

**AGENDA**  
**PLANNING AND ZONING COMMISSION PUBLIC HEARING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**August 9, 2016**  
**6:00 P.M.**

**CALL TO ORDER**

**CONSENT AGENDA**

1. **Approval of Minutes** for the *July 26, 2016* Planning and Zoning Commission meeting.
2. **P2016-023 (Ryan)**  
Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a master plat/open space plan for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.
3. **P2016-024 (Ryan)**  
Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a preliminary plat for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.
4. **P2016-035 (Korey)**  
Discuss and consider a request by Matt Hibbitt of Spry Surveyors on behalf of the owner Racetrac Petroleum, Inc. for the approval of a final plat for Lot 1, Block 1, Carmel Carwash Addition being a 2.059-acre tract of land currently identified as Lot 1, Block 1, Crossings Addition (*i.e. 1.004-acres*) and a 1.052-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street, and take any action necessary.

**PUBLIC HEARING ITEMS**

5. **Z2016-019 (Ryan)**  
Hold a public hearing to discuss and consider a request by Miller Sylvan of JPI on behalf of the owner Gene Lambreth of Pneuma Ventures, LTD for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.
6. **Z2016-022 (David)**  
Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary.
7. **Z2016-024 (Korey)**  
Hold a public hearing to discuss and consider a request by Kyle Vrla of Dynamic Engineering Consultants, PC on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of a zoning change from a

Commercial (C) District to a Heavy Commercial (HC) District for a 6.588-acre portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located south of the intersection of Sids Road and SH-205 [*S. Goliad Street*], and take any action necessary.

**8. Z2016-025 (Ryan)**

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [*FM-3097*] and Summer Lee Drive, and take any action necessary.

**9. Z2016-026 (Ryan)**

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road [*FM-740*] and Glen Hill Way, and take any action necessary.

**10. Z2016-027 (Ryan)**

Hold a public hearing to discuss and consider a City initiated zoning request for the approval of a text amendment to Section 2.1, *Agriculture (AG) District*, Section 3.3, *Single-Family Residential (SF-16) District*; and Section 3.4, *Single-Family Residential (SF-10) District*, of Article V, *District Development Standards*, of the Unified Development Code for the purpose of increasing the minimum square footage per dwelling unit in these zoning districts, and take any action necessary.

**ACTION ITEMS**

**11. SP2016-015 (David)**

Discuss and consider a request by Jerry Monk of Monk Consulting on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for an indoor recreation facility on a 4.88-acre tract of land identified as Tract 4-01 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

**DISCUSSION ITEMS**

**12. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).**

- ✓ P2016-030: Replat for Lots 5 & 6, Block C, Sanger Bros. Addition [*Approved*]
- ✓ P2016-031: Replat for Lots 2 & 3, Block A, Heritage Christian Academy, Phase 2 [*Approved*]
- ✓ P2016-032: Final Plat for Lot 1, Block B, Rockwall Technology Park, Phase IV [*Approved*]
- ✓ P2016-033: Final Plat for Lot 1, Block A, Rockwall Technology Park, Phase IV [*Approved*]
- ✓ P2016-034: Final Plat for Lots 1-3, Block A, Dalton Goliad Addition [*Approved*]
- ✓ Z2016-020: SUP for a Carport at 509 Sunset Hill Drive (*1<sup>st</sup> Reading*) [*Approved*]
- ✓ Z2016-021: Zoning Amendment to PD-52 for Townhomes (*1<sup>st</sup> Reading*) [*Approved*]

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 5<sup>th</sup> day of August, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**July 26, 2016**  
**6:00 P.M.**

I. CALL TO ORDER

Chairman Renfro called the meeting to order at 6:02 p.m. Present were, Commissioners Johnny Lyons, Patrick Trowbridge, Sandra Whitley, Annie Fishman and John McCutcheon. Absent was Commissioner Tracey Logan. Staff members present were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Corey Brooks, Planning Coordinator, Laura Morales, and Assistant City Engineer, Amy Williams.

II. CONSENT AGENDA

1. Approval of Minutes for the June 28, 2016 Planning and Zoning Commission meeting.

2. P2016-030

Discuss and consider a request by Clint Groomer of CBG Surveying, Inc. on behalf of Anusha Malineni of Sriven Vista, LLC for the approval of a replat for Lots 5 & 6, Block C, Sanger Bros. Addition being a 0.23-acre parcel of land currently identified as a portion of Lots 1 & 2, Block C, Sanger Bros. Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Sam Houston Street, and take any action necessary.

3. P2016-031

Discuss and consider a request by Randy Helmberger of Our Lady of the Lake Catholic Church on behalf of Dr. Brad Helmer of Heritage Christian Academy for the approval of a replat for Lots 2 & 3, Block A, Heritage Christian Academy, Phase 2 being a 8.83-acre tract of land currently identified as Lot 1, Block A, Heritage Christian Academy, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 14 (MF-14) District, located west of the intersection of Damascus Road and SH-205 [S. Goliad Street], and take any action necessary.

4. P2016-032

Discuss and consider a request by Chet Leugers, PE of Pacheco Koch on behalf of Michael Hampton of the Rockwall Economic Development Corporation (REDC) for the approval of a final plat of Lot 1, Block B, Rockwall Technology Park, Phase IV being an 8.761-acre portion of a larger 9.73-acre tract of land identified as Tract 2-01-1 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the northeast corner of the intersection of Corporate Crossing and Capital Boulevard, and take any action necessary.

5. P2016-033

Discuss and consider a request by Chet Leugers, PE of Pacheco Koch on behalf of Michael Hampton of the Rockwall Economic Development Corporation (REDC) for the approval of a final plat of Lot 1, Block A, Rockwall Technology Park, Phase IV being an 30.035-acre portion of a larger 49.85-acre tract of land identified as Tract 1, J. H. B. Jones Survey, Abstract 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Data Drive, and take any action necessary.

6. P2016-034

Discuss and consider a request by Jay Holman & Don Silverman of Rockwall 205-552, LLC for the approval of final plat for Lots 1-3, Block A, Dalton Goliad Addition being a 9.232-acre tract of land identified as Tract 4-1 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of SH-205 [N. Goliad Street] and FM-552, and take any action necessary.

64 Chairman Renfro made motion to approve the consent agenda. Commissioner McCutcheon  
65 seconded the motion which passed by a vote of 6-0, with Commissioner Logan absent.

66  
67  
68 III. PUBLIC HEARINGS

69  
70 7. Z2016-020

71 Hold a public hearing to discuss and consider a request by Sandra Peterson for the approval of a  
72 Specific Use Permit (SUP) to allow for a carport that does not meet the minimum setback requirements  
73 stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of  
74 the Unified Development Code [*Ordinance No. 04-38*] for a 0.231-acre parcel of land identified as Lot  
75 10, Block D of Northshore, Phase 2A Addition, City of Rockwall, Rockwall County, Texas, zoned Single  
76 Family 10 (SF-10) District, addressed as 509 Sunset Hill Drive, and take any action necessary.

77  
78 **Planner, Korey Brooks, gave brief explanation of the item stating the applicant is requesting a**  
79 **Specific Use Permit to allow for a carport that does not meet the minimum rear yard setback**  
80 **requirements. According to the Unified Development Code the minimum depth of rear yard**  
81 **setback is ten feet for properties located in a Single Family 10 District. The applicant is**  
82 **proposing to construct the carport 8-feet from the street. According to Section 2.1.2, Residential**  
83 **and Lodging Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code,**  
84 **carports that do not meet the minimum rear yard setbacks can apply for a Specific Use Permit to**  
85 **be approved by the City Council. The proposed carport will stand approximately ten feet in**  
86 **height and will have a building footprint of approximately 24-feet x 22-feet or 530 square feet.**  
87 **The carport will be located behind the main residential structure and attach to the existing home**  
88 **where the garage is located. The carport will be constructed of metal and will not visible from the**  
89 **street.**

90  
91 **Mr. Brooks went on to state that staff mailed 25 notices to property owners and occupants within**  
92 **500-feet of the subject property and also notified the Preserve HOA, and additionally, staff**  
93 **posted a sign on the subject property. Staff received five notices returned in favor of the carport.**

94  
95 **Chairman Renfro opened the public hearing and asked the applicant to come forward.**

96  
97 **Bryce Peterson**  
98 **509 Sunset Hill Drive**  
99 **Rockwall, TX**

100  
101 **Mr. Peterson came forward and stated his truck is 19 feet long and they are requesting the**  
102 **variance for the carport to add additional room in front of the truck to facilitate room to circulate**  
103 **in front of the truck.**

104  
105 **Chairman Renfro asked if there was anyone wishing to speak to come forward and do so. There**  
106 **being no one indicating such, Chairman Renfro closed the public hearing.**

107  
108 **Commissioner McCutcheon made motion to pass agenda item with staff recommendations.**  
109 **Commissioner Lyons seconded the motion which passed by a vote of 6-0, with Commissioner**  
110 **Logan absent.**

111  
112  
113 8. Z2016-021

114 Hold a public hearing to discuss and consider a request by Mike Hogue for the approval of a zoning  
115 amendment to Planned Development District 52 (PD-52) for the purpose of allowing townhomes on a  
116 2.17-acre tract of land identified as Lot 1, Block 1, Allen Hogue Subdivision (*0.7910-acres*) and Lots 67  
117 & 68, Block B, B. F. Boydston Addition (*1.257-acres*), City of Rockwall, Rockwall County, Texas, zoned  
118 Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses, being  
119 addressed as 703, 705 & 709 E. Boydston Avenue, and take any action necessary.

120  
121 **Senior Planner, David Gonzales, advised that the applicants, Mike Hogue as well as a**  
122 **representative from Marshawn Architects are both present and stated the request is for a zoning**  
123 **amendment to Planned Development District 52 for the purpose of allowing Townhomes on a**  
124 **2.048-acre tract of land. The development will consist of eleven single-family attached**  
125 **townhomes. The subject property has an underlying zoning of Heavy Commercial and is located**  
126 **at the intersection of E. Boydston Avenue and S. Clark Street.**

127 Mr. Gonzales went on to explain that Mr. Hogue's property is located within Planned  
128 Development No. 52 District, which allows for Heavy Commercial land uses. Adjacent to and  
129 within the vicinity of his property are Commercial, Duplex Residential, and Single-Family  
130 Residential land uses. The Future Land Use Map contained within the Comprehensive Plan  
131 designates the subject property for Commercial/Industrial land uses. However, due to the  
132 adjacent land uses this property could be utilized as a transitional zone if approved by City  
133 Council. According to the Comprehensive Plan, high density residential uses should be used as  
134 a transitional use from commercial or existing retail use, or where it will serve as a logical  
135 extension of an existing high density development. The zoning change proposed by the  
136 applicant would require this designation to be amended to a High Density Residential  
137 designation and has been added as a condition of approval.  
138

139 Mr. Gonzales further explained that after the previous work session the applicant has been  
140 working with staff and after listening to what the Commission had to say during the work  
141 session what the applicant intends to build is a three story, two bedroom townhomes consisting  
142 of 2,258 sq.-ft. of air conditioned space on each lot. The conceptual rendering provides a  
143 perspective of a traditional attached three story home site that will incorporate a mixture flat and  
144 pitched roofs with gabled elements, articulated entry features, and balconies. Each townhome  
145 will be identified as a separate unit. Anti-monotony standards have been incorporated within the  
146 ordinance. The overall minimum masonry requirement for this development will be calculated at  
147 90% masonry materials, excluding windows and doors. Hardy Plank or a similar cementaceous  
148 material may be used up to 70 percent of the masonry requirement on units that do not have a  
149 material on the adjoining property façade. This will help maintain the traditional design and  
150 style the applicant is attempting to create. Each townhome will also have a two car garage  
151 located to the rear of each property. In addition, the applicant will provide a minimum of a 10-  
152 foot landscape buffer along S. Clark Street and Boydston Avenue with large canopy trees  
153 planted at 50-ft intervals and additional landscaping for each property will be provided as well as  
154 a park in the rear of the property.  
155

156 Mr. Gonzales also noted that in the previous work session some of the Commission's concerns  
157 as well as the phone calls staff received from citizens were concerning parking. The parking will  
158 be located to the rear and will have rear entry two car garages on each lot as well as provide  
159 additional parking in the rear for the park and the open space area.  
160

161 Mr. Gonzales stated he provided the Commission Development Standards that staff was able to  
162 put together over the weekend that were provided to the applicant who in turn was able to review  
163 to put together the remainder of the draft ordinance. Some of the things that will be included in  
164 the ordinance are some controls for the property in order to allow for townhomes not only to  
165 include the anti-monotony standards, but also to have controls like you would see in a  
166 residential neighborhood such as fence standards, landscaping standards and an HOA. The  
167 HOA will maintain the private road, the open space and the park. Mr. Gonzales also pointed out  
168 that the ordinance that is being put in place will not affect any other properties that are within  
169 PD-52 it is only for this two acre portion.  
170

171 Mr. Gonzales further stated that staff mailed 250 notices to property owners and residents within  
172 500-feet of the subject property and emailed a notice to the Park Place Homeowner's  
173 Associations, which is the only HOA located within 1,500 feet of the subject property as well as  
174 posting a sign adjacent to the subject property along Boydston Avenue and advertised the  
175 public hearings in the Rockwall Harold Banner as required by the UDC. Staff received six  
176 notices "in favor of" and four notices "opposed to" the request.  
177

178 Mr. Gonzales advised he, as well as the applicant, are available for questions.  
179

180 Commissioner Trowbridge asked in what year PD-52 was put in place. Mr. Gonzales stated it was  
181 put in place in 2002. Commissioner Trowbridge asked the year the zoning to the east SF-7 which  
182 is where Park Place is was established. Mr. Gonzales stated the Park Place Ordinance was put in  
183 place a few years after PD-52.  
184

185 Commissioner Trowbridge asked if there is a minimum size that can be done for a PD, if it is a  
186 PD within a PD that is being proposed. Mr. Gonzales stated this is an amendment to this PD that  
187 is already established, the PD is not shrinking, the applicant is simply asking for the townhome  
188 use to be allowed within the PD-52.  
189

190 Commissioner Trowbridge asked concerning the development standards that were just added  
191 that will be tied down to the ordinance is there something similar to a development standard that  
192 can be used as an example. Mr. Gonzales stated development standards that are put in place is  
193 that similar to any typical residential plan development, the only difference would be that these  
194 are townhomes and although they are still single family residential properties the only difference  
195 is that it is higher density.  
196

197 Chairman Renfro asked what the minimum dwelling square footage was. Mr. Gonzales stated the  
198 applicant has indicated that the units will be minimum 2200 square feet.  
199

200 Chairman Renfro opened the public hearing and asked the applicant to come forward.

201  
202 Greg Wallace  
203 Mershawn Architects  
204 2313 Ridge Road  
205 Rockwall, TX  
206

207 Mr. Wallace came forward and stated his client is very agreeable to taking input from the  
208 Commission as well as staff in making changes to the project and is very willing to do whatever  
209 he can to make this acceptable. He understands some of the opposition was due to parking;  
210 however feels that 11 units will not cause a tremendous additional parking for that area or for the  
211 street that it's on. He stated he is available for any questions the Commission may have.  
212

213 Chairman Renfro asked anyone who wished to speak to come forward and do so.

214  
215 Bill Bricker  
216 505 Westway  
217 Rockwall, TX  
218

219 Mr. Bricker came forward and stated he represents the Park Place development and is also the  
220 President of the HOA for Park Place, although he is not here representing the HOA nor has any  
221 input from the HOA, but from a developers standpoint feels the subject property has not been  
222 the nicest property for some time and would like to see the best thing at the back entrance to  
223 Park Place. Mr. Bricker went on to state he is in favor of proposal feels these townhomes will be  
224 fine, and although he had a few concerns initially they have since been addressed. He does not  
225 want it to be reverted back to Commercial or Heavy Commercial use if it is approved for change  
226 wants it to stay changed. He added that he is in support because he has spent some time  
227 looking at these kinds of communities which are all over the metroplex and feels having a  
228 component of multi-family when done properly are not only compatible but desirable as well.  
229

230 Alan Smith  
231 506 Kernoodle Drive  
232 Rockwall, TX  
233

234 Mr. Smith came forward and stated his opposition to the proposal, he moved to Rockwall for the  
235 Old Towne Rockwall. Does not fit the old town Rockwall and does not fit the area. He stated he is  
236 in construction and is concerned that what they are showing as proposal is just a photo not the  
237 actual plan and feels photos and actual plans are totally different and believes before a decision  
238 is made actual documentation needs to be provided.  
239

240 Chairman Renfro asked staff if plans have been provided. Mr. Gonzales stated that what has  
241 been provided and be attached to the ordinance will be the perspective applicant has provided,  
242 the anti-monotony will be included in the ordinance to assure that what the applicant is  
243 proposing is what will be the final product put on the ground.  
244

245 Tyler Riddle  
246 307 Park Street  
247 Rockwall, TX  
248

249 Mr. Riddle came forward and stated his opposition to the proposal. He stated his home was built  
250 in 1886 and the reason they bought and moved to Old Towne Historic District is because he  
251 knows what he has to go through to do any additions to his personal home which is go through  
252 long documentation, and feels that looking at the proposed homes they don't resemble his or

253 his neighbor's homes within the Historical District, but rather like a Greek development at Texas  
254 A&M University. Feels these homes do not add to the feel of keeping Old Towne looking  
255 historical but instead making it look modern and does not feel that is a good look to add.  
256

257 Carol Crow  
258 504 Williams  
259 Rockwall, TX  
260

261 Ms. Crow came forward and stated her opposition to the request, feels the drawings that were  
262 put up of proposal look good considering currently it is an awful looking property but does not  
263 conform to the Old Towne Historical District. Ms. Crow stated a year ago there was a proposal  
264 for high density townhomes and they had that defeated and is here again with another high  
265 density proposal and there is land surrounding the subject property that can keep developing  
266 into more high density development if this one is approved.  
267

268 Jim Buttgen  
269 501 Kernoodle  
270 Rockwall, TX  
271

272 Mr. Buttgen came forward and stated his opposition for the proposal feels a three story building  
273 is not the look the Old Towne community should have as an entrance. He moved into the Old  
274 Towne community in 1977 and was one of the first to start restoring the look of the historic  
275 district and feels if such homes need to come in possibly should be one story smaller homes but  
276 not three stories high densities that would not fit the look he wants to ensure is maintained.  
277

278 Johnny Johnson  
279 303 N. Clark Street  
280 Rockwall, TX  
281

282 Mr. Johnson came forward and stated his opposition to the proposal expressed concern of part  
283 of the property being on a floodplain. He stated he feels this proposal will impact surrounding  
284 school as well as traffic on Clark Street. Mr. Johnson also expressed concern on the removal of  
285 trees on the property and would those be replaced.  
286

287 JoKay Harris Glass  
288 301 Meadowdale  
289 Rockwall, TX  
290

291 Ms. Glass came forward and stated her family owns the homes from 507-607 S. Clark Street  
292 since 1949 and is concerned with flooding issues with an easement she believes should be  
293 maintained by the City and currently is not. Chairman Renfro advised Ms. Glass he would try and  
294 get those questions answered and referred her to Amy Williams, Assistant City Engineer, who  
295 would answer those questions after the meeting. Chairman Renfro asked Ms. Glass for  
296 clarification if she was generally opposed or in favor of the proposal. Ms. Glass stated she will  
297 be in support if the question of the flooding can be addressed and it wouldn't affect her  
298 properties.  
299

300 Chairman Renfro closed the public hearing and asked the applicant to come forward for rebuttal.  
301

302 Mr. Wallace came forward and addressed the concern with the water runoff first stating that they  
303 are out of the floodplain and any water generated on the property would be detained in a  
304 detention pond with slow release and there would not be any additional runoff that would go into  
305 the creek to cause problems downstream. Mr. Wallace went on to address the concern in regard  
306 to the trees stating that if they are allowed to develop they will have a tree mitigation plan and  
307 are retaining all the trees in the back of the property along the creek and the floodplain area as  
308 well as roughly 95% of the trees that run along the street.  
309

310 Chairman Renfro asked staff to explain the tree mitigation plan. Mr. Gonzales reiterated what Mr.  
311 Wallace spoke of concerning not building on the floodplain stating there will be no construction  
312 on the floodplain and if proposal is approved it would go through site planning and during that  
313 phase staff would address the tree mitigation plan. Essentially what that involves is if any  
314 hardwoods are removed those are replaced inch per inch and anything that is oak, pecan or elm  
315 over a caliper size are replaced at two times the amount this alleviates the removal of some of

316 the larger trees, however there are standards in the ordinance that include additional landscape  
317 if the proposal is approved.

318  
319 Mr. Wallace also added with concerns stated with proposal being the gateway to Old Towne  
320 stating that the subject property is zoned currently Heavy Commercial and allows a tremendous  
321 amount of uses that could be much less desirable than eleven townhome units and feels this  
322 proposal would be a good transitional project and much more pleasing than some of the heavy  
323 commercial uses.

324  
325 Chairman Renfro closed the public hearing. After doing so a question arose from a citizen in  
326 attendance and Chairman Renfro asked for direction from staff as to what to do. Planning  
327 Director Ryan Miller advised Chairman Renfro it was at his discretion if he wished to allow  
328 question to be heard and allow the applicant to rebut. Chairman Renfro asked the citizen to  
329 come forward.

330  
331 Whitney Abbott  
332 619 Renfro  
333 Rockwall, TX

334  
335 Ms. Abbott came forward and asked what other possible uses applicant would consider  
336 implementing since it is already zoned Heavy Commercial if proposal is denied, would it be  
337 storage units or something similar.

338  
339 Chairman Renfro asked staff to briefly explain what other uses fall into Heavy Commercial to  
340 show what an alternative may be.

341  
342 Mr. Gonzales stated a Heavy Commercial is a more intense use, higher traffic, more noise, more  
343 vibration, odors things like that depending on the use that is there. It could be used for rental  
344 equipment, as an example the bus barn that is across the street would be one possible use. Mr.  
345 Gonzales added that a list of what uses Heavy Commercial allows is available online.

346  
347 Chairman Renfro asked for the Engineering staff to answer the questions that arose concerning  
348 the grading and the floodplain.

349  
350 Assistant Engineer, Amy Williams, explained that they will be required for detention and  
351 everything will be detained back to an existing residential condition and there will not be an  
352 increase in the floodplain in elevation or in the flow it will stay exactly the same and they are out  
353 of the floodplain and are not allowed to be in there without a study to prove differently. Ms.  
354 Williams added that she would be available to talk to Ms. Glass after the meeting with any other  
355 question.

356  
357 Commissioner Whitley asked since subject property is already zoned for Heavy Commercial  
358 does that mean that whatever property owner wants to put in there for example a storage  
359 building, can be done without having to come before the Planning and Zoning Commission or  
360 City Council. Mr. Gonzales stated since the property is zoned Heavy Commercial there are uses  
361 by right that the applicant does have available to them but within that PD there are only a  
362 handful that are not allowed, but the majority of the uses are allowed by right.

363  
364 Mr. Miller added that the current PD is Heavy Commercial with additional uses meaning that not  
365 only is it allowed to have all the uses Heavy Commercial currently does, but there are additional  
366 uses that were earmarked for these particular properties that are above and beyond what Heavy  
367 Commercial allows.

368  
369 Commissioner Trowbridge asked if it would primarily be single family restrictions that would be  
370 required if it was a single family development there with the exception of height and specific  
371 densities. Mr. Gonzales stated that in a typical residential zoning district the height is 36 feet and  
372 in this case the maximum height is 39 feet. Commissioner Trowbridge asked concerning the  
373 masonry requirements. Mr. Gonzales stated in the general residential districts it's 80% but it in  
374 this case it is 90% masonry required because of the representation that they had for the  
375 townhomes it is allowed to have up to 70% hardy plank or some kind of cementous material that  
376 would be like a neo traditional design therefore there is some variation in material that will allow  
377 individuality to be shown.

378 Commissioner Trowbridge asked for explanation of how percentages of material applied to what  
379 applicant is asking.  
380

381 Mr. Miller added that variances have been approved in this area and the Old Town area for up to  
382 100% cementous product because the lap siding is more indicative of the existing product in  
383 these areas therefore limiting it to 70% is just allowing the applicant to do more than what is  
384 typically allow in some of the more traditional housing areas where only 50% is allowed. Mr.  
385 Miller went on to state that the Commission does have the discretion to make a recommendation  
386 to increase the percentage if the Commission chooses to approve the proposal.  
387

388 Chairman Renfro asked for any further discussion or motions from the Commission.  
389

390 Chairman Renfro made motion to approve the item with staff recommendations. Commissioner  
391 Fishman seconded the motion which passed by a vote of 4-2 with Commissioners Whitley and  
392 Trowbridge dissenting and Commissioner Logan absent.  
393

394  
395

396 IV. DISCUSSION ITEMS  
397

398 9. Z2016-019

399 Hold a public hearing to discuss and consider a request by Miller Sylvan of JPI on behalf of the owner  
400 Gene Lambreth of Pneuma Ventures, LTD for the approval of a zoning change from a Light Industrial  
401 (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre  
402 tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall  
403 County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (205 BY-  
404 OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take  
405 any action necessary.  
406

407 Planning Director, Ryan Miller, stated applicant is present and available for questions.  
408

409 Matt Brendall  
410 600 E. Las Colinas Blvd.  
411 Irving, TX  
412

413 Mr. Brendall came forward and gave a brief explanation of the proposal by providing a power  
414 point which highlighted the background of JPI as well as main points of the proposal which  
415 included that JPI is locally headquartered in DFW in Irving and have been there for over 25  
416 years, and are a fully integrated real estate team which only do luxury multi-family  
417 developments. One of the unique aspects of the organization is that they have their own in  
418 house construction group which allows for them to be involved throughout the design process  
419 and also allows helps control the quality of what is built to a higher degree.  
420

421 Mr. Brendall expanded on the request stating that one of the things that make their product  
422 different from what is currently on the market is the high level of services that are on site such  
423 as double the typical amenity space, they deliver about 12,000 feet of amenity spaces and in  
424 addition to that, a management team would live on site to help establish a real community feel.  
425 Average rent will be \$1500. The power point went on to show similar developments JPI has built.  
426 Mr. Brendall then turned the presentation over to Mr. Miller Sylvan to discuss the specific site.  
427

428 Miller Sylvan  
429 600 E. Las Colinas Blvd.  
430 Irving, TX  
431

432 Mr. Sylvan came forward and gave brief explanation of the concept site plan of the proposal by  
433 providing a power point that included a conceptual plan that shows what is being proposed is  
434 two phases of multi-family, with each phase consisting of 3 story 360 units which will consist of  
435 60% one bedrooms, 35% two bedrooms, and 5% three bedrooms with 20 to 30% of the units  
436 having tuck under private garages. Each phase will have a clubhouse which will be 8 to 10,000  
437 square feet and include a fitness center, Wi-Fi lounge, coffee bar, billiards room, and a theater  
438 area. Each unit will have its own balcony, 10 foot high ceilings, stainless steel appliances,  
439 granite countertops as well as washer and dryer not just the connections.  
440

441 Mr. Sylvan stated they have reached out to Lofland Farms and Meadow Creek communities  
442 which are south of the property and will be meeting with them in the next week to get feedback  
443 from them.  
444

445 Mr. Miller stated staff provided a draft ordinance in the packet for the Commission to review that  
446 contains some of the things that the applicant has identified as zoning requirements as well as  
447 some of the City's standards and will bring the Commission something more finalized as the  
448 applicant finalizes the concept plan. If approved it will have to go through site plan and at that  
449 time it will go through the Parks Board for recommendation to City Council.  
450

451 Chairman Renfro asked for discussion or questions for staff.  
452

453 Commissioner Trowbridge asked if tucked under garages would have direct access to the units  
454 or to common areas and if hallways are open or air conditioned. Mr. Sylvan stated they would  
455 direct to common areas and hallways are open with no air condition.  
456

457 Commissioner Trowbridge asked if JPI was typically a build and sell or build and hold. Mr.  
458 Sylvan stated it depended on the partner that they have, have done it both ways but more  
459 recently they have built leased up and sold however they pride themselves in being great  
460 developers and builders very good at leasing up properties and whatever management  
461 companies that manage before selling will manage it for the buyer, in the last few years with the  
462 market as it has been they have leased up and sold, but uncertain for this one will be sold.  
463

464 Chairman Renfro asked why Rockwall was chosen for this proposal. Mr. Sylvan stated there is a  
465 lot of demand in Rockwall and believes what they are proposing is a high end community, high  
466 end product that will fit in Rockwall that is an affluent community with empty nesters, young  
467 professionals and such that are looking for such product.  
468

469 Chairman Renfro asked concerning rent survey, if JPI felt that they may be pushing the envelope  
470 with the rent they are asking or do they think they are at or below market. Mr. Sylvan stated they  
471 typically are pushing the envelope because for what they build they are typically ten to fifteen  
472 cents per foot higher than what the next highest community would command but due to the fact  
473 they provide more services and amenities than other developments it has proven successful to  
474 do so because people are willing to pay for those services and amenities.  
475

476 Chairman Renfro asked if they had done their due diligence with the Harbor PD-32 as there are  
477 1,072 units that are slated to come in. Mr. Sylvan stated they have but feel this is a different part  
478 of town with a different product line.  
479

480 Chairman Renfro asked what percentage of 1 bedrooms and what square footage they are. Mr.  
481 Sylvan stated 1 bedroom are going to take 60% and start at about 650 square feet and go up to  
482 1,100 square feet with the 2 bedroom going to 1,700 square feet. Currently the unit mix is  
483 showing 1,000 square foot average and are in the process of doing a deep dive into the market  
484 by looking at all the unit types to define where the demand is, but will define that as the process  
485 moves forward.  
486

487 Commissioner Trowbridge asked if the 60% one bedrooms is based on what is thought to be the  
488 demand Rockwall demographic supports. Mr. Sylvan stated it was, but currently waiting on the  
489 market study which will help refine and it may show that number needs to be bumped up and  
490 they will determine that once they analyze it when it they get it in, in a couple of weeks and will  
491 provide a copy to the Commission for them to review it as well.  
492

493 General discussion took place concerning lot mix and density of surrounding areas.  
494

495 There being no further questions, Chairman Renfro indicated the case will return to the  
496 Commission for action at the next scheduled meeting.  
497

498  
499 10. Z2016-022

500 Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc.  
501 on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to  
502 allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an  
503 existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR

504 Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District,  
505 addressed as 1480 Justin Road, and take any action necessary  
506

507 **Senior Planner, David Gonzales, gave brief explanation of request stating applicant is requesting**  
508 **an SUP to allow for an extension on to their existing building which is located at the intersection**  
509 **of Justin Road and Industrial Blvd. They are proposing to install three high bay extensions**  
510 **which will be pre-engineered metal panels that will connect. The code requires an SUP for**  
511 **anything that is over 60 feet, after the expansion they will be at 70 feet.**

512  
513 **Mr. Gonzales stated applicant was not present but staff is available for questions.**

514  
515 **Chairman Renfro asked if**

516  
517 **Commissioner McCutcheon asked if there was any direction the Commission could direct**  
518 **applicant to require the addition to blend in the building more as it appears what is being**  
519 **proposed does not fit existing buildings look. Mr. Gonzales stated it was his understanding that**  
520 **in 2006 it was a planned expansion and therefore that area that they are connecting to that is**  
521 **made for it to go up to allow for the expansion.**

522  
523 **There being no further questions Chairman Renfro indicated the case will return to the**  
524 **Commission for action at the next scheduled meeting.**

525  
526 **Chairman Renfro called a ten minute recess at 7:35 p.m.**

527  
528 **Chairman Renfro called the meeting back to order at 7:47 p.m.**

529  
530  
531 **11. Z2016-024**

532 **Hold a public hearing to discuss and consider a request by Kyle Vrla of Dynamic Engineering**  
533 **Consultants, PC on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of a**  
534 **zoning change from a Commercial (C) District to a Heavy Commercial (HC) District for a 6.588-acre**  
535 **portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract**  
536 **No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the**  
537 **SH-205 Overlay (SH-205 OV) District, located south of the intersection of Sids Road and SH-205 [S.**  
538 **Goliad Street], and take any action necessary.**

539  
540  
541 **Planner, Korey Brooks, asked applicant to come forward and present the case.**

542  
543 **Josh Edge**  
544 **1301 Central Expressway South**  
545 **Allen, TX**

546  
547 **Mr. Edge came forward and stated he represents Dynamic Engineer and gave brief explanation**  
548 **of request stating currently subject property is undeveloped land and while they do represent**  
549 **the owner of the land it is Group One Automotive who represents Rockwall Ford who have a**  
550 **facility off of IH-30. The site is intended to be Rockwall Fords body shop facility; they will take**  
551 **the current body shop facility and move it to subject property to free up more space. The intent**  
552 **of the body and collision facility is not for public access and will be a secured and gated.**

553  
554 **Chairman Renfro asked staff to provide a closer look of the map to show exact location to be**  
555 **able to determine if it falls within the 205 Overlay, and if it does what requirements will the**  
556 **applicant have to adhere to.**

557  
558 **Mr. Edge added that they will have architectural features to the building to fit the 205 Overlay**  
559 **and fully anticipate meeting all requirements.**

560  
561 **Mr. Brooks displayed the map and stated that the Future Land Use map does designate the area**  
562 **as Commercial or Industrial which is defined as intensive commercial industrial uses with large**  
563 **volume traffic therefore the proposed change of zoning does conform to the Future Land Use**  
564 **map.**

565 Mr. Miller added that the requirements for the 205 Overlay are those of a typical overlay which  
566 will require a natural stone at 20%, four sided architectural features, 90% masonry, typical  
567 requirements that come in at the site plan stage.  
568

569 Commissioner Lyons asked if all body work would be done indoors. Mr. Edge stated that was  
570 correct, all work will be done indoors.  
571

572 Commissioner McCutcheon asked what type of screening would be provided. Mr. Edge stated  
573 they are open to what the Commission recommends, what is currently being discussed is a  
574 metal rod iron gate and increasing the landscaping in the front of the building to provide the  
575 screening requirements.  
576

577 Commissioner McCutcheon asked if work would be done with doors open or closed as it may be  
578 a concern with the noise. Mr. Edge stated he did not have the answer to that, but would find out  
579 and answer the question at the next meeting.  
580

581 Mr. Miller added that the public hearing for this case will be held the 9th of August.  
582

583 There being no further questions Chairman Renfro indicated the case will return to the  
584 Commission for action at the next scheduled meeting.  
585

586  
587 12. Z2016-025

588 Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the  
589 approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-  
590 acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition,  
591 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated  
592 within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of  
593 Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.  
594

595 Planning Director, Ryan Miller, asked applicant to come forward and present the case.  
596

597 Jason Lentz  
598 5339 Alpha Road  
599 Dallas, TX  
600

601 Mr. Leitz came forward and stated he is the Senior Vice President of Development with Atticus  
602 Real Estate Services and would be giving a gave brief explanation of request and provided  
603 renderings to display. The request is for a 245 unit condo multi-family development in PD-32  
604 consisting of efficiencies, one bedroom, and two bedroom units in a four story elevatored  
605 building that will be a wrap product that surrounds a garage in the middle. The unit mix will  
606 consist of 8% efficiency units, 60% one bedroom units, and 33% two bedroom two bath units,  
607 and no three bedroom units in this product. Will have five story parking structure it is  
608 anticipated to have amenity space including a pool on top of the deck that will serve the entire  
609 condo project.  
610

611 Mr. Miller added that as it has been discussed in previous meeting Planned Development 32 is a  
612 unique PD in that it involves many different stake holders, several sub districts, all of which have  
613 their own uses and their own development challenges as well as their own development  
614 standards. This particular property is part of the interior sub district which allows by right the  
615 units, and the way the units were made for the entire PD-32 is creating a pool in all of the sub  
616 districts of 1162 units and as the developments come in they claim a certain number of those  
617 units. According to the Concept Plan, the interior sub district was intended to have apartments  
618 in this manner. What is kicking in what is called the PD Development Plan in this case is an  
619 interim between zoning because they already have entitlement for the use itself, but in between  
620 zoning and site plan, there is the PD Development Plan which gives the Commission  
621 discretionary approval, and staff notifies everybody within the property to check for  
622 conformance to the Plan. In this case, the use is permitted therefore the intent of the sub district  
623 is not being changed, but what is kicking in the Planned Development Plan is simply the  
624 roadway that's running which will be changed to a public roadway and that will connect thru,  
625 whereas currently there is a gap between property lines. In the Plan it is supposed to be a public  
626 roadway, but they are asking to basically to change the street cross section. The cross section

627 in the Plan calls for parallel parking along the side of the condominium buildings and they are  
628 requesting not to put in the parallel parking, just the two lanes of traffic.  
629

630 Mr. Miller went on to add that by allowing that, it actually does match what the City will be doing  
631 with the entry way onto Ridge Road. The applicant will need to present the cross section to the  
632 Commission at the next meeting and that will be part of the ordinance and staff will also provide  
633 a checklist of how it would conform to the overall PD.  
634

635 Chairman Renfro asked the applicant what their definition of condo was if they are going to be  
636 sold. Mr. Lentz stated they will have condo docs in place but although they are 245 individual  
637 units they can be owned by one owner and sublet to individual tenants. Mr. Miller added that  
638 what made them condos was that every unit is required to be individually metered.  
639

640 Commissioner Trowbridge asked if it was a for sale condominium project and would it be  
641 operated as multi-family. Mr. Lentz stated it was their plan not to immediately offer it for sale and  
642 it would be operated as multi-family and added that they are a long term holder.  
643

644 Commissioner Trowbridge asked if they have done such projects in the past and where. Mr.  
645 Lentz stated they have but would refer that question to Mark Humphreys who is the CEO of  
646 Atticus and Humphreys Architects.  
647

648 Chairman Renfro asked concerning how many 485 square foot units there would be. Mr. Lentz  
649 stated there would be 20 of the 245 units that would be 485 square feet. Chairman Renfro asked  
650 what the following size is. Mr. Lentz stated there would be 97 616 square feet one bedroom units  
651 with the 485 square feet units being efficiencies. Chairman Renfro asked if the majority would  
652 then be one bedroom units. Mr. Lentz stated that was correct.  
653

654 Chairman Renfro asked where the parking would be. Mr. Lentz stated parking would be located  
655 at the parking deck in the interior of the building.  
656

657 Chairman Renfro asked staff if there was a road that came out to Summer Lee to Ridge Road. Mr.  
658 Miller stated there is a roadway that extends around the building and their portion of it on their  
659 property extends from Summer Lee to the back southwest corner of the property, they also  
660 show the townhome development to the south and in between those two properties there is a  
661 property line that follows the roadway and that roadway will extend to their property line and  
662 eventually connect to a road system that will take that out to Ridge Road.  
663

664 Chairman Renfro asked how that roadway would get to Ridge Road. Mr. Miller stated the  
665 adjacent property will have a responsibility to build that portion of the roadway to the Hughes  
666 property and then the Hughes property to Ridge Road and a portion of it goes thru Glen Hill Way  
667 Road right of way.  
668

669 Commissioner Lyons asked concerning the lot mix, what is done to anticipate the need for the  
670 one bedroom and two bedroom units and no three bedroom units. Mr. Lentz stated they will  
671 conduct a market study.  
672

673 Chairman Renfro asked made comment that looking at the Comprehensive Plan, the request is  
674 asking for 245 units and what is allocated for that and is 315 currently. Mr. Miller stated there are  
675 1162 units permitted within PD-32, currently Marina Village claimed 399 of those, and the  
676 Summer Lee Condominiums which is directly west of this property and belongs to the same  
677 interior sub district, claimed 265, but there is no allocation within the sub district itself.  
678

679 General discussion took place concerning the allocation of the 1162 total units within the PD-32  
680 and how it is broken down.  
681

682 Commissioner Trowbridge asked if the hallways would be closed and air conditioned. Mr. Lentz  
683 stated they would be closed and air conditioned.  
684

685 Mr. Miller added that the public hearing for this case will be held the 9<sup>th</sup> of August.  
686  
687  
688  
689

690 There being no further questions Chairman Renfro indicated the case will return to the  
691 Commission for action at the next scheduled meeting.  
692  
693

694 13. Z2016-026

695 Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the  
696 approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger  
697 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall  
698 County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential*  
699 *Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road  
700 [FM-740] and Glen Hill Way, and take any action necessary.  
701

702 Planning Director, Ryan Miller, asked applicant to discuss the case.  
703

704 Jason Lentz  
705 5339 Alpha Road  
706 Dallas, TX  
707

708 Mr. Lentz gave brief explanation of request stating the concept plan currently shows zero lot line  
709 homes but the vision is to change that to an attached townhome concept, 36 with an average  
710 unit size of 1900 square feet with 1/1/ units going all the way up to 3/2 units. They have done a  
711 project similar to what is being proposed in Richardson with part of it being for sale product and  
712 some of it was a rental product and have seen success in such projects. Mr. Lentz provided  
713 elevations of the townhome product.  
714

715 Chairman Renfro asked if it will be lease and hold and also sell. Mr. Lentz stated that the plan is  
716 for it to be a for sale product.  
717

718 Mr. Miller added that this is not part of the interior sub district but rather enters into what is  
719 called the residential sub district which was intended to be 49 single family zero lot line homes.  
720 The use chart allows townhomes by specific use permit, but in order to get the townhomes the  
721 intent of the sub district needs to be changed. By going through the PD Development Plan to  
722 change the intent of the sub district they are essentially getting the discretionary approval that  
723 they need to move forward and therefor will only need to go thru a PD Development Plan.  
724

725 Mr. Miller went on to add that going back to the 1162 units, the 49 single family zero lot line  
726 homes were not a part of the 1162 pool and therefor this would subtract 36 units from the 1162  
727 because it would be changing it from the zero lot line homes product to the townhome product.  
728

729 Commissioner Trowbridge asked how many of the 1/1 units would there be. Mr. Lentz stated  
730 there would be nine of those which will be 1600 square feet.  
731

732 Mr. Miller added that the public hearing for this case will also be held the 9th of August.  
733

734 There being no further questions Chairman Renfro indicated the case will return to the  
735 Commission for action at the next scheduled meeting.  
736  
737

738 14. Z2016-027

739 Hold a public hearing to discuss and consider a City initiated zoning request for the approval of a text  
740 amendment to Section 2.1, *Agriculture (AG) District*; Section 3.3, *Single-Family Residential (SF-16)*  
741 *District*; and Section 3.4, *Single-Family Residential (SF-10) District*, of Article V, *District Development*  
742 *Standards*, of the Unified Development Code for the purpose of increasing the minimum square footage  
743 per dwelling unit in these zoning districts, and take any action necessary.  
744

745 Planning Director, Ryan Miller, gave brief explanation of item stating that on the July 5 City  
746 Council meeting after a work session was done at a previous meeting, City Council directed staff  
747 to propose a text amendment that would increase some of the minimum square footage sizes of  
748 single family home requirements in certain districts, specifically they were looking at the Single  
749 Family 10 and the Single Family 16 Districts. What was discussed was that a lot of the PD's have  
750 come thru and there were questions as to whether the housing size being required was large  
751 enough, but did give staff some clear direction in that they wanted staff to stipulate a Single  
752 Family 16, which is a 16,000 square foot lot as having a minimum of 2,400 square foot home and

753 the Single Family 10 District which has a 10,000 minimum foot square lot to have a minimum  
754 2,200 square foot home.

755  
756 Mr. Miller further explained that staff brought up the issue with the Agricultural District in the  
757 work session, that currently there is no minimum housing size in the Agricultural District and  
758 that has presented some issues in the past when people inquire what the minimum size is,  
759 therefore staff suggested that they stipulate of minimum size for that District as well and they  
760 did direct staff to prepare the text amendment with a 1,600 square foot minimum for that District.

761  
762 Mr. Miller went on to explain that staff cataloged comparable city's zoning districts, and because  
763 everyone calls zoning districts something different and they all have different standards, it was  
764 done by minimum lot size and then charted what other cities minimum single family dwelling  
765 size was for each of those districts and put together a chart that shows what that was and then  
766 put together an average median and mode to show what those numbers are, and that is how  
767 staff derived some of the square footages that are being proposed. Mr. Miller added that staff  
768 also provided the Commission with a density and dimensional chart that show a breakdown of  
769 all of the single family requirements and how the changes being proposed would look in a side  
770 by side comparison of other single family residential districts.

771  
772 Mr. Miller stated this is a discussion period to answer any questions and item will be coming  
773 back for a Public Hearing on the 9<sup>th</sup> of August.

774  
775 Commissioner Trowbridge asked if by raising the minimums house sizes, would that make the  
776 floor density higher. Mr. Miller stated that the density is derived by the minimum lot size  
777 therefore a density of two units per acre isn't going to be changed based on the size of the house.

778  
779 Mr. Miller added that what is being proposed does fit within the City's current guidelines which  
780 is a 65% lot coverage in most districts and most of the building permits that have come in have  
781 been, even on a 10,00 square foot lot, 2,200 square feet or larger very few have been built under  
782 the 2,200.

783  
784 Commissioner McCutcheon asked if this is approved, how would it affect if a new construction  
785 would take place in an existing older neighborhood where a 2,200 square foot house would not  
786 fit with the existing look would there be a way around it. Mr. Miller stated the majority of the  
787 older areas in the City are zoned Single Family 7 and Single Family 10 and therefore only apply to  
788 a portion of them.

789  
790 Mr. Miller added that to point out to Commissioner Trowbridge's point that looking at the various  
791 comparable cities, there are two strategies on minimum housing sizes, they're stipulating exact  
792 sizes, which the vast majority of cities do, and then there are some like Frisco that do a straight  
793 800 across the board and let the developer, but what is being seen recently is more PD's come in  
794 and PD's end up creating their own zoning in a sense and they stipulate their own density and  
795 dimensional requirements. What staff uses the base zoning is to act as a guideline to present  
796 those standards at the onset of when the PD is being put together and give something to build  
797 from for the developer.

798  
799 Commissioner McCutcheon expressed concern as to how this would affect those not in a PD but  
800 that are in the older areas that fall in Single Family 10 District.

801  
802 Commissioner Lyons asked if it would only affect someone that may tear down an existing home  
803 and build a new one they would have to comply with the new minimum standard. Mr. Miller  
804 stated that was correct, if it was in a Single Family 10 District.

805  
806 Chairman Renfro asked staff for clarification as to what Council is trying to accomplish with this  
807 amendment. Mr. Miller stated that it may be that due to the current market the City's housing size  
808 may be a bit small, the Single Family 10 is currently at 1,800 square feet and they are looking to  
809 adjust that to what they feel the direction of the City is calling for.

810  
811 Commissioner Lyons asked what staff's findings were in the analysis conducted as far as  
812 comparing Rockwall to other cities, is the city on the low or high end. Mr. Miller stated Rockwall  
813 was a little above the middle to mid-high end.

814  
815

816 Commissioner Lyons asked if the Commission could make their own recommendations if they  
817 felt 2,200 was too large. Mr. Miller stated that was correct, the Commission can pass along a  
818 different recommendation than what is being proposed.  
819

820 Commissioner Whitley asked what the average size house that is being built in the last two or  
821 three years in this size lots, and is the proposal in alignment to what the market is bearing in  
822 Rockwall. Mr. Miller stated he did not have that information at hand, but would at the next  
823 meeting bring some hard numbers of what in the last couple of years what the average permit  
824 sizes are in certain districts as well as providing additional information concerning building  
825 permits issued.  
826

827 There being no further questions Chairman Renfro indicated the case will return to the  
828 Commission for action at the next scheduled meeting.  
829

830  
831 15. SP2016-015

832 Discuss and consider a request by Jerry Monk of Monk Consulting on behalf of Dr. Steve Arze of Zaph  
833 & Ath Properties, LLC for the approval of a site plan for an indoor recreation facility on a 4.88-acre tract  
834 of land identified as Tract 4-01 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall  
835 County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard  
836 and Airport Road, and take any action necessary.  
837

838 Senior Planner, David Gonzales, gave brief explanation of request stating the property is located  
839 across the street from Tuttle Field at the intersection of Airport and Industrial Blvd. This is a site  
840 plan where what will be looked at is the photometric plan, building elevations and landscape  
841 plan once those come and comments were submitted to the applicant and they have taken care  
842 of most of them, but there was one question that will need to be answered by the applicant and  
843 that is how the lot lays out, and if it is going to be a phasing plan involved with that or will there  
844 be some flag lots because where the lot is located and the other two lots that are there subject  
845 property being in the center lot and with one lot behind it, there is no frontage; therefore if there  
846 is a phasing plan it would not be a problem but if they are individually owned then frontage will  
847 be needed and until that question is resolved may see something different come back. Aside  
848 from that, they are minimum amounts of technical items that are required by the applicant to  
849 build and the only other thing would be the building elevations where there are several materials  
850 that they are using primarily being metal and that is going to take a recommendation from the  
851 Planning and Zoning Commission as well as City Council for an exception to the material  
852 standards.  
853

854 Mr. Gonzales stated that the applicant was not present but staff is available for any questions.  
855

856 Commissioner Lyons asked if this is the same facility as the baseball project that was brought to  
857 the Commission a few months back. Mr. Gonzales stated this is a separate project the baseball  
858 facility is east of this.  
859

860 Commissioner Lyons asked what kind of facility this would be. Mr. Gonzales stated it was his  
861 understanding that it is going to be a climbing fitness type facility with zip lines and climbing  
862 walls and will also have a fencing academy.  
863

864 There being no further questions Chairman Renfro indicated the case will return to the  
865 Commission for action at the next scheduled meeting.  
866

867  
868 16. Director's Report of post Council meeting outcomes of Planning & Zoning cases.  
869

- 870 ✓ Z2016-017: Text Amendment for Used Motor Vehicle Sales (2<sup>nd</sup> Reading) [Denied]
  - 871 ✓ Z2016-018: Amendment to Planned Development District 74 (PD-74) (2<sup>nd</sup> Reading) [Approved]
  - 872 ✓ SP2016-014: Variances for Platinum Self Storage Site Plan [Approved]
- 873  
874

875 Planning Director, Ryan Miller, provided a brief update about the outcome of the above  
876 referenced case at the City Council meeting. No discussion took place concerning this agenda  
877 item.  
878  
879

880 V. ADJOURNMENT

881

882

883

The meeting adjourned at 8:53 p.m.

884

885

886

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL,

887

Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

888

889

890

891

\_\_\_\_\_  
Craig Renfro, Chairman

892

893

Attest:

894

895

896

\_\_\_\_\_  
Laura Morales, Planning Coordinator

897

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Pat Atkins, *Saddle Star Land Development, Inc.*

**AGENDA ITEM:** **P2016-023**; *Master Plat for Saddle Star Estates South*

---

### **SUMMARY:**

Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a master plat/open space plan for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.

### **MASTER PLAT INFORMATION:**

- ✓ The Saddle Star South Subdivision is a two (2) phase, master planned community that will be composed of 138 single-family, residential lots on approximately 55.413-acres land. The 138 single-family lots will be a minimum of 70' x 125' lots (*or a minimum of 8,750 SF*), and the development will have a gross residential density of 2.49 units per acre. Additionally, the plan will consist of 12.48-acres of open space (*or ~22.52% of total land area*). A summary of the proposed density and dimensional requirements is as follows:

*Table 1: Density and Dimensional Requirements*

<i>Minimum Lot Width</i>	70'
<i>Minimum Lot Depth</i>	125'
<i>Minimum Lot Area</i>	8,750 SF
<i>Minimum Front Yard Setback</i>	20'
<i>Minimum Side Yard Setback</i>	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	10'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i>	30'
<i>Minimum Rear Yard Setback</i>	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF
<i>Maximum Lot Coverage</i>	65%
<i>Permitted Encroachment into Required Setbacks</i>	Allowed

- ✓ The purpose of the applicant's request is to provide a master plat that will delineate the sequence and timing of the development and an open space plan that will layout the proposed trails, parkland and amenities center for the subdivision. According to the master plat, this development will involve two (2) phases with Phase 1 containing 86 lots and Phase 2 containing 52 lots. Additionally, the development will incorporate a total of 12.48-acres of non-contiguous open space that will be connected via a trail that runs throughout the development. On the linear greenbelt situated at the center of the development the applicant is showing the construction of a clubhouse/pool area and a community garden. This will be constructed with Phase 2 of the subdivision.

- ✓ The proposed *master plat* generally conforms to the revised concept plan approved with Planned Development District 79 (PD-79) by the City Council on June 6, 2016 under Case No. Z2016-015 [Ordinance No. 16-39].
- ✓ On June 7, 2016 the Parks Board reviewed the proposed master plat/open space master plan and approved a motion to recommend approval of the master plat/open space master plan with the following conditions of approval:
  - 1) The proposed open space be maintained by the Homeowner's Association (HOA) as a private park.
  - 2) The proposed trail system be maintained by the HOA as a private trail system.

This motion passed by a vote of 6-0.

- ✓ Conditional approval of this *master plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

### **RECOMMENDATIONS:**

If the Planning & Zoning Commission and City Council choose to approve the *master plat/open space master plan* for the *Saddle Star South Subdivision* staff would recommend the following conditions:

- 1) The *master plat* shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) The applicant shall adhere to the recommendations made by the Parks Board (*stated above*);
- 3) Any construction resulting from the approval of this *master plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2016-023	<b>Owner</b> R, & R HANCE INVESTMENTS LP	<b>Applied</b> 5/16/2016 LM
<b>Project Name</b> Saddle Star Estates South	<b>Applicant</b> SADDLE STAR LAND	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> MASTER PLAT		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 5/16/2016 LM

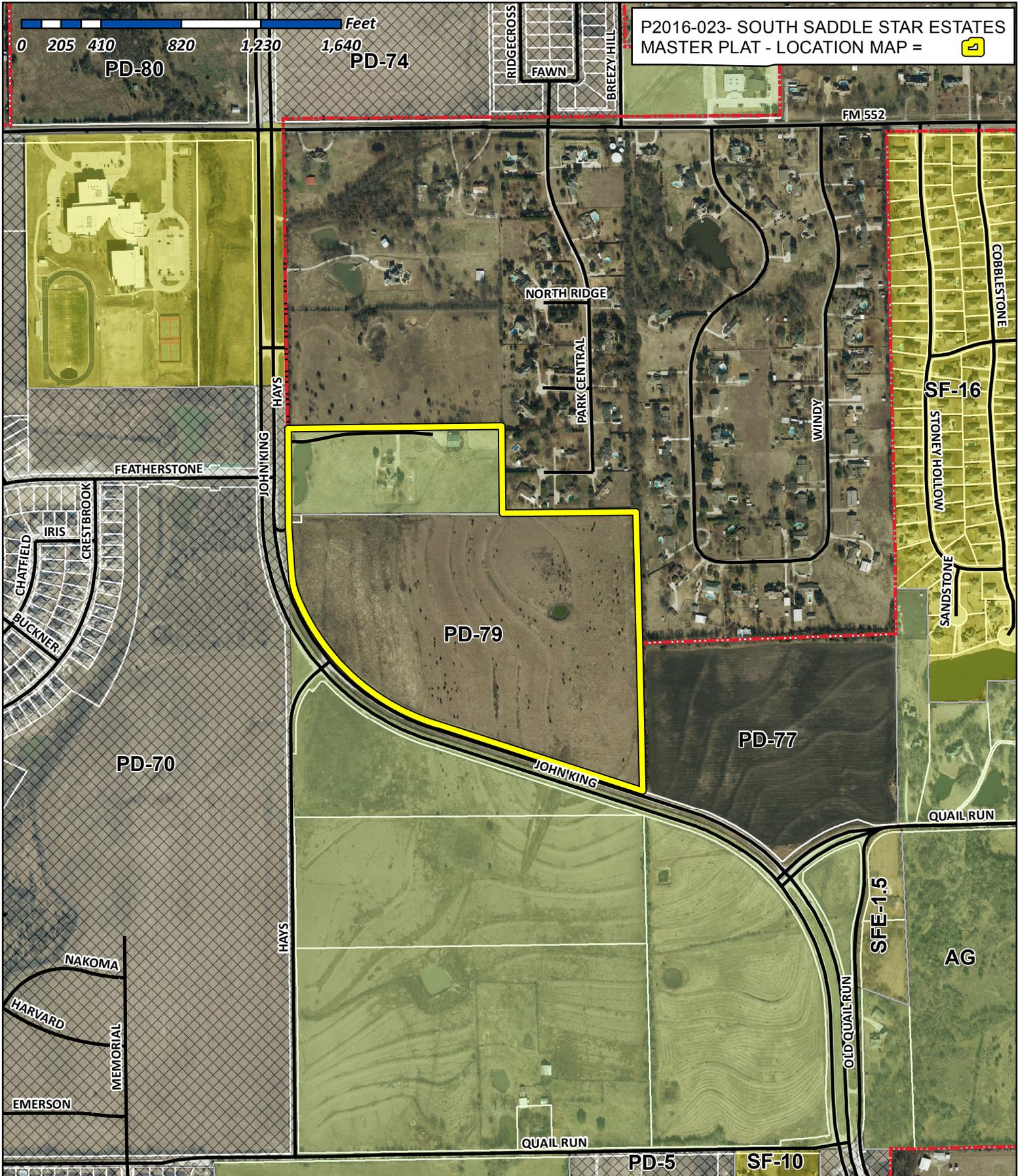
<b>Site Address</b> JOHN KING BLVD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------------	--	---------------

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	2-3	NULL	2-3	0097-0000-0002-03-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 9:25 AM AW) See Comments in P2016-024 Bulb street out on "Street B"	Amy Williams	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
FIRE	Ariana Hargrove	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
GIS	Lance Singleton	5/16/2016	5/23/2016	5/19/2016	3	APPROVED	
PLANNING 2016-023 Master Plat for Saddle Star Estates South: Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Ryan Miller	5/16/2016	5/23/2016	5/19/2016	3	APPROVED	See Comments

- I.1 This is a request for the approval of a master plat/open space plan for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, and located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference include the case number (P2016-023) in the lower right hand corner of all pages on future submittals.
- I.4 The Parks Board Meeting for this case will be held on June 7, 2016 at 6:00 PM in the City Council Chambers. Please contact Andy Hesser in the Parks Department, to confirm any additional requirements for this case, at (972) 772-6457.
- I.5 The Planning & Zoning Work Session for this case will be held on May 31, 2016 at 6:00 PM in the City Council Chambers.
- I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 14, 2016 Planning & Zoning Meeting.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.7 The projected City Council Meeting date and subsequent approval for this Master Plat is June 20, 2016.						



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SADDLE STAR SOUTH - Rockwall , Texas

7-26-16

45.31 ACRES- R.R. INVESTMENTS/John King Blvd.

Fr. RANDA HANCE

To. Ryan Miller A.I.C.P. ,CITY OF ROCKWALL – PLANNING DIRECTOR

385 S. Goliad St. ,Rockwall Tx. 75087

Mr. Miller,

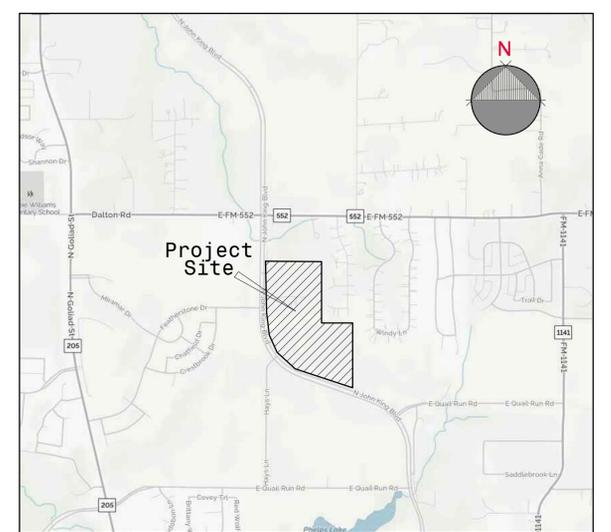
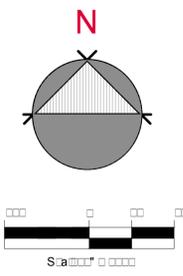
**As owner of above described property, I hereby authorize to reinstate the Master Plat and Preliminary Plat Process with the City of Rockwall.**

**Randa Hance**

*Randa Hance*

---

**Owner**



Vicinity Map  
n. t. s.

Note:  
Detention to be provided as per City of Rockwall  
Drainage Specifications and Standards.

Phasing Data

- PHASE ONE - 86 Lots
- PHASE TWO - 52 Lots

Land Use Data

- Total Area - 55.413 Ac.
- Total Open Space - 12.48 Ac.
- Typ. Lot Size - 70'x125'
- Total Lots - 138
- Density - 2.49 D.U. / Ac.

MASTER PLAT  
OPEN SPACE PLAN



SOUTH

City of Rockwall, Rockwall County, Texas

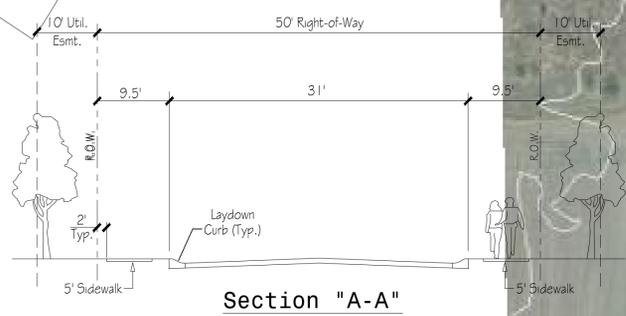
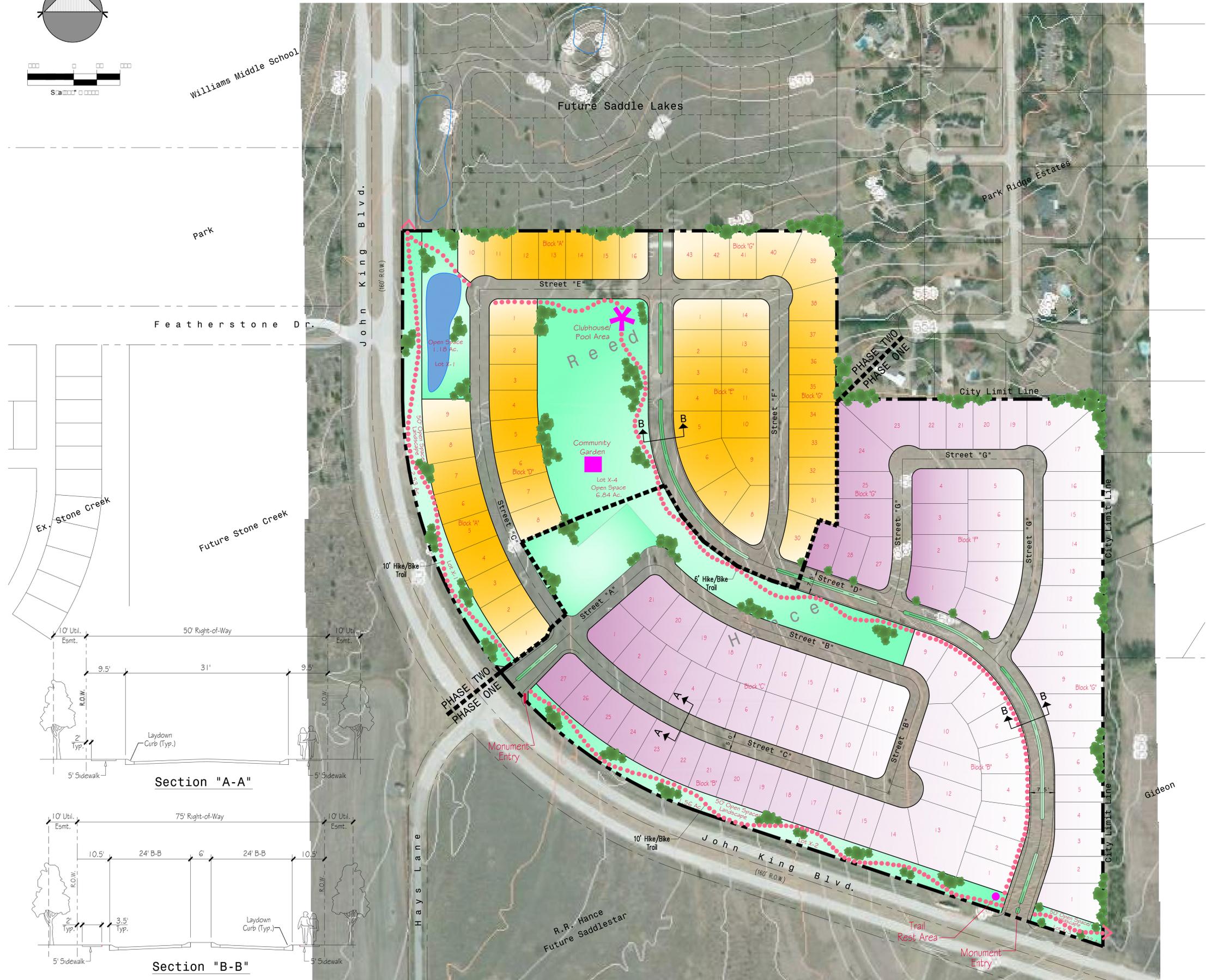
Owner:  
**RANDY HANCE**  
14241 North Dallas Pkwy., S 1050  
Dallas, Texas 75234  
972.991.1600

Engineer:  
**ENGINEERING CONCEPTS & DESIGN, L.P.**  
Civil, Mechanical, Electrical, Plumbing, Fire Protection, Surveying, and Construction Services  
1801 Woodloch Drive, Suite 200, Wylie, TX 75087  
972.444.8888

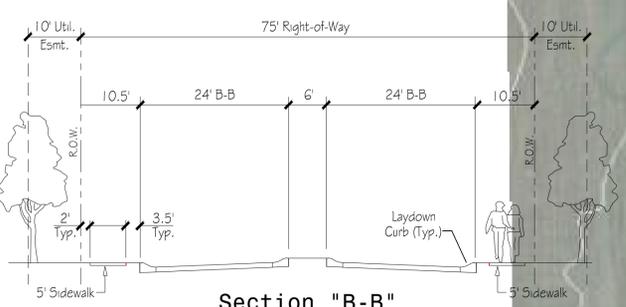
May 3, 2016

Scale: 1" = 120'

Case No. Z-2016-015



Section "A-A"



Section "B-B"

# CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Pat Atkins, *Saddle Star Land Development, Inc.*

**AGENDA ITEM:** **P2016-024**; *Preliminary Plat for Saddle Star Estates South*

---

## **SUMMARY:**

Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a preliminary plat for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.

