

AGENDA
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
September 13, 2016
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. **Approval of Minutes** for the *August 30, 2016* Planning and Zoning Commission meeting.
2. **P2016-038 (Korey)**
Discuss and consider a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2, Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 601 E. Rusk Street, and take any action necessary.
3. **P2016-039 (Korey)**
Discuss and consider a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1406 Ridge Road, and take any action necessary.

APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

PUBLIC HEARING ITEMS

5. **Z2016-025 (Ryan)**
Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 228 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
6. **Z2016-023 (Korey)**
Hold a public hearing to discuss and consider a request by Kevin Dale Wommack & Pamela McCollum for the approval of an amendment to *Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02]* to allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle, and take any action necessary.
7. **Z2016-028 (Ryan)**
Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001 Ridge Road, and take any action necessary.
8. **Z2016-029 (David)**
Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall

County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the intersection of SH-205 [S. Goliad Street] and FM-549, and take any action necessary.

ACTION ITEMS

9. SP2016-016 (David)

Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 496 National Drive, and take any action necessary.

10. SP2016-017 (David)

Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.

DISCUSSION ITEMS

11. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ P2016-036: Final Plat for Lot 1, Block A, Service King Addition [Approved]
- ✓ P2016-037: Amending Plat for Lakeview Summit, Phase IV [Approved]
- ✓ Z2016-022: SUP for SPR Packaging (2nd Reading) [Approved]
- ✓ Z2016-025: Harbor Urban Center Condominiums (1st Reading) [Approved]
- ✓ Z2016-027: Zoning Amendment to Article V of the UDC (2nd Reading) [Approved]

ADJOURNMENT

TRAINING SESSION

12. Planning and Zoning Commission Training Session (Ryan)

A work session will be held in the City Council meeting room immediately following the adjournment of the September 13, 2016 Planning and Zoning Commission work session meeting. The agenda for the training session will include a presentation from staff over Planned Development District 32 (PD-32).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 9th day of September, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
September 13, 2016
5:00 P.M.

DISCUSSION ITEMS

1. SP2016-017 (David)

Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 9th day of September, 2016, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
August 30, 2016
6:00 P.M.

I. CALL TO ORDER

Chairman Renfro called the meeting to order at 6:15p.m. The Commissioners present at the meeting were, Commissioners Johnny Lyons, Patrick Trowbridge, Sandra Whitley and Tracey Logan. Commissioners absent were Annie Fishman, and Mark Moeller. Staff members present were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Korey Brooks, Planning Coordinator, Laura Morales and Civil Engineer, Jeremy White.

II. CONSENT AGENDA

1. Approval of Minutes for the August 9, 2016 Planning and Zoning Commission meeting.

2. P2016-036

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Saint George Partners, LTD for the approval of a final plat for Lot 1, Block A, Service King IH-30 Addition being a 3.293-acre tract of land currently described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.

3. P2016-037

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton for the approval of an amending plat Lakeview Summit, Phase IV for the purpose of adding utility easements to the 93 residential lots proposed for the 38.056-acre subdivision situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive, and take any action necessary.

Chairman Renfro made a motion to pass the consent agenda. Commissioner Lyons seconded the motion which passed by a vote of 5-0, with Commissioners Moeller and Fishman absent.

III. APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

The Architectural Review Board representative, Jimmy Strohmeier, came forward and gave brief summary of recommendations pertaining to the item on the agenda that required architectural review.

IV. ACTION ITEMS

5. Hold an election to elect a Vice-Chairman for the Planning and Zoning Commission.

Chairman Renfro noted this item would be moved to the end of the agenda.

V. PUBLIC HEARINGS

6. Z2016-025

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated

66 within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of
67 Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

68
69 Planning Director, Ryan Miller, gave brief summary of item stating that this case was returning
70 from the last meeting where the public hearing was held and continued by the Planning and
71 Zoning Commission. The property is located in what is called the interior sub-district of Planned
72 Development 32 which does allow condominium buildings by right as well as the number of
73 units being proposed. The issue as was discussed at the previous meeting is the roadway and
74 the proposed cross section. Specifically according to Planned Development District 32 a street
75 type G is required which is defined as a street type that has 8 foot sidewalks and parkways on
76 both sides, parallel parking and a 24 foot travel lane on the interior. An updated submittal was
77 received from the applicant showing an increase to a 40 foot right of way from the 36 foot right
78 of way originally proposed. They also originally had a 24 foot travel lane down the middle but
79 now are bringing back the parallel parking. Also from what the Planning and Zoning Commission
80 recommended in the previous meeting they have moved all the parkway and sidewalk to the side
81 adjacent to the building. Mr. Miller pointed out that they decreased the number of units from 245
82 units to 228 units due to the building style being changed from a wrap product to a podium build
83 which decreased the footprint size of the building to allow for the increased right of way. The
84 change will not affect the architectural style and the proposed elevations are still being tied
85 down to the draft ordinance.

86
87 Mr. Miller further stated that on July 22, 2016, staff mailed 84 notices to property owners and
88 residents within 500-feet of the subject property and emailed notices to the Lakeside Village,
89 Lago Vista and Signal Ridge Homeowner's Associations. Staff received two responses in favor
90 of the request, four in opposition and the majority of the opposition was relating to the use and
91 not the roadway.

92
93 Mr. Miller advised the Commission the applicant was present and available for questions.

94
95 Chairman Renfro asked the Commission for questions for staff.

96
97 Commissioner Trowbridge asked for clarification that what is being approved is just the cross
98 section of the roadway. Mr. Miller stated that was correct and added that it is a Planned
99 Development Plan but the manner in which PD 32 is structured it allows for the Commission to
100 consider changes to the road section through that Planned Development Plan.

101
102 Chairman Renfro asked the applicant to come forward.

103
104 Jason Lentz
105 5339 Alpha Road Suite 300
106 Dallas, TX

107
108 Mr. Lentz came forward and stated that after hearing the comments from the Commission at the
109 last meeting their focus was on doing all that they could to integrate all of the comments to
110 come up with a design that they felt worked best not only for them but for the City. After taking
111 the Commissions comments into consideration they came up with a new scheme and made a lot
112 of changes that had not been considered previously. He explained that they are going from a
113 wrapped product with a garage in the middle to a significantly more expensive podium product
114 which has two stories of parking underneath the four stories of apartments. Also the number of
115 units has been decreased from 245 units to 228 units, which allowed the footprint size of the
116 building to decrease allowing for the increasing of the right of way and stay within the way the
117 existing creek sits now, shift the sidewalk over to the building side and bring back the 8 feet of
118 parallel parking which will continue throughout the entire right of way. Mr. Lentz pointed out that
119 there had been some discussion concerning how close the road was to the building. There are
120 555 linear feet of road and the right of way is only within 5 feet of the building for 140 feet of
121 those 555 feet. The right of way does not hug the building the entire way and that is dictated
122 where the line of the creek bed is.

123
124 Mr. Lentz went on to state that those changes were done to address the concerns the
125 Commission had and feels after exploring other options that this scheme is the best suited for a
126 condominium project on this property.

128 Chairman Renfro expressed concern with the original Planned Development Plan calling for two
129 8 foot sidewalks as opposed to what is being proposed which is a 6 foot sidewalk on one side
130 and 2 foot on the other making it 10 feet deficient from what the original plan was. He feels it is a
131 walking district therefore the sidewalks are extremely important when it comes to the flow and
132 movement of people and the safety of the citizens. He asked staff if that was what needed to be
133 considered.

134
135 Mr. Miller stated what was to be considered is a roadway cross section that does not conform.

136
137 Commissioner Lyons asked the applicant concerning 2 foot sidewalk if there would be concrete.
138 Mr. Lentz stated it is a 2 foot buffer parkway not a poured concrete sidewalk. Commissioner
139 Lyons asked if the only walkable sidewalk would be the 6 foot sidewalk on the building side. Mr.
140 Lentz stated that was correct.

141
142 Commissioner Whitley asked if there is 6 feet on one side and two on the other of which is not
143 walkable could those two feet be added to the 6 feet to have 8 feet on the side of the building
144 since it is not usable on the other side. Mr. Lentz stated they could make that change.

145
146 Commissioner Logan asked what change was done to the cross section from original proposal
147 to what is being brought now. Mr. Miller stated that what they've done is put in the same amount
148 of pavement as the original cross section with the same travel lanes and parallel parking what
149 has changed is the parkways and the sidewalks.

150
151 Chairman Renfro opened the public hearing and asked anyone who wished to speak to come
152 forward and do so.

153
154 David Stubblefield
155 1550 Ana Cade
156 Rockwall, TX

157
158 Mr. Stubblefield came forward and stated he is the representative of the property to the north of
159 the subject property and is generally in favor of the proposal but is concerned with the
160 connectivity issues it presents to the surrounding property. He has had several people wanting
161 to develop his client's property to the north as well as the property on the south and each time
162 the City has said that they required a road that connects from Summer Lee up to Ridge Road.
163 Mr. Stubblefield provided a map that showed how the original plan of connectivity would be.

164
165 Mr. Miller showed a slide of the Master Plan and stated that the Cemetery Road alignment was
166 what originally was talked about when PD 32 came in couldn't be used because it would cut
167 down the middle of a cemetery and showed on the map what the correct alignment of the
168 roadway is which mirrors the roadway alignment that is being projected by the applicants plans.
169 The issue when Summer Lee Condominiums came in was that it wasn't known where that
170 roadway alignment was going to be at that time and had the applicant for that development
171 indicate generally on the site plan that there would be right of way dedicated, but nothing has
172 been dedicated because that property has not been final platted as of yet.

173
174 Mr. Stubblefield asked staff what was the plan for the two properties to connect. Mr. Miller stated
175 once the roadway alignment for street type G comes into play when the property is platted those
176 two points will be connected.

177
178 Chad Cain
179 PO Box 2345
180 Rowlett, TX

181
182 Mr. Cain came forward and expressed his strong opposition to the request. His concerns are
183 with the high density these condominiums will create, shortening the sidewalks, and the
184 connectivity issues it presents that will affect his property. He urged the Commission to vote
185 against it.

186
187 Jimmy Strohmeier
188 2701 Sunset Ridge
189 Rockwall, TX

190

191 Mr. Strohmeyer came forward and stated he is one of the architects for the Summer Lee
192 Condominiums and one of their concerns looking at the proposed plan is where the road is
193 going because it is coming into a 24 foot dead end fire lane on their site that has a 20 foot
194 retaining wall against the creek. They were aware that a road would come in there eventually but
195 they have are finished engineering and have already submitted engineering plans. He stated that
196 looking at their proposed master they were aware the road would shift some but based it off of
197 City's Master Thoroughfare Plan. He stated he is not for or against the request but is concerned
198 with having a road that goes nowhere.

199
200 Chairman Renfro asked staff to address the comments given to help better understand.

201
202 Mr. Miller stated when the Summer Lee condominiums came in the City did require them to show
203 future roadway however it was indicated to them that a facilities agreement would be put in
204 place at the time of platting to establish the alignment of that roadway as well as the timing of
205 the roadway which was being tied to when the applicant of that case developed the back side of
206 that property or the adjacent property developed and that was indicated in that cases project
207 comments. The idea was always to establish the alignment when the adjacent properties
208 developed because even though everything is tied down to the Concept Plan, PD32 has many
209 moving parts and there is flexibility of Planning and Zoning and City Council to move those
210 parts in PD Development Plans. It was unsure what development was coming in or when it was
211 coming in and in order to allow flexibility at that time it was felt that in the best interest in all
212 involved to handle things in that manner.

213
214 Commissioner Lyons asked for clarification as roadway is built out over time and this request is
215 approved and Summer Lee goes in is the plan to get that back out to Ridge Road to where it is
216 not a dead end. Mr. Miller stated that was correct. Commissioner Lyons asked as other
217 developments come in would they be responsible to build the roadway until it goes out onto
218 Ridge Road. Mr. Miller stated that was correct that roadway would be connected until it generally
219 meets the alignment.

220
221 Mr. Miller added that this is a PD Development Plan establishing a roadway crossway, not a site
222 plan. The applicant is only asking for the road section at this time they have not engineered. It is
223 not setting the alignment in stone it is setting the cross section for that roadway. They will need
224 to demonstrate that they are not dead ending a roadway into a retaining wall.

225
226 Chairman Renfro noted that Commissioner Moeller arrived at the meeting at 7:12 p.m.

227
228 Russell Phillips
229 2701 Sunset Ridge Drive
230 Rockwall, TX

231
232 Mr. Phillips came forward and gave some background stating he is a developer and part owner
233 for Trend Tower and the land next to the Cinemark was purchased for development for condos.
234 He feels that whatever plan is put into place it need to be taken into consideration the
235 surrounding property owners to make sure the roadway works to tie them all together.

236
237 General discussion took place took place concerning what the original intent of PD32's
238 allocation of units for condominium/townhomes.

239
240 Chairman Renfro asked if anyone else wished to come forward to speak, there being no one
241 indicating such, Chairman Renfro closed the public hearing and asked the applicant to come
242 forward for rebuttal.

243
244 Chairman Renfro expressed concern of traffic concerns if condos/townhomes are all allocated to
245 one area.

246
247 Mr. Lentz came forward and stated they were given a set of criteria and concerns at the previous
248 meeting and those concerns have since been addressed. With concern of whether or not it can
249 handle the traffic he feels the road as it relates to the right of way was two lanes, the actual
250 traffic lanes in the right of way was always 24 feet of cars and 8 feet of parallel parking and that
251 has not changed. He stated he believes they have shown a willingness to address the concerns
252 and will continue to work with anyone in any manner that is needed.

253

254 Commissioner Lyons expressed concern of moving forward with the request without more
255 knowledge of how it would affect the overall original intent of PD32 and felt the two developers
256 could possibly work together.
257

258 Bruce Myers
259 5339 Alpha Road
260 Dallas, TX
261

262 Mr. Myers came forward and pointed out they are currently only asking for a variance to change
263 the roadway from the original 60 foot to a 40 foot. He stated he understands there is more work
264 to be done but are just seeking approval to move forward with the understanding that given the
265 constraint of where that creek aligns that the be allowed to take away some sidewalk in order to
266 accomplish that.
267

268 Commissioner Lyons asked when townhomes are built would they be crossing the creek. Mr.
269 Myers stated they would have to.
270

271 Commissioner Trowbridge noted that it comes down to cross section G which was outlined in a
272 PD that was established years ago and the decision the Commission has to make is whether or
273 not the 60 foot sidewalk that was established within the PD can be achieved as proposed by the
274 developer with 40 feet.
275

276 Chairman Renfro expressed concern with losing the walkability feel the original intent of the PD
277 established by losing the 20 feet of sidewalk.
278

279 Commissioner Lyons expressed concern for safety by making the sidewalk smaller along a
280 creek. He feels that although the developer has made changes to the original proposal taking
281 from the Commissioners concerns at the last meeting he still would like to see more changes
282 with applying the rules the original PD established and is leaning at saying no to the proposal at
283 this time.
284

285 Commissioner Logan made comment that if public streets have to be built according to ADA
286 requirements for sidewalks which is 4 feet, but if it appears to be a path it requires a sidewalk
287 would that rule apply to City streets. Mr. Miller stated they would technically meet that by having
288 the sidewalk on one side.
289

290 Commissioner Whitley expressed concern that although the Commission does see each case on
291 a case by case individual basis, they are all a piece of a bigger part of the City and although the
292 cases that come forward need to be considered individually, it needs to be thought out how each
293 case will interact and affect each other.
294

295 Commissioner Moeller expressed concern of losing the walkability feel that the intent of the
296 original PD32 established for this area.
297

298 General discussion took place concerning what direction should be taken.
299

300 Commissioner Trowbridge made motion to approve the item. Motion failed to pass due to there
301 being no second. Commissioner Lyons made a motion to continue the public hearing for the
302 next scheduled hearing. Chairman Renfro seconded the motion.
303

304 Mr. Miller clarified that according to the UDC action needs to be taken within 60 days of the first
305 public hearing date or the application will be considered withdrawn.
306

307 Commissioner Lyons made motion to deny the request. Commissioner Trowbridge seconded
308 the motion which passed by a vote of 4-2, with Commissioner Trowbridge and Logan dissenting
309 and Commissioner Fishman absent.
310

311
312
313 7. Z2016-026
314 Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the
315 approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger
316 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall

317 County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential*
318 *Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road
319 [FM-740] and Glen Hill Way, and take any action necessary.
320

321
322 Planning Director, Ryan Miller, gave brief explanation of request stating the public hearing on
323 this case was continued from the last meeting based on the alignment of the roadway on case
324 Z2016-025. The subject property is a 3 ½ acre tract of land located within the residential sub-
325 district, which according to what the applicant is proposing which is 36 townhomes the land use
326 charts contained within Ordinance 1021 do allow a townhome use through a Specific Use
327 Permit; however the intent of the residential sub-district is for 49 single family zero lot line
328 homes with rear entry garages and public streets. In light of what the applicant submitted staff
329 felt a PD Development Plan route would be more prudent to what is being proposed since it does
330 not conform to the intent of the residential sub-district. The applicant is proposing 36
331 townhomes that will range in size from 1,600 square feet to 2,500 square feet. They will be
332 accessible off a to be determined roadway and will extend through the site through a public or
333 private roadway. They will need to provide access to the property directly to the northeast of
334 them. In making that decision it is a discretionary decision to the Planning and Zoning
335 Commission and when looking at granting a PD Development Plan the ordinance requests that
336 the certain criteria be met which are that 1) meets the general intent of the PD District; and, 2)
337 will result in an improved project which will be an attractive contribution to the PD District; and,
338 3) will not prevent the implementation of the intent of this PD District. Taking that into
339 consideration the Specific Use Permit process is discretionary as well as the PD Development
340 Plan which means the Commission has discretion on the use that is being requested. Should it
341 be approved it will be required to go to the Architectural Review Board and Planning and Zoning
342 Commission during the site plan process.
343

344 Mr. Miller went on to state that on July 22, 2016, staff mailed 52 notices to property owners and
345 residents within 500-feet of the subject property and also emailed notices to the Lago Vista
346 Homeowner's Associations which is the only HOA's located within 1,500-feet of the subject
347 property. Staff received three responses in favor of the request and one response opposed to
348 the request was received by staff. Mr. Miller noted that there were no changes from the previous
349 case and the draft ordinance provided remains the same.
350

351 Chairman Renfro asked for questions for staff.
352

353 Commissioner Logan asked if the property to the northeast would be getting land locked except
354 for the driveway that is on the subject property. Mr. Miller stated they would not be land locked
355 they have the ability to request access off of Summer Lee Drive.
356

357 Chairman Renfro asked the applicant to come forward.
358

359 Jason Lentz
360 5339 Alpha Road
361 Dallas, TX
362

363 Mr. Lentz came forward and stated the layout to the townhome portion adjacent to the condos
364 has not changed significantly from the last presentation at the previous meeting. They are still
365 requesting the variance from 49 zero lot line single family homes to 36 townhomes in clusters of
366 4 to 6 homes each with front entry garages and will range from 1,600 square feet to 2,600 square
367 feet in size. He stated one of the keys is that they are lowering the density of this space where
368 there were 49 homes approved previously to the 36 that are being requested. He believes this
369 product serves this site in a better way. Access will come off of the to be determined roadway
370 and propose to cross the creek for access and run down through the townhome development
371 providing access to the site north.
372

373 Chairman Renfro opened the public hearing and asked anyone who wished to speak to come
374 forward.
375

376
377 Chad Cain
378 PO Box 2345
379 Rowlett, TX

380 Mr. Cain came forward and expressed his strong opposition to the request. Stated by approving
381 this request it would be setting a precedent for other similar requests to come forward. He feels
382 the original intent of single family zero lot line homes with rear entry garages should not be
383 changed. He urged the Commission to deny the request.

384
385 Chairman Renfro asked the applicant to come forward for rebuttal.

386
387 **Bruce Myers**
388 **5339 Alpha Road**
389 **Dallas, TX**

390
391 Mr. Myers came forward and stated that the original intent of the residential subdivision was to
392 provide single family residences and noted that a townhome is a single family residence. The
393 only differentiation from the original intent is that the townhomes touch one another, where a
394 single family lot has a five foot gap between them. He feels as a development a townhome is a
395 much more attractive look. They are requesting front entry garages which will allow for a yard.

396
397 Chairman Renfro closed the public hearing and brought the item back to the Commission for
398 discussion.

399
400 Chairman Renfro asked if the townhomes will be sold individually. Mr. Myers stated they would
401 be sold individually.

402
403 Commissioner Trowbridge asked if zero lot line homes have a height restriction or is it simply
404 the concept of how it sits on the land. Mr. Miller stated that in the straight zero lot line zoning
405 district it is restricted to 36 feet.

406
407 Commissioner Lyons asked how big the front yards would be. Mr. Myers stated it would be
408 approximately 25 feet there would be a driveway with the landscape islands in between the
409 driveways which will be anywhere from 6-12 feet depending on how the garages are spread out.
410 Mr. Myers provided a picture of what it would look like.

411
412 Commissioner Whitley asked if there would be an HOA established. Mr. Myers stated there will
413 be a Home Owners Association because there will be common areas.

414
415 Commissioner Lyons asked what kind of garage doors they will be utilizing. Mr. Myers stated
416 they have not made a decision on that as of yet.

417
418 Commissioner Trowbridge made motion to approve the item. Commissioner Logan seconded
419 the motion, which passed with a by a vote of 4-2 with Commissioner Lyons and Chairman
420 Trowbridge dissenting and Commissioner Fishman absent.

421
422 Chairman Renfro called a ten minute recess at 8:30 p.m.

423
424 Chairman Renfro called the meeting back to order at 8:47 p.m.

425
426
427 VI. DISCUSSION ITEMS

428
429 8. Z2016-023
430 Hold a public hearing to discuss and consider a request by Kevin Dale Wommack & Pamela McCollum
431 for the approval of an amendment to *Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02]*
432 to allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV,
433 Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17,
434 Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate
435 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle, and take any action necessary.

436
437 Planner, **Korey Brooks**, advised the Commission the applicant was present to answer any
438 questions.

439
440 **Dale Wommack**
441 **1970 Copper Ridge Circle**
442 **Rockwall, TX**

443 Mr. Wommack came forward and showed picture of existing metal building that is 22x31 feet and
444 stated he would like to continue the length of the building the same size that it is just double the
445 size with an open air pavilion in front of the building.
446

447 Commissioner Trowbridge asked if it would be double. Mr. Wommack stated it would be instead
448 of 22x31 feet it will be 22x62 feet.
449

450 Chairman Renfro made comment of applicant asking for an SUP therefore a precedent would not
451 be set as it is a case by case basis in requests such as these. Mr. Wommack stated there is an
452 existing SUP for the existing building he requesting to amend it.
453

454 There being no further questions Chairman Renfro indicated the case will return to the
455 Commission for action at the next scheduled meeting.
456
457

458 9. Z2016-028

459 Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning
460 change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land
461 identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas,
462 zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001
463 Ridge Road, and take any action necessary.
464
465

466 Planning Director, Ryan Miller, stated applicant was present and available for questions.
467

468 Susan Gamez
469 602 Laurence
470 Heath, TX
471

472 Ms. Gamez came forward and stated her current business Everybody Massage is located at 1024
473 Ridge Road and she has been at that location for eleven years. She is asking to have the zoning
474 change to allow her to move her business to this new property which is double the size of her
475 current business and would allow her room to grow. She currently has five therapists, five
476 massage rooms and five clients and going at any given time but only has eight parking spaces.
477 She stated she has been looking for years for a property that would be suitable to move and had
478 not been successful in her search until this property became available which she feels is ideal
479 because on one side it is already commercial, it is double the size and also because it maintains
480 a Ridge Road address as her current business has a Ridge Road address.
481

482 Chairman Renfro asked if she was unable to move the business without making the zoning
483 change to Commercial.
484

485 Mr. Miller stated that the applicant is required to re-zone the property, currently the Future Land
486 Use Map is set up calls out this property as being a Single Family 7 in the future, however the
487 applicant does have commercial adjacencies. Alternatively the Commission could make a
488 recommendation to Council to have it be something more restrictive such as a Residential
489 Office, which that designation would still allow her business.
490

491 Commissioner Trowbridge asked the applicant if she will be purchasing the property if it is
492 currently being uses as someone's home. Ms. Gamez stated she has already purchased the
493 property and is currently vacant.
494

495 Mr. Miller added that he would be providing the Commission with the zoning requirements for
496 this use on this property for them to review if the zoning is appropriate or if there is another
497 zoning designation that they may want to consider.
498

499 Commissioner Whitley asked staff if due to it being secluded what signage would be allowed to
500 draw in the Ridge Road traffic. Mr. Miller stated the applicant would be subject to the City's sign
501 requirements and currently there is not a process nor is off site signage allowed. A sign would
502 be allowed but it would have to be on her property and those requirements have already been
503 discussed with the applicant.
504

505 There being no further questions Chairman Renfro indicated the case will return to the
Commission for action at the next scheduled meeting.

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10. Z2016-029

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the intersection of SH-205 [S. *Goliad Street*] and FM-549, and take any action necessary.

Senior Planner, David Gonzales, gave brief explanation of request stating that the applicant is requesting a SUP for the eight gasoline dispensers on the corner of SH-20 and FM-549 and added that the applicant was present to answer any question.

**Jimmy Strohmeyer
2701 Sunset Hill
Rockwall, TX**

Mr. Strohmeyer came forward and gave brief explanation of request stating that the property has been re-platted and have sectioned it off and the corner piece is where they are requesting to put the gas station. He feels it is an ideal location for a convenient/gas station at the corner of SH-205 and FM-549. The reason for the SUP is they are requesting eight dispensers rather than the two dispensers that are rarely seen anymore.

Commissioner Trowbridge asked if it was only limited to the two dispensers and what zoning allowed for more than the two dispensers. Mr. Gonzales stated that within the General Retail Zoning District which is a less intense use it is limited to two dispensers unless a Specific Use Permit is given. Commercial District has no restrictions unless it is within a Planned Development.

There being no further questions Chairman Renfro indicated the case will return to the Commission for action at the next scheduled meeting.

11. P2016-038

Discuss and consider a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2, Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 601 E. Rusk Street, and take any action necessary.

Planner Korey Brooks gave brief explanation of request stating that the applicant is proposing to subdivide one tract of land into two parcels. The reason this is coming before the Commission and not on the consent agenda is because this plat will need to go before the Parks Board on September 7th and once the Parks Board send over their recommendation it will be on the consent agenda at the next Planning and Zoning meeting.

Commissioner Trowbridge asked what the Parks Board would be approving. Mr. Brooks stated the Parks Board is going to establish the Parks fees associated with splitting the lot.

There being no further questions Chairman Renfro indicated the case will return to the Commission for action at the next scheduled meeting.

12. P2016-039

Discuss and consider a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1406 Ridge Road, and take any action necessary.

Planner, Korey Brooks, gave brief explanation of request stating that as mentioned with the previous plat this item also will need to go before the Parks Board for their recommendation of

568 park fees, and will be on the consent agenda at the next scheduled Planning and Zoning meeting
569 on September 13th.

570
571 **There being no further questions Chairman Renfro indicated the case will return to the**
572 **Commission for action at the next scheduled meeting.**

573
574
575 13. SP2016-016

576 Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James
577 & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on
578 an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey,
579 Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District,
580 addressed as 496 National Drive, and take any action necessary.

581
582 **Senior Planner, David Gonzales, gave brief description of request stating that the subject**
583 **property is zoned Heavy Commercial and applicant is proposing to have an additional 3,600**
584 **square building which is more than half the size of the existing building. Mr. Gonzales advised**
585 **the Commission the applicant was present and could further explain request and answer any**
586 **questions.**

587
588 **Tim Seymore**
589 **205 Rushcreek**
590 **Heath, TX**

591
592 **Mr. Seymore came forward and stated the sole purpose to build the storage building is to store**
593 **equipment from their erosion control business.**

594
595 **There being no questions, Chairman Renfro indicated the case will return to the Commission for**
596 **action at the next scheduled meeting.**

597
598
599 14. SP2016-017

600 Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended
601 site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract
602 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned
603 Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District,
604 located on the north side of John King Boulevard east of the intersection of John King Boulevard and
605 SH-205, and take any action necessary.

606
607
608 **Senior Planner, David Gonzales, gave a brief overview of request stating that Life Spring Church**
609 **has an approved site plan that came before the Commission a year ago at which time the site**
610 **plan as well as building elevations was approved. At that time the site plan called for a 25,000**
611 **square foot building and it went through the Architectural Review Board and had variances**
612 **approved for articulation to the building. Since then the applicant is currently requesting to**
613 **amend the building elevations. Mr. Gonzales provided pictures to compare and contrast of what**
614 **was approved and what the applicant is currently requesting. The Architectural Review Board**
615 **met with the applicant earlier in the evening and provided comments. Mr. Gonzales advised the**
616 **Commission the applicant was present to answer any questions.**

617 **Kelly Horak**
618 **516 Equestrian**
619 **Rockwall, TX**

620
621 **Mr. Horak came forward and stated he is present on behalf of Life Spring Church as a**
622 **consultant. He stated the original project as it was approved was for a 25,000 square foot**
623 **building but due to budgetary constraints, Mr. Walker and his congregation decided to reduce**
624 **the size of the building to 16,839 square feet by doing away with the gymnasium in the building.**
625 **Now that the building has been reduced in size they would like to request to do away with the**
626 **double slope roof and do a single slope. The future addition of the gymnasium will be a**
627 **standalone offset higher set building away from the main building that will be screened in the**
628 **back.**

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There being no questions, Chairman Renfro indicated the case will return to the Commission for action at the next scheduled meeting.

Chairman Renfro brought item number 5 back and asked for discussion or motions for electing a Vice-Chairman and asked if anyone wished to nominate someone or nominate themselves to do so. Commissioners Trowbridge and Lyons both expressed desire to be nominated.

Chairman Renfro made a motion to nominate Commissioner Lyons. Commissioner Logan seconded the motion, which passed by a vote of 6-0, with Commissioner Fishman absent.

15. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- ✓ P2016-023: Master Plat for the Saddle Star South Subdivision [*Approved*]
- ✓ P2016-024: Preliminary Plat for the Saddle Star South Subdivision [*Approved*]
- ✓ P2016-035: Lot 1, Block 1, Carmel Carwash Addition [*Approved*]
- ✓ SP2016-015: Exception to the Masonry Requirements for Adventure Sports [*Approved*]
- ✓ Z2016-019: Planned Development District for Multi-Family Apartment Complex [*Denied*]
- ✓ Z2016-020: SUP for a Carport at 509 Sunset Hill Drive (*2nd Reading*) [*Approved*]
- ✓ Z2016-021: Zoning Amendment to PD-52 for Townhomes (*2nd Reading*) [*Approved*]
- ✓ Z2016-022: SUP for SPR Packaging, LLC (*1st Reading*) [*Approved*]
- ✓ Z2016-027: Amendment to Sec. 2.1, 3.3 & 3.4 of Article V of the UDC (*1st Reading*) [*Approved*]

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting. No discussion took place concerning this agenda item.

VII. ADJOURNMENT

The meeting adjourned at 9:24 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2016.

Craig Renfro, Chairman

Attest:

Laura Morales, Planning Coordinator

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 09/13/2016

APPLICANT: Billy and Autumn Quinton

AGENDA ITEM: P2016-038; *Lots 1 & 2, Block A, Autumn Addition*

SUMMARY:

Discuss and consider a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2, Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 601 E. Rusk Street, and take any action necessary.

PLAT INFORMATION:

- The objective of this request is to final plat one (1) parcel of land [*Lot 120, Block F, B.F. Boydston Addition*] into two (2) parcels of land [*Lots 1 & 2, Block A, Autumn Addition*] for the purpose of establishing two (2) parcels.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for final plats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to approve the *final plat* for *Lots 1 & 2, Block A, Autumn Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *final plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2016-038	Owner BURKS, PAULETTE &	Applied 8/12/2016	LM
Project Name 601 E Rusk Street	Applicant BILLY & AUTUMN QUINTON	Approved	
Type PLAT		Closed	
Subtype FINAL		Expired	
Status STAFF REVIEW		Status 8/12/2016	LM
 Site Address 601 E RUSK		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision B F BOYDSTON	Tract NULL	Block 120F	Lot No NULL
		Parcel No 3140-120F-0000-00-OR	General Plan

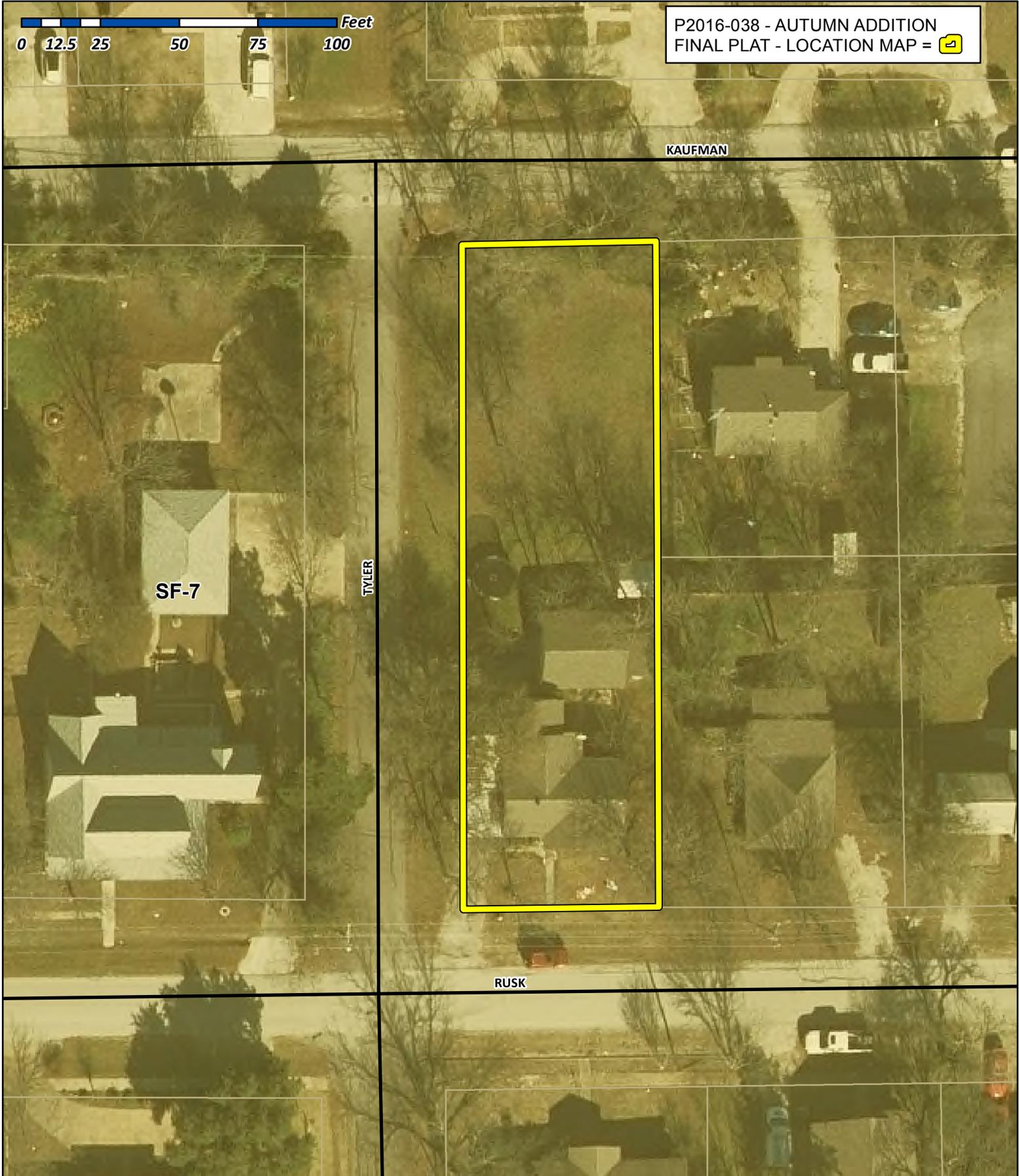
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING (8/19/2016 1:37 PM AW) Property owners will be extending public sewer and possibly adding fire hydrants at their cost when property develops.	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	APPROVED W/ CONDITIONS	See Condition
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING (8/24/2016 3:44 PM KB) P2016-039 Autumn Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Korey Brooks	8/12/2016	8/19/2016	8/24/2016	12	COMMENTS	Comments

- I.1 This a request by Billy & Autumn Quinton for the approval of a final plat of Lots 1 & 2, Block A, Autumn Addition being a replat of a 0.35-acre tract of land identified as Lot 120, Block F of the B. F. Boydstun Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 601 E. Rusk Street.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-038) in the lower right hand corner of all pages on future submittals.
- M.4 Please add lot and block designation to title block.
- M.5 The rear setback is 10-feet. Since the building on the northwest corner of Lot 1 is not 10 feet from the rear property line, it must be removed.
- M.6 Please provide the following comment in NOTES "It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>additional information that is requested by September 7, 2016. The Park Board Meeting is September 7, 2016. The Planning & Zoning Worksession date for this case will be August 30, 2016. The Planning and Zoning Meeting for this case is September 13, 2016. I.8 The City Council meeting date and subsequent approval for this plat is September 19, 2016.</p>						

0 12.5 25 50 75 100 Feet

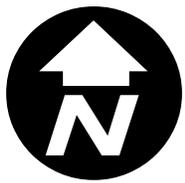
P2016-038 - AUTUMN ADDITION
FINAL PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 09/13/2016

APPLICANT: Jay Maddox; *Maddox Survey*

AGENDA ITEM: **P2016-039**; *Lots 1 & 2, Block A, Burke Addition*

SUMMARY:

Discuss and consider a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1406 Ridge Road, and take any action necessary.

