,951	18,434	22,840	27,332	32,323	36,624	40,854	45,232
	3000K Lumens	4,235	8,277	12,349	16,318	20,218	24,194	28,612	32,420	36,164	40,039
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	5,194	10,150	15,145	20,011	24,794	29,670	35,088	39,757	44,349	49,102
	3000K Lumens	4,598	8,985	13,406	17,714	21,948	26,264	31,060	35,193	39,258	43,465
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	5,290	10,337	15,424	20,380	25,250	30,217	35,734	40,489	45,165	50,006
	3000K Lumens	4,683	9,150	13,653	18,040	22,351	26,748	31,632	35,841	39,980	44,265
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	5,304	10,365	15,465	20,434	25,318	30,297	35,830	40,597	45,286	50,139
	3000K Lumens	4,695	9,175	13,690	18,088	22,411	26,819	31,717	35,936	40,087	44,383
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
SLL/SLR	4000K/5000K Lumens	4,426	8,648	12,903	17,049	21,124	25,278	29,894	33,872	37,784	41,832
	3000K Lumens	3,918	7,655	11,422	15,092	18,699	22,376	26,462	29,983	33,446	37,030
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	5,147	10,058	15,009	19,830	24,570	29,402	34,771	39,399	43,949	48,658
	3000K Lumens	4,556	8,903	13,286	17,554	21,749	26,027	30,779	34,876	38,904	43,072
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
AFL	4000K/5000K Lumens	5,166	10,095	15,063	19,903	24,659	29,509	34,898	39,542	44,108	48,835
	3000K Lumens	4,573	8,936	13,334	17,618	21,828	26,121	30,892	35,003	39,044	43,229
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (600MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	34	66	96	129	162	193	226	257	290	323	
Input Current @ 120V (A)	0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89	
Input Current @ 208V (A)	0.17	0.34	0.49	0.65	0.84	0.99	1.14	1.30	1.48	1.63	
Input Current @ 240V (A)	0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43	
Input Current @ 277V (A)	0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33	
Input Current @ 347V (A)	0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99	
Input Current @ 480V (A)	0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77	
Optics											
T2	4000K/5000K Lumens	4,029	7,874	11,749	15,525	19,235	23,019	27,222	30,844	34,406	38,093
	3000K Lumens	3,566	6,970	10,400	13,743	17,027	20,376	24,097	27,303	30,456	33,720
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	4000K/5000K Lumens	4,278	8,360	12,474	16,482	20,421	24,437	28,900	32,745	36,527	40,441
	3000K Lumens	3,787	7,400	11,042	14,590	18,077	21,632	25,582	28,986	32,334	35,798
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	4000K/5000K Lumens	4,107	8,026	11,976	15,824	19,605	23,461	27,746	31,438	35,068	38,827
	3000K Lumens	3,636	7,105	10,601	14,007	17,354	20,768	24,561	27,829	31,042	34,370
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T3R	4000K/5000K Lumens	4,198	8,205	12,242	16,175	20,041	23,982	28,363	32,137	35,848	39,689
	3000K Lumens	3,716	7,263	10,837	14,318	17,740	21,229	25,107	28,448	31,733	35,133
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	4,131	8,072	12,045	15,915	19,719	23,597	27,907	31,620	35,272	39,052
	3000K Lumens	3,657	7,145	10,662	14,088	17,455	20,888	24,703	27,990	31,223	34,569
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	4,077	7,968	11,889	15,710	19,465	23,292	27,546	31,212	34,816	38,547
	3000K Lumens	3,609	7,053	10,524	13,906	17,230	20,618	24,384	27,629	30,819	34,122
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	4000K/5000K Lumens	4,022	7,861	11,729	15,498	19,202	22,979	27,175	30,791	34,347	38,028
	3000K Lumens	3,560	6,959	10,383	13,719	16,998	20,341	24,055	27,256	30,404	33,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL3	4000K/5000K Lumens	4,106	8,025	11,974	15,821	19,603	23,458	27,742	31,433	35,064	38,821
	3000K Lumens	3,635	7,104	10,599	14,005	17,353	20,765	24,557	27,824	31,039	34,364
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	3,902	7,624	11,377	15,033	18,626	22,289	26,359	29,867	33,316	36,886
	3000K Lumens	3,454	6,749	10,071	13,307	16,488	19,730	23,333	26,438	29,491	32,651
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	4,236	8,277	12,351	16,319	20,219	24,196	28,614	32,422	36,166	40,042
	3000K Lumens	3,750	7,327	10,933	14,446	17,898	21,418	25,329	28,700	32,014	35,445
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	4,314	8,429	12,578	16,619	20,591	24,641	29,141	33,019	36,832	40,779
	3000K Lumens	3,819	7,461	11,134	14,711	18,227	21,812	25,796	29,228	32,604	36,098
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	4,325	8,452	12,611	16,664	20,646	24,707	29,219	33,106	36,930	40,888
	3000K Lumens	3,828	7,482	11,163	14,751	18,276	21,871	25,865	29,305	32,690	36,194
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	4000K/5000K Lumens	3,609	7,052	10,522	13,903	17,226	20,613	24,378	27,622	30,812	34,114
	3000K Lumens	3,195	6,242	9,314	12,307	15,248	18,247	21,579	24,451	27,275	30,198
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	4,197	8,202	12,239	16,171	20,036	23,977	28,356	32,129	35,839	39,680
	3000K Lumens	3,715	7,260	10,834	14,315	17,736	21,224	25,101	28,441	31,725	35,125
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	4000K/5000K Lumens	4,213	8,232	12,284	16,230	20,109	24,064	28,459	32,246	35,969	39,824
	3000K Lumens	3,729	7,287	10,874	14,367	17,800	21,301	25,192	28,544	31,840	35,252
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)