## **PRELIMINARY PLAT INFORMATION:**

- ✓ The Saddle Star South Subdivision is a two (2) phase, master planned community that will be composed of 138 single-family, residential lots on approximately 55.413-acres land. The 138 single-family lots will be a minimum of 70' x 125' lots (*or a minimum of 8,750 SF*), and the development will have a gross residential density of 2.49 units per acre. Additionally, the plan will consist of 12.48-acres of open space (*or ~22.52% of total land area*). A summary of the proposed density and dimensional requirements is as follows:

*Table 1: Density and Dimensional Requirements*

<i>Minimum Lot Width</i>	70'
<i>Minimum Lot Depth</i>	125'
<i>Minimum Lot Area</i>	8,750 SF
<i>Minimum Front Yard Setback</i>	20'
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<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	10'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i>	30'
<i>Minimum Rear Yard Setback</i>	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF
<i>Maximum Lot Coverage</i>	65%
<i>Permitted Encroachment into Required Setbacks</i>	Allowed

- ✓ The purpose of the applicant's submittal is to *preliminary plat Phases 1 & 2* of the *Saddle Star South Subdivision*. According to the *preliminary plat*, this development will consist of 138 single-family residential lots in two (2) phases, with *Phase 1* containing 86 lots and *Phase 2* containing 52 lots. Additionally, the development will incorporate a total of 12.48-acres of non-contiguous open space that will be connected via a trail that runs throughout the development. On the linear greenbelt situated at the center of the development, the applicant is showing the construction of a clubhouse/pool area and a community garden. This will be constructed with Phase 2 of the subdivision.

- ✓ The proposed *preliminary plat* generally conforms to the revised concept plan approved with Planned Development District 79 (PD-79) by the City Council on June 6, 2016 under Case No. Z2016-015 [Ordinance No. 16-39].
- ✓ On June 7, 2016 the Parks Board reviewed the proposed master plat and approved a motion to recommend approval of the master plat with the following conditions of approval:
  - 1) That pro-rata equipment fees of \$59,064.00 (*i.e. 138 lots @ \$428.00 per lot*) and cash-in-lieu of land fees of \$42,090.00 (*i.e. 138 lots @ \$305.00 per lot*) -- for a total of \$101,154.00 -- shall be used to provide private amenities to the 6.846-acre open space situated at the center of the development.

This motion passed by a vote of 6-0.

- ✓ The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for *preliminary plats* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ✓ Conditional approval of this *preliminary plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

### **RECOMMENDATIONS:**

If the Planning & Zoning Commission and City Council choose to approve the *preliminary plat* for *Phase 1 & 2* of the *Saddle Star South Subdivision* staff would recommend the following conditions of approval:

- 1) The *preliminary plat* shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) The applicant shall adhere to the recommendations made by the Parks Board (*stated above*);
- 3) Any construction resulting from the approval of this *preliminary plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



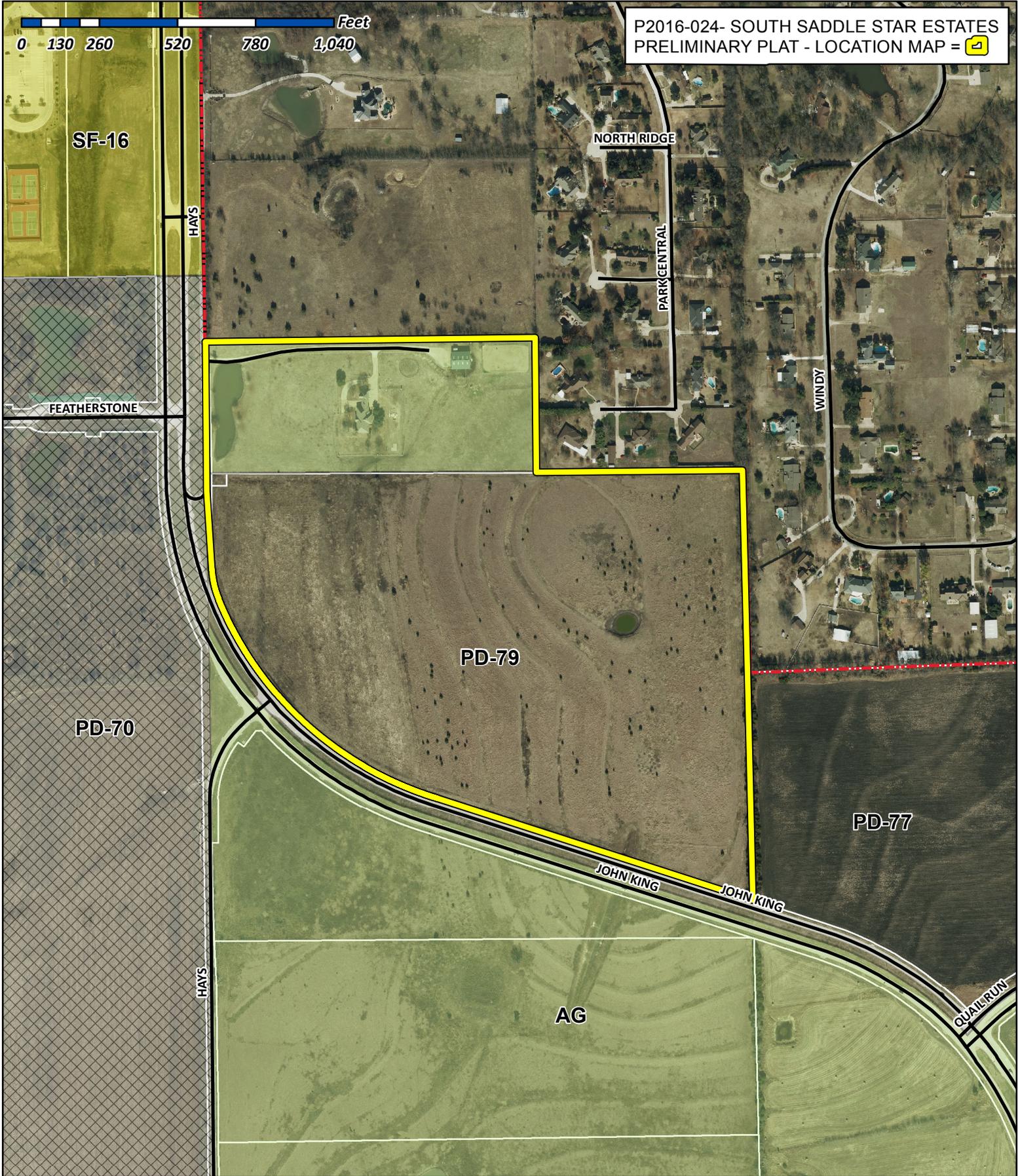
<b>Project Number</b> P2016-024	<b>Owner</b> R, & R HANCE INVESTMENTS LP	<b>Applied</b> 5/16/2016 LM
<b>Project Name</b> Saddle Star Estates South	<b>Applicant</b> SADDLE STAR LAND	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> PRELIMINARY		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 5/16/2016 LM

<b>Site Address</b> JOHN KING BLVD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------------	--	---------------

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	2-3	NULL	2-3	0097-0000-0002-03-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 9:36 AM AW) Engineering Comments on plat. Impact fees 4% engineering fees Need to show NTMWD easement 10' utility easement along the fronts of all lots Need to bulb out the turn at Rockin H Trail Need street name between Rockin H Trail and Twin Hills Lane Need to show and label detention/drainage easement Show 20' easement along John King for 16" water line Keep the 16" water line close to the right-of-way on the north side The 16" water line along John King must tie to the existing 20" water line Find out if there is anything in the Mt. Zion easement...may can abandon it Sanitary sewer isn't in the middle of the street. It should be in the parkway Storm sewer in the middle of the street Pro-rata on the Stoney Hollow lift station (\$345.75/acre) Need to tie the 16" water line to the existing 12" water line in Quail Run If 138 lots sewer to Stoney Hollow lift station without any upgrades to the lift station there will not be any capacity for Saddlestar North. The ultimate Stoney Hollow lift station only has capacity for a maximum of 139 lots. Not lot to lot drainage allowed (see markup) Drain all on the eastern property line toward the street (see markup) Existing inlet in John King is not designed for site drainage (see markup) Make sure you follow the existing drainage map in the John King plans.	Amy Williams	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
GIS	Lance Singleton	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
<p>(5/19/2016 12:13 PM LS)</p> <ol style="list-style-type: none"> <li>1. Please submit cad file (dwg) of the proposed lots and road centerlines for addressing.</li> <li>2. Tie two corners to NAD83 State Plane Coordinate System (NCTX4202). Also submit survey closure report.</li> <li>3. Change the street name RANDAS WAY DR to just RANDAS WAY. We do not allow double suffixes.</li> <li>4. Add letter G to Rockin for Rocking H Trail. (reduces potential for confusion)</li> <li>5. Change Brandens Dr to Brandens Way. (We have a conflict with a Royse City street).</li> <li>6. Macys Cir needs to be broke down into 3 different street names.</li> </ol> <p>We do not allow two identical intersection names. The remaining Macys Cir can become Macys Dr.</p>							
PLANNING	Ryan Miller	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
<p>P2016-024 (Saddle Star Estates South): Please address the following comments (M=Mandatory Comments; I=Informational Comments).</p> <p>I.1 This is a request for the approval of a preliminary plat for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.413-acre tract of land identified as Tracts 1, 1-5 &amp; 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, and located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard.</p> <p>I.2 For questions or comments concerning this case, please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.</p> <p>M.3 For reference, include the case number (P2016-024) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Provide staff with the "Subdivider's Statement." According to the Municipal Code of Ordinances a Preliminary Plat "... shall be accompanied by a written statement [Subdivider's Statement], signed by the subdivider stating the developer will comply with all the city requirements in the proposed subdivision and all such proposals shall conform to or exceed the standards for such improvements prescribed by the city."</p> <p>M.5 Please provide a list of all lots by lot and block designation indicating the total size of each lot in SF and the lot width at the front yard building setback.</p> <p>M.6 On the preliminary plat indicate the street cross sections to be used.</p> <p>M.7 On Randa's Way Drive please indicate the location of the proposed median.</p> <p>M.8 On Lot 7, Block B please extend the front yard building setback line behind the existing easement.</p> <p>M.9 A minimum of a 50-foot landscape buffer is required adjacent to John King Boulevard. Currently portions of the buffer are less than 50-feet. Please make this correction.</p> <p>M.10 Indicate a Pedestrian Access Easement in the location of the proposed trailhead. Additionally, the ten (10) foot trail that is projected to meander through the 50-foot landscape buffer adjacent to John King Boulevard will need to be put into a Pedestrian Access Easement.</p> <p>M.11 On the vicinity map indicate the City Limit line.</p> <p>I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 14, 2016 Planning &amp; Zoning Meeting. The Planning &amp; Zoning Commission work session meeting will be held on May 31, 2016.</p> <p>I.13 The Parks Board meeting for this case will be held on June 7, 2016.</p> <p>I.14 The projected City Council Meeting date and subsequent approval for this plat is June 20, 2016.</p>							



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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SADDLE STAR SOUTH - Rockwall , Texas

7-26-16

45.31 ACRES- R.R. INVESTMENTS/John King Blvd.

Fr. RANDA HANCE

To. Ryan Miller A.I.C.P. ,CITY OF ROCKWALL – PLANNING DIRECTOR

385 S. Goliad St. ,Rockwall Tx. 75087

Mr. Miller,

**As owner of above described property, I hereby authorize to reinstate the Master Plat and Preliminary Plat Process with the City of Rockwall.**

**Randa Hance**

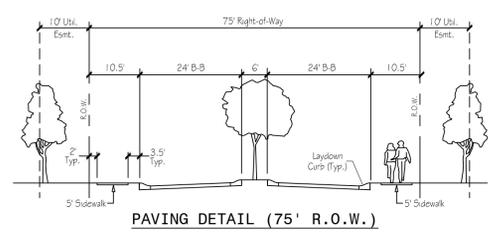
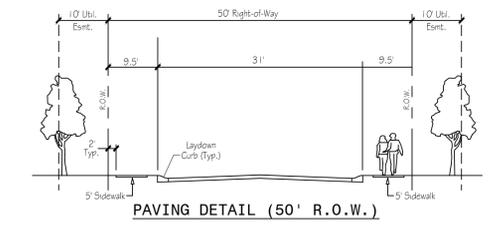
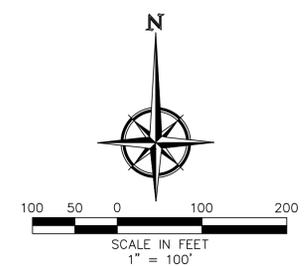
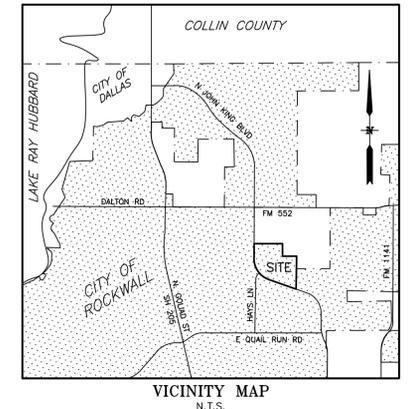
*Randa Hance*

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**Owner**

P.B. HARRISON SURVEY,  
ABSTRACT NO. 97

CALLED 15 ACRES  
STEPHEN L. & JUDY C. BRANCH  
VOLUME 234, PAGE 527  
DRRECT



- Notes:
- Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (TX83-NCF).
  - A 5/8-inch iron rod with yellow cap stamped "RPLS 3963" will be set at all lot corners, points of curvature, points of tangency and angle points in public rights-of-way whenever possible unless otherwise shown or noted in this drawing, after all construction for this subdivision has been completed.
  - By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:  
That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.

ROBERT C. MYERS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 3963



OWNER  
**R & R HANCE INVESTMENTS, LP**  
1244 E QUAIL RUN ROAD  
ROCKWALL, TX 75087

OWNER  
**RANDY AND NANCY REED**  
3076 HAYS LANE  
ROCKWALL, TX 75087

DEVELOPER  
**SADDLE STAR DEVELOPMENT, LLC**  
3076 HAYS LANE  
ROCKWALL, TX 75087

LAND SURVEYOR  
**R.C. MYERS SURVEYING, LLC**  
488 ARROYO COURT  
SUNNYVALE, TX 75182  
(214) 532-0636

FAX (972) 412-4875  
EMAIL: rcomysurveying@gmail.com  
FIRM NO. 10192300 JOB NO. 355

PRELIMINARY PLAT

**SADDLE STAR ESTATES SOUTH**

BEING  
55.413 ACRES

SITUATED IN THE  
P.B. HARRISON SURVEY, A-97  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**ENGINEERING CONCEPTS & DESIGN, L.P.**  
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES  
TEXAS FIRM REG. NO. 001145  
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098  
(972) 941-8400 FAX (972) 941-8401

NO.	DIRECTION	DISTANCE
L1	N 0°38'27" W	261.96'
L2	N 89°38'44" E	50.00'
L3	N 0°38'27" W	40.00'
L4	S 89°38'05" W	34.29'
L5	S 72°06'44" E	7.69'
L6	N 45°56'33" W	21.35'
L7	N 44°32'09" E	18.29'
L8	N 15°42'55" E	17.89'
L9	N 72°06'44" W	25.00'
L10	S 17°53'16" W	180.98'
L11	N 44°38'05" E	21.21'
L12	N 45°21'55" W	21.21'
L13	N 27°06'44" W	21.21'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	056°09'19"	1140.00'	608.13'	1117.31'	S 44°02'06" E	1073.12'

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall \_\_\_\_\_ City Secretary \_\_\_\_\_ City Engineer \_\_\_\_\_

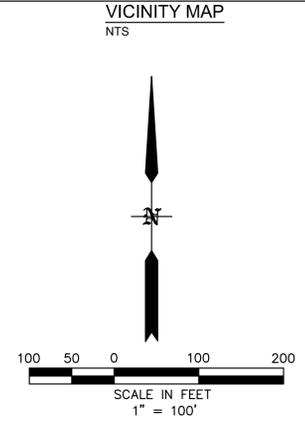
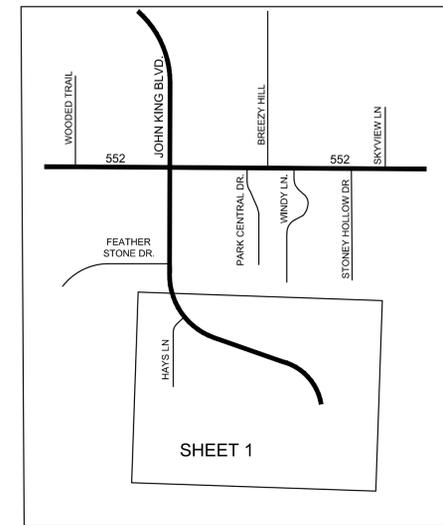
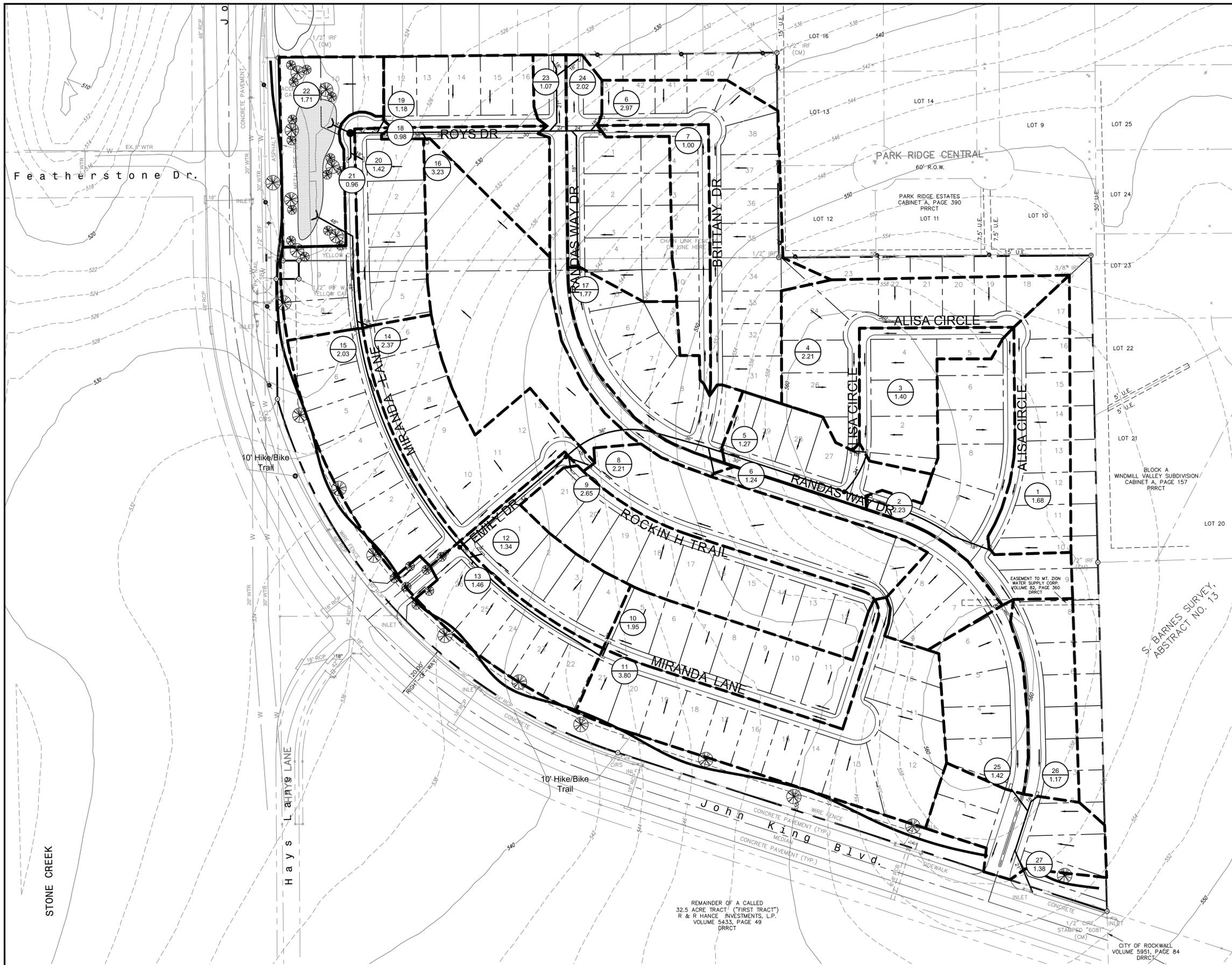
REMAINDER OF A CALLED  
32.5 ACRE TRACT ("FIRST TRACT")  
R & R HANCE INVESTMENTS, L.P.  
VOLUME 5433, PAGE 49  
DRRECT

P.B. HARRISON SURVEY,  
ABSTRACT NO. 97

POINT OF BEGINNING

ZONING DISTRICT: PD  
OPEN SPACE = 10.327 AC.  
138 DWELLING UNITS  
2.49 UNITS PER ACRE

JOHN KING BOULEVARD  
(120' RIGHT-OF-WAY)  
(VOL. 5951, PG. 64, DRRECT)

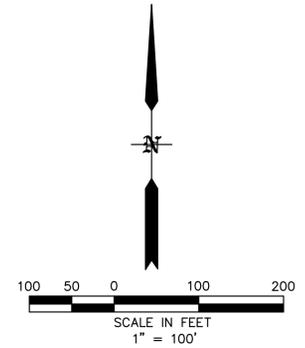
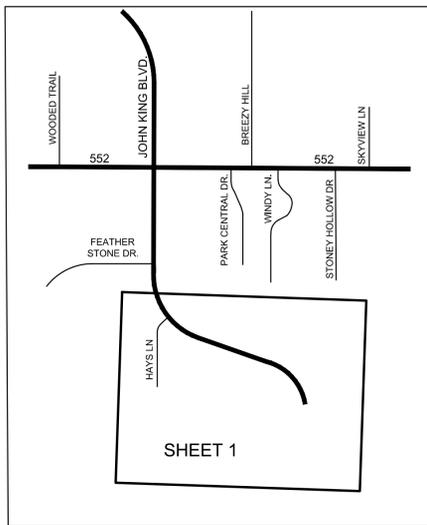
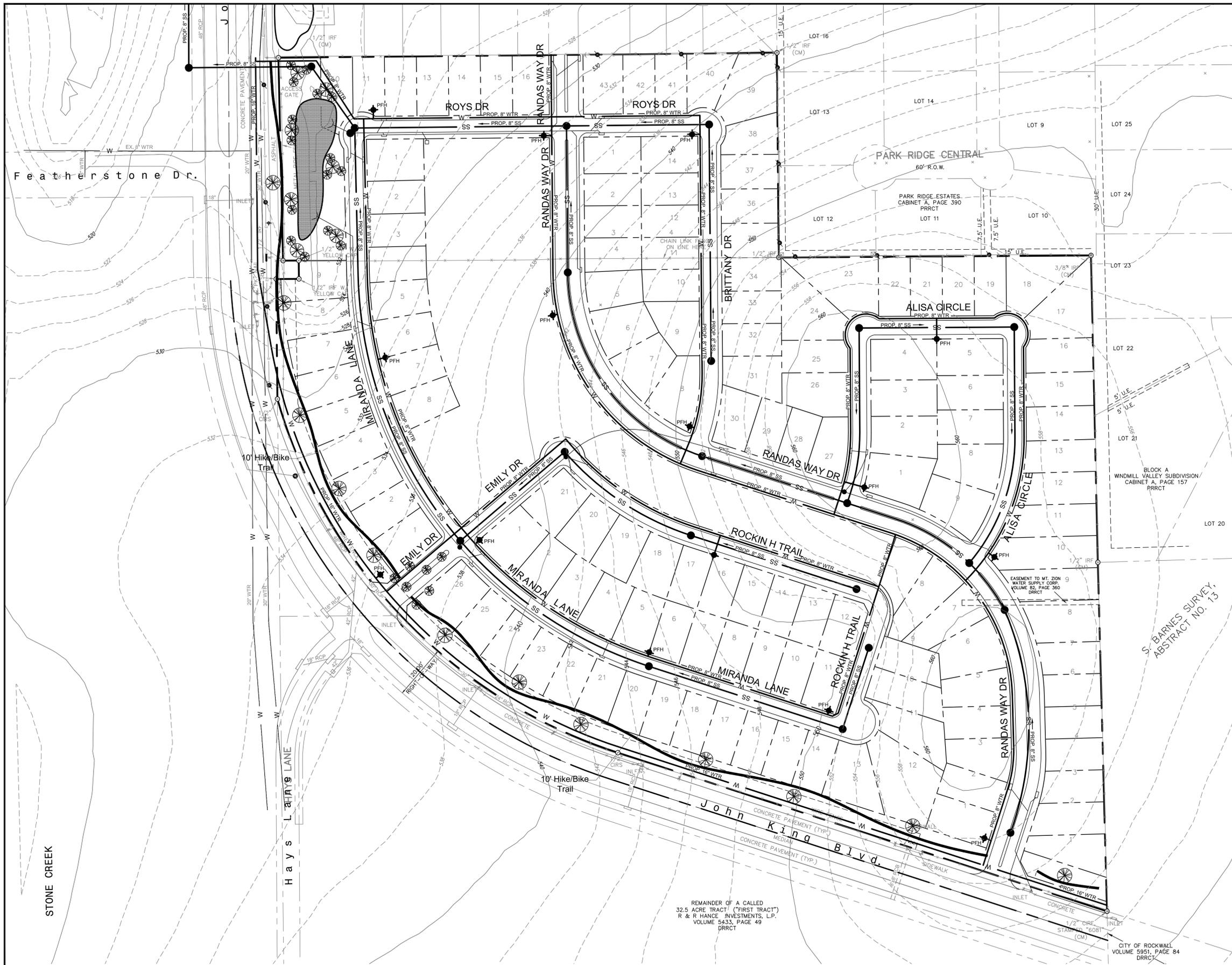


DRAINAGE CALCULATIONS					
AREA NO.	AREA (ACRES)	C	T <sub>c</sub> (MIN)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)
1	1.68	0.50	10	9.8	8.23
2	2.23	0.50	10	9.8	10.93
3	1.40	0.50	10	9.8	6.86
4	2.21	0.50	10	9.8	10.83
5	1.27	0.50	10	9.8	6.22
6	2.97	0.50	10	9.8	14.55
7	1.00	0.50	10	9.8	4.90
8	2.21	0.50	10	9.8	10.83
9	2.65	0.50	10	9.8	12.99
10	1.95	0.50	10	9.8	9.56
11	3.80	0.50	10	9.8	18.62
12	1.34	0.50	10	9.8	6.57
13	1.46	0.50	10	9.8	7.15
14	2.37	0.50	10	9.8	11.61
15	2.03	0.50	10	9.8	9.95
16	3.23	0.50	10	9.8	15.83
17	1.77	0.50	10	9.8	8.67
18	0.98	0.50	10	9.8	4.80
19	1.18	0.50	10	9.8	5.78
20	1.42	0.50	10	9.8	6.96
21	0.96	0.50	10	9.8	4.70
22	1.71	0.50	10	9.8	8.38
23	1.07	0.50	10	9.8	5.24
24	2.02	0.50	10	9.8	9.90
25	1.42	0.50	10	9.8	6.96
26	1.17	0.50	10	9.8	5.73
27	1.38	0.50	10	9.8	6.76

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: BILL	DATE: FEBRUARY, 2016
CHECKED: TW	DATE:
PROJECT NO.: 6812	
DWG FILE NAME:	

**PRELIMINARY DRAINAGE PLAN**  
**SADDLE STAR ESTATES**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



REMAINDER OF A CALLED 32.5 ACRE TRACT ("FIRST TRACT") R & R HANCE INVESTMENTS, L.P. VOLUME 5433, PAGE 49 DRRECT

EASEMENT TO MT. ZION WATER SUPPLY CORP. VOLUME 52, PAGE 350 DRRECT

S. BARNES SURVEY, ABSTRACT NO. 13

CITY OF ROCKWALL VOLUME 5951, PAGE 84 DRRECT

**ENGINEERINGCONCEPTS & DESIGN, L.P.**  
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: BILL	DATE: FEBRUARY, 2016
CHECKED: TW	DATE:
PROJECT NO.: 6812	
DWG FILE NAME:	

**PRELIMINARY UTILITY PLAN**  
**SADDLE STAR ESTATES**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
**01**  
 OF

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Matt Hibbitt; *SPRY Surveyors*

**AGENDA ITEM:** **P2016-035**; *Lot 1, Block 1, Carmel Carwash Addition*

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### **SUMMARY:**

Discuss and consider a request by Matt Hibbitt of Spry Surveyors on behalf of the owner Racetrac Petroleum, Inc. for the approval of a final plat for Lot 1, Block 1, Carmel Carwash Addition being a 2.059-acre tract of land currently identified as Lot 1, Block 1, Crossings Addition (i.e. 1.004-acres) and a 1.052-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street, and take any action necessary.

### **PLAT INFORMATION:**

- The objective of this request is to final plat a portion of Lot 1, Block 1, Rockwall Business Park Addition, and all of Lot 1 Block 1, Crossing Addition into 1 parcel (*i.e. Lot 1 Block 1, Carmel Carwash Addition*) for the purpose of combining two (2) parcels and establishing the necessary fire lane, utility, public access, cross access, detention, and drainage easements for the proposed car wash
- A site plan (SP2016-008) for a car wash was approved by the Planning and Zoning Commission on May 10, 2016. In addition, City Council approved a variance to allow the tunnels of the car wash to face SH-205 on May 16, 2016.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for final plats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

### **RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to approve the *final plat* for *Lot 1, Block 1, Carmel Carwash Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *final plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and

with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2016-035	<b>Owner</b> RACETRAC, PETROLEUM INC	<b>Applied</b> 7/29/2016 LM
<b>Project Name</b> Carmel Car Wash	<b>Applicant</b> SPRY SURVEYORS	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> FINAL		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 7/29/2016 LM

<b>Site Address</b> 2003 S GOLIAD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--------------------------------------	--	---------------

<b>Subdivision</b> CROSSINGS ADDITION	<b>Tract</b> 1	<b>Block</b> 1	<b>Lot No</b> 1	<b>Parcel No</b> 3434-0001-0001-00-OR	<b>General Plan</b>
--	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	7/29/2016	8/5/2016	8/1/2016	3	APPROVED	
ENGINEERING	Amy Williams	7/29/2016	8/5/2016	8/1/2016	3	APPROVED	
FIRE	Ariana Hargrove	7/29/2016	8/5/2016	8/1/2016	3	APPROVED	
GIS	Lance Singleton	7/29/2016	8/5/2016	8/1/2016	3	APPROVED	
PLANNING	Korey Brooks	7/29/2016	8/5/2016	8/2/2016	4	COMMENTS	Comments

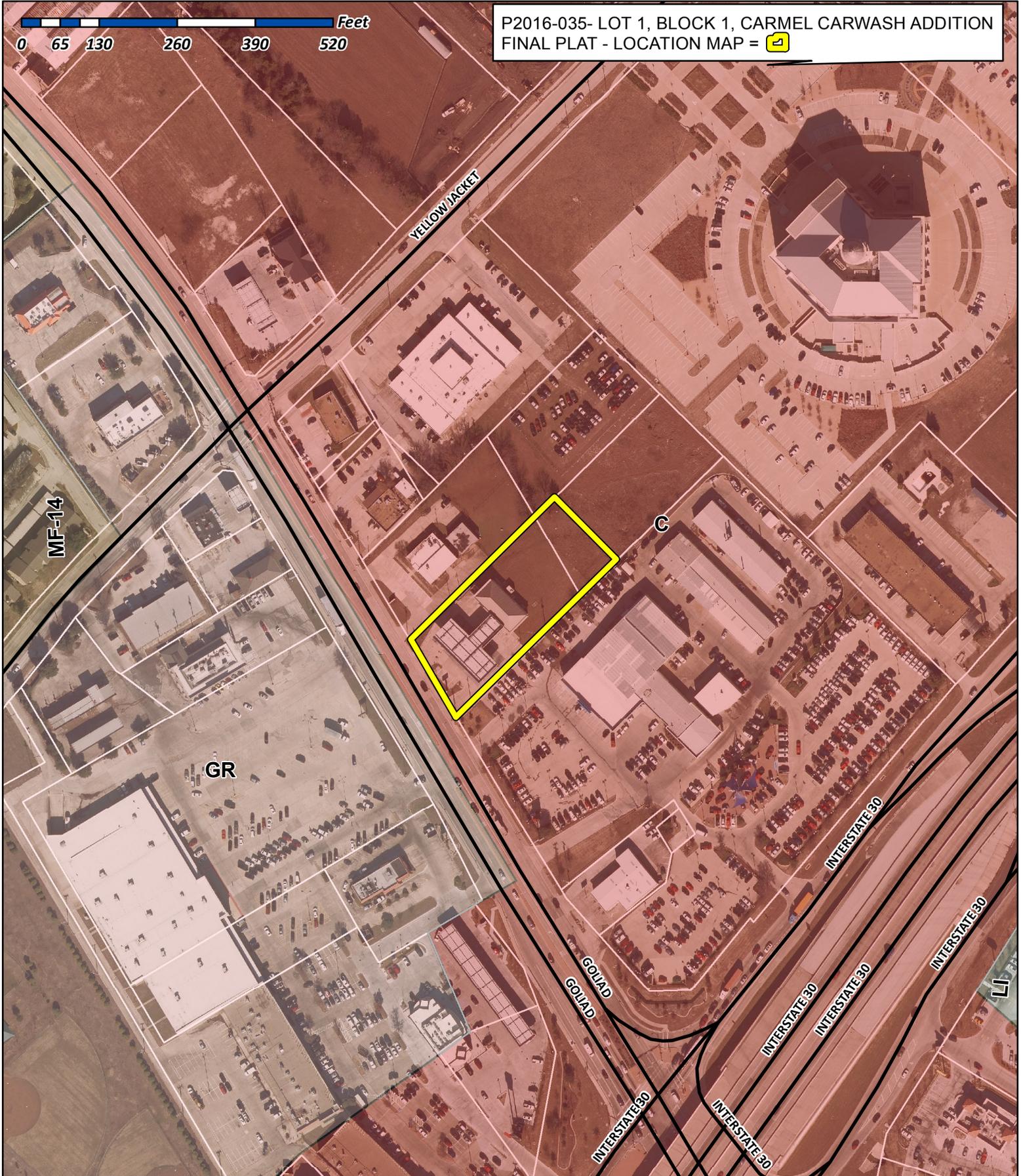
P2016-035 Carmel Carwash Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments).

- I.1 This is a request by Matt Hibbitt of Spry Surveyors on behalf of the owner Racetrac Petroleum, Inc. for the approval of a final plat for Lot 1, Block 1, Carmel Carwash Addition being a 2.059-acre tract of land currently identified as Lot 1, Block 1, Crossings Addition (i.e. 1.004-acres) and a 1.052-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street.
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2016-035) in the lower right hand corner of all pages on future submittals.
- M.4 Please indicate the number of proposed lots on the final plat.
- M.5 Please change "Lot 1R" to Lot 1.
- M.6 Please change "P.O.B." to Point of Beginning"
- M.7 Please show street centerline for S. Goliad Street.
- M.8 Please show and label 50-foot setback adjacent to S. Goliad Street.
- M.9 Please use standard plat wording as shown in the Development Application Packet.
- M.10 Please change "24' Fire Lane, Utility & Access Easement" label to "24' Fire Lane, Utility, and Public Access Easement."
- I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>additional information that is requested by August 11, 2016. The Planning &amp; Zoning meeting date for this case will be August 9, 2016.</p> <p>I.12 The projected City Council meeting date and subsequent approval for this plat is August 15, 2016</p>						

0 65 130 260 390 520 Feet

P2016-035- LOT 1, BLOCK 1, CARMEL CARWASH ADDITION  
FINAL PLAT - LOCATION MAP = 

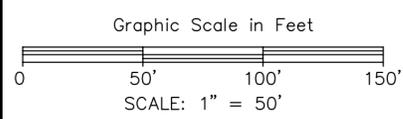
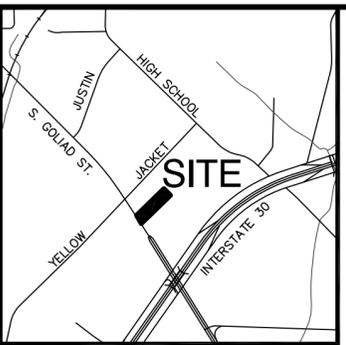


## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**ABBREVIATIONS**

D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. PLAT RECORDS OF ROCKWALL COUNTY, TEXAS  
 VOL. VOLUME  
 PG. PAGE  
 CAB. CABINET  
 DOC. NO. DOCUMENT NUMBER  
 IRF IRON ROD FOUND  
 C.M. CONTROLLING MONUMENT  
 MNS MAG NAIL SET  
 N.T.S. NOT TO SCALE  
 R.O.W. RIGHT-OF-WAY  
 T.U.E.C. TEXAS UTILITIES ELECTRIC COMPANY  
 D.D.E. DRAINAGE & DETENTION EASEMENT

**LEGEND NOT TO SCALE**

- PROPERTY CORNER
- INTERIOR PROPERTY CORNER

**NOTES**

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the city does not constitute and representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit thereon issued, nor shall such approval constitute and representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- This Survey is issued without the benefit of a current title report and is subject to revision upon receipt thereof. Surveyor has done no additional research for possible easements, restrictions or covenants which may affect this property.
- The Surveyor has not physically located any underground utilities and/or improvements which may be located under or near the subject property.
- According to the Flood Insurance Rate Map No. 48397C0040L, published by the Federal Emergency Management Agency, dated: September 26, 2008, the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.
- All bearings shown hereon are according to the Plat of Crossing Addition recorded under Cabinet C, Slide 108, in the Plat Records of Rockwall County, Texas, unless otherwise noted.
- On the issue date of this survey the surveyed property shown hereon is zoned "C" (Commercial) according to the City of Rockwall zoning ordinance maps. Refer to the City of Rockwall zoning ordinances for minimum and maximum setback requirements.
- All private drainage systems and detention/drainage systems to be maintained, repaired, and/or replaced by property owner.

**SURVEYOR CERTIFICATE**

That I, David Carlton Lewis, do hereby certify that I have prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**This document shall not be recorded for any purpose. This drawing shall be used for REVIEW PURPOSES ONLY**

David Carlton Lewis  
R.P.L.S. No. 5647

Date: JUNE 21, 2016

David Carlton Lewis, R.P.L.S.  
Texas Registration No. 5647  
Spry Surveyors, LLC.  
8241 Mid-Cities Blvd Ste 102  
N. Richland Hills, TX 76182



**OWNER'S DEDICATION STATE OF TEXAS COUNTY OF ROCKWALL**

WHEREAS, Racetrac Petroleum, Inc. is the owner of all that certain 2.059 acres of land by virtue of the deed recorded in Volume 585, Page 80, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), which is a portion of Lot 1, Block 1, Rockwall Business Park, recorded in Cabinet A, Slide 283, in the Plat Records of Rockwall County, Texas (P.R.R.C.T.), and all of Lot 1, Block 1, Crossing Addition, recorded in Cabinet C, Slide 108, P.R.R.C.T., in the Joseph Cadle Survey, A-65, in the City of Rockwall, Rockwall County, Texas and more particularly described as follows: (all bearing shown hereon are based on said plat of Crossing Addition); BEGINNING at a 1/2" iron rod with a cap stamped "PACHECO KOCH" found for the east corner of the herein described tract, common to the north corner of Lot 3, Block A, Lakeside Chevrolet, recorded in Cabinet A, Slide 39-40, P.R.R.C.T., in the southwest line of Lot 1, Block A, Rockwall County Courthouse Addition, recorded in Cabinet H, Slide 131, P.R.R.C.T.; THENCE South 45° 43' 20" West - 632.26' (called 632.50' Racetrac Deed) to a Mag Nail with Washer stamped "SPRY 5467" set for the south corner of the herein described tract, common to the west corner of said Lot 3, Block A, Chevrolet, in the northeast right-of-way line of S. Goliad Street (a.k.a. State Highway 205, 100' right-of-way); THENCE North 30° 00' 00" West - 150.00' along the northeast right-of-way line of said S. Goliad Street, to a Mag Nail with Washer stamped "SPRY 5467" set for the west corner of the herein described tract, common to the south corner of a 0.020 acre tract, conveyed to Joe Loftis, recorded in Volume 92, Page 192, D.R.R.C.T.; THENCE North 45° 32' 35" East passing at a distance of 299.13' a 1/2" iron rod found for the north corner of said Lot 1, Block A, Crossing Addition, common to the east corner of said Joe Loftis tract, continuing for a total distance of 594.15' (called 594.40' Racetrac Deed) to a 1/2" iron rod with a cap stamped "SPRY 5467" set for the north corner of the herein described tract, in the southeast line of said Lot 1, Block A, Rockwall County Courthouse Addition, from which a 1/2" iron pipe bears North 45° 32' 35" East - 1.10'; THENCE South 44° 42' 40" East -147.23' along the southeast line of said Lot 1, Block A, Rockwall County Courthouse Addition to the POINT OF BEGINNING and containing 2.059 acres of land.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

That Racetrac Petroleum, LLC, the Owner, does hereby adopt this plat designating the herein before described property as Lot 1R, Block 1, Rockwall Business Park, an addition to the City of Rockwall, Rockwall County, Texas, and do hereby dedicate fee simple to the public use forever any streets, rights-of-way, and alleys shown thereon, and do hereby reserve the easements shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using the same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Rockwall, Texas.

Witness our hands this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature \_\_\_\_\_ Title \_\_\_\_\_

**Notary Certificate**

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Signature \_\_\_\_\_ Notary Stamp: \_\_\_\_\_

**Certificate of Approval of the Planning and Zoning Commission**

Planning & Zoning Commission, Chairman \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED:**  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2016

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2016

Mayor, City of Rockwall

City Secretary

City Engineer

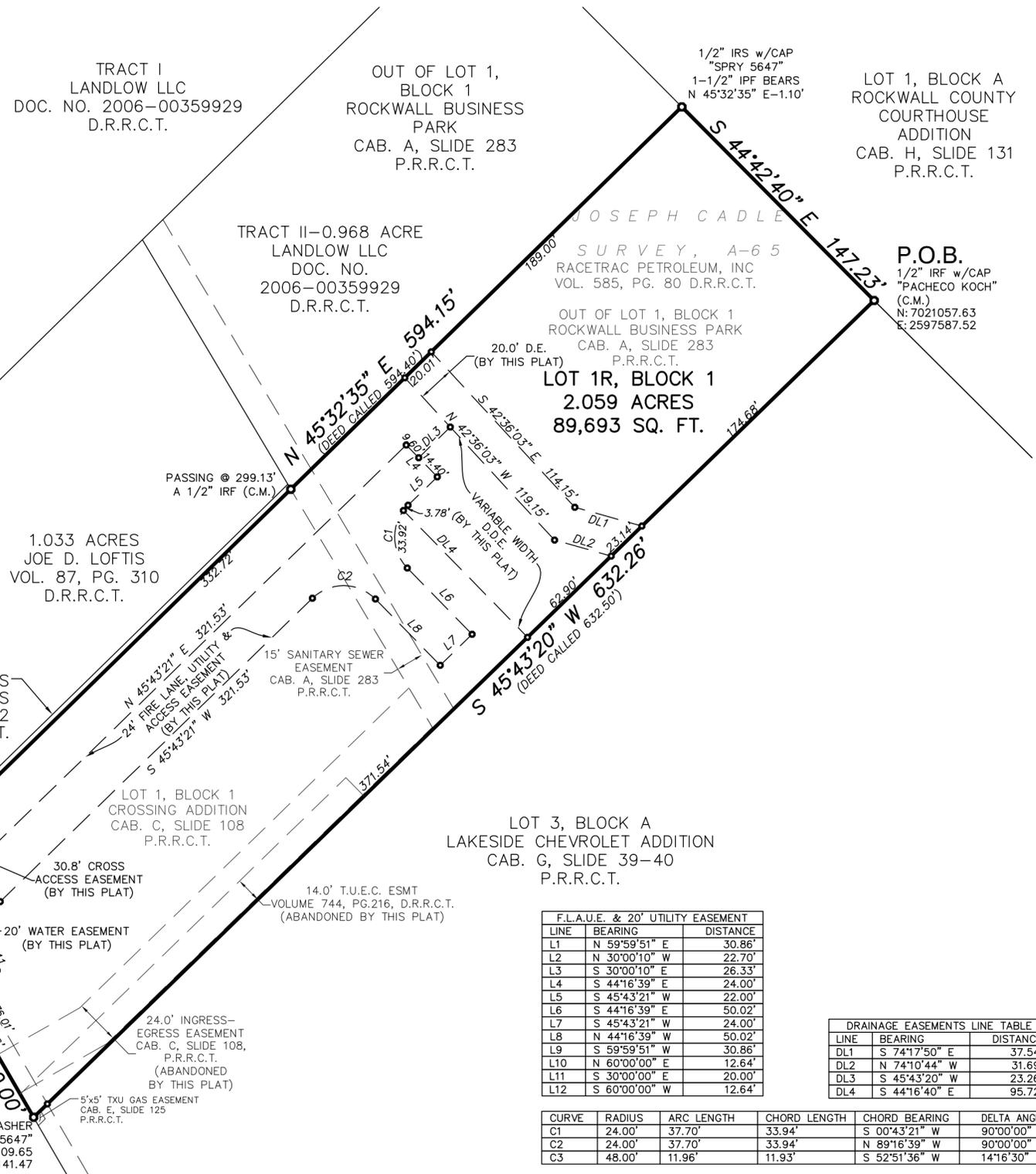
**A FINAL PLAT OF LOT 1R, BLOCK 1 CARMEL CARWASH ADDITION 2.059 ACRES**

**AN ADDITION TO THE CITY OF ROCKWALL, BEING A REPLAT OF A PORTION OF LOT 1, BLOCK 1, ROCKWALL BUSINESS PARK, RECORDED IN CABINET A, SLIDE 283, AND ALL OF LOT 1, BLOCK 1, CROSSING ADDITION, RECORDED IN CABINET A, SLIDE 108, IN THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS, WHICH IS 2.059 ACRES IN THE JOSEPH CADLE SURVEY, A - 65 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

OWNER: Racetrac Petroleum, Inc. 300 Technology Court Smyrna, Georgia 30082  
 ENGINEER: Hamilton Duffy, P.C. E.S.&C.M., Inc. 8241 Mid-Cities Blvd., Ste.100 North Richland Hills, TX 76182 Phone: 817-268-0408  
 SURVEYOR: Spry Surveyors 8241 Mid-Cities Blvd., Ste.102 North Richland Hills, TX 76182 Phone: 817-776-4049 Firm Reg. No. 10112000

SPRY PROJECT NO. 034-172-31  
DATE: JULY 2016

THIS PLAT WAS FILED IN DOCUMENT NO. \_\_\_\_\_ ON DATE \_\_\_\_\_



**F.L.A.U.E. & 20' UTILITY EASEMENT**

LINE	BEARING	DISTANCE
L1	N 59°59'51" E	30.86'
L2	N 30°00'10" W	22.70'
L3	S 30°00'10" E	26.33'
L4	S 44°16'39" E	24.00'
L5	S 45°43'21" W	22.00'
L6	S 44°16'39" E	50.02'
L7	S 45°43'21" W	24.00'
L8	N 44°16'39" W	50.02'
L9	S 59°59'51" W	30.86'
L10	N 60°00'00" E	12.64'
L11	S 30°00'00" E	20.00'
L12	S 60°00'00" W	12.64'

**DRAINAGE EASEMENTS LINE TABLE**

LINE	BEARING	DISTANCE
DL1	S 74°17'50" E	37.54'
DL2	N 74°10'44" W	31.69'
DL3	S 45°43'20" W	23.26'
DL4	S 44°16'40" E	95.72'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	24.00'	37.70'	33.94'	S 00°43'21" W	90°00'00"
C2	24.00'	37.70'	33.94'	N 89°16'39" W	90°00'00"
C3	48.00'	11.96'	11.93'	S 52°51'36" W	14°16'30"

Jul 18, 2016 - 11:36am S:\JobFolders\034\_Hamilton Duffy\034-172 Carmel Carwash - Rockwall\31-FinalPlat\spry-CarmelCarwash-FinalPlat.dwg

**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Miller Sylvan; *JPI*

**AGENDA ITEM:** **Z2016-019**; *JPI Condominiums*

---

**SUMMARY:**

Hold a public hearing to discuss and consider a request by Miller Sylvan of JPI on behalf of the owner Gene Lambreth of Pneuma Ventures, LTD for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.

**PURPOSE:**

On July 15, 2016, the applicant submitted an application requesting to rezone a 42.50-acre tract of land from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex that will consist of a maximum of 750 units. The subject property, which was annexed into the City on December 3, 1985 by *Ordinance No. 85-69*, is located on the north side of Discovery Boulevard -- *east of the intersection of Discovery Boulevard and John King Boulevard* -- and is currently a vacant tract of land.

**ADJACENT LAND USES AND ACCESS:**

The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is *Rockwall Mini Storage (9.90-acres)* and *Park Place RV (~4.978-acres)*, which are situated within the IH-30 Overlay (IH-30 OV) District and zoned Light Industrial (LI) District. Beyond these industrial uses is Interstate Highway 30 (IH-30).

**South:** Directly south of the subject property is Discovery Boulevard, which is identified as an M4U (*i.e. minor arterial, four [4] lane, undivided roadway*) on the City's *Master Thoroughfare Plan*. Beyond this arterial are four (1) tracts of land and one (1) parcel of land (*i.e. Peak Pediatric*) zoned Light Industrial (LI) District. South of these use is State Highway 276 (SH-276).

**East:** Directly east of the subject property is *Phase 1* of the Rockwall Economic Development Corporation's (REDC's) *Technology Park*. This includes an 8.480-acre parcel of land with a ~124,149 SF industrial building situated on it -- *which will be occupied by Pegasus Foods* -- and two (2) vacant tracts of land (*i.e. 1.860-acres & 5.268-acres*). All of these properties are zoned Light Industrial (LI) District.

**West:** Directly east of the subject property are *Phases 1 & 2* of the *Rockwall Downes Subdivision*, which are zoned Planned Development District 10 (PD-10) for single-family land uses and situated within the SH-205 By-Pass Corridor Overlay (SH 205 BY-OV) District. *Phase 1*

consists of 34 single-family, residential lots and *Phase 2* will consist of 30 single-family, residential lots.

**CHARACTERISTICS OF THE REQUEST:**

Along with the application, the applicant has submitted a concept plan, conceptual building renderings and development standards for the proposed multi-family apartment complex. The concept plan shows that the proposed 750-unit development will consist of two (2), 360-unit phases. According to this plan, each phase will consist of six (6) separate residential buildings, an 8,500 SF clubhouse and pool area, and an estimated 25%-30% open space. A summary of the proposed product type and unit composition for each phase of the development is as follows:

*Table 1A: Unit Composition for Phase I*

<b>Unit Name</b>	<b>Unit Type</b>	<b>Minimum Net Unit Area (SF)</b>	<b>Number of Units (#)</b>	<b>Total Area (SF)</b>	<b>Units as Percentage (%)</b>
A1	One (1) Bedroom	680 SF	38	25,840 SF	7%
A2	One (1) Bedroom	781 SF	62	48,422 SF	13%
A3	One (1) Bedroom	863 SF	76	65,588 SF	18%
A4	One (1) Bedroom	830 SF	24	19,920 SF	6%
B1	Two (2) Bedrooms	1125 SF	50	56,250 SF	16%
B2	Two (2) Bedrooms	1223 SF	38	46,474 SF	13%
B3	Two (2) Bedrooms	1143 SF	9	10,287 SF	3%
B4	Two (2) Bedrooms	1250 SF	3	3,750 SF	1%
B5	Two (2) Bedrooms	1299 SF	30	38,970 SF	11%
C1	Three (3) Bedrooms	1455 SF	9	13,095 SF	4%
C2	Three (3) Bedrooms	1580 SF	3	4,740 SF	1%
C3	Three (3) Bedrooms	1480 SF	18	26,640 SF	7%
<b>Average Net Unit Area:</b>				<b>1,000 SF</b>	
<b>Total Units:</b>			<b>360</b>		<b>100.00%</b>

*Table 1B: Unit Composition for Phase II*

<b>Unit Name</b>	<b>Unit Type</b>	<b>Minimum Net Unit Area (SF)</b>	<b>Number of Units (#)</b>	<b>Total Area (SF)</b>	<b>Units as Percentage (%)</b>
A1	One (1) Bedroom	680 SF	38	25,840 SF	7%
A2	One (1) Bedroom	781 SF	62	48,422 SF	13%
A3	One (1) Bedroom	863 SF	76	65,588 SF	18%
A4	One (1) Bedroom	830 SF	24	19,920 SF	6%
B1	Two (2) Bedrooms	1125 SF	50	56,250 SF	16%
B2	Two (2) Bedrooms	1223 SF	38	46,474 SF	13%
B3	Two (2) Bedrooms	1143 SF	9	10,287 SF	3%
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C3	Three (3) Bedrooms	1480 SF	18	26,640 SF	7%
<b>Average Net Unit Area:</b>				<b>1,000 SF</b>	
<b>Total Units:</b>			<b>360</b>		<b>100.00%</b>

Staff should mention that while the unit composition above does indicate an average net unit area of 1,000 SF, the applicant has requested that language allowing this to be reduced to 950 SF be included in the *PD Ordinance* (see *Section 2 of Exhibit 'C' of the attached draft ordinance*). The applicant has also requested that the minimum unit size for *Phase II* be 600 SF regardless of the 680 SF indicated in the unit composition table above. The purpose of these requests, according to the applicant, is to allow flexibility to adjust the unit mix to account for changes in market demand. Despite these requirements, the total number of units will be limited to 750-units, which translates to a maximum density of 17.64 dwelling units per gross acre of land. Currently, the highest density-zoning district that the City allows is the Multi-Family 14 (MF-14) District, which permits up to 14 dwelling units per gross acre. Since the applicant is proposing to rezone the subject property to a Planned Development District, additional density maybe requested of the City Council; however, this

does remain a discretionary decision, and the City Council does reserve the right to reduce the density of the applicant's request.

Article VI, *Parking and Loading*, of the Unified Development Code (UDC) stipulates that multi-family apartment complexes be parked as follows: 1) one (1) bedroom or efficiency units require 1½ parking spaces per unit, 2) two (2) bedroom units require two (2) parking spaces per unit, and 3) three (3) bedroom units require 2½ parking spaces per unit; however, the applicant is requesting that all units, despite the number of bedrooms, be parked at 1½ parking spaces per unit. This dictates a minimum of 540 parking spaces per phase. The applicant is showing a total of 458 surface parking spaces and 107 garage parking spaces -- *for a total of 565 parking spaces* -- will be provided with each phase. This translates to ~1.57 parking spaces per unit for the total development.

The conceptual building renderings submitted by the applicant appear to be comprised of a mixture of stucco and stone, and will be subject to the architectural requirements stipulated for the SH-205 By-Pass Corridor Overlay (205 BY-OV) District (*e.g. four [4] sided architecture, 90% masonry, and etcetera*); however, the applicant has requested that the natural stone requirement not be included in the *PD Ordinance* to allow the development to incorporate cultured stone. The requirement for the quantity of stone (*i.e. 20%*) has been included in the ordinance (see Section 5(a) of *Exhibit 'C' of the attached draft ordinance*). Staff has incorporated these conceptual building renderings into the *PD Ordinance*, and general conformance -- *pending recommendation by the Architectural Review Board (ARB)* -- has been made a requirement of approval for the site plan.

With all this being said, staff has prepared a *draft ordinance* that includes all pertinent development standards and design guidelines based on the applicant's request. The *draft ordinance* is attached to this case memo for the Planning and Zoning Commission and City Council's review.

#### **CONFORMANCE WITH THE COMPREHENSIVE PLAN:**

The Future Land Use Map, contained within the Comprehensive Plan, designates the subject property for *Technology/Light Industrial* land uses, which "...may include technology, research and development, office, and light industrial uses which may include light manufacturing and/or light assembly ..." (*Land Use; Page 21*). The proposed development would require this designation to be changed to a *High Density Residential* designation, which according to the Comprehensive Plan is defined as any use that exceeds three (3) units per acre. In addition, the Comprehensive Plan states that "(h)igh density residential [*land uses*] should be used as a transitional use from commercial (or existing retail) use, or where it will serve as a logical extension of an existing high density development." (*Land Use; Page 17; Policy #9.e*) In this case, the proposed subject property and zoning change do appear to conform to the majority of the Comprehensive Plan's policies and guidelines with regard to the *High Density Residential* designation. In addition, the subject property is situated between the Rockwall Downes Subdivision (*i.e. a residential land use*) and the REDC Technology Park (*i.e. light industrial land uses*) and may serve as a logical transition between the two (2) uses. With this being said, the density being proposed and any change to the *Future Land Use Map* is a discretionary decision for the City Council. Should the City Council approve the applicant's request, staff has included a condition of approval that would amend the Future Land Use Map to reflect the proposed change in land use from a *Technology/Light Industrial* designation to a *High Density Residential* designation.

#### **NOTIFICATION:**

On July 22, 2016, staff mailed 26 notices to property owners and residents within 500-feet of the subject property. Staff also emailed notices to the Lofland Farms and Meadow Creek Estates Homeowner's Associations (HOA), which are the only HOA's located within 1,500 feet of the subject property. Additionally, staff posted a sign on the subject property along Discovery Boulevard as required by the Unified Development Code (UDC). At the time this case memo was drafted no responses were received by staff.

## **RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from a Light Industrial (LI) District to a Planned Development District for an apartment complex, then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- 2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a Technology/Light Industrial designation to a High Density Residential designation; and,
- 3) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-019	<b>Owner</b> PNEUMA, VENTURES LTD	<b>Applied</b> 6/17/2016	LM
<b>Project Name</b> JPI Condominiums	<b>Applicant</b> JPI	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> PD		<b>Expired</b>	
<b>Status</b> NEED REVISIONS		<b>Status</b> 7/21/2016	RM

<b>Site Address</b> DISCOVERY BLVD	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
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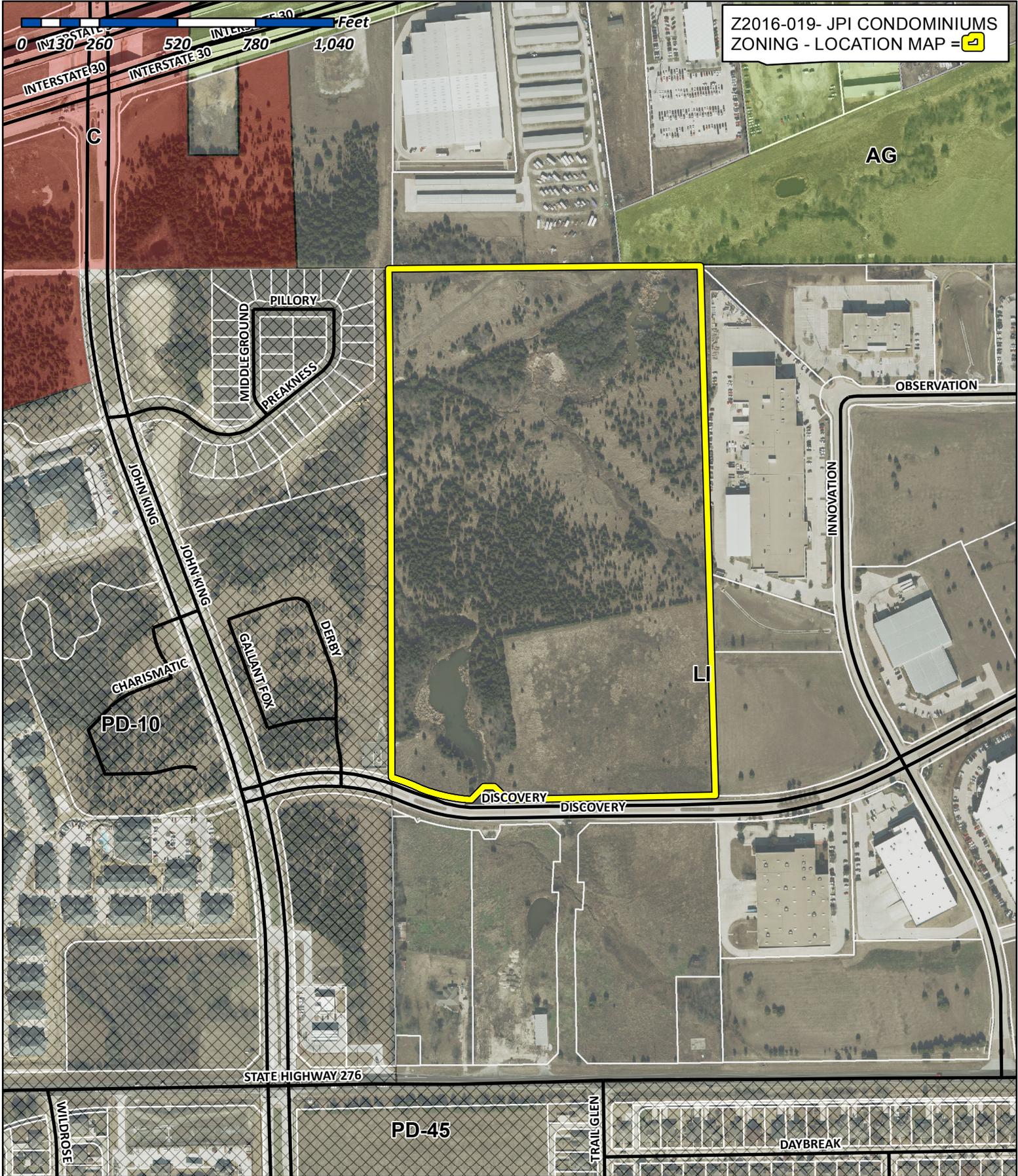
<b>Subdivision</b> MCKEOWN-BELAUSTEGUI ADDN	<b>Tract</b> 1-5	<b>Block</b> NULL	<b>Lot No</b> 1-5	<b>Parcel No</b> 0002-0000-0001-04-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	6/17/2016	7/24/2016				
ENGINEERING (7/19/2016 4:44 PM AW) See markup All parking adjacent to the building to be 20'x9' and all parallel parking to be 22'x9' Need to adhere to all engineering requirements.	Amy Williams	6/17/2016	6/24/2016	7/21/2016	34	APPROVED	See Comments
FIRE (7/21/2016 2:43 PM AA) Multiple-family residential projects having more than 200 dwelling units shall be provided with two separate and approved fire apparatus access roads. The two entry points shall be accessible during all phases of construction.	Ariana Hargrove	6/17/2016	6/24/2016	7/21/2016	34	APPROVED	See Comments
PLANNING 22016-019 (JPI Apartments [LI to PD]): Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Ryan Miller	6/17/2016	6/24/2016	7/21/2016	34	APPROVED	See Comments

Approved fire apparatus access roads shall be provided for every portion of a building. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Exception: The fire code official is authorized to increase the dimension of 150 feet where the building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, up to 250-ft. Review aa buildings for coverage.

- I.1 Hold a public hearing to discuss and consider a request for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, and located east of the intersection of Discovery Boulevard and John King Boulevard.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email [rcmiller@rockwall.com](mailto:rcmiller@rockwall.com).
- M.3 On all future submittals please include the case number (Z2016-019) in the lower right hand corner.
- I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on August 9, 2016.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.5						If approved an open space master plan will need to be submitted with the final plat laying out all proposed amenities on the site. This will require a recommendation from the Parks Board prior to approval by the City Council with the final plat.
I.6						The Future Land Use Map contained within the Comprehensive Plan currently identifies this property as being designated for Technology/Light Industrial land uses. The proposed use requires the City Council to amend the Future Land Use Map to reflect a High Density Residential land use designation. This will be a condition of approval.
I.7						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that has been requested. Revisions for this case will be due to staff on August 2, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2016 Planning & Zoning Meeting.
I.8						The projected City Council dates for this case are project to be: 1) August 15, 2016 [1st Reading], and 2) September 6, 2016 [2nd Reading].