PLAT INFORMATION:

- The objective of this request is to final plat one (1) tract of land [*Tract 19 of the D. Atkins Survey, Abstract No. 1*] into two (2) parcels of land [*Lots 1 & 2, Block A, Burke Addition*] for the purpose of subdividing the tract of land into two (2) parcels.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for final plats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to approve the *final plat* for *Lots 1 & 2, Block A, Burke Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *final plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



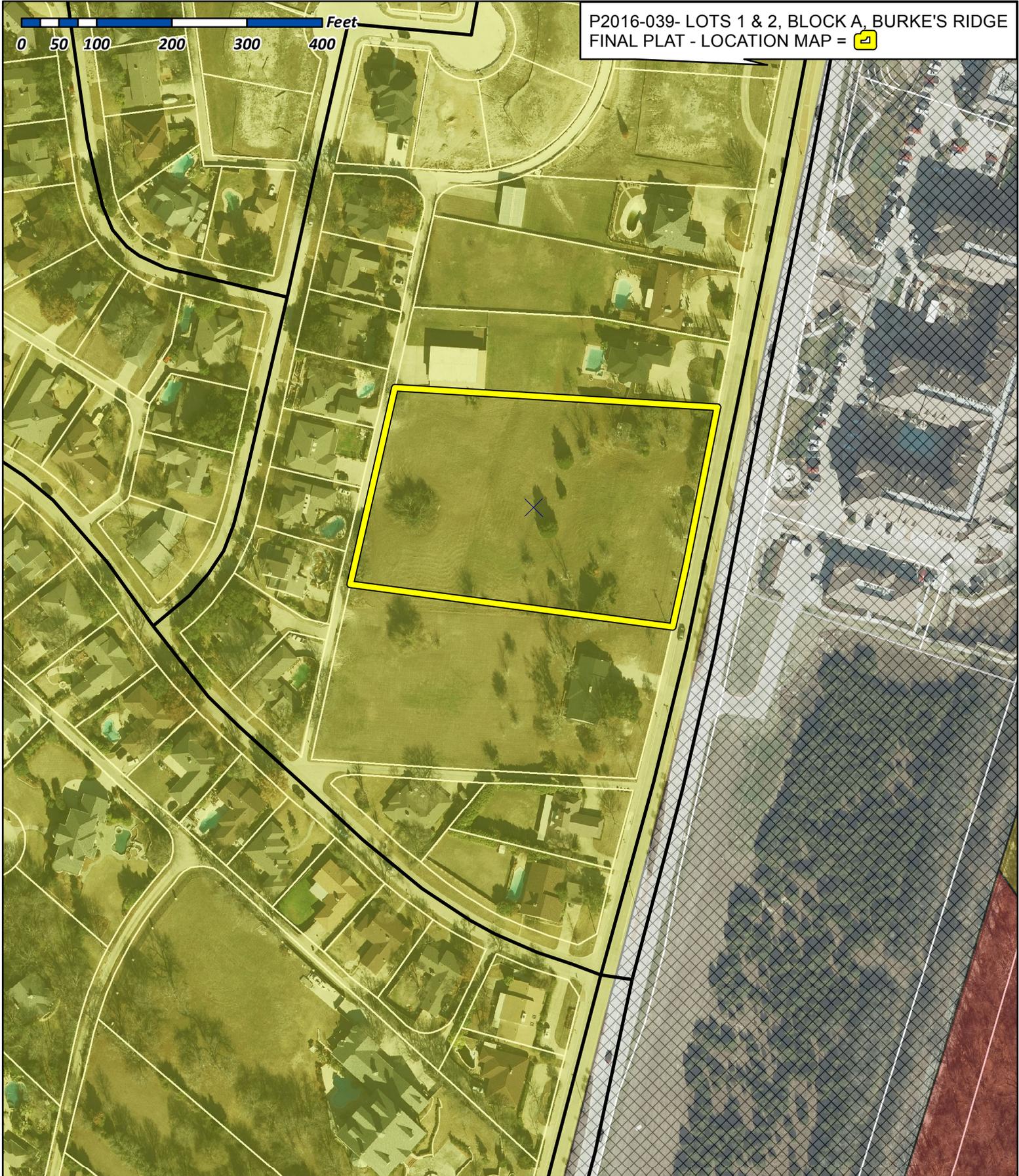
Project Number P2016-039	Owner BURKE, CASEY JOE AND ANDREA GAYDEN	Applied 8/12/2016 LM
Project Name 1406 Ridge Road	Applicant MADDOX SURVEY	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 8/12/2016 LM

Site Address 1406 RIDGE RD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision CARROLL ESTATES SUBD	Tract 19	Block NULL	Lot No 19	Parcel No 0001-0000-0019-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	8/12/2016	8/19/2016	8/25/2016	13	APPROVED	
ENGINEERING (8/19/2016 1:34 PM AW) Driveways to be approved by TXDOT and City. May need a variance	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	APPROVED W/ CONDITIONS	See Condition
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING (8/24/2016 2:55 PM KB) P2016-039 Burkes Ridge Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Korey Brooks	8/12/2016	8/19/2016	8/24/2016	12	APPROVED	Comments

- I.1 This a request by Jay Maddox of Maddox Survey on behalf of Casey & Andrea Burke for the approval of a final plat of Lots 1 & 2, Block A, Burke Addition being a 2.970-acre tract of land identified as Tract 19 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1406 Ridge Road.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-039) in the lower right hand corner of all pages on future submittals.
- I.4 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by September 7, 2016. The Park Board Meeting is September 7, 2016. The Planning & Zoning Worksession date for this case will be August 30, 2016. The Planning and Zoning Meeting for this case is September 13, 2016.
- I.5 The City Council meeting date and subsequent approval for this plat is September 19, 2016.



P2016-039- LOTS 1 & 2, BLOCK A, BURKE'S RIDGE
 FINAL PLAT - LOCATION MAP = [yellow square icon]

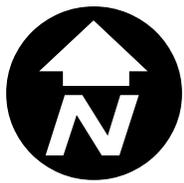
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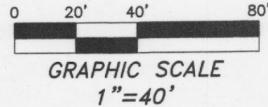


City of Rockwall

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Legend of Symbols & Abbreviations

- (C.M.) = CONTROLLING MONUMENT
- 1/2" IRF = 1/2" IRON ROD FOUND
- 1/2" CIRF = 1/2" IRON ROD WITH CAP STAMPED "R.S.C.I. R.P.L.S. 5034" FOUND
- 5/8" CIRS = 5/8" CAPPED IRON ROD SET STAMPED "MADDOX SURVEYING R.P.L.S. 5430"
- R.O.W. = RIGHT-OF-WAY
- AC = ACRES
- SF = SQUARE FEET
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. = DEED RECORDS ROCKWALL COUNTY, TEXAS

SURVEY NOTES:

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.
2. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.

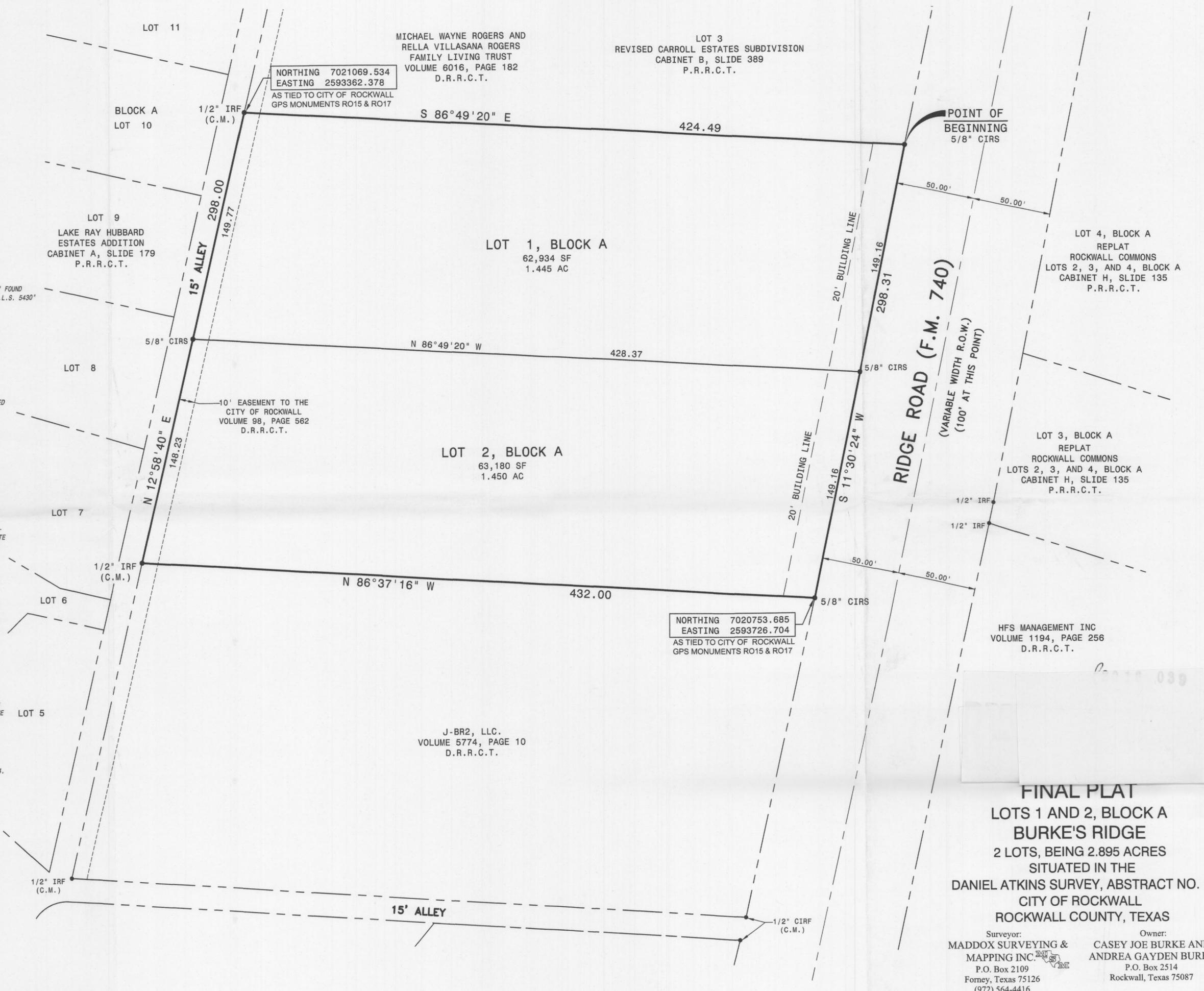
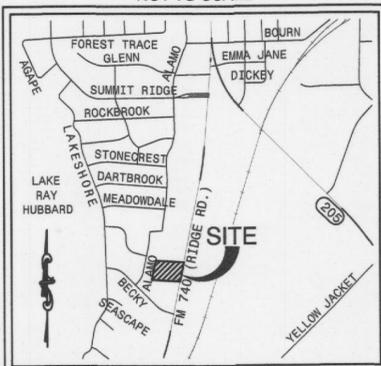
FLOOD NOTE:

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48397C0040 L, DATED SEPTEMBER 26, 2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).
2. ZONE "X" (OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
3. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

GENERAL NOTES:

IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

VICINITY MAP
NOT TO SCALE



FINAL PLAT
LOTS 1 AND 2, BLOCK A
BURKE'S RIDGE
 2 LOTS, BEING 2.895 ACRES
 SITUATED IN THE
DANIEL ATKINS SURVEY, ABSTRACT NO. 1
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Surveyor: **MADDOX SURVEYING & MAPPING INC.**
 P.O. Box 2109
 Forney, Texas 75126
 (972) 564-4416
 Firm Reg. No. 10013200

Owner: **CASEY JOE BURKE AND ANDREA GAYDEN BURKE**
 P.O. Box 2514
 Rockwall, Texas 75087

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS }
COUNTY OF ROCKWALL }

That we the undersigned owner's of the land shown on this plat, and designated herein as **BURKE'S RIDGE** to the City of Rockwall, Texas, and whose name's are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **BURKE'S RIDGE** have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We and our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

Casey Joe Burke
CASEY JOE BURKE
OWNER

Andrea Gayden Burke
ANDREA GAYDEN BURKE
OWNER

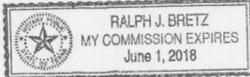
STATE OF TEXAS }
COUNTY OF Rockwall }

Before me, the undersigned authority, on this day personally appeared CASEY JOE BURKE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 10th day of August, 2016.

Ralph J. Bretz
Notary Public in and for the State of Texas

June 1, 2018
My Commission Expires:



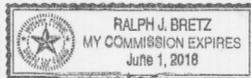
STATE OF TEXAS }
COUNTY OF Rockwall }

Before me, the undersigned authority, on this day personally appeared ANDREA GAYDEN BURKE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 10th day of August, 2016.

Ralph J. Bretz
Notary Public in and for the State of Texas

June 1, 2018
My Commission Expires:



NORTH DALLAS BANK

By: Jeff E. Crow
Name: Jeff E. Crow
Title: Senior Vice President

STATE OF TEXAS }
COUNTY OF Dallas }

Before me, the undersigned authority, on this day personally appeared Jeff E. Crow, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 9 day of August, 2016.

Lisa Rushing
Notary Public in and for the State of Texas

8-24-2017
My Commission Expires:



RECOMMENDED FOR FINAL APPROVAL

Chairman, Planning & Zoning Commission _____ Date _____

I hereby certify that the above and foregoing plat of Final Plat of LOTS 1 AND 2, BLOCK A, BURKE'S RIDGE to the City of Rockwall, Texas was approved by the Mayor of the City of Rockwall on the _____ day of _____, 2016.

This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one year from said date of final approval. An extension may be granted by the City Council.

Said Addition shall be subject to all the requirements of the Platting Ordinance of the City of Rockwall.

Witness my hand this the _____ day of _____, 2016.

Mayor, City of Rockwall _____ Date _____ City Secretary, City of Rockwall _____ Date _____

City Engineer, City of Rockwall _____ Date _____

OWNERS CERTIFICATE

STATE OF TEXAS }
COUNTY OF ROCKWALL }

WHEREAS, Casey Joe Burke and Andrea Gayden Burke are the owners of a tract of land in the DANIEL ATKINS Survey, Abstract No. 1, situated in the City of Rockwall, Rockwall County, Texas, being all of said tract as recorded in Instrument Number 2015000015889 of the Official Public Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the northeast corner of said Gayden tract, and the southeast corner of Lot 3 of Carroll Estates, an addition to the City of Rockwall as recorded in Cabinet B, Slide 389 of the Plat Records of Rockwall County, Texas, same being a tract of land to Michael Wayne Rogers and Rella Villasana Rogers Family Living Trust as recorded in Volume 6016, Page 182 of the Deed Records of Rockwall County, Texas, and lying on the west right-of-way line of F.M. Highway 740 (Ridge Road), a variable width right-of-way;

THENCE South 11 degrees 30 minutes 24 seconds West along the west line of said F.M. Highway 740 (Ridge Road) and the east line of said Burke tract, a distance of 298.31 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the southeast corner of said Burke tract and the northeast corner of a tract of land to J-BR2, LLC, an addition to the City of Rockwall, as recorded in Volume 5774, Page 10 of the Deed Records of Rockwall County, Texas;

THENCE North 86 degrees 37 minutes 16 seconds West departing the west line of said F.M. Highway 740 (Ridge Road) and along the common line between said Burke tract and said J-BR2 tract, a distance of 432.00 feet to a 1/2 inch iron rod found for the southeast corner of said Burke tract and the northwest corner of said J-BR2 tract, said point also lying on the easterly line of a 15' alley, same being an easterly line of Lake Ray Hubbard Estates Addition, an addition to the City of Rockwall as recorded in Cabinet A, Slide 179 of the Plat Records of Rockwall County, Texas;

THENCE North 12 degrees 58 minutes 40 seconds East along the easterly line of said 15' alley/Lake Ray Hubbard Estates, a distance of 298.00 feet to a 1/2 inch iron rod found for the northwest corner of said Burke tract and the southwest corner of the aforementioned Lot 3 of Carroll Estates, same being said Michael Wayne Rogers and Rella Villasana Rogers Family Living Trust tract;

THENCE South 86 degrees 49 minutes 20 seconds East departing said 15' alley/Lake Ray Hubbard Estates and along the common line of said Burke tract and said Lot 3 of Carroll Estates, same being said Michael Wayne Rogers and Rella Villasana Rogers Family Living Trust tract, a distance of 424.49 feet to the POINT OF BEGINNING containing 126,114 square Feet, or 2.895 acres of land.

SURVEYORS CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, BRIAN J. MADDOX, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION .

WITNESS UNDER MY HAND THIS THE _____ DAY OF _____, 2016.

Brian J. Maddox
BRIAN J. MADDOX,
STATE OF TEXAS,
R.P.L.S. NO. 5430

FINAL PLAT
LOTS 1 AND 2, BLOCK A
BURKE'S RIDGE
2 LOTS, BEING 2.895 ACRES
SITUATED IN THE
DANIEL ATKINS SURVEY, ABSTRACT NO. 1
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Surveyor: **MADDOX SURVEYING & MAPPING INC.**
P.O. Box 2109
Forney, Texas 75126
(972) 564-4416
Firm Reg. No. 10013200

Owner: **CASEY JOE BURKE AND ANDREA GAYDEN BURKE**
P.O. Box 2514
Rockwall, Texas 75087

08-5-2016 SHEET 2 OF 2



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: September 13, 2016

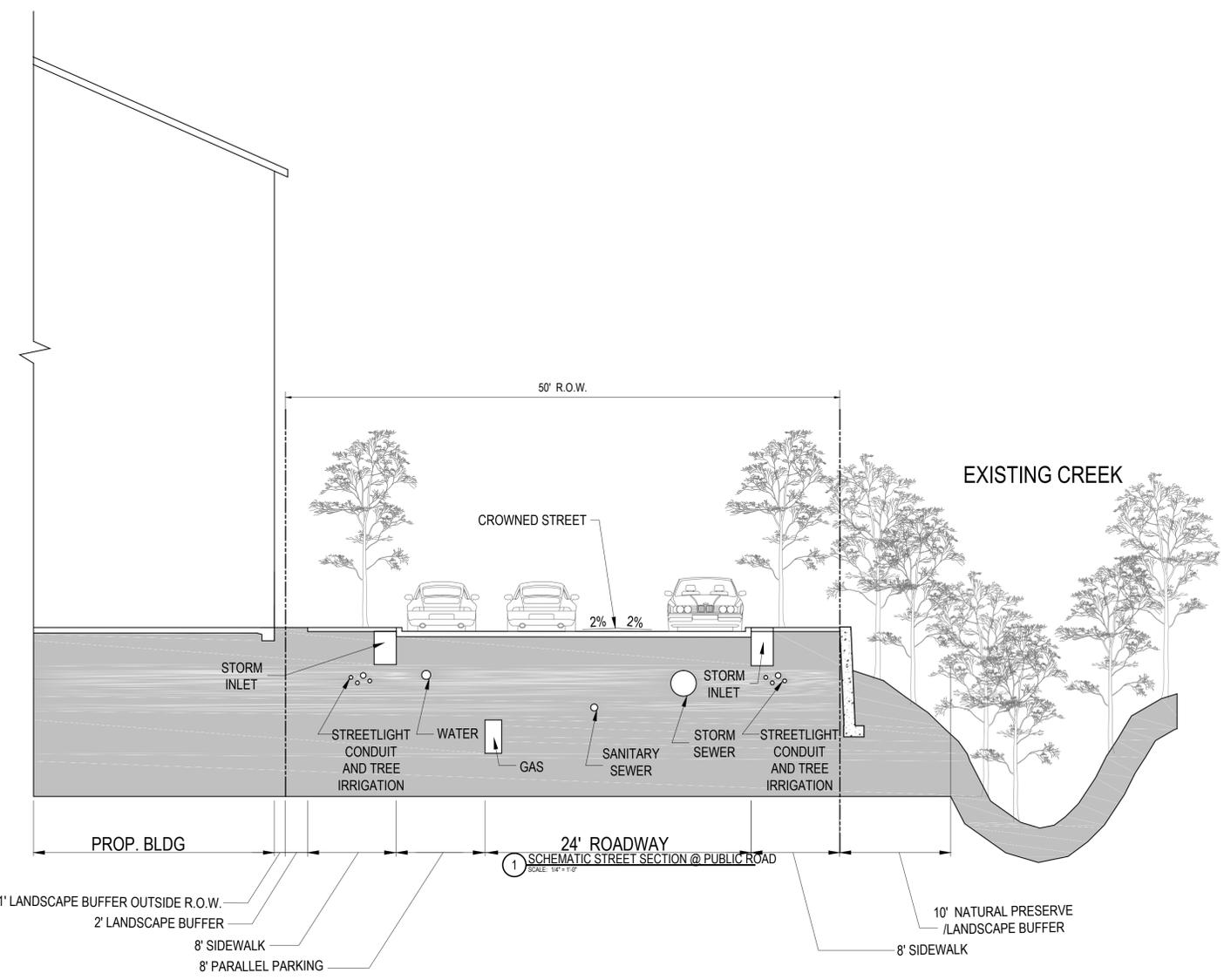
SUBJECT: Z2016-025; *Harbor Urban Center Condominiums*

At the September 6, 2016, City Council meeting the applicant proposed a 50-foot street cross section in lieu of the 40-foot street cross section voted on at the August 30, 2016 Planning and Zoning Commission meeting. In response to this change, the City Council voted 6-0 to remand the case back to the Planning and Zoning Commission. As was discussed in past meetings, the applicant is requesting a *PD Development Plan* to change the required *Street Type 'G'* cross section contained in *Ordinance No. 10-21 (i.e. Planned Development District 32 [PD-32])*. This street cross section calls for eight (8) foot sidewalks and parkways, a 24-foot travel lane and an eight (8) foot parallel parking lane in a 60-foot right-of-way. The new cross section proposed by the applicant proposes eight (8) foot sidewalks, a two (2) foot parkway (*on the northern/western side of the roadway*), a 24-foot travel lane and an eight (8) foot parallel parking lane in a 50-foot right-of-way. The applicant has stated that the adjacent creek inhibits the ability to provide the required street cross section; however, in the applicant's opinion -- *and as was stated at the September 6, 2016 City Council meeting* -- the proposed road section meets the intent of the ordinance because the creek area will be preserved as open space, which mitigates his inability to provide a wider parkway. A *side-by-side* comparison of the two (2) roadways is included in the attached packet.

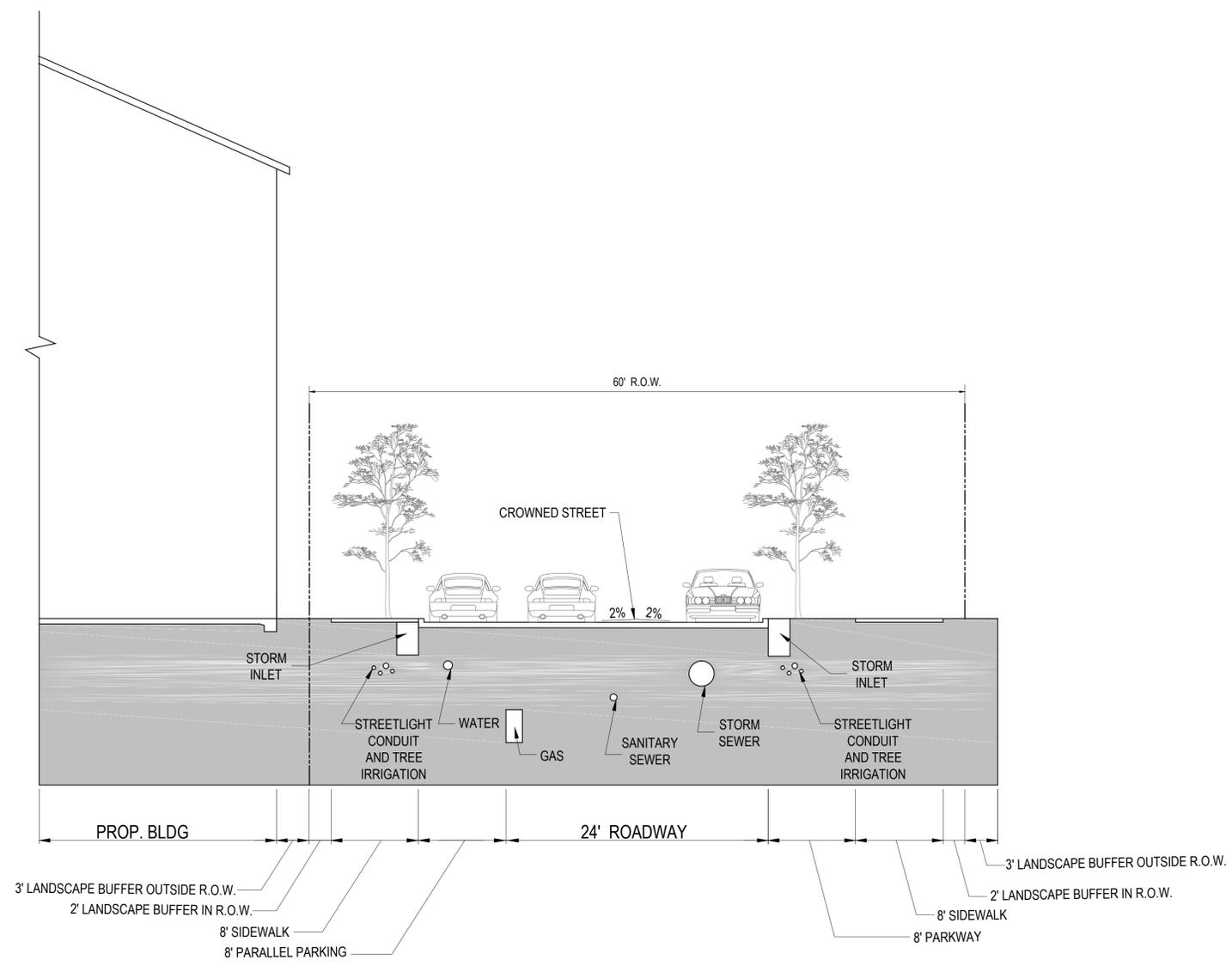
Based on questions by the Planning and Zoning Commission and the adjacent property owner at the August 30, 2016 Planning and Zoning Commission meeting, staff has reviewed the proposed alignment of the roadway and determined that it does meet the alignment depicted on the *Streetscape Plan* contained in *Ordinance No. 10-21*. It should also be pointed out that the proposed alignment does not increase/change the adjacent property owner's responsibility for completing the roadway. Considering this, it should be noted that the only issue being addressed with the proposed *PD Development Plan* is the amended cross section for *Street Type 'G'*. Staff has included a copy of the proposed concept plan for reference. As was stated previously, since this request [*i.e. a request to modify an established street cross section*] does not fall under the waivers listed in *Section 9.C, Waivers of Design Standards, of Ordinance No. 10-21*, the waiver is considered to be an amendment to Planned Development District 32 (PD-32), and in accordance with the amendment process staff has prepared a draft ordinance for the Planning and Zoning Commission and City Council's review (*see attached draft ordinance*). In addition, according to *Ordinance No. 10-21*, "(w)aiuers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission ... (i)n order to approve a waiver the City Council must find that the waiver:

- (a) Meets the general intent of the PD District or Subdistrict in which the property is located; and,
- (b) Will result in an improved project which will be an attractive contribution to the PD District or Subdistrict; and,
- (c) Will not prevent the implementation of the intent of this PD District."

As was stated previously, this case is a discretionary decision for the Planning and Zoning Commission and City Council.



PROPOSED STREET SECTION



PD-32 STREET TYPE G STREET SECTION

STREET SECTION

September 1, 2016

A501
Z2016-025

HARBOUR URBAN CENTER
Rockwall, TX
HPA# 16205



HARBOUR URBAN CENTER - PODIUM						ATTICUS REAL ESTATE	2016205
UNIT TABULATION: BLDG TYPE I, 4 OVER 2 PODIUM							9/7/16
UNIT NAME	UNIT TYPE	NET RENTABLE	UNIT COUNT	PERCENTAGE	TOTAL RENTABLE	% BREAKDOWN	
E2	EFF.	485	22	10%	10,670	10%	
A1	1br/1ba	647	8	4%	5,176	57%	
A2	1br/1ba	618	54	24%	33,372		
A3	1br/1ba	650	27	12%	17,550		
A4	1br/1ba	736	34	15%	25,024		
A5	1br/1ba	683	8	4%	5,464		
B2	2br/2ba	944	16	7%	15,104	33%	
B3	2br/2ba	1,048	19	8%	19,912		
B4	2br/2ba	1,101	29	13%	31,929		
B5	2br/2ba	1,279	11	5%	14,069		
TOTALS			228	100%	178,270	100%	

UNIT AVERAGE NET SF : 781.89

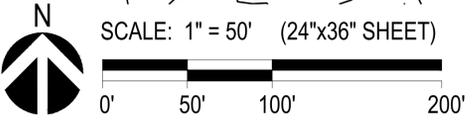
* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

PROJECT DATA

HUD GROSS TOTAL UNIT AREA :	178,270 S.F.
UNIT AVERAGE NET SF :	781.89 S.F.
ACREAGE:	1.89 ACRES
DENSITY:	120.41 UNITS/ACRE

PARKING:

REQUIRED	365 SURFACE SPACES (1.6/UNIT)
PROVIDED	385 GARAGE SPACES
	13 SURFACE SPACES
	398 TOTAL SPACES
	1.75 SPACES/UNIT



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CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 3.453-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for a 228 unit, condominium development to be situated within the *Interior Subdistrict* of Planned Development District 32 (PD-32) on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 10-21* and the official zoning map of the City of Rockwall so as to approve a *PD Development Plan* for the *Subject Property*; and,

Section 2. That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*, and,

Section 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G₁'* standards stipulated in *Exhibit 'D'* of this ordinance; and,
- 2) The minimum building setback adjacent to *Street Type 'G₁'* shall be one (1) foot; and,
- 3) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 4) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 5) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 6) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

Section 5. The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

Section 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City

Council of the City of Rockwall, Texas;

Section 9. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 19TH DAY OF SEPTEMBER, 2016.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 6, 2016

2nd Reading: September 19, 2016

LEGAL DESCRIPTION

DRAFT
ORDINANCE
09.13.2016

**Exhibit 'B':
Concept Plan**

HARBOUR URBAN CENTER - PODIUM				ATTICIOUS REAL ESTATE			
UNIT NAME	UNIT TYPE	NET RENTABLE	UNIT COUNT	PERCENTAGE	TOTAL RENTABLE	% BREAKDOWN	20162025 9/17/16
E2	EFF	485	22	10%	10,670	10%	
A1	1br/1ba	647	8	4%	5,176		
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A4	1br/1ba	735	34	15%	25,024		
A5	1br/1ba	683	8	4%	5,464		
B2	2br/2ba	944	16	7%	15,104		
B3	2br/2ba	1,048	19	8%	19,912	33%	
B4	2br/2ba	1,101	29	13%	31,929		
B5	2br/2ba	1,279	11	5%	14,069		
TOTALS			228	100%	178,270	100%	

UNIT AVERAGE NET SF:	781.89
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NET AREA COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE AN SPACE. IT DOES NOT INCLUDE PORCH, BALCONIES, PATIO OR LOUNGE STORAGE.