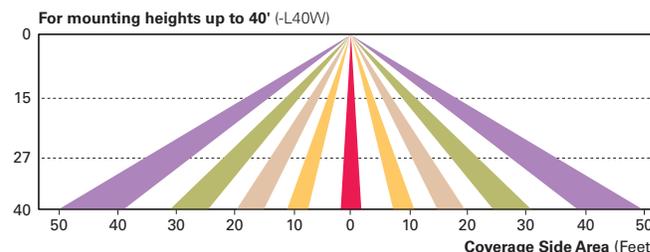
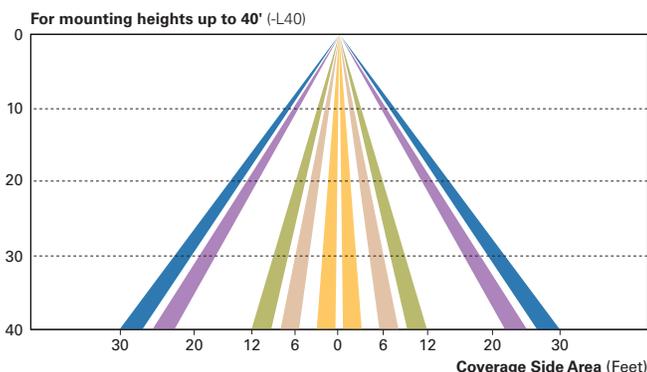
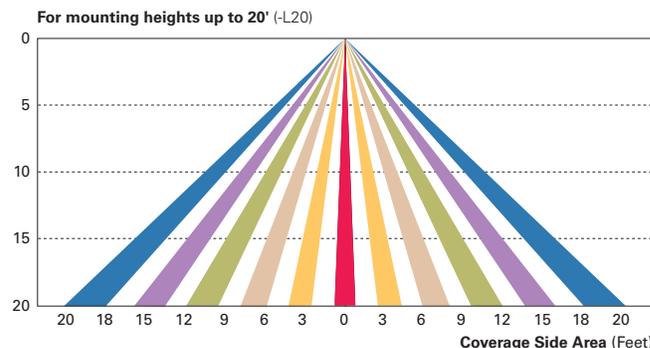
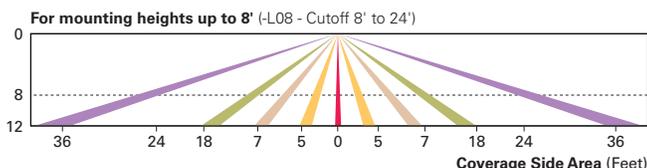
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