Z2016-019- JPI CONDOMINIUMS  
 ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

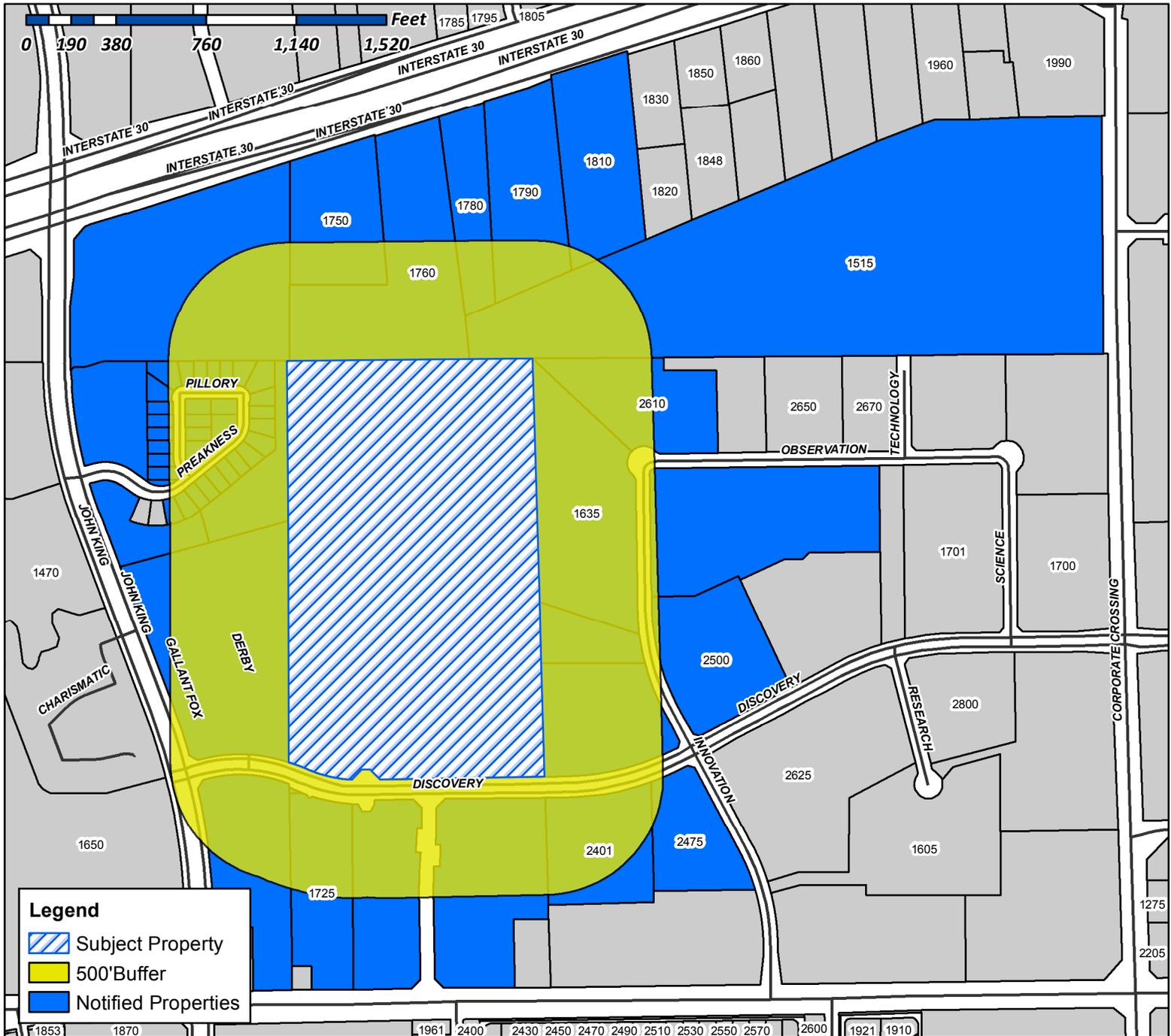




# City of Rockwall

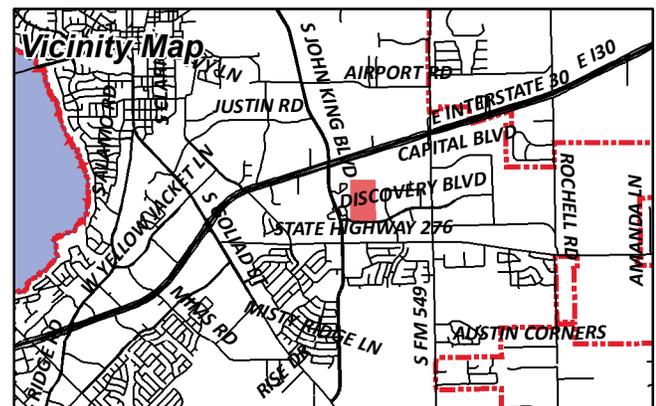
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-019  
**Case Name:** JPI Condominiums  
**Case Type:** Zoning Change (LI to PD)  
**Zoning:** Light Industrial (LI) District  
**Case Address:** East of John King Blvd. North of Discovery Blvd.

**Date Created:** 06/14/2016  
 For Questions on this Case Call (972) 771-7745



MLRP 1635 INNOVATON LP  
1 PIERCE PL STE 450  
ITASCA, IL 60143

DEN-MAR ENTERPRISES INC  
124 MONT BLANC DR  
HEATH, TX 75032

CURRENT RESIDENT  
1515 CORPORATE CROSSING  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1635 INNOVATION DR  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1725 HWY276  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1750 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1760 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1780 I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1790 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1810 S I30  
ROCKWALL, TX 75032

FALCON FINE WIRE & WIRE PRODUCTS  
2401 DISCOVERY BLVD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2475 DISCOVERY DR  
ROCKWALL, TX 75032

HATFIELD AND COMPANY INC  
2475 DISCOVERY BLVD  
ROCKWALL, TX 75032

Z06 PROPERTIES INC  
2500 DISCOVERY BLVD  
ROCKWALL, TX 75032

SECURITY HOLDINGS INC  
2601 NETWORK BLVD STE 202  
FRISCO, TX 75034

CURRENT RESIDENT  
2610 OBSERVATION TRL  
ROCKWALL, TX 75032

JBC LAND & CATTLE COMPANY LLC  
2905 DUBLIN  
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP  
39650 LYNDON B JOHNSON FWY  
DALLAS, TX 75237

PNEUMA VENTURES LTD  
480 SMIRL DR  
HEATH, TX 75032

RFJ AUTO PROPERTIES LLC  
500 N CENTRAL EXPWY SUITE 440  
PLANO, TX 75074

HITT FAMILY LIMITED PARTNERSHIP  
7836 YAMINI DR  
DALLAS, TX 75230

U V REAL ESTATE LP  
8131 LYNDON B JOHNSON FWY SUITE 770  
DALLAS, TX 75251

CAMBRIDGE PROPERTIES INC  
8750 N CENTRAL EXPY SUITE 1735  
DALLAS, TX 75231

ROCKWALL DOWNES DEVELOPMENT LLC  
8750 N CENTRAL EXPY SUITE 1735  
DALLAS, TX 75231

ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

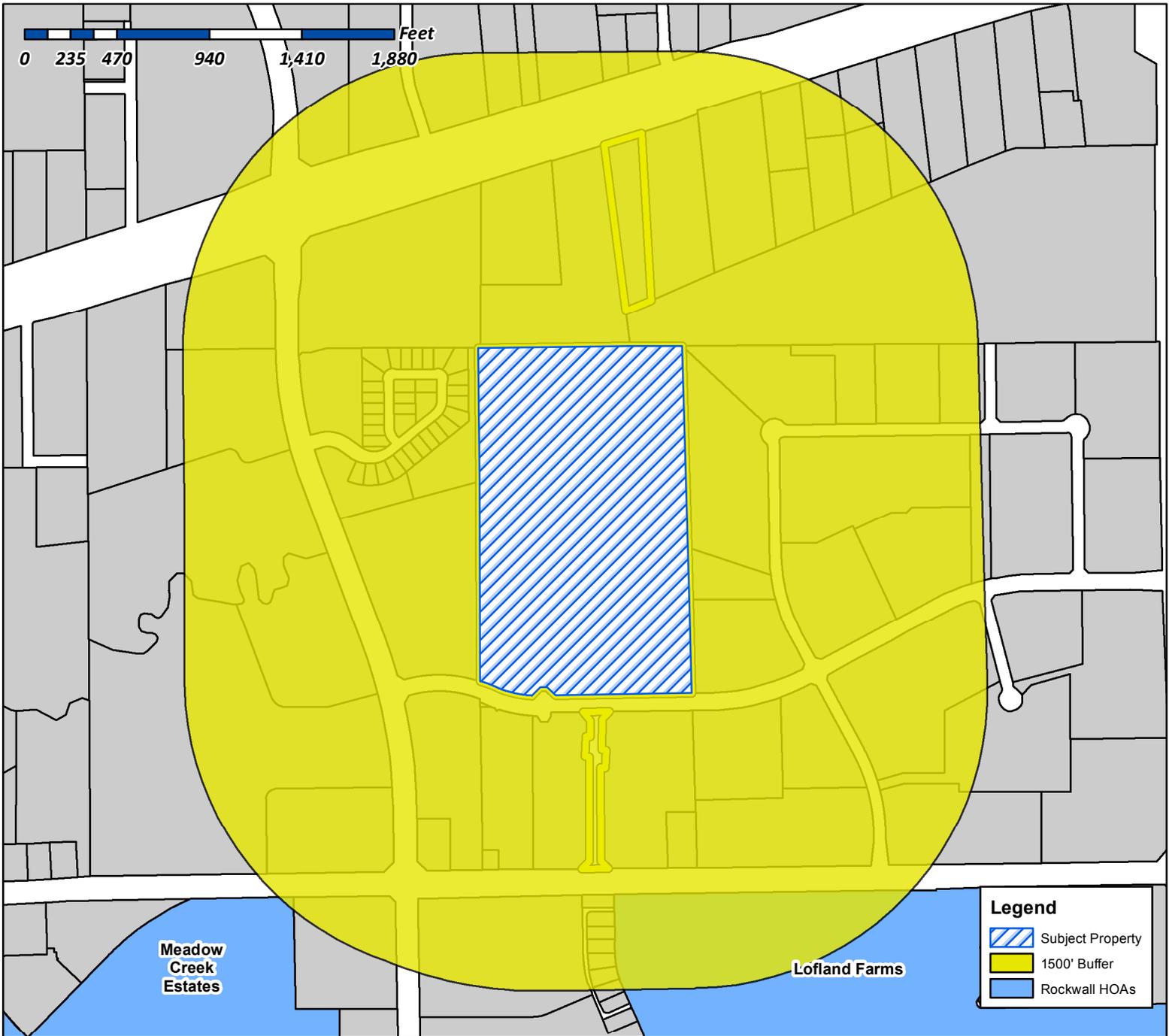
MCKEOWN REVOCABLE TRUST  
THOMAS L BELAUSTEGUI 1515 CUMBERLAND  
TYLER, TX 75703



# City of Rockwall

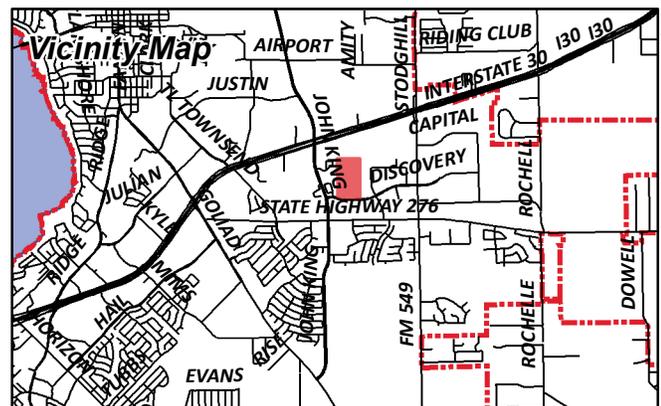
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**Case Number:** Z2016-019  
**Case Name:** JPI Condominiums  
**Case Type:** Zoning Change (LI to PD)  
**Zoning:** Light Industrial (LI) District  
**Case Address:** East of John King Blvd North of Discovery Blvd.

**Date Created:** 06/16/2016  
 For Questions on this Case Call (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Wednesday, July 20, 2016 11:21:51 AM

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-019- Hold a public hearing to discuss and consider a request by Miller Sylvan of JPI on behalf of the owner Gene Lambreth of Pneuma Ventures, LTD for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located east of the intersection of Discovery Boulevard and John King Boulevard, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>



July 14, 2016

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**RE: *Zoning Submittal Application Letter of Explanation***

Planning and Zoning:

The purpose of this zoning application is to change the zoning district for the subject property from Light Industrial (LI) to a Planned Development District with a base zoning of MF-14. The attached development standards and concept plan define the parameters requested in the development application.

Sincerely,

A handwritten signature in black ink, appearing to read "P. McGee".



Peyton McGee, P.E.  
**Kimley-Horn** | 106 West Louisiana Street McKinney, TX 75069  
Direct: 469-301-2595

TX F-928

## **LEGAL DESCRIPTION**

42.55 ACRES

**BEING** a tract of land situated in the James M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas; and being part of a tract of land described as Tract Three in General Warranty Deed without Title Examination to Pneuma Ventures, L.T.D. recorded in Volume 2924, Page 314 of the Official Public Records of Dallas County, Texas; and being more particularly described as follows:

**BEGINNING** at the northwest corner of Block C, Rockwall Technology Park, an addition to the City of Rockwall according to the plat recorded in Cabinet E, Page 329 of the Plat Records of Rockwall County, Texas and being in the south line of that tract of land described in Warranty Deed to The Hitt Family Limited Partnership recorded in Volume 1875, Page 238 of said Official Public Records;

**THENCE** with the west line of said Block C, South  $1^{\circ}33'45''$  East, a distance of 1767.79 feet the southwest corner of said Block C and being in the north right-of-way line of Discovery Boulevard (an 85-foot wide right-of-way);

**THENCE** with said north right-of-way line of Discovery Boulevard, the following courses and distances:

South  $89^{\circ}12'13''$  West, a distance of 687.07 feet to a point for corner;

North  $45^{\circ}47'47''$  West, a distance of 61.52 feet to a point for corner;

South  $89^{\circ}12'13''$  West, a distance of 35.13 feet to a point for corner;

South  $44^{\circ}12'13''$  West, a distance of 59.92 feet to a point at the beginning of a non-tangent curve to the right having a central angle of  $21^{\circ}45'33''$ , a radius of 557.50 feet, a chord bearing and distance of North  $75^{\circ}37'03''$  West, 210.45 feet;

In a northwesterly direction, with said curve to the right, an arc distance of 211.72 feet to a point at the beginning of a non-tangent curve to the left having a central angle of  $5^{\circ}25'19''$ , a radius of 642.50 feet, a chord bearing and distance of North  $67^{\circ}28'57''$  West, 60.78 feet;

In a northwesterly direction, with said curve to the left, an arc distance of 60.80 feet to the southeast corner of a tract of land described as Parcel 1 in General Warranty Deed to Rockwall Downes Development, LLC recorded in Instrument No. 20150000005937 of said Official Public Records;

**THENCE** departing said north right-of-way line of Discovery Boulevard and with the east line of said Parcel 1 and the east line of Block E, Rockwall Downes Phase 1, an addition to the City of Rockwall according to the plat recorded in Cabinet I, Page 187 of said Plat Records, North  $0^{\circ}38'31''$  West, a distance of 1694.55 feet to the northeast corner of said Block E and in the south line of Lot 1, Block A, LaFon Subdivision, an addition to the City of Rockwall according to the plat recorded in Cabinet B, Page 42 of said Plat Records;

**THENCE** with the south line of said LaFon Subdivision, the south line of McKeown-Belaustegui Addition, an addition to the City of Rockwall according to the plat recorded in Cabinet E, Page 233 of said Plat Records and said south line of The Hitt Family Limited Partnership tract, North

89°36'02" East, a distance of 1038.82 feet to the **POINT OF BEGINNING** and containing 42.55 acres of land.

The bearings are based on a bearing of North 89°36'02" East for the north line of that tract of land described as Tract Three in the General Warranty Deed without Title Examination to Pneuma Ventures, L.T.D. recorded in Volume 2924, Page 314 of the Official Public Records of Dallas County, Texas.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

## **PD Development Standards/Rockwall Project**

These PD Development Standards apply to the property (the "Property") described on Exhibit "A" attached hereto and made a part hereof for all purposes.

**1. Flood Plain as Open Space.** The Flood Plain will be maintained as private open space by an Owner/Property Management Company.

**2. Site Plan.** A Site Plan shall be submitted and approved prior to any application for a building permit. Site Plan shall conform to the requirements of this Ordinance, the City's Engineering Standards, and Fire Code. Modifications may be made to the Concept Plan attached to these standards, provided the modifications meet the requirements of this Ordinance, do not exceed the maximum number of allowable units, meet minimum setbacks provided by MF-14 requirements, and meet Fire Codes.

**3. Architectural Review.** All projects within the PD shall receive Architectural Review as part of the approval of Site Plans.

**4. Conformity with Other Ordinances.** Unless in conflict with the standards herein, development shall comply with the standards and procedures established by the City that are in effect at the time of this Ordinance.

### **5. Streetscape.**

#### **Discovery Boulevard**

- a. **Landscape Buffer.** The landscape buffer along Discovery Boulevard shall be a minimum of twenty (20) feet wide along the entire length of the street frontage. Sidewalk shall be allowed within the buffer as an access easement.
- b. **Landscape Buffer Plantings:** Three (3) canopy trees, along with two (2) accent trees shall be required per one hundred (100) feet of right of way along Discovery Boulevard. Canopy trees, accent trees, and shrubs shall be as defined in the City of Rockwall landscape ordinance requirements in effect at the time of this Ordinance.

**6. Screening Walls.** No continuous solid screening walls shall be constructed adjacent to Discovery Boulevard.

**7. Lighting.** No light poles shall exceed 20 feet in height. All lighting fixtures shall focus light downward and be contained on site.

**8. Land Uses.** Multi-Family and recreational uses such as an exercise club, a pool, tennis courts, centralized dining or other similar amenities which are ancillary to the residential shall be the only uses allowed. However, a temporary on-site Real Estate Sales Office shall be allowed provided that it and all the other uses meet the city's ordinance requirements at the time they are permitted.

**9. Density.** Maximum number of units.

- a. Multi-Family. No more than 750 units.

**10. Open Space.** A minimum of 20% of the gross site area, including the floodplain, shall be open space. Open space contributing to this requirement may occur anywhere on the site, floodplain area may count up to 50% of the 20% requirement. No required percentage of open space has to occur in front or alongside buildings, or street frontages.

**11. Masonry Requirement.** Building facades shall contain 90% masonry, excluding windows and doors. For the purposes of this ordinance, masonry shall be defined as brick, stone, cultured stone, cementaceous fiber board (Hardy Plank or similar in 9-inch or smaller width boards) and cementaceous stucco.

**12. Building Height** Building height shall not exceed 60 feet and 3 stories.

**13. Unit Sizes.** The average unit size shall be greater than 900 s.f. and no unit shall be less than 600 s.f.

**14. Parking.** A minimum of 1.5 parking spaces per unit shall be required.



**UNIT AREA TABULATION - PHASE I**

UNIT TYPE	Net S. F.	# OF Units	Total Net S. F.
A1	680	38	25840
A2	781	62	48422
A3	863	76	65588
A4	830	24	19920
<b>TOTAL A</b>		200	159770

PARKING PROVIDED	
458	SURFACE PARKING
107	BUILDING GARAGES
565	<b>TOTAL SPACES PROV.</b>

UNIT TYPE	Net S. F.	# OF Units	Total Net S. F.
B1	1125	50	56250
B2	1223	38	46474
B3	1143	9	10287
B4	1250	3	3750
B5	1299	30	38970
<b>TOTAL B</b>		130	155731

UNIT TYPE	Net S. F.	# OF Units	Total Net S. F.
C1	1455	9	13095
C2	1580	3	4740
C3	1480	18	26640
<b>TOTAL C</b>		30	44475
<b>UNIT TOTAL</b>		<b>360</b>	
<b>TOTAL NET S. F.</b>			<b>359976</b>
<b>AVERAGE S. F.</b>			<b>1000</b>
<b>CLUB</b>			<b>8500</b>

**UNIT AREA TABULATION - PHASE II**

UNIT TYPE	Net S. F.	# OF Units	Total Net S. F.
A1	680	38	25840
A2	781	62	48422
A3	863	76	65588
A4	830	24	19920
<b>TOTAL A</b>		200	159770

PARKING PROVIDED	
458	SURFACE PARKING
107	BUILDING GARAGES
565	<b>TOTAL SPACES PROV.</b>

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<b>TOTAL NET S. F.</b>			<b>359976</b>
<b>AVERAGE S. F.</b>			<b>1000</b>
<b>CLUB</b>			<b>8500</b>

### CONCEPTUAL SITE PLAN

SCALE: 1" = 60'-0" 0 60' 120' 240'





CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR A MULTI-FAMILY APARTMENT COMPLEX ON THE SUBJECT PROPERTY, BEING A 42.50-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-4 OF THE J. M. ALLEN SURVEY, ABSTRACT NO. 2, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Miller Sylvan of JPI on behalf of the owner Gene Lambreth of Pneuma Ventures, LTD for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for a multi-family apartment complex on a 42.50-acre tract of land identified as Tract 1-4 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**Section 4.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Renderings*, contained in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**Section 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City Council, as amended by this ordinance (*including Subsections 5(b) through 5(e) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) PD Site Plan
  - (2) Open Space/Amenity Plan
  - (3) Final Plat
- (c) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall include a *Site Plan*, *Building Elevations*, *Treescape Plan*, *Landscape Plan* and a *Photometric Plan*. A *PD Site Plan* application may be processed by the City concurrently with an *Open Space/Amenity Plan* for the development.
- (d) *Open Space/Amenity Plan*. An *Open Space/Amenity Plan* covering all of the *Subject Property* shall be submitted and shall include a detailed depiction of all proposed public and private amenities. An *Open Space/Amenity Plan* may be processed by the City concurrently with a *PD Site Plan Application* for the development.
- (e) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat* for the *Subject Property* shall be submitted for approval.

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City

Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 15, 2016

2<sup>nd</sup> Reading: September 6, 2016

**Exhibit 'A':**  
*Legal Description*

**BEING** a tract of land situated in the James M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas; and being part of a tract of land described as Tract Three in General Warranty Deed without Title Examination to Pneuma Ventures , L.T.D. recorded in Volume 2924, Page 314 of the Official Public Records of Dallas County, Texas; and being more particularly described as follows:

**BEGINNING** at the northwest corner of Block C, Rockwall Technology Park, an addition to the City of Rockwall according to the plat recorded in Cabinet E, Page 329 of the Plat Records of Rockwall County, Texas and being in the south line of that tract of land described in Warranty Deed to The Hitt Family Limited Partnership recorded in Volume 1875, Page 238 of said Official Public Records;

**THENCE** with the west line of said Block C, South 1°33'45" East, a distance of 1767.79 feet the southwest corner of said Block C and being in the north right-of-way line of Discovery Boulevard (an 85-foot wide right-of-way) ;

**THENCE** with said north right-of-way line of Discovery Boulevard, the following courses and distances:

South 89°12'13" West, a distance of 687.07 feet to a point for corner;

North 45°47'47" West, a distance of 61.52 feet to a point for corner;

South 89°12'13" West, a distance of 35.13 feet to a point for corner;

South 44°12'13" West, a distance of 59.92 feet to a point at the beginning of a non-tangent curve to the right having a central angle of 21°45'33", a radius of 557.50 feet , a chord bearing and distance of North 75°37'03" West , 210.45 feet ;

In a northwesterly direction, with said curve to the right, an arc distance of 211.72 feet to a point at the beginning of a non-tangent curve to the left having a central angle of 5°25'19", a radius of 642.50 feet, a chord bearing and distance of North 67°28'57" West , 60.78 feet;

In a northwesterly direction, with said curve to the left, an arc distance of 60.80 feet to the southeast corner of a tract of land described as Parcel 1 in General Warranty Deed to Rockwall Downes Development , LLC recorded in Instrument No. 20150000005937 of said Official Public Records;

**THENCE** departing said north right-of-way line of Discovery Boulevard and with the east line of said Parcel 1 and the east line of Block E, Rockwall Downes Phase 1, an addition to the City of Rockwall according to the plat recorded in Cabinet I, Page 187 of said Plat Records, North 0°38'31" West, a distance of 1694.55 feet to the northeast corner of said Block E and in the south line of Lot 1, Block A, LaFon Subdivision, an addition to the City of Rockwall according to the plat recorded in Cabinet B, Page 42 of said Plat Records;

**THENCE** with the south line of said LaFon Subdivision, the south line of McKeown-Belaustegui Addition , an addition to the City of Rockwall according to the plat recorded in Cabinet E, Page 233 of said Plat Records and said south line of The Hitt Family Limited Partnership tract, North 89°36'02" East, a distance of 1038.82 feet to the **POINT OF BEGINNING** and containing 42.55 acres of land.

The bearings are based on a bearing of North 89°36'02" East for the north line of that tract of land described as Tract Three in the General Warranty Deed without Title Examination to Pneuma Ventures , LTD recorded in Volume 2924, Page 314 of the Official Public Records of Dallas County , Texas.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey , and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Exhibit 'B':  
Concept Plan



UNIT AREA TABULATION - PHASE I				UNIT AREA TABULATION - PHASE II			
UNIT TYPE	Net S. F.	# OF Units	Total Net S. F.	UNIT TYPE	Net S. F.	# OF Units	Total Net S. F.
A1	680	38	25840	A1	680	38	25840
A2	781	62	48422	A2	781	62	48422
A3	863	76	65588	A3	863	76	65588
A4	850	24	19200	A4	850	24	19200
TOTAL A	203	102	109750	TOTAL A	203	102	109750
B1	1126	9	10134	B1	1126	9	10134
B2	1223	38	46474	B2	1223	38	46474
B3	1143	9	10287	B3	1143	9	10287
B4	1290	3	3770	B4	1290	3	3770
B5	1299	30	38970	B5	1299	30	38970
TOTAL B	565	89	100735	TOTAL B	565	89	100735
TOTAL A+B	768	191	210485	TOTAL A+B	768	191	210485

PARKING PROVIDED			
CLUB	BLDG GARAGES	BLDG GARAGES	TOTAL SPACES PROV.
35976	1000	1000	8600
100	100	100	300
565	565	565	1635

CONCEPTUAL SITE PLAN

SCALE: 1" = 60'-0" 0' 60' 120' 240'

07/26/2016



**Exhibit 'C':  
Development Standards**

- Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Multi-Family 14 (MF-14) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- Unit Composition.** The unit composition for *Phases I & II* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Tables 1A & 1B* below; however, in no case should the average net unit area decrease below 950 SF for *Phases I & II*. In addition, the minimum net unit area of the smallest unit shall not be decreased below 680 SF for *Phase I* and 600 SF for *Phase II*.

**Table 1A: Unit Composition for Phase I**

Unit Name	Unit Type	Minimum Net Unit Area (SF)	Number of Units (#)	Total Area (SF)	Units as Percentage (%)
A1	One (1) Bedroom	680 SF	38	25,840 SF	7%
A2	One (1) Bedroom	781 SF	62	48,422 SF	13%
A3	One (1) Bedroom	863 SF	76	65,588 SF	18%
A4	One (1) Bedroom	830 SF	24	19,920 SF	6%
B1	Two (2) Bedrooms	1125 SF	50	56,250 SF	16%
B2	Two (2) Bedrooms	1223 SF	38	46,474 SF	13%
B3	Two (2) Bedrooms	1143 SF	9	10,287 SF	3%
B4	Two (2) Bedrooms	1250 SF	3	3,750 SF	1%
B5	Two (2) Bedrooms	1299 SF	30	38,970 SF	11%
C1	Three (3) Bedrooms	1455 SF	9	13,095 SF	4%
C2	Three (3) Bedrooms	1580 SF	3	4,740 SF	1%
C3	Three (3) Bedrooms	1480 SF	18	26,640 SF	7%

Average Net Unit Area: 1,000 SF  
Total Units: 360 100.00%

**Table 1B: Unit Composition for Phase II**

Unit Name	Unit Type	Minimum Net Unit Area (SF)	Number of Units (#)	Total Area (SF)	Units as Percentage (%)
A1	One (1) Bedroom	680 SF	38	25,840 SF	7%
A2	One (1) Bedroom	781 SF	62	48,422 SF	13%
A3	One (1) Bedroom	863 SF	76	65,588 SF	18%
A4	One (1) Bedroom	830 SF	24	19,920 SF	6%
B1	Two (2) Bedrooms	1125 SF	50	56,250 SF	16%
B2	Two (2) Bedrooms	1223 SF	38	46,474 SF	13%
B3	Two (2) Bedrooms	1143 SF	9	10,287 SF	3%
B4	Two (2) Bedrooms	1250 SF	3	3,750 SF	1%
B5	Two (2) Bedrooms	1299 SF	30	38,970 SF	11%
C1	Three (3) Bedrooms	1455 SF	9	13,095 SF	4%
C2	Three (3) Bedrooms	1580 SF	3	4,740 SF	1%
C3	Three (3) Bedrooms	1480 SF	18	26,640 SF	7%

Average Net Unit Area: 1,000 SF  
Total Units: 360 100.00%

- Density and Dimensional Requirements.** Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Multi-Family 14 (MF-14) District and the SH-205 By-Pass Overlay (SH205 BY-OV) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 18 dwelling units per gross acre of land; however, in no case should the proposed development exceed 750 units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

**Exhibit 'C':  
Development Standards**

*Table 2: Lot Dimensional Requirements*

<i>Minimum Lot Width</i>	60'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	10,000 SF
<i>Minimum Lot Area/Unit</i>	2,000 SF
<i>Minimum Front Yard Building Setback</i>	25'
<i>Minimum Side Yard Building Setback</i>	10'
<i>Minimum Rear Yard Building Setback</i>	10'
<i>Minimum Separation Between Main Buildings</i>	20'
<i>Minimum Separation Between a Main Structure to an Accessory Structure</i>	10'
<i>Maximum Height<sup>(1)</sup></i>	60'
<i>Maximum Lot Coverage</i>	45%
<i>Minimum Landscape</i>	20%

**General Notes:**

<sup>1</sup>: The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.

4. **Parking and Loading Standards.** A minimum of 1.5 parking spaces per unit shall be required with a minimum of 20% of the unit count being provided as covered parking spaces. Tandem parking spaces (*i.e. spaces in front of garages*) are NOT permitted.

5. **Building Standards.** The building elevations shall generally conform to the *Concept Building Renderings* depicted in *Exhibit 'D'* of this ordinance; however, these elevations are subject to change pending recommendations by the City's Architectural Review Board (ARB). In addition, all development on the subject property shall conform to the following building standards:

(a) **Masonry Requirements.** The minimum masonry requirement for the exterior façades of all buildings shall be 90% (*excluding windows and doors*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, cultured stone and cast stone. Cementaceous fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and, stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) may be used for up to 50% of the exterior of the building; however, stucco may not be used within the first four (4) feet above grade on a façade visible from a public street or open space. A minimum of 20% stone is required on all building façades.

(b) **Roof Design Requirements.** All buildings shall be designed such that no roof mounted mechanical equipment (*i.e. HVAC, satellite, vents, etc.*) shall be visible from any direction. *Note: Screening of mechanical equipment is necessary for all equipment regardless of location (i.e. roof mounted, ground mounted, or otherwise attached to the building and/or located on the site).*

Screening of roof mounted mechanical equipment and/or other rooftop appurtenances shall be accomplished through the construction of an architectural feature, which is integral to the building's design and ensures that such equipment is not visible from adjacent public rights-of-way.

(c) **Architectural Requirements.** All buildings shall be architecturally finished on all four (4) sides with the same materials, detailing and features. In addition, all buildings shall be subject to the architectural requirements of the SH-205 By-Pass Overlay (SH205 BY-OV) District contained in Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code.

6. **Landscaping and Hardscaping Standards.**

**Exhibit 'C':**  
*Development Standards*

- (a) *Landscape Requirements.* Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this development:
- i) *Canopy/Shade Trees.* Afghan Pine, Bald Cypress, Bur Oak, Cedar Elm, Eastern Red Cedar, Homestead Elm, Lacebark Elm, Little Gem Magnolia, Live Oak, October Glory Maple, Red Oak, Texas Ash, Texas Red Oak.
  - ii) *Accent/Ornamental/Under-Story Trees.* Desert Willow, Eastern Redbud, Eves Necklace, Mexican Buckeye, Possumhaw Holly, Shangtung Maple, Yaupon Holly.
- (b) *Landscape Buffers (Discovery Boulevard).* A minimum of a 20-foot landscape buffer shall be provided along the frontage of Discovery Boulevard, and shall incorporate a minimum of three (3) canopy and two (2) accent trees per 100-feet of linear frontage. The developer shall also be responsible for the construction of sidewalks along Discovery Boulevard.
- (c) *Parking Lot Landscaping.* All parking lot landscaping shall conform to the requirements of Article VII, *Landscape Standards*, of the Unified Development Code.
- (d) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.
- (e) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan* and/or *Opens Space/Amenity Plan*.
7. *Trash Receptacles.* Trash and recycling receptacles shall be four (4) sided, with eight (8) foot walls constructed and clad with materials matching the primary structures, and have a self-latching gate. All trash and recycling receptacles shall be internal to the site and not be situated within any established building setbacks or landscape buffers.
8. *Open Space.* The development shall consist of a minimum of 20% open space (or a minimum of 8.5-acres), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. Floodplain acreage may count for up to 50% of the 20% open space requirement. All open space and floodplain shall be maintained as private open space by the owner/property management company.
9. *Screening Fence Standards.* Fences located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences can be a maximum of eight (8) feet in height. *No continuous solid screening walls shall be constructed adjacent to Discovery Boulevard.*
10. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

**Exhibit 'D':**  
*Concept Building Renderings*



CONCEPTUAL 3D RENDERINGS

07/13/2016

**Exhibit 'D':**  
*Concept Building Renderings*



 **ROCKWALL MF**  
ROCKWALL, TEXAS  
JPI  
ARCHITECTURE DEMAREST

**CONCEPTUAL 3D RENDERINGS**

07/13/2016

**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Mark Pross of *Pross Design Group, Inc.*

**AGENDA ITEM:** **Z2016-022**; SPR Packaging (*Structure Exceeding 60-ft Height*)

---

**SUMMARY:**

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary.

**BACKGROUND INFORMATION:**

The applicant Mark W. Pross of Pross Design Group, Inc., on behalf of Robert Reece of SPR Packaging, LLC, is requesting a Specific Use Permit (SUP) to allow for a structure that exceeds the maximum height requirements within a Light Industrial (LI) District for an existing manufacturing facility. The property is located at the intersection of Justin Road and Industrial Blvd. and is addressed as 1480 Justin Road.

The applicant has indicated that SPR Packaging plans to install three (3) new high-bays for the purpose of placing new equipment (*extruders*) to meet its future manufacturing capabilities. Based on the site plan and the building elevations submitted, the extruders will be placed adjacent to the existing (*60-ft height*) high-bay area, which is located on the north (rear) side of the building. The vertical expansion will be incorporated on top of the existing manufacturing facility, and will increase the height of this portion of the facility by approximately 35-ft. The newly constructed high-bay area will have an overall height of 71-ft. from grade, which will be approximately ten (10) feet higher than the existing, adjacent metal high-bays. It should be noted that the facilities' existing roof structure was designed to extend upward to allow for the requested expansion. The addition will be comprised of pre-engineered metal panels that will match the existing structure. The vertical addition will exceed the 60-ft height limitation established in the Unified Development Code (UDC). According to Section 5.3.C.12 of Article V of the of UDC, the maximum building height for properties within the Light Industrial (LI) District is 120 feet, but any structure exceeding 60-ft shall require an SUP. In this case, the vertical expansion exceeds the 60-ft height limitation by 11-ft and requires an SUP.

Included in your packet is a letter from the applicant requesting the SUP, a site plan indicating the location of the expansion, and building elevations indicating the overall height of the high-bay area. A request for an SUP is a discretionary decision for the Planning and Zoning Commission and City Council.

**NOTIFICATION:**

On July 22, 2015, staff mailed eleven (11) notices to property owners within 500 feet of the subject property. Staff also sent an e-mail to the Park Place Home Owners Association (HOA),

which is the only HOA within 1500 feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the property as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices either “for” or “against” the SUP request.

### **RECOMMENDATIONS:**

Should the Specific Use Permit be approved, staff would offer the following conditions:

- 1) Adherence to Engineering and Fire Department standards; and,
- 2) That the height of the high-bays and the overall structure shall not exceed a maximum height of 71-ft, as depicted in the building elevations submitted; and,
- 3) That the new expansion generally conform to the expansion area depicted in the site plan and building elevations; and,
- 4) That the City Council reserves the right to review the Specific Use Permit (SUP) any time after the effective date of this ordinance.
- 5) Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-022	<b>Owner</b> SPR PACKAGING	<b>Applied</b> 7/14/2016 LM
<b>Project Name</b> SUP for SPR Packaging	<b>Applicant</b> PROSS DESIGN GROUP, INC	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> SUP		<b>Expired</b>
<b>Status</b> STAFF REVIEW		<b>Status</b> 7/14/2016 LM

<b>Site Address</b> 1480 JUSTIN RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------------	--	---------------

<b>Subdivision</b> SPR PACKAGING	<b>Tract</b> 1	<b>Block</b> A	<b>Lot No</b> 1	<b>Parcel No</b> 5045-000A-0001-00-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	John Shannon	7/14/2016	7/21/2016			
ENGINEERING	Amy Williams	7/14/2016	7/21/2016	7/19/2016	5 APPROVED	
FIRE	Ariana Hargrove	7/14/2016	7/21/2016	7/21/2016	7 APPROVED	
PLANNING	David Gonzales	7/14/2016	7/21/2016	7/21/2016	7 COMMENTS	See comments

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 2, 2016. Please provide three large copies [24" X 36" FOLDED] of the building elevations and one PDF version for a subsequent review by staff:

- On all future plan submittals please include the Case Number (Z2016-021) in the lower right hand corner.

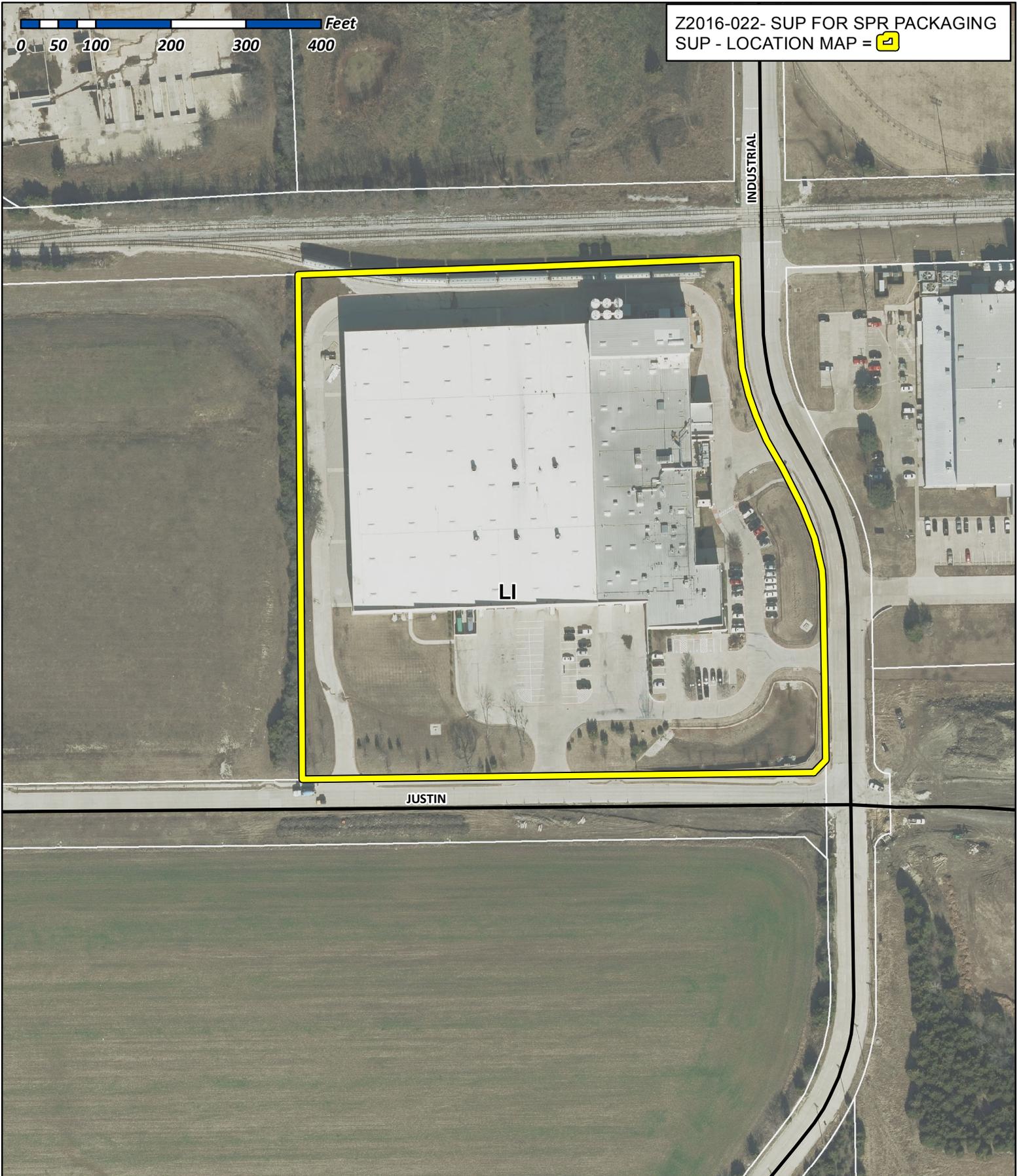
Planning Staff General Comments/Conditions of SUP:

1. The structure must meet all Fire Department, Building Inspections, and Engineering standards.
2. Submittal and approval of a building permit is required prior to construction of the high bay expansion for extruders.
3. The high bay expansion will generally comply with the approved site plan and building elevations.
4. The high bay expansion area as depicted on the building elevations and site plan is generally not to exceed an overall height of 70 feet.
5. The City Council reserves the right to review the Specific Use Permit granted herein upon the expiration of one (1) year from the date hereof.
6. Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
enforced by the state and federal government.						
You and/or your representative(s) are required to be in attendance for the following scheduled meetings. All meetings will begin at 6:00 p.m. in the City's Council Chambers.						
<ul style="list-style-type: none"> <li>• Please mark your calendar for the scheduled meeting dates as follows:</li> </ul>						
Planning - Work Session: July 26, 2016 (Presentation/discussion by applicant)						
Planning - Public Hearing: August 9, 2016						
City Council - Public Hearing: August 15, 2016 [First Reading of Ordinance]						
City Council -2nd Reading (if approved): September 6, 2016 (Tuesday)						

0 50 100 200 300 400 Feet

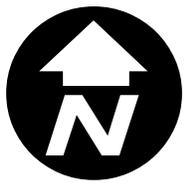
Z2016-022- SUP FOR SPR PACKAGING  
SUP - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

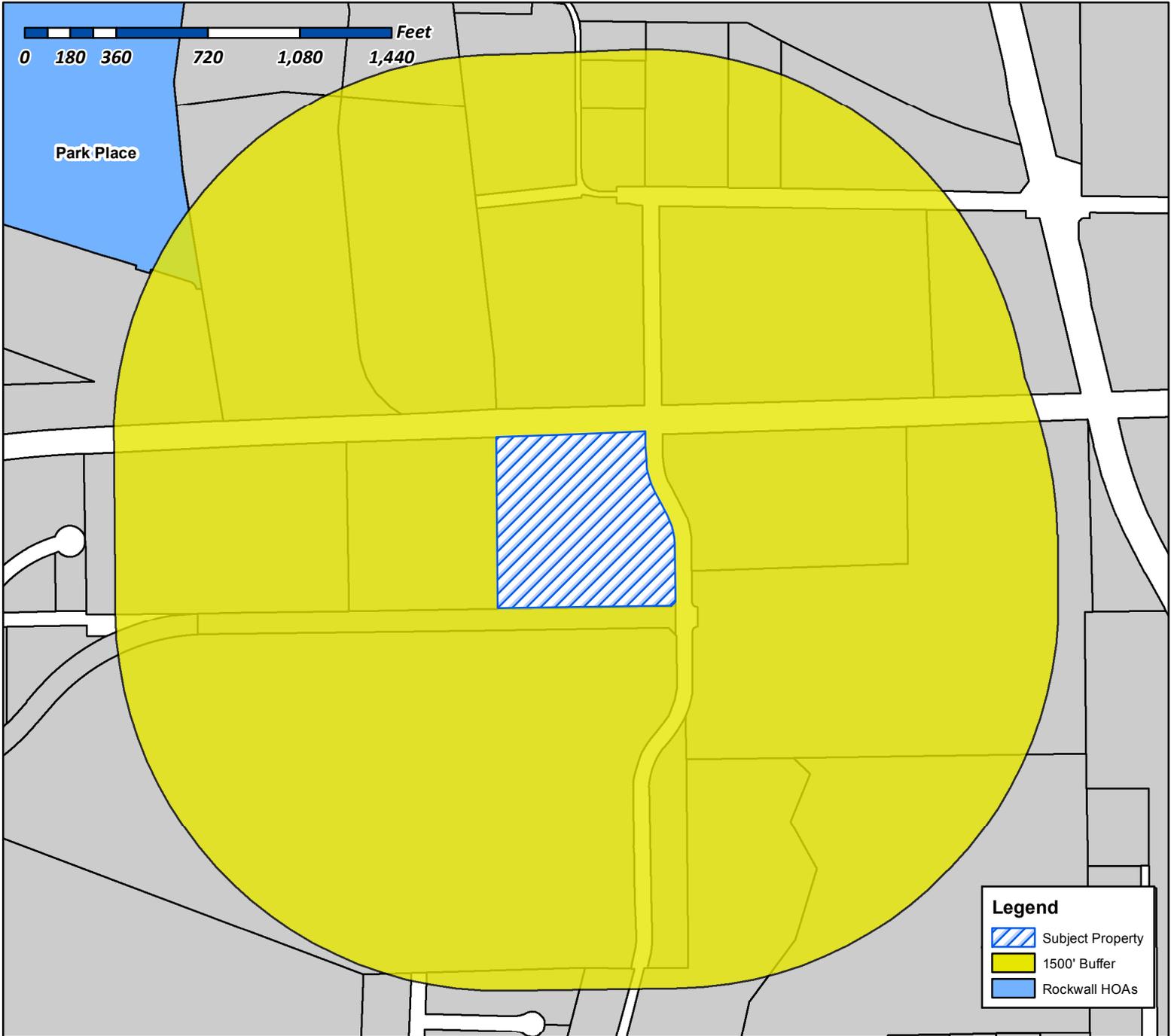




# City of Rockwall

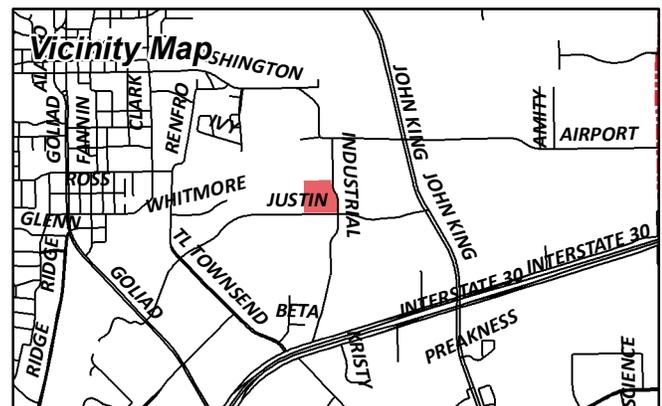
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-022  
**Case Name:** SUP for SPR Packaging  
**Case Type:** Specific Use Permit  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1480 Justin Road

**Date Created:** 07/14/2016  
 For Questions on this Case Call (972) 771-7745



## Gonzales, David

---

**From:** Morales, Laura  
**Sent:** Wednesday, July 20, 2016 11:22 AM  
**To:** 'barrybuchanan@ebby.com'; 'bill@colventures.com'  
**Cc:** Miller, Ryan; Gonzales, David; Brooks, Korey  
**Subject:** Neighborhood Notification Program: Notice of zoning request

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-022- Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

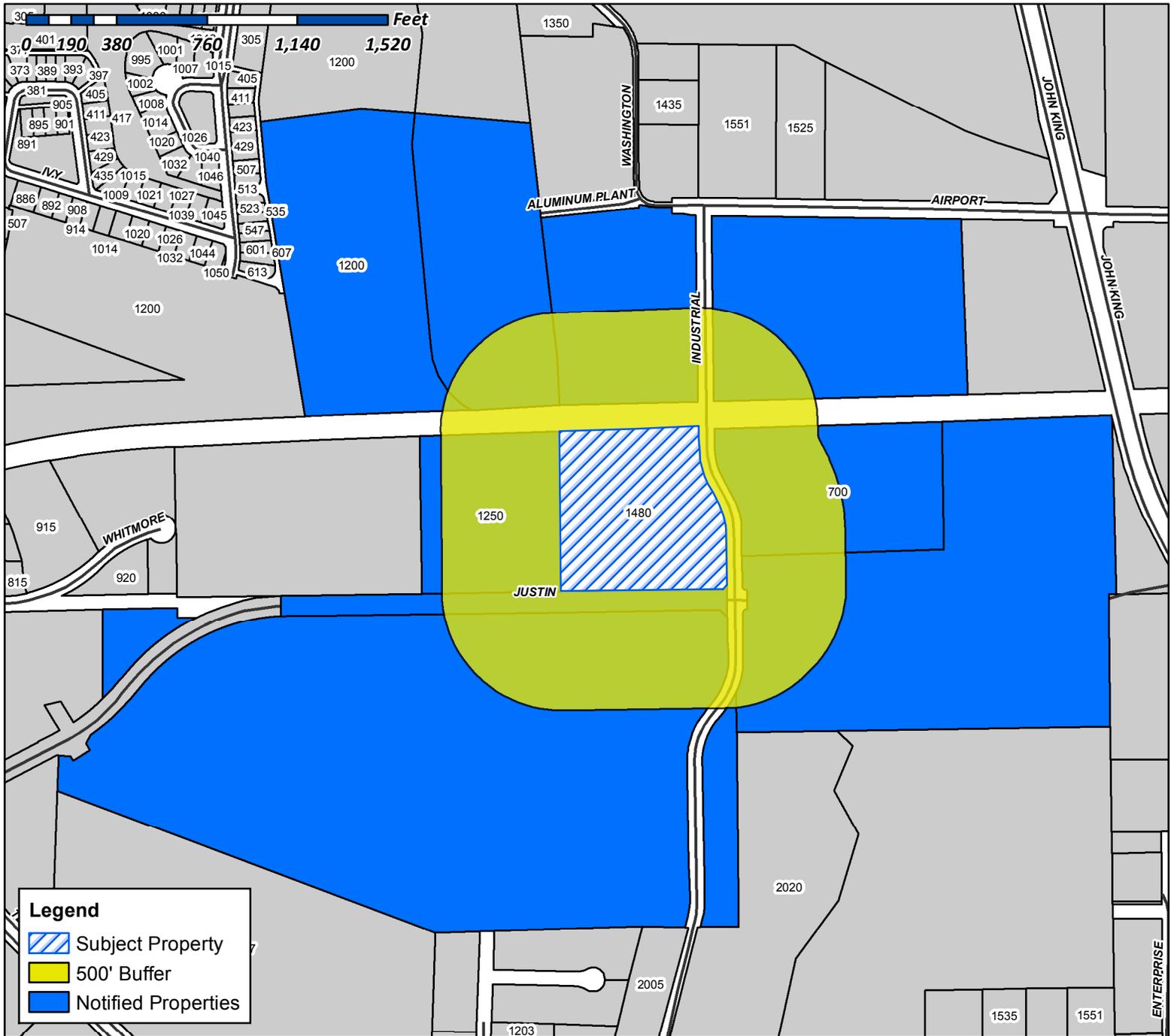
Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>



# City of Rockwall

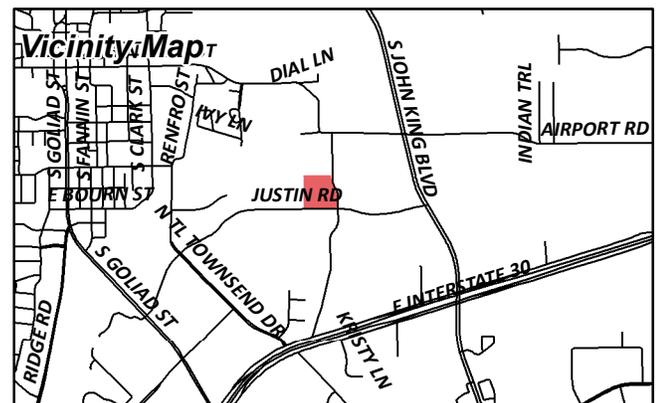
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-022  
**Case Name:** SUP for SPR Packaging  
**Case Type:** Specific Use Permit  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1480 Justin Road

**Date Created:** 07/14/2016  
**For Questions on this Case Call** (972) 771-7745





# NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2016-022: SUP for SPR Packaging**

*Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height in a Light Industrial (LI) District in conjunction with an existing manufacturing facility situated on 10.1893-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 8/9/2016 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 8/15/2016 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **8/15/2016** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

PLEASE RETURN THE BELOW FORM

**Case No. Z2016-022: SUP for SPR Packaging**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SMARTT LOFLAND & J BOND PTNRS  
1 CARMARTHEN CT  
DALLAS, TX 75225

CURRENT RESIDENT  
1200 E WASHINGTON  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1250 JUSTIN RD  
ROCKWALL, TX 75087

FLEXLAND LP  
1480 JUSTIN RD  
ROCKWALL, TX 75087

ALVAPLAST US INC  
1480 JUSTIN RD  
ROCKWALL, TX 75087

CONTINENTAL PET TECHNOLOGY  
GRAHAM PACKAGING PET TECH INC  
2401 PLEASANT VALLEY RD  
YORK, PA 17402

COLUMBIA EXTRUSION CORP  
ATTN: BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

ROCKWALL COMMERCIAL PROPERTY  
MANAGEMENT LLC  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
700 INDUSTRIAL  
ROCKWALL, TX 75087

WHITMORE MANUFACTURING CO  
930 WHITMORE DRIVE  
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

CITY OF ROCKWALL

ORDINANCE NO. 16-

SPECIFIC USE PERMIT NO. S-155

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) ALLOWING FOR A STRUCTURE TO EXCEED THE MAXIMUM HEIGHT REQUIREMENT WITHIN A LIGHT INDUSTRIAL (LI) DISTRICT, BEING A 10.1893-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK A, SPR PACKAGING ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 1480 JUSTIN ROAD, AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND DEPICTED IN EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Mark W. Pross of Pross Design Group, Inc. on behalf of Robert Reece of SPR Packaging, LLC for the approval of a Specific Use Permit (SUP) to allow for a structure to exceed sixty (60) feet in height within a Light Industrial (LI) District, being an 10.1893-acre parcel of land identified as Lot 2, Block A of the SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, addressed as 1480 Justin Road, and more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a structure exceeding the maximum height for structures within a Light Industrial (LI) District on the *Subject property*; and

**Section 2.** That the *Subject Property* shall be developed and used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance granted herein and shall be subject to the conditions set forth in *Article V, District Development Standards, Section 5.1, Light Industrial*

(LI) District, and Article V, District Development Standards, Section 5.3.C.12., Maximum Building Height for Light Industrial Districts, of the City of Rockwall's Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

## 2.1 Operational Conditions

The following conditions pertain to the vertical expansion of the existing facility on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) Adherence to Engineering and Fire Department standards; and,
- 2) That the height of the high-bays and the overall structure shall not exceed a maximum height of 71-ft, as depicted in the building elevations submitted; and,
- 3) That the new expansion generally conform to the expansion area depicted in the site plan and building elevations; and,
- 4) That the City Council reserves the right to review the Specific Use Permit (SUP) any time after the effective date of this ordinance.
- 5) Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**Section 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

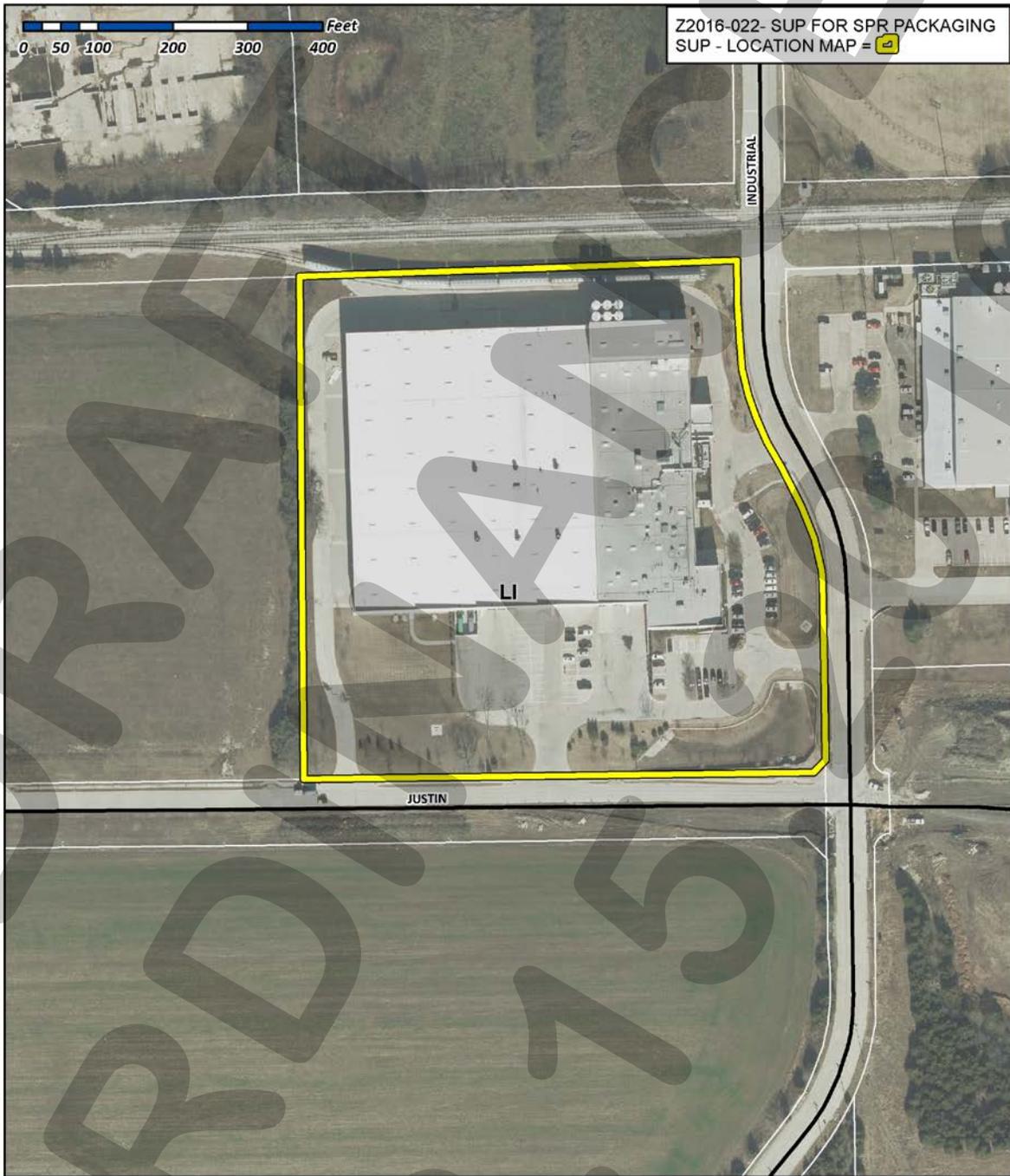
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: \_\_\_\_\_

2<sup>nd</sup> Reading: \_\_\_\_\_

Exhibit 'A'  
Location Map



**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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Exhibit 'B'  
Site Plan & Building Elevations

SPR PACKAGING  
Job No. 16-XX  
Scale: 1/8" = 1'-0"  
A1.0

SPR EXTRUDER TOWER  
HIGH BAY EXPANSION

Rockwell, Texas

DATE: 08/14/16  
BY: [Signature]

PROJECT NO. 16-XX

SCALE: 1/8" = 1'-0"

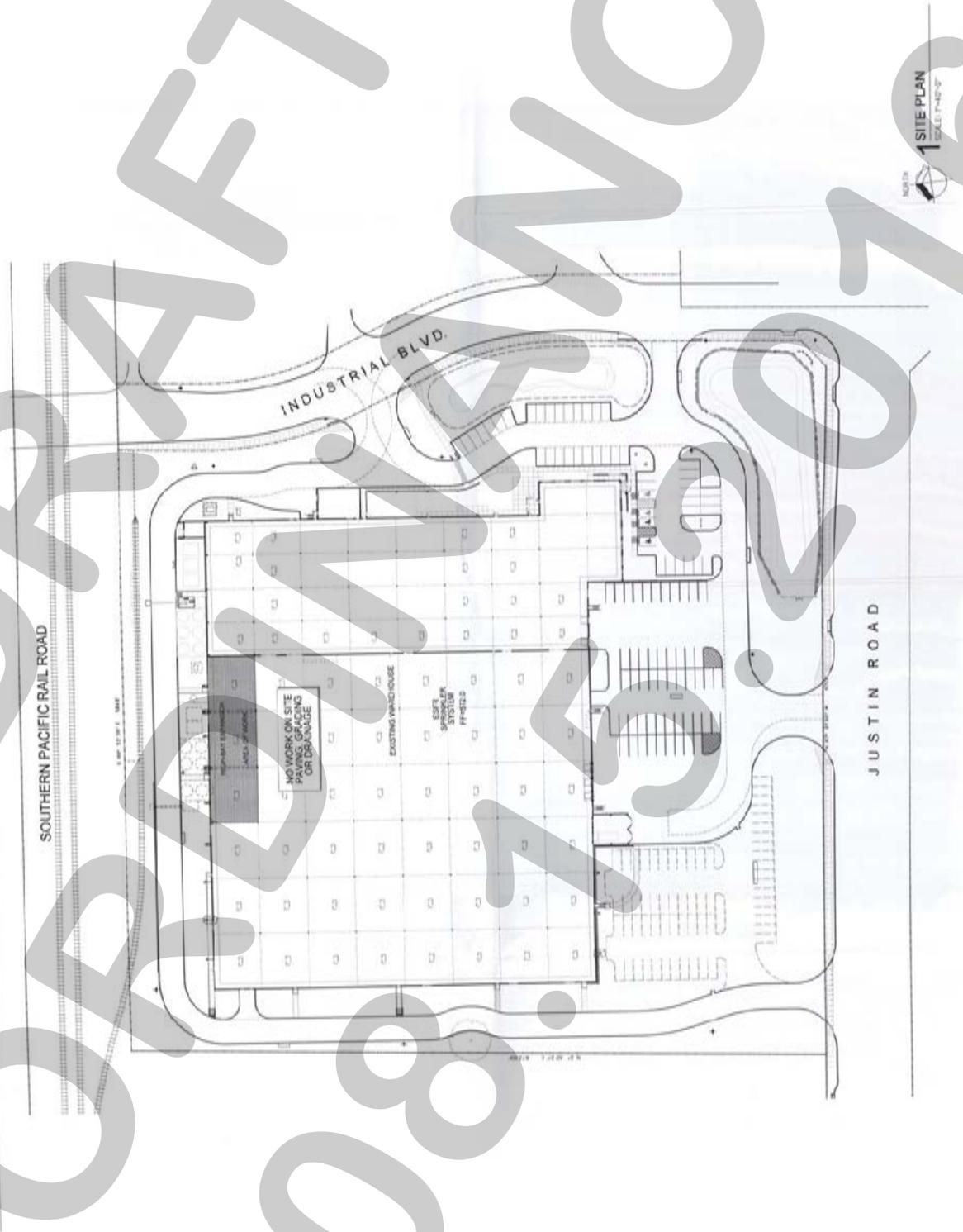
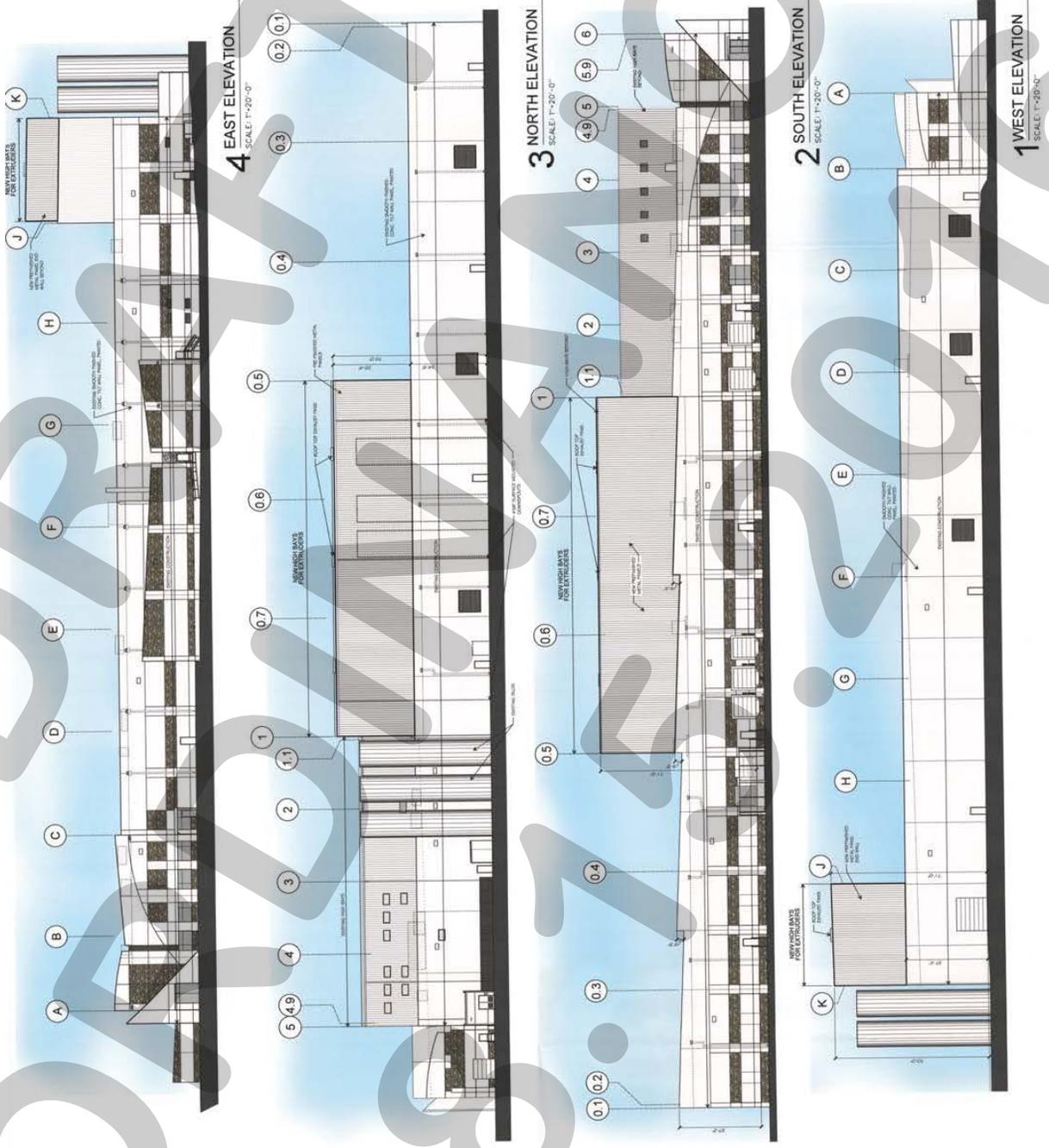


Exhibit 'B'  
Site Plan & Building Elevations

Job No. 160100001  
 SHEET A3.0C  
 SPR EXTRUDER TOWER  
 HIGH BAY EXPANSION  
 Rockwall, Texas  
 pros design group, Incorporated  
 10000 Rockwall Road, Suite 100, Rockwall, Texas 75087, 972/978-1100  
 DATE: 07/17/2016  
 DRAWN: B  
 CHECKED: MARK PROSS  
 SPPR PACKAGING



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Kyle Vrla; Dynamic Engineering Consultants, PC

**AGENDA ITEM:** Z2016-024; *Zoning Change C to HC*

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**SUMMARY:**

Hold a public hearing to discuss and consider a request by Kyle Vrla of Dynamic Engineering Consultants, PC on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of a zoning change from a Commercial (C) District to a Heavy Commercial (HC) District for a 6.588-acre portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located south of the intersection of Sids Road and SH-205 [*S. Goliad Street*], and take any action necessary.