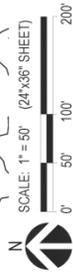
PROJECT DATA	
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UNIT AVERAGE NET SF:	781.89 S.F.
ACREAGE:	1.89 ACRES
DENSITY:	120.41 UNITS/ACRE

PARKING:	
REQUIRED:	385 SURFACE SPACES (1.60 UNIT)
PROVIDED:	385 GARAGE SPACES
	13 SURFACE SPACES
	398 TOTAL SPACES
	1.75 SPACES/UNIT



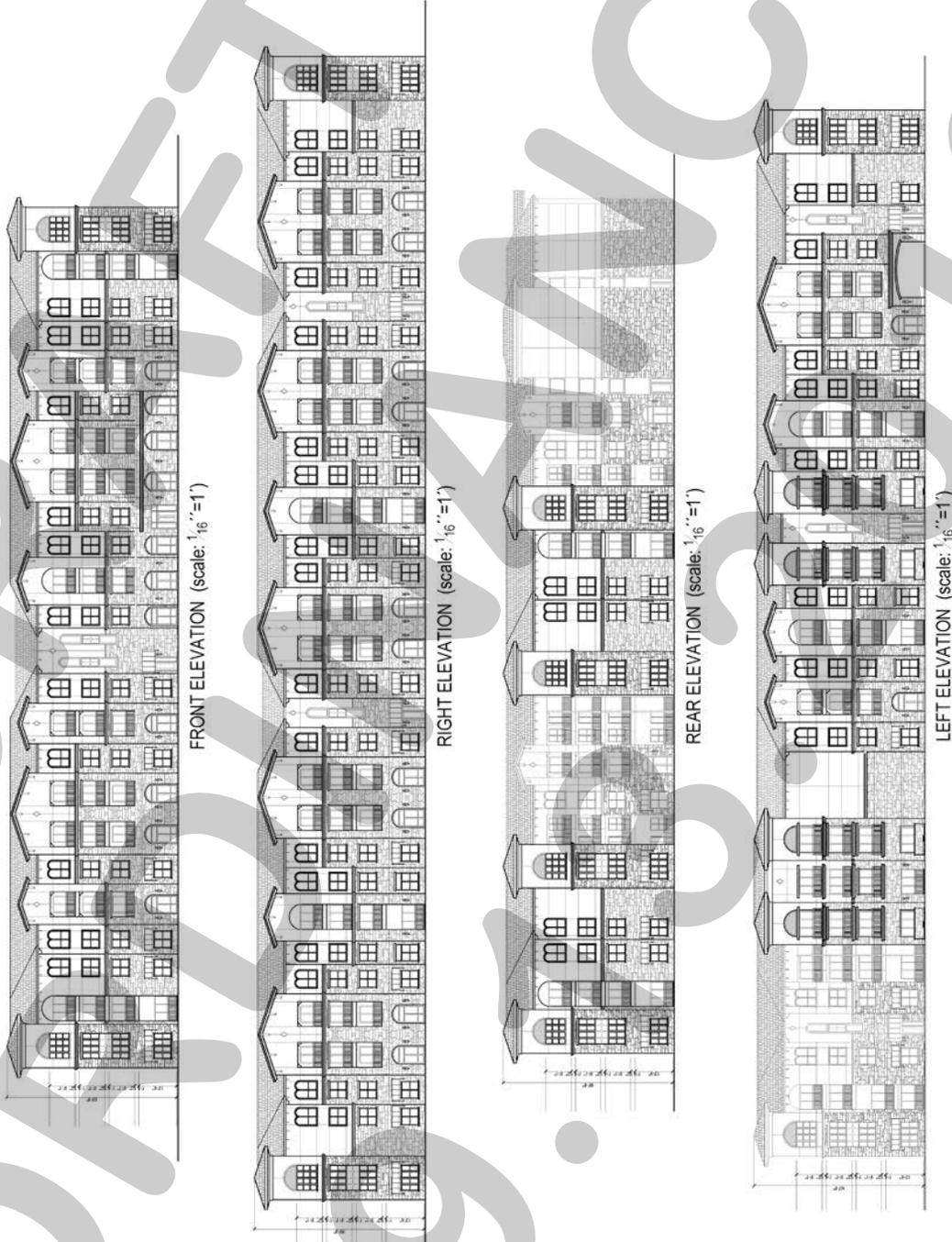
A202
Z2016-025
HARBOUR URBAN CENTER
Rockwall, TX
HPAF 16205

ARCHITECTURAL SITEPLAN
CONDOMINIUMS
September 1, 2016



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
533 Alpha Rd., Suite 300, Dallas, TX 75201-3636 | www.huprings.com

Exhibit 'C':
Building Elevations



A412
Z2016-025

HARBOR URBAN CENTER
Rockwall, TX
HPMS 10206

WRAP BLDG. ELEVATIONS
August 2, 2016



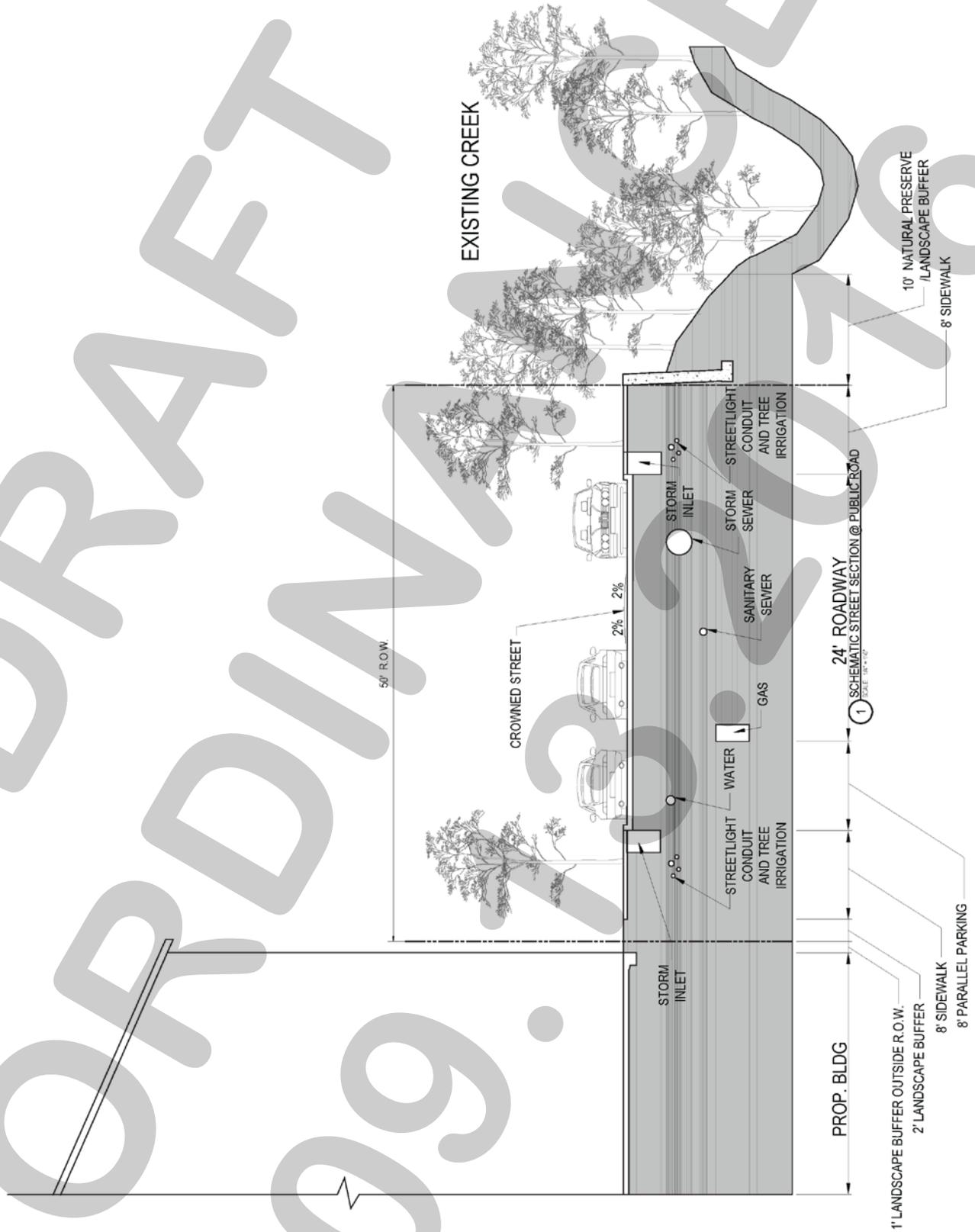
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5359 Alpha Rd., Suite 300, Dallas, TX 75247 | 972.011.8888 | www.humphreys.com

Exhibit 'C':
Building Elevations



FRONT ELEVATION - SCALE: 3/32" = 1'

Exhibit 'D':
Roadway Cross Section



**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 09/13/2016

APPLICANT: Kevin Dale Wommack & Pamela McCollum

AGENDA ITEM: **Z2016-023**; 1970 Copper Ridge Circle (*SUP*)

SUMMARY:

Hold a public hearing to discuss and consider a request by Kevin Dale Wommack & Pamela McCollum for the approval of an amendment to Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02] to allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle, and take any action necessary.

BACKGROUND INFORMATION

The applicants Kevin Dale Wommack and Pamela McCollum are requesting the approval of an amendment to Specific Use Permit (SUP) No. S-118 to allow for an accessory building that exceeds the maximum size requirements stipulated Article VI, *Permissible Uses*, of the Unified Development Code (UDC). On December 16, 2013, the City Council approved an SUP allowing for an accessory building that does not meet the exterior material requirements for a Single Family Estate (SFE-1.5) District. The current metal building is 22-feet by 31-feet or approximately 682 sq. ft. The applicants are proposing to expand their current metal building by approximately 30-feet for a building footprint that is 22-feet x 62-feet or 1,364 sq. ft. With the expansion, the accessory building will be approximately 114 sq. ft. larger than the maximum size allowed in a SFE-1.5 District. According to the UDC, the maximum square footage for an accessory building in an SFE-1.5 District is 1,250 sq. ft.

NOTIFICATION:

On August 19, 2016, Staff mailed 36 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lofland Farms and Timber Creek Estates HOAs, which are the only HOAs/Neighborhood Organizations that are within 1,500-feet of the subject property and participating in the notification program. Additionally, staff posted a sign on the subject property as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices returned.

RECOMMENDATIONS:

Should the Planning and Zoning Commission and City Council choose to approve the SUP request, staff would offer the following conditions of approval:

- 1) The accessory building be subject to the operational conditions contained in the SUP ordinance, which are as follows:
 - A. The accessory building shall generally conform to the approved site plan and building elevations depicted in Exhibits 'A' & 'B' of the attached ordinance.

- B. The accessory building shall not exceed a maximum size of 1,364 square feet.
 - C. The accessory building is subject to administrative review in the event that the Subject Property is sold, conveyed or altered in any manner
- 2) Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number Z2016-023	Owner KEVIN DALE WOMMACK	Applied 7/14/2016 LM
Project Name SUP for 1970 Copper Ridge Circle	Applicant KEVIN DALE WOMMACK	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status STAFF REVIEW		Status 7/14/2016 LM

Site Address 1970 COPPER RIDGE CIR	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision STERLING FARMS ADDITION	Tract 17	Block B	Lot No 17	Parcel No 5069-000B-0017-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	7/14/2016	7/21/2016	8/17/2016	34	APPROVED	
ENGINEERING (8/19/2016 1:32 PM AW) Check location of septic system to make sure there aren't any conflicts	Amy Williams	7/14/2016	7/21/2016	8/19/2016	36	APPROVED W/ CONDITIONS	See Condition
FIRE	Ariana Hargrove	7/14/2016	7/21/2016	8/17/2016	34	APPROVED	
PLANNING (8/25/2016 10:24 AM KB) Z2016-023 SUP for Accessory Building: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	7/14/2016	7/21/2016	8/24/2016	41	APPROVED W/ CONDITIONS	Comments

I.1 This is a request by Kevin Dale Wommack & Pamela McCollum for the approval of an amendment to Specific Use Permit (SUP) No. S-118 [Ordinance No. 14-02] to allow for an accessory building that exceeds the maximum size requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.4952-acre tract of land identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 1.5 (SFE-1.5) District, addressed as 1970 Copper Ridge Circle.

I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

M.3 For reference, include the case number (Z2016-023) in the lower right hand corner of all pages on future submittals.

I.4 Please review the attached draft ordinance prior to the September 13, 2016 Planning & Zoning Commission meeting.

I.5 The Planning and Zoning Worksession is August 30th. The Planning and Zoning Meeting is September 13.

I.6 The projected City Council meeting dates for this case will be September 19, 2016 [1st Reading] & October 3, 2016 [2nd Reading].

0 37.5 75 150 225 300 Feet

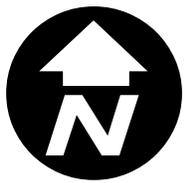
Z2016-023 - SUP FOR 1970 COPPER RIDGE CIRCLE
SPECIFIC USE PERMIT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

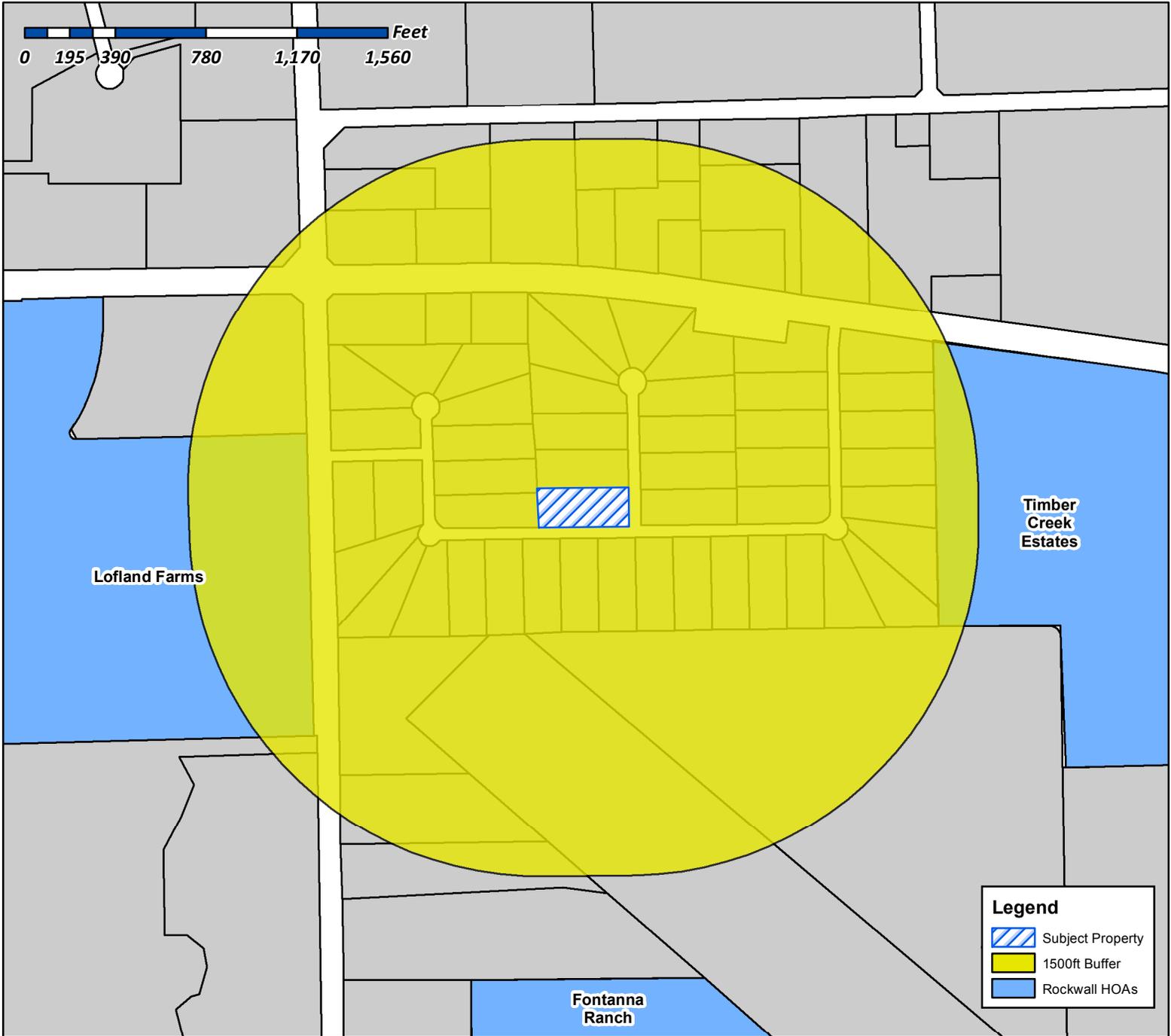




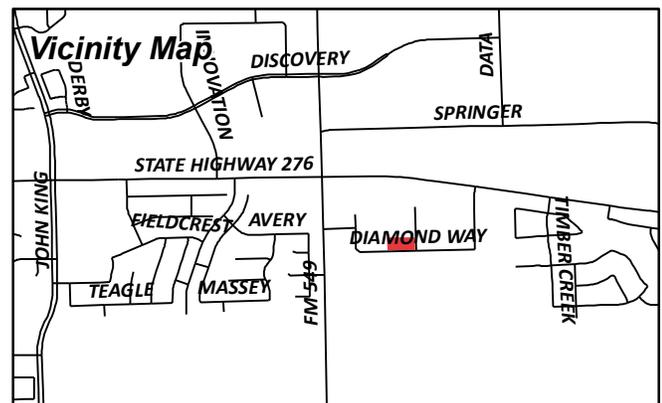
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-023
Case Name: SUP for 1970 Copper Ridge Circle
Case Type: Zoning
Zoning: SUP
Case Address: 1970 Copper Ridge Circle



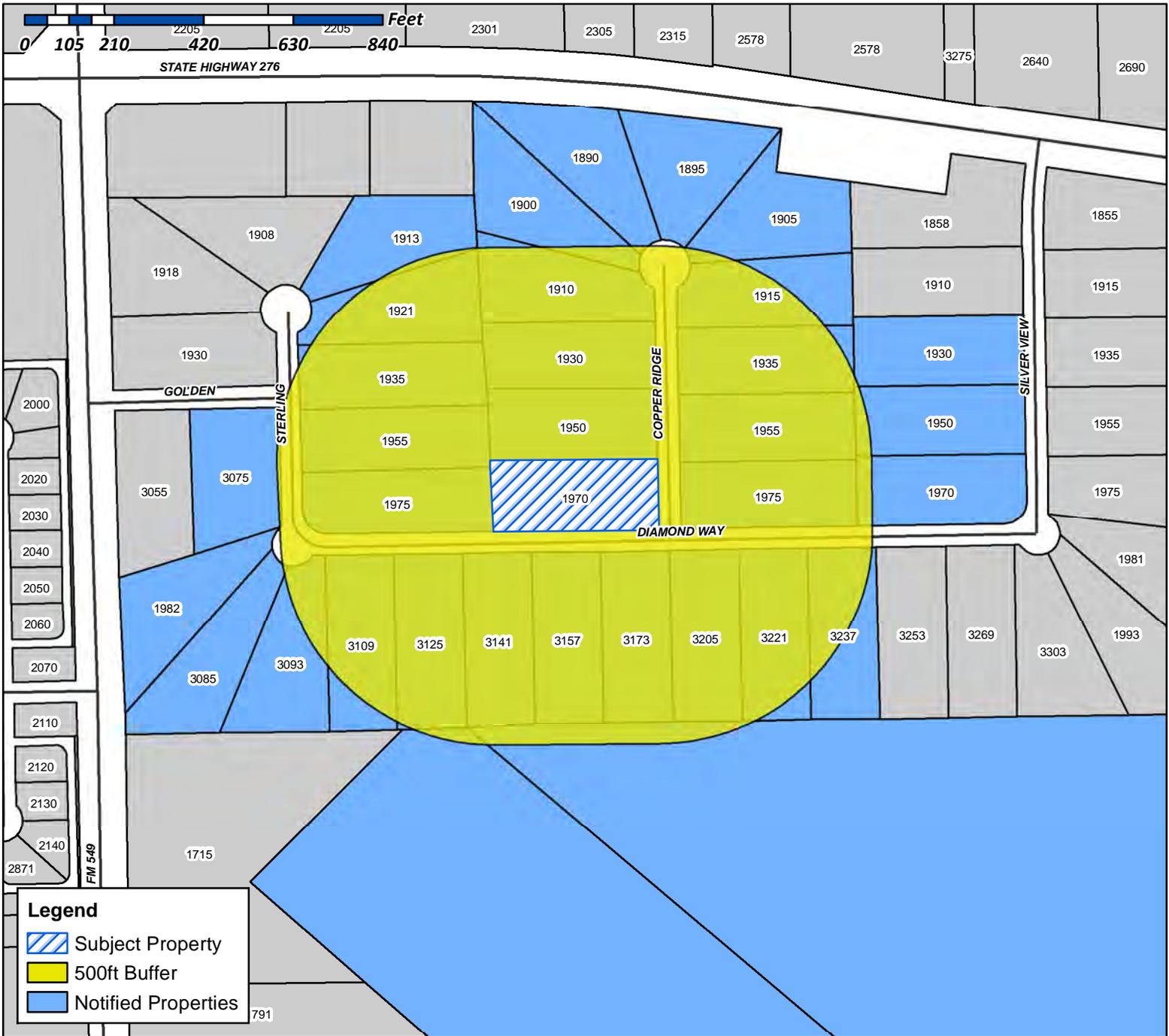
Date Created: 08/15/2016
 For Questions on this Case Call (972) 771-7745



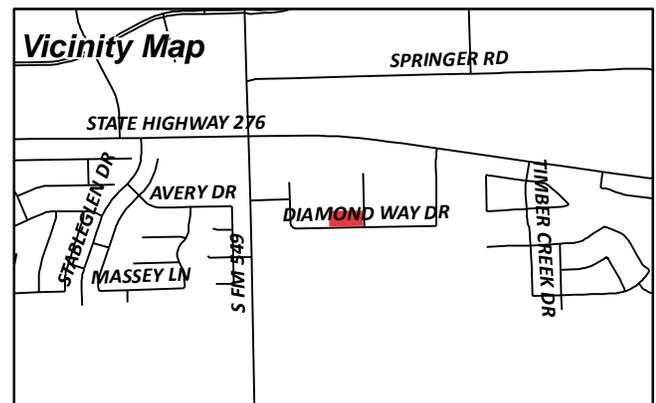
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Case Number: Z2016-023
Case Name: SUP for 1970 Copper Ridge Circle
Case Type: Zoning
Zoning: SUP
Case Address: 1970 Copper Ridge Circle



Date Created: 08/15/2015

For Questions on this Case Call (972) 771-7745

MCLENDON COMPANY THE
13101 PRESTON RD STE 501
DALLAS, TX 75240

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL
1895 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

MCDUGLE RONNIE D & DEBORAH J
1905 COPPER RIDGE CIR
ROCKWALL, TX 75032

JONES SCOTT G & CAROLINE D
1910 COPPER RIDGE CIR
ROCKWALL, TX 75032

HALL RICHARD N JR AND ELIZABETH A
1913 STERLING CT
ROCKWALL, TX 75032

WILLESS WAYNE & PRISCILLA K
1915 COPPER RIDGE CIR
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

USSERY DAVID & PAMELA
1930 COPPER RIDGE CIR
ROCKWALL, TX 75032

REYNOLDS CHRISTOPHER & RENA
1930 SILVER VIEW LN
ROCKWALL, TX 75032

CURRENT RESIDENT
1935 STERLING CT
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY
1950 COPPER RIDGE CIR
ROCKWALL, TX 75032

AVILA HUMBERTO J II
1950 SILVER VIEW LN
ROCKWALL, TX 75032

RISHER CONNIE LYNN
1955 COPPER RIDGE CIR
ROCKWALL, TX 75032

GLASSCOCK BILLY B & PENNY
1955 STERLING CT
ROCKWALL, TX 75032

WHITAKER JOSHUA & KRISTIN
1970 COPPER RIDGE CIRCLE
ROCKWALL, TX 75032

WHITE ROBERT L & MARIE
1970 SILVER VIEW LN
ROCKWALL, TX 75032

HELMS DEBBIE B
1975 COPPER RIDGE CIR
ROCKWALL, TX 75032

THOMAS CLIFTON D & YASMIN P TEJANI
THOMAS
1975 STERLING CT
ROCKWALL, TX 75032

WOODALL TERRY G & JENNIFER
1982 STERLING CT
ROCKWALL, TX 75032

AMH 2014-1 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

CURRENT RESIDENT
3075 GOLDEN TR
ROCKWALL, TX 75032

BROWN HOWARD E
3085 DIAMOND WAY DR
ROCKWALL, TX 75032

HUFF ARLENE R & ERIC
3093 DIAMOND WAY DR
ROCKWALL, TX 75032

TIMMINS TERREL P
3109 DIAMOND WAY DR
ROCKWALL, TX 75032

TIBBS CHRISTOPHER B &
3125 DIAMOND WAY DR
ROCKWALL, TX 75032

FOWLER DONALD D & MICHELLE
3136 MARBLE FALLS LN
ROCKWALL, TX 75032

GUZMAN GOMEZ SUSAN W &
3141 DIAMOND WAY DR
ROCKWALL, TX 75032

COLEMAN GREGORY D & PAMELA A
3157 DIAMOND WAY DR
ROCKWALL, TX 75032

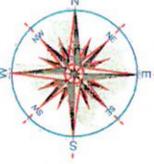
CHAPMAN JERREL & MELBA
3173 DIAMOND WAY DR
ROCKWALL, TX 75032

MILLER ERROL D & VICKI S
3205 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

HALBROOK R D & MARLENE S
3221 DIAMOND WAY DR
ROCKWALL, TX 75032

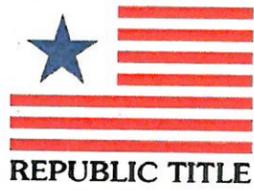
CAIN EULIN K II & ANITA J
3237 DIAMOND WAY DR
ROCKWALL, TX 75032

IHEARTMEDIA TOWER CO I (AM) LLC
951 BROKEN SOUND PKWY SUITE 320
BOCA RATON, FL 33487



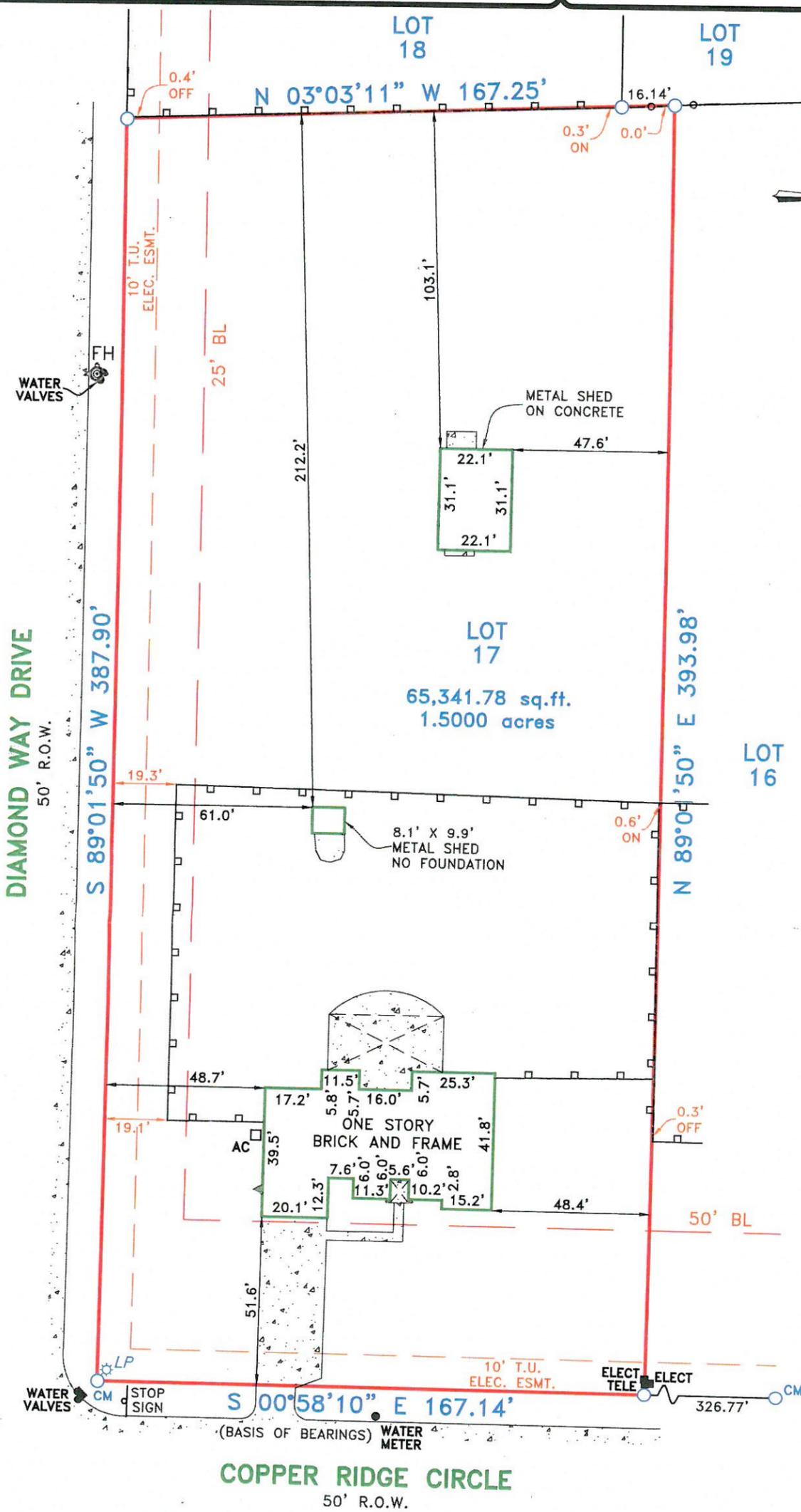
1970 Copper Ridge Circle

Being Lot 17, in Block B, of Sterling Farms Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 395, of the Plat Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ◆ 60d NAIL FOUND
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- BRICK COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- I — IRON FENCE
- X — BARBED WIRE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CONCRETE
- COVERED AREA



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL. 46, PG. 197; VOL. 75, PG. 583;
VOL. 113, PG. 35

Date: _____

Accepted by: _____
Purchaser
Purchaser

NOTES:

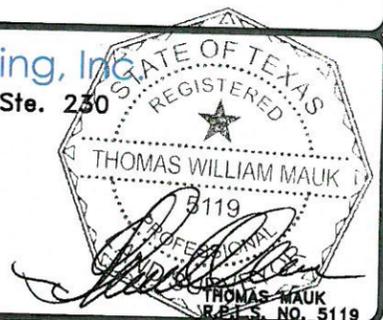
NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

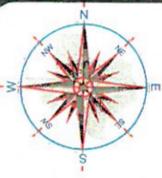
FLOOD NOTE: According to the F.I.R.M. No. 48397C0045L, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: WTH
Scale: 1" = 40'
Date: 08/12/15
GF No.: 1015-158274-RTT
Job No. 1512318

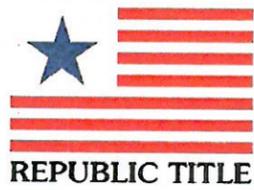
C.B.G. Surveying, Inc.
12025 Shiloh Road, Ste. 250
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbqdfw.com





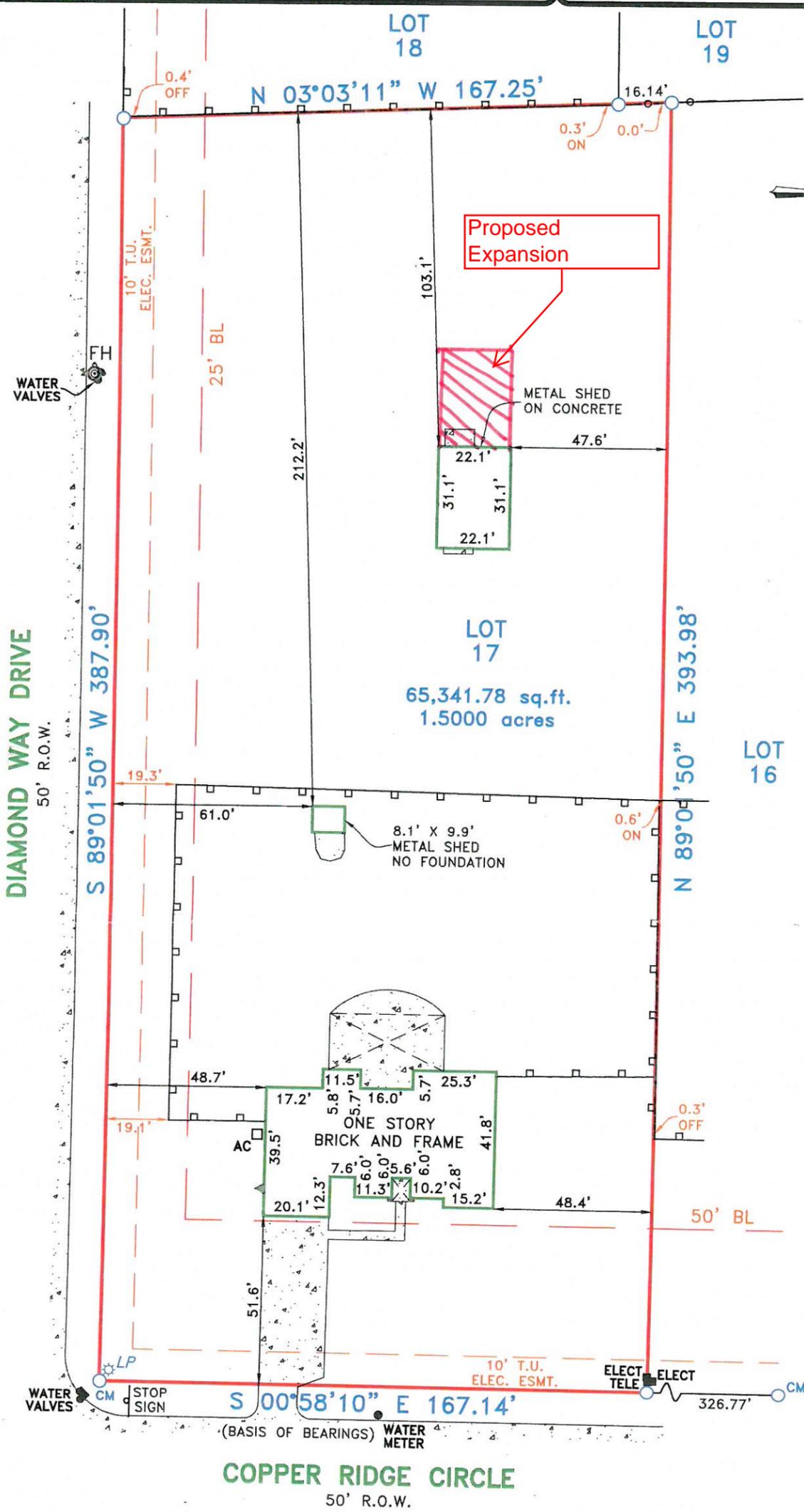
1970 Copper Ridge Circle

Being Lot 17, in Block B, of Sterling Farms Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cabinet C, Slide 395, of the Plat Records of Rockwall County, Texas.



LEGEND

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- //— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA



RECEIVED
 AUG 15 2016
 BY: _____

EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1250, PG. 190

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
 VOL. 46, PG. 197; VOL. 75, PG. 583;
 VOL. 113, PG. 35

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0045L, this property does lie in Zone X and does not lie within the 100 year flood zone.