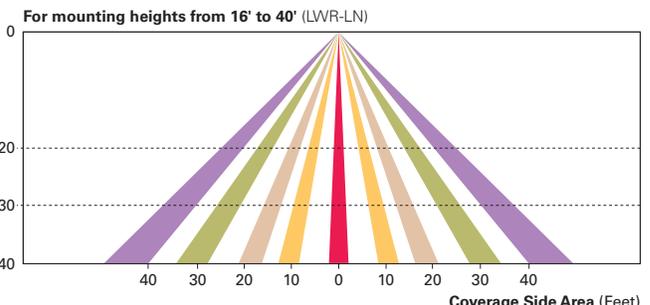
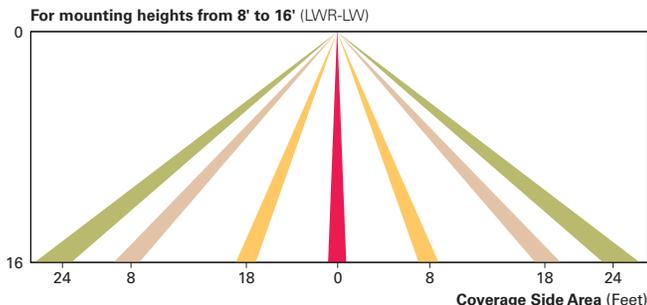
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt product guides.



ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family ^{1,2}	Light Engine	Number of Light Squares ³	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AF=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 ⁴ 08=8 ⁴ 09=9 ⁵ 10=10 ⁵	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ⁶ 480=480V ^{6,7}	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5N0=Type V Narrow 5M0=Type V Square Medium 5W0=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁸ MA=Mast Arm Adapter ⁹ WM=Wall Mount QM=Quick Mount Arm (Standard Length) ¹⁰ QMEA=Quick Mount Arm (Extended Length) ¹¹
Options (Add as Suffix)					Accessories (Order Separately)		
<p>7030=70 CRI 3000K ¹² 8030=80 CRI 3000K ¹³ 7050=70 CRI 5000K ¹² 7060=70 CRI 6000K ¹² 600=Drive Current Factory Set to Nominal 600mA ¹⁴ 800=Drive Current Factory Set to Nominal 800mA ¹⁴ 1200=Drive Current Factory Set to Nominal 1200mA ^{14,15} F=Single Fuse (120, 277 or 347V. Must Specify Voltage) FF=Double Fuse (208, 240 or 480V. Must Specify Voltage) 2L=Two Circuits ^{16,17} DIM=External 0-10V Dimming Leads P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle AHD145=After Hours Dim, 5 Hours ¹⁸ AHD245=After Hours Dim, 6 Hours ¹⁸ AHD255=After Hours Dim, 7 Hours ¹⁸ AHD355=After Hours Dim, 8 Hours ¹⁸ HA=50°C High Ambient ¹⁹ MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{20,21} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{20,22} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{20,23} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) ^{20,24} MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height ^{20,21,25} MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height ^{20,22,25} MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height ^{20,23,25} MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) ^{20,24,25} MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height ^{20,21} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{20,22} MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{20,23} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) ^{20,24} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ²⁶ LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ²⁶ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MIT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing ²⁷ HSS=Factory Installed House Side Shield ²⁸ CE=CE Marking ²⁹</p>					<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁰ GLEON-MIT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MIT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MIT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MIT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit GLEON-QMEA=Quick Mount Extended Arm Kit LS/HSS=Field Installed House Side Shield ^{28,30}</p>		

NOTES:

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Not compatible with extended quick mount arm (QMEA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Not available with HA option.
- 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with LumaWatt wireless sensors.
- Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Approximately 22' detection diameter at 8' mounting height.
- Approximately 40' detection diameter at 20' mounting height.
- Approximately 60' detection diameter at 40' mounting height.
- Approximately 100' detection diameter at 40' mounting height.
- Replace X with number of Light Squares operating in low output mode.
- LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
- Not available with house side shield (HSS).
- Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
- CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- One required for each Light Square.

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightBAR™ technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

Optics

Choice of six patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

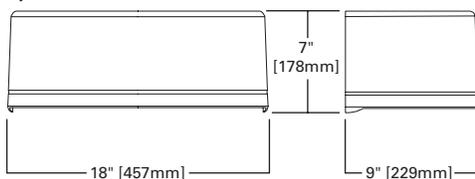
Warranty

Five-year warranty.