**BACKGROUND INFORMATION AND PURPOSE:**

The subject property is a 6.588-acre portion of a larger 24.818-acre tract of land located south of the intersection of Sids Road and SH-205 [*S. Goliad Street*]. The intent of the current request is to rezone the property from a Commercial (C) District to a Heavy Commercial (HC) District for the purpose of constructing a major auto repair garage (i.e. auto body shop) which is permitted by right in a Heavy Commercial (HC) District. According to the applicant, the proposed body shop will not be open to the general public. The applicant has stated that vehicles will be taken to the location for service and then returned to the auto dealership (i.e Rockwall Ford) for the customer to pick-up. The remainder of the tract of land is zoned Heavy Commercial (HC) District.

**ADJACENT LAND USES AND ACCESS:**

The land uses adjacent to the subject property are as follows:

***North:*** Directly north of the subject property are two (2) properties. One property is an 8.868-acre parcel zoned PD-44 for commercial land uses, and allowing a commercial trucking operation. Currently, the property has a commercial trucking facility operating on it. The second property is a 1.617-acre parcel of land zoned Commercial (C) District. This property is currently occupied by Fuji Dental Lab.

***South:*** Directly south of the subject property is a 58.72-acre tract of land zoned Commercial (C) District and Heavy Commercial (HC) District that is currently vacant.

***East:*** Directly east of the subject property is remainder of the 24.818-acre tract of land zoned Heavy Commercial (HC) District that is currently vacant.

***West:*** Directly west of the subject property is SH-205 [*S. Goliad Street*], which is designated as a TxDOT 6D on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is the Meadow Creek Park-Foxwood Park and the

Meadow Creek Estates Subdivision. This land is zoned PD-10 for residential land uses.

**UNIFIED DEVELOPMENT CODE:**

According to the purpose statements stipulated in Section 4.7, *Heavy Commercial (HC) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Heavy Commercial (HC) District is meant to be utilized as a district that "...provides adequate space and site diversification for commercial establishments that may involve uses that would be objectionable in the other commercial districts or adjacent to residential districts." The UDC goes on to state that this designation is appropriate for properties that have intensive commercial uses and large volumes of retail traffic. Additionally the UDC states that these districts should be buffered so that residential areas are not affected by noise, traffic, litter, late night hours, and other influences that could be harmful to residential areas. In this case, the applicant's property is situated directly adjacent to SH-205 south of the intersection of Sids Road and SH-205, and based on the uses permitted within the district should not create a negative impact with regard to traffic circulation in the area.

With regard to land uses the UDC states the Heavy Commercial (HC) District, "...is commercial in nature, but has some aspects that are similar to industrial uses." Staff has provided a list of the land uses permitted within the Heavy Commercial (HC) District in the attached packet. In addition, the following is a summary of the minimum development standards for a Heavy Commercial (HC) District:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>
<i>Minimum Lot Area</i>	10,000 SF
<i>Minimum Lot Width</i>	60-Feet <sup>1</sup>
<i>Minimum Lot Depth</i>	100-Feet <sup>1</sup>
<i>Minimum Front Yard Setback</i>	15-Feet
<i>Minimum Rear Yard Setback</i>	10-Feet (0-Feet w/ Fire Rated Wall)
<i>Minimum Side Yard Setback</i>	10-Feet (0-Feet w/ Fire Rated Wall)
<i>Maximum Height</i>	240-Feet (Greater Than 36-Feet Requires an SUP)
<i>Max Lot Coverage</i>	60%
<i>Minimum Masonry Requirement</i>	90% <sup>2</sup>
<i>Floor Area Ratio</i>	4:1
<i>Maximum Building Size</i>	25,000 SF (SUP for Greater Than 25,000 SF)
<i>Minimum Landscaping Percentage</i>	10%
<i>Maximum Impervious Coverage</i>	85-90%

Notes: 1. 200-feet when adjacent to IH-30; 2. Including 20% stone.

**CONFORMANCE WITH THE COMPREHENSIVE PLAN:**

The Future Land Use Map, adopted with the Comprehensive Plan, designates the subject property for *Commercial/Industrial* land uses, which is defined as a district with intensive commercial/industrial uses and large volumes of retail traffic. This designation is in conformance with the applicant's request to rezone the subject property to a Heavy Commercial (HC) District.

**NOTIFICATION:**

On July 22, 2016, staff mailed 17 notices to property owners and residents within 500-feet of the subject property. Staff also sent notification to the Flagstone Estates, Meadow Creek Estates, and Hickory Ridge Homeowner's Associations (HOA's), which are the only HOA's located within 1500-feet of the subject property participating in the neighborhood notification program.

Additionally, staff posted a sign along SH-205, which is the only street frontage adjacent to the subject property as required by the Unified Development Code (UDC). At the time this case memo was drafted staff has not received any notices returned.

**RECOMMENDATIONS:**

Attached to this case memo is a draft ordinance for the Planning and Zoning Commission and the City Council's review. If the applicant's request is approved, a site plan for the proposed auto body shop would be required to be submitted.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-024	<b>Owner</b> OSEE, PROPERTY MANAGEMENT LLC	<b>Applied</b> 7/15/2016	<b>LM</b>
<b>Project Name</b> Zoning Change C to HC	<b>Applicant</b> DYNAMIC ENGINEERING CONSULTANTS, PC	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> PD		<b>Expired</b>	
<b>Status</b> STAFF REVIEW		<b>Status</b> 7/15/2016	<b>LM</b>
 <b>Site Address</b> S HWY205		<b>City, State Zip</b> ROCKWALL, TX 75032	
		<b>Zoning</b>	
<b>Subdivision</b> ESTEP SUBDIVISION	<b>Tract</b> 3-13	<b>Block</b> NULL	<b>Lot No</b> 3-13
		<b>Parcel No</b> 0026-0000-0003-13-OR	<b>General Plan</b>

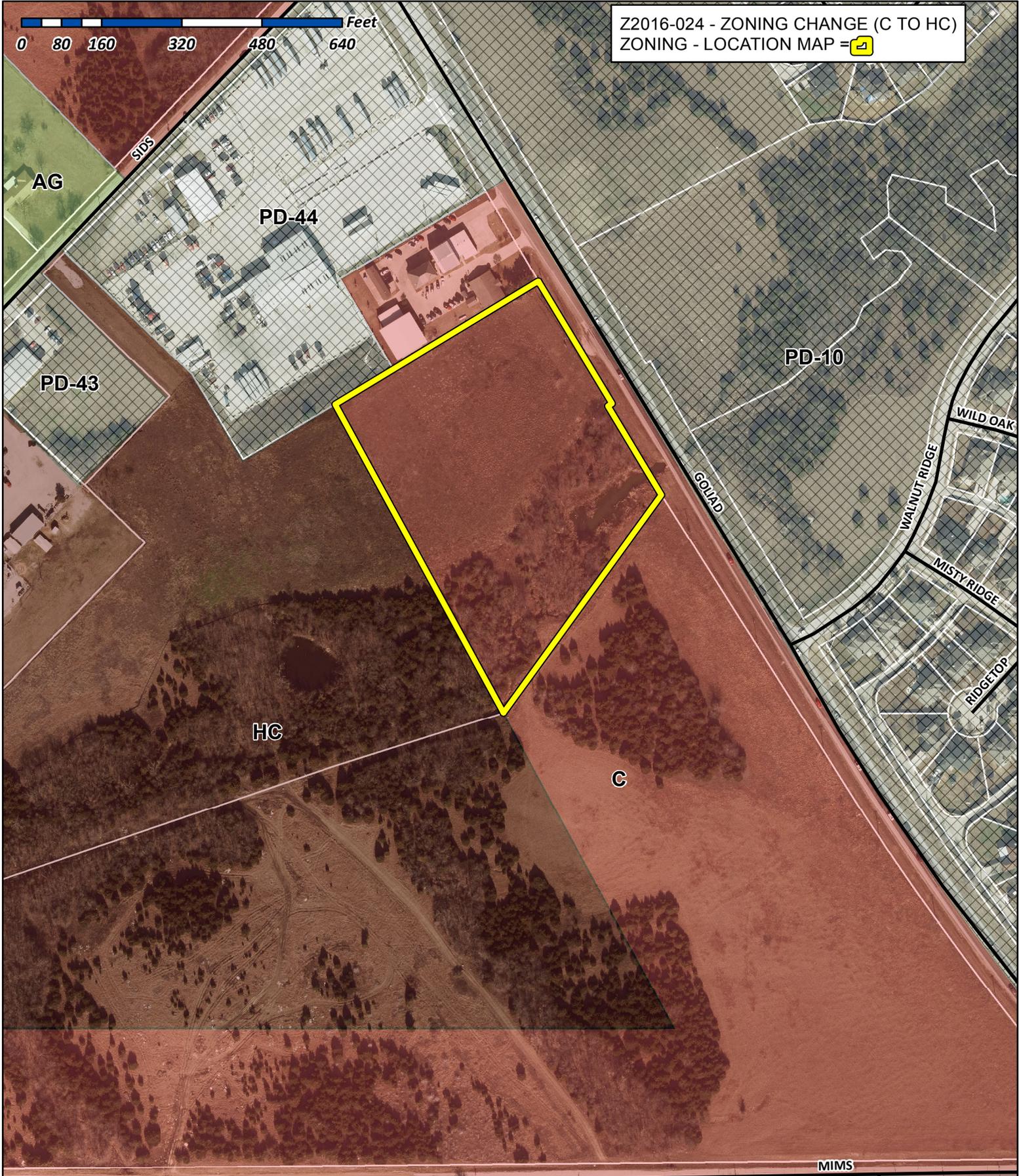
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	7/22/2016	7/29/2016	7/22/2016		APPROVED	
ENGINEERING (7/19/2016 4:37 PM AW) See markups No double stacking of parking All parking shall be 20'x9' unless it is not head to head and adjacent to the building Dedication of SH 205 right-of-way (60' from center line) Pro-rata \$379.24/acre All engineering requirements	Amy Williams	7/15/2016	7/22/2016	7/22/2016	7	COMMENTS	See Conditions
FIRE (7/21/2016 2:45 PM AA) Shall comply with fire apparatus roadway coverage , fire hydrant coverage, and Needed Fire Flow requirements.	Ariana Hargrove	7/15/2016	7/22/2016	7/22/2016	7	COMMENTS	
PLANNING Z2016-024 Zoning Change C to HC: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	7/15/2016	7/22/2016	7/21/2016	6	COMMENTS	Comments

- I.1 This is request by Kyle Vrla of Dynamic Engineering Consultants, PC on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of a zoning change from a Commercial (C) District to a Heavy Commercial (HC) District for a 6.588-acre portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located south of the intersection of Sids Road and SH-205 [S. Goliad Street].
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- I.3 Please review the attached draft ordinance prior to the August 9, 2016 Planning & Zoning Commission meeting.
- I.4 The Future Land Use Map, adopted with the Comprehensive Plan, designates the subject property for Commercial/Industrial land uses, which is defined as a district with intensive commercial/industrial uses and large volumes of retail traffic. This designation is in conformance with the applicant's request to rezone the subject property to a Heavy Commercial (HC) District.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.5						The proposed use, major auto repair garage, is permitted by right in a Heavy Commercial (HC) District.
I.6						The Planning and Zoning Worksession for this case will be July 26, 2016. The Planning and Zoning Meeting will be August 9, 2016. The projected City Council meeting dates for this case will be August 15, 2016 [1st Reading] & September 6, 2016 [2nd Reading].

0 80 160 320 480 640 Feet

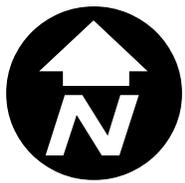
Z2016-024 - ZONING CHANGE (C TO HC)  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

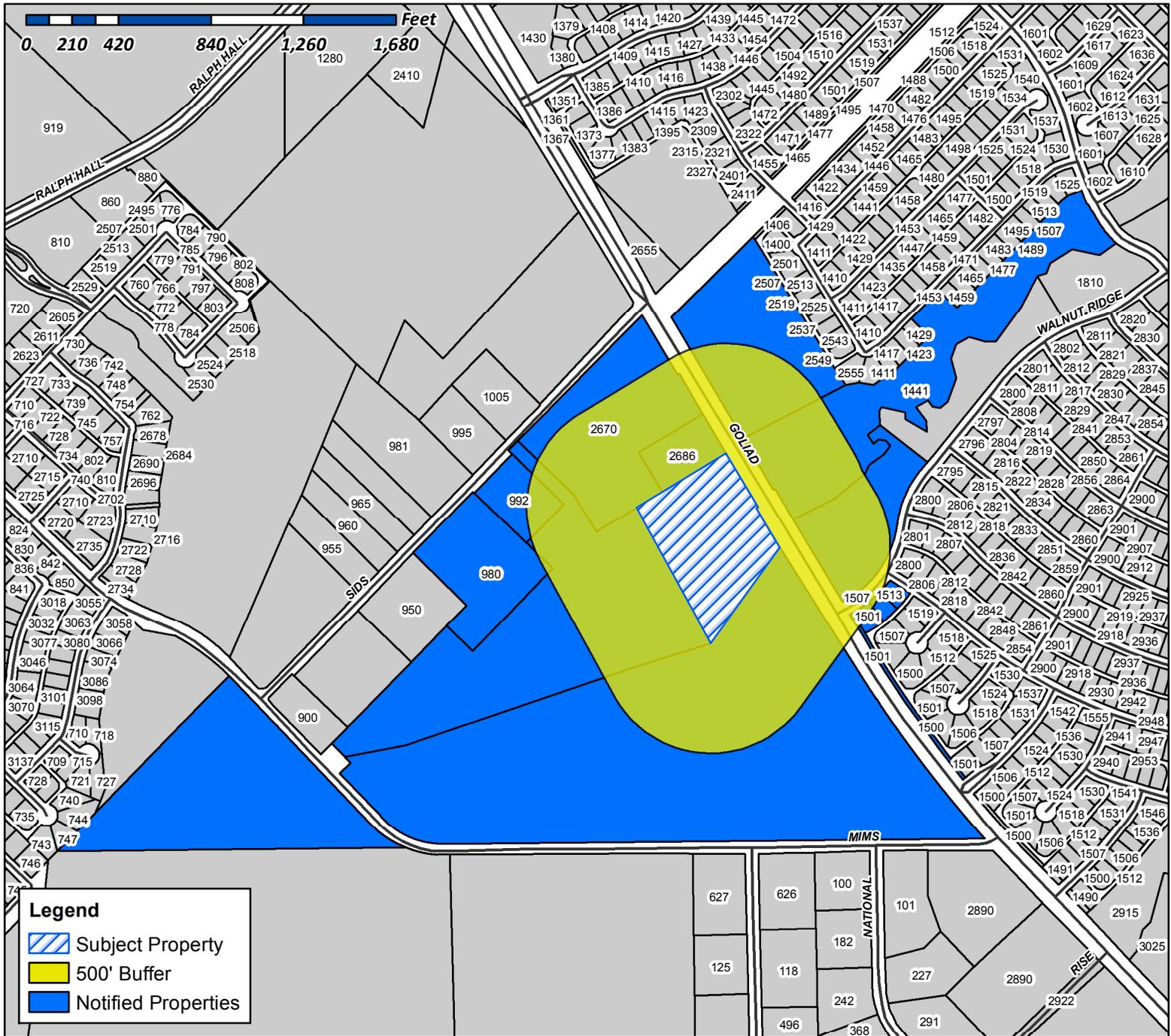
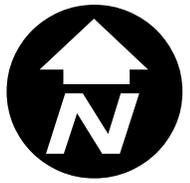




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

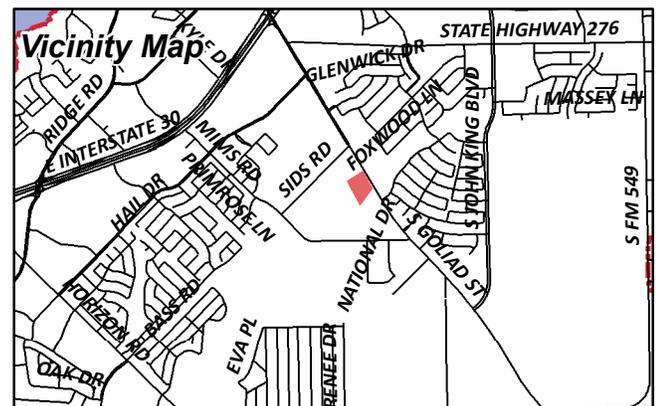
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**Case Number:** Z2016-024  
**Case Name:** Zoning Change (C to HC)  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** South of the Intersection of Sids Road and SH-205

**Date Created:** 07/20/2016

**For Questions on this Case Call (972) 771-7745**



CURRENT RESIDENT  
1441 FOXWOOD LN  
ROCKWALL, TX 75087

MARTINEZ JOSUE  
1501 WALNUT RIDGE DR  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1507 WALNUT RIDGE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1513 WALNUT RIDGE DR  
ROCKWALL, TX 75087

BT COLE ONE LLC  
1530 PB LANE S4158  
WICHITA FALLS, TX 76302

RYSZARD PROPERTIES LLC  
1536 TIMBER RIDGE DR  
ROCKWALL, TX 75032

TRANSAM TRUCKING  
A MISSOURI CORP  
15910 S 169 HWY  
OLATHE, KS 66062

CURRENT RESIDENT  
2670 S GOLIAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2686 S HWY205  
ROCKWALL, TX 75087

STAGLLANO VINCENT J  
5501 SAINT ANDREWS CT  
PLANO, TX 75093

ROCKWALL HICKORY RIDGE HOMEOWNERS  
ASSOC INC  
C/O SBB MANAGEMENT COMPANY  
8360 LBJ FRWY 0  
DALLAS, TX 75243

205 AND 276 PARTNERS  
8750 N CENTRAL EXPY 0  
DALLAS, TX 75231

CURRENT RESIDENT  
980 SIDS RD  
ROCKWALL, TX 75087

SRYGLEY JAMES G  
992 SIDS RD  
ROCKWALL, TX 75032

ESTEP KIP  
PO BOX 2  
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC CORP INC  
PO BOX 37  
ROCKWALL, TX 75087

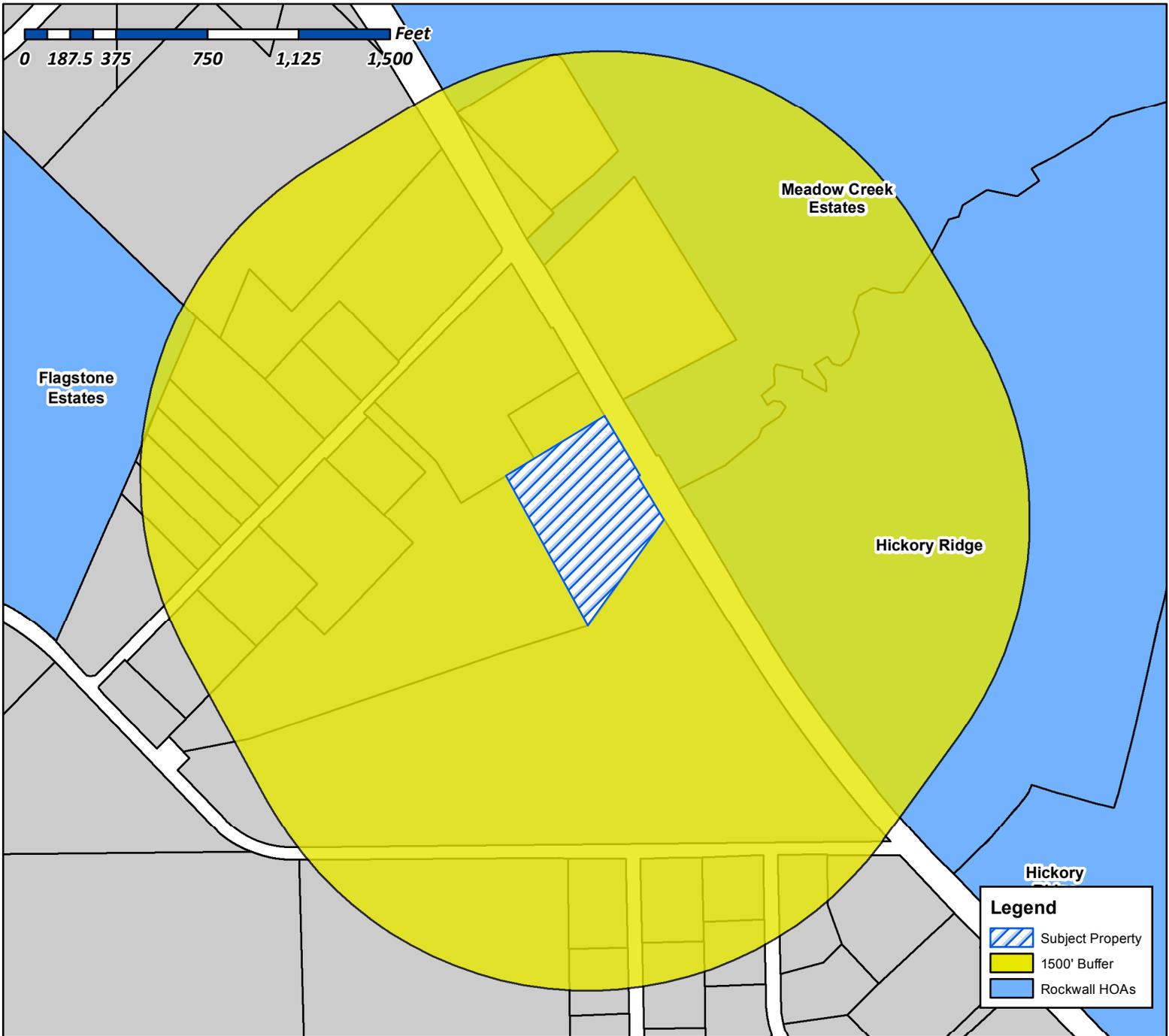
OSEE PROPERTY MANAGEMENT LLC  
PO BOX 59106  
DALLAS, TX 75229



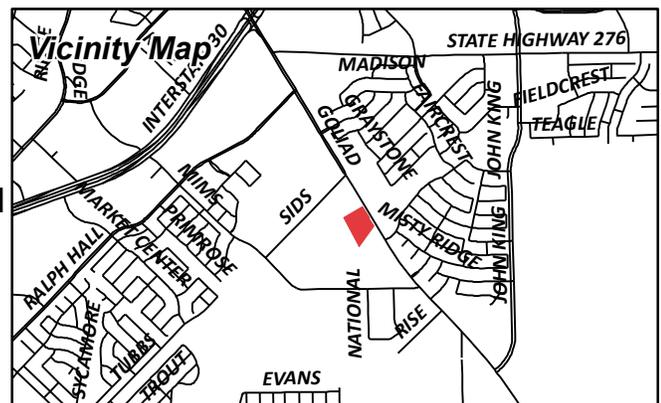
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2016-024  
**Case Name:** Zoning Change (C to HC)  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** South of the Intersection of Sids Road and SH-205



**Date Created:** 07/20/2016

For Questions on this Case Call (972) 771-7745

**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Corey](#)  
**Subject:** Neighborhood Noification Program: Notice of zoning request  
**Date:** Wednesday, July 20, 2016 11:22:11 AM

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-024- Hold a public hearing to discuss and consider a request by Kyle Vrla of Dynamic Engineering Consultants, PC on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of a zoning change from a Commercial (C) District to a Heavy Commercial (HC) District for a five (5) acre portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located south of the intersection of Sids Road and SH-205 [S. Goliad Street], and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>



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July 14, 2016

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

RE: Zoning Change Application  
Letter of Explanation  
SH-205 between Sids Rd. & Mims Rd.  
City of Rockwall  
Rockwall County, Texas

To Whom It May Concern,

This letter of explanation is in connection with the Zoning Change Application submitted today, July 14<sup>th</sup>, 2016 for the property located approximately 765 feet southeast of the intersection of Sids Road and State Highway 205. The current property in question is undeveloped and totals approximately 25 acres with a portion of this area on the south property line within the floodplain. The majority of this site, approximately 20 acres is currently zoned Heavy Commercial (HC) and the remaining five (5) acres, which fronts State Highway 205 is zoned as Commercial (C). This zoning request is being requested to convert the front five (5) acres to Heavy Commercial (HC).

The purpose of the request from Commercial (C) to Heavy Commercial (HC) is to accommodate the development of an Automotive Body Shop for Rockwall Ford, which is currently not allowed within the Commercial district. This facility would be developed as an additional building for Rockwall Ford located at 990 East I-30. The addition of this building will allow the dealership to relocate their current body repair area and free up more space either in their service area or showroom to service more customers at their main facility.

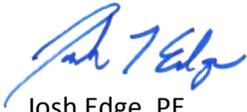
In reviewing the surrounding properties to this re-zoning case, the neighbor to the north is TransAm Trucking which is a freight company that utilizes large trucks and trailers to move goods. On the south side, as described above, the site is bordered by flood plain and heavy tree cover. The west side of the property, which extends back to Sids Road, is currently zoned as Heavy Commercial (HC) as well, which would match with the proposed re-zoning request.

Due to the existing uses and tenants surrounding this site, it's expected that large trucks will often be coming and going nearby the property where the proposed Automotive Body Shop would be located. This truck traffic would not be disruptive to a heavy commercial business like an Automotive Body Shop, but would be disruptive to any retail shop if the property were to remain zoned for commercial use. Additionally, the City of Rockwall Future Land Use Map (11/25/2014) shows the site being used for commercial/industrial purposes, which allows for the development of an Automotive Body Shop.

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Should there be any questions related to this letter of explanation or re-zoning request please do not hesitate to contact me. My phone number is 972-534-2100 and my email is [jedge@dynamicec.com](mailto:jedge@dynamicec.com). Thank you for your attention to this request.

Sincerely,



Josh Edge, PE  
Dynamic Engineering Consultants, PC  
Branch Manager/Principal

## LEGAL DESCRIPTION

BEING a tract of land situated in the W. Barnes Survey Abstract No. 26, City of Rockwall, Rockwall County, Texas and being a part of that tract as conveyed to Edward B. Tomlinson, II, trustee as recorded in Volume 173 page 984, Deed Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a 1/2" Iron stake found on the southerly line of Sids Road, said point being the west corner of the Helwig Addition Replat, an addition to the City of Rockwall, as recorded in Cabinet D, Slide 107, of the Plat Records of Rockwall County, Texas.

Thence, South 46 degrees 11 minutes 22 seconds East, along the southwest line of said Helwig Addition, a distance of 350.77 feet to a 1/2" iron stake found for corner.

Thence, South 31 degrees 11 minutes 43 seconds East, along the southwest line of said Helwig addition, a distance of 199.42 feet to the south corner of said addition, a 1/2" iron stake found for corner.

Thence, North 59 degrees 00 minutes 39 seconds East, along the southeast line of said Helwig tract and the Estep Addition, an addition to the City of Rockwall as recorded in Cabinet E, Slide 273, of said Plat Records, a distance of 687.70 feet to the east corner of said Estep Addition and on the southwest right of way of State Highway 205, a 1/2" iron stake found for corner.

Thence, along the southwest R.O.W. line of State Highway No. 205 the following:

South 31 degrees 01 minutes 38 seconds East, a distance of 283.48 feet to a 1/2" iron stake set for corner

South 56 degrees 21 minutes 23 seconds West, a distance of 10.00 feet to a 1/2" iron stake set for corner.

South 31 degrees 01 minutes 38 seconds East, a distance of 207.28 feet to a 1/2" iron stake set for corner.

Thence, leaving State Highway 205 and along the northerly line of a sanitary sewer easement as conveyed to the City of Rockwall the following;

South 35 degrees 54 minutes 02 seconds West, a distance of 536.27 feet to a 1/2" iron stake set for corner

South 72 degrees 32 minutes 39 seconds West, a distance of 356.75 to a 1/2" iron stake set for corner

South 71 degrees 09 minutes 59 seconds West, a distance of 1106.75 feet to a 1/2" iron stake set for corner

South 79 degrees 18 minutes 43 seconds West, a distance of 276.11 feet to a 1/2" iron stake set for corner

North 43 degrees 21 minutes 38 seconds West, a distance of 84.73 feet to a 1/2" iron stake set for corner

Thence, North 44 degrees 08 minutes 53 seconds East, along the southwest line of a tract conveyed to Richard E. Slaughter, Jr. as recorded in Volume 1531 Page 145 and the southwest line of a tract as

conveyed to Rayburn County Elec. Coop. as recorded in Volume 731 Page 263, a distance of 742.10 feet to a 1/2" iron stake found for corner.

Thence, South 46 degrees 20 minutes 42 seconds East, along a tract as conveyed to Rayburn County Elec. Coop. as recorded in Volume 829 page 111, a distance of 166.66 feet to a 1/2" iron stake found for corner;

Thence, North 44 degrees 01 minutes 26 seconds East, along said tract a distance of 523.25 feet to a 1/2" iron stake found for corner

Thence, North 46 degrees 04 minutes 38 seconds West, a distance of 166.61 feet to the north corner of said Rayburn County Elec. Coop. Tract, a 1/2" iron stake found for corner.

Thence, North 44 degrees 00 minutes 56 seconds East, along the southwest line of the Pott Shrigley Addition, a distance of 247.54 feet to the west corner of same, a 1/2" iron rod found for corner.

Thence, North 48 degrees 11 minutes 22 seconds West, along the northeast line of said addition, a distance of 351.38 feet to a 1/2" iron rod found for corner.

Thence, North 43 degrees 57 minutes 56 seconds East, along the southerly line of Sids Road, a distance of 60.00 feet to the POINT OF BEGINNING and containing 24.971 acres of land.

# Permitted Land Uses in a Heavy Commercial (HC) District

Date: August, 4, 2016

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Rural & Animal-Related	
Agricultural Uses on Un-Platted Land	P
Animal Boarding/Kennel without Outside Pens	P
Animal Clinic for small animals, no outdoor pens <sup>1</sup>	P
Animal Hospital, Clinic	P

Residential & Lodging	
Accessory Building <sup>1</sup>	P
Caretakers Quarters/Domestic or Security Unit	P
Garage	A

Institutional & Community Service	
Blood Plasma Donor Center	P
Cemetery/ Mausoleum	P
Church/House of Worship <sup>1</sup>	P
College, University, or Seminary	P
Convalescent Care Facility/Nursing Home <sup>1</sup>	P
Day Care (7 or More Children) <sup>1</sup>	P
Emergency Ambulance Services, Ground	P
Government Facility	P
Hospice	P
Hospital	P
Library, Art Gallery or Museum (Public)	P
Mortuary or Funeral Chapel	P
Post Office, Local Service	P
Post Office, Regional	P
Prison/Custodial Institution	P
Public or Private School, Primary <sup>1</sup>	P
Public or Private School, Secondary <sup>1</sup>	P
Public or Private School Temporary Education Building <sup>1</sup>	S
Rescue Mission or Shelter for the Homeless	S
Social Service Provider, except Rescue Mission or Homeless Shelter	P

Office & Professional	
Financial Institution with Drive-Through <sup>1</sup>	P
Financial Institution without Drive-Through	P
Office, General	P
Office Building, less than 5,000 Sq. Ft.	P
Office Building, 5,000 Sq. Ft. or more	P

Recreation, Entertainment & Amusement	
Carnival, Circus, or Amusement Ride, Temporary <sup>1</sup>	P
Commercial Amusement/ Recreation (Inside) <sup>1</sup>	P
Commercial Amusement/ Recreation (Outside)	P
Community or Recreation Club, Public or Private (Accessory)	P
Country Club, Private	P
Golf Driving Range	P
Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary <sup>1</sup>	P
Gun Club, Skeet or Target Range (Indoor)	P
Health Club	P
Private Club, Lodge or Fraternal Organization	P
Private Sports Arena, Stadium or Track	P



# Permitted Land Uses in a Heavy Commercial (HC) District

Date: August, 4, 2016

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Public Park or Playground	P
Tennis Courts (Not accessory to a public or private club)	P
Theater	P

Retail & Personal Services	
Antique/Collectable Store	P
Astrologer, Hypnotist, or Physical Art and Science	P
Banquet Facility	P
Beverage and/or Food Service Facility (Portable)	S
Business School	P
Catering Service	P
Christmas Tree Sales Lot and Similar Uses (Temporary)	P
Copy Center	P
Display (Incidental)	P
Garden Supply/Plant Nursery	P
General Personal Service	P
General Retail Store	P
Hair Salon, Manicurist	P
Laundry (Dropoff/Pickup)	P
Laundry (Self Service)	P
Massage Therapist	P
Night Club, Discoteque, or Dance Hall	P
Pawn Shop	S
Pet Shop	P
Private Club <sup>1</sup>	P
Real Estate Sales Office, On Site, Temporary <sup>1</sup>	P
Rental Store, without Outside Storage and Display	P
Restaurant, Less than 2000 Sq. Ft., w/ Drive-Thru or Drive-in <sup>1</sup>	S
Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru or Drive-in	P
Restaurant, 2000 Sq. Ft. or more, w/ Drive-Thru or Drive-in <sup>1</sup>	P
Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru or Drive-in	P
Restaurant with accessory Private Club or Brew Pub <sup>1</sup>	P
Retail store with gasoline product sales limited to 2 dispensers and 4 vehicles	P
Retail store with more than 2 dispensers	P
Secondhand Dealer	P
Studio - Art, Photography or Music	P
Tailor, Clothing or Apparel Shop	P
Tattoo, Body Piercing	P
Taxidermist Shop	P
Winery <sup>1</sup>	P

Commercial & Business Services	
Bail Bond Service	P
Building & Landscape Material with Limited Outside Storage <sup>1</sup>	P
Building Maintenance, Service & Sales without Outside Storage	P
Cemetery or Mortuary	S
Cleaners, Commercial	S
Commercial, Other than Listed	P
Custom & Craft Work	P
Electrical, Watch, Clock, Jewelry & Similar Repair	P
Feed Store, Ranch Supply	P
Food Processing	S



# Permitted Land Uses in a Heavy Commercial (HC) District

Date: August, 4, 2016

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Furniture or Cabinet Repair	P
Furniture Upholstery, Refinishing or Resale	P
Gunsmith Repair and Sales	P
Heavy Machinery & Equipment (Rental, Sales & Service)	P
Locksmith	P
Machine Shop	P
Medical or Scientific Research Lab	P
Mobile Home/Trailer Sales Lot	S
Research & Technology / Light Assembly	P
Shoe and Boot Repair and Sales	P
Trade School	P
Temporary On-site Construction Office <sup>1</sup>	P

Auto & Marine-Related	
Auto Repair Garage, Major <sup>1</sup>	P
Auto Repair Garage, Minor <sup>1</sup>	P
Automobile Rental	P
Boat & Trailer Dealership (New and Used) <sup>1</sup>	P
Car Wash/Auto Detail <sup>1</sup>	P
Car Wash, Self Service	P
Indoor Motor Vehicle Dealership/Showroom, New and/or Used <sup>1</sup>	S
Motor Vehicle Dealership, New (Cars and Light Trucks) <sup>1</sup>	P
Motor Vehicle Dealership, Used (Cars and Light Trucks) <sup>1</sup>	A
Parking, Commercial	P
Parking Lot, non-commercial	P
Recreational Vehicle (RV) Sales and Service	P
Service Station <sup>1</sup>	P
Towing & Impound Yard	S
Towing Service, No Storage	P
Truck Rental	P
Truck Stop with Fuel and Accessory Services <sup>1</sup>	S

Industrial & Manufacturing	
Asphalt or Concrete Batch Plant, Temporary <sup>1</sup>	P
Carpet and Rug Cleaning	S
Environmentally Hazardous Materials <sup>1</sup>	S
Food Processing (No Slaughtering)	S
Light Assembly & Fabrication	P
Manufacturing, Heavy	S
Manufacturing, Light	P
Mining and Extraction (Sand, Gravel Oil & other) <sup>1</sup>	S
Monument Works, Stone and Metal	S
Printing & Publishing	P
Salvage or Reclamation of Products (Indoors)	S
Sheet Metal Shop	P
Welding Repair	P

Wholesale, Distribution & Storage	
Cold Storage Plant	P
Heavy Construction Trade Yard	S
Mini-warehouse <sup>1</sup>	P
Outside Storage <sup>1</sup>	P



# Permitted Land Uses in a Heavy Commercial (HC) District

Date: August, 4, 2016

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; <sup>1</sup>: Additional Requirements

Recycling Collection Center	S
Warehouse/ Distribution Center	P
Wholesale Showroom Facility	P

Utilities, Communications & Transportation	
Airport, Heliport or Landing Field	S
Antenna, Accessory <sup>1</sup>	P
Antenna, Commercial <sup>1</sup>	S
Antenna, Amateur Radio <sup>1</sup>	P
Antenna, Dish <sup>1</sup>	P
Antenna, Commercial, Free-Standing <sup>1</sup>	S
Antenna, Commercial, Mounted <sup>1</sup>	S
Bus Charter Service & Service Facility	P
Helipad	S
Utilities (Non-Municipally owned or Controlled), including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	S
Municipally Owned or Controlled Facilities, Utilities and Uses	P
Private Streets	S
Radio Broadcasting	P
Railroad Yard or Shop	S
Recording Studio	P
Satellite Dish <sup>1</sup>	P
Solar Energy Collector Panels and Systems <sup>1</sup>	P
Transit Passenger Facility	S
Trucking Company	P
TV Broadcasting & Other Communication Service	P
Utilities Holding a Franchise from City of Rockwall	P
Utility Installation, Other than Listed	S
Utility/ Transmission Lines	S
Wireless Communication Tower	S



CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A CHANGE IN ZONING FROM A COMMERCIAL (C) DISTRICT TO A HEAVY COMMERCIAL (HC) DISTRICT FOR A 6.588-ACRE PORTION OF A LARGER 24.818-ACRE TRACT OF LAND IDENTIFIED AS TRACT 3-13 OF THE W. H. BARNES SURVEY, ABSTRACT NO. 26, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Kyle Vrla of Dynamic Engineering Consultants, PC, on behalf of the owner Wilson Osee of Osee Properties, LLC for the approval of an amendment to the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall to adopt a change in zoning from a Commercial (C) District to a Heavy Commercial (HC) District for a 6.588-acre portion of a larger 24.818-acre tract of land identified as Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, and more specifically depicted in Exhibit 'A' and described in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Commercial (C) District to a Heavy Commercial (HC) District; and

**Section 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Heavy Commercial (HC) District* in Section 1.1, "Use of Land and Buildings," of Article IV, "Permissible Uses" and Section 4.7, "Heavy Commercial (HC) District", of Article V, "District Development Standards", of the *Unified Development Code* of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future;

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THIS THE 6TH DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: *August, 15, 2016*

2<sup>nd</sup> Reading: *September, 6, 2016*

Exhibit "A"  
Location Map

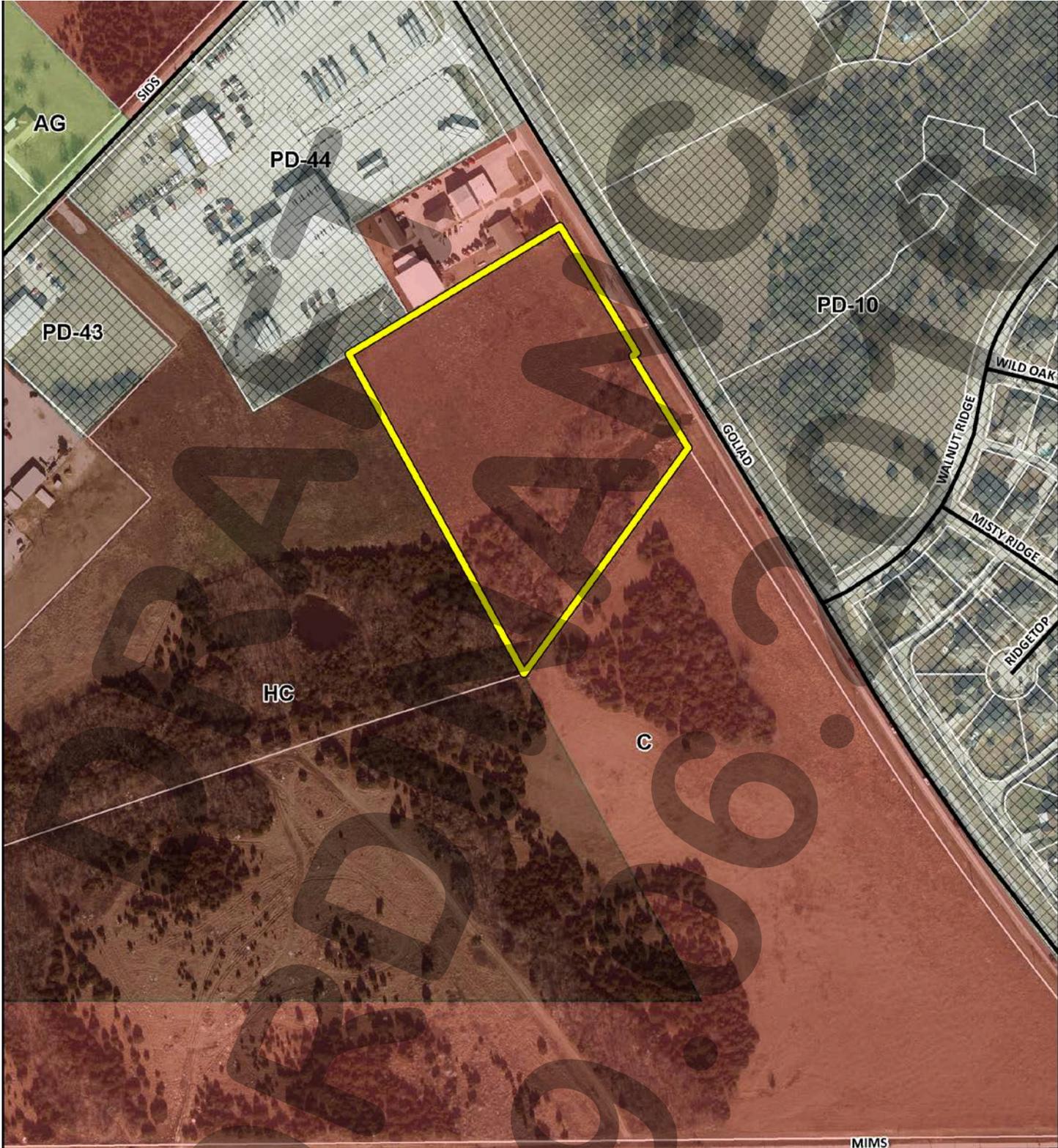


Exhibit "B"  
Legal Description

BEING a tract of land situated in the W. Barnes Survey Abstract No. 26, City of Rockwall, Rockwall County, Texas and being a part of that tract as conveyed to Edward B. Tomlinson, II, trustee as recorded in Volume 173 page 984, Deed Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a 1/2" Iron stake found on the southerly line of Sids Road, said point being the west corner of the Helwig Addition Replat, an addition to the City of Rockwall, as recorded in Cabinet D, Slide 107, of the Plat Records of Rockwall County, Texas.

Thence, South 46 degrees 11 minutes 22 seconds East, along the southwest line of said Helwig Addition, a distance of 350.77 feet to a 1/2" iron stake found for corner.

Thence, South 31 degrees 11 minutes 43 seconds East, along the southwest line of said Helwig addition, a distance of 199.42 feet to the south corner of said addition, a 1/2" iron stake found for corner.

Thence, North 59 degrees 00 minutes 39 seconds East, along the southeast line of said Helwig tract and the Estep Addition, an addition to the City of Rockwall as recorded in Cabinet E, Slide 273, of said Plat Records, a distance of 687.70 feet to the east corner of said Estep Addition and on the southwest right of way of State Highway 205, a 1/2" iron stake found for corner.

Thence, along the southwest R.O.W. line of State Highway No. 205 the following:

South 31 degrees 01 minutes 38 seconds East, a distance of 283.48 feet to a 1/2" iron stake set for corner

South 56 degrees 21 minutes 23 seconds West, a distance of 10.00 feet to a 1/2" iron stake set for corner.

South 31 degrees 01 minutes 38 seconds East, a distance of 207.28 feet to a 1/2" iron stake set for corner.

Thence, leaving State Highway 205 and along the northerly line of a sanitary sewer easement as conveyed to the City of Rockwall the following;

South 35 degrees 54 minutes 02 seconds West, a distance of 536.27 feet to a 1/2" iron stake set for corner

South 72 degrees 32 minutes 39 seconds West, a distance of 356.75 to a 1/2" iron stake set for corner

South 71 degrees 09 minutes 59 seconds West, a distance of 1106.75 feet to a 1/2" iron stake set for corner

South 79 degrees 18 minutes 43 seconds West, a distance of 276.11 feet to a 1/2" iron stake set for corner

North 43 degrees 21 minutes 38 seconds West, a distance of 84.73 feet to a 1/2" iron stake set for corner

Thence, North 44 degrees 08 minutes 53 seconds East, along the southwest line of a tract conveyed to Richard E. Slaughter, Jr. as recorded in Volume 1531 Page 145 and the southwest line of a tract as

Exhibit "B"  
Legal Description

conveyed to Rayburn County Elec. Coop. as recorded in Volume 731 Page 263, a distance of 742.10 feet to a 1/2" iron stake found for corner.

Thence, South 46 degrees 20 minutes 42 seconds East, along a tract as conveyed to Rayburn County Elec. Coop. as recorded in Volume 829 page 111, a distance of 166.66 feet to a 1/2" iron stake found for corner;

Thence, North 44 degrees 01 minutes 26 seconds East, along said tract a distance of 523.25 feet to a 1/2" iron stake found for corner

Thence, North 46 degrees 04 minutes 38 seconds West, a distance of 166.61 feet to the north corner of said Rayburn County Elec. Coop. Tract, a 1/2" iron stake found for corner.

Thence, North 44 degrees 00 minutes 56 seconds East, along the southwest line of the Pott Shrigley Addition, a distance of 247.54 feet to the west corner of same, a 1/2" iron rod found for corner.

Thence, North 48 degrees 11 minutes 22 seconds West, along the northeast line of said addition, a distance of 351.38 feet to a 1/2" iron rod found for corner.

Thence, North 43 degrees 57 minutes 56 seconds East, along the southerly line of Sids Road, a distance of 60.00 feet to the POINT OF BEGINNING and containing 24.971 acres of land.

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Jason Lentz; *Atticus Rockwall, LLC*

**AGENDA ITEM:** **Z2016-025;** *Harbor Urban Center Condominiums*

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### **SUMMARY:**

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

### **BACKGROUND:**

On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as *PD-32* or the *Harbor District*. Within the approved concept plan, *PD-32* was divided into ten (10) subdistrict that contained individual development and land use standards. The subject property is a 3.453-acre tract of land located within the *Interior Subdistrict*, which -- according to the *PD Ordinance* -- is intended "... to provide an area that can function as either office, residential, or senior living ..."

### **REQUEST:**

On July 15, 2016, the applicant, Jason Lentz, submitted an application proposing to develop the subject property with a 245-unit condominium building and structured parking garage. According to the *Subdistrict Land Use Chart* contained in *Exhibit 'D'* of Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the *Urban Residential (Condominium Units Only)* land use is permitted *by-right* within the *Interior Subdistrict*. In addition, *Ordinance No. 10-21* states, "(t)hat no more than 1,161 urban residential units shall be allowed in *PD-32*, which may include condominium and/or townhouse units, in addition to a maximum of 49 single-family zero lot line units (*patio homes*)."  
Currently, 664 of the urban residential units have been entitled (*i.e. Marina Village with 399-units and Summer Lee Condominiums with 265-units*), which leaves a total of 497-units still available. The ordinance does not stipulate a minimum or maximum number of units for any given subdistrict (*i.e. the pool of units is allocated on a first-come-first-serve basis to each development regardless of location as long as condominiums and townhouses are a permitted use within the subdistrict and there are still units available in the pool*).

According to the procedures stipulated in *Section 9.B, Procedures*, of *Ordinance 10-21*, this request -- *being in conformance with the Subdistrict Land Use Chart* -- would generally only be subject to *PD Site Plan* approval by the Planning and Zoning Commission; however, the proposed street extending from Summer Lee Drive to the southeastern corner of the subject property does not conform to the *Street Type G* cross section required by the *Streetscape Plan* contained in *Exhibit 'C'* of the ordinance. Taking this into consideration -- *and in conformance with Section 9.A, Development Plans*, of *Ordinance No. 10-21* -- staff has required the applicant to submit a *PD Development Plan* to allow the City Council discretionary authority over the requested waiver to the streetscape standards.

## **CHARACTERISTICS OF THE WAIVER REQUEST(S):**

The *Streetscape Plan* contained in *Ordinance No. 10-21* calls for a *Street Type G*, which is intended to serve "...as an edge to the open space [areas of the] subdistrict ..." and connect Summer Lee Drive and Ridge Road [FM-740]. Specifically this street section consists of two-way traffic on a 24-foot wide street with eight (8) foot parallel parking spaces along the western side of the roadway (*i.e. adjacent to the condominium project*), an eight (8) foot parkway, and eight (8) foot sidewalks on both sides of the street. The total right-of-way width of this street cross section is 60-feet. In lieu of this, the applicant is proposing a modified street cross section that will consist of two-way traffic on a 24-foot wide street with five (5) foot sidewalks on either side of the street, and a one (1) to two (2) foot parkway. The total right-of-way width of the proposed road section will be 36-feet; however, staff should point out that one (1) foot of the sidewalk will be situated outside of the right-of-way. This means that either the right-of-way width will need to be increase to 37-feet or the additional one (1) foot will need to be put into a *Pedestrian Access Easement* at the time of platting. Staff has included this as a condition of approval.

In reviewing this request, staff has identified an additional waiver to *building placement*, which will be required to be approved along with the applicant's request. Specifically, the *Interior Subdistrict* requires a minimum of a five (5) foot building setback and an average of a 20-foot setback along the *Street Type 'G'*, which the applicant is proposing to modify. In this case, the applicant would be requesting a minimum of a one (1) to two (2) foot building setback along this modified street section. Since a waiver to *building placement* is specifically identified in *Section 9.C, Waivers of Design Standards*, of *Ordinance No. 10-21*, it could be granted at the time of site plan approval by the City Council; however, since the modified street section is causing the *PD Development Plan* staff has included it in this request as a condition in the attached draft ordinance.

## **WAIVER PROCEDURES:**

Since this request [*i.e. a request to modify an established street cross section*] does not fall under the waivers listed in *Section 9.C, Waivers of Design Standards*, of *Ordinance No. 10-21*, the waiver is considered to be an amendment to Planned Development District 32 (PD-32), and in accordance with the amendment process staff has prepared a draft ordinance for the City Council's review (see *attached draft ordinance*). In addition, according to *Ordinance No. 10-21*, "(w)aiuers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission ... (i)n order to approve a waiver the City Council must find that the waiver:

- (a) Meets the general intent of the PD District or Subdistrict in which the property is located; and,
- (b) Will result in an improved project which will be an attractive contribution to the PD District or Subdistrict; and,
- (c) Will not prevent the implementation of the intent of this PD District."

The ordinance also grants the City Council the power to condition any approval to mitigate for potential negative impacts that could result from the approval of a waiver. Staff has provided some conditions for the City Council to review in the *Recommendations* section of this case memo. The conditions have also been placed in the attached draft ordinance. Should the City Council choose to grant the request the applicant will still need to submit a site plan that will be reviewed by the Architectural Review Board (ARB) and the Planning and Zoning Commission. The waiver to the *building placement requirements* is accounted for in the attached draft ordinance.

Staff should point out that if the City Council chooses to deny the request the motion should be based on the street cross section proposed by the applicant and not the land use, as the *Urban Residential (Condominium Units Only)* land use is a permitted *by-right* use in the *Interior Subdistrict*. It should also be mentioned that if the request is denied the applicant does have the ability to submit a site plan for the proposed development, as long as the proposed street cross section is in conformance to the *Streetscape Plan* contained in *Ordinance No. 10-21*.

## **NOTIFICATION:**

On July 22, 2016, staff mailed 84 notices to property owners and residents within 500-feet of the subject property. Staff also emailed notices to the Lakeside Village, Lago Vista and Signal Ridge Homeowner's Associations (HOA), which are the only HOA's located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property along Summer Lee Drive as required by the Unified Development Code (UDC). At the time, this case memo was drafted two (2) responses in favor of the request and three (3) responses opposed to the request were received by staff.

## **RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for waivers to the requirements of Planned Development District 32 (PD-32), then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance and which are as follows:
  - (a) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G<sub>1</sub>'* standards stipulated in *Exhibit 'D'* of the attached draft ordinance; and,
  - (b) The minimum building setback adjacent to *Street Type 'G<sub>1</sub>'* shall be two (2) feet. This can be reduced to one (1) foot if the right-of-way width is increased to 37-feet; and,
  - (c) Any portion of the sidewalk situated outside of the right-of-way shall be required to be placed within a *Pedestrian Access Easement* on the final plat; and,
  - (d) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and the attached draft ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
  - (e) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
  - (f) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
  - (g) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.
- 2) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-025	<b>Owner</b> ATTICUS, REAL ESTATE SERVICES INC	<b>Applied</b> 7/15/2016	<b>LM</b>
<b>Project Name</b> Harbor Urban Center Condominiums	<b>Applicant</b> ATTICUS ROCKWALL LLC	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> PD		<b>Expired</b>	
<b>Status</b> STAFF REVIEW		<b>Status</b> 7/15/2016	<b>LM</b>

<b>Site Address</b> SUMMER LEE	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
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<b>Subdivision</b> MURPHY PLAZA ADDITION PH 2	<b>Tract</b> 5A	<b>Block</b> NULL	<b>Lot No</b> 5A	<b>Parcel No</b> 3160-0000-005A-00-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
ENGINEERING (7/19/2016 4:55 PM AW) Need public street per PD-32 plan Storm water pro-rata \$7226.59/acre Meet all engineering requirements	Amy Williams	7/15/2016	7/22/2016	7/19/2016	4	COMMENTS	See Comments

FIRE (7/21/2016 4:11 PM AA) Fire Apparatus Access Roadway: Approved fire apparatus access roads shall be provided for every building. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.	Ariana Hargrove	7/15/2016	7/22/2016	7/21/2016	6	COMMENTS	See Comments
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Exception: The fire code official is authorized to increase the dimension of 150 feet where:

1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, up to 250-ft.
2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.

Multiple-family residential projects having more than 200 dwelling units shall be provided with two separate and approved fire apparatus access roads . Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

**Fire Hydrant Coverage:**

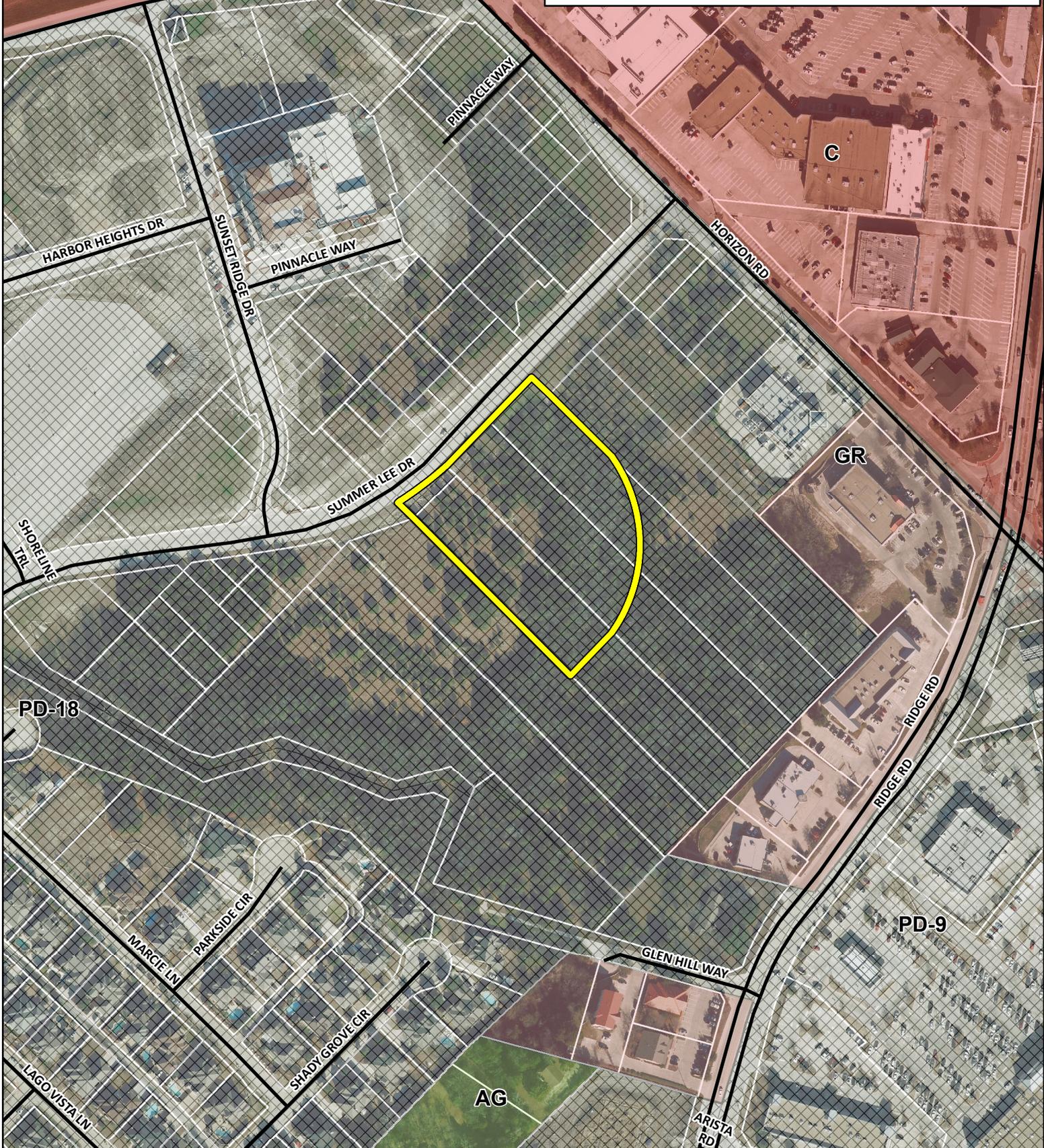
All portions of the exterior walls of the first story of the building shall be within 600-ft. of a fire hydrant as measured by an approved route around the exterior of the facility or building.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Fire Hydrant shall be located within 100-ft. of the Fire Department Connection (FDC) and within 8-ft. of fire apparatus access roadway.						
PLANNING	Ryan Miller	7/15/2016	7/22/2016	7/21/2016	6 COMMENTS	See Comments
Z2016-025 (PD Development Plan for the Harbor Urban Center Condominiums): Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This case is for the PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Residential Subdistrict and within the Scenic Overlay (SOV) District, and located north of the intersection of Ridge Road [FM-740] and Glen Hill Way.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 On all future submittals please include the case number (Z2016-025) in the lower right hand corner.						
I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on August 9, 2016.						
M.5 A legal description covering the area of the townhomes will be required to be submitted prior to the first City Council meeting.						
I.6 Per conversations on July 21, 2016, it is staff's understanding that a public roadway ranging from 36 – 40 feet will be established, extending from Summer Lee Drive to the southwestern corner of the subject property.						
M.7 Provide a site plan that better delineates the requested development (i.e. remove the townhome data on the right side of the page and the line work not relating to this project).						
M.8 Submit four (4) sided elevations of the proposed condominium building. These will be placed in the PD Development ordinance to ensure general conformance is met at the time of site plan (Update 07/21/2016: The applicant stated that the building may be five [5] stories in height. This is permitted but must be established on the submitted building elevations. In addition, the building rendering will need to be updated).						
I.9 Please note that the minimum building height for the first floor is 15-feet. This is intended to provide a commercial look to the first floor of the building. It should also be noted that the Planned Development District does allow for mixed use building should the proposed development wish to incorporate commercial or office uses/flex space on the first floor (Note: most commercial and retail uses require the approval of a Specific Use Permit).						
I.10 Per Ordinance No. 10-21 all elevations shall be required to be reviewed by the Architectural Review Board (ARB). This review will be required at the time of site plan approval.						
I.11 If approved, an open space master plan will be required to be reviewed by the Parks Board prior to City Council approval.						
I.12 If approved, the applicant will be required to submit a site plan and final plat for the subject property.						
M.13 Based on the applicant's submittal staff would make the following recommendations concerning the proposed townhome development:						
1) The development plan should look to incorporate a pedestrian way as required by the Interior Subdistrict's standards. See Page 4 of Resolution No. 10-40 for details on pedestrian ways.						
2) The applicant should incorporate streetscape elements into the condominium development. Staff will require a streetscape plan at the time of site plan.						
3) With regard to the two (2) interior courtyards depicted on the concept plan please see Page 8 of Resolution No. 10-40 for opportunities to add further amenities to the development.						
4) If any portion of the parking garage is going to be visible please be aware that there are requirements contained in Planned Development District 32 (PD-32) to reduce the impact of the exposed parking areas. Additional guidelines are contained on Page 10 of Resolution No. 10-40.						
All recommendations are intended to bring the plan closer into conformance with the City's Comprehensive Plan and with the intent of Planned Development District 32 (PD-32).						
I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on August 2, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2016 Planning & Zoning Meeting.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.15 The projected City Council dates for this case are project to be: 1) August 15, 2016 [1st Reading], and 2) September 6, 2016 (Tuesday) [2nd Reading].						