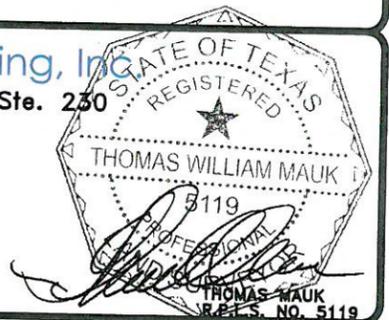
This survey is made in conjunction with the information provided by Republic Title of Texas. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: _____

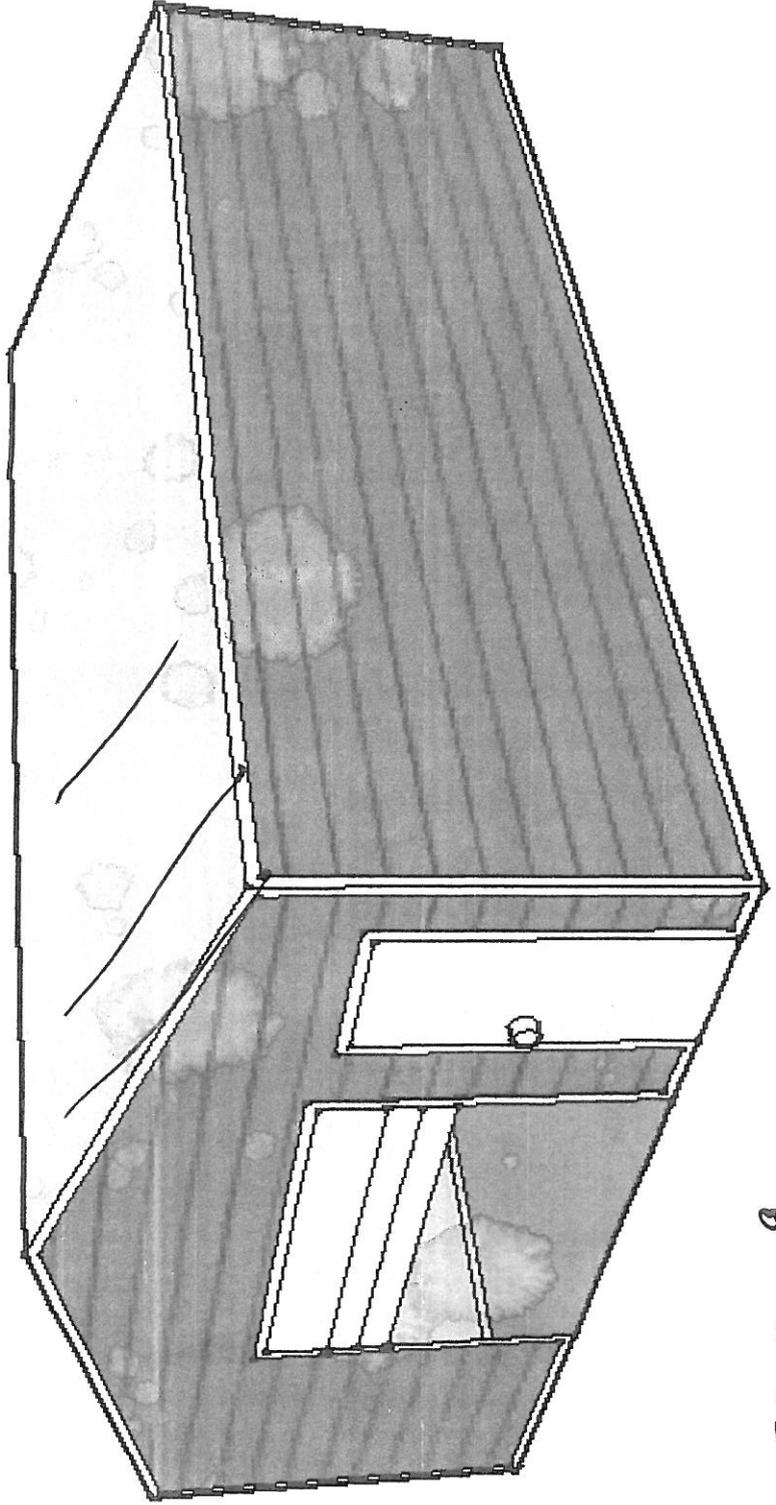
Accepted by: _____
 Purchaser
 Purchaser

Drawn By: WTH
 Scale: 1" = 40'
 Date: 08/12/15
 GF No.: 1015-158274-RTT
 Job No. 1512318

C.B.G. Surveying, Inc.
 12025 Shiloh Road, Ste. 250
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
www.cbgsfw.com



Sheet Metal: 29 Gauge Galvanized polyester painted
framing: 14 Gauge Galvanized
Concrete: 4" thick with 3/8 rebar with moisture barrier
8 to 12" footer around perimeter
Spray Foam: standard 2lb spray foam



22x30x9

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-118

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO AMEND SPECIFIC USE PERMIT NO. S-118 [ORDINANCE NO. 14-02] TO ALLOW FOR AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM SIZE REQUIREMENTS ON A 1.50-ACRE PARCEL OF LAND ZONED SINGLE FAMILY ESTATE 1.5 (SFE-1.5) AND IDENTIFIED AS LOT 17, BLOCK B, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Kevin Dale Wommack and Pamela McCollum to amend Specific Use Permit No. S-118 [*Ordinance No. 14-02*] for the purpose of increasing the size of an existing accessory building situated on a 1.50-acre parcel of land, zoned Single Family Estate 1.5 (SFE-1.5) District, and being identified as Lot 17, Block B, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, addressed as 1970 Copper Ridge Circle, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] and *Ordinance No. 14-02* of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the enactment of this Specific Use Permit (SUP) Ordinance shall supersede all requirements stipulated in *Ordinance No. 14-02*;

Section 2. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of an accessory building that exceeds the maximum size requirements and that does not conform to the minimum masonry requirements for accessory buildings in a Single Family Estate 1.5 (SFE-1.5) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

Section 3. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.2, Single-Family Estate (SF/E 1.5) District*, of *Article V, District Development Standards*, of the Unified

Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

- 1) The accessory building shall generally conform to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The accessory building shall not exceed a maximum size of 1,364 square feet.
- 3) The accessory building is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

Section 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF OCTOBER, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 19, 2016

2nd Reading: October 3, 2016

Exhibit 'A': Site Plan

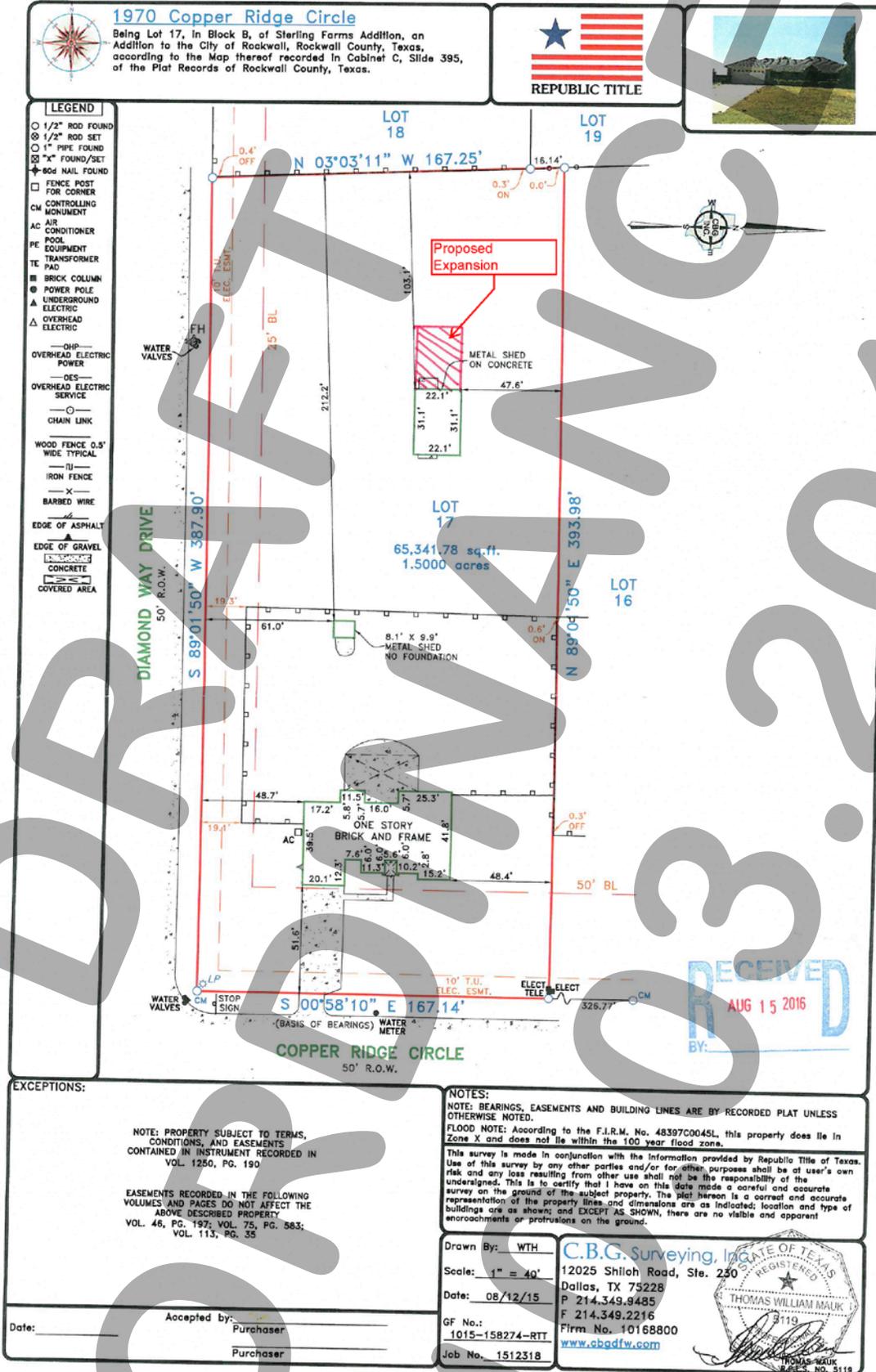
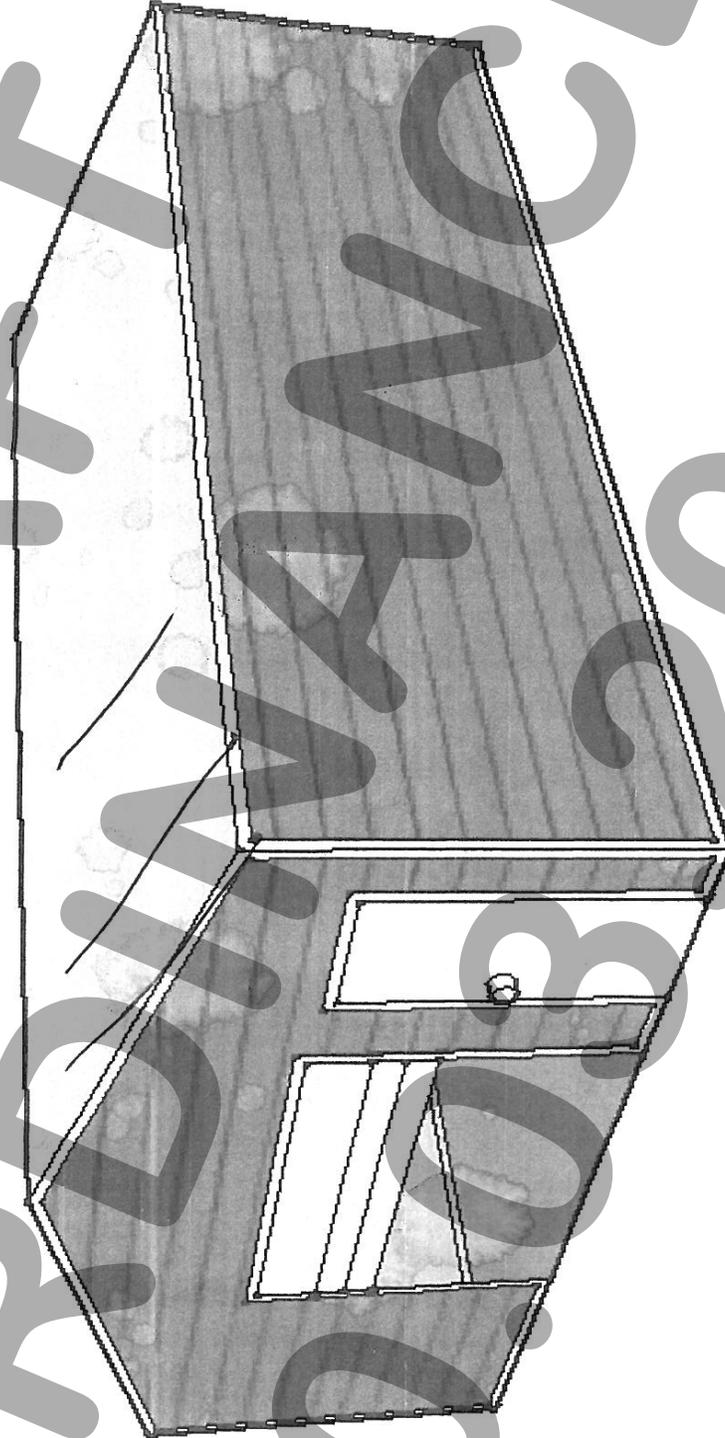


Exhibit 'B':
Building Elevations

Sheet Metal: 29 Gauge Galvanized polyester painted
framing: 14 Gauge Galvanized
Concrete: 4" thick with 3/8 rebar with moisture barrier
8 to 12" footer around perimeter
Spray Foam: standard 2lb spray foam



CITY OF ROCKWALL PLANNING AND ZONING MEMO

AGENDA DATE: 09/13/2016

APPLICANT: Susan Gamez

AGENDA ITEM: Z2016-028; 2001 Ridge Road (AG to C)

SUMMARY:

Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001 Ridge Road, and take any action necessary.

BACKGROUND INFORMATION AND PURPOSE:

The subject property is a 0.478-acre tract of land identified as 2001 Ridge Road, which is accessible off Ridge Road via Old County Road. The subject property was annexed into the City on September 26, 1960 by *Case No. A1960-004 (Ordinance No. 60-04)*, and was zoned Agricultural (AG) District. Currently, an existing single family home is situated on the subject property. The applicant is requesting to change the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District for the purpose of converting the existing single family home into a commercial business to accommodate a massage therapist office (*i.e. EveryBody Massage*).

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) tracts of land zoned Agricultural (AG) District. The northern most parcel (*i.e. 2005 Ridge Road*) is currently occupied with a single family home. Beyond these parcels is the Spring Sports Complex owned by the Rockwall Independent School District (RISD) and is zoned Single Family 7 (SF-7) District.

South: Directly south of the subject property is a parcel of land (*i.e. 2135 Ridge Road*) zoned Commercial (C) District. This property is occupied by a multi-tenant retail/office building identified as Yellow Jacket Plaza. Beyond this property is the intersection of Ridge Road and W. Yellow Jacket Lane.

East: Directly east of the subject property is the parking areas for the Spring Sports Complex, which are zoned Commercial (C) District. Beyond this is W. Yellow Jacket Road, which is identified as a M4D (*i.e. minor collector, four [4] lane, divided roadway*) according to the City's Master Thoroughfare Plan. West of this thoroughfare is the parking area for Rockwall High School.

West: Directly west of the subject property is Old County Road and additional parking areas for Yellow Jacket Plaza, which are situated on a vacant 9.24-acre tract of land. The property is zoned Commercial (C) District.

UNIFIED DEVELOPMENT CODE:

According to the purpose statements stipulated in Section 4.5, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Commercial (C) District is established to provide adequate space and site diversification for most types of commercial development ...” In addition, the district is intended to “... be the major retail district, with intensive commercial uses and large volumes of retail traffic.” The UDC goes on to state that this designation is appropriate for properties that are situated on major collectors and arterials and should be adequately buffered from residential areas. With regard to land use, the UDC states that “(t)he uses specified in this district include most types of retail activity and some wholesale with the exception of those uses which are not compatible with the retail shopping function ...” (*i.e. lumberyards, contractor yards, warehousing, and etcetera*). Staff has provided a list of the land uses permitted within the Commercial (C) District in the attached packet. In addition, the following is a summary of the minimum development standards for a property within a Commercial (C) District:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>
<i>Minimum Lot Width</i>	<i>60-Feet</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet (0-Feet w/ Fire Rated Wall)</i>
<i>Minimum Rear Yard Setback Adjacent to Residential</i>	<i>20-Feet + (½ Height Greater than 36-Feet)</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet (0-Feet w/ Fire Rated Wall)</i>
<i>Minimum Side Yard Setback Adjacent to Residential</i>	<i>20-Feet + (½ Height Greater than 36-Feet)</i>
<i>Maximum Height</i>	<i>240-Feet (Greater Than 60-Feet Requires SUP)</i>
<i>Max Lot Coverage</i>	<i>60%</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>
<i>Floor Area Ratio</i>	<i>4:1</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Map, adopted with the Comprehensive Plan, designates the subject property for *Medium Density Residential* land uses. Should the City Council approve the applicant’s request, staff has included a condition of approval that would amend the Future Land Use Map to reflect the proposed change in land use from a *Medium Density Residential* designation to a *Commercial* designation.

STAFF ANALYSIS:

When looking at the applicant’s request it should be noted that the proposed land use, a *Massage Therapist*, is permitted *by-right* in all commercial districts that fall under Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the UDC. These districts include the Residential-Office (RO), Neighborhood Service (NS), General Retail (GR), Commercial (C), Heavy Commercial (HC), and Downtown (DT) Districts. In addition, when taking into account the intent of the Commercial (C) District as stated above (*i.e. a major retail district with intensive commercial uses and large volumes of retail traffic*) and the fact that the applicant is seeking to repurpose an existing residential structure into a commercial business, the Planning and Zoning Commission and City Council may consider approving a more restrictive zoning classification (*e.g. Residential-Office [RO] or Neighborhood Services [NS] District*). This has been done with similar requests in Planned Development Districts 50, 53 & 69, all of which are zoned as Residential-Office (RO) Districts and which allow the requested use (*i.e. Massage Therapist*). This may also be an appropriate transition of uses from the residential adjacency north of the subject property to the commercial adjacency south of the

subject property. Staff should also note that this will not affect the requested changes to the Future Land Use Map, as all of the districts mentioned above fall under the *Commercial* designation.

Staff has asked the applicant if she would be open to accepting a more restrictive zoning designation as this could be advantageous to her intent, with regard to development standards when converting the existing structure. The applicant has stated a willingness to accept a more restrictive zoning classification if approved by the Planning and Zoning Commission and City Council. For reference staff has included in the attached packet a list of uses permitted within the Residential-Office (RO) District, as well as the districts purpose statements outlined in Section 4.2, *Residential Office (RO) District*, of Article V, *District Development Standards*, of the UDC. Specifically, it should be pointed out that the intent of the Residential Office (RO) District is for "...low intensity office development providing professional, medical and other office services..." and to allow existing residential houses to be "...converted from single-family and two-family residences to low-intensity office uses in order to extend the economic life of these structures..." With this being said, zoning changes are discretionary decisions for the City Council.

NOTIFICATION:

On August 19, 2016, staff mailed 13 notices to property owners and residents within 500-feet of the subject property. Staff also sent a notice to the Turtle Cove and Waterstone Homeowner's Associations (HOA), which are the only HOA's located within 1,500 feet of the subject property. Additionally, staff posted a sign along Ridge Road, which is the closest major roadway adjacent to the subject property as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had not received any notices.

RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District then staff would propose the following conditions of approval:

- 1) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a *Medium Density Residential* designation to a *Commercial* designation; and,
- 2) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number Z2016-028	Owner SUSAN GAMEZ	Applied 8/15/2016 LM
Project Name Zoning Change (AG to C)	Applicant SUSAN GAMEZ	Approved
Type ZONING		Closed
Subtype REZONE		Expired
Status STAFF REVIEW		Status 8/16/2016 LM

Site Address 2001 RIDGE RD	City, State Zip ROCKWALL, TX 75087	Zoning
--------------------------------------	--	---------------

Subdivision YELLOW JACKET ADDITION	Tract 7	Block NULL	Lot No 7	Parcel No 0001-0000-0007-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/17/2016	8/24/2016	8/17/2016		APPROVED	
ENGINEERING (8/19/2016 1:15 PM AW) Must meet all engineering requirements	Amy Williams	8/15/2016	8/22/2016	8/23/2016	8	APPROVED	See Conditions
FIRE	Ariana Hargrove	8/15/2016	8/22/2016	8/17/2016	2	APPROVED	
PLANNING Z2016-028 2001 Ridge Road (AG to C): Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Ryan Miller	8/15/2016	8/22/2016	8/23/2016	8	APPROVED	See Conditions

I.1 This is a request for the approval of a zoning change from Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, and addressed as 2001 Ridge Road.

I.2 For questions or comments concerning this case, please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2016-028) in the lower right hand corner of all pages on future submittals.

I.4 The Future Land Use Map contained within the City's Comprehensive Plan indicates that the subject property is designated as Medium Density Residential. The proposed zoning does not conform to this designation and will require the City Council to amend the Future Land Use Map to reflect a Commercial designation.

I.5 Based on the submission City Staff would recommend that a less intense zoning (e.g. Residential Office [RO] District) be permitted on the subject property should the Planning and Zoning Commission and City Council choose to approve the request.

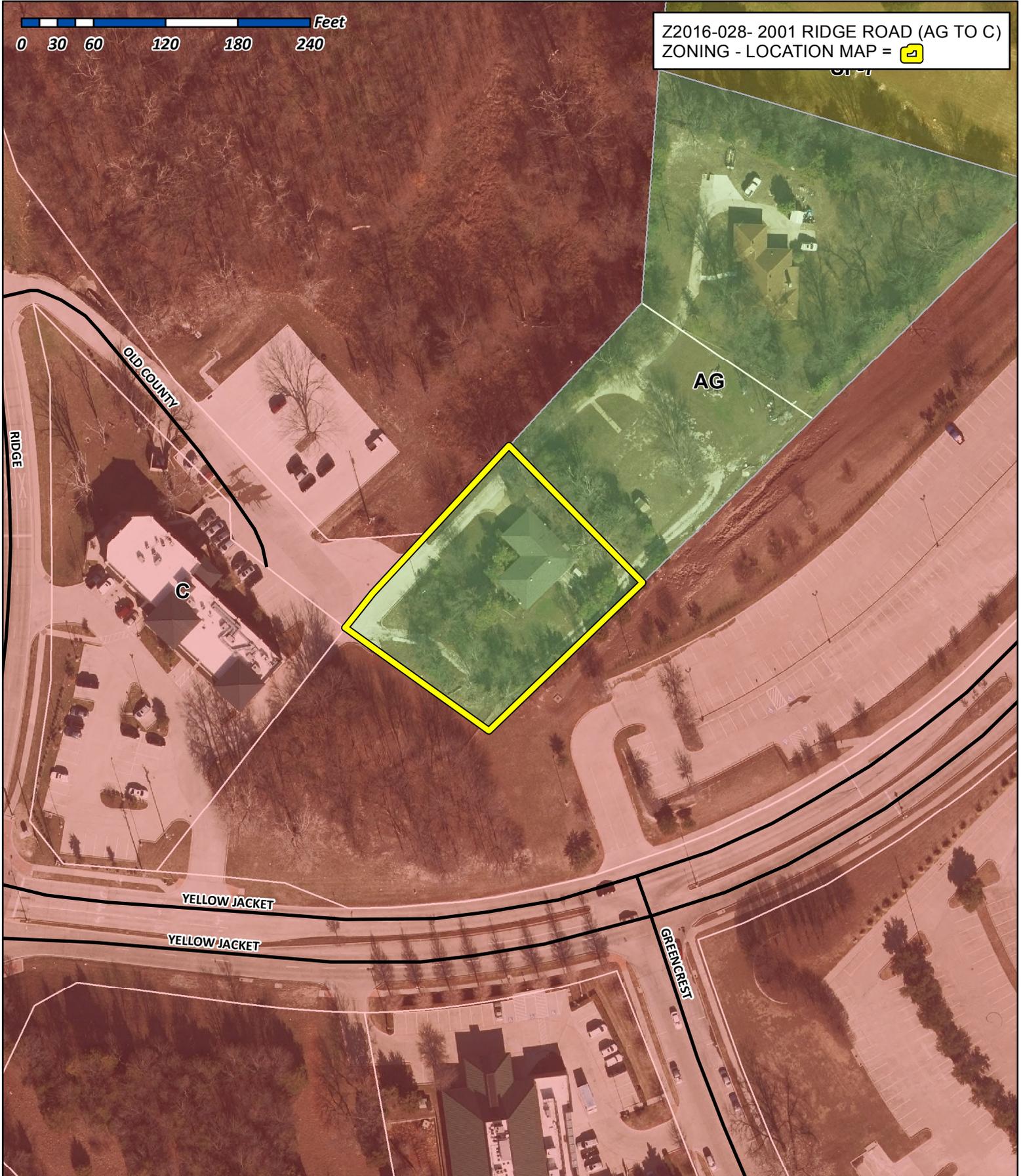
I.6 Please review the attached Draft Ordinance prior to the Planning & Zoning Meeting on September 13, 2016.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 7, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 13, 2016 Planning & Zoning Meeting.

I.8 The projected City Council Meeting dates for this case are as follows: 1) First Reading, September 19, 2016 and 2) Second Reading, October 3, 2016.

0 30 60 120 180 240 Feet

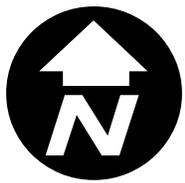
Z2016-028- 2001 RIDGE ROAD (AG TO C)
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

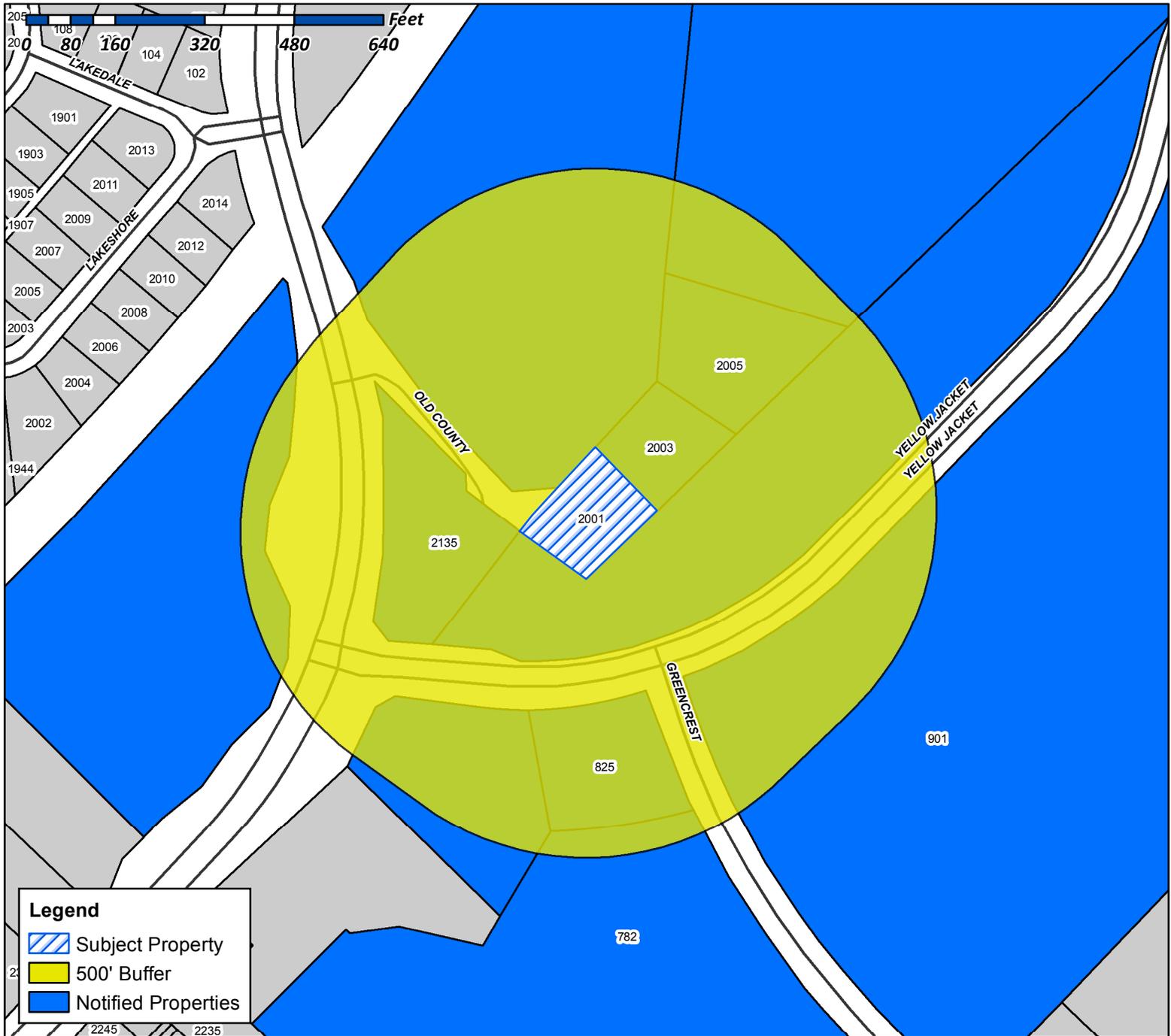
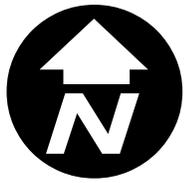




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-028
Case Name: Zoning Change (AG to C)
Case Type: Zoning
Zoning: Agriculture (AG) District
Case Address: 2001 Ridge Road



Date Created: 08/16/2016

For Questions on this Case Call (972) 771-7745

UNRUH CECIL J ESTATE
TAMARA SUE HARRIS INDEPENDENT EXECUTRIX
17627 CEDAR CREEK CANYON
DALLAS, TX 75252

CURRENT RESIDENT
2001 RIDGE RD
ROCKWALL, TX 75087

PROCK CHARLES
2003 RIDGE RD
ROCKWALL, TX 75087

FAHERTY FRANK
2005 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75087

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

IN KYUNG HWAN
512 SUNSTONE DR
IRVING, TX 75060

SYVRUD JAMES P & MARY JEAN
519 E INTERSTATE 30
ROCKWALL, TX 75087

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
901 YELLOWJACKET RD
ROCKWALL, TX 75087

ROCKWALL ASC REAL ESTATE LLC
PO BOX 1208
ROCKWALL, TX 75087

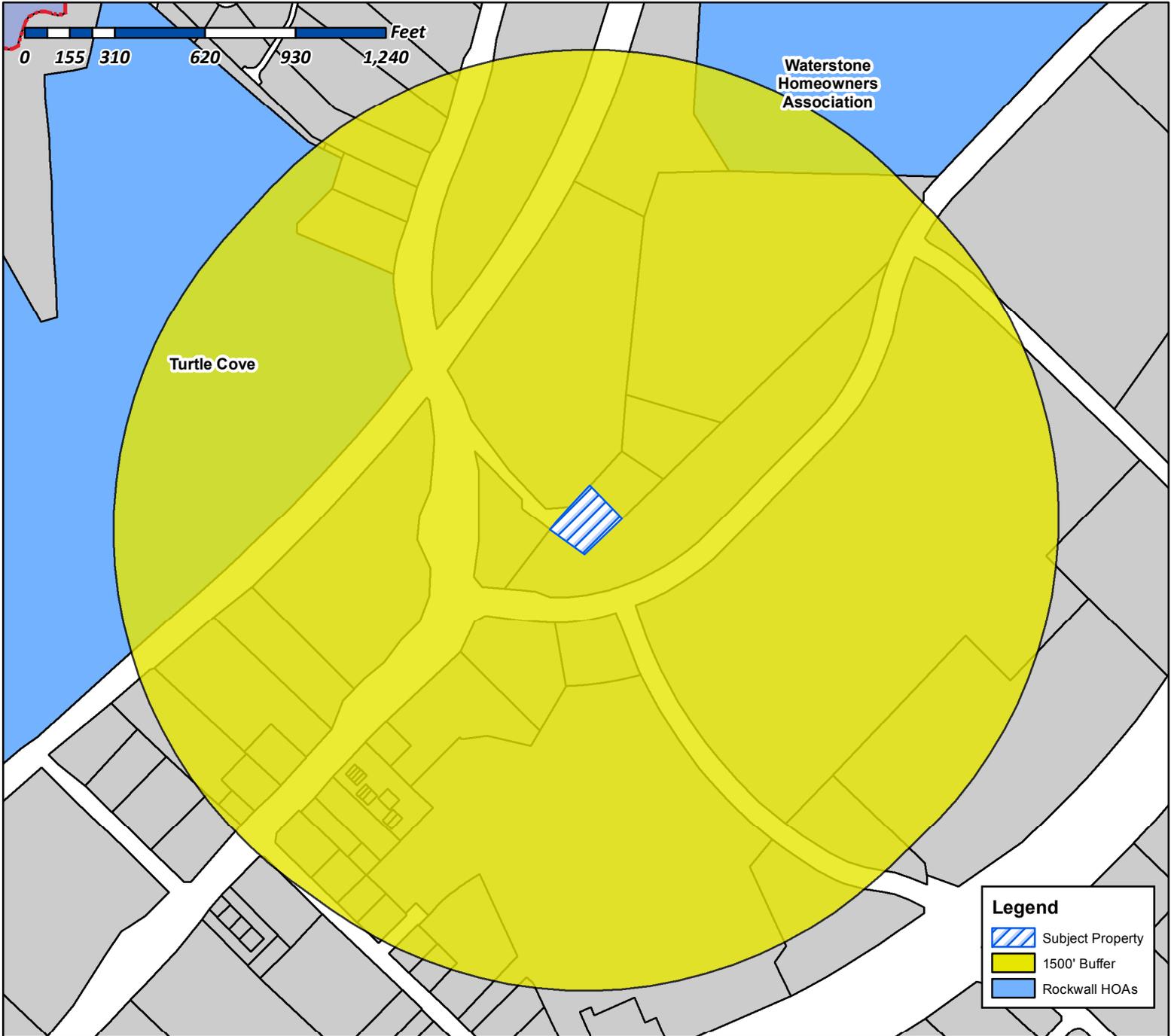
WAL-MART REAL ESTATE
BUSINESS TRUST
PO BOX 8050
BENTONVILLE, AR 72712



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-028
Case Name: Zoning Change (AG to C)
Case Type: Zoning
Zoning: Agriculture (AG) District
Case Address: 2001 Ridge Rd



Date Created: 08/16/2016

For Questions on this Case Call (972) 771-7745

From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Thursday, August 18, 2016 1:25:13 PM

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2016-028-Hold a public hearing to discuss and consider a request by Susan Gamez for the approval of a zoning change from an Agricultural (AG) District to Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Scenic Overlay (SOV) District, addressed as 2001 Ridge Road, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>

GENCO situated in the DANIEL ATKINS SURVEY, ABSTRACT NO. 1, Rockwell County, Texas, and being a part of the eastern 2 1/2 acre tract as described in a Deed to Charles Fortin of 1st, see record in Volume 51, Page 504, in the Deed Records of said county, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found in an existing gravel road at the west southern corner of a tract as described in a Deed to Charles Fortin of 1st, as recited in Volume 125, Page 187, of the Deed Records of said county;

THENCE South 37° 47' 20" West along and near the centerline of an existing gravel road a distance of 151.57 ft. to a 1/2" iron rod found for corner;

THENCE North 48° 25' 58" West along and near the north-west line of an existing gravel road a distance of 127.23 ft. to a 1/2" iron rod found for corner in the northwest face of said 2 1/2 acre tract;

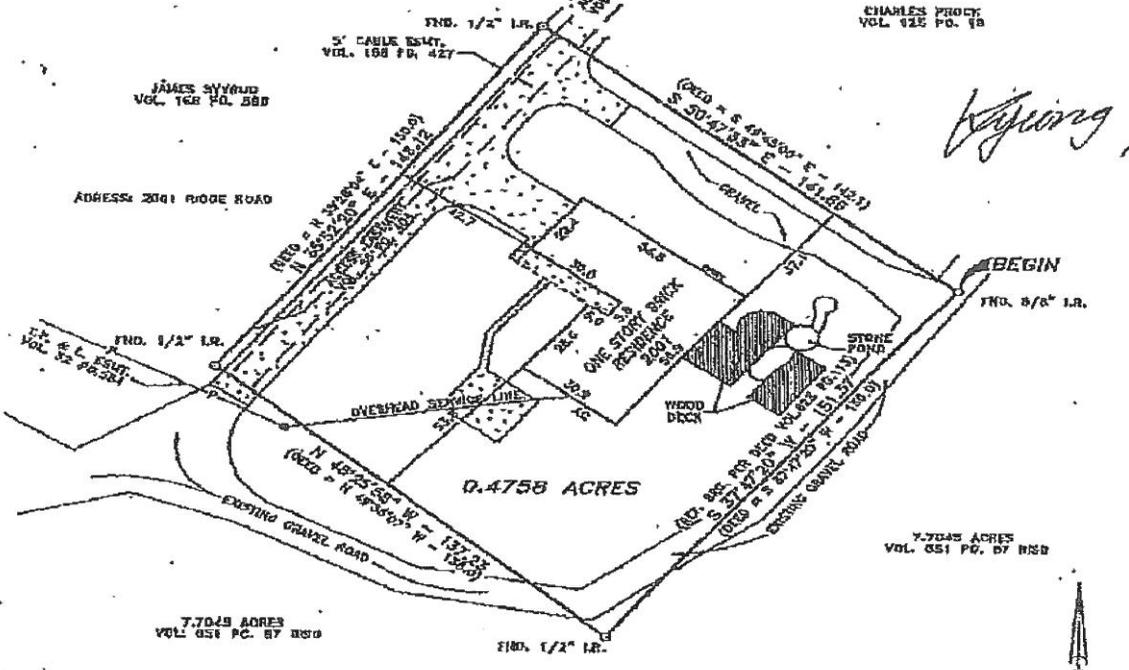
THENCE North 35° 32' 20" East along said partition line a distance of 146.12 ft. to a 1/2" iron rod found for corner at the most western corner of said tract;

THENCE South 50° 47' 33" East along the southeast line of said tract a distance of 141.88 ft. to the PLACE OF BEGINNING and containing 0.4758 acres of land, and being the same tract as conveyed to JOHNNIE MOORE as recited in Volume 623, Page 113, of the Deed Records of Rockwell County, Texas.

*Survey approved -
for T-19
DP 10-31-0*

CHARLES PROFF
VOL. 125 P. 18

Keying



NOTE:
TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FOLLOWING EASEMENTS DO NOT CROSS SUBJECT PROPERTY VOL. 39 P. 224

I, ROBERT E. WILSON, PROFESSIONAL SURVEYOR AND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF THE ORIGINAL RECORD OF THIS SURVEY AS THE SAME APPEARS IN MY RECORDS AND THAT THE SAME IS IN ACCORDANCE WITH THE PROVISIONS OF THE ACTS OF THE LEGISLATURE OF THE STATE OF TEXAS, PASSED AT THE REGULAR SESSION OF SAID LEGISLATURE, FEBRUARY 22, 1907, AND AS THE SAME APPEARS IN THE RECORDS OF THE COUNTY CLERK OF SAID COUNTY, TEXAS, AT THE PLACE WHERE SAID ORIGINAL RECORDS ARE KEPT.