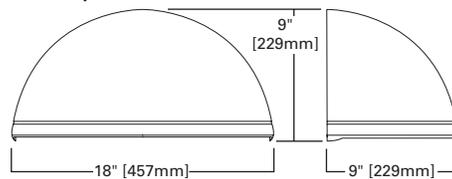


DIMENSIONS

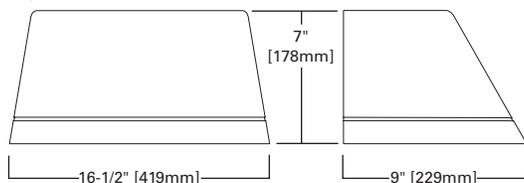
Cylinder



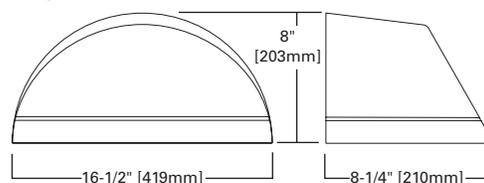
Quarter Sphere



Trapezoid



Wedge



ISC/ISS/IST/ISW IMPACT ELITE LED



1 - 2 LightBARs
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 LightBARs
ISO 9001
DesignLights Consortium® Qualified*

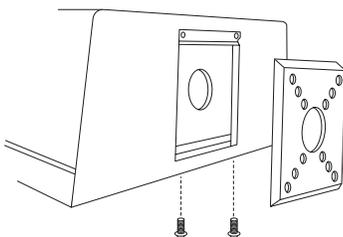
ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

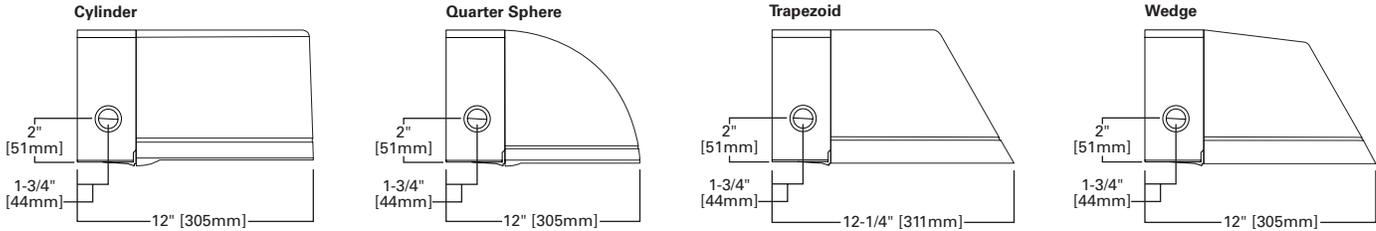
SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

HOOK-N-LOCK MOUNTING



THRUWAY BACK BOX



POWER AND LUMENS BY BAR COUNT

Number of LightBARs	E01		E02		F01		F02	
	21 LED LightBAR				7 LED LightBAR			
Drive Current	350mA				1A			
Power (Watts)	120-277V	25W	47W	26W	50W			
Current (A)	120V	0.22	0.40	0.22	0.42			
	277V	0.10	0.18	0.10	0.19			
Power (Watts)	347V or 480V	31W	52W	32W	55W			
Current (A)	347V	0.11	0.16	0.11	0.17			
	480V	0.16	0.18	0.16	0.18			
Optics								
BL2	Lumens	2,738	5,476	2,260	4,521			
	Bug Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1			
BL3	Lumens	2,702	5,405	2,231	4,462			
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1			
BL4	Lumens	2,613	5,225	2,157	4,313			
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1			
GZW	Lumens	2,785	5,570	2,299	4,598			
	Bug Rating	B2-U0-G2	B3-U0-G3	B1-U0-G1	B2-U0-G2			
SLR/SL	Lumens	2,435	4,869	2,010	4,020			
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G2			