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E IN 320 TATE 30 D-32

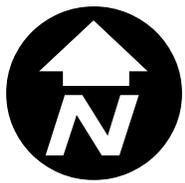
Z2016-025 - HARBOR URBAN CENTER CONDOMINIUMS  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

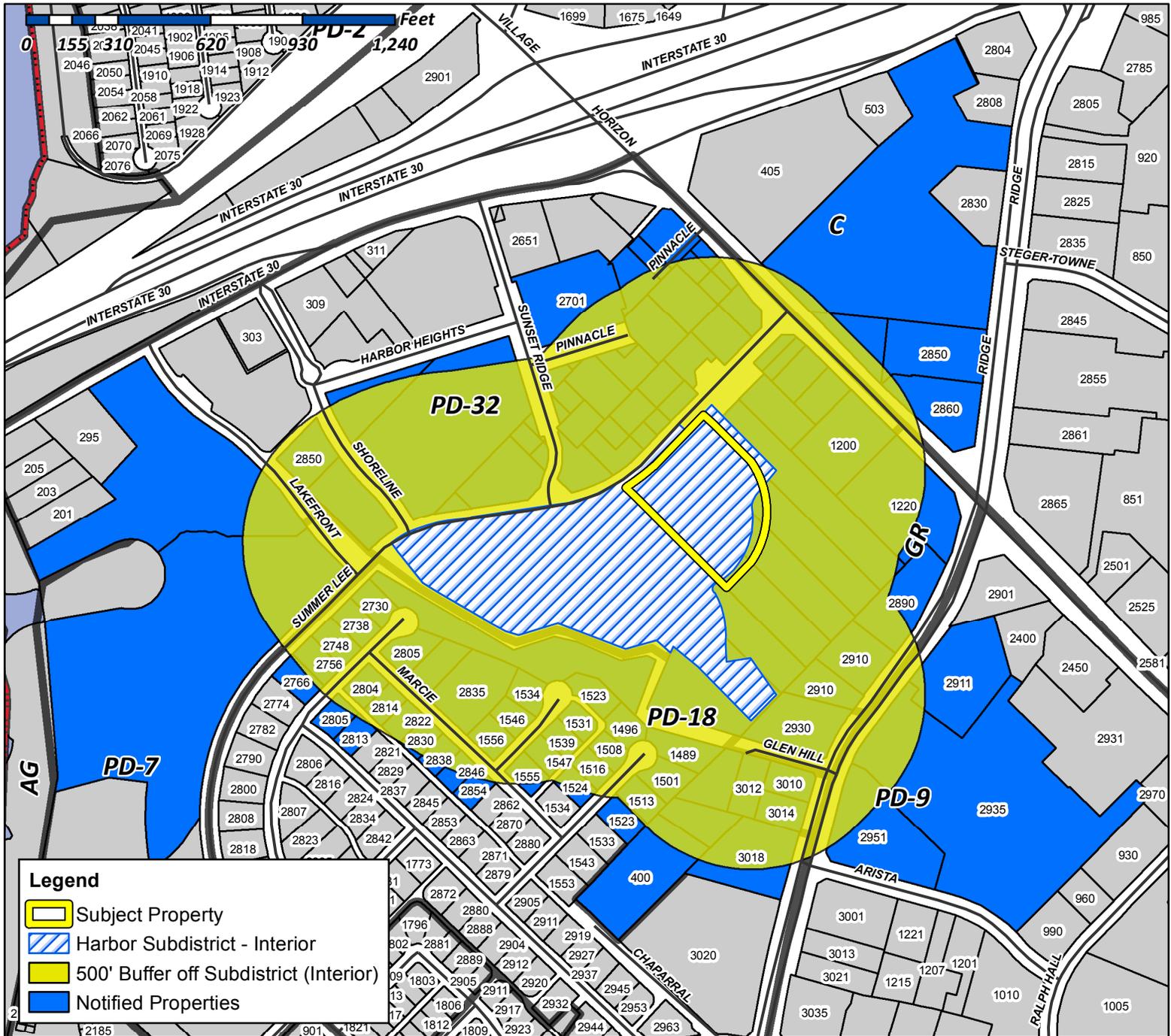




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

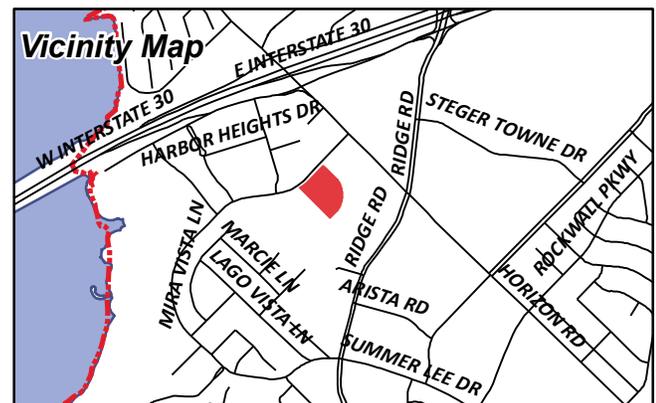
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**Case Number:** Z2016-025  
**Case Name:** Harbor Urban Center Condominiums  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** SW Intersection of Horizon Road and Summer Lee Drive

**Date Created:** 07/19/2016

**For Questions on this Case Call (972) 771-7745**



KROGER TEXAS LP  
1014 VINE STREET  
CINCINNATI, OH 45202

SONG CORPORATION  
1200 HORIZON RD  
ROCKWALL, TX 75032

ANDERSON ALLEN D ETUX  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1220 HORIZON RD  
ROCKWALL, TX 75032

HP ROCKWALL 740 LTD  
C/O GARY P HAMMER  
12720 HILLCREST RD STE 1080  
DALLAS, TX 75230

KROGER TEXAS LP  
1331 E AIRPORT FWY  
IRVING, TX 75062

CAIN DOYLE E  
1375 COUNTY ROAD 2290  
MINEOLA, TX 75773

LONG MINDI N & HAMILTON P  
1489 SHADY GROVE CIRCLE  
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K  
1496 SHADY GROVE CIR  
ROCKWALL, TX 75032

YAYINE BERRE Z  
1501 SHADY GROVE CIRCLE  
ROCKWALL, TX 75087

HURST LEIF AND TIFFANY  
1508 SHADY GROVE CIR  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1513 SHADY GROVE CIR  
ROCKWALL, TX 75032

KUGLE MITCHELL H AND JANIS D  
1516 SHADY GROVE CIR  
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI  
1523 PARKSIDE CIR  
ROCKWALL, TX 75032

STURTZEL GILBERT J III & JEAN A  
1523 SHADY GROVE CIRCLE  
ROCKWALL, TX 75032

BURGUM JILL  
1524 SHADY GROVE CIR  
ROCKWALL, TX 75032

COLEMAN BRUCE R & TRUDY J  
1531 PARKSIDE CIR  
ROCKWALL, TX 75032

JORDAN JAY A & COURTNEY L  
1534 PARKSIDE CIR  
ROCKWALL, TX 75032

CLIFTON LINDA J  
1539 PARKSIDE CIR  
ROCKWALL, TX 75032

JEMISON ROBERT L & KAY F  
1546 PARKSIDE CIR  
ROCKWALL, TX 75032

GOUCHER STEVE AND LISA  
1547 PARKSIDE CIR  
ROCKWALL, TX 75032

DIETZ ROBERT E & NANCY M  
1555 PARKSIDE CIR  
ROCKWALL, TX 75032

RENFRO LAVONDA D & CRAIG R  
1556 PARKSIDE CIR  
ROCKWALL, TX 75032

BENT TREE REALTY CO  
16475 DALLAS PKWY STE 880  
ADDISON, TX 75001

BRYANT JUDY GRACE & LINDA JEAN BRUNETTE  
AND  
DOUGLASS FREDERICK WYGAL  
1714 MARCELLA LN  
ROWLETT, TX 75089

SER TEXAS LLC  
DBA HYPERION HOMES TEXAS LLC  
2 N RIVERSIDE PLAZA #1250  
CHICAGO, IL 60606

BRITTANY PROPERTIES LLC  
201 LAURENCE DR PMB 111  
HEATH, TX 75032

WHITE MICHAEL AND  
MARION E WILSON AND DIMENSIONS REAL  
ESTATE SERVICES LLC  
2304 W WHEATLAND RD  
DALLAS, TX 75232

BRISCOE OIL INC  
2323 STEVENS RD  
ROCKWALL, TX 75032

BRISCOE TOM R/JENNIFER  
2323 STEVENS RD  
ROCKWALL, TX 75032

SELMA HOSPITALITY INC  
2560 ROYAL LN STE 210  
DALLAS, TX 75229

SELMA HOSPITALITY INC  
2560 ROYAL LN STE 210  
DALLAS, TX 75229

JBR2 LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

HARBOR HEIGHTS INVESTORS LP  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

AJ SQUARED LLC  
271 RABBIT RIDGE  
HEATH, TX 75087

THOMPSON GARY  
2730 MIRA VISTA LN  
ROCKWALL, TX 75032

MCKINNEY MARVIN  
2738 MIRA VISTA LANE  
ROCKWALL, TX 75032

ATKINS VIOLA M AND CHRISTOPHER A  
2748 MIRA VISTAL LN  
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M  
2756 MIRA VISTA LN  
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY  
2766 MIRA VISTA LN  
ROCKWALL, TX 75032

YU JOHNNY & HAE SUK  
2804 MARCIE LN  
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS  
2805 LAGO VISTA LN  
ROCKWALL, TX 75032

SAPP PATRICK & SUSIE P  
2805 MARCIE LN  
ROCKWALL, TX 75032

SON KWANG W & BONG N  
2813 LAGO VISTA LN  
ROCKWALL, TX 75032

PAULY DEVIN & JULIE L  
2814 MARCIE LN  
ROCKWALL, TX 75032

FRY ROBIN K & JASON R  
2822 MARCIE LANE  
ROCKWALL, TX 75032

ROSS BRITT & PATRICIA E  
2830 MARCIE LN  
ROCKWALL, TX 75032

NOYORI MITSUE  
2835 MARCIE LN  
ROCKWALL, TX 75032

MANI KARTHICK  
2838 MARCIE LN  
ROCKWALL, TX 75032

JANOWSKI KEVIN C AND  
ELIZABETH A CLINE  
2846 MARCIE LANE  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2850 RIDGE RD  
ROCKWALL, TX 75032

LAKE FRONT TRAIL LP  
2850 SHORELINE TR SUITE 200  
ROCKWALL, TX 75032

SANFORD CLOVIS E & BARBARA  
2854 MARCIE LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2860 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2890 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2910 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2911 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2930 SOUTH RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2935 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2951 RIDGE RD  
ROCKWALL, TX 75032

MINNETONKA CAPITAL INVESTMENTS V LP  
%WALGREEN CO #5827  
300 WILMOT RD  
DEERFIELD, IL 60015

BRITTANY PROPERTIES LLC (69%) &  
MIKE SEALOCK (31%)  
3010 RIDGE RD  
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY  
3010 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3012 RIDGE RD RD  
ROCKWALL, TX 75032

ATTAWAY LISA K  
3014 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3018 RIDGE RD  
ROCKWALL, TX 75032

WANG LIN YU  
3023 E I-30 #D500  
ROCKWALL, TX 75087

MOTON ALVIN D SR & ETHEL  
3419 LILY LN  
ROWLETT, TX 75089

MOTON ETHEL REED  
C/O OF TONY C MOTON  
3419 LILY LN  
ROWLETT, TX 75089

GLEN HILLS CEMETERY  
C/O INEZ GIBSON  
3830 FRANK ST  
DALLAS, TX 75210

CURRENT RESIDENT  
400 CHAPARRAL LN  
ROCKWALL, TX 75032

ATTICUS REAL ESTATE SERVICES INC  
5339 ALPHA RD STE 300  
DALLAS, TX 75240

CLAYTON FAMILY TRUST  
GARY R CLAYTON TRUSTEE  
6915 WINTERWOOD  
DALLAS, TX 75248

CARSON MARK R  
701 N MUNSON RD  
ROYSE CITY, TX 75189

TF HARBOR, LLC  
C/O CREDIT UNION LIQUIDITY SERVICES LLC  
777 E CAMPBELL RD STE 650  
RICHARDSON, TX 75081

HUGHES ROBERT J & PATRICK HUGHES &  
SANDRA FERGUSON  
8030 SAN LEANDRO DR  
DALLAS, TX 75218

1220 HORIZON ROAD LLC  
C/O CVS 7464-02  
OCC EXP DEPT 1 CVS DRIVE  
WOONSOCKET, RI 02895

KRUGER KARIN  
P O BOX 1388  
ROCKWALL, TX 75087

SPATEX GROUP PARTNERSHIP  
C/O GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

EXODUS TRUST  
PO BOX 12263  
DALLAS, TX 75225

LANDAU PROPERTIES LP  
PO BOX 601679  
DALLAS, TX 75360

W & R PROPERTIES INC  
PO BOX 657  
KAUFMAN, TX 75142

ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.



Name: Michael T. White  
Address: 2304 W Wheatland Rd, Dallas, TX 75232

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.



**Name:** Carla Gilbert for Sabre Realty Management Inc.  
**Address:** COIP: 16475 Dallas Parkway, #800 Addison TX 75001  
Center: 2006-2014 S. Goliad Rockwall, TX 75087

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-025: Harbor Urban Center Condominiums

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Until a plan for the additional traffic is designed and put into place, nothing for these tracts should be permitted -- Don't let progress become the citizens burden - Thank You!

Name:

Resident

Address:

Lago Vista Community

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-025: Harbor Urban Center Condominiums**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The reason we moved here was because of the Park-like setting adjacent to the house. The addition of this Condominiums will add unwanted noise and traffic to an already congested intersection of Horizon Rd & I-30.

Name: Mahmoud Hassanizadeh

Address: 1523 Parkside Circle, Rockwall, TX 75032

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-025: Harbor Urban Center Condominiums

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Congestion + Traffic Provides greater influx  
of people traveling in my subdivision

Name: Daryl L. Miller & Canelle Stearns Miller  
Address: 2805 Lago Vista Ln Rockwall Tx 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

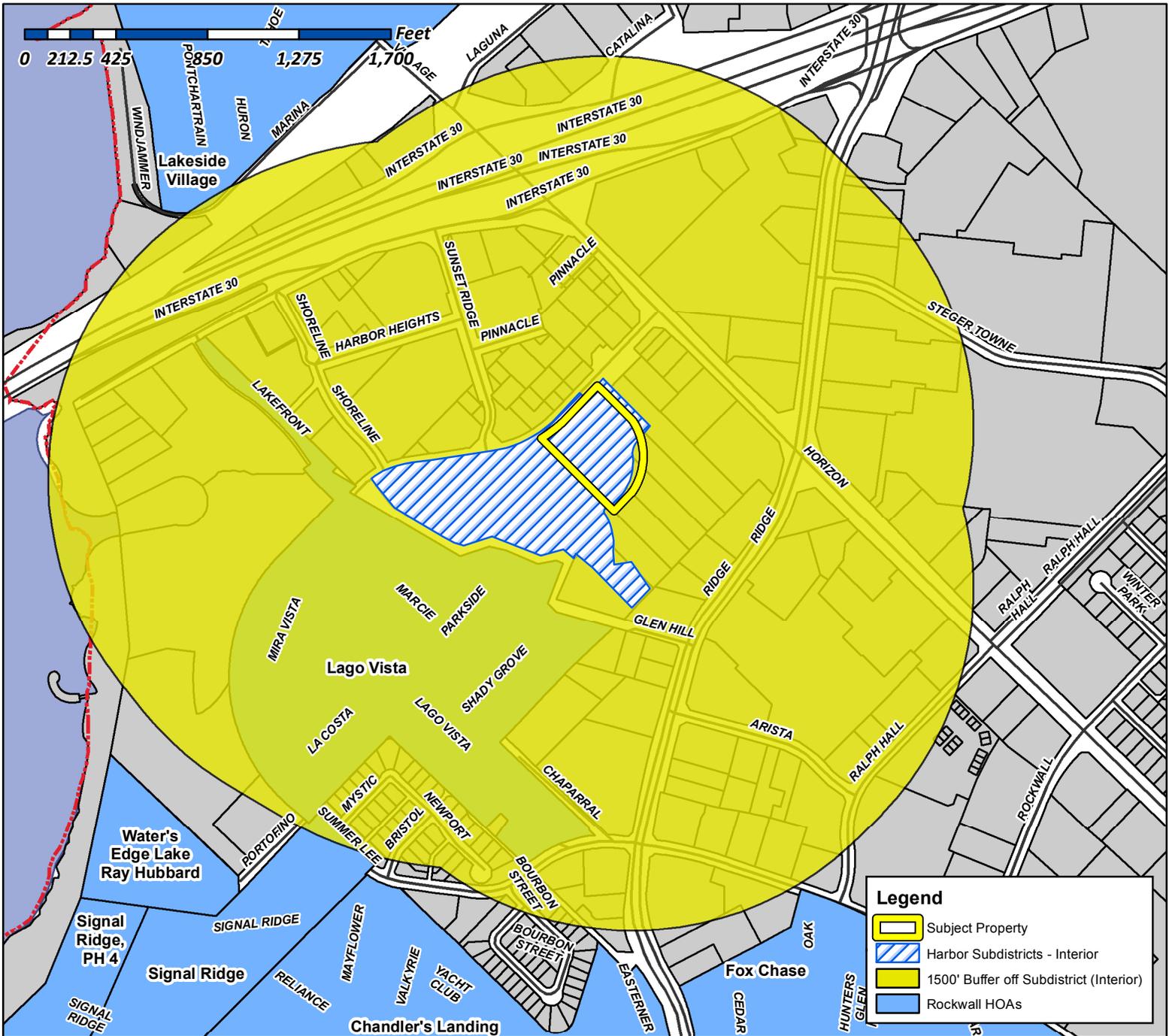
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2016-025  
**Case Name:** Harbor Urban Center Condominiums  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** SW Intersection of Horizon Road and Summer Lee Drive

**Date Created:** 07/19/2016  
**For Questions on this Case Call** (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Wednesday, July 20, 2016 11:22:20 AM

---

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-025- Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing a 245 unit, condo development situated on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict*, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

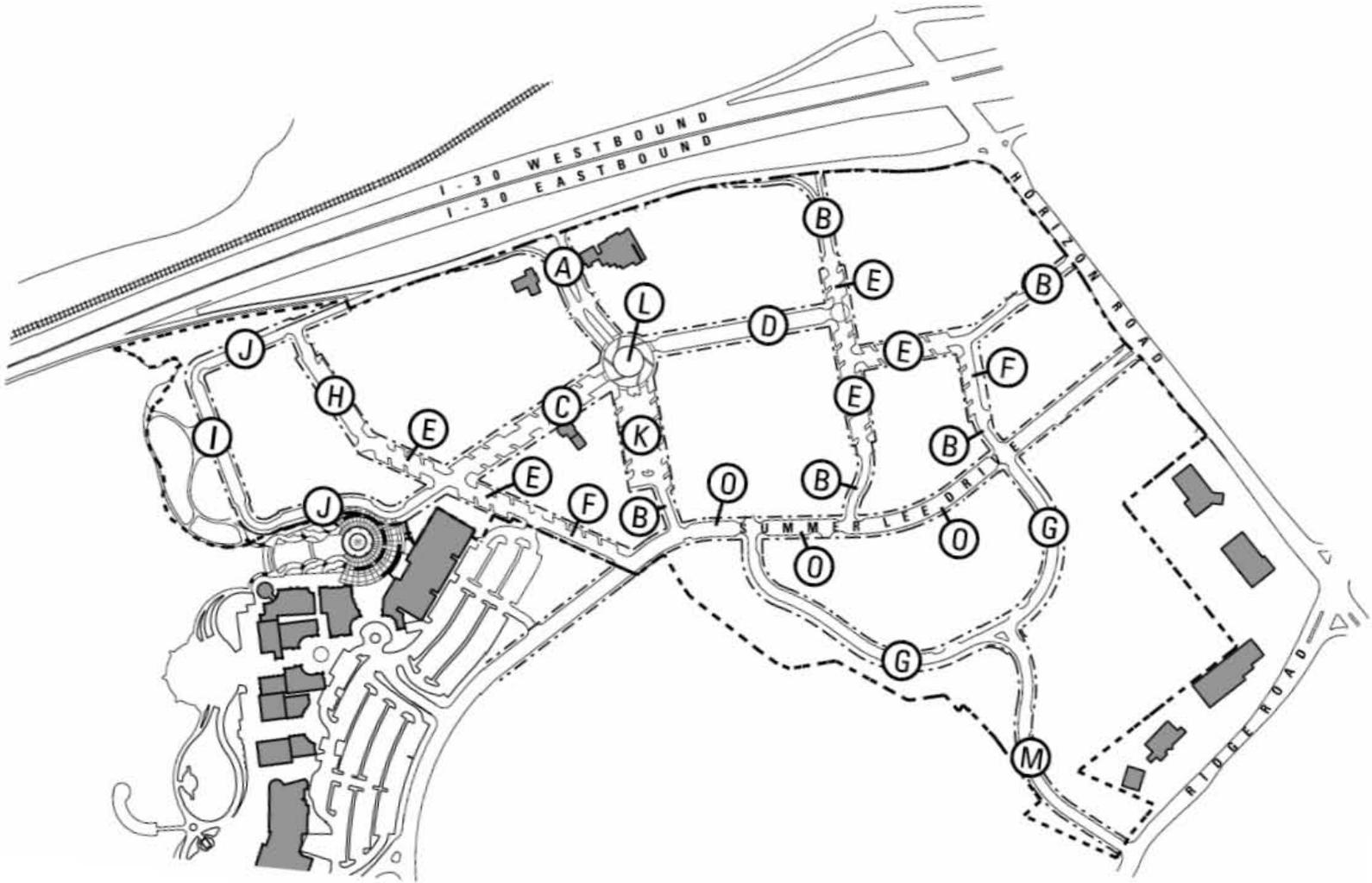
Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>

Exhibit C-4 (Page 1 of 18)  
Streetscape Plan

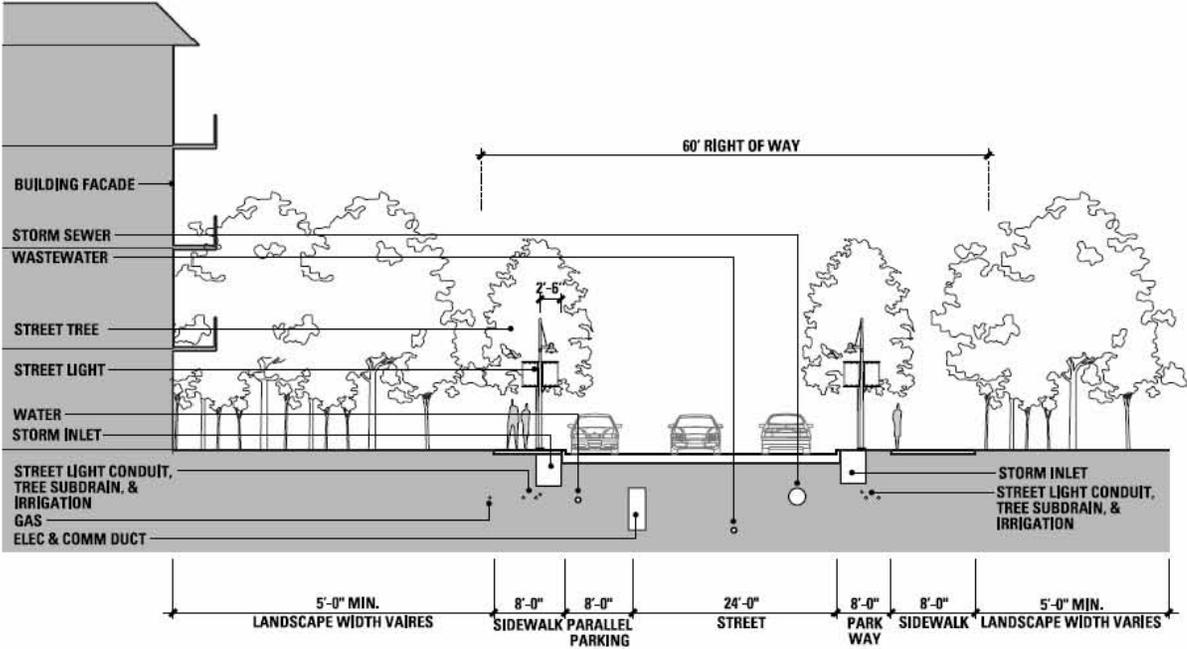
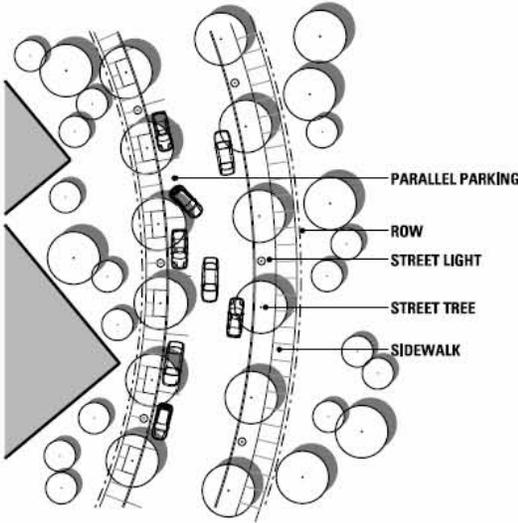
STREET TYPES PLAN



**Exhibit C-4 (Page 8 of 18)**  
**Streetscape Plan**

**S T R E E T   T Y P E   G**

Street type 'G' serves as an edge to the open space subdistrict. This street type consists of parallel parking designated on one side of a 24' wide street within a 60' right of way. An 8' wide concrete sidewalk with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street lights spaced at 60' O.C. is provided on the parallel parking side of the street. An 8' wide concrete sidewalk is provided on the open space side of the street with street trees spaced at 30' O.C. and pedestrian scale light fixtures spaced at 60' O.C. within an 8' wide parkway. Existing trees may be preserved within the right of way when possible. Longitudinal slopes on this street type are between 1% and 10%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.



## Exhibit E-8 (Page 1 of 2) Interior Subdistrict

### INTERIOR SUBDISTRICT

The primary intent of the Interior subdistrict is to provide an area that can function as either office, residential, or senior living use. Key characteristics of this subdistrict include good views of Lake Ray Hubbard and adjacency to open space. Existing slopes within this subdistrict are in the 6% - 10% range. Significant massing of existing trees are also present within this subdistrict which should be preserved where possible.

#### Building Placement

Setback (Distance from R.O.W. line)	
Summer Lee Drive	20'
Street Type G	5' minimum, 20' minimum average

#### Building Form

Each building must have a minimum of 30% of the length of its façade fronting Summer Lee Dr located on the 20' setback line.

Maximum Lot Coverage	60%
----------------------	-----

#### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

#### Use

Ground Floor	
	Residential Office Senior Living
Upper Floors	
	Residential Office Senior Living

#### Height

	stories / height
Maximum Building Height	5 / 75'
Minimum 1st floor commercial Height (with other uses above)	15'

#### Encroachments

Location	
Summer Lee Drive	5'
Street Type G	5'

#### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

#### Parking

Surface Parking Setback (Distance from R.O.W. line)	
Street Type G	10'
Summer Lee Drive	15'

#### Surface Parking Lots

A maximum of 10% of the total parking for this subdistrict may be surface parking.

#### Driveways (Maximum number per block face)

Street Type G	3
Summer Lee Drive	2

#### Pedestrianways (Minimum number per block face)

Street Type G	1
Summer Lee Drive	1

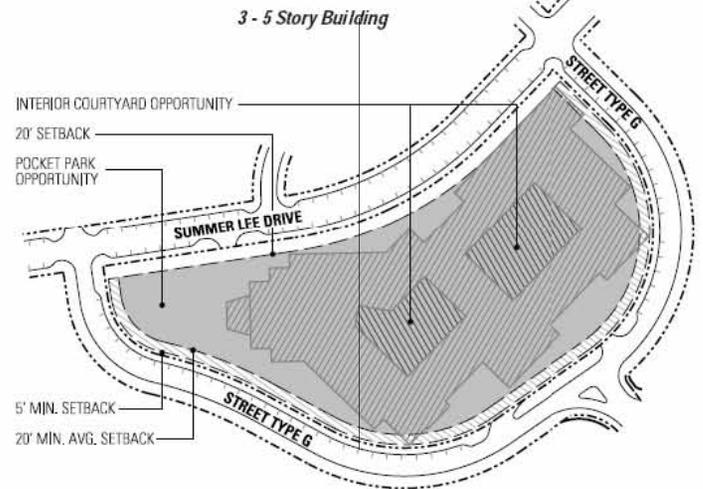
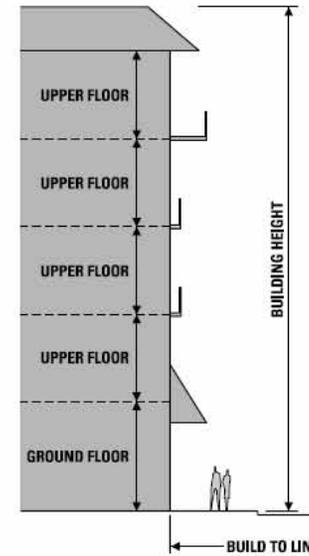
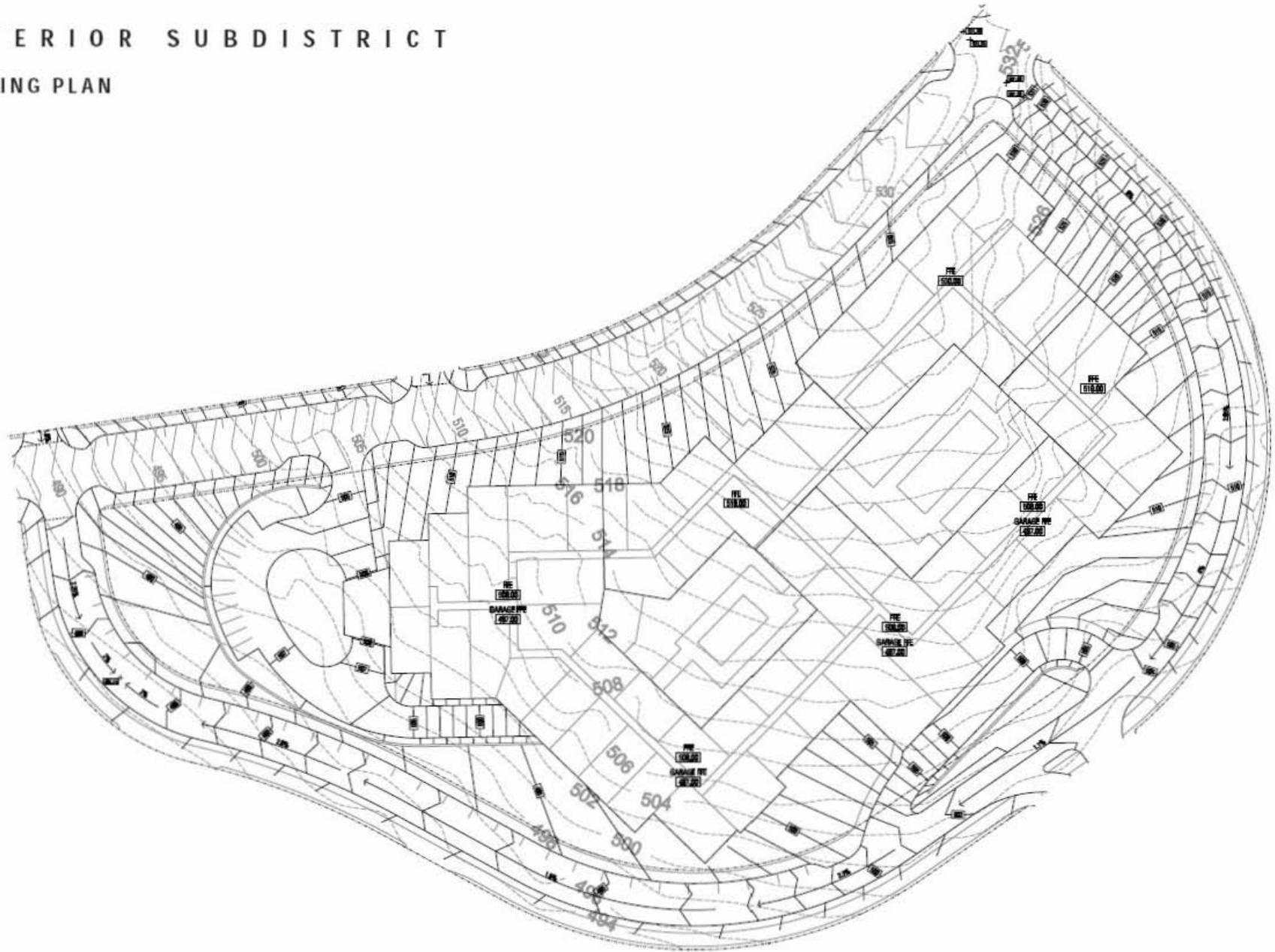
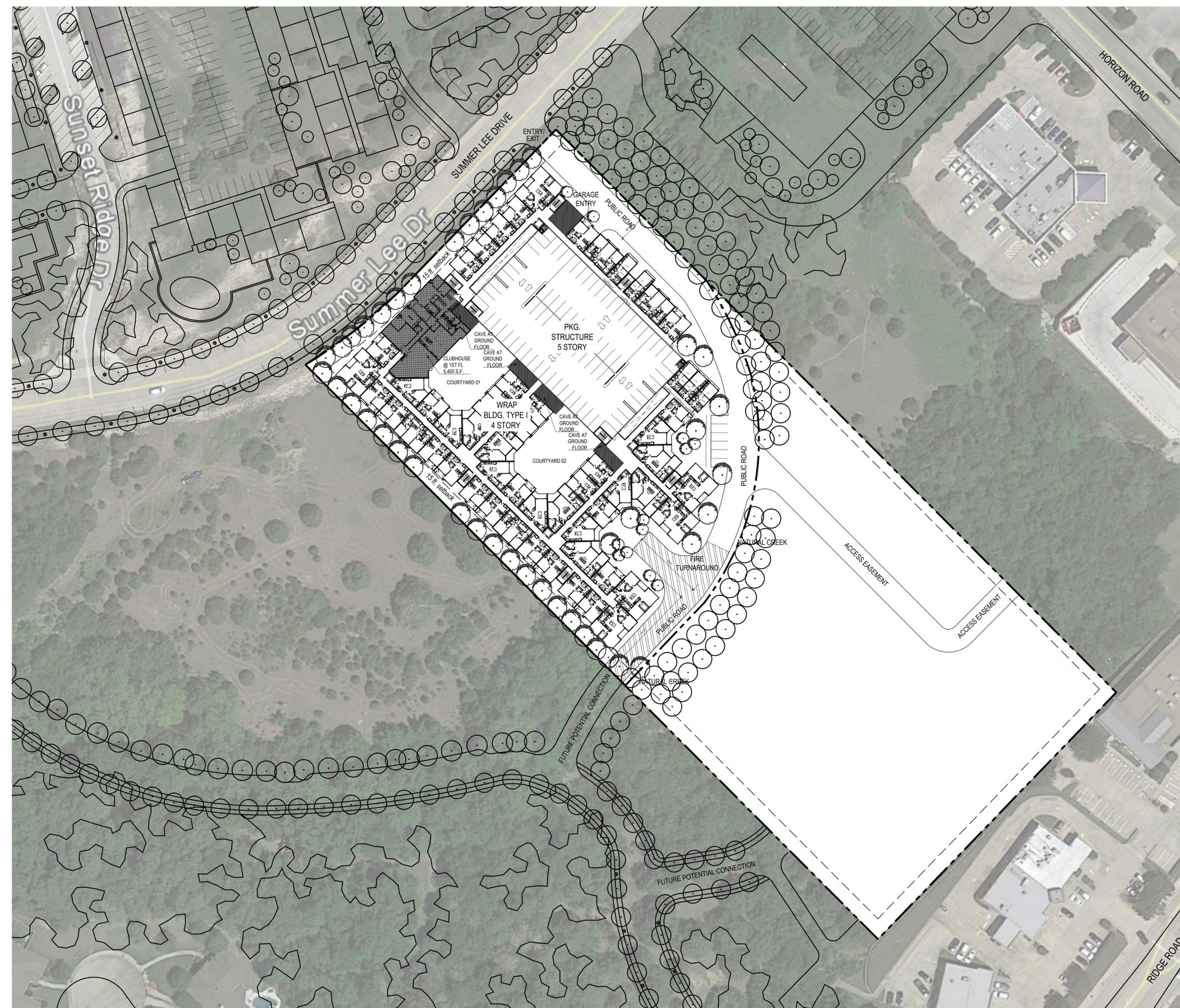


Exhibit E-8 (Page 2 of 2)  
Interior Subdistrict

INTERIOR SUBDISTRICT  
GRADING PLAN





UNIT NAME	UNIT TYPE	HUD GROSS(SF)	HUD NET(SF)	UNIT COUNT	PERCENTAGE	AREA BASED ON HUD GROSS	% BREAKDOWN
E2	EFF.	485	441	20	8%	9,700	8%
A2	1br/1ba	618	573	97	40%	59,946	58%
A3	1br/1ba	650	603	18	7%	11,700	
A4	1br/1ba	736	681	28	11%	20,608	33%
B2	1br/1ba	944	890	19	8%	17,936	
B3	1br/1ba	1,048	993	12	5%	12,576	
B4	2br/2ba	1,101	1,034	27	11%	29,727	33%
B5	2br/2ba	1,279	1,207	24	10%	30,696	
<b>TOTALS</b>				<b>245</b>	<b>100%</b>	<b>192,889</b>	<b>100%</b>

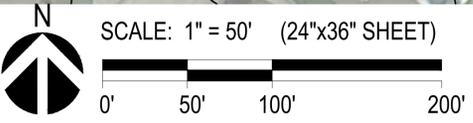
UNIT AVERAGE NET SF : 787.30  
 \* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

**PROJECT DATA**

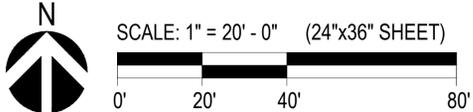
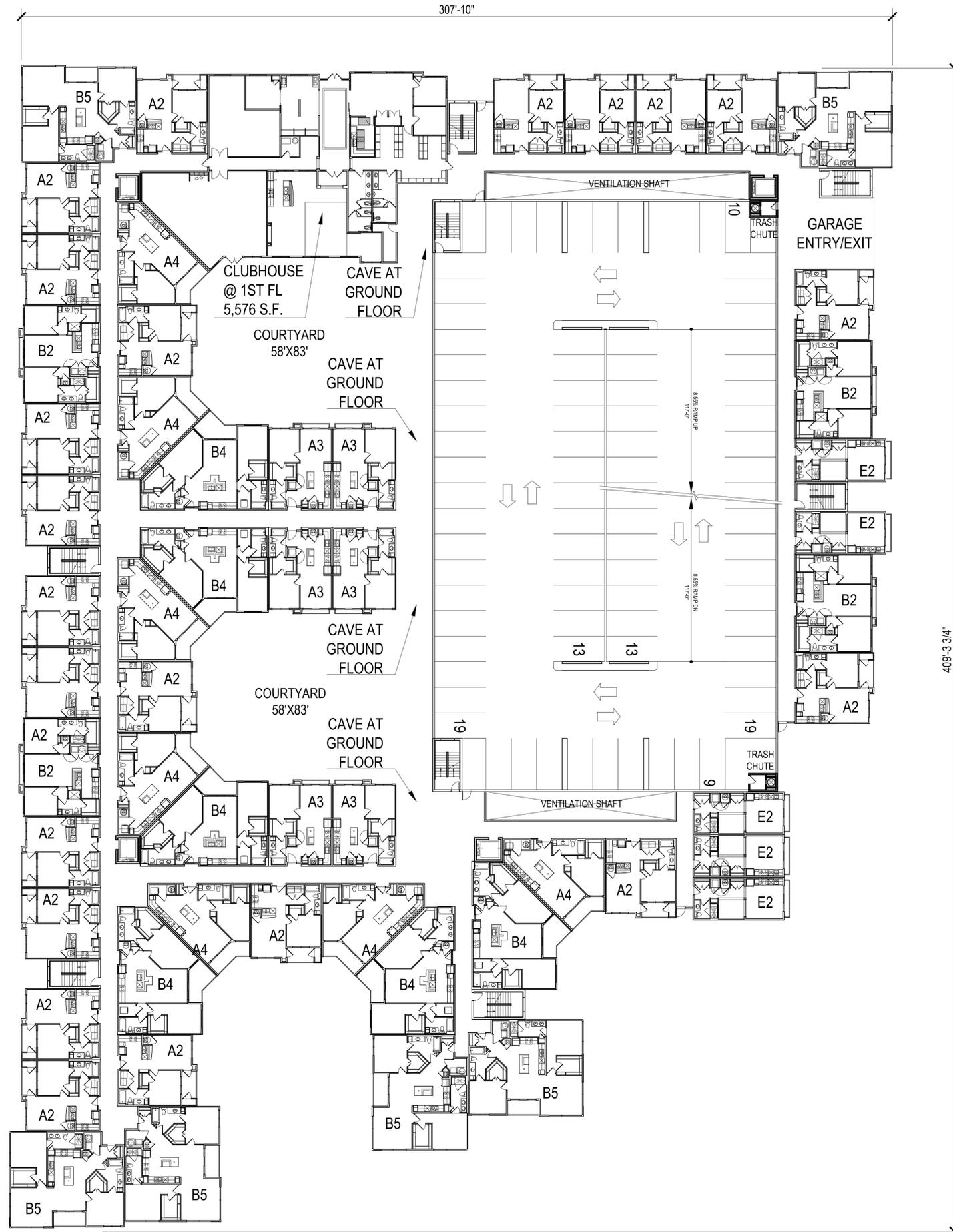
HUD GROSS TOTAL UNIT AREA :	192,889	S.F.
UNIT AVERAGE NET SF :	787.30	S.F.
ACREAGE:	3.45	ACRES
DENSITY:	71.01	UNITS/ACRE

**PARKING:**

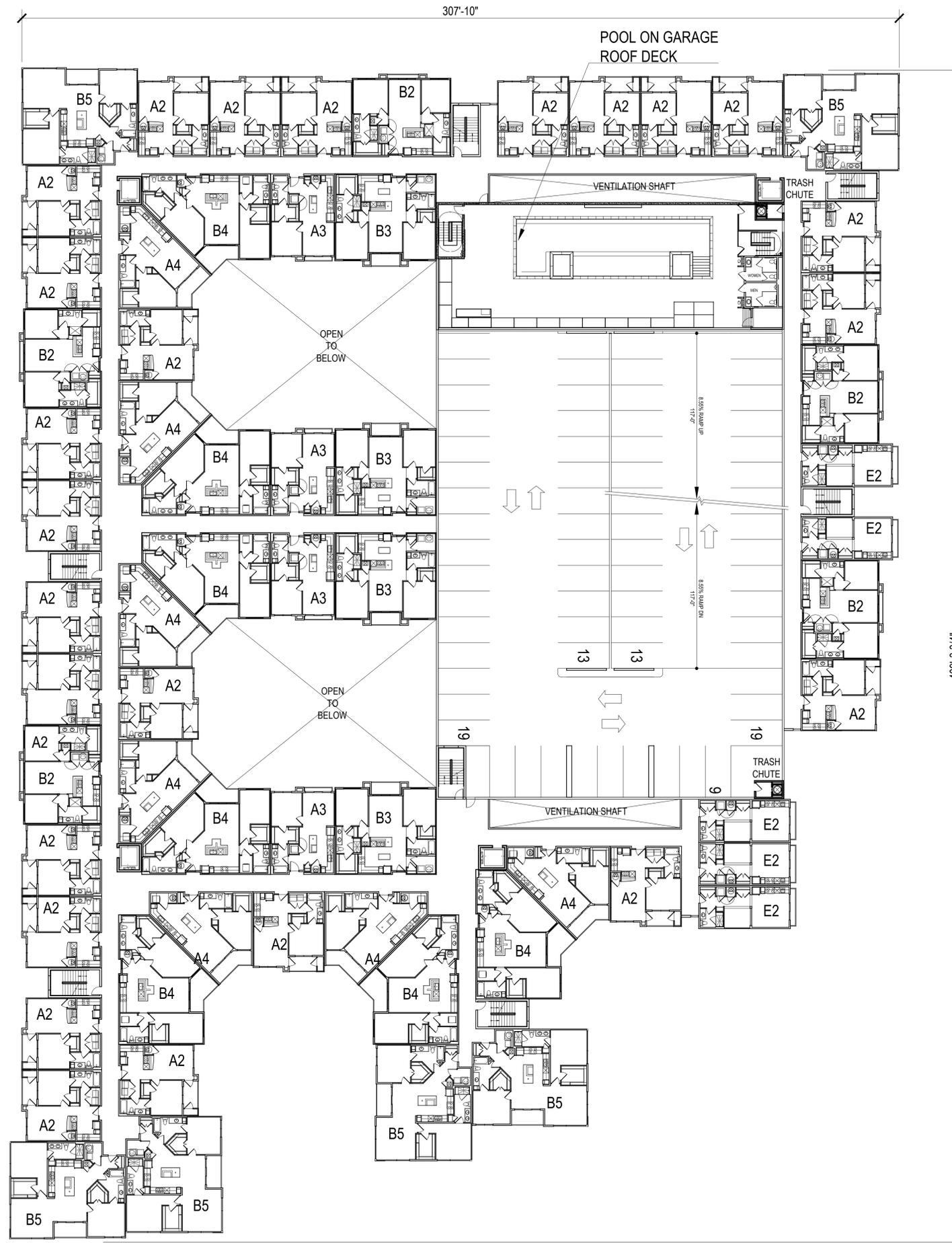
REQUIRED	392	SURFACE SPACES (1.6/UNIT)
PROVIDED	387	GARAGE SPACES
	0	DETACHED GARAGES
	6	SURFACE SPACES
	393	TOTAL SPACES
	1.60	SPACES/UNIT



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307'-10"

POOL ON GARAGE  
ROOF DECK

VENTILATION SHAFT

TRASH  
CHUTE

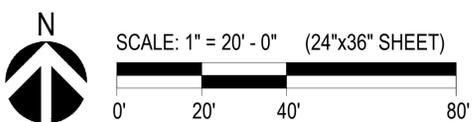
OPEN  
TO  
BELOW

OPEN  
TO  
BELOW

VENTILATION SHAFT

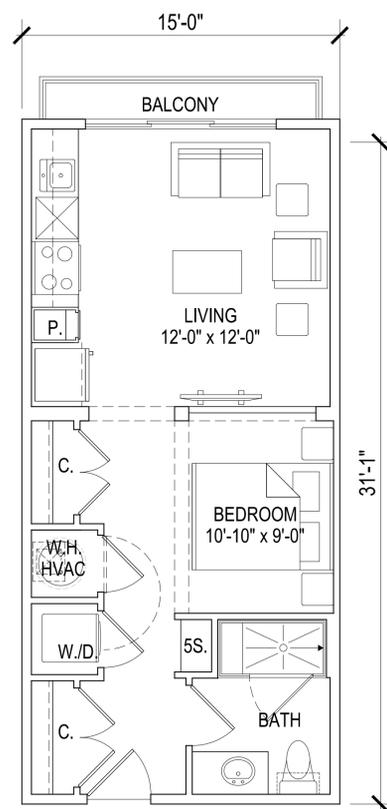
TRASH  
CHUTE

409'-3 3/4"

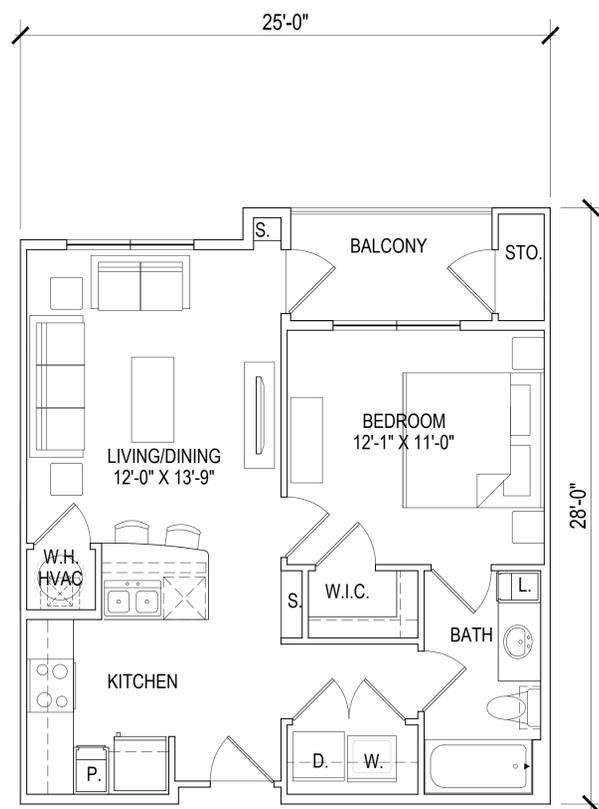


SCALE: 1" = 20' - 0" (24"x36" SHEET)

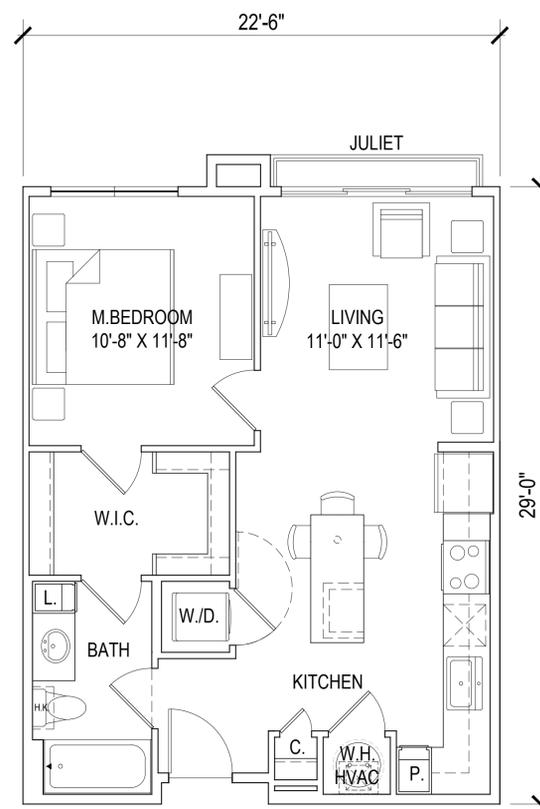
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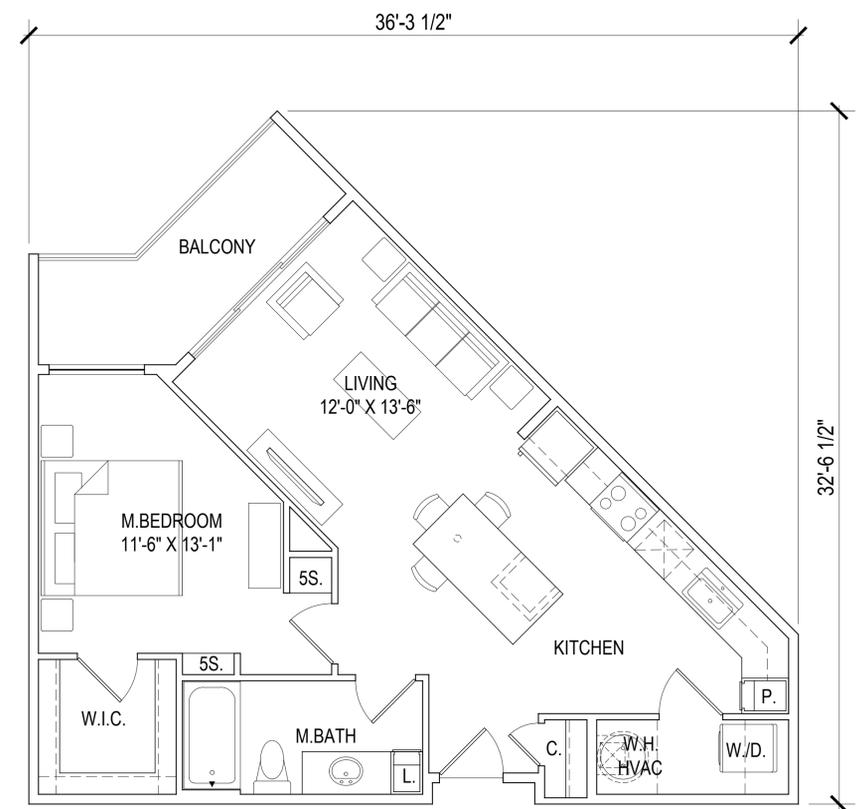
UNIT E2  
NET AREA - 485 SQ. FT.



UNIT A2  
NET AREA - 618 SQ. FT.



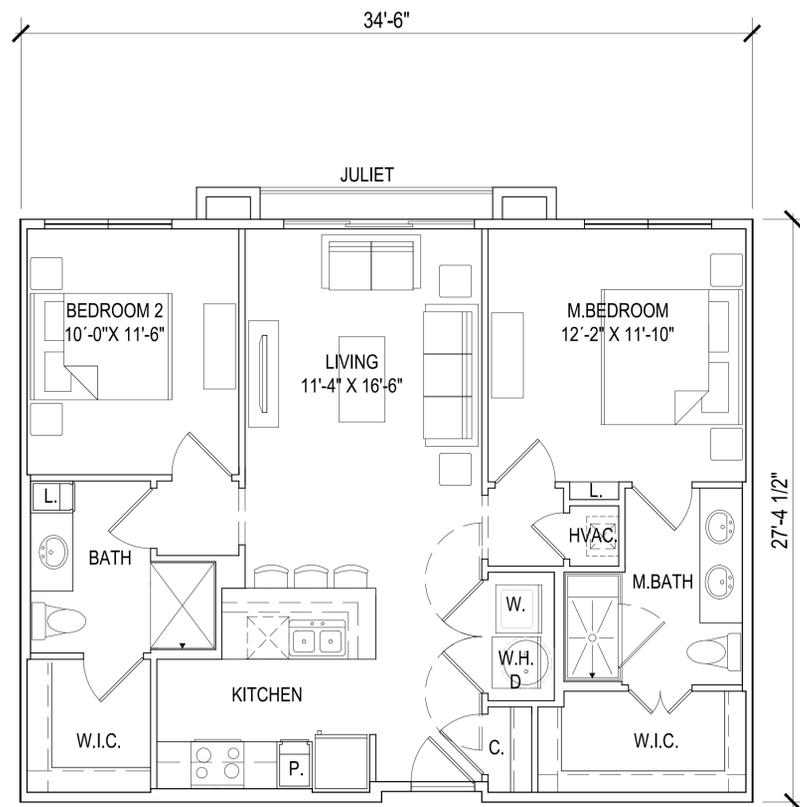
UNIT A3  
NET AREA - 650 SQ. FT.



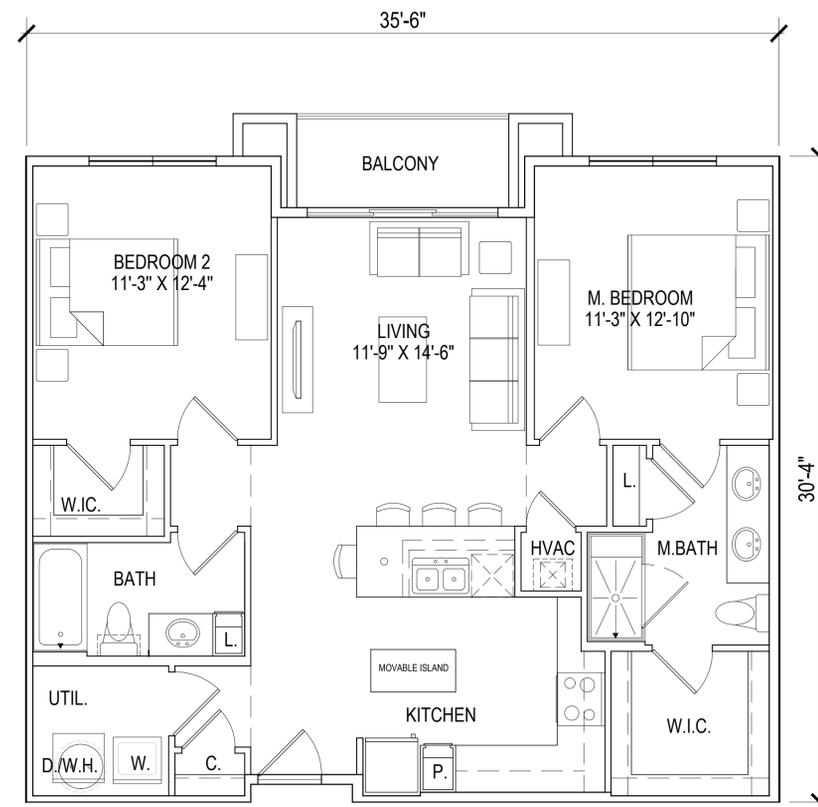
UNIT A4  
NET AREA - 736 SQ. FT.

SCALE: 1/4" = 1'-0" (24"x36" SHEET)





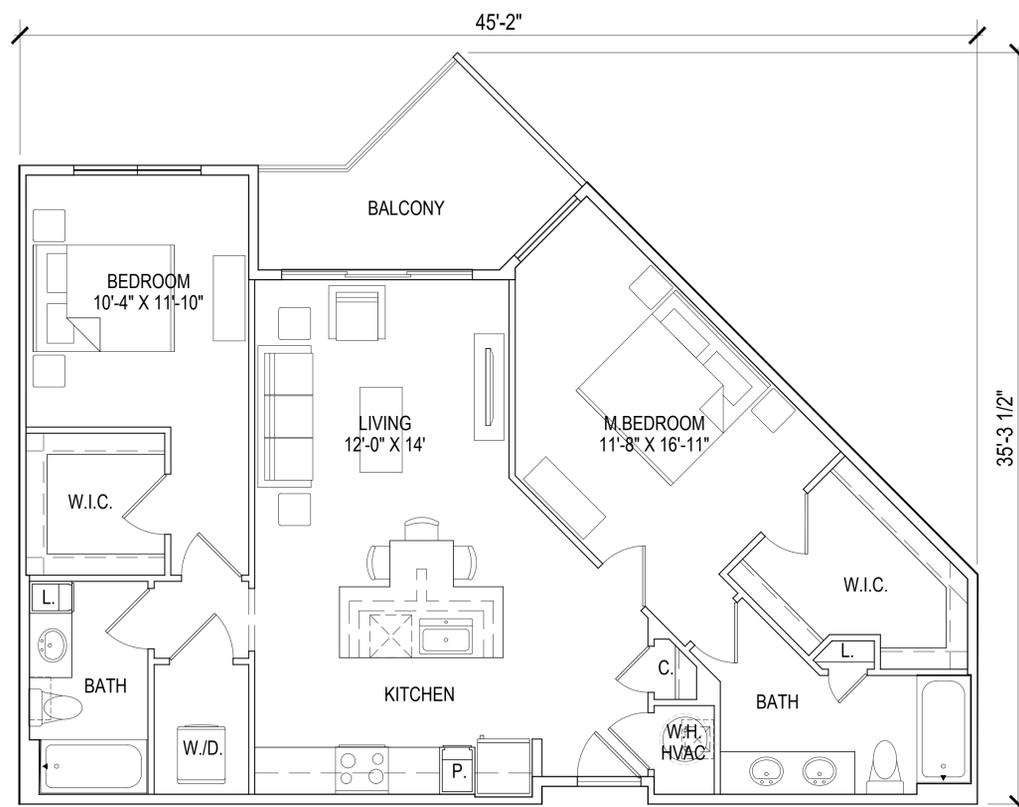
UNIT B2  
NET AREA - 944 SQ. FT.



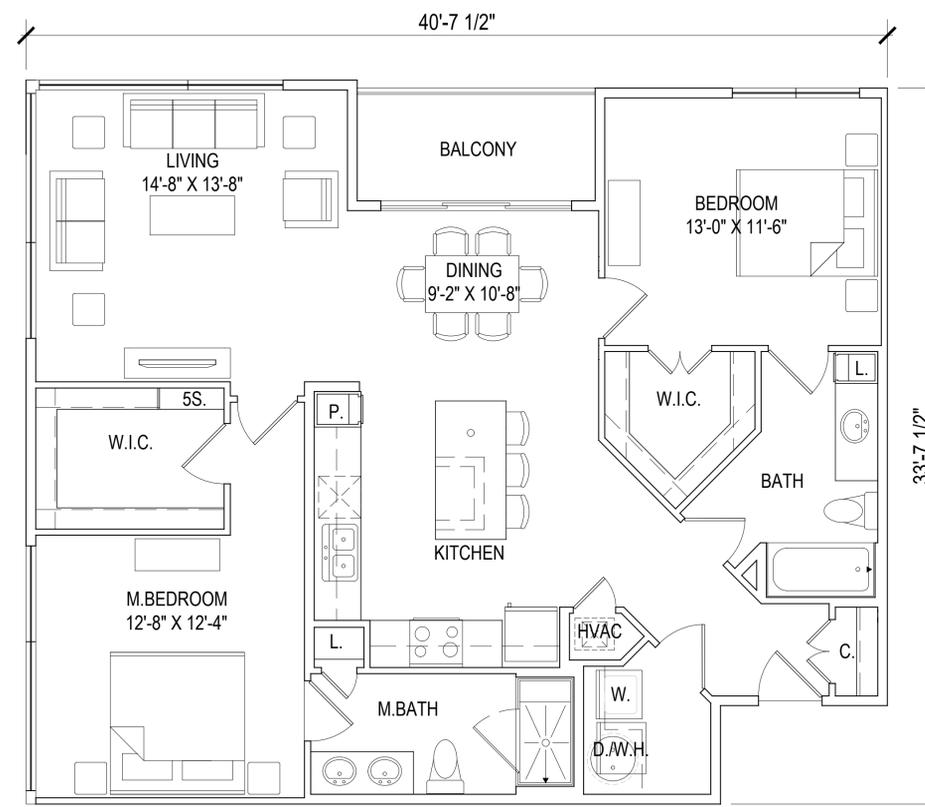
UNIT B3  
NET AREA - 1048 SQ. FT.

SCALE: 1/4" = 1'-0" (24"x36" SHEET)





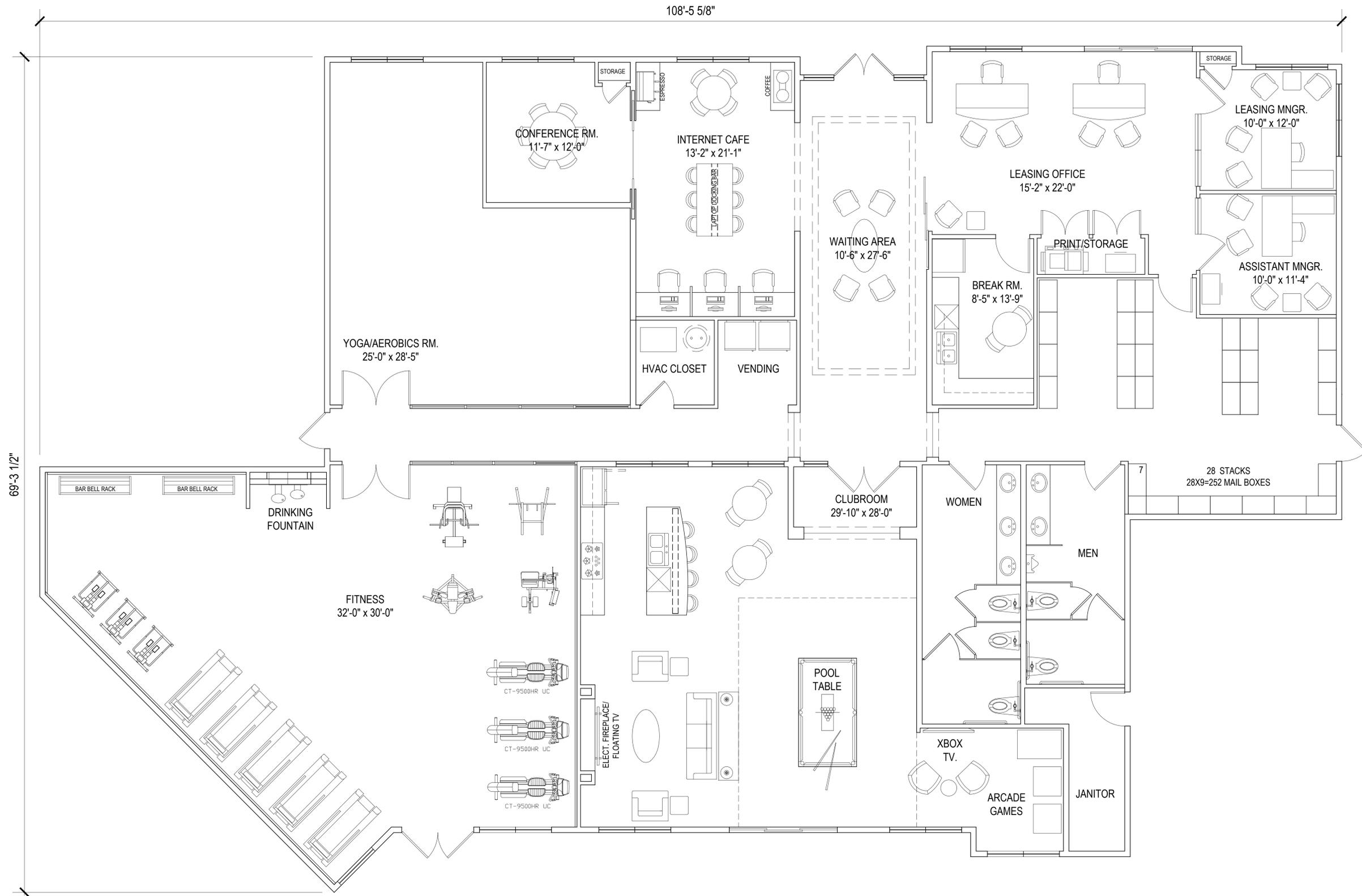
UNIT B4  
NET AREA- 1101 SQ. FT.



UNIT B5  
NET AREA - 1279 SQ. FT.

SCALE: 1/4" = 1'-0" (24"x36" SHEET)



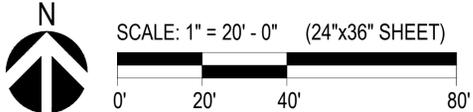
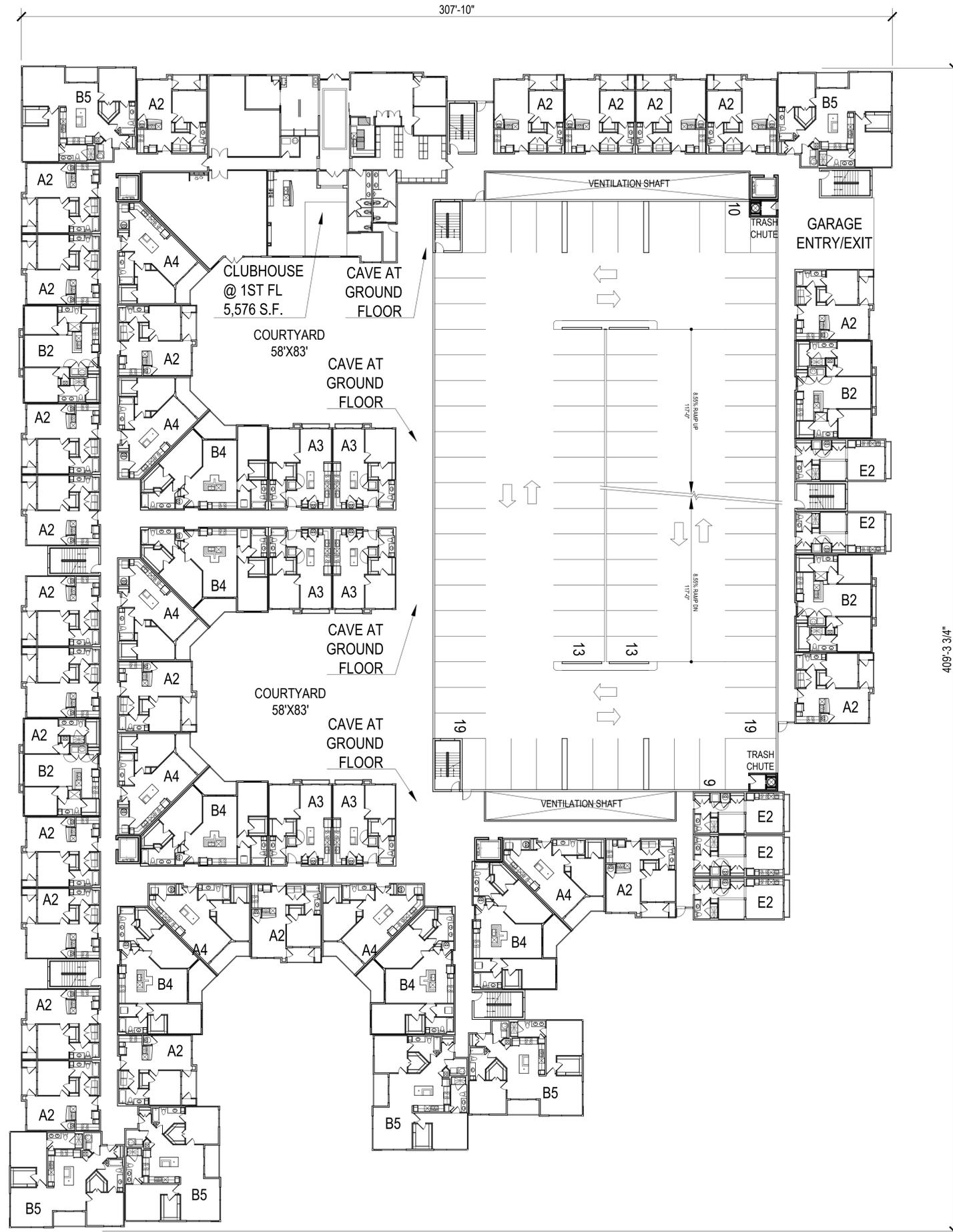


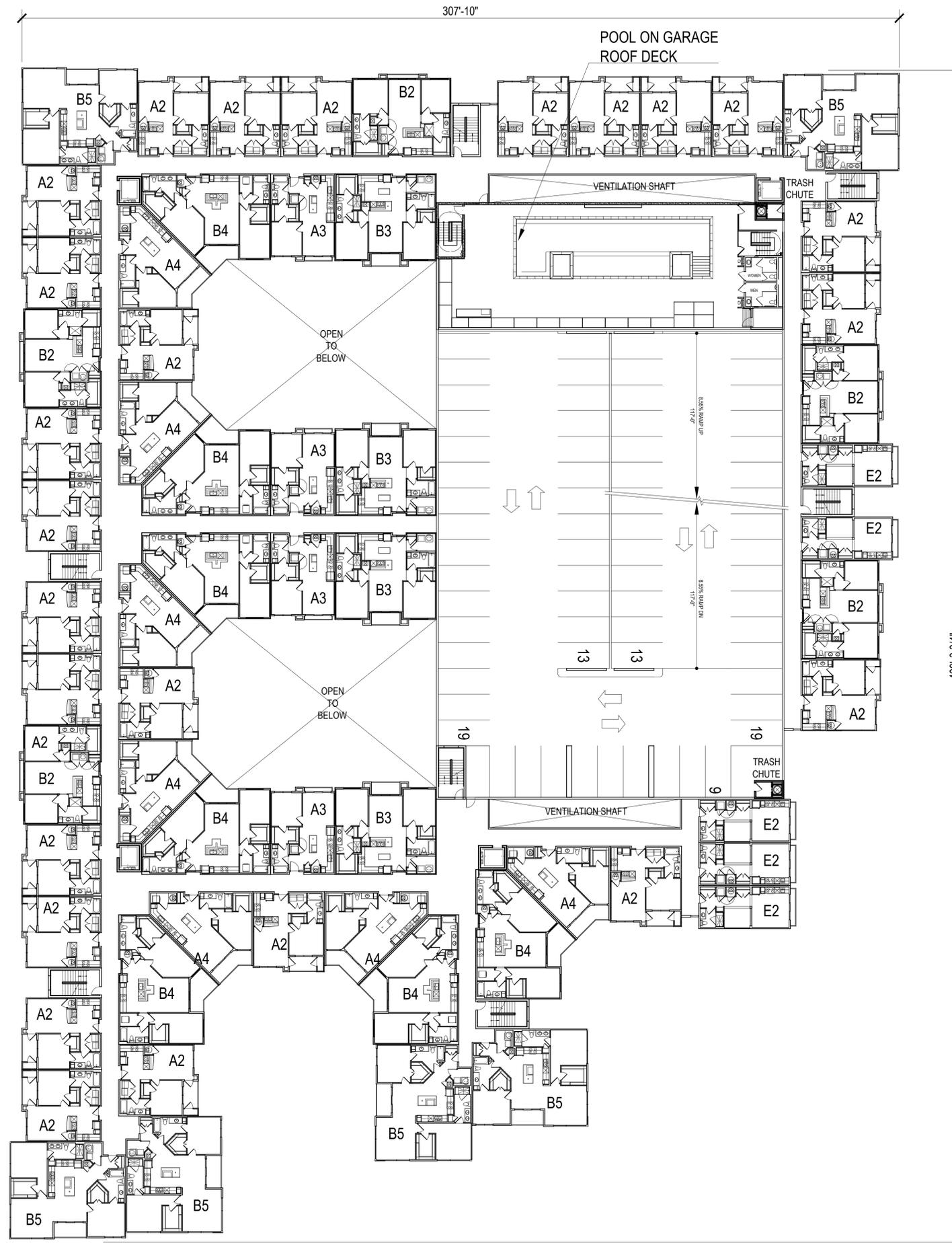
CLUBHOUSE  
NET AREA - 5576 SQ. FT.