ROBERT E. WILSON
S.P.S., No. 3863

ROBERT E. WILSON
CIVIL ENGR. NO. 3725

Analytical Surveys, Inc.
A PROFESSIONAL COMPANY ORGANIZED BY THE STATE OF TEXAS

THIS SURVEY WAS PREPARED FOR

HANDLER TITLE CO.

USE OF THIS SURVEY BY ANY OTHER PARTY SHALL BE AT THEIR OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS SUFFERED THEREBY.

NAME **THE JOHNSON**
JOB NO. **37015**
DATE **2-21-97**
CITY **313706**
DRN. BY **JOT**

PLAT BOOK 3081
CITY OF TEXAS
33247

EXHIBIT A

Being situated in the DANIEL ATKINS SURVEY, ABSTRACT No. 1, Rockwall County, Texas, and being a part of that certain 2.1 acre tract as described in a deed to Charles Parton and wife, as recorded in Volume 51, Page 504, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found in an existing gravel road at the most southern corner of a tract described in a deed to Charles Prock and wife, recorded in Volume 125, Page 18, Deed Records, Rockwall County, Texas;

THENCE South 37 deg 47 min 20 sec West along and near the centerline of an existing gravel road, a distance of 151.57 feet to a 1/2 inch iron rod found for corner;

THENCE North 48 deg 25 min 58 sec West along and near the northeast line of an existing gravel road, a distance of 137.23 feet to a 1/2 inch iron rod found for corner in the northwest line of said 2.1 acre tract;

THENCE North 35 deg 52 min 20 sec East along said northwest line, a distance of 146.12 feet to a 1/2 inch iron rod found for corner at the most western corner of said Prock tract;

THENCE South 50 deg 57 min 33 sec East along the southwest line of said Prock tract, a distance of 141.86 feet to the PLACE OF BEGINNING and containing 0.4758 acres of land, and being the same tract as conveyed to Johnnie Moore as recorded in Volume 623, Page 113, Real Estate Records, Rockwall County, Texas.

Inst #: 00389925

Filed for Record in: Rockwall County
On: Dec 10, 2007 at 01:35P

Permitted Land Uses in a Commercial (C) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Rural & Animal-Related	
Agricultural Uses on Un-Platted Land	P
Animal Boarding/Kennel without Outside Pens	P
Animal Clinic for small animals, no outdoor pens ¹	P
Animal Hospital, Clinic	S

Residential & Lodging ¹	
Accessory Building ¹	P
Caretakers Quarters/Domestic or Security Unit	P
Convent or Monastery	P
Garage	A
Hotel or Motel	P
Hotel, Residence	P
Residential Care Facility	S

Institutional & Community Service	
Assisted Living Facility ¹	P
Blood Plasma Donor Center	P
Cemetery/ Mausoleum	P
Church/House of Worship ¹	P
College, University, or Seminary	S
Convalescent Care Facility/Nursing Home ¹	P
Day Care (7 or More Children) ¹	P
Emergency Ambulance Services, Ground	P
Government Facility	P
Hospice	P
Hospital	P
Library, Art Gallery or Museum (Public)	P
Mortuary or Funeral Chapel	P
Post Office, Local Service	P
Public or Private School, Primary ¹	P
Public or Private School, Secondary ¹	P
Public or Private School Temporary Education Building ¹	S

Office & Professional	
Financial Institution with Drive-Through ¹	P
Financial Institution without Drive-Through	P
Office, General	P
Office Building, less than 5,000 Sq. Ft.	P
Office Building, 5,000 Sq. Ft. or more	P

Recreation, Entertainment & Amusement	
Billiard Parlor or Pool Hall ¹	S
Carnival, Circus, or Amusement Ride, Temporary ¹	P
Commercial Amusement/ Recreation (Inside) ¹	P
Commercial Amusement/ Recreation (Outside)	P
Community or Recreation Club, Public or Private (Accessory)	P
Country Club, Private	S
Golf Driving Range	S
Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary ¹	P
Gun Club, Skeet or Target Range (Indoor)	P
Health Club	P



Permitted Land Uses in a Commercial (C) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Private Club, Lodge or Fraternal Organization	P
Private Sports Arena, Stadium or Track	S
Public Park or Playground	P
Tennis Courts (Not accessory to a public or private club)	S
Theater	P

Retail & Personal Services	
Antique/Collectible Store	P
Astrologer, Hypnotist, or Psychic Art and Science	P
Banquet Facility	P
Beverage Service Facility, Portable ¹	S
Business School	P
Catering Service	P
Christmas Tree Sales Lot & Similar Uses, Temporary ¹	P
Copy Center	P
Display, Incidental ¹	P
Garden Supply/Plant Nursery	P
General Personal Service	P
General Retail Store	P
Hair Salon, Manicurist	P
Laundry, Drop-off/Pickup	P
Laundry, Self Service	P
Massage Therapist	P
Museum or Art Gallery (Private)	P
Night Club, Discoteque, or Dance Hall	P
Pawn Shop	S
Pet Shop	P
Private Club ¹	P
Real Estate Sales Office, On-site, Temporary ¹	P
Rental Store, w/o Outside Storage and Display	P
Restaurant, Less than 2000 Sq. Ft., w/ Drive-Thru or Drive-in ¹	S
Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru or Drive-in	P
Restaurant, 2000 Sq. Ft. or more, w/ Drive-Thru or Drive-in ¹	P
Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru or Drive-in	P
Restaurant with accessory Private Club or Brew Pub ¹	P
Retail store with gasoline product sales limited to 2 dispensers and 4 vehicles	P
Retail store with more than 2 dispensers	P
Secondhand Dealer	P
Studio - Art, Photography or Music	P
Tailor, Clothing or Apparel Shop	P

Commercial & Business Services	
Bail Bond Service	S
Building & Landscape Material with Limited Outside Storage ¹	P
Building Maintenance, Service & Sales without Outside Storage	P
Electrical, Watch, Clock, Jewelry & Similar Repair	P
Research & Technology / Light Assembly	S
Shoe and Boot Repair and Sales	P
Trade School	P
Temporary On-site Construction Office ¹	P



Permitted Land Uses in a Commercial (C) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Auto & Marine-Related	
Auto Repair Garage, Minor ¹	S
Automobile Rental	S
Boat & Trailer Dealership (New and Used) ¹	S
Car Wash/Auto Detail ¹	P
Car Wash, Self Service	P
Motor Vehicle Dealership, New (Cars and Light Trucks) ¹	S
Parking, Commercial	P
Parking Lot, non-commercial	P
Recreational Vehicle (RV) Sales and Service	S
Service Station ¹	P

Industrial & Manufacturing	
Asphalt or Concrete Batch Plant, Temporary ¹	P
Mining and Extraction (Sand, Gravel Oil & other) ¹	S

Wholesale, Distribution & Storage	
Mini-warehouse ¹	P
Wholesale Showroom Facility	P

Utilities, Communications & Transportation	
Antenna, Accessory ¹	P
Antenna, Commercial ¹	S
Antenna, Dish ¹	P
Antenna, Commercial, Free-Standing ¹	S
Antenna, Commercial, Mounted ¹	S
Helipad	S
Utilities (Non-Municipally owned or Controlled), including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	S
Municipally Owned or Controlled Facilities, Utilities and Uses	P
Private Streets	S
Radio Broadcasting	P
Railroad Yard or Shop	S
Recording Studio	P
Satellite Dish ¹	P
Transit Passenger Facility	S
Trucking Company	
TV Broadcasting & Other Communication Service	S
Utilities Holding a Franchise from City of Rockwall	S
Utility Installation, Other than Listed	S
Utility/ Transmission Lines	S
Wireless Communication Tower	S



Sec. 4.5. - Commercial (C) District.

A. Purpose.

1. The Commercial District is established to provide adequate space and site diversification for most types of commercial development in the City of Rockwall. Larger shopping centers and most of the existing commercial strips along major arterial roadways would be included in this district. The uses specified in this district include most types of retail activity and some wholesale with the exception of those uses which are not compatible with the retail shopping function. For example, lumberyards, contractor yards, and warehousing with high volumes of truck traffic and low volumes of retail type traffic are not included in this district.
2. This district will be the major retail district, with intensive commercial uses and large volumes of retail traffic. The noise, traffic, litter, late night hours, and other influences that could be harmful to residential areas require adequate buffering from residential areas, and the traffic from such uses should not pass through residential areas, except on arterial or major collectors.
3. Areas should not be zoned to this use unless they are located on or close to arterial or major collectors capable of carrying the additional traffic they will generate, and in areas where there is increased water, fire protection, wastewater and drainage capacity.
4. This zone is the general business zone, and it is intended that most commercial uses fall in this district, with the exception of the heavy commercial type uses. Since the zone is of a general nature, the development standards are less stringent and do not require as high a standard of development as the RO, NS and GR Districts.

B. Permitted uses. In general, any retail business, personal service, professional service, or business service conducted within a completely enclosed building, excluding high truck traffic uses, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in article IV, Permissible Uses.

C. Development standards.

1. Minimum site size: 10,000 square feet; one acre when adjacent to Interstate 30.
2. Minimum site frontage on a public street: 60 feet; 200 feet when adjacent to Interstate 30.
3. Minimum site depth: 100 feet; 200 feet when adjacent to Interstate 30.
4. Minimum depth of front yard setback: 15 feet from the future right-of-way as shown on the adopted thoroughfare plan or as actually exists, whichever is greater. Parking should not be located between the front facade and the property line.
5. Minimum width of side yard setback:

(Ord. No. 06-14, 4-17-2006)

- a. Without fire retardant wall: ten feet, or as required by building and/or fire codes.
- b. With fire retardant wall: zero feet.
- c. Abutting residentially zoned property: 20 feet plus one-half the building height over 36 feet.

- d. In no case shall more than a 50 foot setback be required.
 6. Minimum depth of rear yard setback:
 - a. Abutting nonresidentially zoned property, with fire retardant wall and alley separating: zero feet.
 - b. Without fire retardant wall, or alley: ten feet, or as required by building and/or fire codes.
 - c. Abutting residentially zoned property: 20 feet plus one-half the building height over 36 feet.
 - d. In no case shall more than a 50 foot setback be required.
 7. Minimum distance between detached buildings on the same lot or parcel of land:
 - a. Without fire retardant wall: 15 feet.
 - b. With fire retardant wall: zero feet.
 8. Maximum building coverage as a percentage of lot area: 60 percent.
 9. Maximum amount of impervious coverage as a percentage of lot area: 85 to 90 percent. See article VIII.5.12, Required Landscaping.
 10. Minimum amount of landscaped area - all development shall comply with article VIII, Landscape Standards.
 11. Maximum floor area ratio (FAR): 4:1 (FAR).
 12. Maximum building height: 240 feet. Any structure over 60 feet shall require a specific use permit.
 13. Minimum number of paved off-street parking spaces required: see article VI, Parking and Loading.
 14. Maximum number of entrances and/or exits:
 - a. Arterial streets: one per each 200 feet of street frontage per site, or as approved by the city council.
 - b. Collector streets: one per each 100 feet of street frontage per site, or as approved by the city council.
 - c. Local streets: one per each 50 feet of street frontage per site, or as approved by the city council.
 15. Residential adjacency. Lots with nonresidential uses that have a side or rear contiguous or separated only by an alley, or easement or street, from any residential district must be separated from such residential district by a buffer as defined in article VIII, Landscape Standards, or as approved by the city council.
 16. Building code. The building code may impose more restrictive development standards depending on the size, use and construction of the structures.
- D. *Special standards.*
1. *Sale of goods.* All business establishments other than those selling a service, shall be retail or wholesale service establishments dealing directly with customers. All goods produced on the premises shall be sold on premises where they are produced.
 - 2.

Business operations and storage. All business operations including storage shall be conducted within a completely enclosed building unless specifically authorized for the use as listed. This excludes off-street parking and loading, incidental display of retail items for sale, retail outlets where gasoline products are sold and drive-in businesses.

Permitted Land Uses in a Residential-Office (RO) District

Date: March 17, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Rural & Animal-Related	
Agricultural Uses on Un-Platted Land	P

Residential & Lodging	
Accessory Building ¹	P
Bed & Breakfast Operation ¹	P
Convent or Monastery	P
Garage	A
Home Occupation ¹	P
Residential Care Facility	S
Single Family, Detached ¹	P
Single Family, Zero Lot Line ¹	P
Swimming Pool, Private	A
Tennis Court Private	S
Townhouse	P

Institutional & Community Service	
Assisted Living Facility ¹	P
Convalescent Care Facility/Nursing Home ¹	P
Day Care (7 or More Children) ¹	S
Group or Community Home ¹	P
Halfway House ¹	S
Library, Art Gallery or Museum (Public)	P

Office & Professional	
Office, General	P
Office Building, less than 5,000 Sq. Ft.	P
Office Building, 5,000 Sq. Ft. or more	S

Recreation, Entertainment & Amusement	
Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary ¹	P

Retail & Personal Services	
Astrologer, Hypnotist, or Psychic Art and Science	P
General Retail Store	S
Hair Salon, Manicurist	S
Massage Therapist	P
Museum or Art Gallery (Private)	P
Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru or Drive-in	S
Studio - Art, Photography or Music	P

Commercial & Business Services	
Shoe and Boot Repair and Sales	S

Utilities, Communications & Transportation	
Antenna, Accessory ¹	P
Antenna, Dish ¹	A
Railroad Yard or Shop	S



Sec. 4.2. - Residential Office (RO) District.

- A. Purpose.** The R-O District recognizes the existence of older residential areas of the city where larger houses have been or can be converted from single-family and two-family residences to low-intensity office uses in order to extend the economic life of these structures and allow the owners to justify the expenditures for repairs and modernization. The intent of this district is to allow for low intensity office development providing professional, medical and other office services to residents in adjacent neighborhoods. R-O districts shall have principle access to major or secondary thoroughfares and may serve as an area of transition between residential and high-intensity nonresidential uses or busy arterial thoroughfares
- B. Permitted uses.** In general, low intensity office development providing professional, medical and other office services to residents in adjacent neighborhoods, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in article IV, Permissible Uses.
- C. Development standards.**
1. Minimum lot area: 6,000 square feet.
 2. Maximum lot area: 43,560 square feet.
 3. Minimum lot frontage on a public street: 60 feet.
 4. Minimum lot depth: 100 feet.
 5. Minimum depth of front yard setback: 25 feet (from future right-of-way as shown on the adopted thoroughfare plan or as actually exists, whichever is greater) in those instances where an existing structure is converted into an office use.
 6. Minimum width of side yard setback: ten feet, except if the adjacent property is predominantly residentially zoned or residentially used, in which case the setback shall be 20 feet.

(Ord. No. 06-14, 4-17-2006)

7. Minimum depth of rear yard setback: 30 feet.
8. Minimum distance between detached buildings on the same lot or parcel of land:
 - a. Without fire retardant wall: 15 feet.
 - b. With fire retardant wall: zero feet.
9. Minimum requirement for construction materials. For existing structures, no change to exterior walls shall be required. For new structures, each exterior wall shall consist of 90 percent masonry material excluding doors and windows.
10. Maximum building coverage as a percentage of lot area: 40 percent.
11. Maximum floor-area ratio (FAR): 0.33 FAR.
12. Maximum amount of impervious coverage as a percentage of lot area: 75 to 80 percent.
13. Minimum amount of landscaped areas: all development shall comply with article VIII, section 5.12, Required Landscaping.

Amenity open space: seven percent of the interior of the parking lot, not including the setback and buffer development standards, shall be previous land area in association with plantings.

14. Maximum building height: 36 feet.
15. Minimum number of paved off-street parking spaces required: see article VI, Parking and Loading. Off-street parking shall not be permitted in the required setback in this district.
16. Maximum number of entrances and/or exits:
 - a. Arterial streets: one per each 200 feet of street frontage per site, or as approved by the city council.
 - b. Collector streets: one per each 100 feet of street frontage per site, or as approved by the city council.
 - c. Local streets: one per each 50 feet of street frontage per site, or as approved by the city council.
17. Residential adjacency. Lots with nonresidential uses that have a side or rear contiguous or separated only by an alley, or easement or street, from any residential district must be separated from such residential district by a buffer as defined in article VIII, Landscape Standards, or as approved by the planning and zoning commission.
18. Building code. The building code may impose more restrictive development standards depending on the size, use and construction of the structures.

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 0.478-ACRE TRACT OF LAND IDENTIFIED AS TRACT 7 OF THE D. ATKINS SURVEY, ABSTRACT NO. 1, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBITS 'A', 'B', & 'C' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Susan Gamez for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 0.478-acre tract of land identified as Tract 7 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A', 'B', & 'C'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agriculture (AG) District to a Commercial (C) District; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Commercial (C) District* in *Section 1.1, "Use of Land and Buildings,"* of *Article IV, "Permissible Uses"* and *Section 4.5, "Commercial (C) District,"* of *Article V, "District Development Standards,"* of the *Unified Development Code* of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

Section 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF OCTOBER, 2016.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 19, 2016

2nd Reading: October 3, 2016

Exhibit 'A':
Legal Description

BEING situated in the Daniel Atkins Survey, Abstract No. 1, Rockwall County, Texas, and being a part or that certain 2.1-acre tract as described in a deed to Charles Parton and wife, as recorded in Volume 51, Page 504, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found in an existing gravel road at the most southern corner of a tract described in a deed to Charles Prock and wife, recorded in Volume 125, Page 18, Deed Records, Rockwall County, Texas;

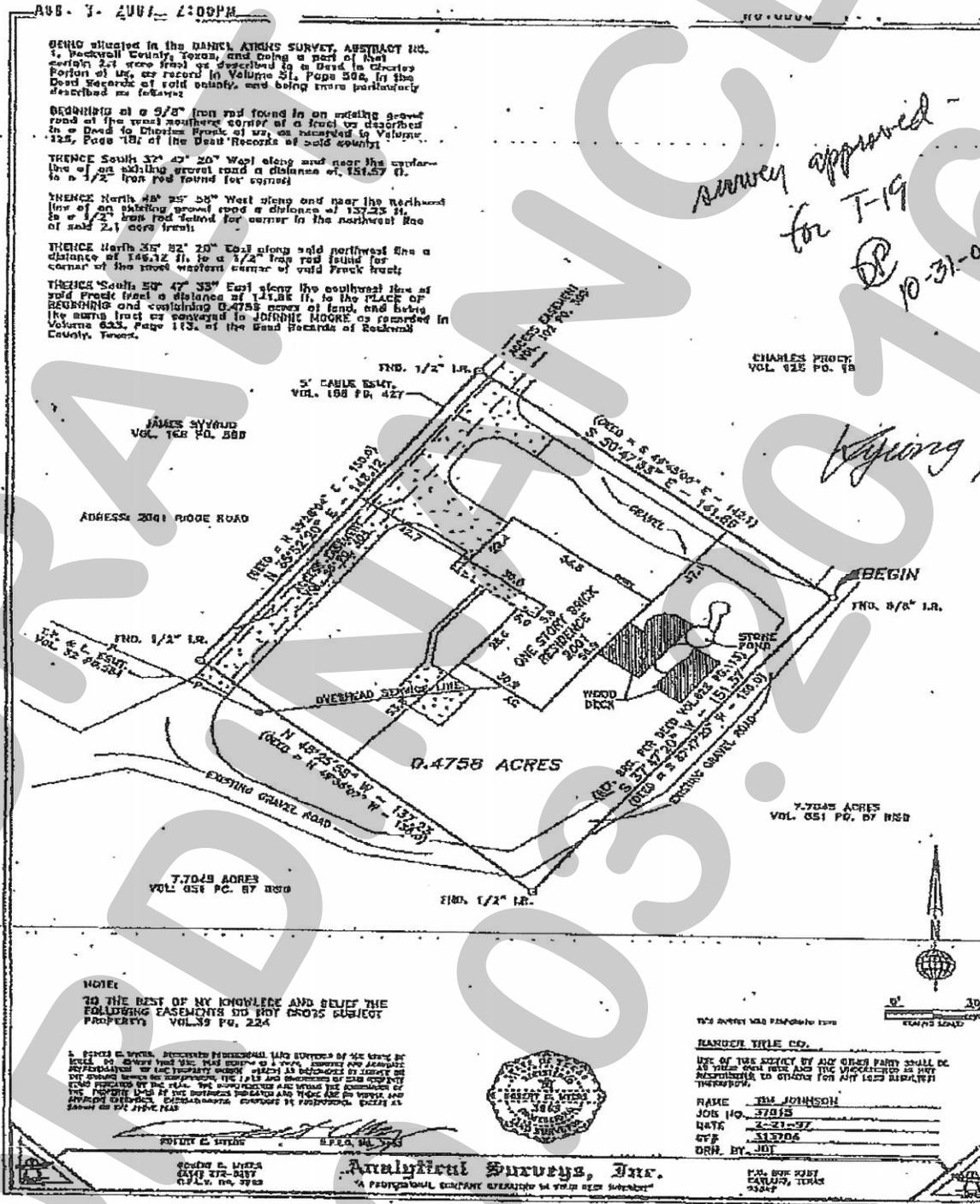
THENCE South 37 Degrees 47 Minutes 20 Seconds West along and near the centerline of an existing gravel road, a distance of 151.57-feet to a ½-inch iron rod found for corner;

THENCE North 48 Degrees 25 Minutes 58 Seconds West along and near the northeast line of an existing gravel road, a distance of 137.23-feet to a ½-Inch iron rod found for corner in the northwest line of said 2.1-acre tract;

THENCE North 35 Degrees 52 Minutes 20 Seconds East along said northwest line, a distance of 146.12-feet to a ½-inch iron rod found for corner at the most western corner of said Prock tract;

THENCE South 50 Degrees 57 Min 33 Seconds East along the southwest line of said Prock tract, a distance of 141.86-feet to the *PLACE OF BEGINNING* and containing 0.4758-acres of land, and being the same tract as conveyed to Johnnie Moore as recorded in Volume 623, Page 113, Real Estate Records, Rockwall County, Texas.

Exhibit 'B':
Survey



*Survey approved -
for T-19
DP
10-31-0*

Wijong

GENCO situated in the DANIEL ATKINS SURVEY, ABSTRACT NO. 1, Rockwall County, Texas, and being a part of that certain 2.1 acre tract as described in a Deed to Charles Foyler of use, as recited in Volume 31, Page 306, in the Deed Records of said county, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found in an existing gravel road at the west-southern corner of a tract as described in a Deed to Charles Foyler of use, as recited in Volume 125, Page 187, of the Deed Records of said county;

THENCE South 37° 42' 20" West along and near the center-line of an existing gravel road a distance of 151.57 ft. to a 1/2" iron rod found for corner;

THENCE North 48° 25' 58" West along and near the north-west line of an existing gravel road a distance of 127.23 ft. to a 1/2" iron rod found for corner in the northwest face of said 2.1 acre tract;

THENCE North 35° 52' 20" East along said northwest line a distance of 146.12 ft. to a 1/2" iron rod found for corner at the most western corner of said track tract;

THENCE South 59° 47' 33" East along the southeast line of said track tract a distance of 11.88 ft. to the PLACE OF BEGINNING and containing 0.4758 acres of land, and being the same tract as conveyed to JOHNNIE MOORE as recited in Volume 633, Page 113, of the Deed Records of Rockwall County, Texas.

NOTE:
TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FOLLOWING EASEMENTS DO NOT CROSS SUBJECT PROPERTY. VOL. 125 PG. 224

I, Surveyor, personally examined the corners of the tract as shown on above plat and find same as shown, correct and accurate. My services as Surveyor are shown as indicated by the amount shown on the plat. The amount shown and shown on the plat is the amount of my services and shown on the plat. The amount shown and shown on the plat is the amount of my services and shown on the plat.



THIS SURVEY WAS PREPARED FOR:
RANGER TITLE CO.
USE OF THIS SURVEY BY ANY OTHER PARTY SHALL BE AT THEIR OWN RISK AND THE SURVEYOR IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.
NAME: TIM JOHNSON
JOB NO: 37815
DATE: 2-23-97
CWP: 313006
DRN. BY: JDT

Paradigm Surveys, Inc.
A PROFESSIONAL COMPANY OPERATING IN THE STATE OF TEXAS
COURT ST. SUITE 400
CARLISLE, TEXAS 75006
TEL. 972.337.2347

Exhibit 'C':
Zoning Exhibit



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 09/13/2016

APPLICANT: Jimmy Strohmeyer of *Strohmeyer Architects Inc.*

AGENDA ITEM: **Z2016-029**; Retail Store with Gasoline Dispensers – SUP

SUMMARY:

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the intersection of SH-205 [*S. Goliad Street*] and FM-549, and take any action necessary.

BACKGROUND INFORMATION:

The applicant is requesting the approval of a Specific Use Permit (*SUP*) to allow a retail store with more than two (2) gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land located at the southwest corner of the intersection of SH-205 and FM-549. The property is currently zoned as General Retail (GR) District. According to the Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a retail store with more than two (2) gasoline dispensers requires a Specific Use Permit (*SUP*) in a General Retail (GR) District.

As part of the Specific Use Permit (*SUP*) submittal, the applicant has submitted a conceptual site plan indicating a 5,600 sq. ft. retail store with eight (8) fuel dispensers. *The number of fuel dispensers requested would allow for a maximum of 16 vehicles being serviced at any one time.* The site will be accessed from SH-205 and FM-549, providing two (2) points of ingress/egress. If approved, the applicant will be required to submit a site plan and replat the property.

Included in your packet is the applicant's concept plan indicating the location of the proposed site in relation to the overall boundary of the property and a more detailed concept plan indicating the proposed gas station layout. As a note, a request for an *SUP* is a discretionary decision for the Planning and Zoning Commission and the City Council.

NOTIFICATION:

Staff mailed eleven (11) notices to property owners and residents within 500 feet of the subject property. Staff also notified one (1) HOA/Neighborhood Organization (*Oaks of Buffalo Way*) that is within 1,500 feet participating in the notification program. Additionally, staff posted a sign on the property as required by the Unified Development Code (*UDC*). At the time this report was drafted, staff has received two (2) notices "*opposed to*" the zoning change request.

RECOMMENDATIONS:

Should the Specific Use Permit be approved, staff would offer the following conditions:

1. The development must meet all Fire Department, Building Inspections, and Engineering standards.
2. Submittal and approval of a site plan and final plat (mylars in house for filing purposes) are required prior to the issuance of a building permit.
3. The development shall be limited to a maximum of eight (8) gasoline dispensers as depicted on the Concept Site Plan.
4. No outside display of merchandise or outside storage shall be permitted on the subject property, with the exception of the following items (if approved by the Planning and Zoning Commission during the site plan phase): ice machine, propane cage, and/or DVD rental kiosk.
5. The City Council reserves the right to review the Specific Use Permit granted herein upon the expiration of one (1) year from the date hereof.
6. Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Applied 8/15/2016 LM
 Approved
 Closed
 Expired
 Status 8/15/2016 LM

Project Number Z2016-029
 Project Name SW Corner of SH-205 & FM-549
 Type ZONING
 Subtype SUP
 Status STAFF REVIEW

Owner J, BR2 LLC
 Applicant STROHMEYER ARCHITECTS

Site Address 5133 S FM549
 City, State Zip ROCKWALL, TX 75032

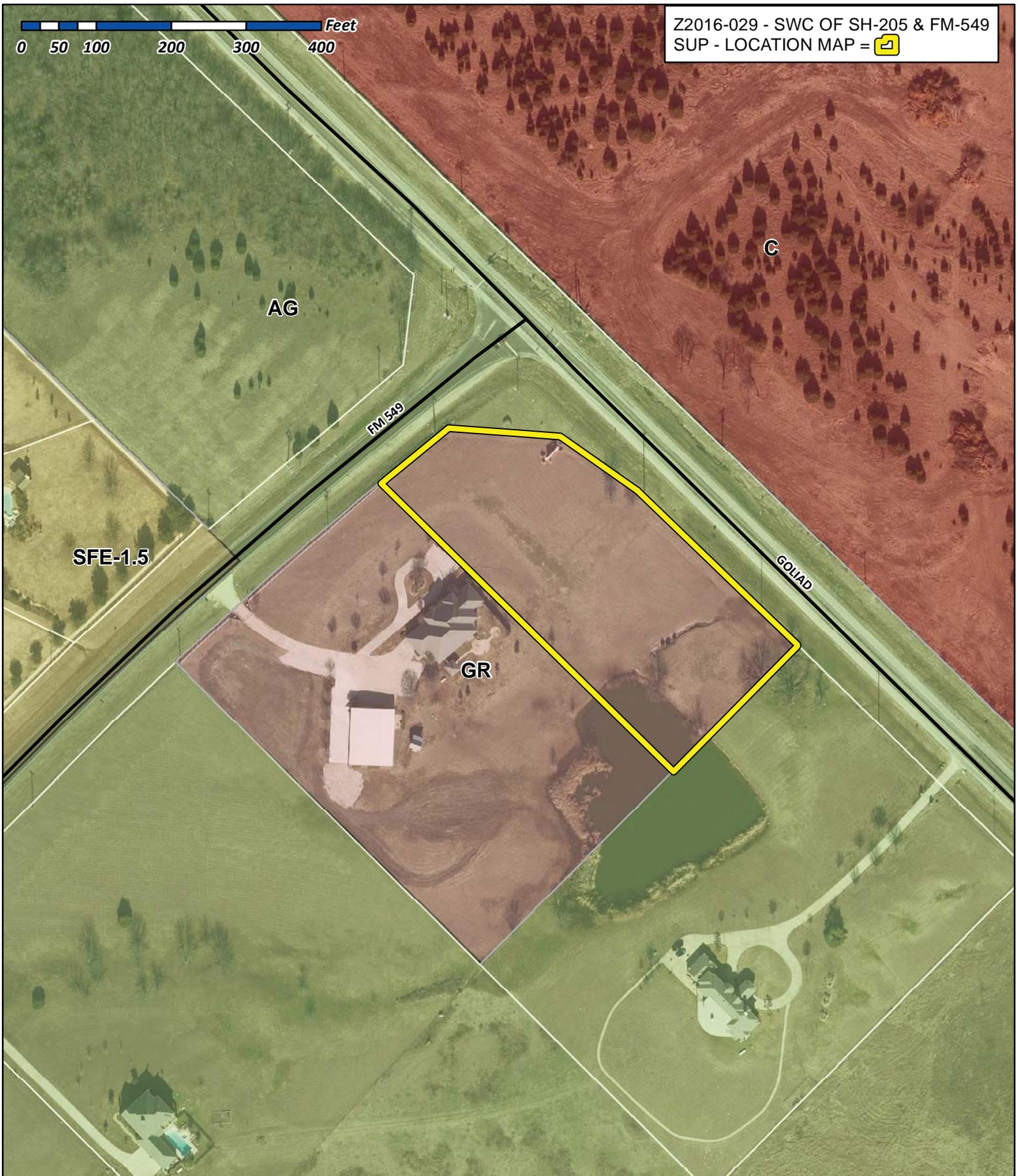
Subdivision	Tract	Block	Lot No	Parcel No	General Plan	Zoning
	17-12	NULL	17-12	0080-0000-0017-12-0R		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	John Shannon	8/15/2016	8/22/2016	8/17/2016	2 APPROVED	
ENGINEERING (8/19/2016 2:32 PM AW) All items must be addressed in site planning, engineering, and platting. Both FM 549 and SH 205 is to have a total of 120' of right-of-way so dedication may be necessary Need to show a 20' utility easement along FM 549 Need to show a 15' water line easement along H 205 Driveway onto SH 205 doesn't meet City or TXDOT spacing requirements Driveway onto FM 549 doesn't meet City or TXDOT spacing requirements (unless it is existing) Water not supplied by City of Rockwall Sanitary sewer is required which may have a pro-rata due Adhere to all fire department requirements The drainage under the canopy and from the dumpster area is required to drain to a grease trap if the building is required to have one, and if the building doesn't require one, these areas must drain to an oil/water separator prior to storm system. Traffic impact analysis is required Detention is required No deadend parking Parking to be 20'x9'	Amy Williams	8/15/2016	8/22/2016	8/23/2016	8 APPROVED	See Conditions and attachment
FIRE (8/17/2016 2:29 PM AA) Shall comply with all fire code requirements, including fire sprinkler protection if over 5,000 sq. ft.	Ariana Hargrove	8/15/2016	8/22/2016	8/17/2016	2 APPROVED	see comment
PLANNING Hold a public hearing to discuss and consider a request by Jimmy Strohmeier Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the	David Gonzales	8/15/2016	8/22/2016	8/18/2016	3 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
southwest corner of the intersection of SH-205 [S. Goliad Street] and FM-549, and take any action necessary.						
The following staff comments are to be addressed and resubmitted no later than Tuesday, September 6, 2016. Please provide two large copies [24" X 36" FOLDED] of the Concept Plan and one PDF version for a subsequent review by staff:						
<ul style="list-style-type: none"> On all future plan submittals please include the Case Number (Z2016-029) in the lower right hand corner. 						
Planning Staff General Comments/Conditions of SUP:						
<ol style="list-style-type: none"> The structure must meet all Fire Department, Building Inspections, and Engineering standards. Submittal and approval of a site plan and final plat (mylars in house for filing purposes) are required prior to the issuance of a Certificate of Occupancy (CO). The development shall be limited to a maximum of eight (8) gasoline dispensers as depicted on the Concept Site Plan. No outside display of merchandise or outside storage shall be permitted on the subject property, with the exception of the following items (which will require approval by the Planning and Zoning Commission during the site plan phase): ice machine, propane cage, and/or DVD rental kiosk. The City Council reserves the right to review the Specific Use Permit granted herein upon the expiration of one (1) year from the date hereof. Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government. 						
You and/or your representative(s) are required to be in attendance for the following scheduled meetings. All meetings will begin at 6:00 p.m. in the City's Council Chambers.						
<ul style="list-style-type: none"> Please mark your calendar for the scheduled meeting dates as follows: 						
Planning - Work Session: August 30, 2016 (Presentation/discussion by applicant)						
Planning - Public Hearing: September 13, 2016						
City Council - Public Hearing: September 19, 2016 [First Reading of Ordinance]						
City Council -2nd Reading (if approved): October 3, 2016 (Tuesday)						

0 50 100 200 300 400 Feet

Z2016-029 - SWC OF SH-205 & FM-549
SUP - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