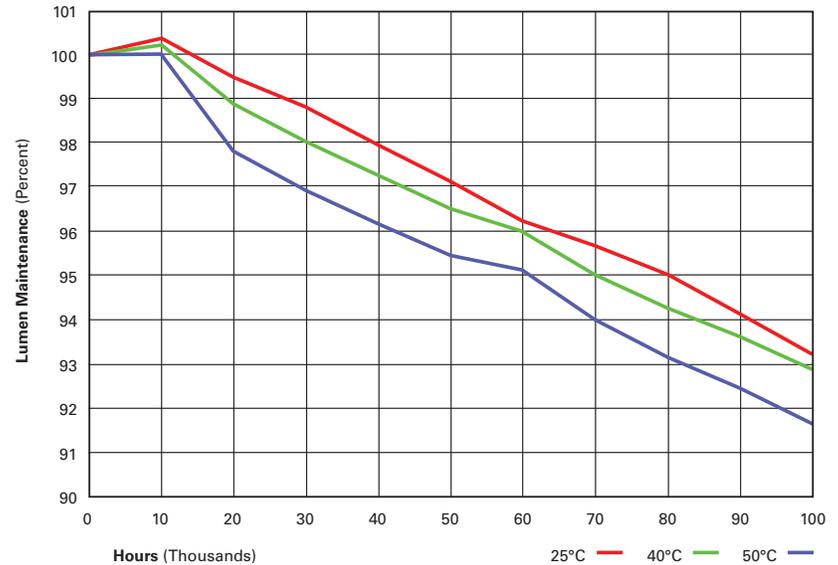
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



ORDERING INFORMATION

Sample Number: ISC-E02-LED-E1-BL3-GM

Product Family ¹	Number of LightBARs ^{2,3}	Lamp Type	Voltage	Distribution	Color ⁵
ISC=Impact Elite LED Small Cylinder ISS=Impact Elite LED Small Quarter Sphere IST=Impact Elite LED Small Trapezoid ISW=Impact Elite LED Small Wedge	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V ⁴	BL2=Type II w/Back Light Control BL3=Type III w/Back Light Control BL4=Type IV w/Back Light Control GZW=Wall Grazer Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)				Accessories (Order Separately) ¹¹	
2L=Two Circuits ⁶ 7030=70 CRI / 3000K CCT ⁷ 7050=70 CRI / 5000K CCT ⁷ 7060=70 CRI / 5700K CCT ⁷ 8030=80 CRI / 3000K CCT ⁷ P=Button Type Photocontrol (Available in 120, 208, 240 or 277V. Must Specify Voltage) OSB=Occupancy Sensor with Back Box (Specify 120V or 277V) ⁸ BBB-XX=Battery Pack with Back Box (Specify 120V or 277V) ⁹ CWB-XX=Cold Weather Battery Pack with Back Box (Specify 120V or 277V) ¹⁰ DIM=0-10V Dimming Drivers LCF=LightBAR Cover Plate Matches Housing Finish ULG=Uplight Glow TR=Tamper Resistant Hardware				MA1253=10kV Circuit Module Replacement MA1254-XX=Thruway Back Box - Impact Elite Trapezoid MA1255-XX=Thruway Back Box - Impact Elite Cylinder MA1256-XX=Thruway Back Box - Impact Elite Quarter Sphere MA1257-XX=Thruway Back Box - Impact Elite Wedge	

- NOTES:**
- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
 - Standard 4000K CCT and greater than 70 CRI. LightBARs for downlight use only.
 - 21 LED LightBAR powered by 350mA and 7 LED LightBAR powered by 1A.
 - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 - Custom and RAL color matching available upon request. Consult your lighting representative at Eaton for more information.
 - Low-level output varies by bar count. Consult factory. Not available with 347V or 480V. Available with two bars (E02 or F02) only.
 - Extended lead times apply.
 - Available with E02 or F02, only one bar on street side will be wired to sensor. Time delay factory setting 15-minutes. When ordered with PC option, both bars are connected to photocontrol as primary switching means. Standard sensor lens covers 8" mounting height, 360° coverage, maximum 48" diameter. Not available in all configurations or with BBB or CWB options.
 - Specify 120V or 277V. LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
 - Specify 120V or 277V. LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
 - Replace XX with color suffix.



Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

The Brightest Idea is Emergency Lighting with LEDs



GENERAL DESCRIPTION

Operating in emergency mode or optional normal-on, this fixture is designed to mount directly on structural mullion beams used in typical glass-fronted entrances, with vertical surface as small as 2". This fixture has full 90° cut-off and will provide efficient emergency lighting in front of egress doorways, or along extended pathways.

CONSTRUCTION

- Rugged extruded aluminum housing with stainless hardware is corrosion proof.
- Wet location listed UL 924. Certified IP66.
- Uniform, high brightness lighting over the path of egress.
- Full 90° cut-off.
- Three versions are available:

RE= Central Battery System Series CBS or other qualified source 12V- 24 VDC.

BB= Battery backup from Remote Battery Supply Series RPS.

AC= 120/ 277 VAC supply.

ELECTRONICS

- Dual operation from either a battery or optional normally on power source.
- Lamps are connected in parallel-series strings, as required to meet requirements of NEC and Life Safety Codes. Lighting continues even after failure of One lamp or circuit.

ENERGY EFFICIENT OPERATION

- Dual function operation for optional normally on night or security lighting as well as emergency lighting.
- Very low power consumption in optional night/ security mode. The security lighting circuit is independent of emergency lighting and may be switched manually, by an exterior photocell, or other automatic means.
- Over 50,000 hour lamp life in normal use.
- IES photometric data available for all models.

CODES

- Manufactured and tested to UL Standard 924 and NFPA Life Safety Code 101.

WARRANTY

- 5 year total customer satisfaction warranty. For Details see product catalog technical data section.

FIXTURE SCHEDULE

MODEL	CATALOG NO
APPROVAL	JOB INFORMATION

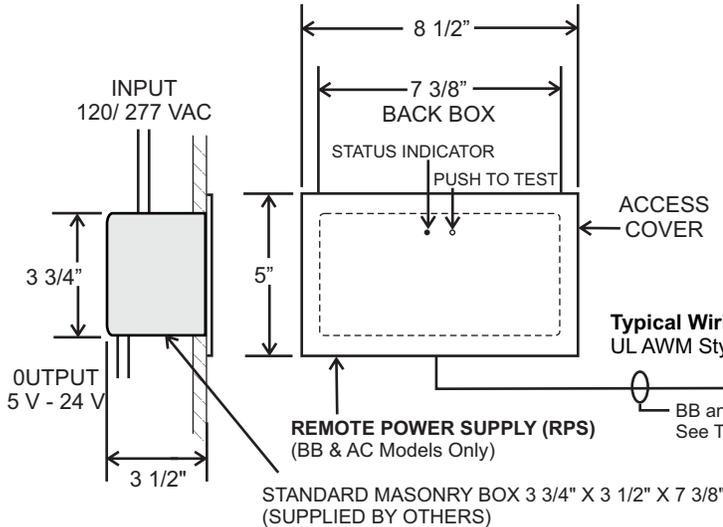


Moonlite LED® Mullion Mount Emergency Light Series MUE

SUGGESTED SPECIFICATIONS:

Supply and install the MOONLITE LED Series MUE Mullion Mount emergency lighting fixture manufactured by Sigtex Lighting Inc. The MUE assembly shall be listed for installation in wet locations in compliance with UL 924 and IP66 standards and shall be capable of operating from Sigtex remote power supply Series RPS, the Sigtex central battery system Series CBS, or from other remote power sources supplying 12-24 VDC or VAC. Upon loss of AC building power, emergency models shall operate for a minimum of 90 minutes in compliance with UL Standard 924 and NFPA1501.

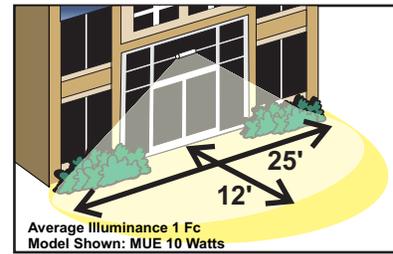
MOUNTING DATA & DIMENSIONS:



TYPICAL STOCK MODELS:
CROUSE HINDS #TP693
RACO # 698

SPACING GUIDE

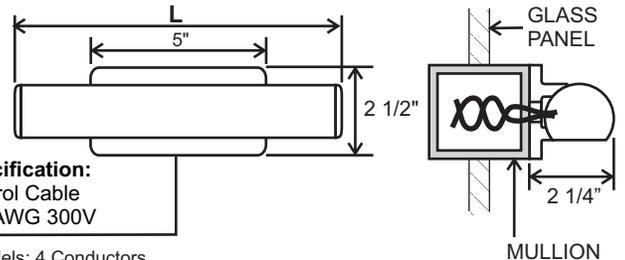
MUE.4.16.13



NOTE: FOR REFERENCE ONLY. STANDARD REFLECTANCES 80/50/20. SIGTEX IS NOT RESPONSIBLE FOR SPECIFIC CONDITIONS THAT MAY ALTER THE RESULTS.

CONTACT SIGTEX FOR LAYOUT ASSISTANCE
Code Compliant Emergency lighting layouts provided free of charge!

WALL MOUNT



TOP MOUNT

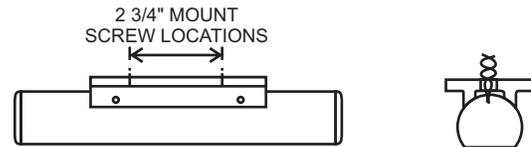


TABLE 1

MAX WIRING LENGTH FROM RPS TO FIXTURE BB & AC Models	
WIRING SIZE AWG	LENGTH (FT)
#20	100
#18	170
#16	225

LENGTH TABLE

POWER	L
10 Watts	10"
20 Watts*	21"

*RE & AC Models Only

SECURITY LIGHTING CONTROL

RE Models: Requires SEC Option 'S' with CBS

BB Models: Requires Option 'SB' for connection to 120 VAC

BB-DG Models: Requires Option 'SD' for connection to 120/ 277 VAC

RPS SELF-TEST DIAGNOSTIC FUNCTIONS

BB MODELS WITH DG FUNCTION

STATUS	LED DISPLAY
NORMAL FULL CHARGE	GREEN ON
NORMAL FAST CHARGE	ORANGE ON
FAILED BATTERY	RED FLASH FAST
FAILED LAMP	GREEN FLASH
FAILED TRANSFER	ORANGE FLASH
FAILED CHARGER	RED FLASH SLOW

FIXTURE ORDERING INFORMATION: EXAMPLE: MUEBB10AW-DG

MUE	BB	10	A	W	-DG
MODEL SERIES	OPERATION	POWER	HOUSING COLOR	MOUNT	OPTIONS
MUE	RE= Central Battery or other 12- 24 VDC Remote Source BB= Battery Backup (Includes RPS) AC= No Battery (Includes RPS)	10= 10 Watts Emergency & Normal On Power 20= 20 Watts Emergency & Normal On power (RE & AC Models Only)	W= Satin White A= Aluminum B= Dark Bronze X= Custom	T= Top W= Wall	DG= Self- Test Diagnostics (BB Models Only) SB= Security Lighting with Control Switch for Standard BB Operation (120V) SD= Security Lighting with Control Switch for BB Operation with DG option (120/ 277V) CW1= Custom Window Filter -3800K DAC= Dual AC Input 2HT= 2" Canopy Height 5HT= 5" Canopy Height

SUITABLE FOR WET LOCATIONS
AMBIENT TEMPERATURE LIMITS:
-40° C to +50° C



Sigtex Inc

LIGHTING

220 VFW Avenue, Grasonville, MD 21638

TEL: (410) 827-8300 Fax: (410) 827-8866

sales@sigtexinc.com www.sigtexinc.com

DISTRIBUTOR:

Specifications and Dimensions subject to change without notice.

SM868354CLTE

LED OUTDOOR WALL LANTERN

This contemporary outdoor collection features an aluminum frame finished in Textured Ebony supporting a Clear glass cylinder. A seeded acrylic post floats down the center, illuminated by LED for the ultimate in energy savings and low maintenance.

Finish
Texture Ebony

Material
Aluminum

Measurements
W 8.25" x H 22.25" x E 8.5"

Canopy
W 5.5" x H 11.5"

Bulb Specifications
10W LED 3500K (Integrated)

Color Rendition Index
80+

Initial Lumens
480 lm

Certificates
California Title 24
Wet



Finish



Texture Ebony