SCALE: 1/4" = 1'-0" (24"x36" SHEET)

0' 4' 8' 16'

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307'-10"

POOL ON GARAGE  
ROOF DECK

VENTILATION SHAFT

TRASH  
CHUTE

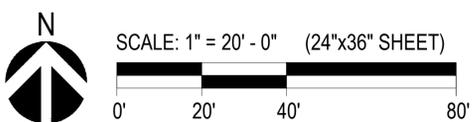
OPEN  
TO  
BELOW

OPEN  
TO  
BELOW

VENTILATION SHAFT

TRASH  
CHUTE

409'-3 3/4"



SCALE: 1" = 20' - 0" (24"x36" SHEET)

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FRONT ELEVATION (scale: 1/16"=1')



RIGHT ELEVATION (scale: 1/16"=1')



REAR ELEVATION (scale: 1/16"=1')



LEFT ELEVATION (scale: 1/16"=1')

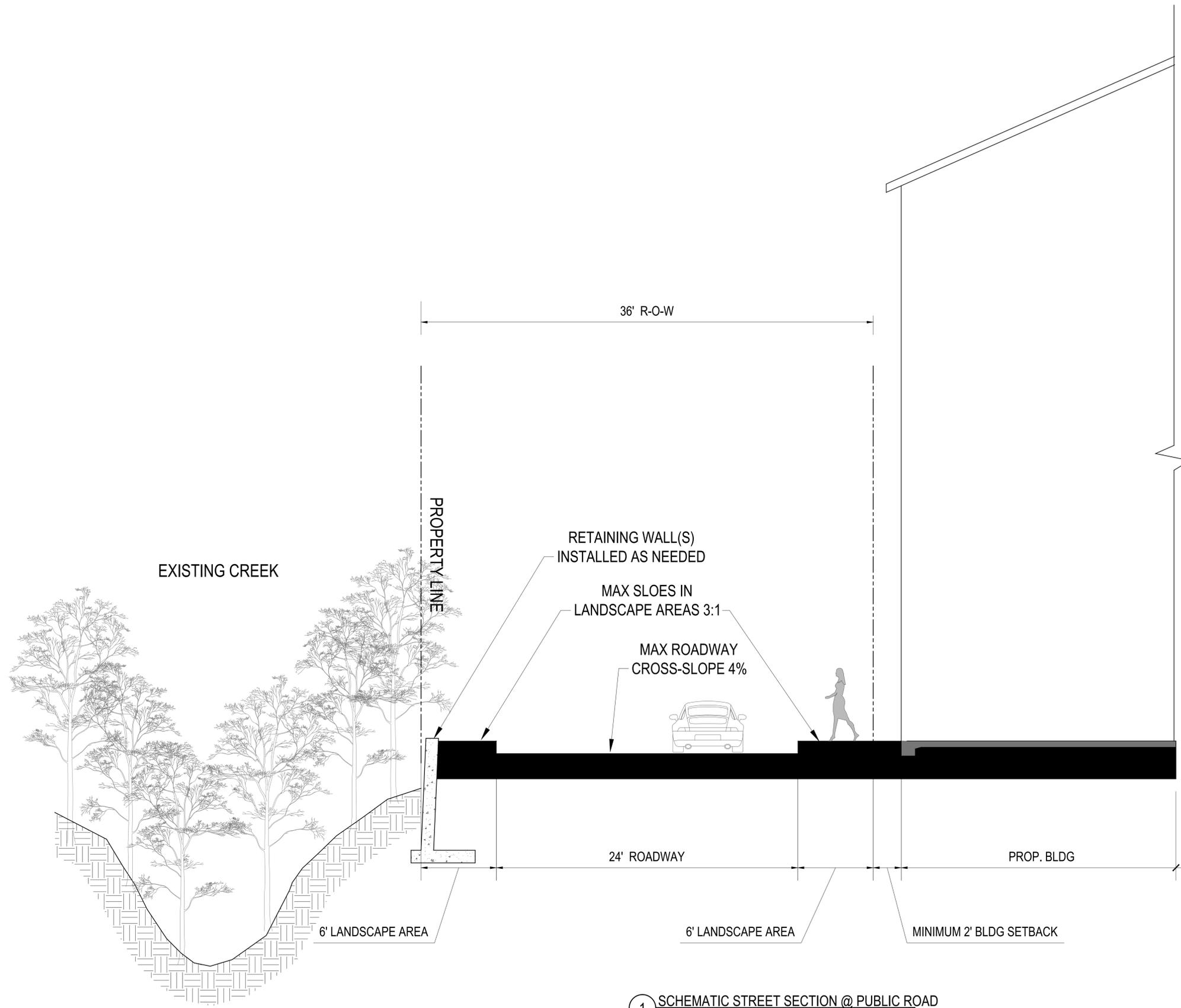
A412

Z2016-025



FRONT ELEVATION - SCALE: 3/32"=1'





1 SCHEMATIC STREET SECTION @ PUBLIC ROAD  
SCALE: 1/4" = 1'-0"

A501  
Z2016-025

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 3.453-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for a 245 unit, condominium development to be situated within the *Interior Subdistrict* of Planned Development District 32 (PD-32) on a 3.453-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 10-21* and the official zoning map of the City of Rockwall so as to approve a *PD Development Plan* for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*, and,

**Section 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G<sub>1</sub>'* standards stipulated in *Exhibit 'D'* of this ordinance; and,
- 2) The minimum building setback adjacent to *Street Type 'G<sub>1</sub>'* shall be two (2) feet. This can be reduced to one (1) foot if the right-of-way width is increased to 37-feet; and,
- 3) Any portion of the sidewalk situated outside of the right-of-way shall be required to be placed within a *Pedestrian Access Easement* on the final plat; and,
- 4) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 5) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 6) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 7) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that

is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

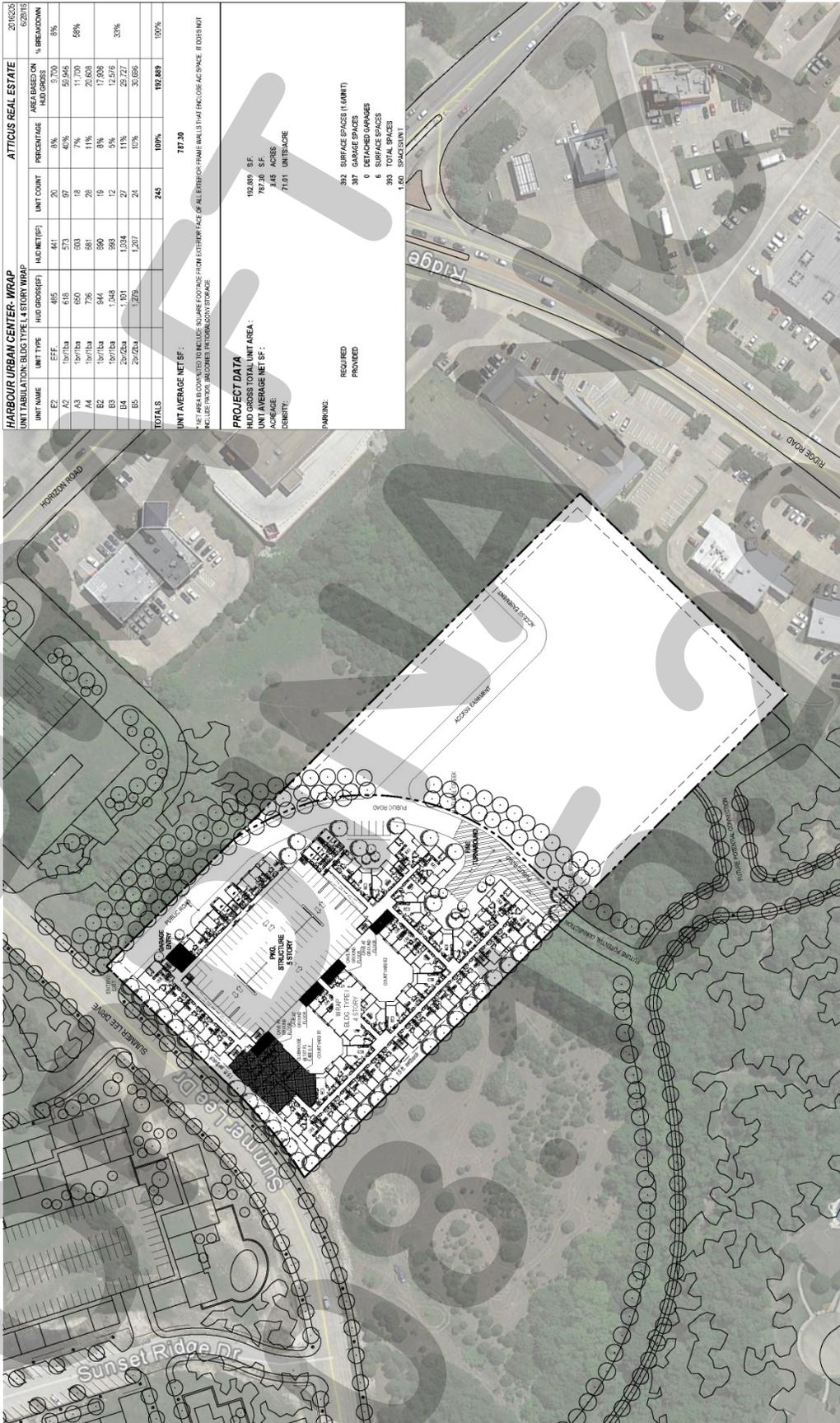
1<sup>st</sup> Reading: August 15, 2016

2<sup>nd</sup> Reading: September 6, 2016

**LEGAL DESCRIPTION**

DRAFT  
ORDINANCE  
08.15.2016

Exhibit 'B':  
Concept Plan



A202  
Z2016-025

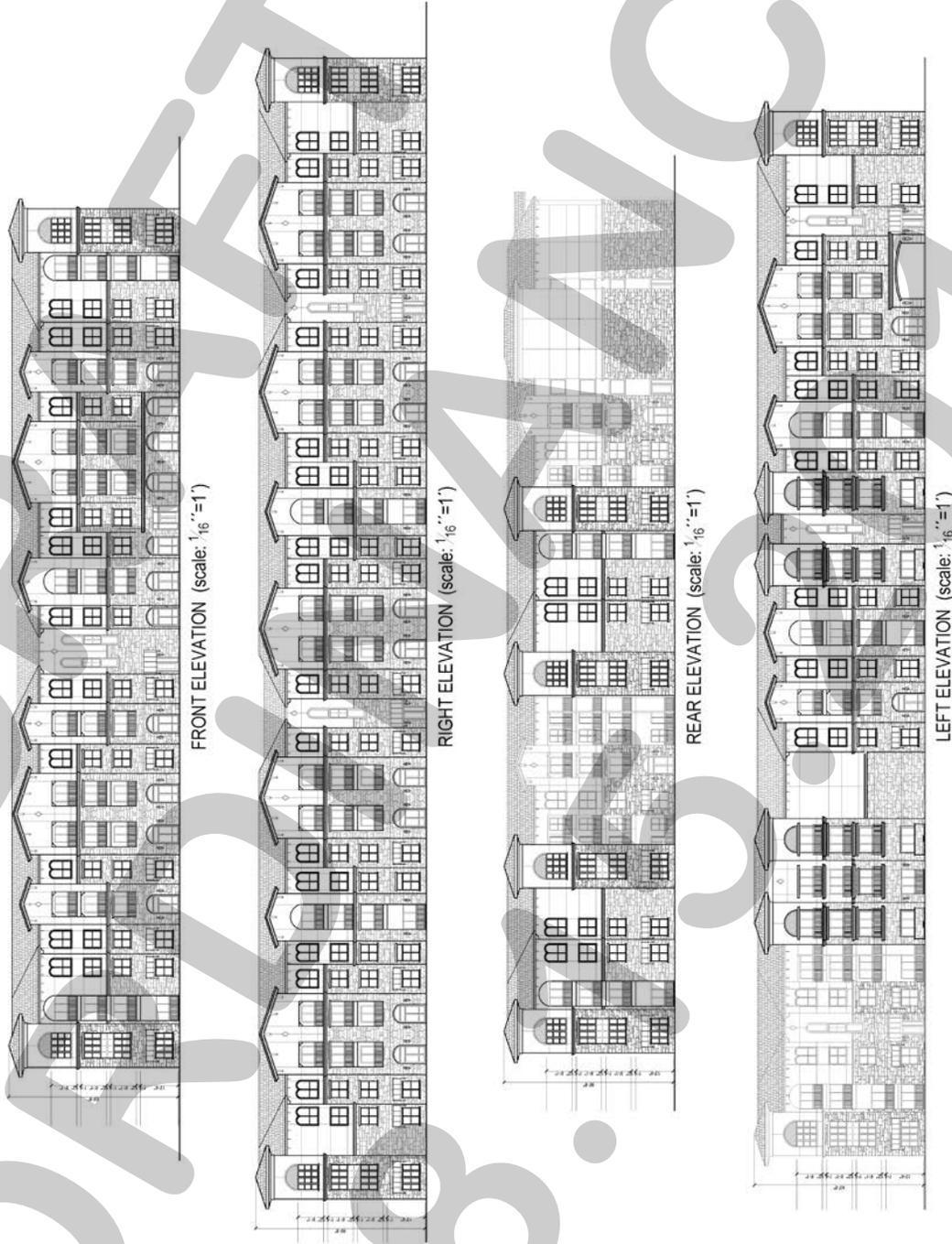
ARCHITECTURAL SITEPLAN  
CONDOMINIUMS  
August 2, 2016

HARBOR URBAN CENTER  
Rockwall, TX  
HPM 16205

HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
5539 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.8888 | www.humphreys.com

SCALE: 1" = 50' (24" x 36" SHEET)  
0' 50' 100' 200'

Exhibit 'C':  
Building Elevations



A412  
Z2016-025

HARBOUR URBAN CENTER  
Rockwall, TX  
HPM# 10206

WRAP BLDG. ELEVATIONS  
August 2, 2016



HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
5359 Alpha Rd., Suite 300, Dallas, TX 75247 | 972.011.8888 | www.humphys.com

Exhibit 'C':  
Building Elevations



FRONT ELEVATION - SCALE: 3/32" = 1'

DRAFT  
ORDINANCE  
15.2016

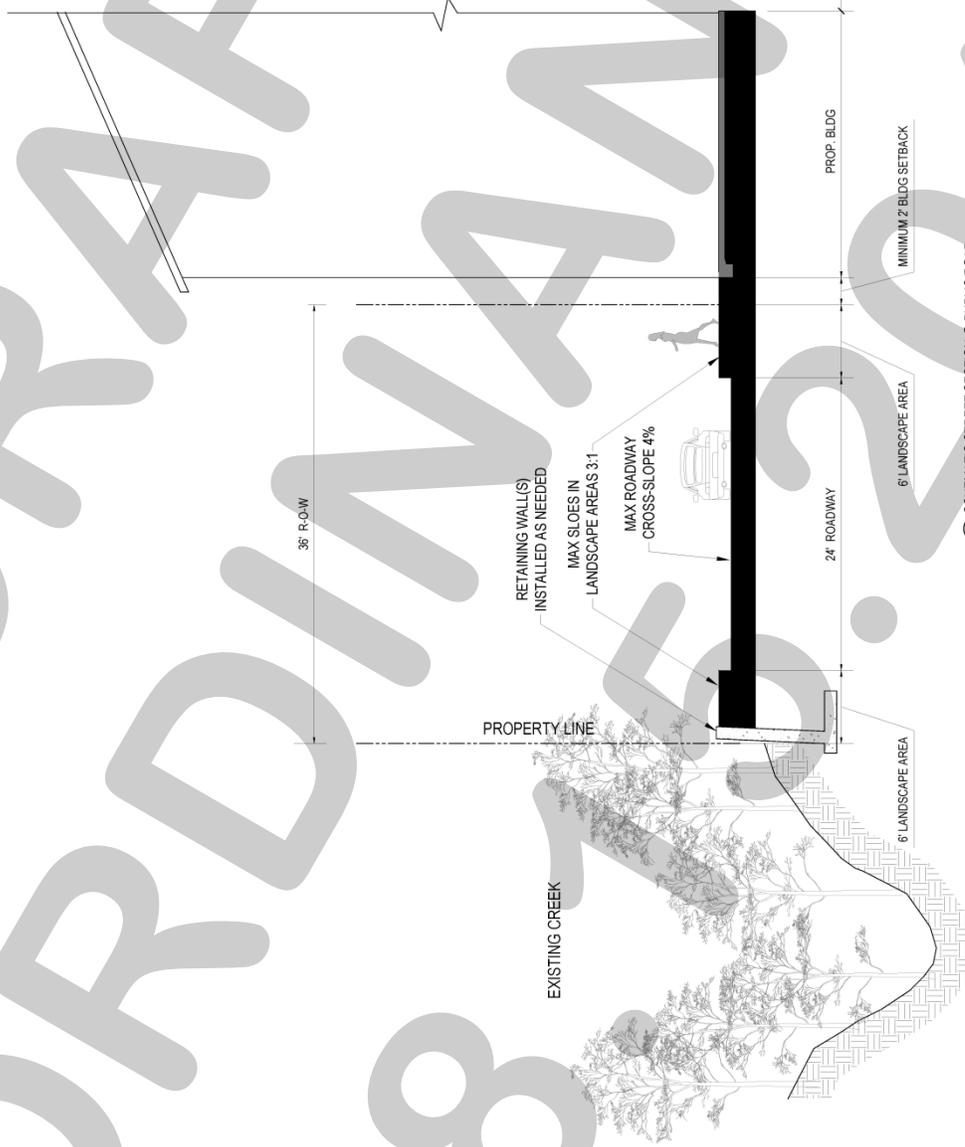
A412  
HARBOR URBAN CENTER  
Rockwall, TX  
HPAM 16206

WRAP BLDG. ELEVATIONS  
July 11, 2016



HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
5525 Lyndon B. Johnson Fwy, Suite 1000 | Dallas, TX 75240 | 972-351-8800 | www.hampco.com

**Exhibit 'D':  
Roadway Cross Section**



1 SCHEMATIC STREET SECTION @ PUBLIC ROAD  
DATE: 11/16/16

A501  
Z2016-025

HARBOUR URBAN CENTER  
HPA# 18208

STREET SECTION  
August 2, 2016



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
5339 Alpha Rd., Suite 300, Dallas, TX 75241 | 972.701.9636 | www.humphreys.com

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Jason Lentz; *Atticus Rockwall, LLC*

**AGENDA ITEM:** **Z2016-026**; *Harbor Urban Center Townhomes*

---

### **SUMMARY:**

Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Residential Subdistrict and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road [FM-740] and Glen Hill Way, and take any action necessary.

### **BACKGROUND:**

On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as *PD-32* or the *Harbor District*. Within the approved concept plan, *PD-32* was divided into ten (10) subdistrict that contained individual development and land use standards. The subject property is a 3.462-acre tract of land located within the *Residential Subdistrict*, which -- according to the *PD Ordinance* -- is "... reserved for zero lot line single family residential housing ... (a) lower volume of traffic in this area of the Harbor District make this subdistrict ideal for single family use."

### **REQUEST:**

On July 15, 2016, the applicant, Jason Lentz, submitted an application for a *PD Development Plan* showing the proposed layout for a 36-unit townhouse development on the 3.462-acre subject property. According to the *Subdistrict Land Use Chart* contained in *Exhibit 'D'* of Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the *Townhouse* land use requires a Specific Use Permit (SUP) within the *Residential Subdistrict*; however, since the intent of the *Residential Subdistrict* is for the construction of single-family, zero lot line homes -- *with rear entry garages* -- and the applicant's request does not meet this intent, staff has requested that the applicant submit a *PD Development Plan* in conformance with *Section 9.A, Procedures, of Ordinance No. 10-21*. Since a *PD Development Plan* acts as an amendment to the *PD Ordinance*, an SUP will not be required if the request is approved by the City Council. In addition, the *PD Development Plan* grants the City Council the same discretionary approval over the development and proposed land use as an SUP.

### **CHARACTERISTICS OF THE REQUEST:**

The concept plan for the *Residential Subdistrict* calls for 49 single-family, zero-lot-line homes fronting on to a *Street Type 'M'*. The *Streetscape Plan* contained in *Exhibit 'C'* of *Ordinance No. 10-21* defines a *Street Type 'M'* as a single-family residential neighborhood street that consists of 50-feet of right-of-way, a 30-foot wide street, and five (5) foot sidewalks provided on both sides of the street. In addition, the *Streetscape Plan* calls for a *Street Type 'N'*, which is intended to serve as an alleyway within the *Residential Subdistrict*.

The *PD Development Plan* submitted by the applicant shows the layout for the proposed townhouse development, which will incorporate private streets and amenities, front entry garages and rows of four (4) to five (5) townhomes. The development will be accessible from two (2) main points of entry, the first from a public roadway that will be constructed (*if approved*) with the Harbor Urban Center Condominiums [Case No. Z2016-026] and a future roadway that will connect the Harbor District to Ridge Road [FM-740]. The proposed unit mix for the townhouse is as follows:

*Table 1: Unit Composition*

<b>Unit Name</b>	<b>Unit Type</b>	<b>Minimum Net Unit Area (SF)</b>	<b>Number of Units (#)</b>	<b>Total Area (SF)</b>	<b>Units as Percentage (%)</b>
THA	1 Bedroom/1.5 Bath	1,622 SF	9	14,598 SF	25%
THB	2 Bedroom/ 1.5 Bah	1,694 SF	11	18,634 SF	31%
THC1	3 Bedroom/2.5 Bath	1,882 SF	7	13,174 SF	19%
THC2	3 Bedroom/Media Room/2.5 Bath	2,571 SF	3	7,713 SF	8%
THD	3 Bedroom/2.5 Bath	2,163 SF	6	12,978 SF	17%
<b>Average Net Unit Area:</b>				<b>1,863.81 SF</b>	
<b>Total Units:</b>			<b>36</b>		<b>100.00%</b>

Staff should note that *Ordinance No. 10-21* does not establish minimum unit sizes for residential units within the *Residential Subdistrict*, nor does the ordinance establish design standards for townhouses. The *Residential Policies* contained in *Resolution No. 07-03* [*i.e. the Appendix 'A' of the Comprehensive Plan*] do state that all townhouses *must* have rear-entry garages. In this case, the applicant is proposing to have a front-entry product that will be accessible off a private street. The applicant has stated that the product is designed to have one (1) of the keystone townhouses (*i.e. the townhouses situated on the corner or at the end of a row*) accessible with a side entry garage, which could mitigate some of the concern over a traditional front-entry product. This means that in a row of five (5) townhouses only four (4) will have front-entry garages. This is depicted in the concept building elevations submitted by the applicant and attached to this case memo. In addition, *Resolution No. 07-03* states, "(h)omes should differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback." The proposed development is meant to function as an enclosed community and as a result, the applicant is proposing a uniform design scheme. Based on the concept building elevations, the units will be constructed from stone and stucco, and will incorporate varying roof pitches and stone chimneys that help vary the façades of each building. Staff has included the concept building elevations in the attached draft ordinance and general conformance to these elevations is a consider to be a condition of approval.

In granting a *PD Development Plan* within Planned Development District 32 (PD-32) the City Council needs to decide if the proposed development -- *while not meeting the intent of the subdistrict* -- meets the following criteria:

- (a) Meets the general intent of the *PD District*; and,
- (b) Will result in an improved project which will be an attractive contribution to the *PD District*; and,
- (c) Will not prevent the implementation of the intent of this *PD District*.

A *PD Development Plan* is a discretionary approval for the City Council, and should the City Council choose to grant the request this request the applicant will still need to submit a site plan that will be reviewed by the Architectural Review Board (ARB) and the Planning and Zoning Commission.

**NOTIFICATION:**

On July 22, 2016, staff mailed 52 notices to property owners and residents within 500-feet of the subject property. Staff also emailed notices to the Lago Vista Homeowner's Associations (HOA), which is the only HOA's located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property along Summer Lee Drive as required by the Unified Development Code

(UDC). At the time, this case memo was drafted two (2) responses in favor of the request and one (1) response opposed to the request were received by staff.

**RECOMMENDATIONS:**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *PD Development Plan* for Planned Development District 32 (PD-32), then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
  - (a) Cross access (*as depicted in Exhibit 'B' of attached draft ordinance*) shall be provided to the property directly north of the subject property;
  - (b) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and the attached draft ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
  - (c) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
  - (d) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
  - (e) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.
- 2) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2016-026	<b>Owner</b> ATTICUS, REAL ESTATE SERVICES INC	<b>Applied</b> 7/15/2016 LM
<b>Project Name</b> Harbor Urban Center Townhomes	<b>Applicant</b> ATTICUS ROCKWALL LLC	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> PD		<b>Expired</b>
<b>Status</b> NEED REVISIONS		<b>Status</b> 7/21/2016 RM

<b>Site Address</b> SUMMER LEE	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
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<b>Subdivision</b> MURPHY PLAZA ADDITION PH 2	<b>Tract</b> 5A	<b>Block</b> NULL	<b>Lot No</b> 5A	<b>Parcel No</b> 3160-0000-005A-00-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
ENGINEERING (7/19/2016 4:55 PM AW) Need public street per PD-32 plan Storm water pro-rata \$7226.59/acre Meet all engineering requirements	Amy Williams	7/15/2016	7/22/2016	7/19/2016	4	COMMENTS	See Comments

FIRE (7/21/2016 4:13 PM AA) Fire Apparatus Access Roadway: Approved fire apparatus access roads shall be provided for every building. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.	Ariana Hargrove	7/15/2016	7/22/2016	7/21/2016	6	COMMENTS	See Comments
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Exception: The fire code official is authorized to increase the dimension of 150 feet where:

- The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, up to 250-ft.

Fire Hydrant Coverage:

All portions of the exterior walls of the first story of the building shall be within 600-ft of a fire hydrant as measured by an approved route around the exterior of the facility or building.

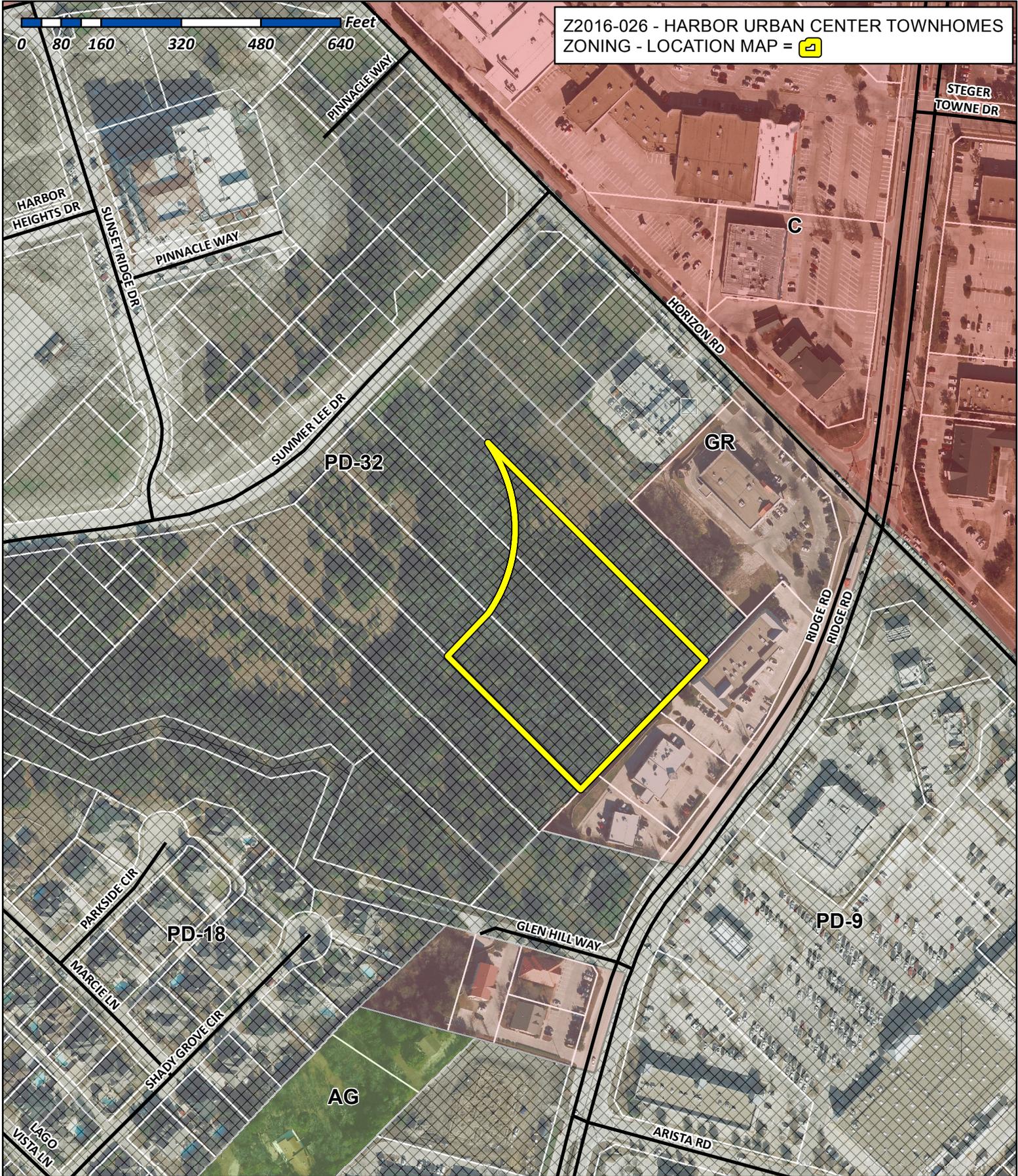
Fire Hydrant shall be located within 100-ft. of the Fire Department Connection (FDC) and within 8-ft. of fire apparatus access roadway.

PLANNING Z2016-026 (PD Development Plan for the Harbor Urban Center Townhomes): Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Ryan Miller	7/15/2016	7/22/2016	7/21/2016	6	COMMENTS	See Comments
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I.1 This case is for the PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A,

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Residential Subdistrict and within the Scenic Overlay (SOV) District, and located north of the intersection of Ridge Road [FM-740] and Glen Hill Way.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 On all future submittals please include the case number (Z2016-026) in the lower right hand corner.						
I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on August 9, 2016.						
M.5 A legal description covering the area of the townhomes will be required to be submitted prior to the first City Council meeting.						
I.6 According to Ordinance No. 10-21, "...adequate access necessary to serve that development in conformance with the streetscape plan for the Sub-District or with Exhibit C-4 [Streetscape Map] shall be constructed." In this case, the development does not conform to the streetscape map for the district and reduces access for the property to the north. Due to this and the proposed use not conforming to the intent of the Residential Sub-District, staff is requiring a PD Development Plan. According to the use charts contained in PD-32 townhomes require a Specific Use Permit; however, since the project will require City Council to approve a PD Development Plan, which will change the intent of the Sub-District the Specific Use Permit will not be required. Please see staff's recommendations below for strategies to reduce impact within the Sub-District.						
M.7 Provide a site plan that better delineates the requested development (i.e. remove the condominium data on the right side of the page and the line work not relating to this project -- the roadway that would connect this project to Summer Lee Drive should remain on the plan [roadway referenced below]).						
M.8 Submit four (4) sided elevations of the proposed townhomes. These will be placed in the PD Development ordinance to ensure general conformance is met at the time of site plan.						
I.9 The submitted rendering does not seem to match the submitted concept plan. The elevation shown on the rendering does not include garages and all buildings adjacent to the roadway have garages [this is also true with regard to the submitted building elevations].						
I.10 Per Ordinance No. 10-21 all elevations shall be required to be reviewed by the Architectural Review Board (ARB). This review will be required at the time of site plan approval.						
I.11 If approved, an open space master plan will be required to be reviewed by the Parks Board prior to City Council approval at the time of final plat..						
I.12 If approved, the applicant will be required to submit a site plan and final plat for the subject property.						
M.13 Are these townhomes on individual lots? If they are on individual lots please submit a subdivision plan showing how the development will be subdivided and indicating minimum .lot width and depth. If the development is intended to be one (1) lot please indicate how ownership will be calculated (i.e. as a share of the total development or other). This is needed to establish conformance with the intent of the Sub-District.						
M.14 Based on the applicant's submittal staff would make the following recommendations concerning the proposed townhome development:						
1) The applicant should consider incorporating alleyways with rear-facing garages. According to the City's Comprehensive Plan "Townhouses should have a minimum required square footage of livable space (e.g. 1,200 SF), with no maximum size ... Townhouses must also have rear-entry garages."						
2) The streets within the development should be public streets to allow connectivity for adjacent properties. Currently, the applicant's plan limits the connectivity of the adjacent property (i.e. the property directly northeast of the subject property), and changes the adjacent property owners ability to conform to the plan (Update 07/21/2016: The applicant has stated that a cross access easement with a stub out to the adjacent property to the north will be provided. This should provide sufficient cross access).						
3) The townhome property should connect to the roadway extending adjacent to the condominium project in order to increase connectivity and access to the site. It should also be pointed out that under the current development scheme the townhome site would not be able to be developed until the adjacent properties construct future roadways.						
4) The applicant should consider patterning the internal streets of the development off the mew concept contained on Page 5 of Resolution No. 10-40. Staff will review the streetscape elements with the site plan.						
5) The applicant should consider incorporating parallel or niche parking to accommodate visitors.						
6) The applicant should incorporate streetscape elements into the townhome development. Staff will require a streetscape plan at the time of site plan.						
All recommendations are intended to bring the plan closer into conformance with the City's Comprehensive Plan and with the intent of Planned Development						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>District 32 (PD-32).</p> <p>I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on August 2, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2016 Planning &amp; Zoning Meeting.</p> <p>I.16 The projected City Council dates for this case are project to be: 1) August 15, 2016 [1st Reading], and 2) September 6, 2016 (Tuesday) [2nd Reading].</p>						



Z2016-026 - HARBOR URBAN CENTER TOWNHOMES  
 ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

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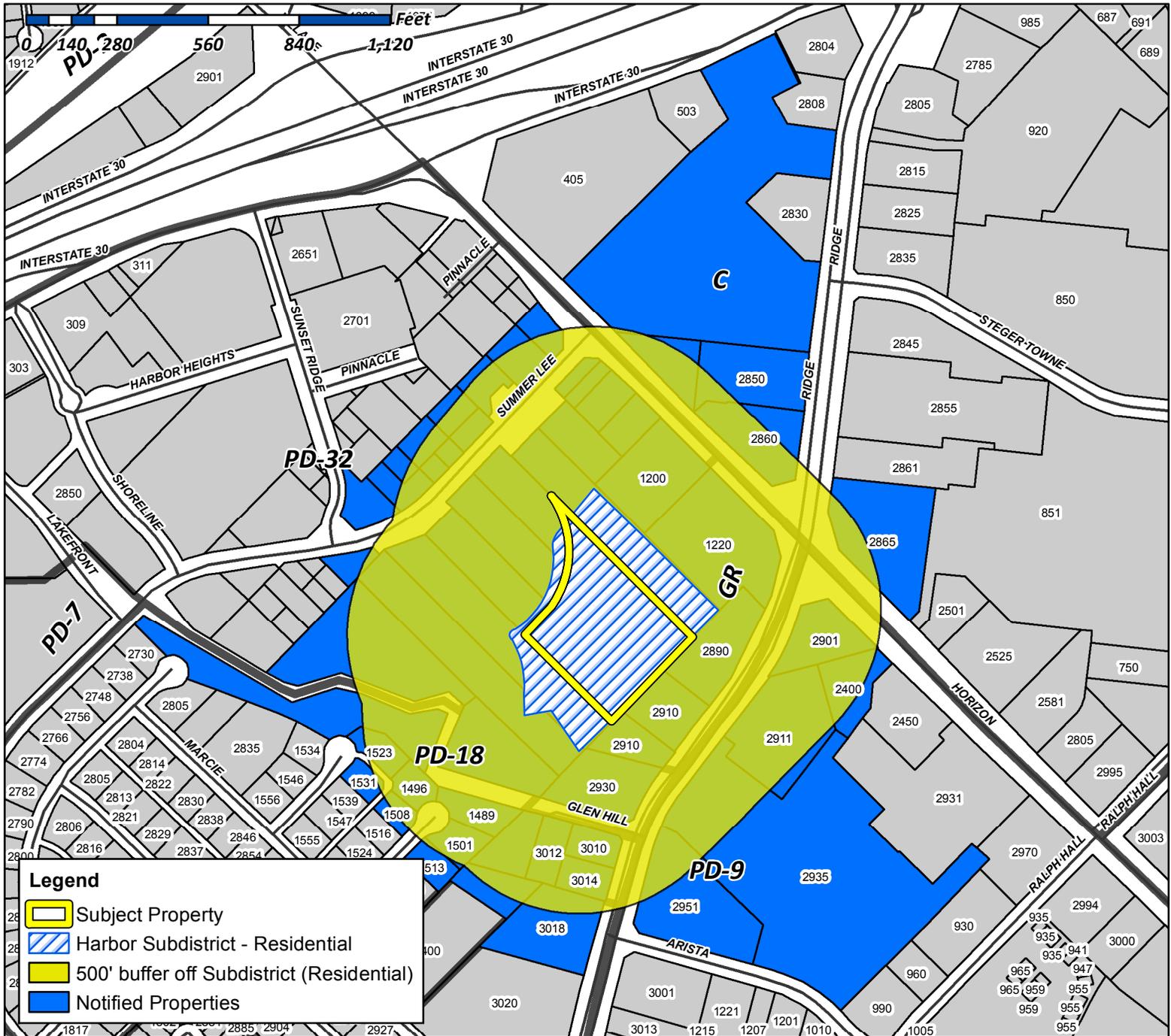
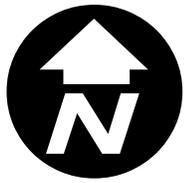




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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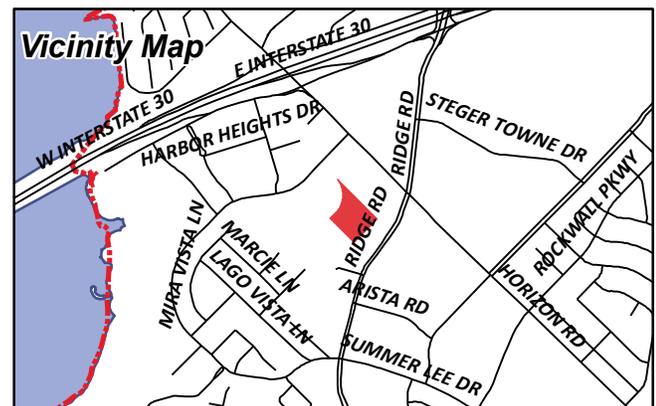


**Legend**

- Subject Property
- Harbor Subdistrict - Residential
- 500' buffer off Subdistrict (Residential)
- Notified Properties

**Case Number:** Z2016-026  
**Case Name:** Harbor Urban Center Townhomes  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** Intersection of Ridge Road and Glen Hill Way

**Date Created:** 07/19/2016  
**For Questions on this Case Call** (972) 771-7745



KROGER TEXAS LP  
1014 VINE STREET  
CINCINNATI, OH 45202

SONG CORPORATION  
1200 HORIZON RD  
ROCKWALL, TX 75032

ANDERSON ALLEN D ETUX  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1220 HORIZON RD  
ROCKWALL, TX 75032

HP ROCKWALL 740 LTD  
C/O GARY P HAMMER  
12720 HILLCREST RD STE 1080  
DALLAS, TX 75230

KROGER TEXAS LP  
1331 E AIRPORT FWY  
IRVING, TX 75062

LONG MINDI N & HAMILTON P  
1489 SHADY GROVE CIRCLE  
ROCKWALL, TX 75032

THOMPSON CHARLES C & SHARON K  
1496 SHADY GROVE CIR  
ROCKWALL, TX 75032

YAYINE BERRE Z  
1501 SHADY GROVE CIRCLE  
ROCKWALL, TX 75087

HURST LEIF AND TIFFANY  
1508 SHADY GROVE CIR  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1513 SHADY GROVE CIR  
ROCKWALL, TX 75032

HASSANIZADEH MAHMOUD & VASHTI  
1523 PARKSIDE CIR  
ROCKWALL, TX 75032

COLEMAN BRUCE R & TRUDY J  
1531 PARKSIDE CIR  
ROCKWALL, TX 75032

BENT TREE REALTY CO  
16475 DALLAS PKWY STE 880  
ADDISON, TX 75001

BENT TREE REALTY CO  
16475 DALLAS PKWY STE 880  
ADDISON, TX 75001

CFT DEVELOPMENTS LLC  
ATTN: DAVID LUO, DIRECTOR  
1683 WALNUT GROVE AVE  
ROSEMEAD, CA 91770

BRYANT JUDY GRACE & LINDA JEAN BRUNETTE  
AND  
DOUGLASS FREDERICK WYGAL  
1714 MARCELLA LN  
ROWLETT, TX 75089

SER TEXAS LLC  
DBA HYPERION HOMES TEXAS LLC  
2 N RIVERSIDE PLAZA #1250  
CHICAGO, IL 60606

BRITTANY PROPERTIES LLC  
201 LAURENCE DR PMB 111  
HEATH, TX 75032

CURRENT RESIDENT  
2400 HORIZON RD  
ROCKWALL, TX 75032

SELMA HOSPITALITY INC  
2560 ROYAL LN STE 210  
DALLAS, TX 75229

J BR2 LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

AJ SQUARED LLC  
271 RABBIT RIDGE  
HEATH, TX 75087

CURRENT RESIDENT  
2850 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2860 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2865 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2890 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2901 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2910 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2911 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2930 SOUTH RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2935 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2951 RIDGE RD  
ROCKWALL, TX 75032

MINNETONKA CAPITAL INVESTMENTS V LP  
%WALGREEN CO #5827  
300 WILMOT RD  
DEERFIELD, IL 60015

BRITTANY PROPERTIES LLC (69%) &  
MIKE SEALOCK (31%)  
3010 RIDGE RD  
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY  
3010 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3012 RIDGE RD RD  
ROCKWALL, TX 75032

ATTAWAY LISA K  
3014 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
3018 RIDGE RD  
ROCKWALL, TX 75032

GLEN HILLS CEMETERY  
C/O INEZ GIBSON  
3830 FRANK ST  
DALLAS, TX 75210

ATTICUS REAL ESTATE SERVICES INC  
5339 ALPHA RD STE 300  
DALLAS, TX 75240

ATTICUS REAL ESTATE SERVICES INC  
5339 ALPHA RD STE 300  
DALLAS, TX 75240

JEY INVESTMENTS  
602 FALVEY AVE  
TEXARKANA, TX 75501

CARSON MARK R  
701 N MUNSON RD  
ROYSE CITY, TX 75189

HUGHES ROBERT J & PATRICK HUGHES &  
SANDRA FERGUSON  
8030 SAN LEANDRO DR  
DALLAS, TX 75218

1220 HORIZON ROAD LLC  
C/O CVS 7464-02  
OCC EXP DEPT 1 CVS DRIVE  
WOONSOCKET, RI 02895

SPATEX GROUP PARTNERSHIP  
C/O GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

CULPEPPER/SPATEX JV  
%GARY SHULTZ  
PO BOX 1068  
HURST, TX 76053

EXODUS TRUST  
PO BOX 12263  
DALLAS, TX 75225

AMERICAN NATIONAL BANK THE  
PO BOX 40  
TERRELL, TX 75160

LANDAU PROPERTIES LP  
PO BOX 601679  
DALLAS, TX 75360

W & R PROPERTIES INC  
PO BOX 657  
KAUFMAN, TX 75142

Case No. Z2016-026: Harbor Urban Center Townhomes

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

This area is much too closed in for such an uneventful and wooded area. Big infringement on the beautiful single living houses case by. Big bad move.

Name: Vashiti Hassanizadeh

Address: 1523 Parkside Circle Rockwall TX 75032

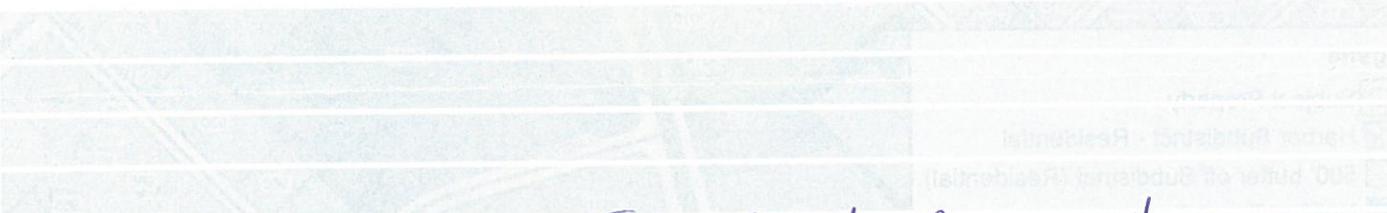
**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-026: Harbor Urban Center Townhomes**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.



**Name:** Carla Gilbert for Sabre Realty Management, INC.  
**Address:** Corp address 16475 Dallas Parkway # 800 Addison TX 75001  
center address: 2006 - 2014 S. Goliad Rockwall TX 75087

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Case No. Z2016-026: Harbor Urban Center Townhomes**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*That area is ready for development.  
 More tax base for city, so that our taxes  
 can decrease on our property.*

Name: *Robert J. Hughes*  
 Address: *8030 SAN LEANOR DR DALLAS, TX, 75218*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

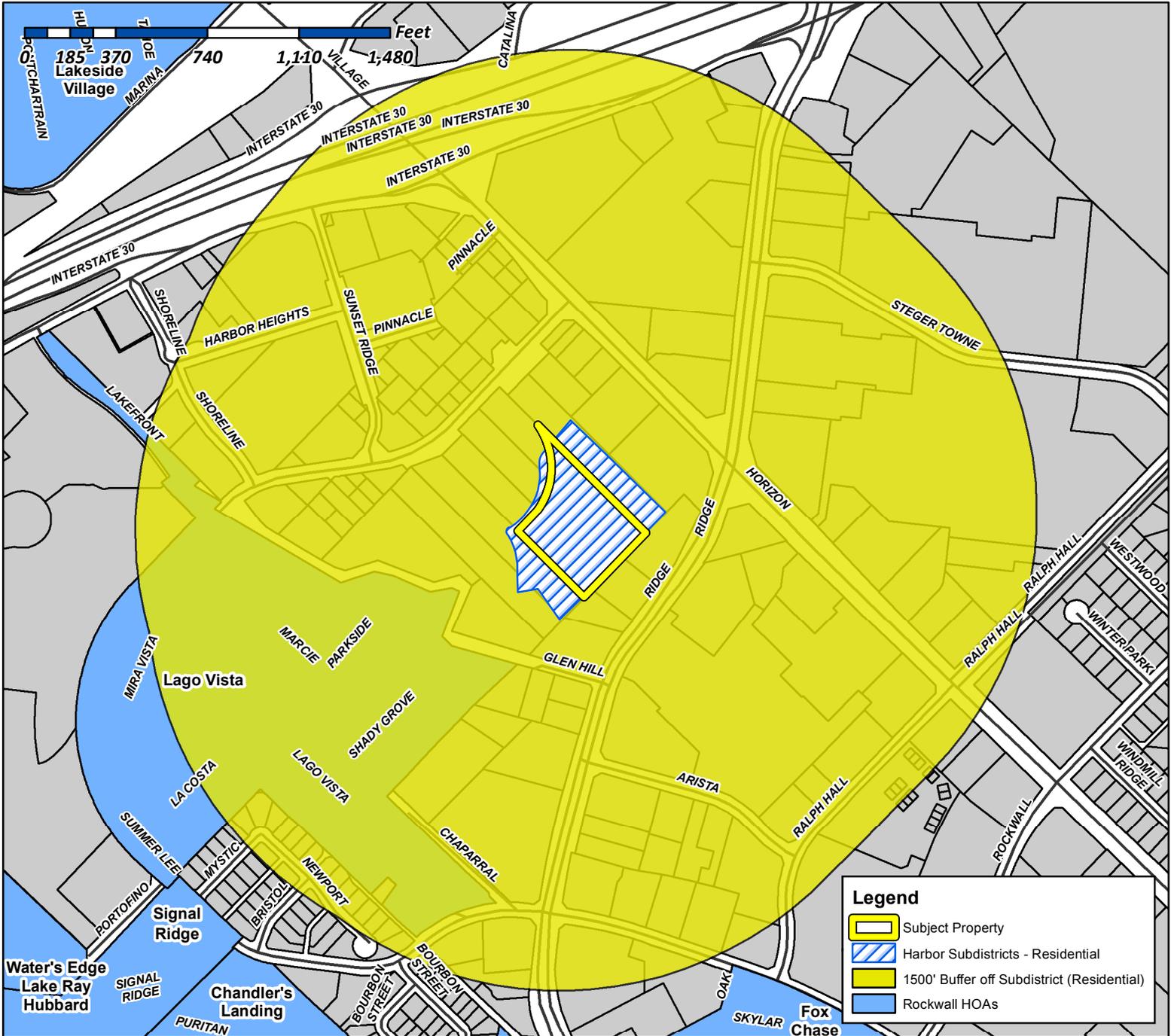
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

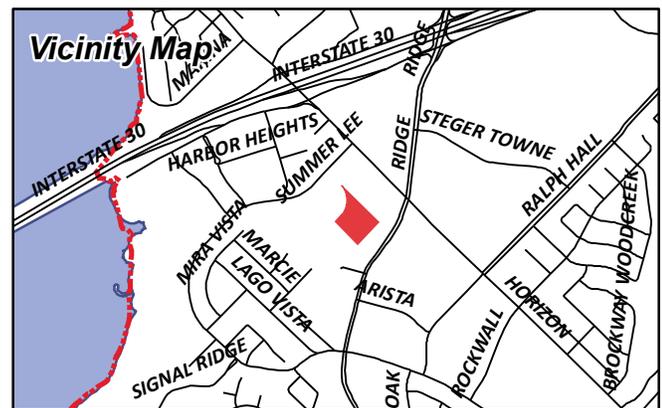
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2016-026  
**Case Name:** Harbor Urban Center Townhomes  
**Case Type:** PD Development Plan  
**Zoning:** PD-32  
**Case Address:** North of Intersection of Ridge Road and Glen Hill Way

**Date Created:** 07/19/2016  
**For Questions on this Case Call (972) 771-7745**



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Wednesday, July 20, 2016 11:22:32 AM

---

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

**Z2016-026- Hold a public hearing to discuss and consider a request by Jason Lentz of Atticus Rockwall, LLC for the approval of a PD Development Plan establishing 36 townhomes on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Residential Subdistrict* and within the Scenic Overlay (SOV) District, located north of the intersection of Ridge Road [FM-740] and Glen Hill Way, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com>

## Exhibit E-9 (Page 1 of 6) Residential Subdistrict

### RESIDENTIAL SUBDISTRICT

The Residential subdistrict is reserved for zero lot line single family residential housing. A lower volume of traffic in this area of the Harbor District make this subdistrict ideal for single family use. Key characteristics of this subdistrict include adjacency to open space and steep slopes which offer views of the surrounding area. Existing slopes within this subdistrict are in the 6% - 16% range. This subdistrict is predominately vegetated by massing of existing trees which should be preserved when possible.

#### Building Placement

Build-to-line (Distance from R.O.W. line)	
Street Type M	10'

#### Setback (Distance from R.O.W. line)

Street Type N	5'
Side	8'
Zero Lot Line	0'

A minimum of 50% of the boundary with the Open Space Subdistrict along street type G must be a public street (type M).

#### Building Form

Street Type M façade built to BTL	65%	min.
-----------------------------------	-----	------

Maximum Lot Coverage	61%
----------------------	-----

Minimum Lot Size	30' x 90'
------------------	-----------

#### Notes

#### Use

Ground Floor	
--------------	--

	Residential
--	-------------

Upper Floors	
--------------	--

	Residential
--	-------------

#### Height

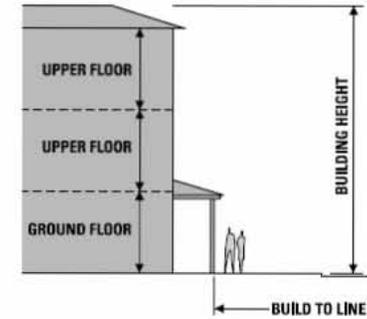
	stories / height
Maximum Building Height	3 / 36'

#### Encroachments

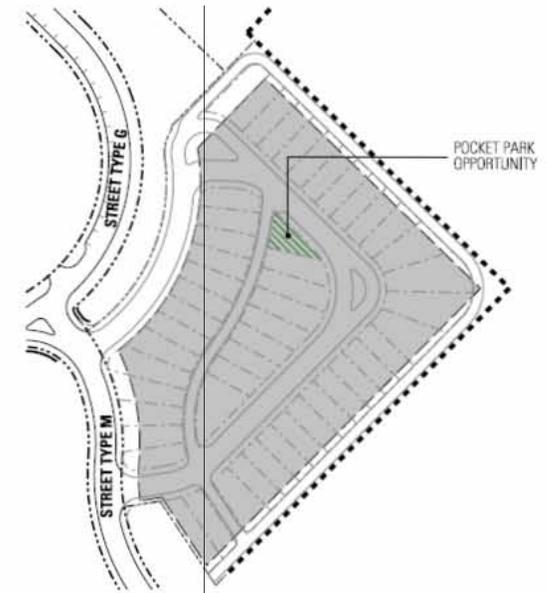
Location	
Front	5'

#### Notes

Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential



## Exhibit E-9 (Page 2 of 6) Residential Subdistrict

### RESIDENTIAL SUBDISTRICT

#### FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the subdistrict environment, the following guidelines apply regarding the repetition of floor plans and elevations:

##### Case 1

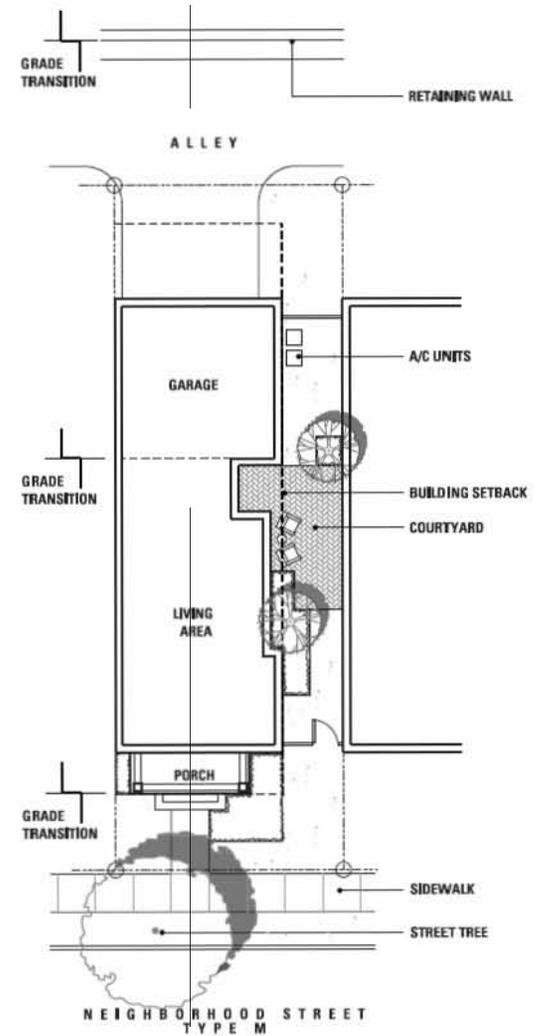
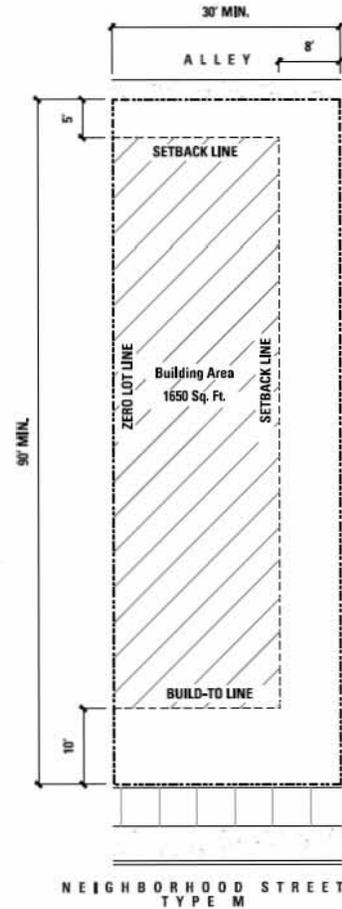
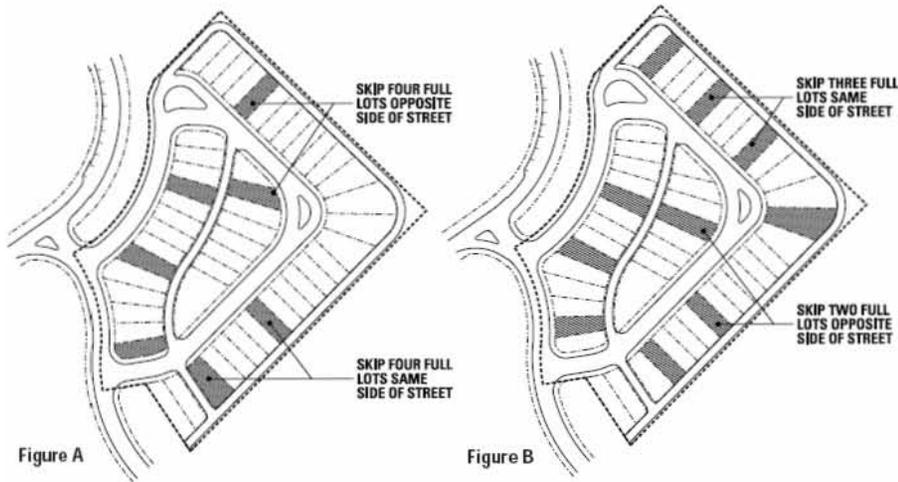
When building a house having the **same floor plan** and the **same elevation**, whether on the **same or opposite side** of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

##### Case 2

When building a house having the **same floor plan** and a **different elevation** on the **same side** of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

##### Case 3

When building a house having the **same floor plan** and a **different elevation** on the **opposite side** of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.



## Exhibit E-9 (Page 3 of 6) Residential Subdistrict

### R E S I D E N T I A L S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Site Layout, Grading and Drainage

1. Runoff onto adjacent properties is prohibited.
4. Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
5. Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
6. Do not run drainage swales from planting areas across paved areas.

##### Landscape Structures

1. Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
2. All vertical construction including garages, gazebos, arbors, barbecues and fireplaces must comply with front, side and rear setbacks.
3. Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

##### Pools and Water Features

1. Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
2. Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
3. Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

##### Lighting, Utilities and Service

1. Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.

2. Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18 inches in height.
3. Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
4. Exposed exterior floodlights or wall packs are not permitted.
5. All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

##### Irrigation Design

1. Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
2. Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
3. Prevent overspray onto streets, pedestrian walks, driveways and buildings.

##### Driveways

1. Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

##### Garages

1. Garages must be rear loaded from an alley.
2. All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

##### Building Massing

1. The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.

2. All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
3. Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

##### Roofs

1. The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
2. The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

##### Wall Materials

1. Exterior wall materials shall be any of the following:
  - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
  - B. Portland cement stucco with integral color
  - C. Brick masonry
  - D. Stone masonry
  - E. Cast stone masonry
  - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
  - G. Aluminum, masonite, and vinyl siding are not permitted.
2. Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

##### Exterior Finishes

1. All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

##### Trim

1. All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum 3/4" thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

## Exhibit E-9 (Page 4 of 6) Residential Subdistrict

### R E S I D E N T I A L S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Doors

1. All exterior doors shall be wood or metal, hinged, of rail and stile construction, with 1 to 6 panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
2. Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

##### Screen Doors

1. Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with 1 to 6 panels. All panels shall be screened. Screen doors shall be painted.
2. Storm doors are not permitted at the front door but are allowed at side and rear doors.

##### Garage Doors

1. Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
2. Garages may have maximum 18 foot wide doors.

##### Exterior Door Hardware

1. Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

##### Windows

1. Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than 4 panels. Fake mullions are discouraged.
2. Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
3. All operable windows shall be equipped with insect screens.

4. Bay windows shall be glazed a minimum of 80% of their width.

##### Exterior Window Shutters

1. Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

##### Awnings

1. Window awnings are not permitted, with the exception of shutter awnings.

##### Glazing

1. Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

##### Roofs

1. Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25 year dimensional, laminated type. Flat, 3-tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
2. All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
3. All soffit venting shall be 2 inch continuous venting or perforated "Hardisoffit" panels. No box vents shall be used. No vinyl material may be used.
4. Dormers shall be appropriately proportioned, hip or gable, with a minimum 6/12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
5. Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
6. Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.

7. All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

8. Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.

9. Satellite dishes and roof antennae shall not be visible from the street.

##### Chimneys

1. All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
2. The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney. Acceptable products include the series of black galvanized chimney caps by Gelco.
3. Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

##### Rain Gutters

1. Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
2. Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
3. Downspouts shall terminate at splash blocks, gravel, brick or concrete.

##### Paint

1. All exterior finish coat paint shall be acrylic latex or latex enamel.

## Exhibit E-9 (Page 5 of 6) Residential Subdistrict

### R E S I D E N T I A L   S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Porch Construction

1. Porch columns shall be wood posts, minimum 6 x 6, painted and free of ornamentation.
2. Porches shall have wood railings. Railing details must be included with plan submissions for approval.
3. Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
4. Porches and covered balconies may be screened at the rear of the homes only.