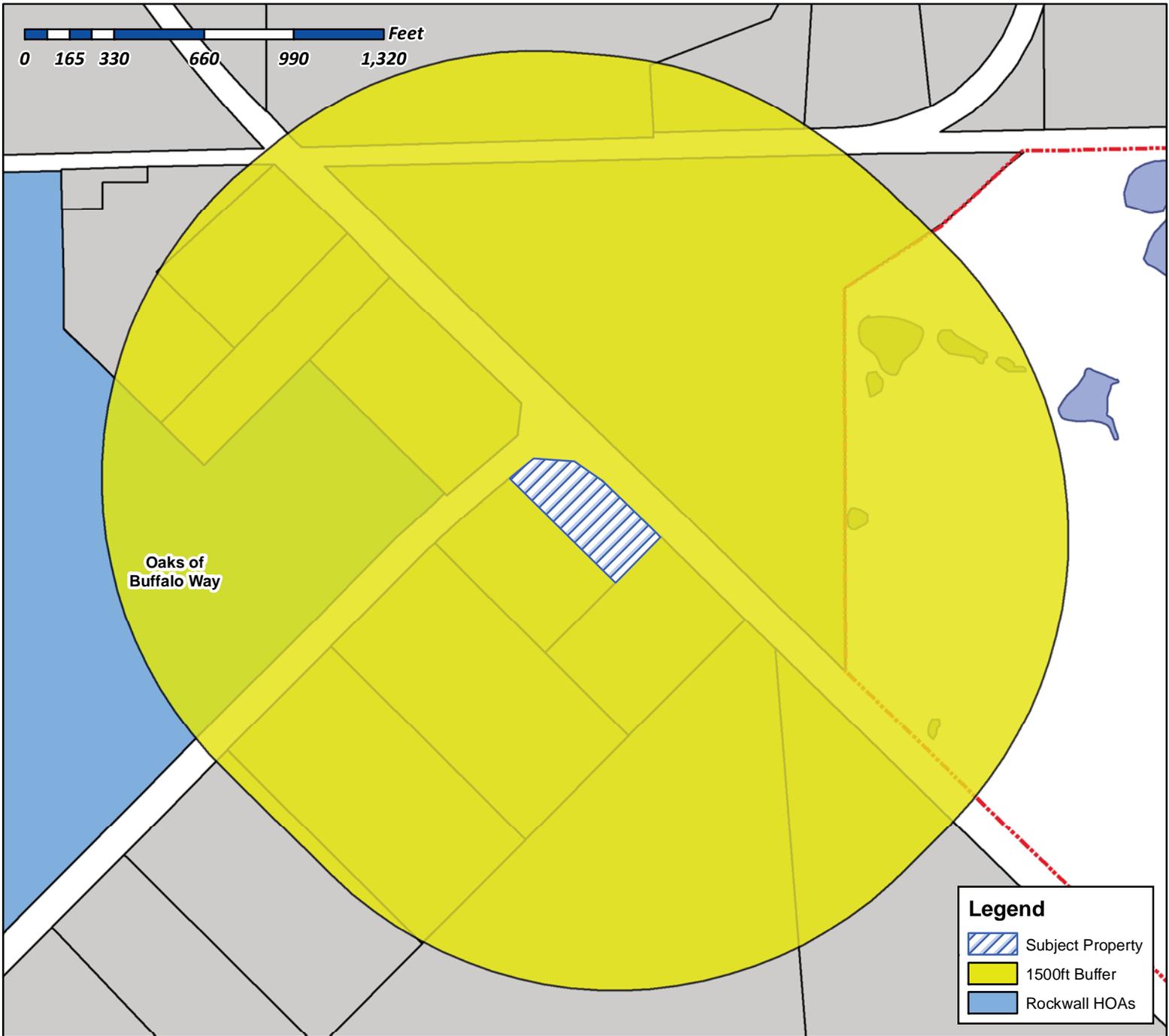




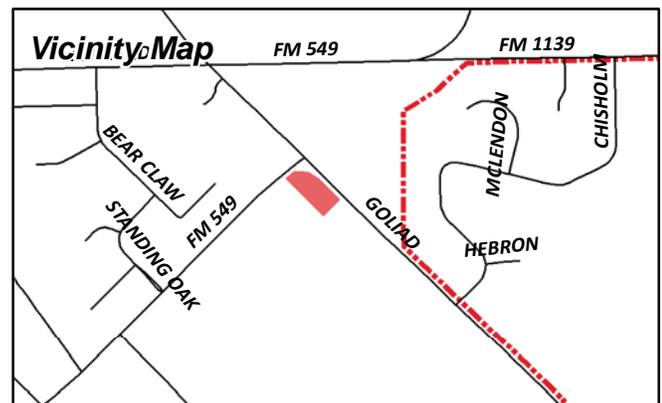
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-029
Case Name: SW Corner of SH-205 & FM-549
Case Type: Specific Use Permit
Zoning: General Retail (GR) District
Case Address: SW Corner of SH-205 & FM-549



Date Created: 08/16/2016

For Questions on this Case Call (972) 771-7745

Gonzales, David

From: Morales, Laura
Sent: Thursday, August 18, 2016 1:25 PM
To: 'oaksofbwpres@gmail.com'
Cc: Miller, Ryan; Gonzales, David; Brooks, Korey
Subject: Neighborhood Notification Program: Notice of zoning request

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2016-029-Hold a public hearing to discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of D. W. Bobst of J-BR2, LLC for the approval of a Specific Use Permit (SUP) to allow a retail store with more than 2 gasoline dispensers on a 2.59-acre tract of land being a portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated at the southwest corner of the intersection of SH-205 [S. Goliad Street] and FM-549, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



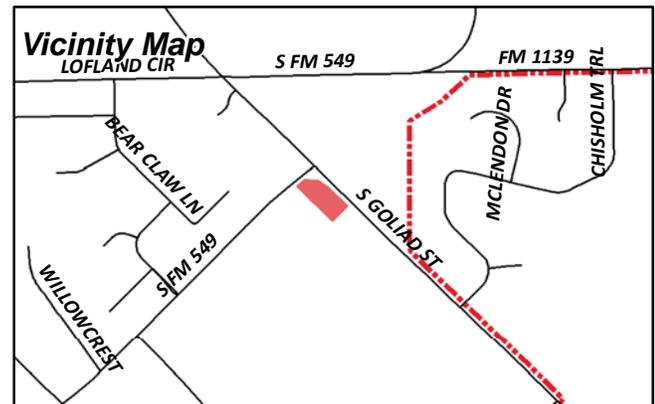
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(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-029
Case Name: SW Corner of SH-205 & FM-549
Case Type: Specific Use Permit
Zoning: General Retail (GR) District
Case Address: SW Corner of SH-205 & FM-549



Date Created: 08/16/2016

For Questions on this Case Call (972) 771-7745

J BR2 LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

ROCKWALL RETAIL INVESTORS LLC
2701 SUNSET RIDGE DR #607
ROCKWALL, TX 75032

HOME BOY ENTERPRISES INC
460 LAWRENCE DR
HEATH, TX 75032

ZEB MOHIUDIN DR &
NASREEN ZEB
5128 S STATE HIGHWAY 205
ROCKWALL, TX 75032

CURRENT RESIDENT
5133 S FM549
ROCKWALL, TX 75032

PHILIP LIVING TRUST
5160 BEAR CLAW LN
ROCKWALL, TX 75032

YOUNG BRIAN E & PATTI D
5165 BEAR CLAW LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
5170 BEAR CLAW LN
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G
5205 S FM 549
ROCKWALL, TX 75032

THURMOND KATHRYN ESTATE
KENN KAPP INDEPENDENT EXECUTOR
5606 POLO RD
COLLEGE STATION, TX 77845

ROCKWALL HIGHGATE LTD
C/O SCOTT ASBURY
6210 PRESTON CREEK DR
DALLAS, TX 75240

Gonzales, David

From: Planning
Sent: Tuesday, September 06, 2016 9:08 AM
To: Gonzales, David
Subject: FW: Case No. Z2016-029: 205 & 549

From: Scott Asbury [<mailto:sasbury@3lrealtygroup.com>]
Sent: Friday, September 02, 2016 10:51 AM
To: Planning; Miller, Ryan
Subject: Case No. Z2016-029: 205 & 549

David,

I am writing regarding the SW corner of 205 & 549. We own the 264 acres SW of and adjacent to the subject property. I am both in favor and opposed to the proposal. I am in favor of commercial development at this site. I believe that one day soon this will be a major commercial intersection, and in turn help support major residential development south of Interstate 30. That said, I do not believe that a freestanding gas station is the highest and best use of this property, nor would it encourage larger, more significant commercial projects in this area.

I believe that it is NOT the city councils responsibility to limit market growth, but it IS their responsibility to insure that the growth that is occurring happens in a high quality manner that allows the best benefits the entire Rockwall community and tax base.

Please provide these comments to the City Council as part of the public hear process.

Thanks you.

Sincerely,

Scott Asbury
214-566-8699

Gonzales, David

From: Morales, Laura
Sent: Tuesday, September 06, 2016 8:19 AM
To: Gonzales, David
Subject: FW: Zoning

From: Ward Fam [<mailto:jprj@charter.net>]
Sent: Saturday, September 03, 2016 12:21 PM
To: Morales, Laura
Subject: Zoning

Mrs. Morales,

I live in the Oak's of Buffalo Way subdivision. I was just informed that there is a meeting to discuss putting a gas station on the corner of 549 and 250. I am against this, because there is so much traffic on these two roads already. We can hardly get in and out of our subdivision now. I don't know if you have been on 205 in the mornings or after 5 in the evenings but cars are lined up for a mile or more. Sometimes in the middle of the day we have to sit at three lights before we can turn down 549 to get into our neighborhood. The traffic down these two roads are backed up due to not enough lanes to flow. A gas station here would cause accidents because we don't even have turning lanes. The lanes down at this end of 205 only have one lane on each side. When I sit at 205 coming from Lakeshore church to my neighborhood I have to turn left and there is no turning lane so the people that are behind me pass me on the shoulder doing at least 50 or 60 miles an hour and this is dangerous. The eighteen wheelers pass me doing this speed too. We have had several wrecks at this intersection. Putting a gas station here would cause more congestion and wrecks. The roads are not spread out enough for growth on this end right now. I ask that you please vote against this gas station being put on the corner. I would like to have more upscale things down 205 rather than car washes, gas stations, nail salons, and donut shops. It would be great to make 205 like a Legacy Drive with nice restaurants when the roads are widened. Maybe an upscale grocery store like Central Market again when all the roads are widened. We need upscale things here so that we as taxpayers will not have to pay the high taxes that were dumped on us this year. I wanted to retire here, but I may have to move because of the tax increases. Thank you for all your time in this matter and I appreciate you taking the time to read my email.

Pam Ward
4920 Bear Claw Lane
Rockwall, TX75032



STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

FILE COPY

CONCEPT DESIGN

**NOT FOR BIDDING
OR
CONSTRUCTION**

JBR-2

CONVENIENCE STORE
HWY 549 / HWY 205
ROCKWALL, TX

Project Number: 0400

Drawing Date:

Drawn:

Checked:

Scale:

ACAD File: BOBST-549-CONSTORE.dwg

© 2016 Strohmeier Architects, Inc.

Revisions:

Sheet Title:

F.M. ROAD NO. 549
(VARIABLE WIDTH R.O.W.)

PARKING

REQUIRED - 1 PER 250 SF RETAIL
5,600 / 250 = 23 SPACES

PROVIDED - 28 SPACES

2016 029



STATE HIGHWAY 205
(VARIABLE WIDTH R.O.W.)



**LOT 2
BLOCK A**
2.590 AC
112,811 SF

**LOT 1
BLOCK A**
4.738 AC
206,424 SF

1 - CONCEPT PLAN
SCALE: 1" = 30'

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 09/13/2016

APPLICANT: Tim Seymore of *Seymore Custom Homes, LLC*

AGENDA ITEM: **SP2016-016**; Commercial/Industrial Facility – 496 National Drive

SUMMARY:

Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 496 National Drive, and take any action necessary.

PURPOSE:

The applicant is requesting approval of a site plan for the purpose of constructing a 3,600 sq. ft. building that will serve as an additional facility (*for storage purposes*) to an existing ~6,000 sq. ft. building. An amendment to the site plan is required due to the proposed building exceeding 50% of the size of the existing building. The applicant is proposing the new facility to be constructed with 100% metal panels on the exterior. This will require approval of an exception to the exterior material requirements and has been added as a condition of approval. The property is a 2.02-acre parcel of land that is zoned Heavy Commercial (HC) District and is addressed as 496 National Drive.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The proposed storage facility is permitted by right on the subject property. The existing site has a total of 12 parking spaces and requires one (1) additional space. The applicant is requesting a variance to allow for the 12 existing spaces rather than provide an additional space due to the buildings' use as a storage facility. The applicant has stated that the owner is not expanding their existing work force, which eliminates the need for the additional parking space. This variance has also been included as a condition of approval.

Aside from the exterior material exceptions, the variance to the parking standards, and the conditions listed in the *Recommendations* section of this report, the submitted site plan and building elevations are in substantial compliance with the technical requirements contained within the Unified Development Code (UDC).

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 sq. ft.	2.02-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	x=350-Feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	x=250-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	x>25-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	0-Feet	x=10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	0-Feet ¹	x=25-Feet; In Conformance
<i>Maximum Building Height</i>	60-Ft w/o SUP ²	16-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X<60%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	100% Metal Wall Panels; <i>Exception Request</i>

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Floor Area Ratio	4:1	x<4:1; In Conformance
Minimum Number of Parking Spaces	13	12 Provided; <i>Variance Requested</i>
Minimum Stone Requirement (SH205 OV)	20% ea facade	100% Metal Wall Panels; <i>Exception Request</i>
Minimum Landscaping Percentage	15%	x>15%; In Conformance
Maximum Impervious Coverage	85 to 90%	<85%; In Conformance

NOTES: 1. With fire retardant wall: zero feet plus one-half of the building height over 36 feet.
2. Maximum building height: 240 feet. Any structure over 60 feet shall require a specific use permit.

EXCEPTION AND VARIANCE REQUESTS:

The applicant is requesting exceptions and a variance to the Unified Development Code (UDC) for the sections outlined below. As a note, an exception request to the UDC requires passage of a simple majority vote of those City Council members present. The code reads as follows:

Exterior walls. *Each exterior wall shall consist of 90 percent masonry materials as defined in article XIII...on walls which are visible from a public street or open space, including a minimum of 20 percent stone.*

All buildings shall have exterior walls constructed of stone, brick, glass block, tile, cast metal, cast or cultured stone, or a combination of those materials. The use of other cementaceous products (e.g., stucco, Hardy Plank, or other similar materials) shall be limited to 50 percent of the building's exterior finishes...

Exceptions to this requirement may be permitted on a case by case basis by the council upon submission and approval of elevation drawings of the subject structure, and material samples.

The applicant is requesting the following exceptions to the exterior materials:

- a. *Article V, Section 4.1.A.1 General Commercial District Standards* – An exception to allow for not meeting the 90% (exterior) masonry material requirements by allowing 100% metal wall panels for all elevations as submitted.
- b. *Article V, Section 4.1.A.1 General Commercial District Standards* – An exception to allow for not meeting the 20% stone requirements by allowing 100% metal wall panels for all elevations as submitted.

Sec. 2.3. - Expansion of an existing use. *If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. The required parking for is calculated as:*

Existing Nonconforming Building:

1 space per 300 sq. ft. of existing office space = 1,800 sq. ft./300 = 6 spaces
1 space per 1000 sq. ft. of warehouse/storage – 4,200 sq.ft./1,000 = 4 spaces
 ** Existing parking spaces = 12 **

New Facility:

1 space per 1000 sq. ft. of warehouse/storage – 3,600 sq. ft./1000 = 3 spaces

Total Spaces Required = 13 Spaces

The applicant is requesting the following exception to the Off Street Parking Standards.

- c. *Article VI, Section 5.1 Off Street Parking Requirements* – A variance to allow for not meeting the minimum off street parking requirement by continuing the use of the 12 existing spaces rather than providing for the additional space.

A request for an exception to the exterior material requirements and variance to the parking requirements are discretionary decisions for the City Council.

RECOMMENDATIONS:

The site plan submitted by the applicant meets all the technical criteria stipulated by the Unified Development Code (UDC) with the exception of the items listed above. Should the Planning and Zoning Commission choose to approve the applicant's request, then the following conditions of approval should be adopted with this case:

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- 2) Approval of the exterior material exceptions by the City Council to allow for a 100% metal structure as outlined in this report.
- 3) Approval of a variance to the off street parking requirements by the City Council to allow for not meeting the off street parking requirements and to continue the use of the 12 existing parking spaces as outlined in this report.
- 4) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number SP2016-016	Owner MEADE, JAMES W & ROBIN N	Applied 8/12/2016 LM
Project Name 496 National Drive	Applicant SEYMORE CUSOM HOMES LLC	Approved
Type SITE PLAN		Closed
Subtype AMENDING		Expired
Status STAFF REVIEW		Status 8/12/2016 LM

Site Address 496 NATIONAL DR	City, State Zip ROCKWALL, TX 75032	Zoning
--	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	2-22	NULL	2-22	0128-0000-0002-22-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING	Amy Williams	8/12/2016	8/19/2016	8/24/2016	12	APPROVED W/ CONDITIONS	See Condition
(8/19/2016 1:42 PM AW) If any paving is installed it must adhere to all engineering standards including detention. No new rock/gravel will be allowed to be installed.							
FIRE	Ariana Hargrove	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING	David Gonzales	8/12/2016	8/19/2016	8/17/2016	5	COMMENTS	See comments

Discuss and consider a request by Tim Seymore of Seymore Custom Homes, LLC on behalf of James & Robin Meade for the approval of a site plan for the construction of a commercial/industrial building on an existing 2.02-acre commercial/industrial facility identified as Tract 2-22 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 496 National Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, September 7, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

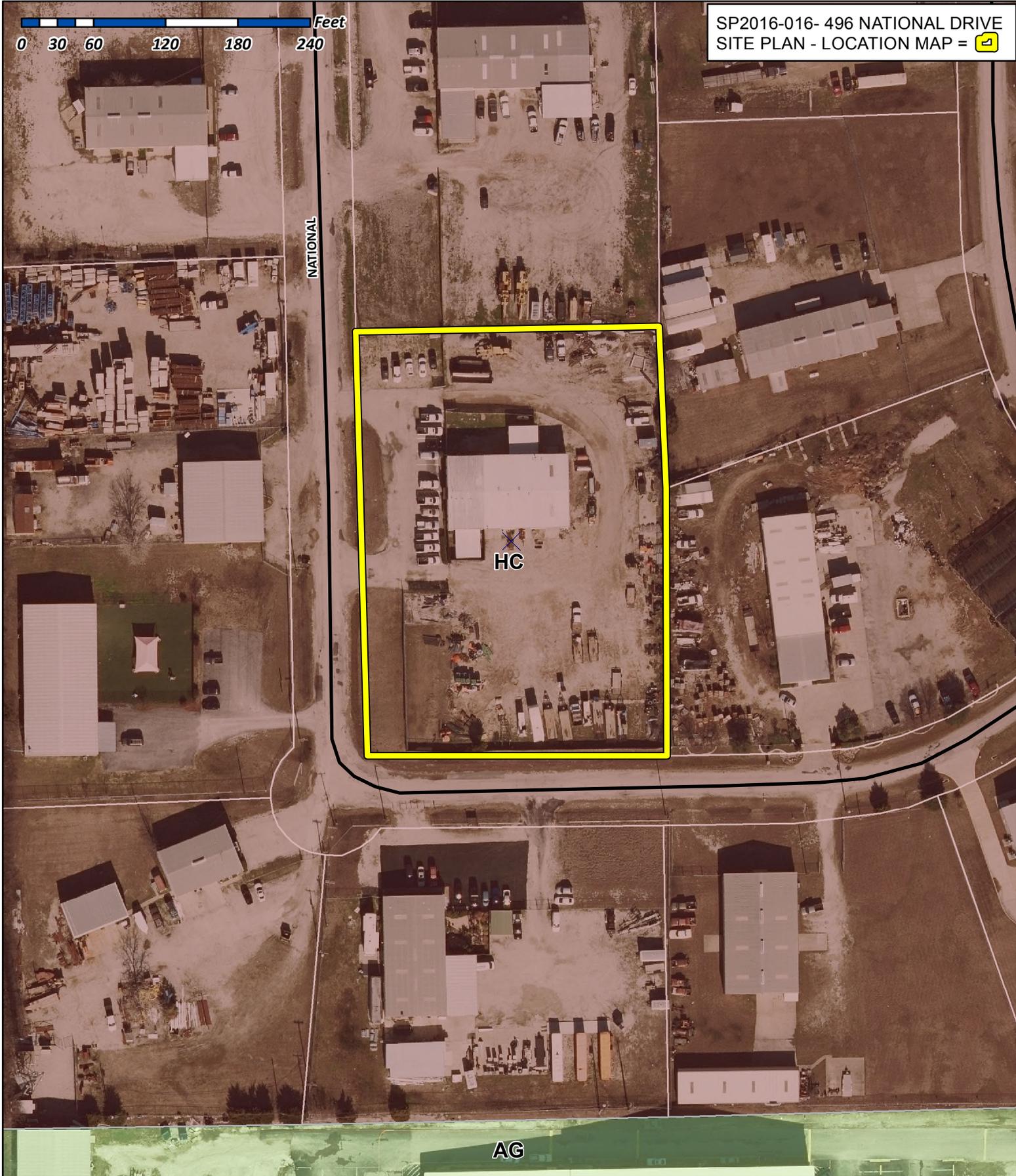
1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans (if required) and a Final Plat (plat must be filed) prior to issuance of a Certificate of Occupancy (CO).
3. Label site plan documents with "Case No. SP2016-016" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>1. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials,..., including 20% stone on walls which are visible from a public street or open space. North, South, East & West elevations require a minimum 20% stone and do not meet this standard.</p> <p>2. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials,..., on walls which are visible from a public street or open space. North, South, East & West elevations do not provide a minimum 90% masonry material and exceed 10% secondary materials with the use of metal wall panels.</p> <p>** Approval of exceptions to the exterior materials requested requires passage by a simple majority vote of City Council. **</p> <p>Please address the following Planning Comments for each plan submitted:</p> <p>Site Plan:</p> <p>1. UDC, Article VI Parking and Loading, Sec. 2.3. - Expansion of an existing use - If any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added. Provide floor plan of the existing building for determination of additional parking spaces required. The proposed (storage) structure requires a minimum of 3 spaces (1:1000).</p> <p>2. Remove semi-circles from site plan.</p> <p>Landscape Plan:</p> <p>1. Are you providing any (additional) landscaping?</p> <p>Photometric Plan:</p> <p>1. Will there be any additional exterior lighting (wall packs, poles, etc.) for the proposed building/site? If so, please provide a photometric plan for the new lighting fixtures meeting city standards.</p> <p>2. Additional lighting pole standards are not to exceed a maximum overall height of 30-ft (includes pole, base, fixtures, etc.) per the UDC standards. Provide detail.</p> <p>3. Provide cut sheets for all exterior lighting fixtures (e.g. pole lights, wall packs, etc.)</p> <p>4. Any additional lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare.</p> <p>5. Maximum lighting intensity at the property line is not to exceed 0.2-FC. Resubmit photometric plan and indicate readings to all property lines and in compliance with UDC (i.e. 0.2-FC)</p> <p>Building Elevations:</p> <p>1. What type of metal wall paneling is being used for the exterior of the proposed structure?</p> <p>2. Approval of the exceptions to the exterior material standards is required by the City Council as indicated above.</p> <p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend: Planning - Work Session: August 30, 2016 (6:00 p.m.) [Applicant to provide presentation and discuss project] Planning - Action: September 13, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)] City Council - Action: September 19, 2016 (6:00 p.m.) [FOR EXCEPTION REQUESTS ONLY]</p>						

0 30 60 120 180 240 Feet

SP2016-016- 496 NATIONAL DRIVE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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Gonzales, David

From: Tim Seymore <tim.tsch@sbcglobal.net>
Sent: Thursday, September 08, 2016 12:38 PM
To: Gonzales, David; Jimmy Meade
Subject: Re: P&Z Meeting Tonight - National Drive

As per our conversation yesterday you told me that we need one more parking spot to make the building work. My property owner wants to ask for a variance on the extra parking space. He has adequate parking for office personnel and the additional building is not for added employees, it is for equipment storage only.

Thanks, Tim



www.timseymore.com

On Friday, September 2, 2016 6:45 AM, "Gonzales, David" <DGonzales@rockwall.com> wrote:

Thank you, Tim. I will look this over and let you know if there is anything else I need.

Enjoy your holiday weekend,



DAVID GONZALES, AICP

SENIOR PLANNER • Planning & Zoning Division • City of Rockwall

972.772.6488 OFFICE

DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

helpful links | [City of Rockwall Website](#) | [Planning & Zoning Division Website](#) | [Municipal Code Website](#)

[City of Rockwall Interactive Maps](#)

From: Tim Seymore [<mailto:tim.tsch@sbcglobal.net>]
Sent: Thursday, September 01, 2016 9:02 PM
To: Gonzales, David
Cc: 'meadegroup@juno.com'
Subject: Re: P&Z Meeting Tonight - National Drive

David,

Will this work for the floor plan of the existing building at 496 National Dr. You said you needed this to calculate parking spaces. There are 12 spaces in front of the building and 6 spaces over to the side front. There is a lot of parking around the building behind the fence. Let me know if you need something other than this.

Tim 214-803-2763

www.timseymore.com

On Tuesday, August 30, 2016 7:26 AM, "Gonzales, David" <DGonzales@rockwall.com> wrote:

Mr. Seymore,

Please find attached staff comments for your project in Rockwall. The Planning and Zoning Commission will conduct a work session tonight, Tuesday, August 30th. The meeting will begin at 6:00 p.m. in the City's Council Chambers. You and/or your representative will present your project to the Commission and answer questions they may have regarding the project. If you have any questions prior to the meeting, please let me know.

Thank you,



DAVID GONZALES, AICP

SENIOR PLANNER • Planning & Zoning Division • City of Rockwall

972.772.6488 OFFICE

DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

helpful links | [City of Rockwall Website](#) | [Planning & Zoning Division Website](#) | [Municipal Code Website](#)

[City of Rockwall Interactive Maps](#)

496 NATIONAL DR

60'

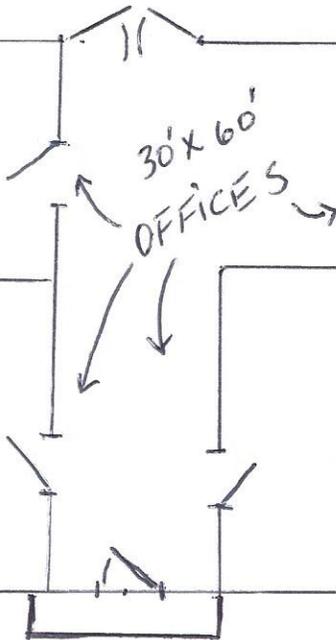
WAREHOUSE

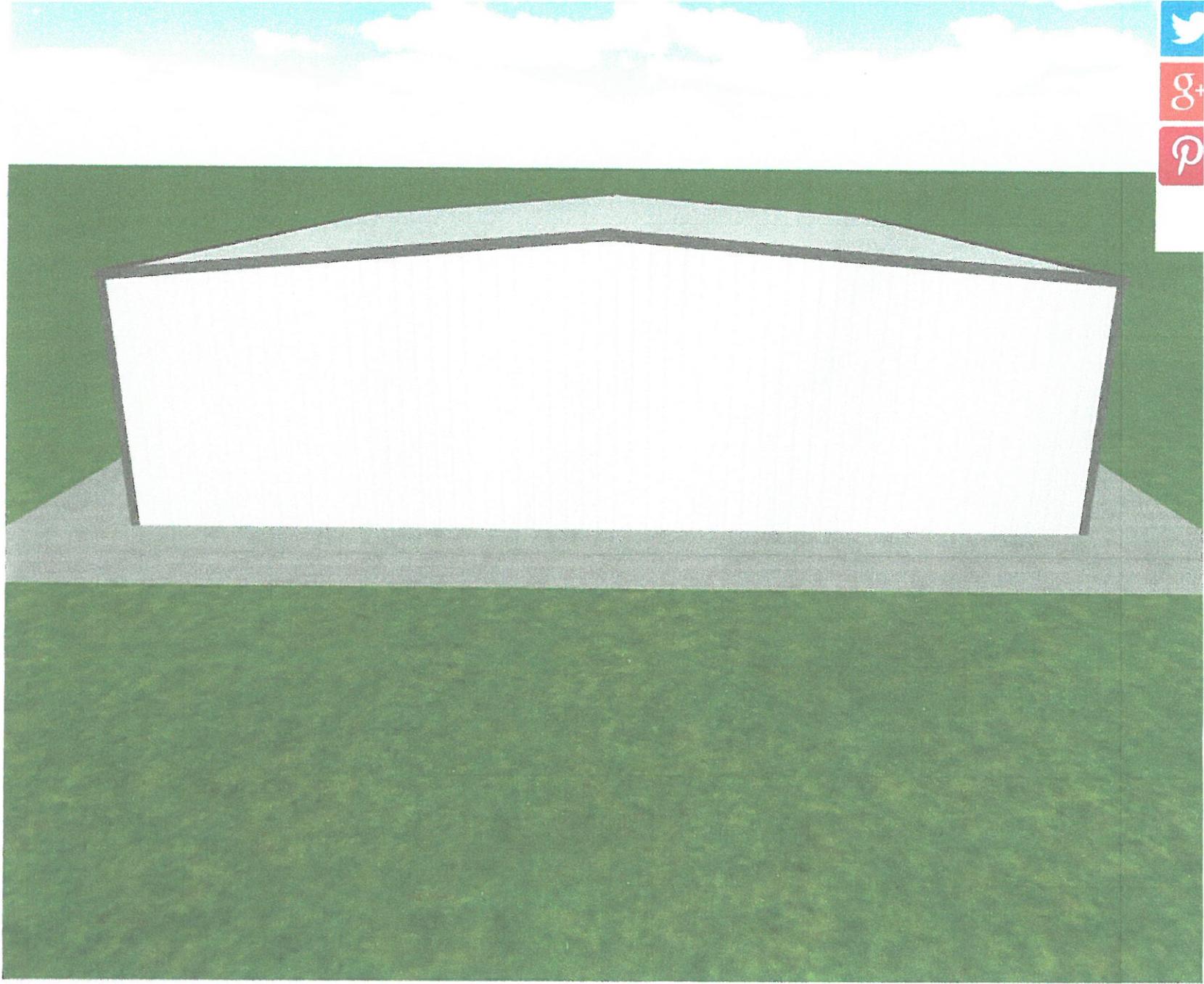
100'

WAREHOUSE

70'

30'





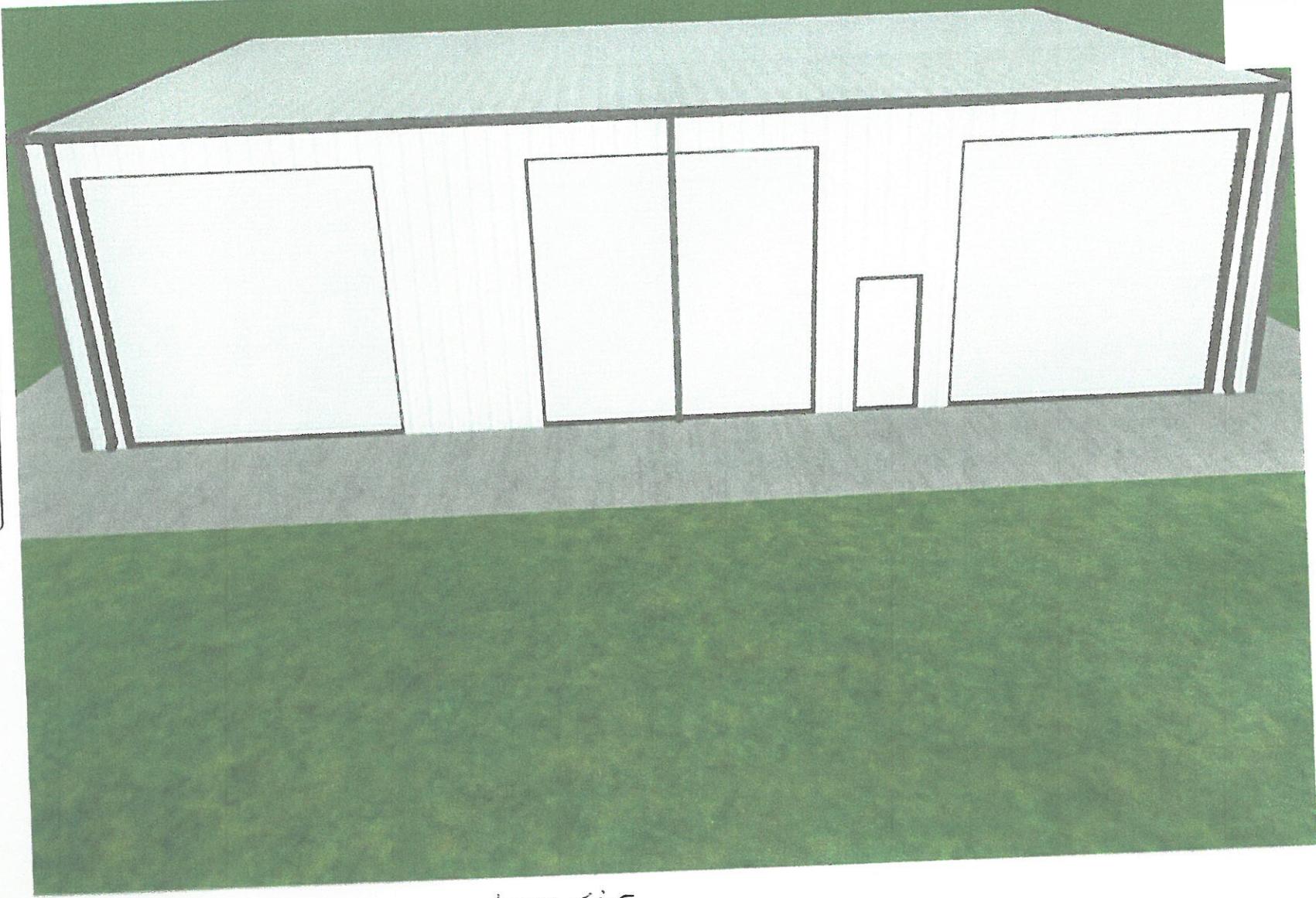
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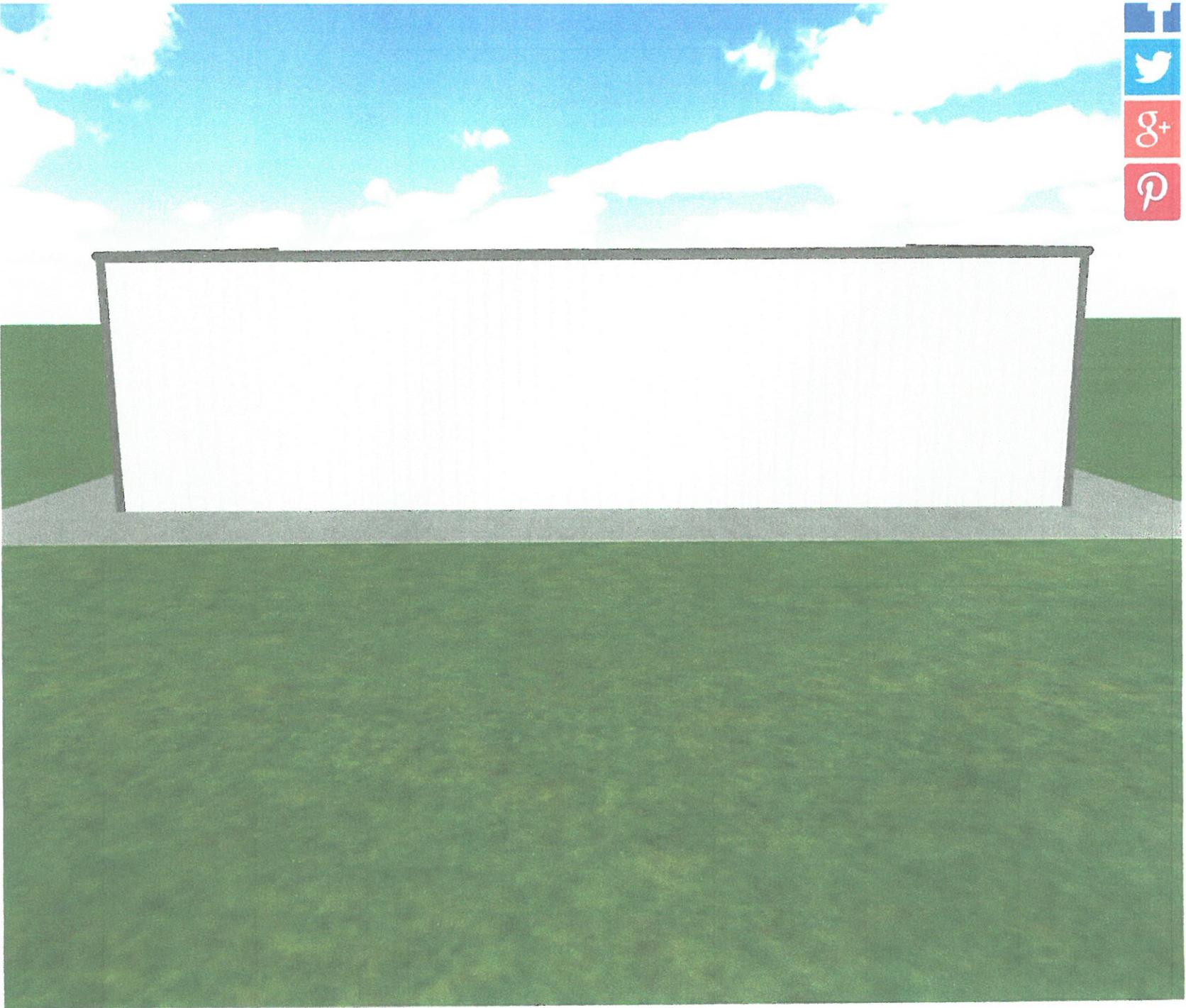
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60x60 Equipment Storage Bldg.



LEFT SIDE



RIGHT SIDE

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Please Select

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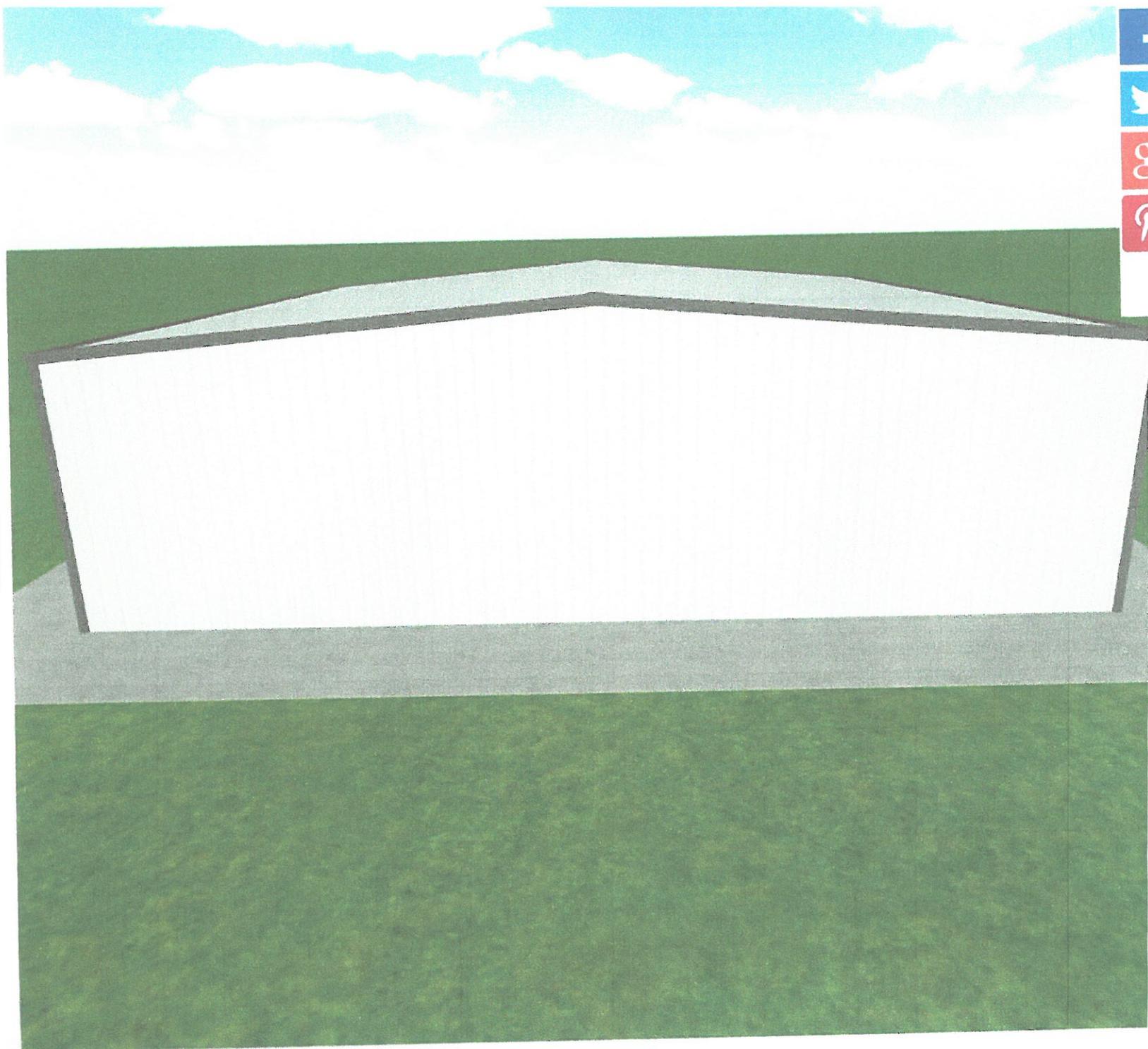
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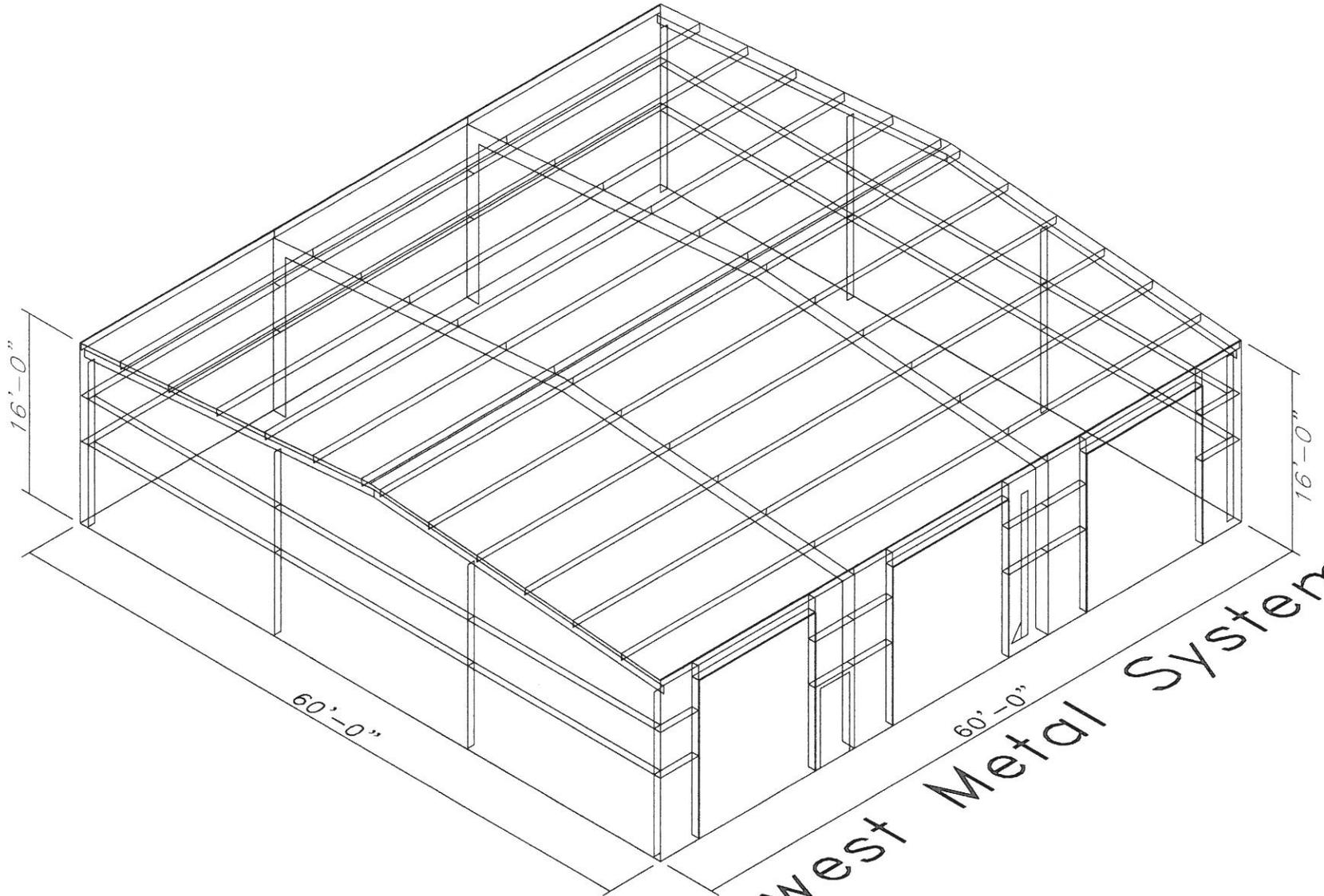
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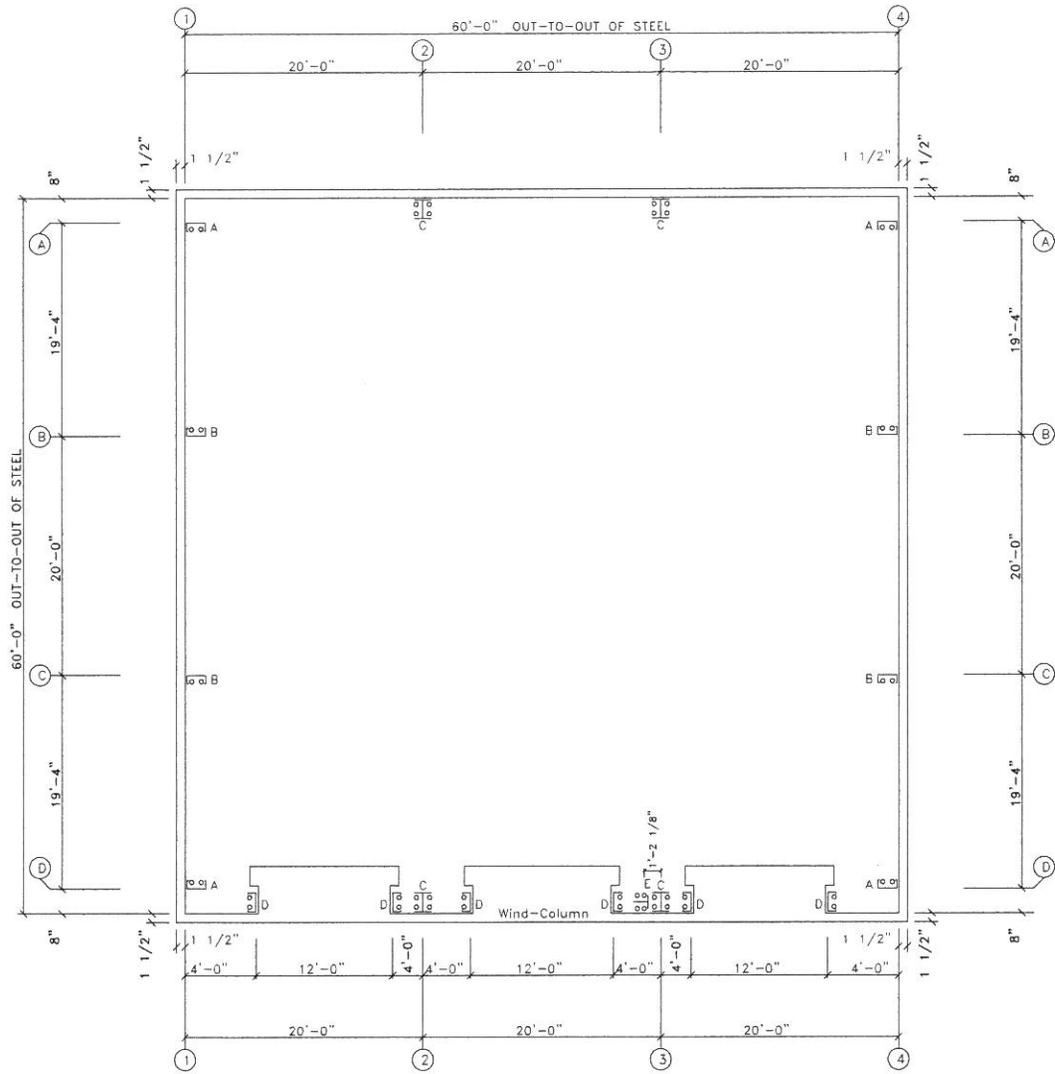
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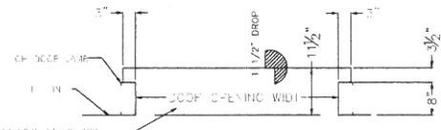
Back



Southwest Metal Systems



ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)

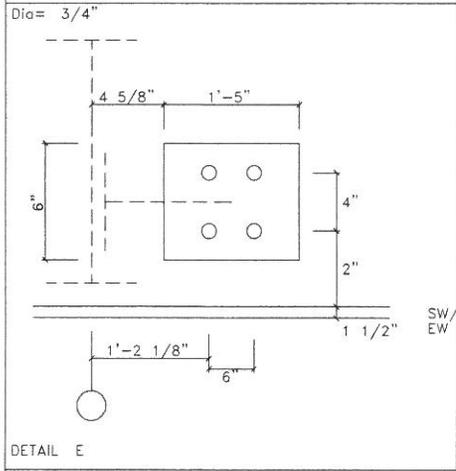
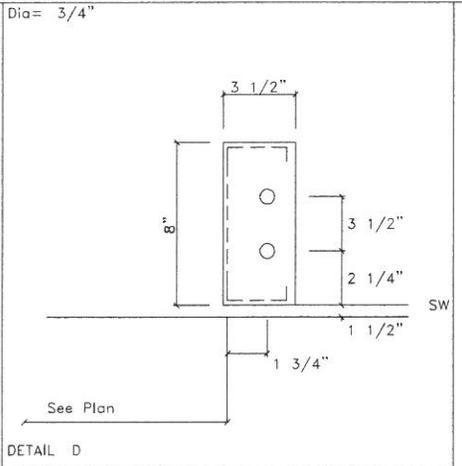
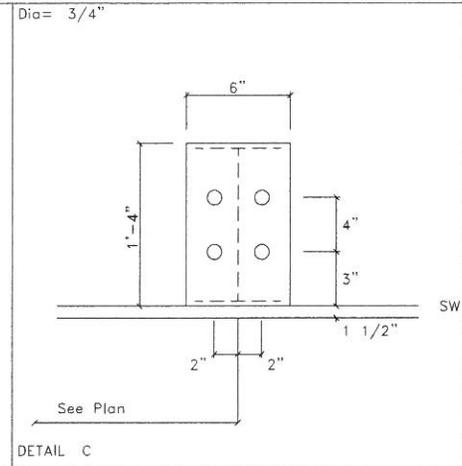
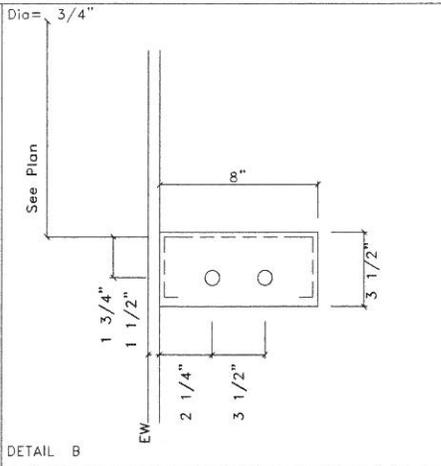
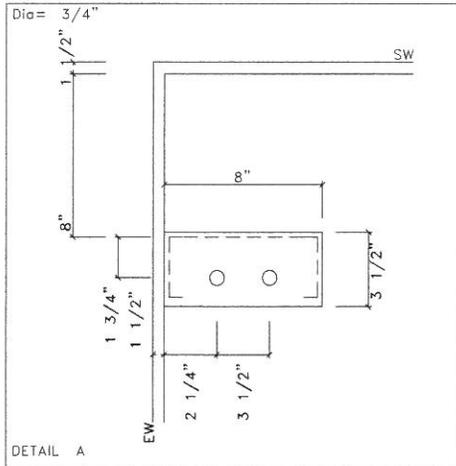


CONC. LEAVE OUT @ OH DOOR

SOUTH WEST
 METAL SYSTEMS
 485 NE LOOP 564
 MENEOLA, TX 75778
 (903) 569-8011

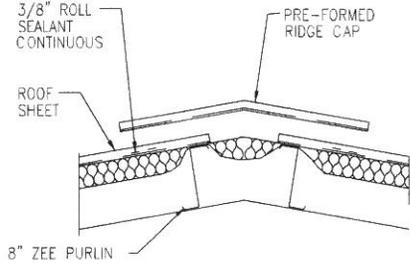
2824 MILAM RD. EAST
 SANGER, TEXAS 75266
 (940) 381-0191

DESCRIPTION: ANCHOR BOLT PLAN		PROJECT: Customer	
CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State		QUOTATION NO. Seymore60x60x16	
DRN. BY: DET	CK'D BY: DES	DATE: 7/22/16	SHEET NO. OF
SCALE: N.T.S.	REV: 00		

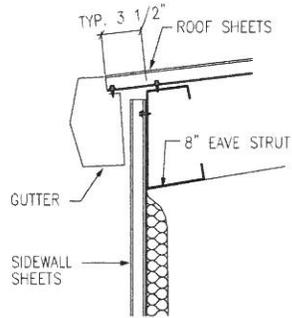


SOUTH WEST METAL SYSTEMS 485 NE LOOP 504 MINNEOLA, TX 75773 (903) 369-8811		2824 MILAM RD. EAST SANGER, TEXAS 76206 (840) 381-9191		DESCRIPTION: ANCHOR BOLT DETAILS						
				CUSTOMER: Dealer		PROJECT: Customer				
LOCATION: City, State				DRN. BY: DET	CR'D BY: DES	DATE: 7/22/16	SCALE: N.T.S.	REV.: 00	QUOTATION NO.: Seymore60x60x16	SHEET NO.: OF

GENERAL NOTES

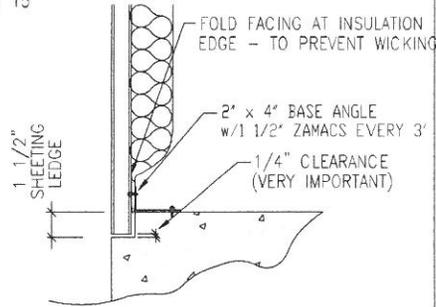


Typical Roof Ridge



Typical Roof Overhang

*SEE NOTE 14 & 15



BASE DETAIL AT SHEETING LEDGE

1. Unloading, handling and proper storage of the Steel Building package is the responsibility of the Erector and/or End User. Roof and wall panels must be kept dry prior to installation. Elevating one end of panel bundles is recommended to encourage drainage in case of rain.
2. Any and all damaged or shorted materials are to be reported within 24 hours of unloading. Check all materials with the Bill of Materials.
3. Loading of Building Materials should be done with the appropriate lifting equipment such as crane, forklift or Skytrak due to the heavy nature of the parts involved.
4. All bracing, strapping and bracing shown on the erection drawings for this building is a requirement. They shall be installed as the Erector as a permanent part of the structure. It is the responsibility of the Erector to determine and provide temporary bracing to secure the building during the erecting process until permanent bracing can be installed.
5. Claims for correction of alleged misfits will not be allowed unless Southwest Metal Systems has received prior notice thereof and is allowed reasonable time to inspect such alleged misfits. The correction of minor misfits by the use of drift pins to draw the components in line, moderate reaming, chipping and cutting and the replacement of minor shortages of materials are a normal part of the erection process and are not subject to claim. No part of the building may be returned for alleged misfits without the prior approval of Southwest Metal Systems.
6. Jobsite safety is a priority. Erector are to wear OSHA approved hard hats, safety glasses, safety harnesses, gloves and steel toe boots at all times. Fall protection must be provided during roof and wall panel installation. OSHA guidelines and regulations are to be followed in all phases of building erection.
7. Foundation design by others. Anchor bolts shall be set accurately to a tolerance of 1/2" - 1/8" in both elevation and location. All column base plates are set at Finish Floor elevation unless noted otherwise.
8. Wall insulation if required, is to be kept a minimum of 1/2" from the bottom of the wall panel to avoid "sinking" up behind the wall panel.
9. Closure Strips are provided at roof application only (unless noted on drawings). Inside closure provided at roof eave only when insulation is NOT provided. See details for additional closure applications.
10. Southwest Metal Systems assumes no responsibility or liabilities for delays or stock charges caused by deliveries not arriving on time.
11. Metal filings and shavings created from the fastener drilling process are to be cleaned off of the roof and wall panels the same day of panel installation. Failure to do so will void the panel's warranty, as metal filings and shavings will rust and damage the finish of the roof and wall panels.
12. Roll Sealant (tacky tape) required on all roof panel laps for roof with slopes of 3:12 and lower.
13. These Drawings are Erection Drawings Only. They are not Construction Documents.
14. Wall panels must be installed with 1/4" clearance from Concrete foundation. Failure to do so voids Wall Panel Warranty.
15. Insulation at base of wall shall be installed in such a manner that does not allow moisture wicking. Fold insulation liner as shown on Base Detail. Failure to do so voids Wall Panel Warranty.

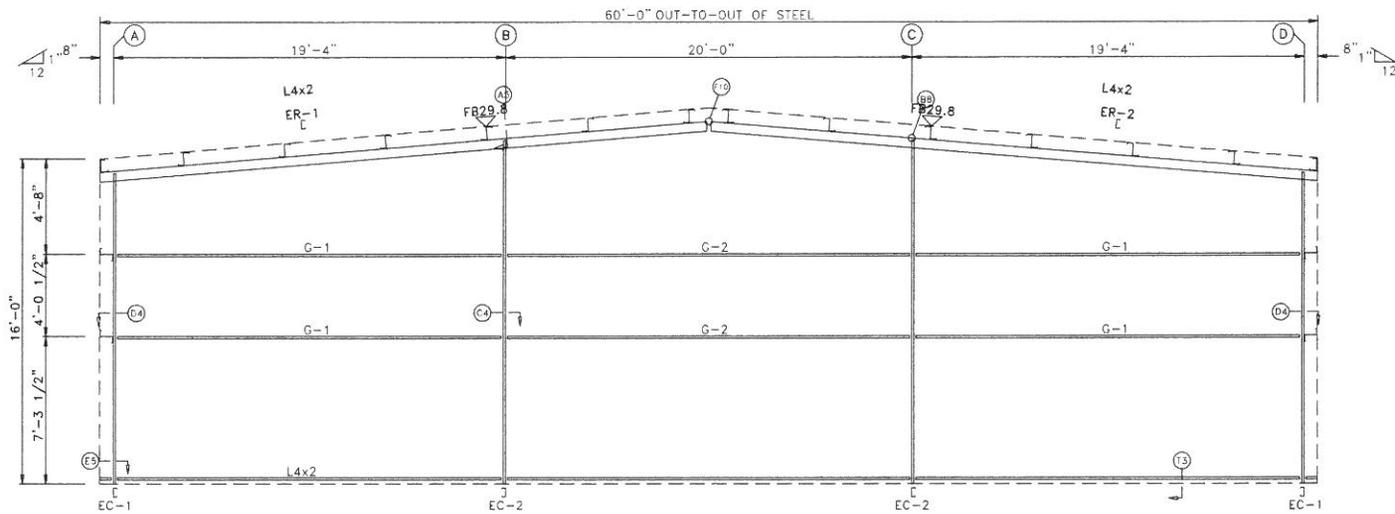
SOUTH WEST METAL SYSTEMS

485 NE LOOP 564
MINEOLA, TX 75773
(903) 569-8811

2824 MILAM RD. EAST
SANGER, TEXAS 76286
(940) 381-0191

BUILDING INFORMATION

JOB#:	Seymore60x60x16
CUSTOMER NAME:	Dealer
PHONE#	
PROJECT ADDRESS	Street City, State
SALESMAN:	DES
DESCRIPTION:	60'-0" x 60'-0" x 16'-0"
LEFT / RIGHT SLOPE:	1.0:12 / 1.0:12
ROOF PANELS/COLOR:	PBR / Galvalume
WALL PANELS/COLOR:	PBR / Polar White
TRIM COLOR:	Burnished Slate
EAVE CONDITION:	STYLE=Standard
FRONT WALL GUTTER:	STYLE=Standard
GUTTER LENGTH:	60
BACK WALL GUTTER:	STYLE=Standard
GUTTER LENGTH:	60
ADDT'L. ACCESSORIES:	SEE QUOTE FORM
ADDT'L. CONDITIONS:	
SPECIAL NOTES:	
BUILDING CODE:	IBC 06
ROOF LIVE LOAD:	20.00
ROOF SNOW:	3.5
WIND SPEED:	90
COLLATERAL LOADS:	0.5
EXPOSURE:	B

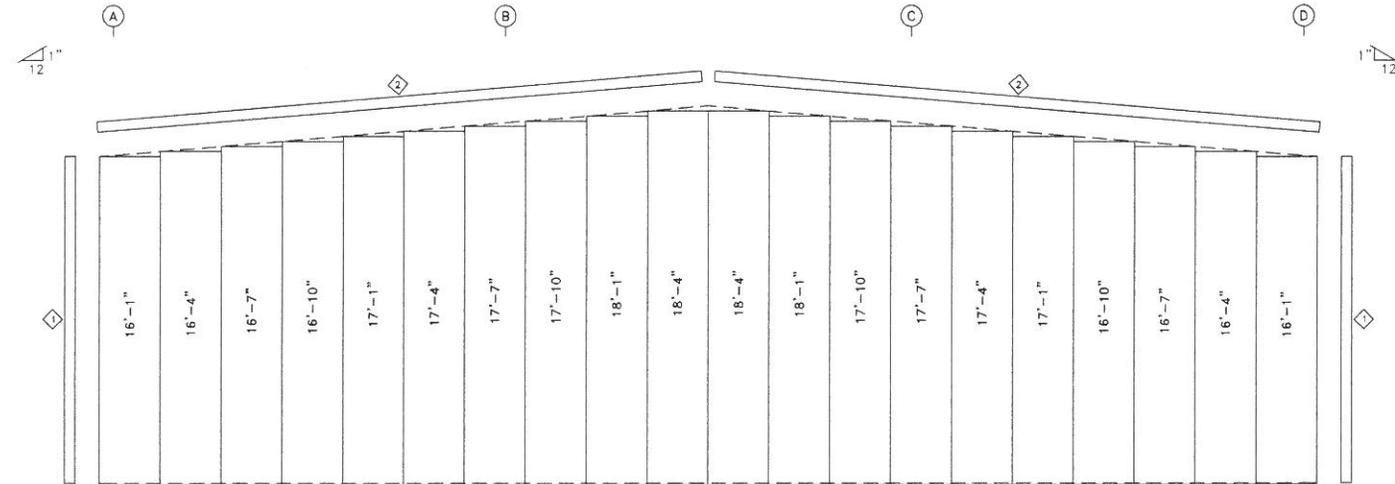


ENDWALL FRAMING: FRAME LINE 1

BOLT TABLE				
FRAME LINE 1				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	4	A325	3/4"	2 1/4"
Columns/Raf	2	A325	5/8"	1 1/2"

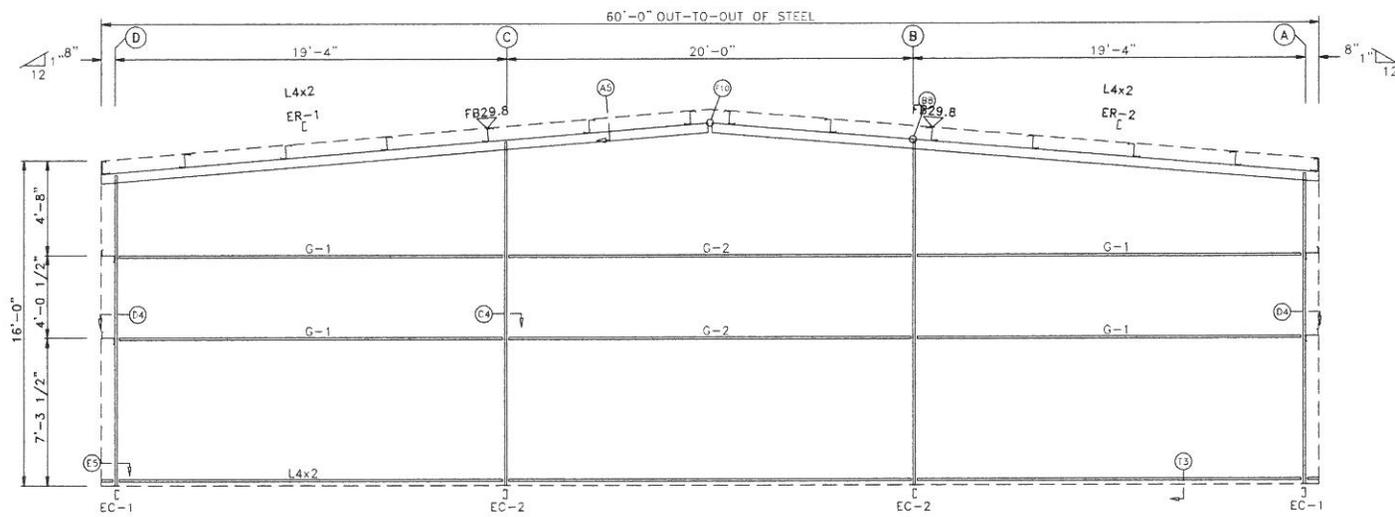
TRIM TABLE		
FRAME LINE 1		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SRT2614	16'-1"

FLANGE BRACE TABLE		
FRAME LINE 1		
ID	MARK	LENGTH
1	FB29.8	2'-5 3/4"



ENDWALL SHEETING & TRIM: FRAME LINE 1
PANELS: 26 Ga. PBR - Polar White

SOUTH WEST METAL SYSTEMS 485 NE LOOP 504 MINNEOLA, TX 75773 (803) 569-8811		2824 MILAM RD. EAST SANGER, TEXAS 76868 (940) 381-0191		DESCRIPTION: ENDWALL FRAMING			
				CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State				DATE: 7/22/16		SCALE: N.T.S.	
DRN. BY: DET	CK'D BY: DES	DATE: 7/22/16	SCALE: N.T.S.	REV: 00	QUOTATION NO. Seymore60x60x16	SHEET NO. OF	

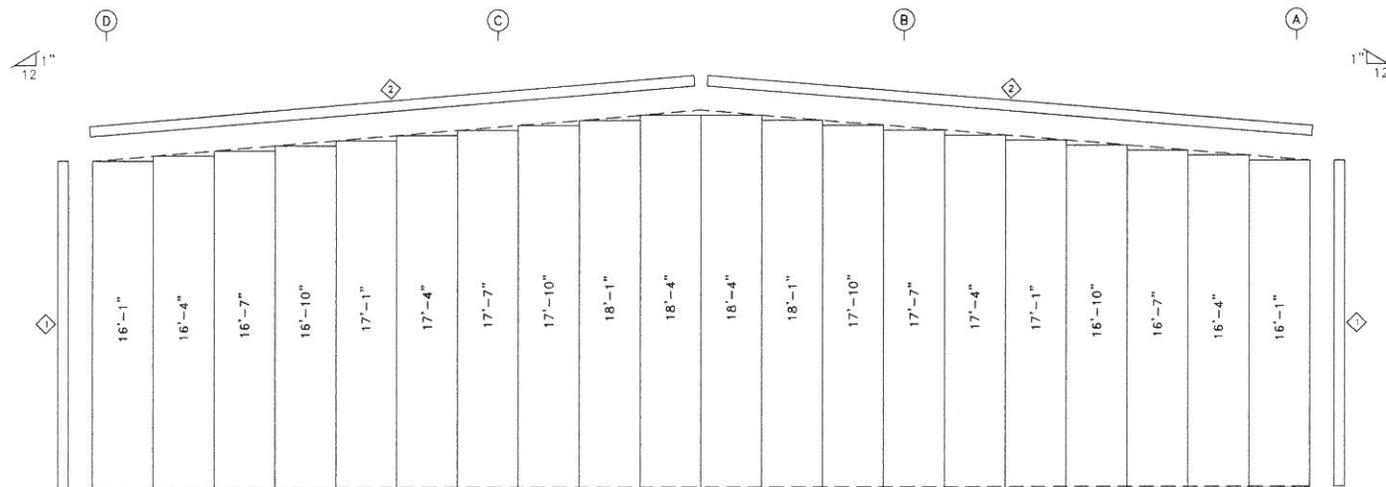


ENDWALL FRAMING: FRAME LINE 4

BOLT TABLE				
FRAME LINE 4				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	4	A325	3/4"	2 1/4"
Columns/Ref	2	A325	5/8"	1 1/2"

TRIM TABLE		
FRAME LINE 4		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SRT2614	16'-1"

FLANGE BRACE TABLE		
FRAME LINE 4		
ID	MARK	LENGTH
1	FB29.8	2'-5 3/4"



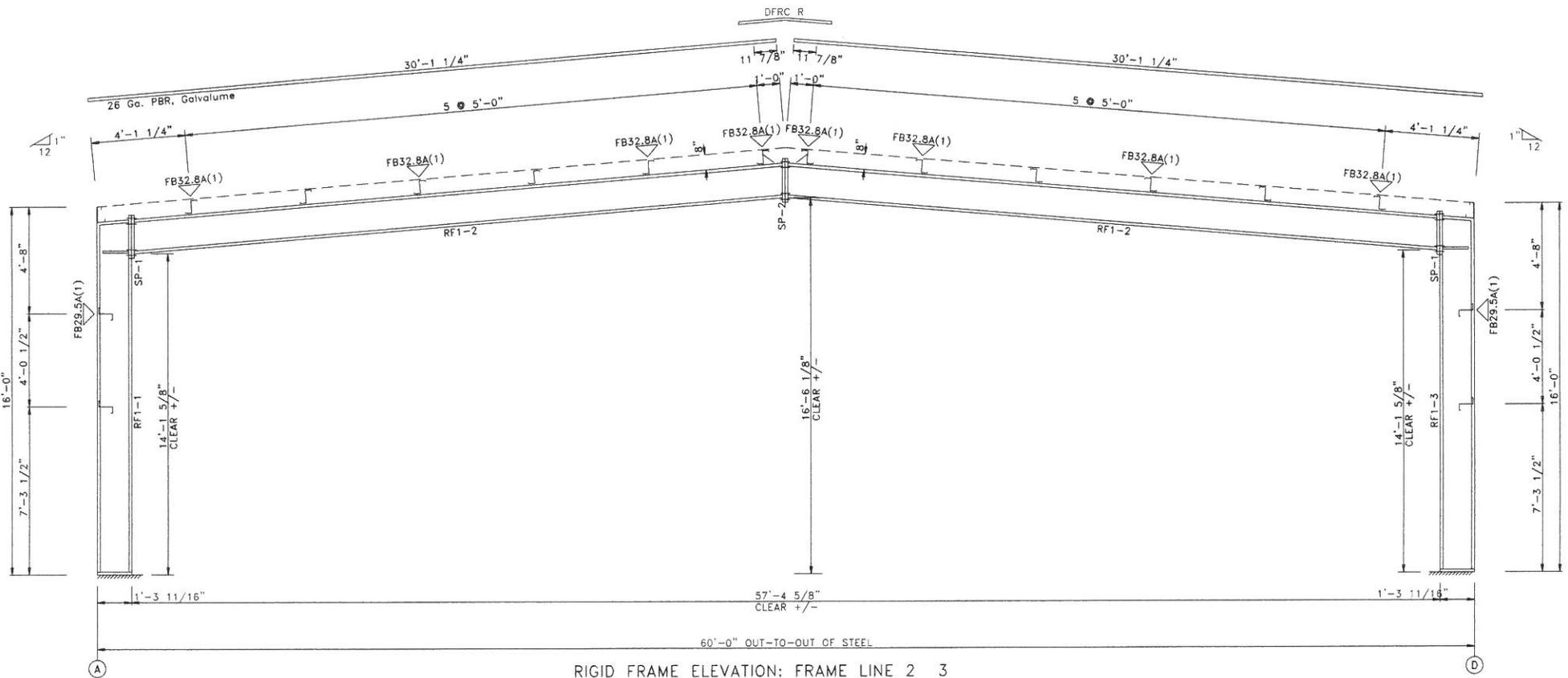
ENDWALL SHEETING & TRIM: FRAME LINE 4

PANELS: 26 Ga. PBR - Polar White

SOUTH WEST METAL SYSTEMS 485 NE LOOP 584 MINGOLA, TX 75773 (903) 589-8811		2824 MILAM RD. EAST SANGER, TEXAS 76866 (940) 381-0191		DESCRIPTION: ENDWALL FRAMING													
				CUSTOMER: Dealer		PROJECT: Customer											
LOCATION: City, State				DRN. BY: DET		CK'D BY: DES		DATE: 7/22/16		SCALE: N.T.S.		REV. 00		QUOTATION NO. Seymore60x60x16		SHEET NO. OF	