##### Elements Not Permitted

The following list of elements are not permitted in the development:

- Window A/C units
- Exterior fluorescent lighting
- Solar powered landscape lighting
- Soffit/cornice lighting visible from a public way
- Skylights visible from a public way
- Antennas or satellite dishes greater than 18" dia.
- Decorative flags - properly displayed American flags are allowed
- Concrete statuary visible from public way
- Plastic furniture or artificial plants visible from a public way
- Asphalt or gravel drives



Architectural Detail Character



Residential Street Edge Condition



Residential Street Character

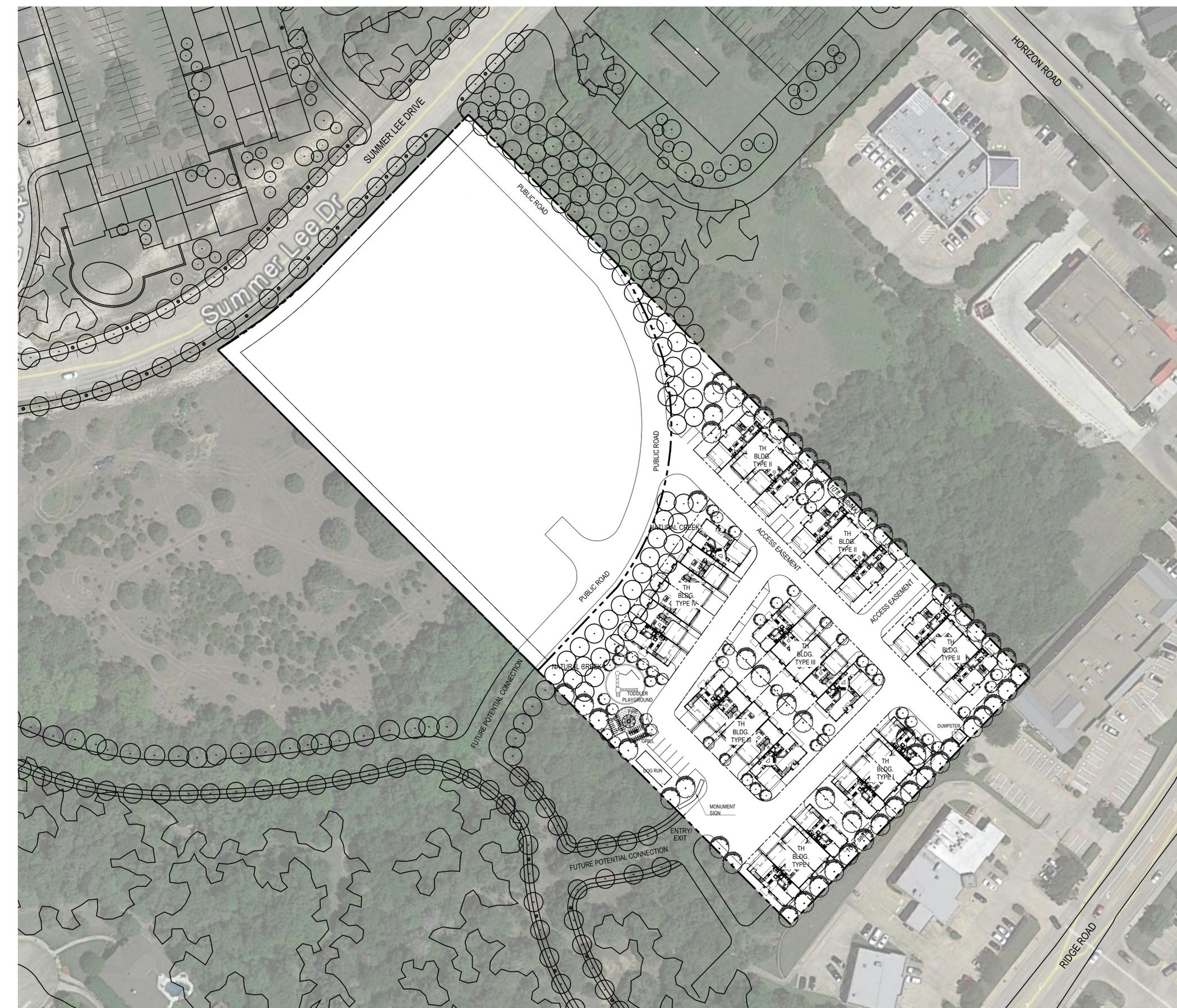


Residential Street Edge Condition

**Exhibit E-9** (Page 6 of 6)  
**Residential Subdistrict**

**R E S I D E N T I A L   S U B D I S T R I C T**  
**G R A D I N G   P L A N**





**HARBOUR URBAN CENTER- TOWN HOMES ATTICUS REAL ESTATE** 2016205  
 UNIT TABULATION: 2 STORY TOWN HOMES 8/2/16

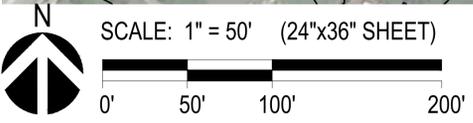
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN
THA	1br/1.5ba	1,622	9	25%	14,598	25%
THB	2br/1.5ba	1,694	11	31%	18,634	31%
THC1	3br/2.5ba	1,882	7	19%	13,174	28%
THC2	3br+ media rm /2.5ba	2,571	3	8%	7,713	
THD	3br/2.5ba	2,163	6	17%	12,978	17%
<b>TOTALS</b>			<b>36</b>	<b>100.00%</b>	<b>67,097</b>	<b>100%</b>

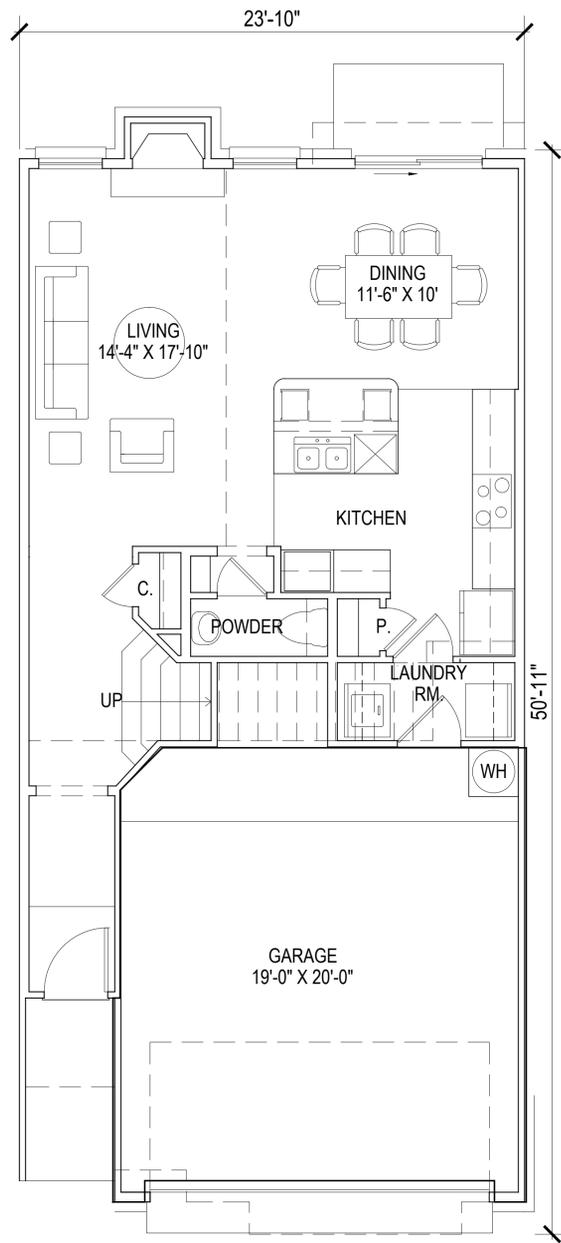
UNIT AVERAGE NET SF : 1,863.81

\* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

**PROJECT DATA**

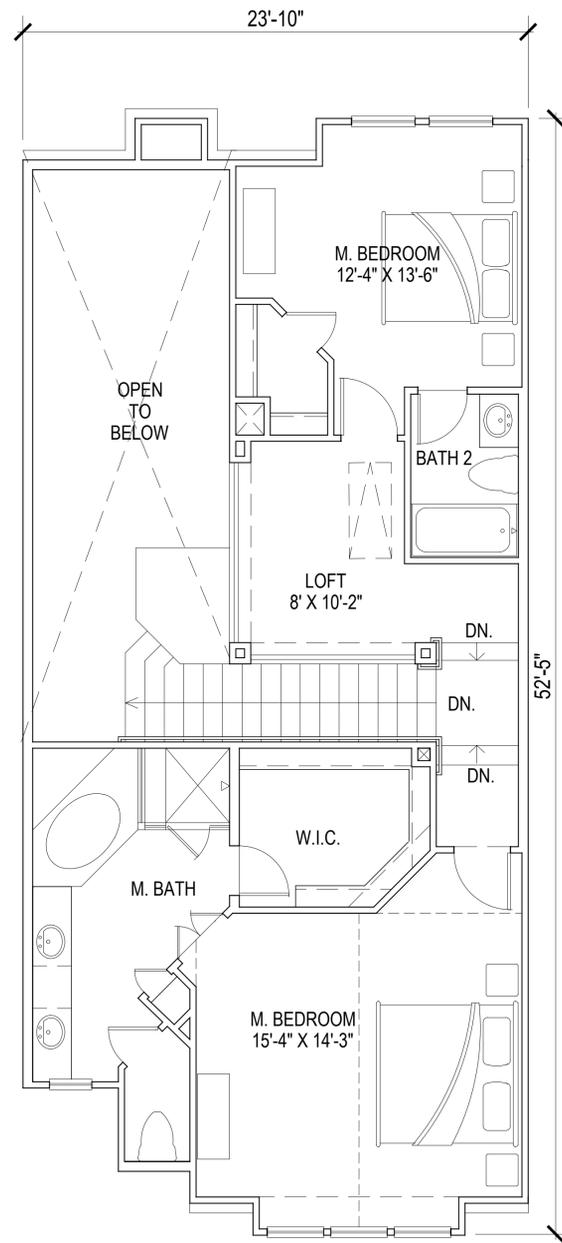
UNIT AVERAGE NET SF :	1,863.81 S.F.
ACREAGE:	3.45 ACRES
DENSITY:	10.43 UNITS/ACRE
PARKING:	
REQUIRED	72 SPACES
PROVIDED	72 GARAGE SPACES 16 SURFACE VISITOR SPACES 88 TOTAL SPACES 2.44 SPACES/UNIT





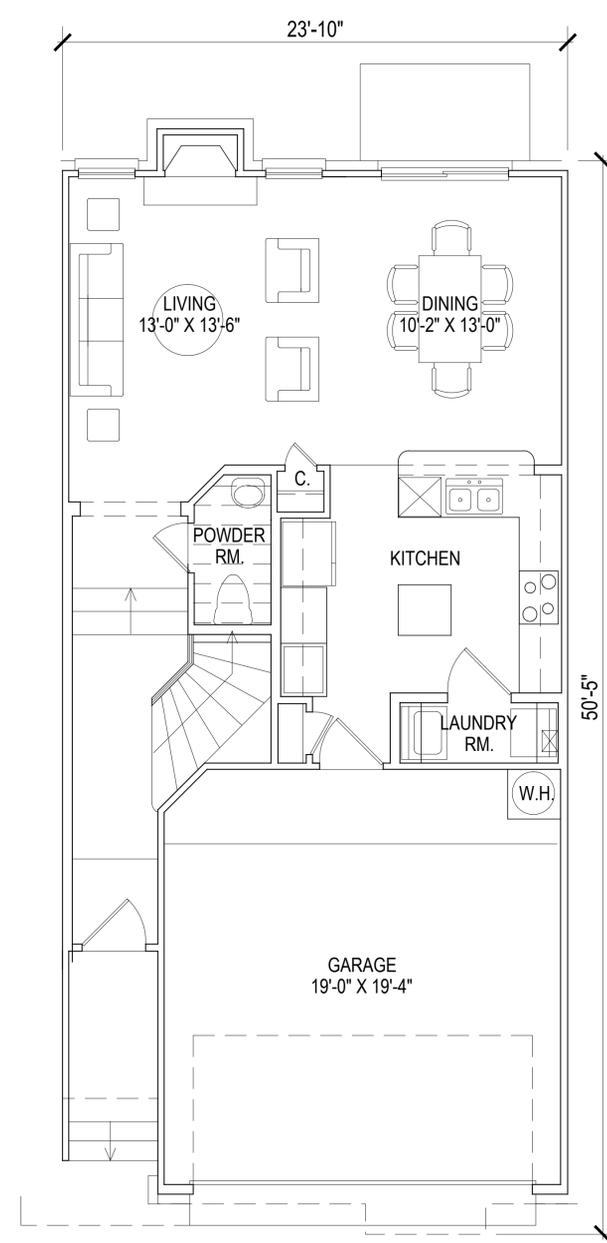
**THA-L**  
NET - 728 SQ. FT.

TOWNHOME A  
LOWER LEVEL: 728 SF.  
UPPER LEVEL: 894 SF.  
TOTAL: 1622 SF.



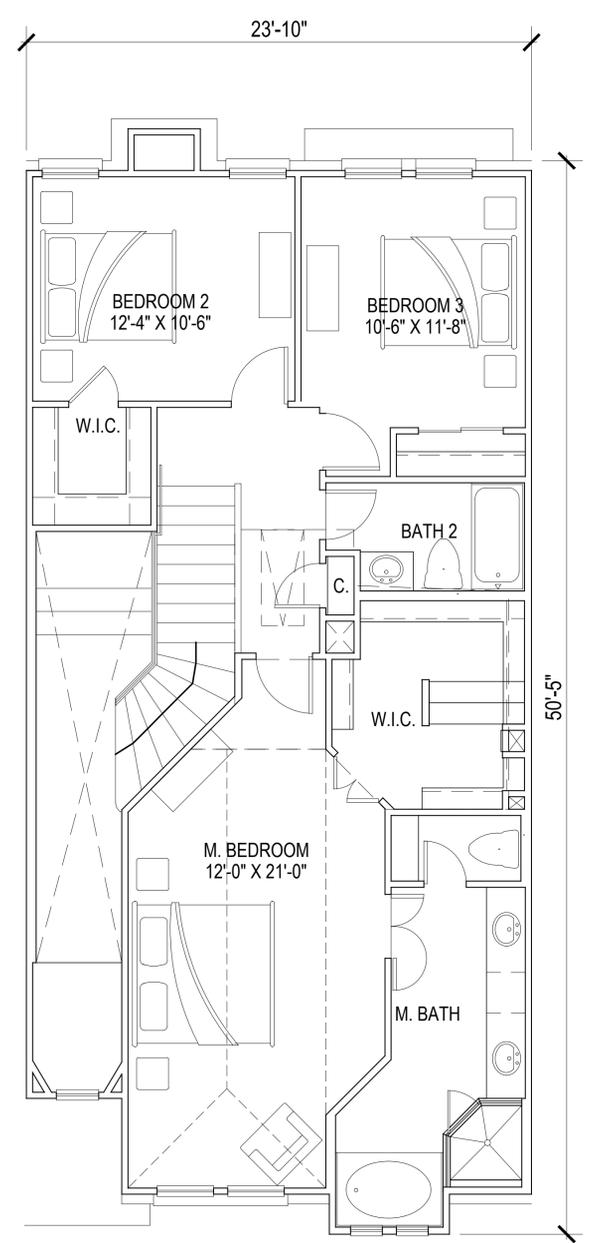
**THA-U**  
NET - 894 SQ. FT.

TOWNHOME A  
LOWER LEVEL: 728 SF.  
UPPER LEVEL: 894 SF.  
TOTAL: 1622 SF.



**THB-L**  
NET - 724 SQ. FT.

TOWNHOME B  
LOWER LEVEL: 724 SF.  
UPPER LEVEL: 970 SF.  
TOTAL: 1,694 SF.

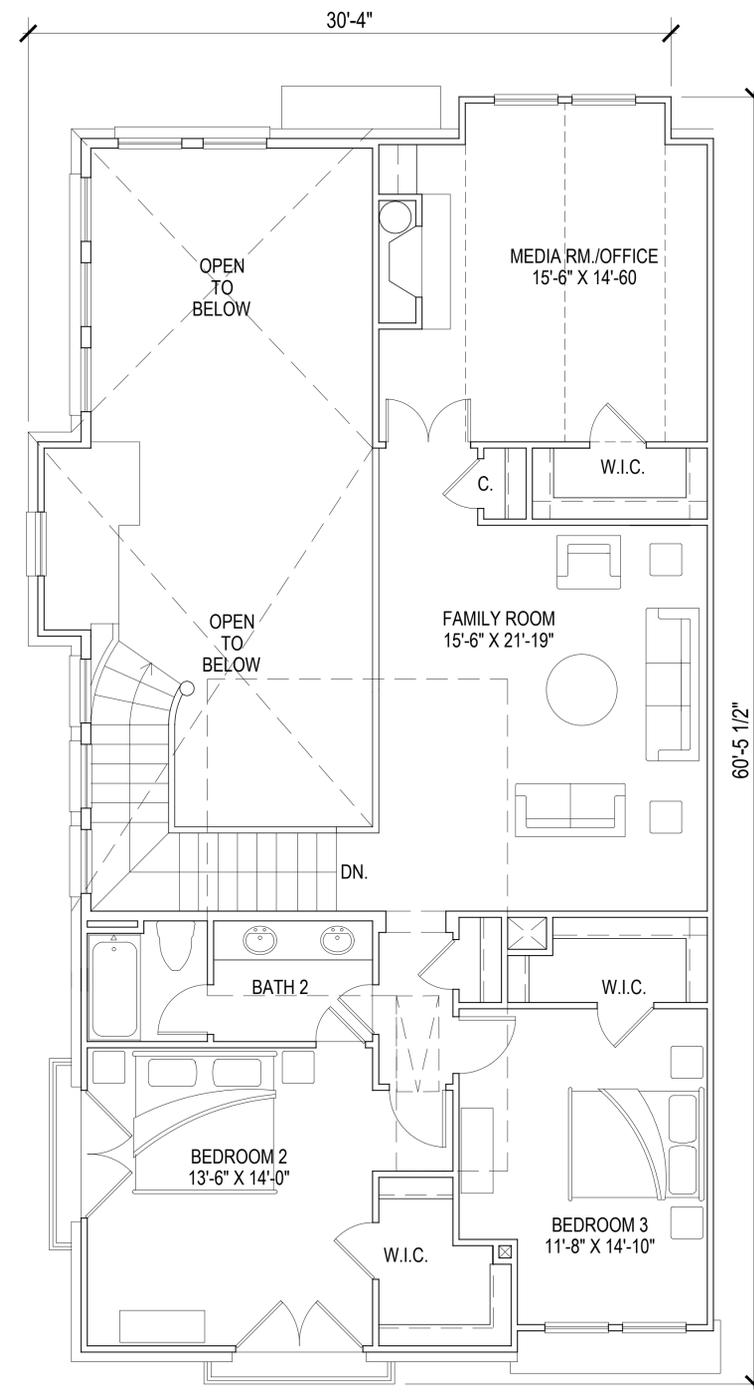
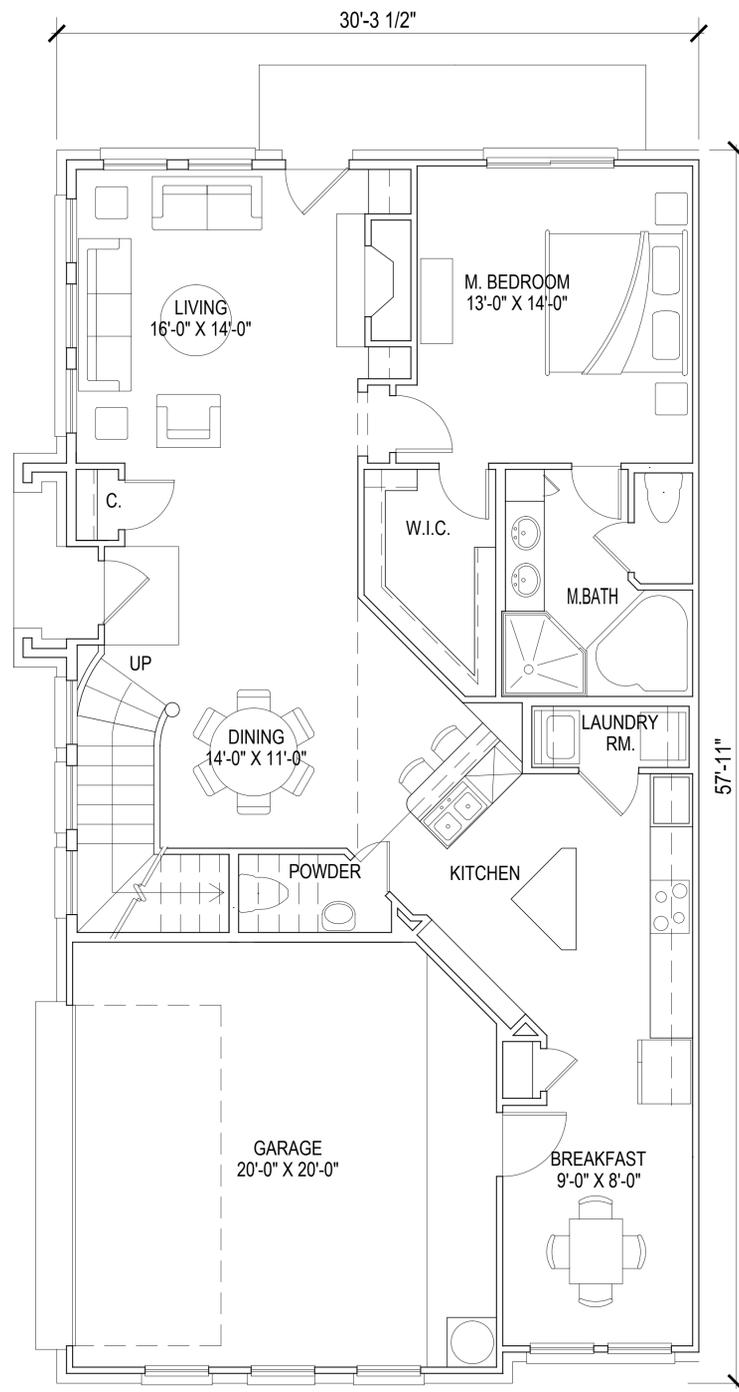
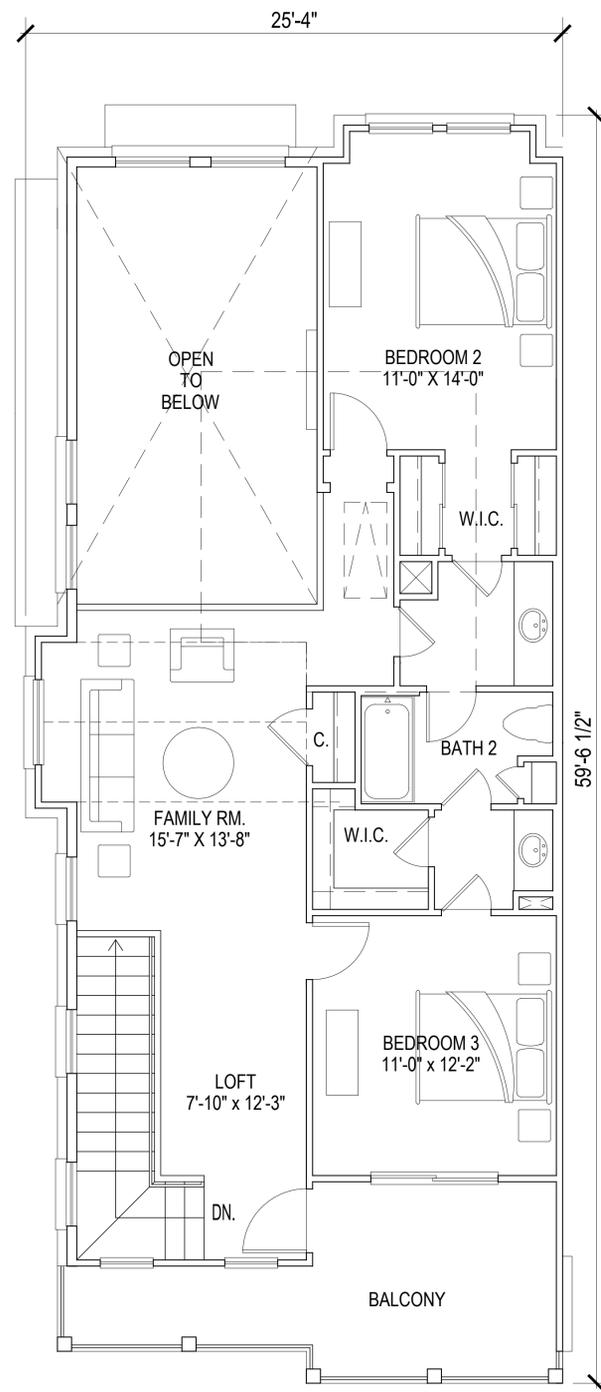
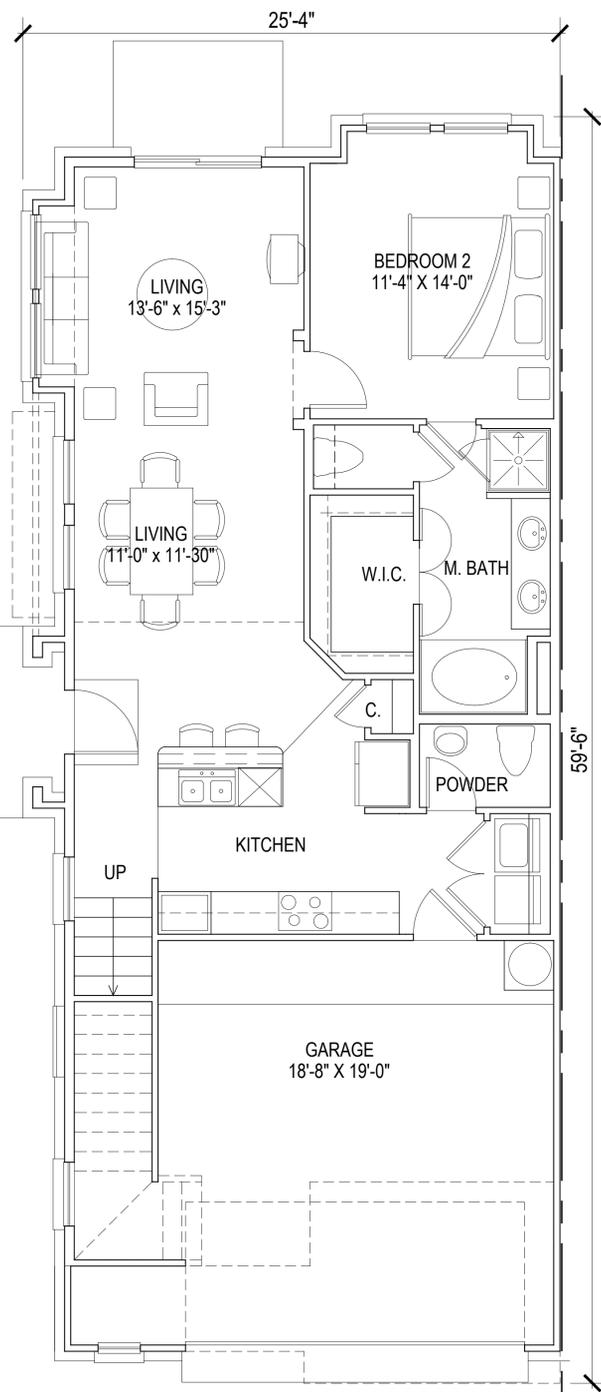


**THC1-L**  
NET - 970 SQ. FT.

TOWNHOME B  
LOWER LEVEL: 724 SF.  
UPPER LEVEL: 970 SF.  
TOTAL: 1,694 SF.

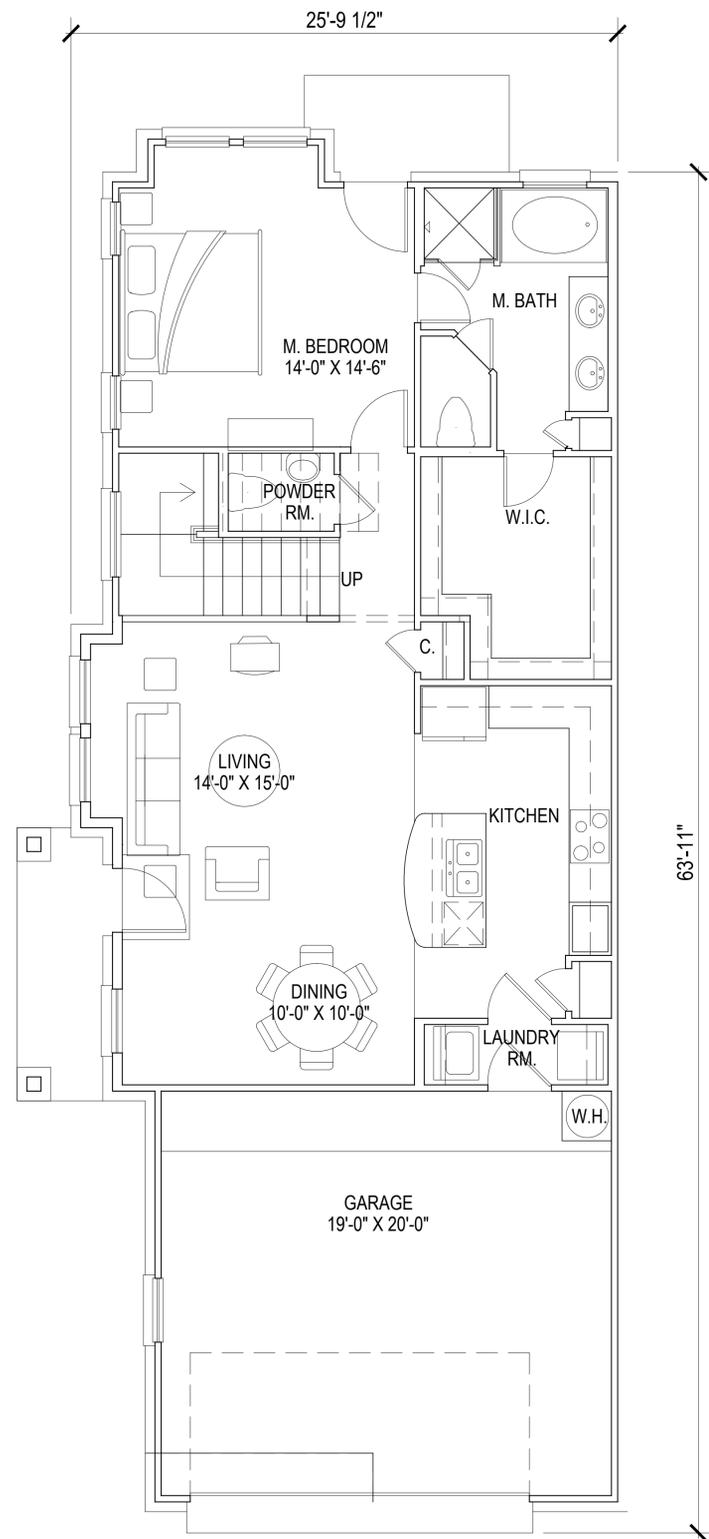
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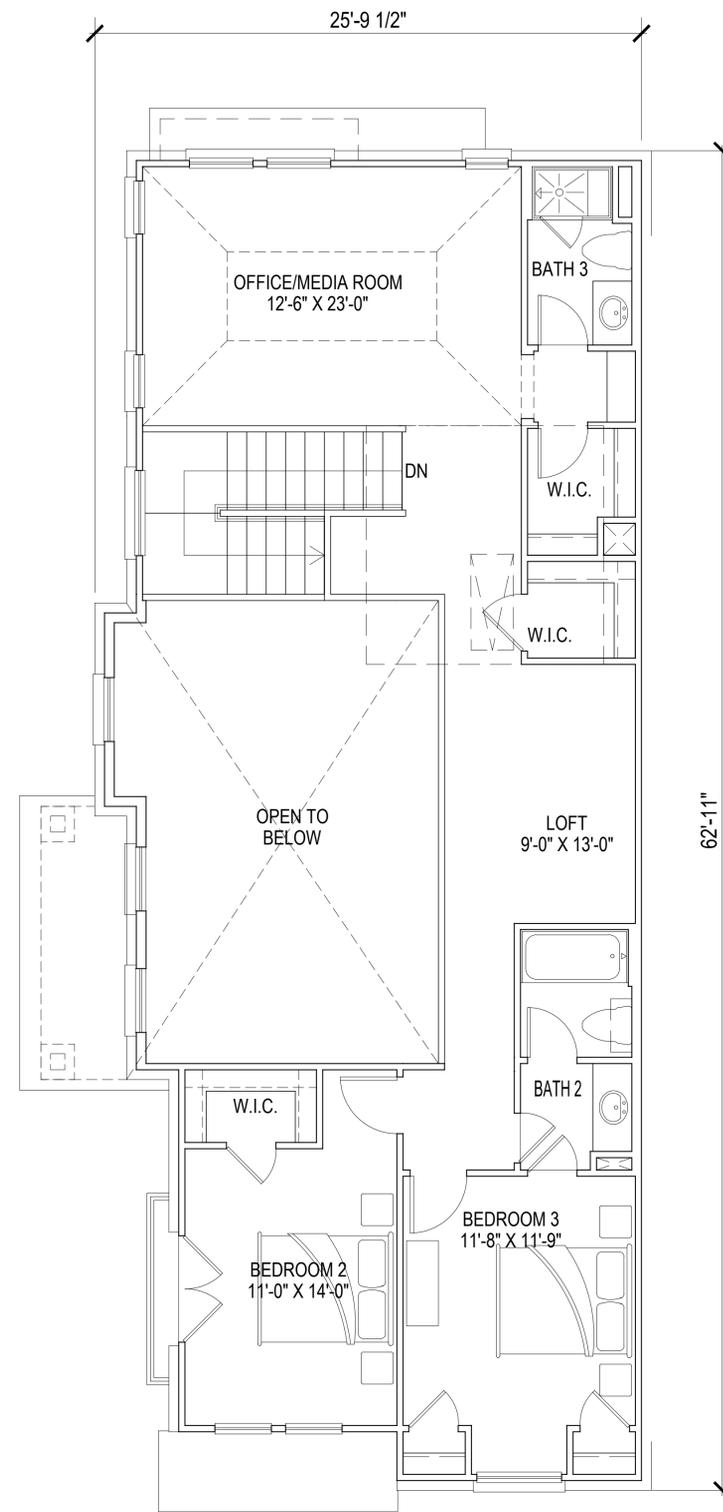
SCALE: 1/4" = 1'-0" (24"x36" SHEET)





TH. D-LOWER  
NET - 1083 SQ. FT.

TOWNHOME D  
LOWER LEVEL: 1,083 SF.  
UPPER LEVEL: 1,080 SF.  
TOTAL: 2,163 SF.

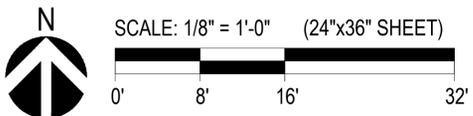
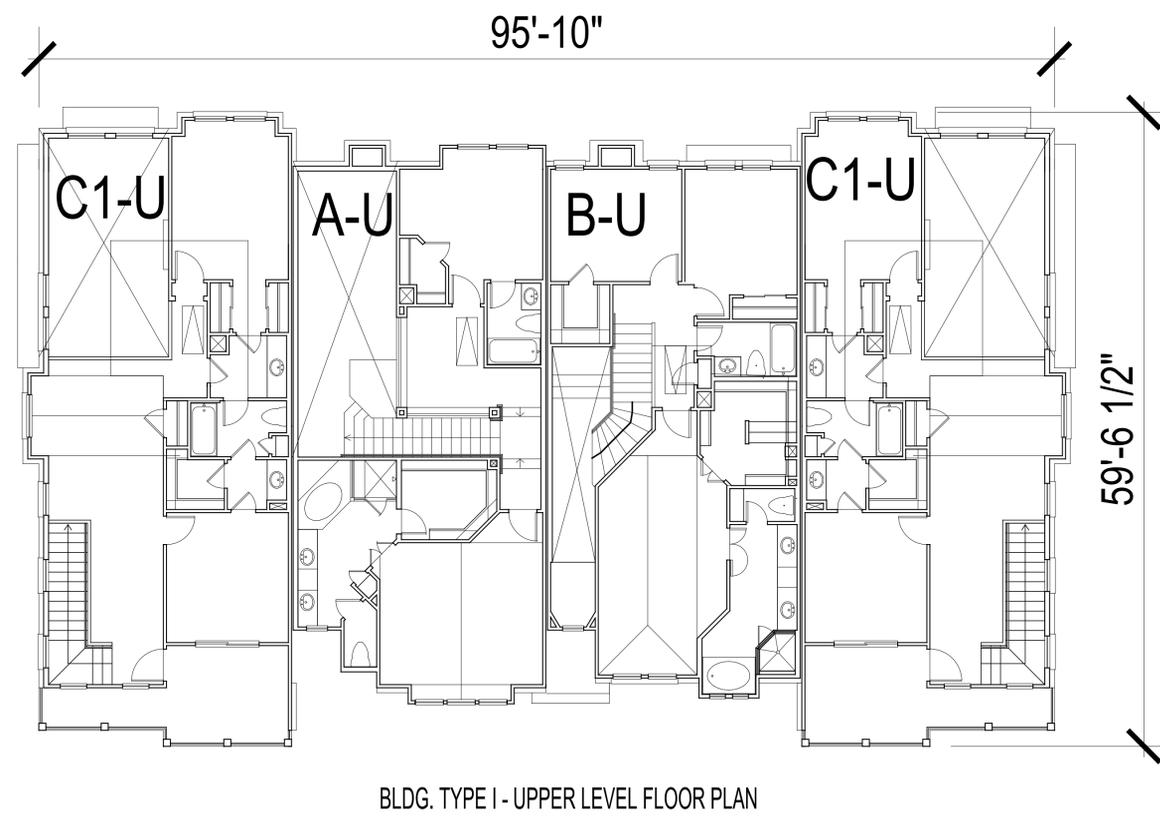
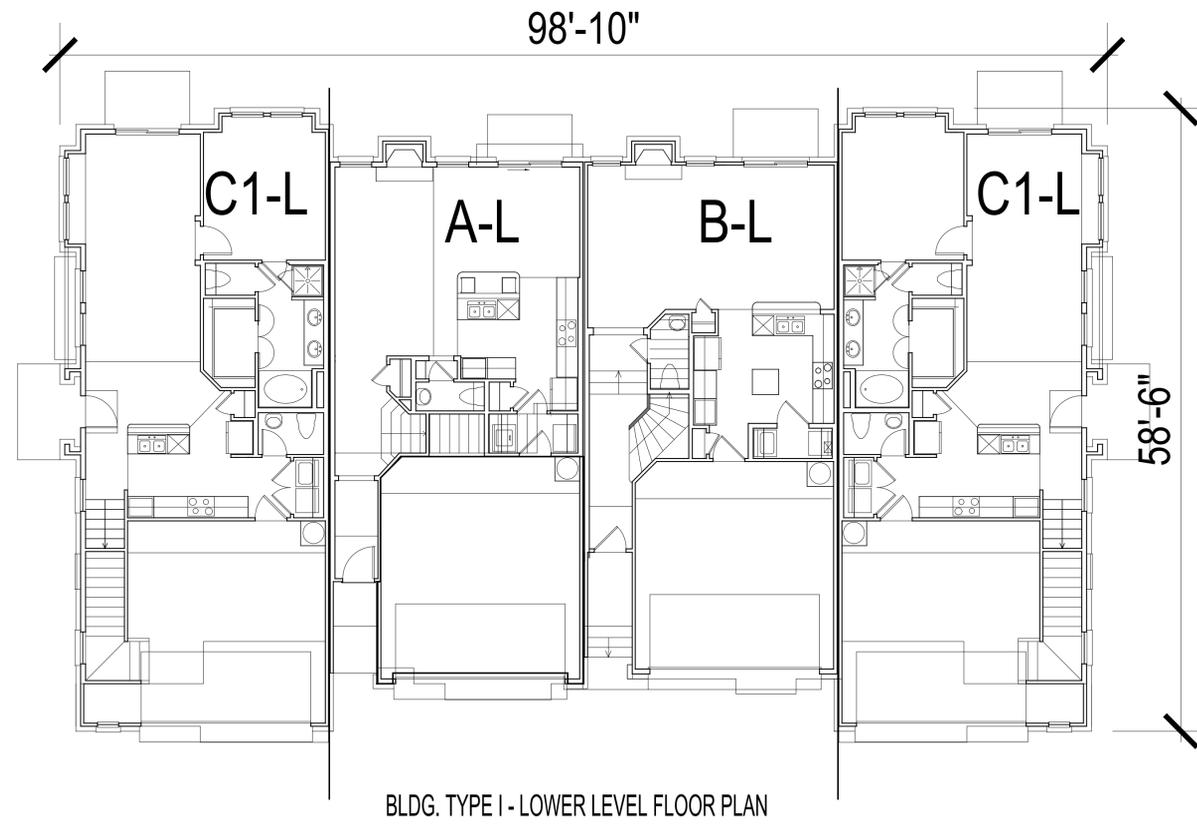


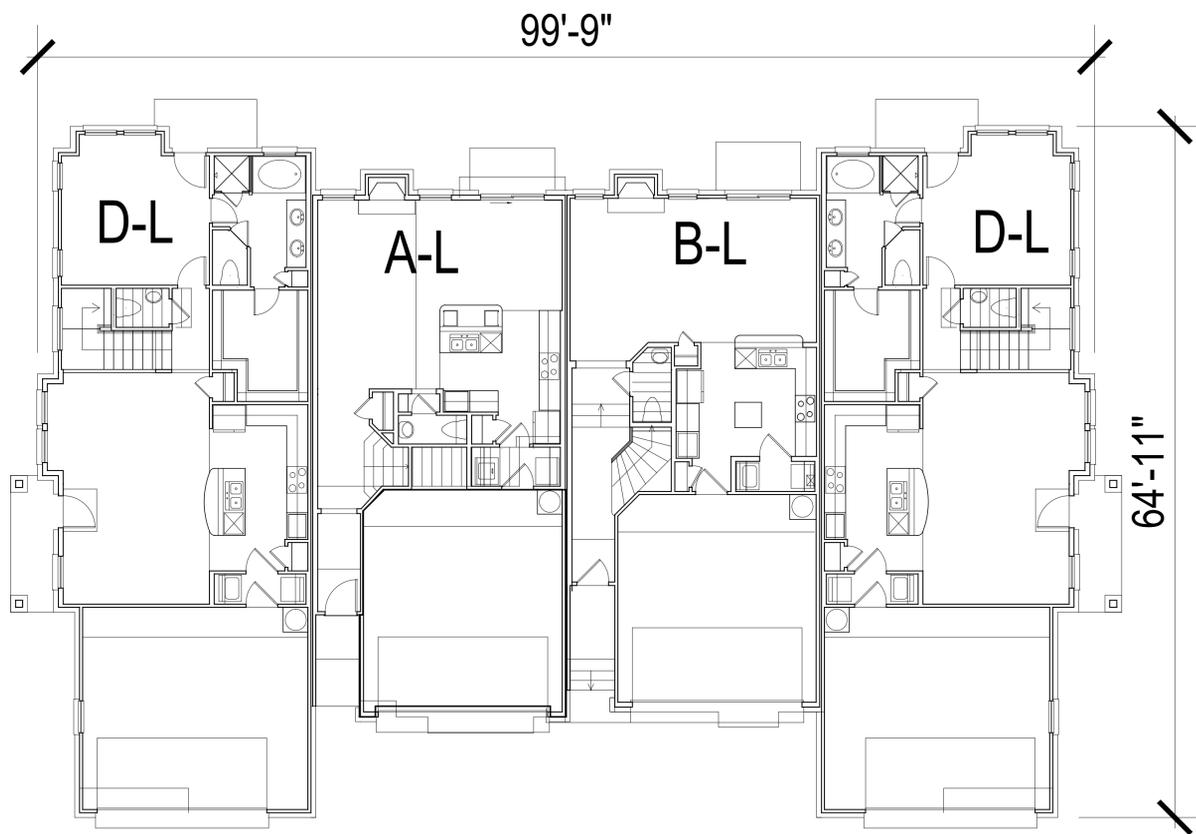
TH. D-UPPER  
NET - 1080 SQ. FT.

TOWNHOME D  
LOWER LEVEL: 1,083 SF.  
UPPER LEVEL: 1,080 SF.  
TOTAL: 2,163 SF.

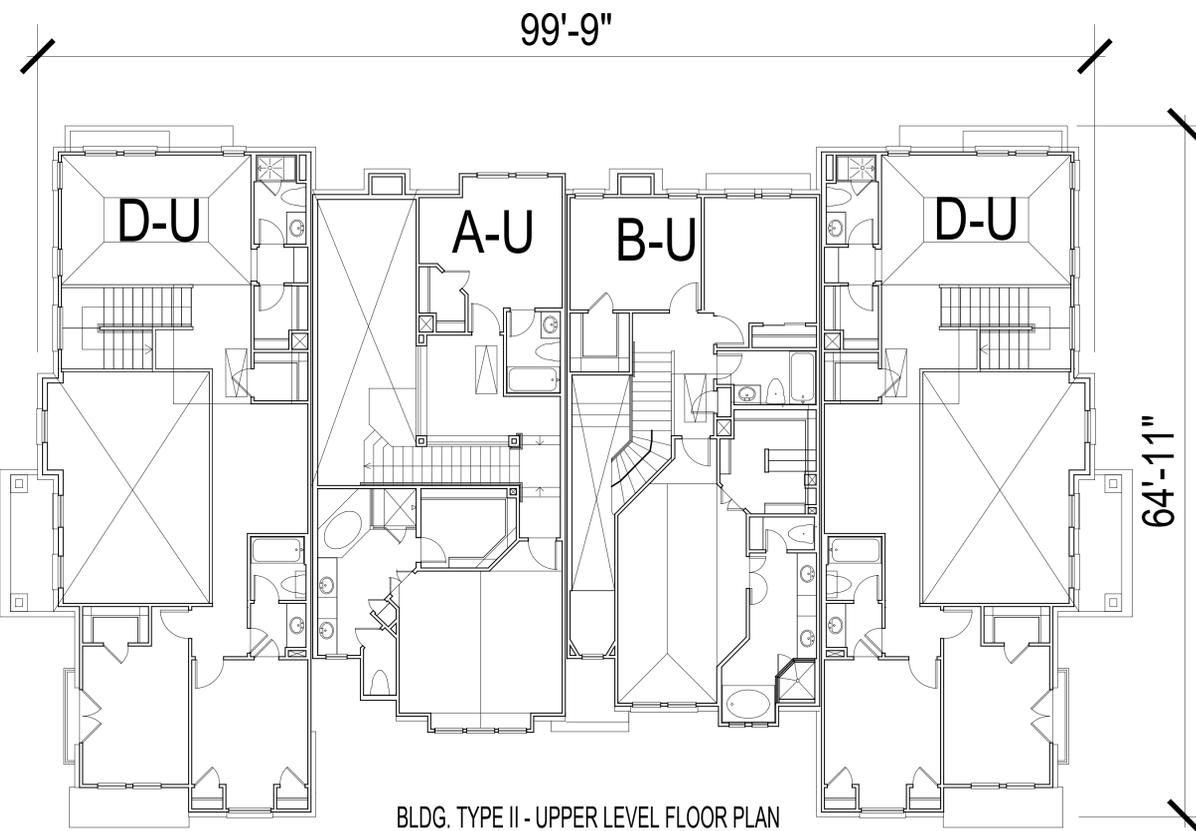
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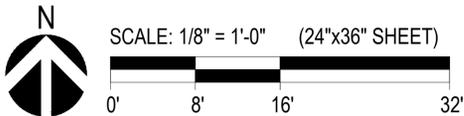


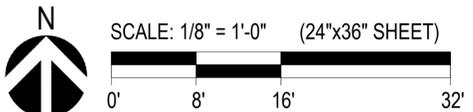
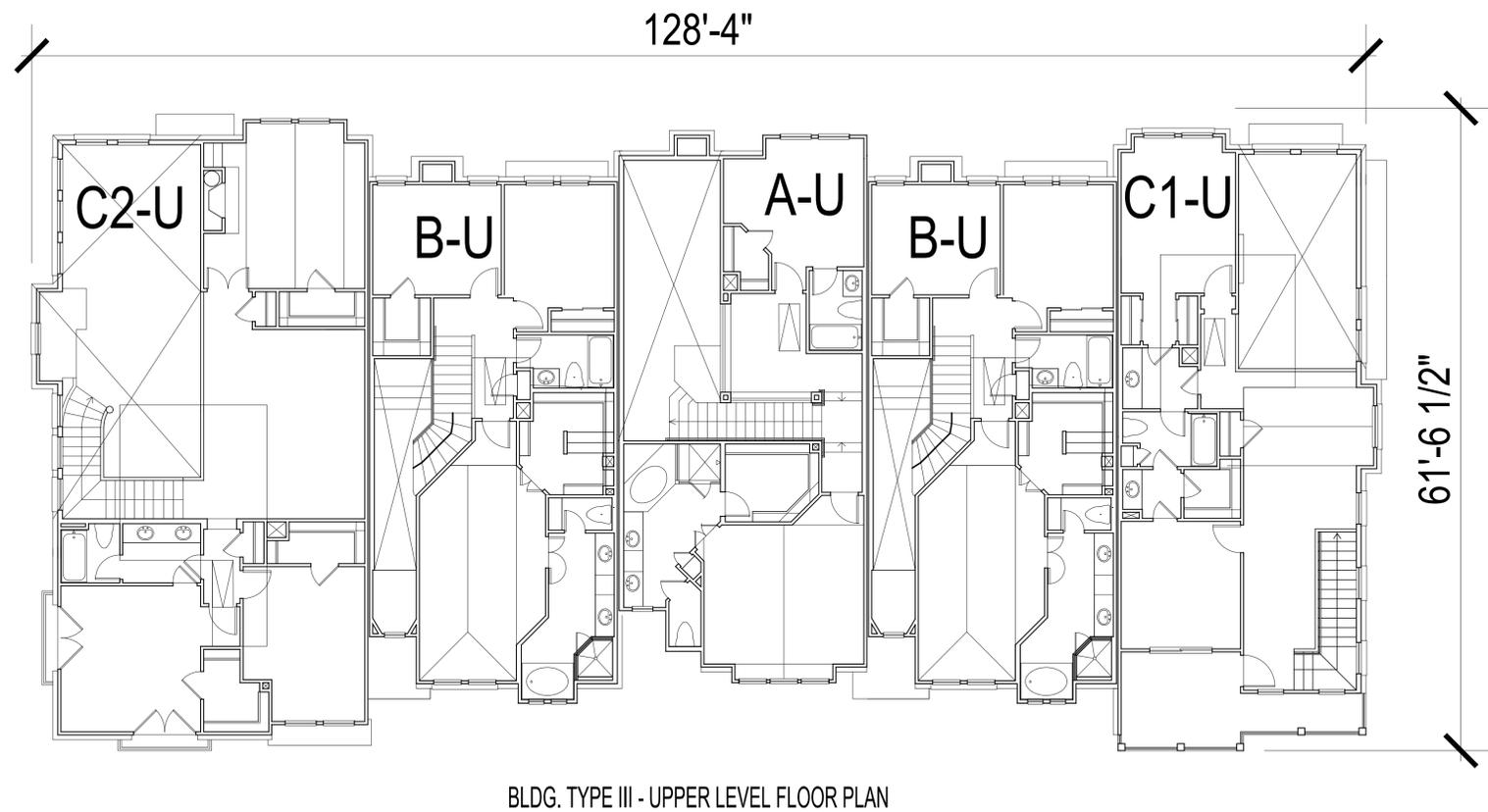
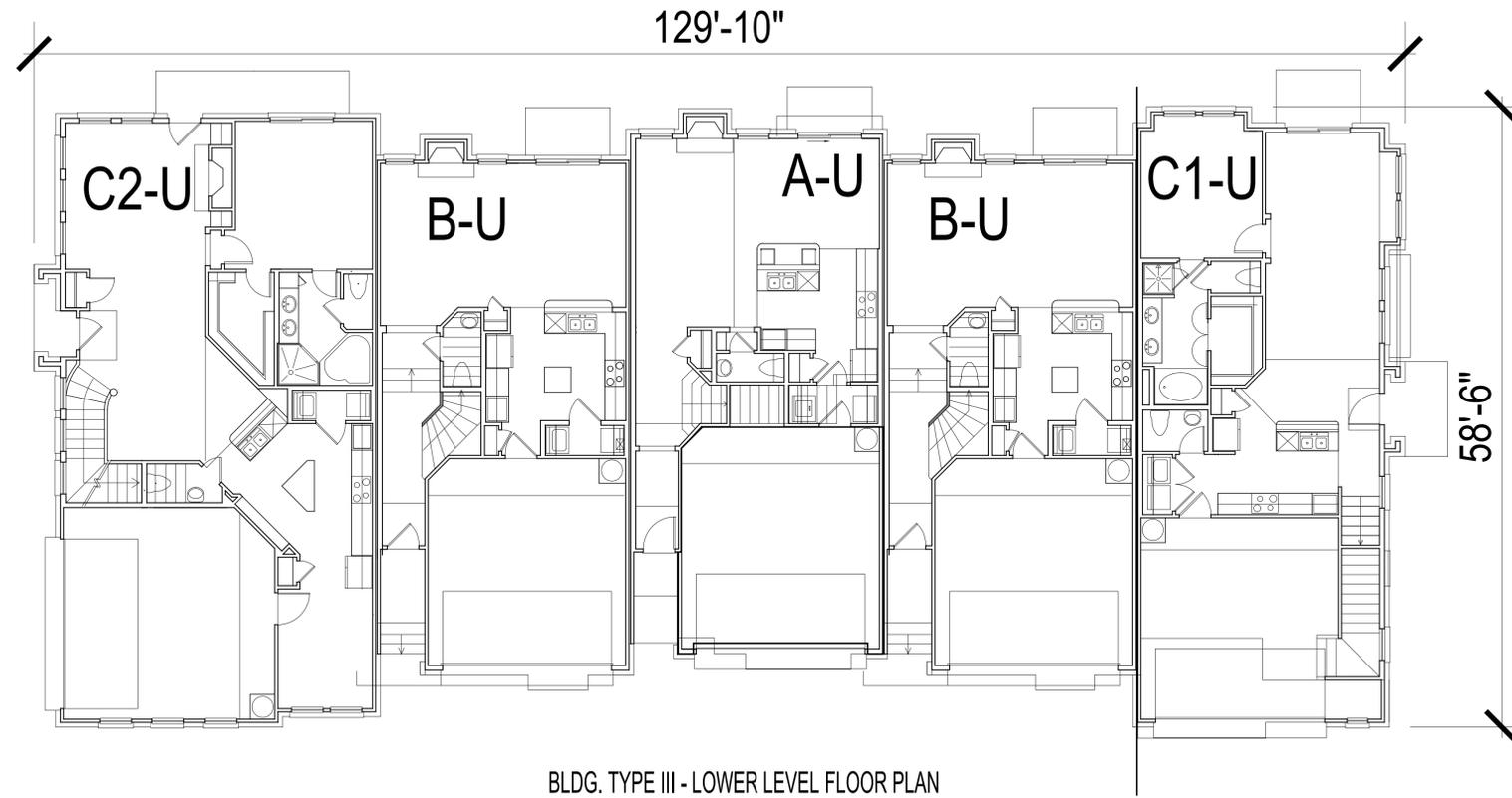


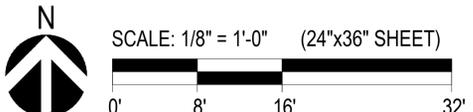
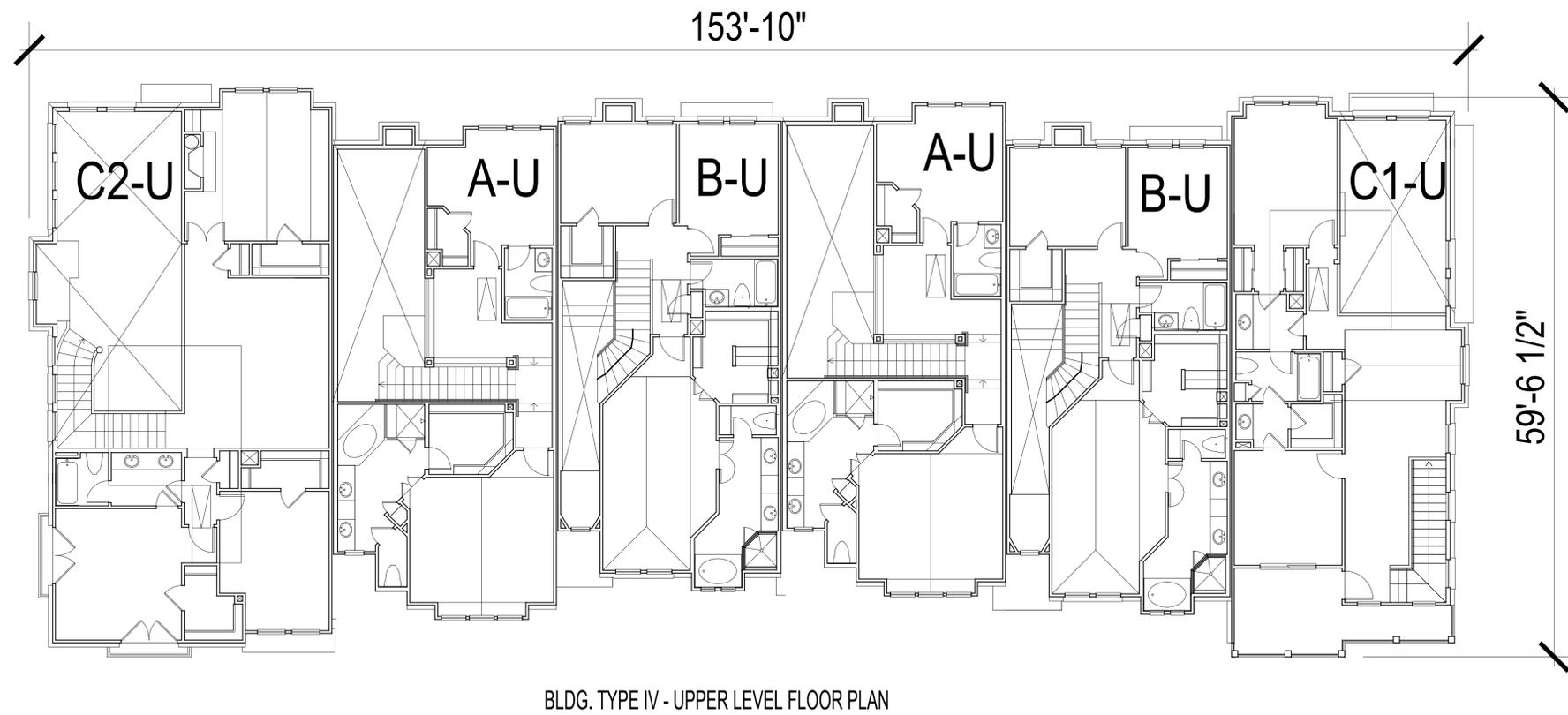
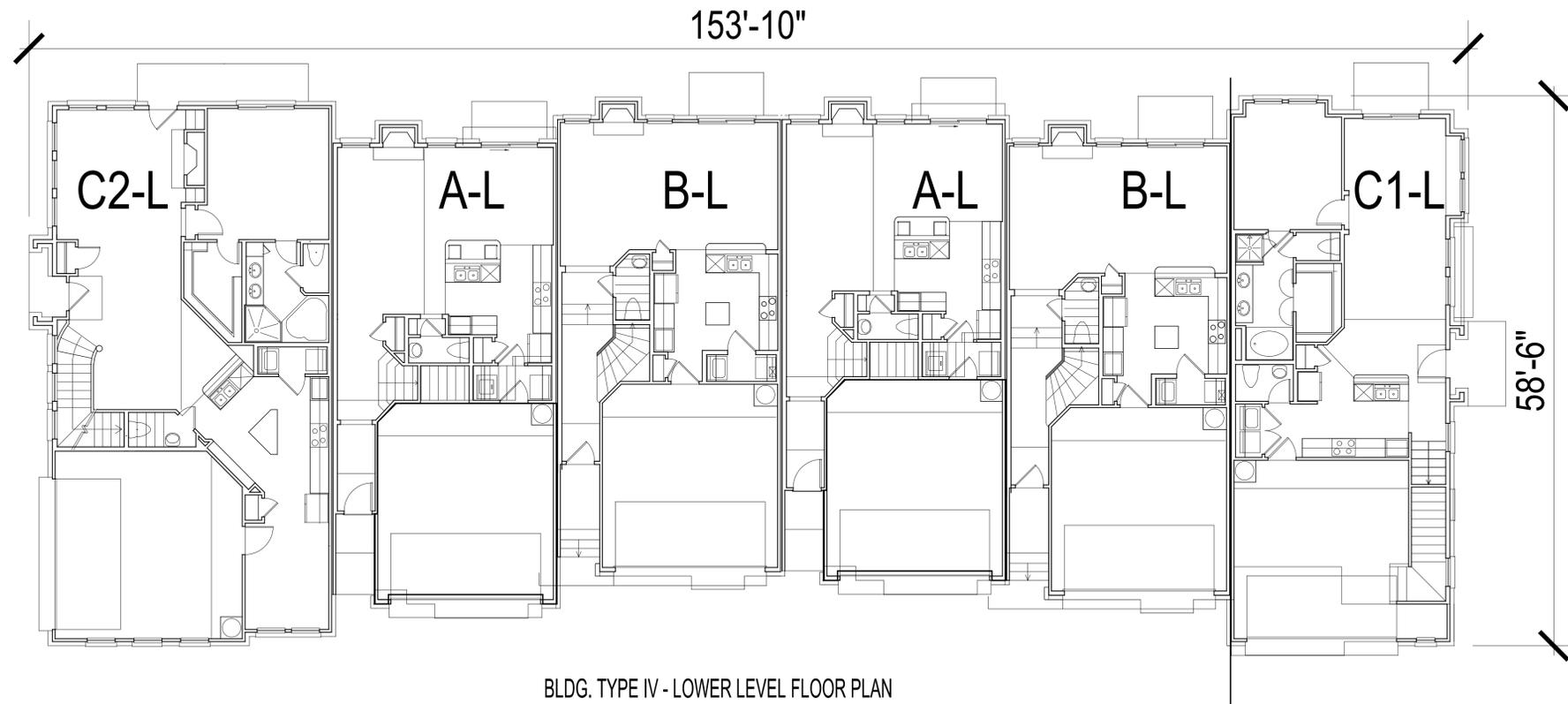
BLDG. TYPE II - LOWER LEVEL FLOOR PLAN



BLDG. TYPE II - UPPER LEVEL FLOOR PLAN









FRONT ELEVATION (scale: 1/8"=1')

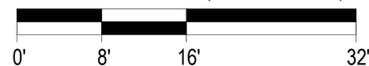


SIDE ELEVATION (scale: 1/8"=1')



REAR ELEVATION (scale: 1/8"=1')

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



A422

Z2016-026



FRONT ELEVATION (scale: 1/8"=1')



RIGHT ELEVATION (scale: 1/8"=1')



LEFT ELEVATION (scale: 1/8"=1')



REAR ELEVATION (scale: 1/8"=1')

SCALE: 1/8" = 1'-0" (24"x36" SHEET)





FRONT ELEVATION (scale: 1/8"=1')



RIGHT ELEVATION (scale: 1/8"=1')

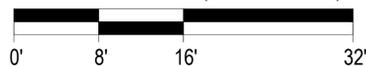


LEFT ELEVATION (scale: 1/8"=1')



REAR ELEVATION (scale: 1/8"=1')

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 3.462-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for 36 townhomes to be situated within the *Residential Subdistrict* of Planned Development District 32 (PD-32) on a 3.462-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 10-21* and the official zoning map of the City of Rockwall so as to approve a PD Development Plan for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*, and,

**Section 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) Cross access (*as depicted in Exhibit 'B' of this ordinance*) shall be provided to the property directly north of the subject property;
- 2) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 3) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 4) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 5) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and

the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

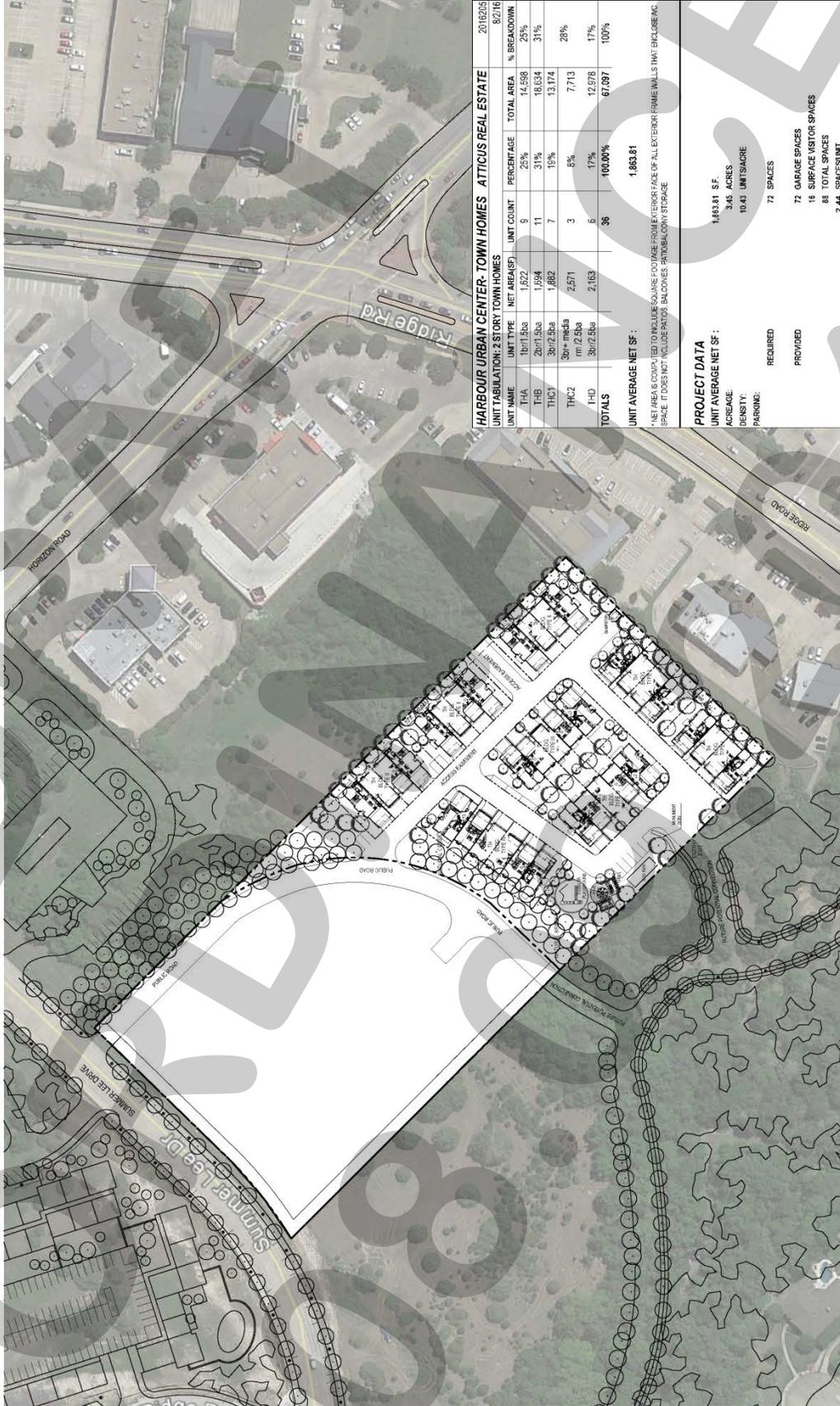
1<sup>st</sup> Reading: August 15, 2016

2<sup>nd</sup> Reading: September 6, 2016

**LEGAL DESCRIPTION**

DRAFT  
ORDINANCE  
08.09.2016

Exhibit 'B':  
Concept Plan



SCALE: 1" = 50' (24"x36" SHEET)

0 50 100 200

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5533 Abrams, Suite 300, Dallas, TX 75240 | 972.311.8888 | humphreys.com

**ATTICUS**  
 CONSULTING PARTNERS

**ARCHITECTURAL SITE PLAN**  
 TOWNHOMES  
 August 2, 2018

**A203**  
 Z2016-026

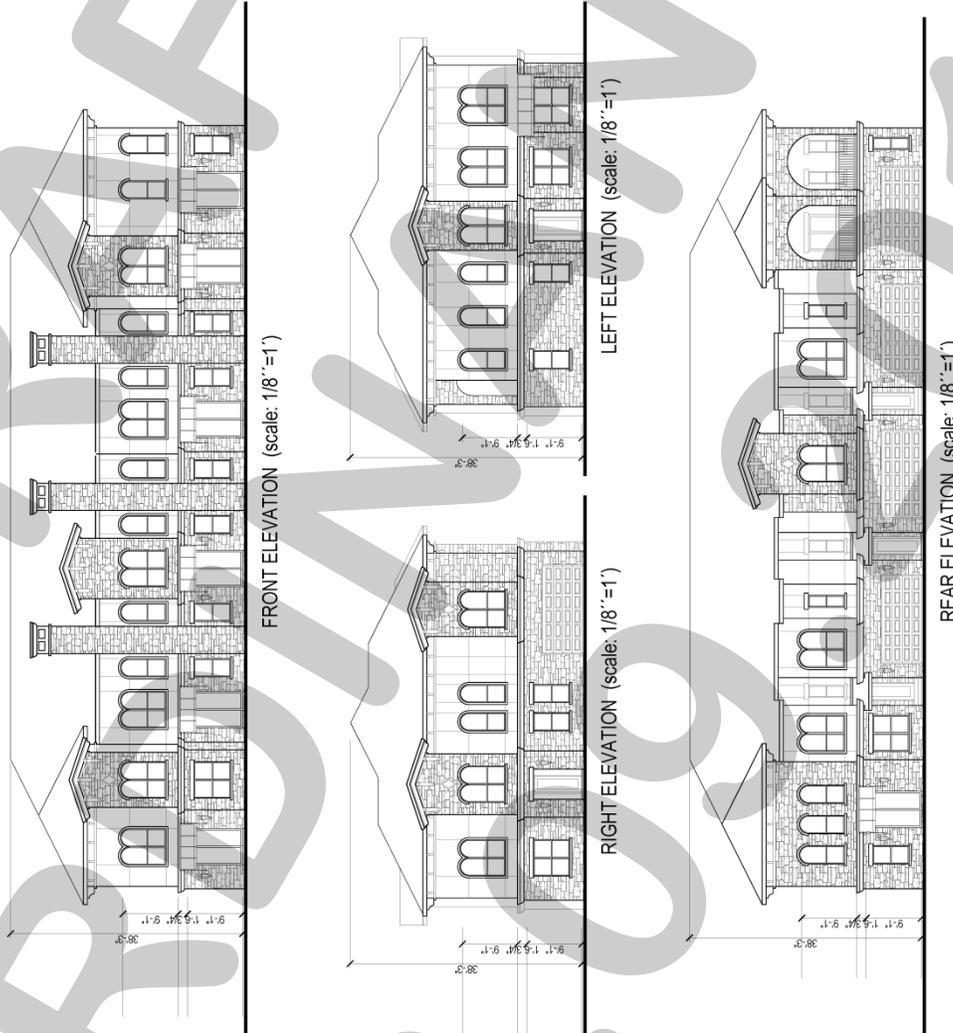
**HARBOR URBAN CENTER**  
 Rockwall, TX  
 HPAM 18206



**Exhibit 'C':**  
**Concept Building Elevations**

**A432**  
 Z2016-026

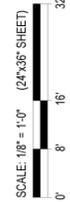
**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 8PM 18205



**TH BLDG III. ELEVATIONS**  
 August 2, 2016



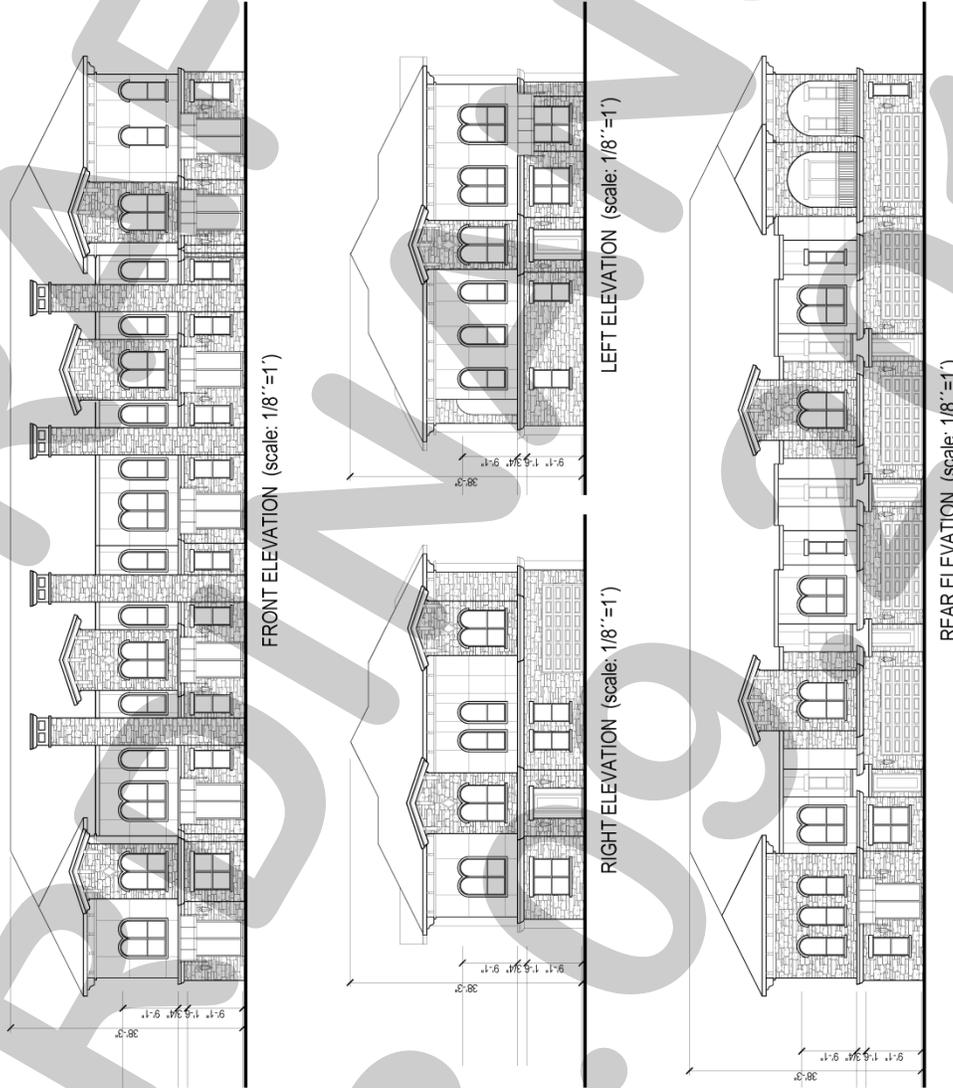
**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5000 Lyndon B. Smith Blvd., Suite 1000, Dallas, TX 75240 | 214.761.8888 | humphreys.com



**Exhibit 'C':**  
*Concept Building Elevations*

**A442**  
 Z2016-026

**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 HPM 10005



SCALE: 1/8" = 1'-0" (24"x36" SHEET)  
 0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5000 Lyndon B. Smith Blvd., Suite 100, Dallas, TX 75240 | 214.761.8888 | humphreys.com



TH BLDG III. ELEVATIONS  
 August 2, 2016

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# CITY OF ROCKWALL, TEXAS

## MEMORANDUM

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**TO:** Planning and Zoning Commission

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** August 9, 2016

**SUBJECT:** Z2016-027; *Amendment to the Minimum Square Footage Requirements*

---

On July 5, 2016, the City Council directed staff to prepare a text amendment increasing the minimum square footage requirements for dwelling units in the Single Family 10 (SF-10) and Single Family 16 (SF-16) Districts. In addition, the Council directed staff to establish a minimum square footage requirement for dwelling units in the Agriculture (AG) District. Specifically, the motion by the City Council directed staff to establish the following:

- Single Family 16 (SF-16) District: 2,400 SF
- Single Family 10 (SF-10) District: 2,200 SF
- Agricultural (AG) District: 1,600 SF

This motion passed by a vote of 5-2, with Council Members White and Lewis dissenting. In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC) staff is bringing the proposed amendments forward to the Planning and Zoning Commission for a recommendation to the City Council. Per the Planning and Zoning Commission's request at the work session on July 26, 2016, staff has compiled a summary of all single-family building permits issued, by zoning district, for a period starting on January 1, 2011 and ending July 27, 2016. It should be noted that the square footages contained in this study include non-air-conditioned spaces (*e.g. covered porches, garages, roof overhangs, and etcetera*), and that the UDC requirement is for air-conditioned space only. This means these numbers could vary by an estimated 200 SF – 600 SF. With that being said there is some evidence that the proposed changes would not have an effect on the vast majority of our current single-family permits.