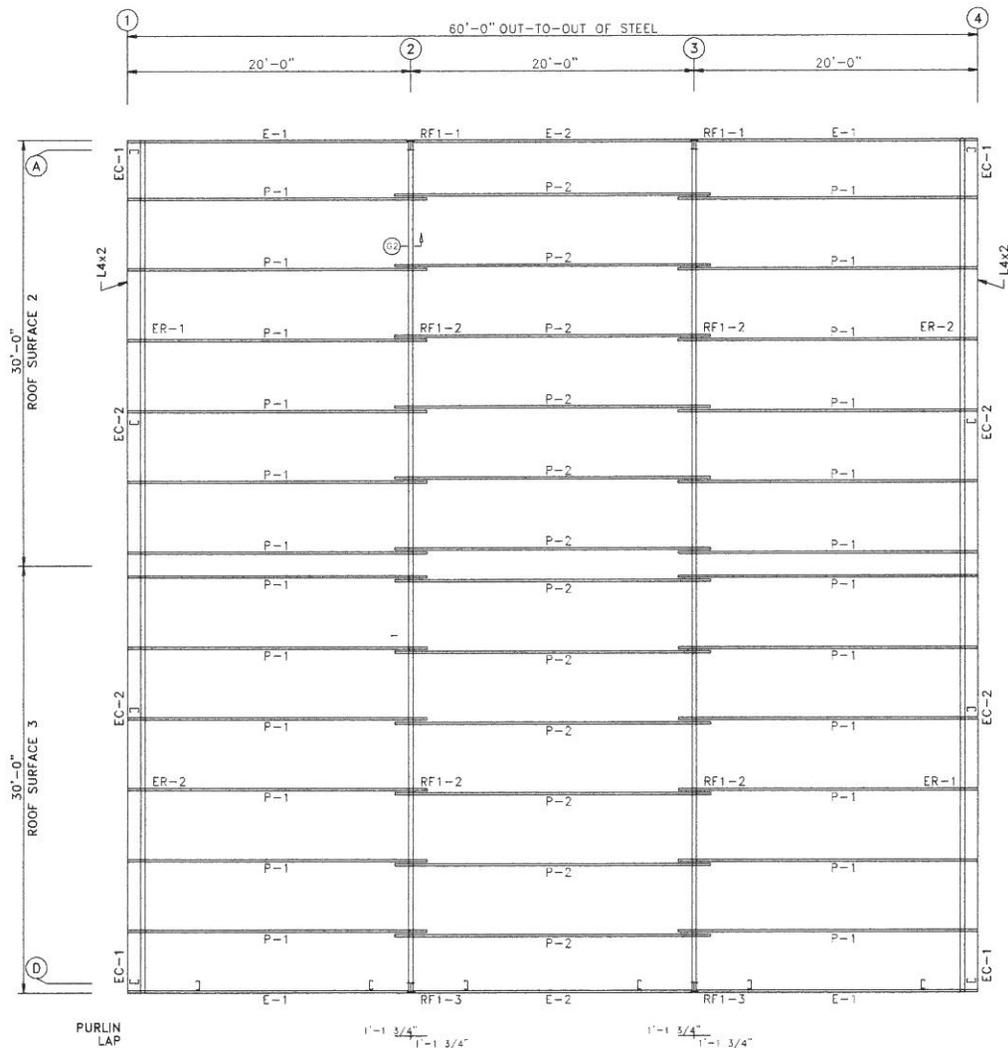
SPLICE BOLT TABLE						
Mark	Qty		Int	Type	Dia	Length
	Top	Bot				
SP-1	4	4	0	A325	0.750	2.75
SP-2	4	4	0	A325	0.750	2.25

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxA(1): xx=length(in)
 A - FB 2X1/8



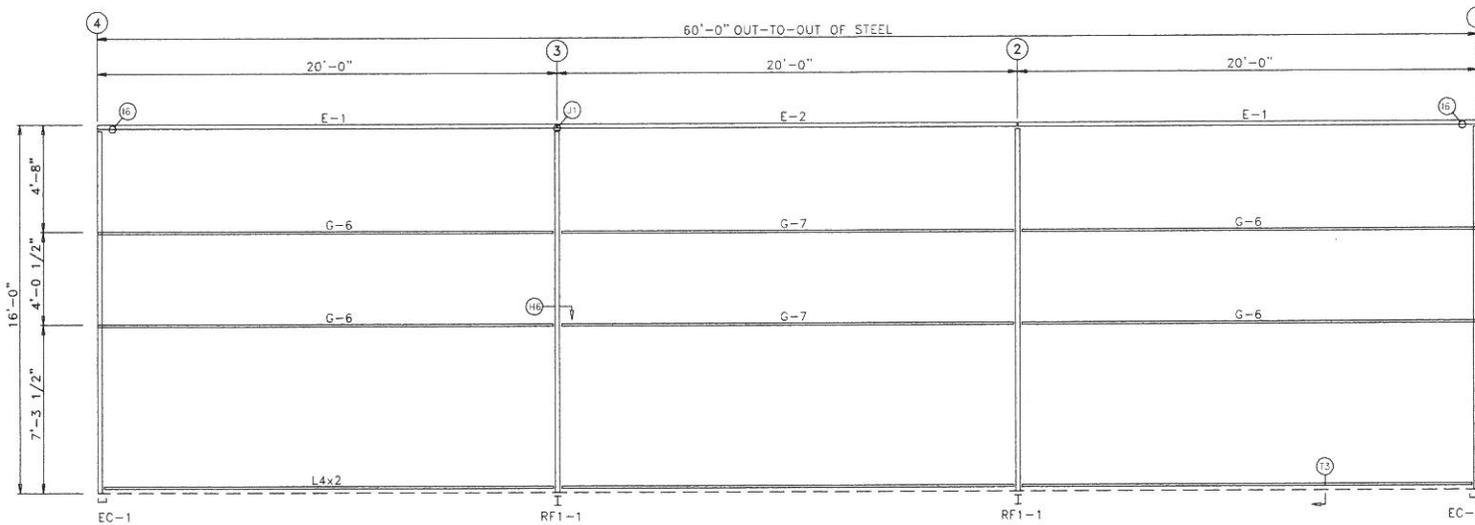
RIGID FRAME ELEVATION: FRAME LINE 2 3

SOUTH WEST METAL SYSTEMS 495 NE LOOP 584 MINNEOLA, TX 76773 (817) 569-8911		DESCRIPTION: RIGID FRAME ELEVATION	
		CUSTOMER: Dealer	PROJECT: Customer
LOCATION: City, State			
DRN. BY DET	CK'D BY DES	DATE 7/22/16	SCALE N.T.S.
REV. 00	QUOTATION NO. Seymore60x60x16	SHEET NO. OF	



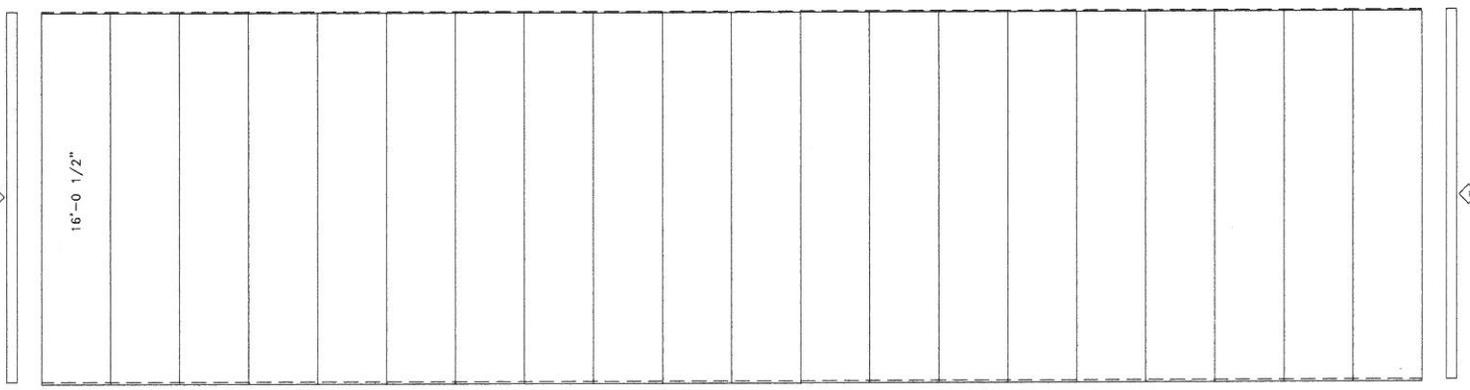
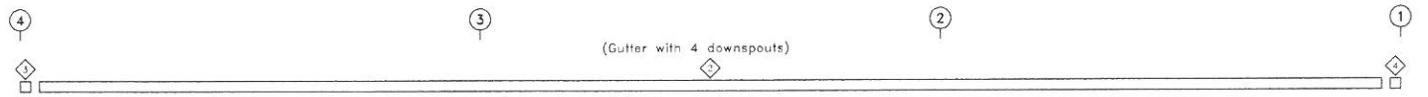
ROOF FRAMING PLAN

SOUTH WEST METAL SYSTEMS 485 NE LOOP 504 MCKINNA, TX 75773 (903) 569-8811		2824 MILAM RD. EAST SANDER, TEXAS 70366 (940) 381-0191		DESCRIPTION: ROOF FRAMING			
				CUSTOMER: Dealer		PROJECT: Customer	
LOCATION: City, State							
DRN. BY	CK'D BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.	
DET	DES	7/22/16	N.T.S.	00	Seymore60x60x16	OF	



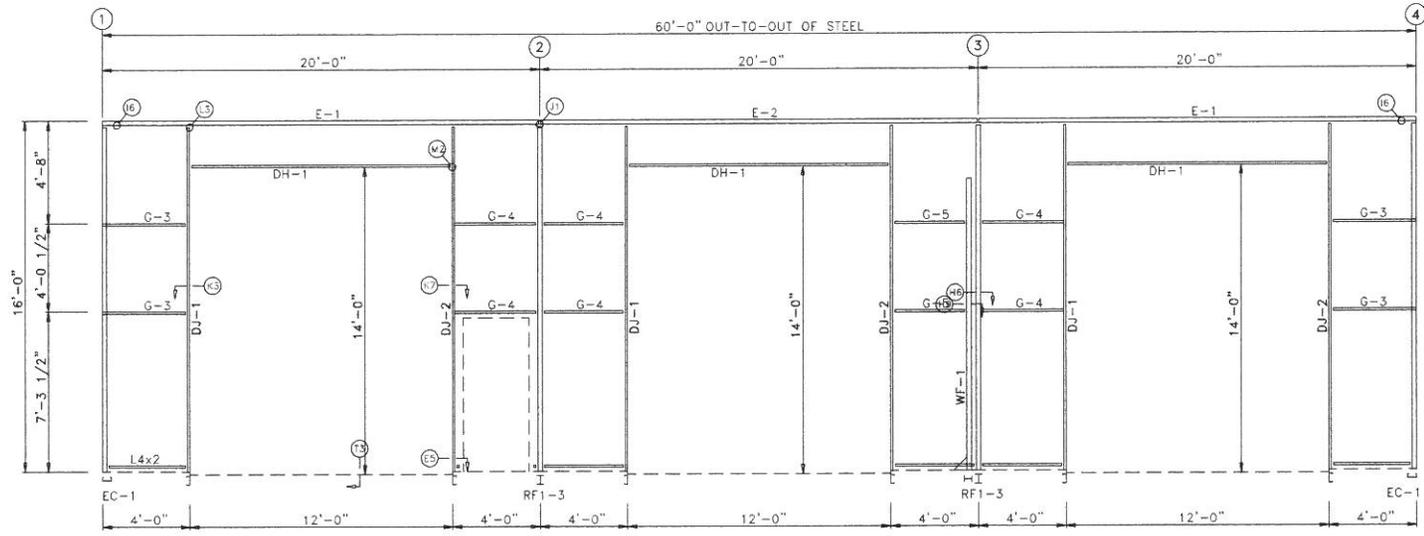
SIDEWALL FRAMING: FRAME LINE A

TRIM TABLE		
FRAME LINE A		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SGU2605	15'-11"
3	SPCL-16L	8"
4	SPCL-16R	8"



SIDEWALL SHEETING & TRIM: FRAME LINE A
 PANELS: 26 Ga. PBR - Polar White

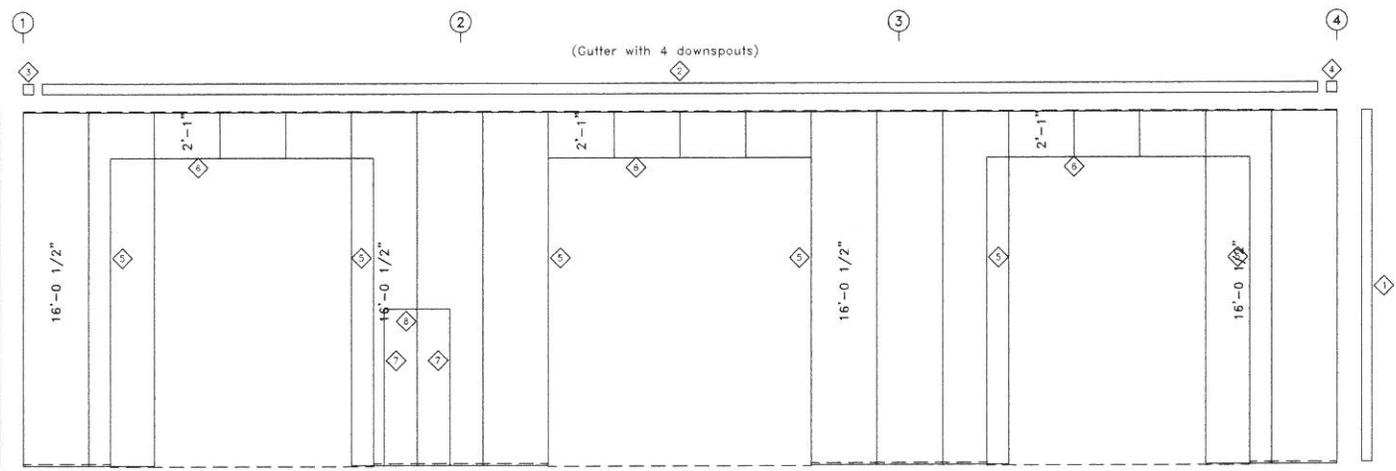
SOUTH WEST METAL SYSTEMS 485 NE LOOP 564 MINNOLA, TX 75773 (903) 569-8811		2824 MILLAM RD. EAST SANGER, TEXAS 75388 (940) 381-0191		DESCRIPTION: SIDEWALL FRAMING						
				CUSTOMER: Dealer		PROJECT: Customer				
LOCATION: City, State				DRN. BY	CK'D BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.
				DET	DES	7/22/16	N.T.S.	00	Seymore60x60x16	OF



SIDEWALL FRAMING: FRAME LINE D

BOLT TABLE				
FRAME LINE D				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - RF1-3	14	A325	5/8"	1 1/2"

TRIM TABLE		
FRAME LINE D		
ID	PART	LENGTH
1	OCT2601	16'-6"
2	SGU2605	15'-1 1/2"
3	SPCL-16L	8"
4	SPCL-16R	8"
5	HTR2603	14'-3"
6	HTR2603	12'-6"
7	HTR2603	7'-4"
8	HTR2603	3'-6"



SIDEWALL SHEETING & TRIM: FRAME LINE D
PANELS: 26 Ga. PBR - Polar White

SOUTH WEST METAL SYSTEMS 485 NE LOOP 564 MINNEOLA, TX 75773 (808) 569-8811		2824 MILAM RD. EAST SANGER, TEXAS 75096 (940) 381-0191		DESCRIPTION: SIDEWALL FRAMING								
				CUSTOMER: Dealer		PROJECT: Customer						
LOCATION: City, State				DRN. BY: DET		CK'D BY: DES		DATE: 7/22/16	SCALE: N.T.S.	REV.: 00	QUOTATION NO.: Seymore60x60x16	SHEET NO.: OF

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 09/13/2016

APPLICANT: Rex Walker of *Life Springs Church*

AGENDA ITEM: **SP2016-017**; Life Spring Church – Amended Site Plan

SUMMARY:

Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.

PURPOSE:

The property is zoned *Agricultural (AG) District* and was granted a Specific Use Permit [*SUP Ord. No. 15-21*] on August 3, 2015 to allow for a *Church* development on the seven (7) acre portion of the larger 28.811-acre tract of land. The property is also within the *SH-205 By-Pass Corridor Overlay (SH205 BY-OV) District* and is generally located on the north side of John King Boulevard, east of the intersection of John King Boulevard and SH-205.

The applicant is requesting approval of an amended site plan for the purpose of revising the approved elevations by reducing the 25,433 sq. ft. building to a 16,839 sq. ft. building. The applicant will be modifying the exterior appearance of the rear (east) elevation by reducing the massing of the tower elements and by changing the roof to slope towards the rear of the property for drainage purposes. Also, the applicant is proposing to change the front (west) elevation by replacing the standing seam metal roof element (atop the facility) with a stucco parapet wall. If approved, the site plan will indicate the ~6,000 sq. ft. vacated area as '*future expansion*' of the *Church* facility.

VARIANCE REQUESTS:

1. The applicant is requesting a variance to the *Unified Development Code, Article V, Section 4.1 General Commercial District Standards*, to allow for not meeting the Horizontal Articulation requirements as established in *Art. V, Sec. 4.1, C.1.a.* and as depicted in the Building Elevations as submitted. The code reads as follows:

C. Building articulation.

1. *Requirements.* Facades shall meet the following minimum standards for articulation:

- a) *Horizontal articulation.* No building wall shall extend for a distance equal to three times the wall's height without having an offset of 25 percent of the wall's height, and that new plane shall extend for a distance equal to at least 25 percent of the maximum length of the first plane.

Although the applicant has provided contrasting elements depicting offsets for the north, south and east elevations, the offsets do not meet the technical definition for horizontal articulation. It should be noted that the applicant received approval of the same variance on August 17, 2015 [Case No. SP2015-016]; however, due the substantial change of the elevations, the applicant is required to make the request for not meeting the technical standards for horizontal articulation once again. The variance requires an approval by a simple majority vote of all council members.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On August 30, 2016, the Architectural Review Board (ARB) reviewed the proposed amended building elevations for the site. General discussion concerning the agenda item took place between the Board Members and city staff. The board expressed concern with the metal panels being used for the rear elevation. They also expressed concern for the lack of horizontal and vertical articulation based on the changes presented.

To address these concerns the board recommended that the applicant not use the metal panel located at the rear, rather use the original building materials that were approved, including the pilasters to give the appearance of horizontal articulation. The board also recommended the applicant add the tower elements back to the rear elevation to provide vertical articulation.

Based on the revised elevations re-submitted, the applicant appears to have met the ARB's recommendations; however, the ARB has requested to review the elevations at the September 13, 2016 meeting in order to provide a recommendation to the Planning and Zoning Commission.

RECOMMENDATIONS:

The amended site plan submitted by the applicant meets all the technical criteria stipulated by the UDC and SH205 BY-OV, with the exception of the variances requested and the items listed below. Should the Planning and Zoning Commission choose to approve the applicant's request, then the following conditions of approval should be adopted with this case:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit and to include the following Planning comments;
 - a. Approval of the variances requested from the City Council for not meeting the horizontal articulation standards of the *Unified Development Code* as noted in this report.
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number	SP2016-017	Owner	LIFE SPRING CHURCH	Applied	8/12/2016	LM
Project Name	Life Spring Church	Applicant	LIFE SPRING CHURCH	Approved		
Type	SITE PLAN			Closed		
Subtype	AMENDING			Expired		
Status	STAFF REVIEW			Status	8/15/2016	LM

Revised Plans - Comments Highlighted

Site Address	City, State Zip	Zoning
JOHN KING BLVD	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
LIFE SPRING DR (ROW)	15-02	NULL	15-02	0187-0000-0015-02-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	8/12/2016	8/19/2016	8/17/2016	5	APPROVED	
ENGINEERING	Amy Williams	8/12/2016	8/19/2016	8/19/2016	7	COMMENTS	See Comment
(8/19/2016 2:00 PM AW) The fire hydrant by the future building needs to be a minimum of 5' from the building. No structure is allowed in an easement. The engineering plans will need to be revised to reflect any changes including the relocation of meters and fire service.							
FIRE	Ariana Hargrove	8/12/2016	8/19/2016				see comments
(8/17/2016 2:32 PM AA) Fire Department Connection (FDC) shall be located within 100-ft. of a fire hydrant, facing fire lane, and provided with an unobstructed 5-ft. wide pathway from the fire lane to the connection. (no parking allowed in the 5-ft. pathway, show pathway on plan)							
GIS	Lance Singleton	8/12/2016	8/19/2016	8/23/2016	11	APPROVED	
PLANNING	David Gonzales	8/12/2016	8/19/2016	8/17/2016	5	COMMENTS	See comments

Discuss and consider a request by Rex Walker of Life Springs Church for the approval of an amended site plan for a church on a seven (7) acre portion of a larger 28.881-acre tract of land identified as Tract 15-01 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and SH-205, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, September 7, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Label revised site plan documents with "Case No. SP2016-017" at the lower right corner of each plan.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

- * 1. Art V, Sec. 6.10.C.1 of the SH 205 BY OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,..., including 20% stone on walls which are visible from a public street or open space. The East elevation requires a minimum 20% stone and does not meet this standard.
- * 2. Art V, Sec. 6.10.C.1.a of the SH 205 BY OV (and the UDC) requires each exterior wall to consist of 90% masonry materials,..., on walls which are visible from a public street or open space. The East elevation does not provide a minimum 90% masonry material and exceeds the 10% secondary materials with the use of metal wall panels.
- * 3. Art V, Sec. 6.10.C.5 of the SH 205 BY OV (and the UDC) requires that all commercial buildings be architecturally finished on all four sides with the same materials, detailing, and features...the buildings east elevation as submitted is not meeting the minimum requirements.
- **4. ArtV, Sec. 4.1. of the UDC - Exception to the Horizontal & Vertical Articulation Standards - the buildings north elevation as submitted is not meeting the minimum requirements establish for the General Commercial District Standards. Requires a simple majority vote of council for approval.
- * Approval of the variances to the SH 205 By-Pass OV requires passage by a 3/4 majority vote of City Council.
- ** Approval of the exceptions to the horizontal and vertical articulation standards requires passage by a simple majority vote of City Council.

Please address the following Planning Comments for each plan submitted:

Site Plan:

Hatch the area reduced to reflect the future expansion to be considered and label as such for both the building and parking area's (use light gray lines).

Building Elevations:

1. What type of metal paneling is being used for the exterior of the proposed structure?
2. Provide calculation for all exterior materials.
3. Approval of the variances & exceptions as submitted is required by the City Council as indicated above.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

- Planning - Work Session: August 30, 2016 (6:00 p.m.) [Applicant to provide presentation and discuss project]
- Planning - Action: September 13, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]

City Council - Action: September 19, 2016 (6:00 p.m.) [FOR VARIANCE & EXCEPTION REQUESTS ONLY]

PLANNING	David Gonzales	9/9/2016	9/16/2016	9/9/2016	COMMENTS	See comments
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Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Label revised site plan documents with "Case No. SP2016-017" at the lower right corner of each plan.
3. Approval of the variance requested for not meeting the horizontal articulation standards.

VARIANCES AND EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

****1. ArtV, Sec. 4.1. of the UDC - Exception to the Horizontal & Vertical Articulation Standards - the buildings north elevation as submitted is not meeting the minimum requirements establish for the General Commercial District Standards. Requires a simple majority vote of council for approval.**

**** Approval of the exceptions to the horizontal and vertical articulation standards requires passage by a simple majority vote of City Council.**

Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Hatch the area reduced to reflect the future expansion to be considered and label as such for both the building and parking area's (use light gray lines).

Building Elevations:

1. Approval of the variances & exceptions as submitted is required by the City Council as indicated above.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

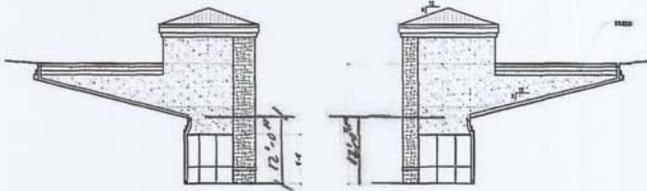
Meeting Dates to Attend:

Planning - Action: September 13, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]

City Council - Action: September 19, 2016 (6:00 p.m.) [FOR VARIANCE REQUEST]

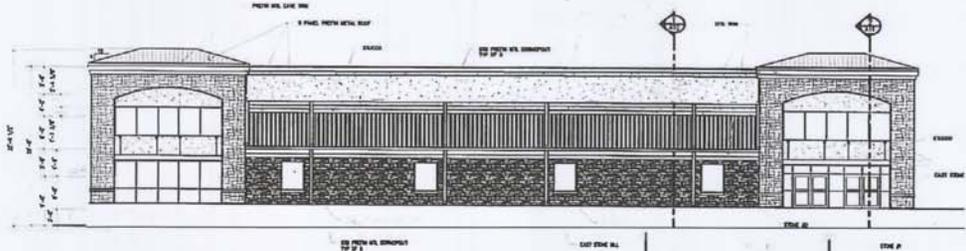
These plans are the intellectual property of Mershawn Architects, LLC (a Texas Architectural firm), Mershawn Construction, LLC (a Texas General Contractor) and Mershawn Associates, LLC (a Texas Design & Build Co.) The occupant of this building has contracted Mershawn to build this building, any other Architect, Contractor or sub-contractor must first get permission to use these drawings in any way. The Architectural seal on these plans are only intended for the use of Mershawn to get a permit to build, and the seal shall be void to the city if the permit is not in Mershawn's name. Unless written permission is obtained.

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

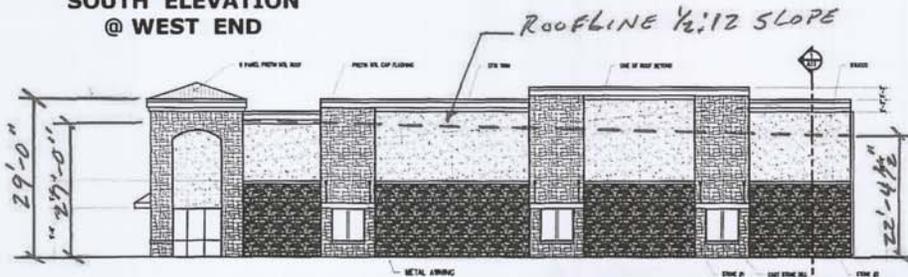


**NORTH ELEVATION
@ WEST END**

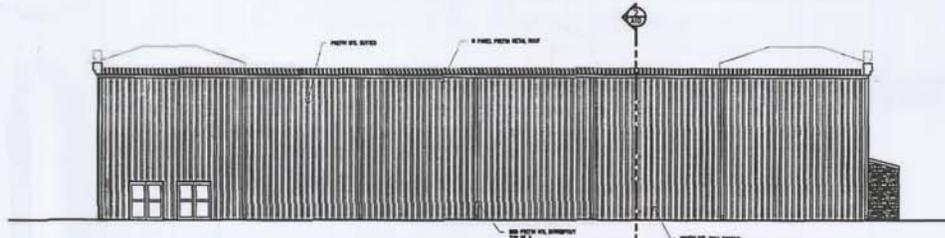
**SOUTH ELEVATION
@ WEST END**



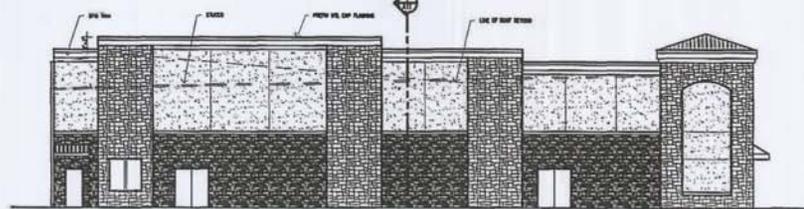
WEST ELEVATION
93% STONE MASONRY
7% EFIS TRIM



SOUTH ELEVATION
57% STONE MASONRY
37% STUCCO MASONRY
6% EFIS TRIM



EAST ELEVATION
61% STONE MASONRY
30% STUCCO MASONRY
9% EFIS TRIM



NORTH ELEVATION
53% STONE MASONRY
39% STUCCO MASONRY
8% EFIS TRIM

**PRICING & CONSTRUCTION
GENERAL NOTES:**

1. THESE DRAWINGS ARE QUANTIFIED BY MEASURE AND ARE SUBJECT TO MEASURE EACH AND EVERY ITEM, STYLE, OR OTHER APPROPRIATE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIREMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE REPORTED TO THE ATTORNEY OF THE ARCHITECT (IN WRITING) BEFORE BEING THE PROJECT.
4. AFTER MEASUREMENTS ARE MADE, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS DISCRETION.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO THEIR RESPECTIVE SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT SHALL BE RESPONSIBLE TO OBTAIN MEASUREMENTS FROM THE CONTRACTOR AND NOTIFY ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

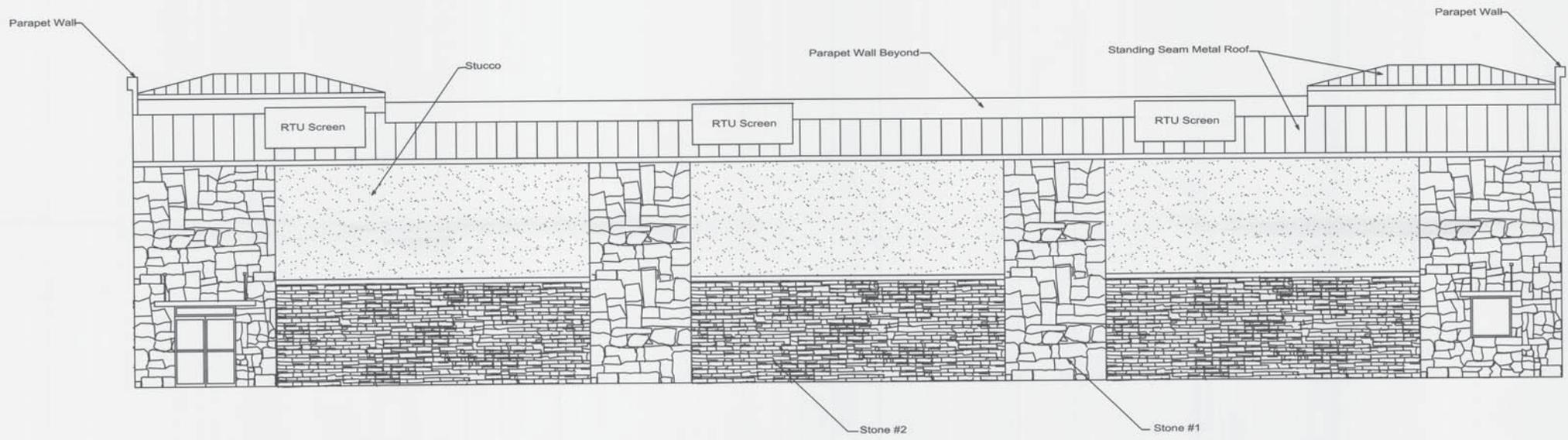
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LIFE SPRING CHURCH
ROCKWALL, TEXAS
EXTERIOR ELEVATIONS

Scale: 1/2" = 1'-0"
Date: 06/20/11
Project No.: 14071
Designer: DR
Drawn: DR
Checked: DR

SHEET
A4
OF
19

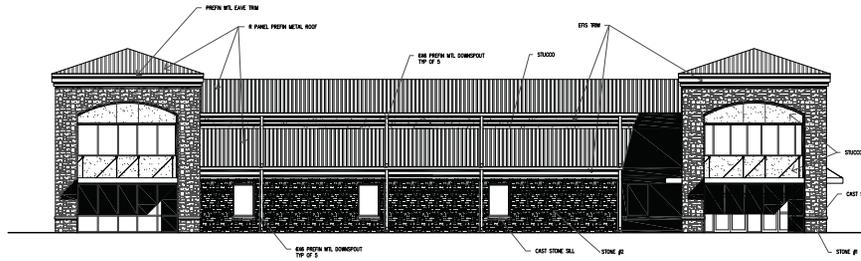
Revised - East (rear) Elevation



East Elevation

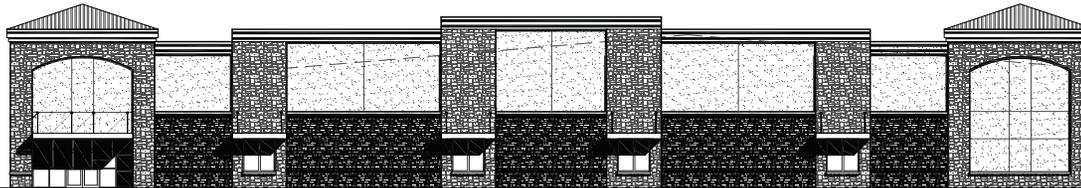
RECEIVED
SEP 07 2016

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



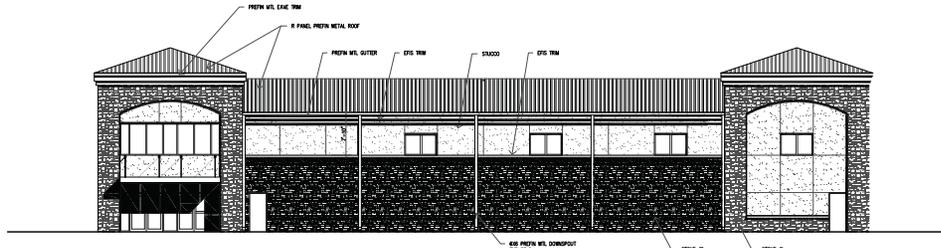
WEST ELEVATION

93% STONE MASONRY
7% EFIS TRIM



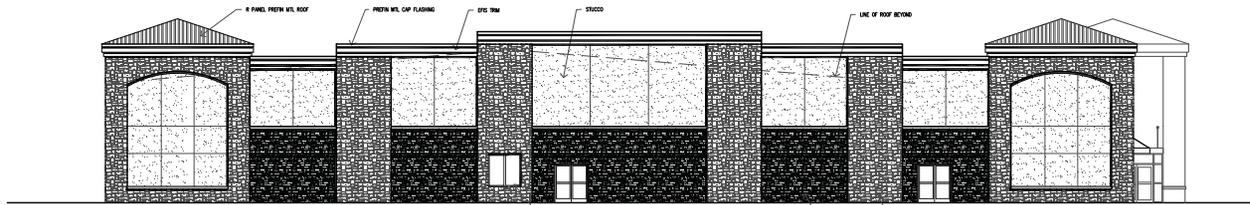
SOUTH ELEVATION

57% STONE MASONRY
37% STUCCO MASONRY
6% EFIS TRIM



EAST ELEVATION

61% STONE MASONRY
30% STUCCO MASONRY
9% EFIS TRIM



NORTH ELEVATION

53% STONE MASONRY
33% STUCCO MASONRY
8% EFIS TRIM

**PRICING & CONSTRUCTION
GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGNOSTIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPROPRIATE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (ON WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO BEING COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL SUBMIT ALL DRAWINGS FOR COMPARISON.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS NEEDED FOR WORKING SYSTEMS AS NEEDED.

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FAX: 972-246-2681

No.	Date	Revision	By

LIFE SPRING CHURCH
ROCKWALL, TEXAS

EXTERIOR ELEVATIONS

Scale: _____
Date: 04/20/11
Project No.: 140311
Designed: CH
Drawn: CH
Checked: MW
SHEET
A4 OF
19