Staff has also included a comparison of comparable city's square footage requirements in similar zoning districts for the Planning and Zoning Commission's review. In addition, staff has prepared a summary of all residential zoning districts' density and dimensional requirements -- *with the proposed modifications* -- for the Planning and Zoning Commission's review. Staff has also attached a draft ordinance with the proposed changes. The anticipated schedule for this text amendment is as follows:

~~Planning and Zoning Work Session: July 26, 2016~~  
Planning and Zoning Public Hearing: August 9, 2016  
City Council Public Hearing [*1<sup>st</sup> Reading*]: August 15, 2016  
City Council [*2<sup>nd</sup> Reading*]: September 6, 2016

Staff has sent out a 15-day notice to the Rockwall County News in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC. The publish date of this notice was Friday, July 22, 2016.

Permits Issued (01.01.2011 - 07.27.2016)

SF/Dwelling Unit

Zoning District	Base Zoning	Subdivision	Number of Permits Issued	Minimum	Maximum	Average
Agricultural (AG) District	AG	Various	2	4,563	5,727	5,145
Zero Lot-Line (ZL-5) District	ZL-5	Various	3	2,544	3,373	2,820
Single Family 7 (SF-7) District	SF-7	Various	11	1,420	3,786	2,426
Single Family 8.4 (SF-8.4) District	SF-8.4	Various	0	-	-	-
Single Family 10 (SF-10) District	SF-10	Various	82	2,357	5,486	3,804
Single Family 16 (SF-16) District	SF-16	Various	0	-	-	-
Single Family Estate 1.5 (SFE-1.5) District	SFE-1.5	Various	6	4,011	7,900	5,828
Single Family Estate 4 (SFE-4) District	SFE-4	Various	2	4,820	5,240	5,030
Planned Development District 2 (PD-2)	Mixed	Lakeside Village	34	1,890	5,892	3,398
Planned Development District 5 (PD-5)	SF-8.4	Caruth Lakes	322	2,238	4,991	3,160
Planned Development District 8 (PD-8)	SF-4	Chandler's Landing	6	2,920	6,784	4,456
Planned Development District 8 (PD-8)	SF-6	Chandler's Landing/Harbor Landing	26	2,541	6,477	3,971
Planned Development District 8 (PD-8)	SF-6.5	Chandler's Landing	1	3,866	3,866	3,866
Planned Development District 9 (PD-9)	SF-10	Rainbow Lake Estates	15	3,286	4,507	4,159
Planned Development District 9 (PD-9)	SF-12.5	Fox Chase/Shady Dale Estates	12	3,482	4,789	4,072
Planned Development District 10 (PD-10)	SF-10	Rockwall Downes/Townsend Village	71	2,511	4,768	3,358
Planned Development District 17 (PD-17)	SF-6.5	Lynden Park Estates	25	1,468	3,113	2,463
Planned Development District 18 (PD-18)	ZL-5	Lago Vista	1	4,651	4,651	4,651
Planned Development District 41 (PD-41)	SF-10	The Preserve	154	2,920	5,540	4,507
Planned Development District 54 (PD-54)	SF-10	Flagstone Estates	3	3,200	4,026	3,644
Planned Development District 58 (PD-58)	SF-10	Dalton Ranch	46	2,641	4,544	3,614
Planned Development District 59 (PD-59)	SF-7	Park Place	34	2,122	6,910	3,587
Planned Development District 64 (PD-64)	SF-16	Fontanna Ranch	36	3,015	4,953	3,684
Planned Development District 70 (PD-70)	SF-10	Stone Creek Estates	404	2,241	6,495	4,114
Planned Development District 74 (PD-74)	SF-10	Breezy Hill	149	3,232	6,747	4,915
Planned Development District 75 (PD-75)	SF-7	Lake Rockwall Estates	9	1,175	3,747	2,014
<b>TOTAL:</b>			<b>1,454</b>			
<b>AVERAGE:</b>				<b>2,879.75</b>	<b>5,179.67</b>	<b>3,861.92</b>

*NOTE: These SF include non-air-conditioned spaces (e.g. covered porches, garages, roof overhangs, etcetera).*



City of Rockwall  
The New Horizon

Residential and Agricultural  
Zoning Districts Development  
Standards

		Single-Family Estate			Single-Family One	Single-Family Residential (16)	Single-Family Residential (10)	Single-Family Residential (8.4)	Single-Family Residential (7)	Zero Lot Line Residential	Duplex (Two-Family) Residential	Agricultural District
Abbreviation		SF-E/1.5	SF-E/2.0	SF-E/4.0	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	AG
Dwelling Units/Lot		1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	2.0	N/A
Dwelling Units/Acre		0.67	0.5	0.25	1.0 <sup>1</sup>	2.7	4.4	5.2	6.2	8.7	12.4	1.0
Minimum Dwelling Unit (Square Feet)		2,000	2,200	2,500	2,500	1,800 2,400	1,500 2,200	1,500	1,100	1,000	800	N/A 1,600
Minimum Lot Requirements	Area (Square Feet)	65,340	87,120	174,240	8,400	16,000	10,000	8,400	7,000	5,000	7,000	43,560
	Width (Feet) <sup>2</sup>	150	150	200	70	90	80	70	60	50	60	100
	Depth (Feet)	250	250	250	100	100	100	100	100	90	100	200
Minimum Setbacks	Front (Feet)	50	50	50	20	25	20	20	20	20	20	40
	Rear (Feet)	10	10	10	10	10	10	10	10	10	10	10
	Side (Feet) <sup>3</sup>	25	25	25	6	8	6	6	6	0/10 <sup>4</sup>	0 <sup>5</sup> /6 <sup>6</sup>	6
Between Buildings (Feet)		10	10	10	10	10	10	10	10	10	10	12
Building Height (Feet)		36	36	36	36	36	36	36	32	30	32	36
Minimum Masonry Content (%)		80	80	80	80	80	80	80	80	80	80	80
Maximum Lot Coverage (%)		35	35	35	45	45	45	45	45	50	45	N/A
Required Parking Spaces <sup>7</sup>		2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>9</sup>	2 <sup>10</sup>	2 <sup>8</sup>

- Notes:
- <sup>1</sup>: Public and private open space. Unless otherwise provided by the UDC, a minimum of 20 percent of the gross land area within the entire SF-1 District over five acres shall be devoted to open space, except where floodplain shall count for up to 50% of the 20% open space requirement and shall be consistent with the open space requirements of the city's parks and open space plan. Open space requirements for SF-1 District may be satisfied by public open space shall be dedicated to the city, and shall be approved by the parks board and city council during the platting process. The open space requirement is in addition to the landscaping and buffering requirements.
  - <sup>2</sup>: Frontage on a Public Street.
  - <sup>3</sup>: Side on street is treated the same as a front yard building setback.
  - <sup>4</sup>: Minimum maintenance easement is ten feet. Minimum maintenance easement on the non-zero lot line side, when adjacent to another lot in the same zoning district: five feet (this easement shall be maintained as an open space except upon a finding by the building official that the proposed improvements do not impede the use of said easement for maintenance of the adjoining structure).
  - <sup>5</sup>: Abutting structures separated by fire retardant walls.
  - <sup>6</sup>: Townhouses separated by firewall meeting the requirements of the building code may build to the property line where such structures abut.
  - <sup>7</sup>: Minimum length of driveway pavement from public right-of-way for rear and side yard is 20 feet. Carports and garages are required to be an additional 20 feet behind the front façade of the primary structure.
  - <sup>8</sup>: An enclosed garage shall not be considered in meeting the off-street parking requirements. For all other uses see Article VI, Parking and Loading, of the UDC.
  - <sup>9</sup>: Plus a two car garage.
  - <sup>10</sup>: Two off-street parking spaces plus one garage parking space for each dwelling unit.

Minimum SF of Dwelling Units for Comparable Cities

Comparable Cities Zoning Districts		Minimum SF of Dwelling Units for Comparable Cities																Average	Median (Middle #)	Mode (Most Reoccurring #)								
Rockwall Zoning Districts		Rockwall	Allen	Burleson	Cedar Hill	Coppell	Frisco	Grapevine	Keller	Lancaster	Mesquite	Pflugerville	Plano	Rowlett	Southlake	Sunnyvale	Wylie											
Zoning District	Minimum Lot Size (SF)																											
Townhouse (TH) [Allen]	2,160		1,200																	1,200	1,200							
Single Family Attached (SF-A) [Plano]	2,250												800							800	800							
Single Family Attached (SF-A) [Burleson]	2,500			1,000			800					900								900	900							
Townhouse District (TH) [Frisco]	2,500						650													650	650							
Townhouse District (TH)-w/o side yard [Wylie]	3,000																	1,200		1,200	1,200							
Townhouse District (TH)-w/ side yard [Wylie]	3,500																	1,000		1,000	1,000							
Patio Home District (PH) [Plano]	4,000												800							800	800							
Original Town Residential District (OTR) [Frisco]	4,500						800													800	800							
Urban Residential (UR) [Plano]	5,000												800							800	800							
Zero Lot Line (ZLL-5) District	5,000	1,000		1,000								1,100		1,500						1,150	1,050	1,000						
Single Family Residential (R-6) [Allen]	6,000			1,200									800							1,000	1,000							
Single Family Residential (SF-R) [Pflugerville]	6,250											1,400								1,400	1,400							
Two-Family (2F) District	7,000	800																		800	800							
Single Family 7 (SF-7) District	7,000	1,100		1,100	1,500	1,200	800						800	1,500						1,143	1,100	1,100						
Single Family Residential (R-2A) [Mesquite]	7,200											1,700								1,700	1,700							
Single Family Residential (R-3) [Mesquite]	7,200											1,500								1,500	1,500							
Single Family Residential (R-5) [Allen]	7,500		1,600					1,200												1,400	1,400							
Single Family Residential (R-1A) [Mesquite]	8,250											2,000								2,000	2,000							
Single Family Residential (R-2) [Mesquite]	8,250											1,700								1,700	1,700							
Single Family Residential 10 (SF-10) [Rowlett]	8,000													1,800						1,800	1,800							
Single Family 8.4 (SF-8.4) District	8,400	1,500							1,400											1,450	1,450							
Single Family 1 (SF-1) District	8,400	2,500																		2,500	2,500							
Single Family Residential (SF-8.5) [Cedar Hill]	8,500				1,700		800													1,250	1,250							
Single Family Residential (R-4) [Allen]	9,000		1,600			1,600								1,400	800	1,800				1,440	1,600	1,600						
Single Family 10 (SF-10) District	10,000	1,500		1,500	1,900		800		1,600						2,100					1,686	1,600	1,500						
Single Family Residential (R-1) [Mesquite]	11,000											2,000								2,000	2,000							
Single Family Residential (R-3) [Allen]	12,000		1,800			1,800			1,800											1,800	1,800	1,800						
Single Family Residential 12.5 (SF-12.5) [Frisco]	12,500						800	1,400												1,100	1,100							
Single Family Residential (SF-15) [Cedar Hill]	15,000				2,000				2,000						2,100					2,033	2,000	2,000						
Single Family 16 (SF-16) District	16,000	1,800		1,800			800													1,467	1,800	1,800						
Single Family Residential (R-2) [Allen]	18,000		2,000			2,000														2,000	2,000	2,000						
Single Family District (R-20) [Grapevine]	20,000							1,600	2,200				800	2,400	1,800					1,760	1,800							
Single Family District (SF-20B) [Southlake]	20,000														1,500					2,050	2,050							
Single Family Estate (SFE) [Pflugerville]	21,780											1,400								1,400	1,400							
Single Family Residential (SF-22) [Cedar Hill]	22,000				2,200															2,200	2,200							
Single Family Residential 4 (SF-4) [Sunnyvale]	24,000																2,000			2,000	2,000							
Single Family Residential 25 (SF-25) [Keller]	25,000								2,400											2,400	2,400							
Single Family Residential (R-1.5) [Allen]	30,000		2,400						2,400						1,800					2,200	2,400	2,400						
Single Family Residential (SF-36) [Keller]	36,000								2,400											2,400	2,400							
Single Family Residential (R-1) [Allen]	40,000		2,400														2,400			2,400	2,400	2,400						
Agricultural (AG) District	43,560	N/A										2,500								2,500	2,500							
Single Family Estate (SF-E) [Cedar Hill]	43,560			1,800	2,500	2,400	800						800		2,000					1,717	1,900	800						
Single Family Residential District (SF1-B) [Southlake]	43,560														1,500	2,200	1,900			1,867	1,900							
Single Family Estate 1.5 (SFE 1.5) District	65,340	2,000																		2,000	2,000							
Agricultural (A) District [Plano]	85,000												800							800	800							
Single Family Estate 2.0 (SFE 2.0) District	87,120	2,200					800										2,200	3,000		2,050	2,200	2,200						
Agricultural (A) District [Pflugerville]	130,680												1,400							1,400	1,400							
Single Family Estate 4.0 (SFE 4.0) District	174,240	2,500																		2,500	2,500							

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 2.1, AGRICULTURE (AG) DISTRICT; SECTION 3.3, SINGLE-FAMILY RESIDENTIAL (SF-16) DISTRICT; AND SECTION 3.4, SINGLE-FAMILY RESIDENTIAL (SF-10) DISTRICT, OF ARTICLE V, DISTRICT DEVELOPMENT STANDARDS, FOR THE PURPOSE OF INCREASING THE MINIMUM SQUARE FOOTAGE PER DWELLING UNIT IN THE SINGLE FAMILY 10 (SF-10) & SINGLE FAMILY 16 (SF-16) DISTRICTS AND ESTABLISHING A MINIMUM SQUARE FOOTAGE PER DWELLING UNIT IN THE AGRICULTURE (AG) DISTRICT; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 04-38] has been initiated by the City Council of the City of Rockwall to amend Sections 2.1, *Agriculture (AG) District*; Section 3.3, *Single-Family Residential (SF-16) District*; and Section 3.4, *Single-Family Residential (SF-10) District* of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] for the purpose of increasing the minimum square footage per dwelling unit in the Single Family 10 (SF-10) and Single Family 16 (SF-16) Districts, and establish a minimum square footage per dwelling unit in the Agriculture (AG) District; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Section 2.1, *Agriculture (AG) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibits 'A'* of this ordinance.

**Section 2.** That Section 3.3, *Single-Family Residential (SF-16) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibits 'B'* of this ordinance.

**Section 3.** That Section 3.4, *Single-Family Residential (SF-10) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in

*Exhibits 'C'* of this ordinance.

**Section 4.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 5.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 6.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 15, 2016

2<sup>nd</sup> Reading: September 6, 2016

**Exhibit 'A'**  
Section 2.1, Agriculture (AG) District, of  
Article V, District Development Standards,  
Unified Development Code

*Section 2.1. Agriculture (AG) District.*

- A. *Purpose.* The Agricultural District is a reserved area in which the future growth of the city might occur. It is the intent of this district that agricultural land be held in that use for as long as is practical and reasonable to promote orderly growth. This zoning is suitable for areas where development is premature because of a lack of utilities, capacity, or service, or where the ultimate land use has not been determined. The zone is also to be used:
1. To protect those areas that are unsuitable for development because, of physical problems or potential health or safety hazards such as flooding. The use of the land would be permanently restricted to low intensity agricultural uses until such time as the property is proven to be suitable for development and is rezoned.
  2. To provide a permanent greenbelt to preserve natural areas or open space buffer around uses that might otherwise be objectionable or pose environmental or health hazards.
- B. *Permitted Uses.* In general, farming and ranching-related activities and accessory uses, including the owner's single-family dwelling on more than ten acres, shall be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in article IV, Permissible Uses.
- C. *Area Requirements.*
1. Minimum lot area: 43,560 square feet (one acre).
  2. Minimum lot frontage on a public street: 100 feet.
  3. **Minimum square footage per dwelling unit: 1,600 square feet.**
  4. Minimum lot depth: 200 feet.
  5. Minimum depth of front setback: 40 feet.
  6. Minimum depth of rear setback: ten feet.
  7. Minimum width of side setback.
    - a. Internal lot: six feet.
  8. Minimum distance between buildings on the same lot or parcel of land: 12 feet.
  9. Minimum length of driveway pavement from the public right-of-way on a side or rear yard: 20 feet.
  10. Maximum building coverage as a percentage of lot area: N/A.
  11. Maximum height of structures: 36 feet.
  12. Minimum number of off-street parking spaces required for:
    - a. One single dwelling unit: two. An enclosed garage shall not be considered in meeting the off-street parking requirements.
    - b. All other uses: see article VI, *Parking and Loading*.

**Exhibit 'B'**  
Section 3.3, Single-Family Residential (SF-16) District, of  
Article V, District Development Standards,  
Unified Development Code

**Section 3.3. Single-Family Residential (SF-16) District.**

**A. Purpose.**

1. This district is considered to be the proper zoning classification for large lot developments for single-family dwelling use. It is intended to be composed of single-family dwellings together with public, denominational and private schools, churches and public parks essential to create basic neighborhood units.
2. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and access to paved streets based on single-family use required by the allowed density.
3. It is intended for areas that are properly buffered from nonresidential uses, and protected from pollution and/or environmental hazards or from high volume of non-single-family traffic.

**B. Permitted Uses.** In general, single-family dwellings together with public, denominational and private schools, churches and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in Article IV [of this Unified Development Code], *Permissible Uses*.

**C. Development Standards.**

1. Minimum lot area: 16,000 square feet.
2. Maximum number of single-family detached dwellings units per lot: one.
3. Minimum square footage per dwelling unit: **1,800 2,400** square feet.
4. Minimum lot frontage on a public street: 90 feet.
5. Minimum lot depth: 100 feet.
6. Minimum depth of front yard setback: 25 feet.
7. Minimum depth of rear yard setback: ten feet.
8. Minimum width of side yard setback:
  - a. Internal lot: eight feet.
9. Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
10. Minimum length of driveway pavement from the public right-of-way for rear and side yard: 20 feet.
11. Maximum building coverage as a percentage of lot area: 45 percent.
12. Maximum building height: 36 feet.
13. Minimum number of paved off-street parking spaces required for:
  - a. One single-family dwelling unit: two. An enclosed garage shall not be considered in meeting the off-street parking requirements.
  - b. For all other uses: see article VI [of this Unified Development Code], *Parking and Loading*.

**Exhibit 'C'**

*Section 3.4, Single-Family Residential (SF-10) District, of  
Article V, District Development Standards,  
Unified Development Code*

*Section 3.4. Single-Family Residential (SF-10) District.*

A. *Purpose.*

1. This district comprises a major portion of the existing single-family dwelling development of the city. It is intended to be composed of single-family dwellings together with public, denominational and private schools, churches and public parks essential to create basic neighborhood units.
2. Areas that are zoned for this use shall have or provide for water, wastewater, drainage and transportation capacities based on single-family use required by the allowed density.
3. It is intended for areas that are properly buffered from nonresidential uses, and protected from pollution and/or environmental hazards or from high volume of non-single-family traffic.

B. *Permitted Uses.* In general, single-family dwellings together with public, denominational and private schools, churches and public parks essential to create basic neighborhood units, may be allowed. However, no building or land may be used, unless in accordance with the use tables and requirements in Article IV [of this Unified Development Code], *Permissible Uses*.

C. *Development Standards.*

1. Minimum lot area: 10,000 square feet.
2. Maximum number of single-family detached dwellings units per lot: one.
3. Minimum square footage per dwelling unit: **1,500 2,200** square feet.
4. Minimum lot frontage on a public street: 80 feet.
5. Minimum lot depth: 100 feet.
6. Minimum depth of front yard setback: 20 feet.
7. Minimum depth of rear yard setback: ten feet.
8. Minimum width of side yard setback:
  - a. Internal lot: six feet.
9. Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
10. Minimum length of driveway pavement from the public right-of-way for rear and side yard: 20 feet.
11. Maximum building coverage as a percentage of lot area: 45 percent.
12. Maximum building height: 36 feet.
13. Minimum number of paved off-street parking spaces required for:
  - a. One single-family dwelling unit: two. An enclosed garage shall not be considered in meeting the off-street parking requirements.
  - b. For all other uses: see article VI [of this Unified Development Code], *Parking and Loading*.

# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/09/2016

**APPLICANT:** Jerry Monk of *Monk Consulting*

**AGENDA ITEM:** **SP2016-015**; Indoor Recreation Facility - *Adventure Sports*

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**SUMMARY:**

Discuss and consider a request by Jerry Monk of Monk Consulting on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for an indoor recreation facility on a 4.88-acre tract of land identified as Tract 4-01 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

**PURPOSE:**

The applicant is requesting approval of a Site Plan for the purpose of constructing a 12,500 sq. ft. indoor recreation facility (*i.e. Adventure Sports*). The 4.88-acre parcel of land has a total of three (3) lots scheduled to be developed, with two (2) of the lots set for future development. The applicant is proposing the indoor recreation facility on Lot 2 (*i.e. the center lot*). It should be pointed out that the lot configuration depicted on the site plan will need to meet the minimum standards of the Commercial (C) District at the time of platting. This has been added as a condition of approval. The property is zoned Commercial (C) District and is generally located north of the intersection of Industrial Boulevard and Airport Road and is addressed as 1505 Airport Road.

**DENSITY AND DIMENSIONAL REQUIREMENTS:**

The proposed indoor recreation facility use (*i.e. Adventure Sports*) is permitted by right on the subject property. The site will incorporate a total of 85 parking spaces and has two (2) points of access available from Airport Road, which are *24-ft Firelane, Public Access, and Utility Easements*.

The submitted site plan, building elevations, landscape plan, treescape plan, and photometric plan are in substantial compliance with the technical requirements contained within the Unified Development Code (UDC), with the exception of the conditions listed in the *Recommendations* section of this report.

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 sq. ft.</i>	<i>4.88-Acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>x&gt;60-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x&gt;100-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>x&gt;25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>30-Feet</i>	<i>x&gt;30-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet<sup>1</sup></i>	<i>x&gt;10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP</i>	<i>29' 4"; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>~5.9%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>&gt;90%; Exception Request</i>
<i>Floor Area Ratio</i>	<i>0.33</i>	<i>x&lt;4:1; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>43</i>	<i>51 Provided; In Conformance</i>
<i>Minimum Stone Requirement (SH205 OV)</i>	<i>20% ea facade</i>	<i>X&lt;20%; Exception Request</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Landscaping Percentage</i>	15%	x>15%; In Conformance
<i>Maximum Impervious Coverage</i>	85 to 90%	<85%; In Conformance

*NOTES: 1. If the adjacent property is predominantly residentially zoned or residentially used, the setback shall be 20 feet.*

### **EXCEPTION REQUESTS:**

The applicant is requesting exceptions to the Unified Development Code (UDC) for the section outlined below. As a note, an exception request to the UDC requires passage of a simple majority vote of those City Council members present. The code reads as follows:

**Exterior walls.** *Each exterior wall shall consist of 90 percent masonry materials as defined in article XIII...on walls which are visible from a public street or open space, including a minimum of 20 percent stone.*

*All buildings shall have exterior walls constructed of stone, brick, glass block, tile, cast metal, cast or cultured stone, or a combination of those materials. The use of other cementaceous products (e.g., stucco, Hardy Plank, or other similar materials) shall be limited to 50 percent of the building's exterior finishes...*

*Exceptions to this requirement may be permitted on a case by case basis by the council upon submission and approval of elevation drawings of the subject structure, and material samples.*

The applicant is requesting the following exceptions:

- a) *Article V, Section 4.1.A.1 General Commercial District Standards* – An exception to allow for not meeting the 90% (exterior) masonry material requirements by allowing metal wall panels to exceed the 10% secondary material requirement for the south (14%), east (60%) and west (38%) elevations as submitted.
- b) *Article V, Section 4.1.A.1 General Commercial District Standards* – An exception to allow for not meeting the 20% stone requirements by allowing a reduction in cultured stone for the south (16%), east (17%) and west (13%) elevations as submitted.

A request for an exception to the exterior material requirements is a discretionary decision for the City Council.

### **RECOMMENDATIONS:**

The site plan submitted by the applicant meets all the technical criteria stipulated by the Unified Development Code (UDC) with the exception of the items listed above. Should the Planning and Zoning Commission choose to approve the applicant's request, then the following conditions of approval should be adopted with this case:

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- 2) All lots depicted on the site plan will be required to meet the minimum standards of the Commercial (C) District and the approval of this site plan does not vest the lot configuration for Lots 1 and 3.
- 3) A shared parking agreement will be required at the time of development of Lots 1 and 3 incorporating the three lots within this development and meeting the parking standards for each lot in accordance with the *Article VI, Parking and Loading* standards of the UDC.

- 4) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2016-015	<b>Owner</b> ZAPH & ATH PROPERTIES, LLC	<b>Applied</b> 6/17/2016 LM
<b>Project Name</b> Adventure Sports Facility	<b>Applicant</b> MONK CONSULTING	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 8/3/2016 DG

Revised Plan Comments  
Highlighted

<b>Site Address</b> 1505 AIRPORT RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b> COLUMBIA PARK	<b>Tract</b> 4-1	<b>Block</b> NULL	<b>Lot No</b> 4-1	<b>Parcel No</b> 0020-0000-0004-01-OR	<b>General Plan</b>
-------------------------------------	---------------------	----------------------	----------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Assistant City Engineer	Amy Williams	7/29/2016	8/12/2016	7/29/2016		APPROVED	
BUILDING	John Shannon	6/17/2016	6/24/2016	7/22/2016	35	APPROVED	
BUILDING	John Shannon	8/1/2016	8/8/2016	8/1/2016		APPROVED	
ENGINEERING (7/19/2016 4:17 PM AW) See markups Give distance between driveways (proposed to proposed and existing to proposed) Pro-rata for sewer \$105.18/lf of Airport Road Check dimension at the back (see markup) See question on markup regarding sewer Impact fees 4% engineering fees	Amy Williams	6/17/2016	6/24/2016	7/19/2016	32	COMMENTS	See Comments
FIRE (7/21/2016 4:20 PM AA) Fire Hydrant Coverage: All portions of the exterior walls of the first story of the building shall be within 600-ft. of a fire hydrant as measured by an approved route around the exterior of the facility or building.  Fire Hydrant shall be located within 100-ft. of the Fire Department Connection (FDC) and within 8-ft. of fire apparatus access roadway.	Ariana Hargrove	6/17/2016	6/24/2016	7/21/2016	34	COMMENTS	see comments
FIRE	Ariana Hargrove	8/1/2016	8/8/2016	8/1/2016		APPROVED	revised plans 7/28/16
GIS	Lance Singleton	6/17/2016	6/24/2016	7/20/2016	33	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/20/2016 10:51 AM LS)						
New Address Assignment will be: 1505 Airport Rd, Rockwall TX 75087						
*The future front lot will be 1501 and the rear lot will be 1509. Please delete the old address of 1551 from all documents since location has changed.						

PLANNING	David Gonzales	6/17/2016	6/24/2016	7/22/2016	35 COMMENTS	See comments
Discuss and consider a request by Jerry Monk of Monk Consulting on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for an indoor recreation facility on a 4.88-acre tract of land identified as Tract 4-01 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.						

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 2, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label site plan documents with "Case No. SP2016-015" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

1. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials,..., including 20% stone on walls which are visible from a public street or open space. South, East & West elevations require a minimum 20% stone and do not meet this standard.
2. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials,..., on walls which are visible from a public street or open space. South, East & West elevations do not provide a minimum 90% masonry material and exceed 10% for metal wall panels.

\*\* Approval of exceptions to the exterior materials requested requires passage by a simple majority vote of City Council. \*\*

Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Will there be three separate lots developed? If so, provide a lot/phasing plan. Also, this lot and the rear (north) lot will require lot frontage. A minimum of 60-ft width required to create a flag lot for each.
2. Remove the label (By Plat) where indicated.
3. Relabel 24-ft Firelanes as "24-ft Firelane, Public Access & Utility Easement"
4. Dumpster Enclosure: What is the exterior material of the enclosure? The exterior material is to match the primary structure with an opaque gate. Provide a self latching mechanism for the dumpster enclosure gate.

Landscape Plan:

1. Meets the intent of the UDC and is OK as submitted.

Photometric Plan:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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1. The lighting pole standards are not to exceed a maximum overall height of 30-ft (includes pole, base, fixtures, etc.) per the UDC standards. Provide detail.
2. Provide cut sheets for all exterior lighting fixtures (e.g. pole lights, wall packs, etc.)
3. All lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare.
4. Maximum lighting intensity at the property line is not to exceed 0.2-FC. Resubmit photometric plan and indicate readings to all property lines and in compliance with UDC (i.e. 0.2-FC)

Building Elevations:

1. Provide exterior material percentage calculations for each exterior material and for each elevation (north, south, east, & west).
2. Label the north facing elevation - there are two south elevations.
3. Approval of exceptions by City Council as indicated above.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

- Planning - Work Session: July 26, 2016 (6:00 p.m.) [Applicant to provide presentation and discuss project]
- Planning - Action: August 9, 2016 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny)]

City Council - Action: August 15, 2016 (6:00 p.m.) [FOR EXCEPTION REQUESTS ONLY]

PLANNING	David Gonzales	8/3/2016	8/10/2016	8/3/2016	COMMENTS	See comments
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Revised Submittal Comments:

Planning Department General Comments:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).

EXCEPTIONS FOR CITY COUNCIL TO CONSIDER:

1. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials, including 20% stone on walls which are visible from a public street or open space. South, East & West elevations require a minimum 20% stone and do not meet this standard.
2. Art V, Sec. 4.1.A.1 requires each exterior wall to consist of 90% masonry materials, on walls which are visible from a public street or open space. South, East & West elevations do not provide a minimum 90% masonry material and exceed 10% for metal wall panels.

\*\* Approval of exceptions to the exterior materials requested requires passage by a simple majority vote of City Council. \*\*

Please address the following Planning Comments for each plan submitted:

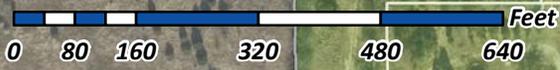
Site Plan:

1. Meets the intent of the UDC and is OK as submitted.

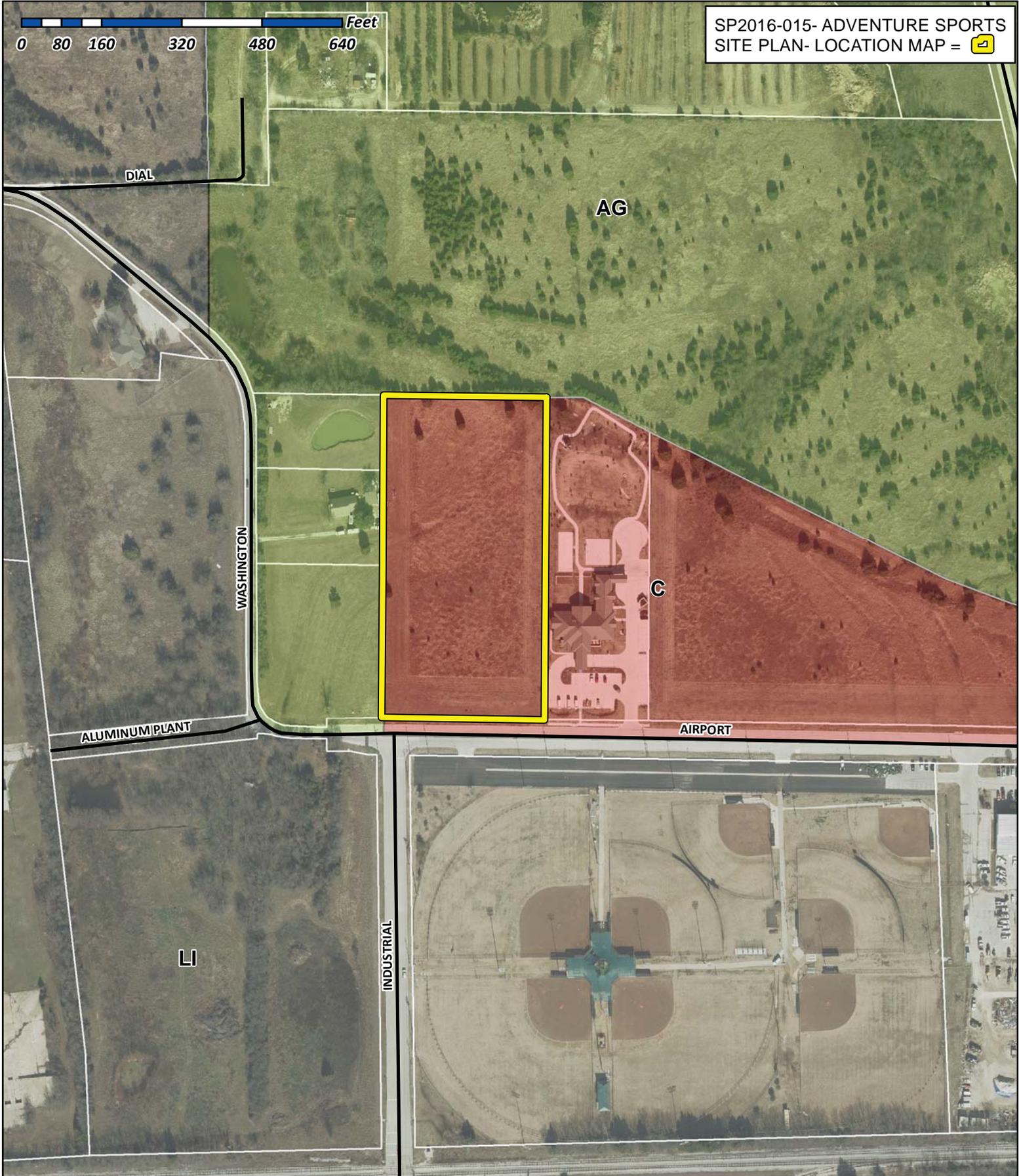
Landscape Plan:

1. Meets the intent of the UDC and is OK as submitted.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p><b>Photometric Plan:</b></p> <p>1. Meets the intent of the UDC and is OK as submitted with the following general comments:</p> <p>a) The lighting pole standards are not to exceed a maximum overall height of 30-ft (includes pole, base, fixtures, etc.) per the UDC standards.</p> <p>b) All lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare.</p> <p><b>Building Elevations:</b></p> <p>1. Other than the request for exceptions to the exterior material requirements as noted above, the plan meets the intent of the UDC and is OK as submitted.</p> <p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p><b>Meeting Dates to Attend:</b></p> <p>Planning - Action: August 9, 2016 (6:00 p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, or deny)]</p> <p>City Council - Action: August 15, 2016 (6:00 p.m.) [FOR EXCEPTION REQUESTS ONLY]</p>						



SP2016-015- ADVENTURE SPORTS  
 SITE PLAN- LOCATION MAP =

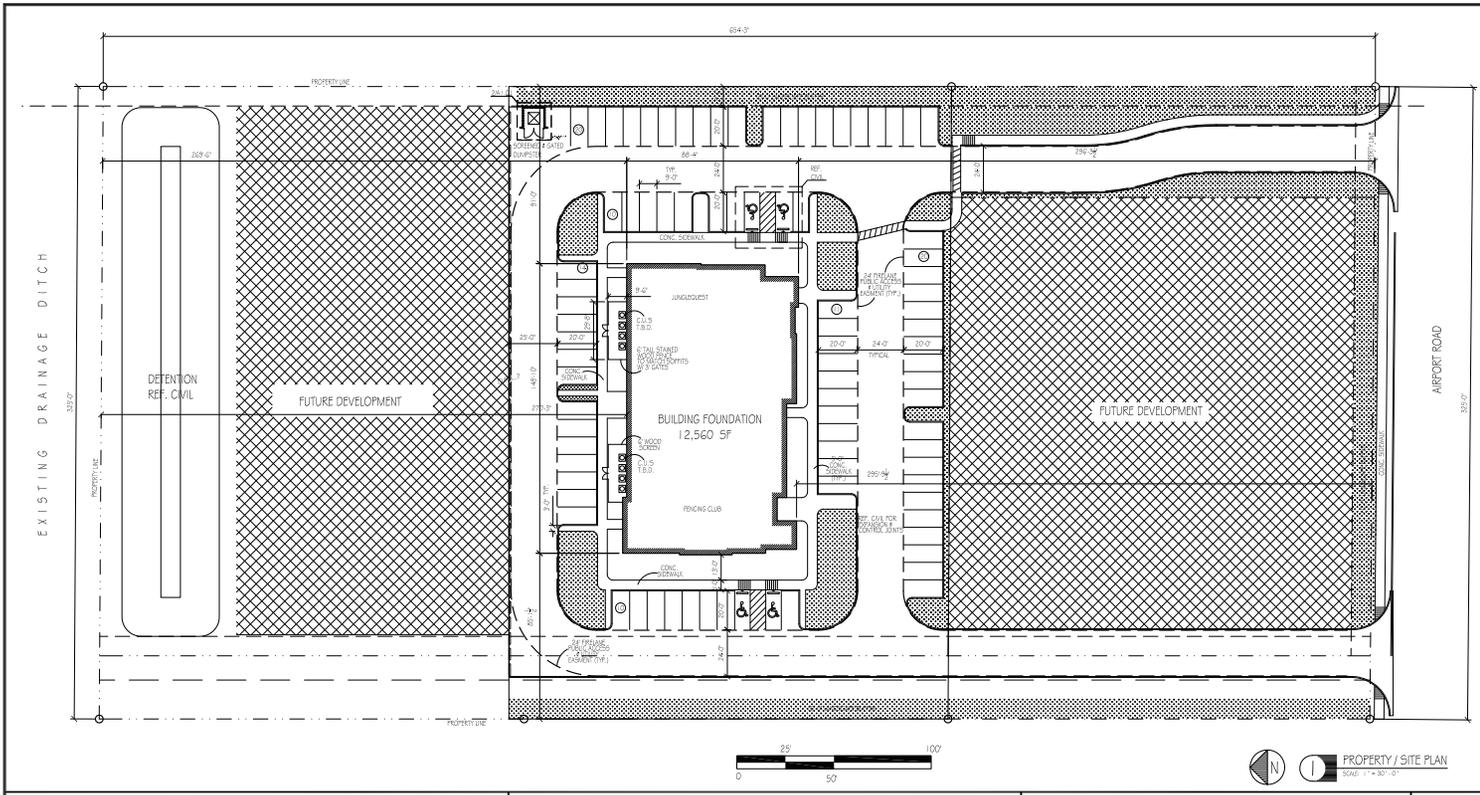


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**SITE NOTES:**

- TOTAL LOT SITE AREA = 212,487 SF
- PAVED AREA = 172,482 SF / 80.26 ACRES
- IMPERVIOUS AREA = 59,232 SF
- PERVIOUS LANDSCAPE = 14,275 SF / 0.32 ACRES

NO. CUR.	TOTAL # RES. CUR.	TOTAL # RES. I.C.	TOTAL # PROJ.
33			31
14		4 I.C.	
			35 TOTAL

- OFFICE PORTION TO BE WOOD FRAME CONSTRUCTION.
- SPRINKLER AREA TO BE PRE-ENGINEERED METAL BUILDING CONSTRUCTION.

\*\*REF. SP-1 FOR LANDSCAPE & IRRIGATION



STANLEY C. CROSBY/ARCON, AIA  
TEXAS REG. # 5108  
DATE: 7-15-16  
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EXPIRES  
8/31/17

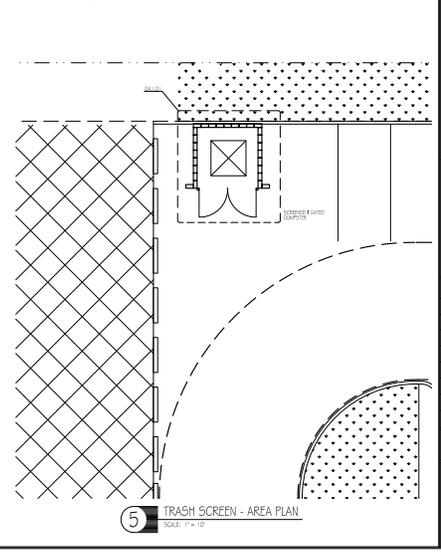
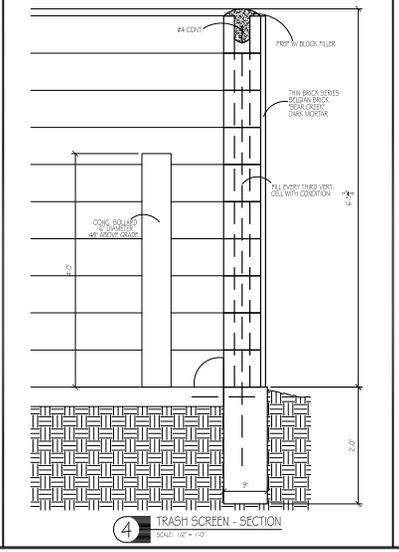
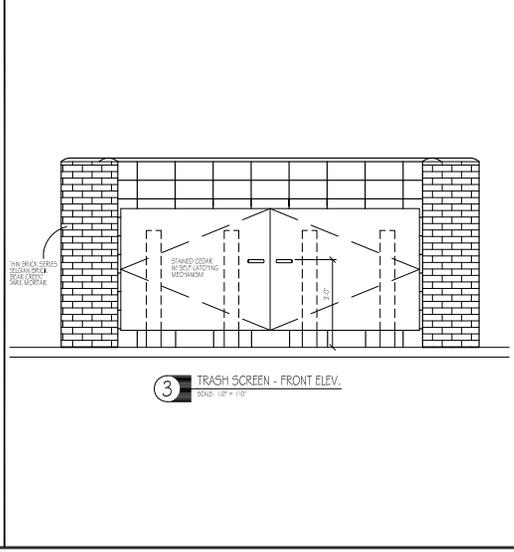
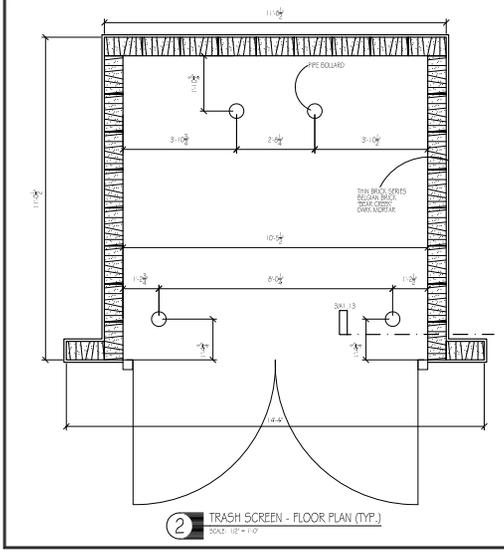
New Construction of Adventure Sports Facility  
**New Construction of Adventure Sports Facility**  
 1505 Airport Rd.  
 Rockwall, Texas 75087

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ISSUED FOR:  
 SITE PLAN SUBMITTAL 7/15/16  
 REVISIONS 7/31/16

SITE PLAN  
 SHEET NUMBER

**SP.01**







STANLEY C. COOMANTEL, AIA  
 TEXAS REG. # 5105  
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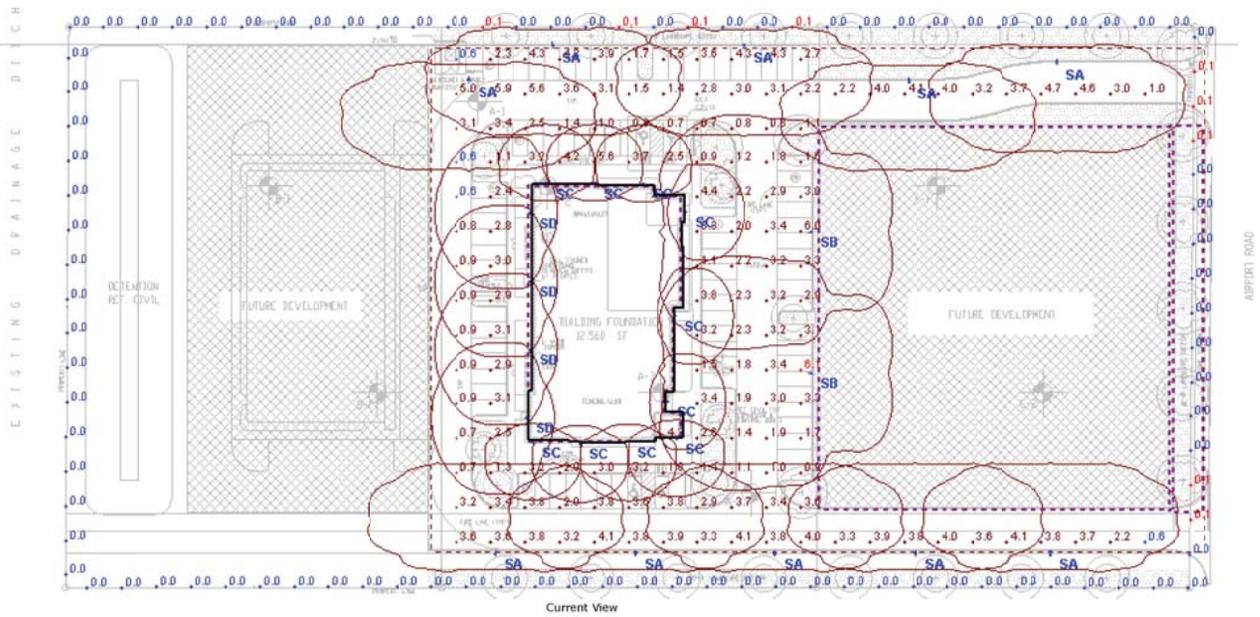
New Construction of Adventure Sports Facility  
 Rockwall, Texas 75087

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ISSUED FOR:	
SITE PLAN SUBMITTAL	7/15/16
REVISIONS	2/2/16

PHOTOMETRIC / SIGHT LIGHTING PLAN  
 SHEET NUMBER

PH.01



Current View

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	2.8 fc	6.1 fc	0.6 fc	10.2:1	4.7:1
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

- Note**
1. Pole height: 20'-0" on 2.5' base
  2. SC height: 12'-0"
  3. SD height: 20'-0"
  4. Calc grid at ground level
  5. Light levels based on initial output

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
SD	SD	4	Lithonia Lighting	WST LED P3 40K VF MVOLT	WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT	LED	1	6609	1	50
SA	SA	10	Lithonia Lighting	DSX2 LED 80C 530 40K BLC MVOLT SPA	DSX2 LED WITH 80 LEDs @530 mA, 4000K, BACKLIGHT CONTROL OPTIC	LED	1	13189	1	137
SB	SB	2	Lithonia Lighting	DSX2 LED 80C 700 40K TFTM MVOLT SPA	DSX2 LED WITH 80 LEDs @700mA, 4000K, TYPE FORWARD THROW MEDIUM OPTICS	LED	1	21346	1	188
SC	SC	10	Lithonia Lighting	WST LED P2 40K VF MVOLT	WST LED, Performance package 2, 4000 K, visual comfort forward throw, MVOLT	LED	1	9469	1	25







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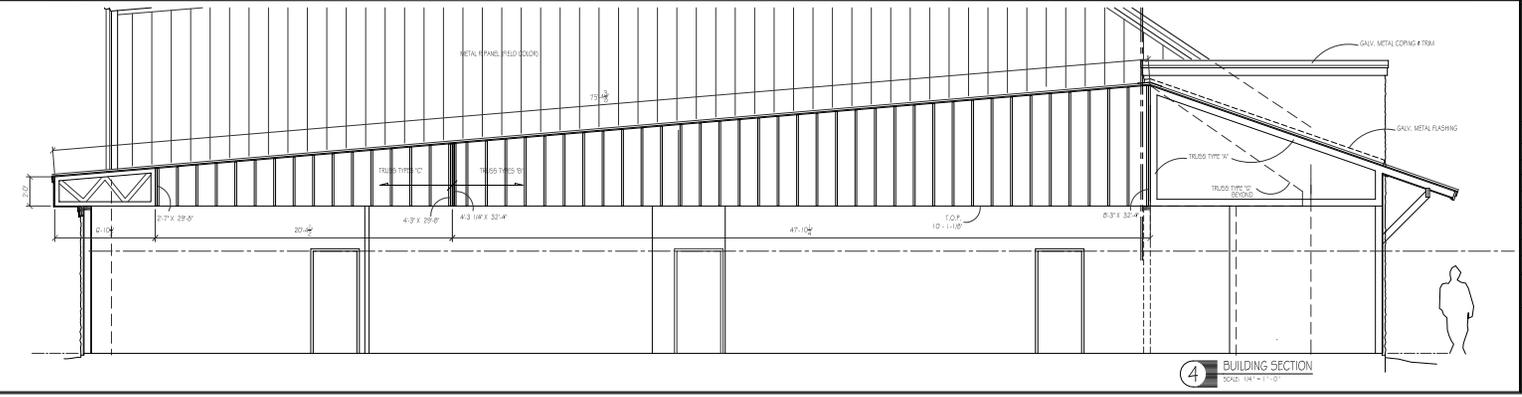
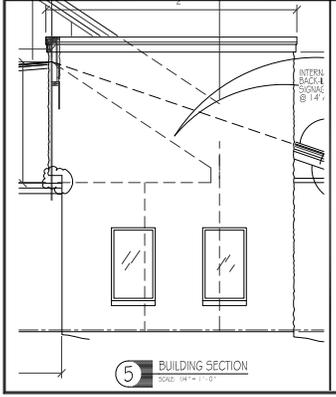
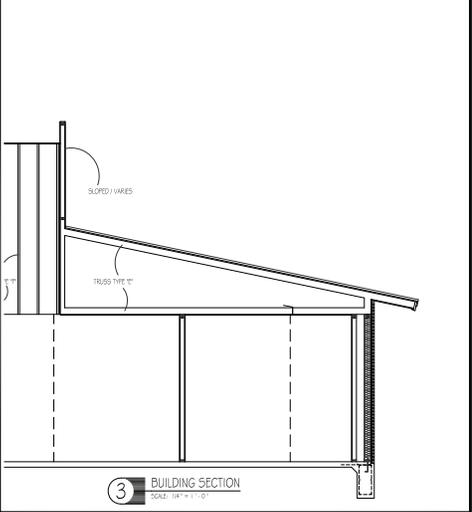
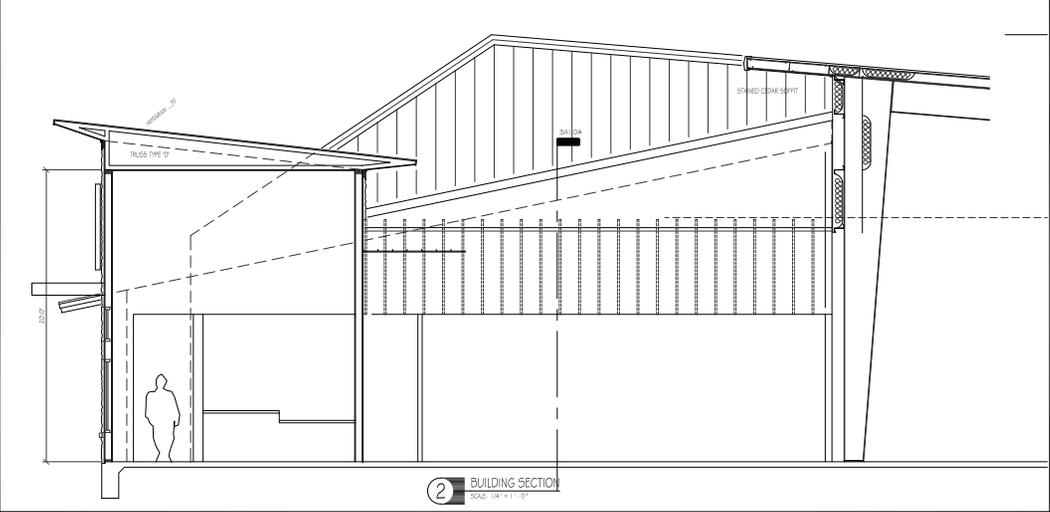
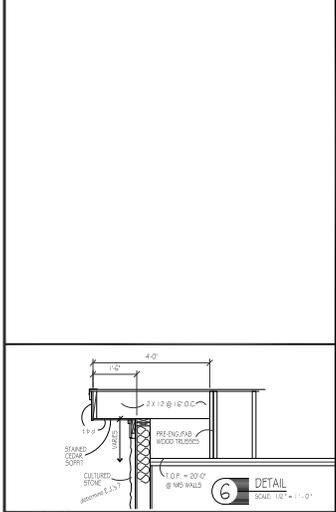
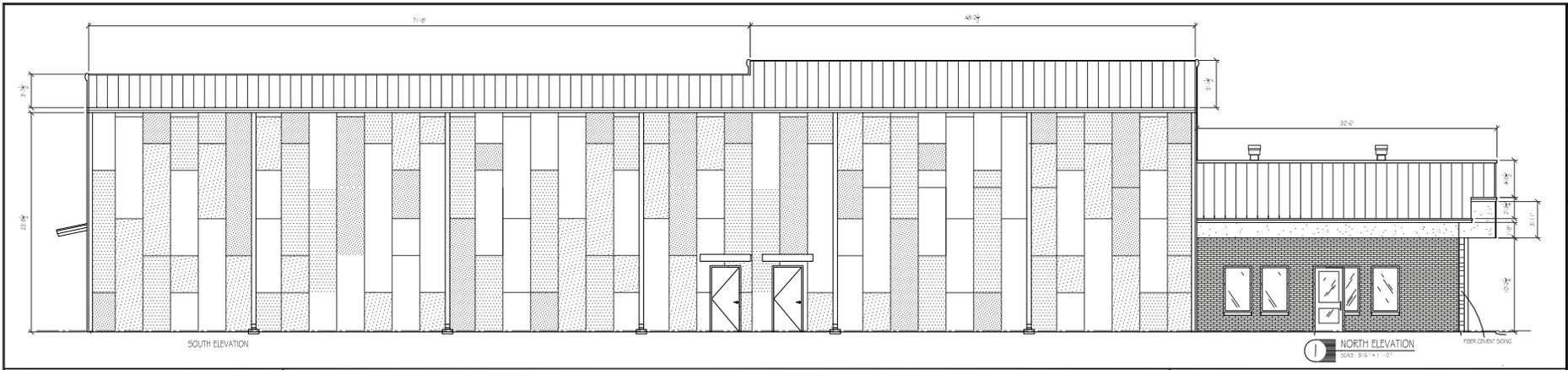
New Construction of Adventure Sports Facility  
 Rockwall, Texas 75087  
 1505 Airport Rd.

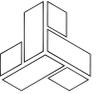
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ISSUED FOR:  
 SITE PLAN SUBMITTAL 2/15/16  
 REVISIONS 2/22/16

EXT. ELEVATIONS  
 SHEET NUMBER

A1.04





**ARCON**  
ARCHITECTS  
REAL ESTATE  
CONSTRUCTION



ARCON Architects, Inc.  
814 Hall Ave., Seabrook, Tx. 77586  
Stan Cromartie, AIA - 281-316-6392

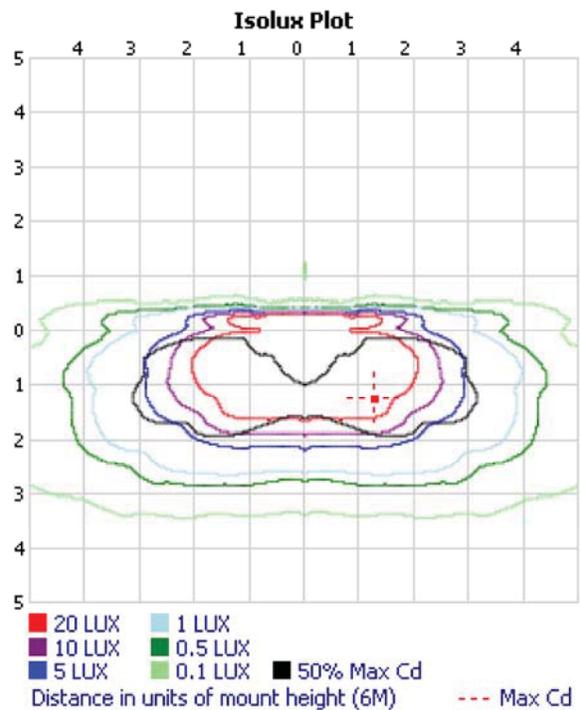
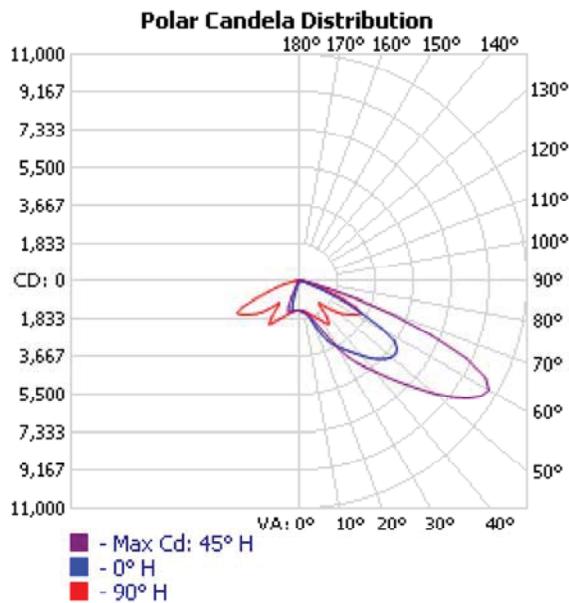
Owner: Zaph & Ath Properties, LLC  
1125 Waterside Circle  
Rockwall, Texas 75087-6007  
Dr. Steve Arze - 469-834-6757

Adventure Sports Facility  
Case No. SP2016-015

**OUTDOOR PHOTOMETRIC REPORT**

CATALOG: DSX2 LED 80C 530 40K BLC MVOLT

TEST #: LTL29316PA38  
 TEST LAB: SCALED PHOTOMETRY  
 TEST DATE: 10/28/2015  
 CATALOG: DSX2 LED 80C 530 40K BLC MVOLT  
 DESCRIPTION: DSX2 LED WITH 80 LEDS @530 MA, 4000K, BACKLIGHT CONTROL OPTIC  
 SERIES: D-SERIES AREA SIZE 2  
 LAMP: LED  
 LAMP OUTPUT: TOTAL LUMINAIRE LUMENS: 13189.9, **ABSOLUTE PHOTOMETRY \***  
 BALLAST / DRIVER: LED DRIVER  
 INPUT WATTAGE: 137  
 LUMINOUS OPENING: RECTANGLE (L: 14.52", W: 11.04")  
 Max Cd: 10,573.4 AT HORIZONTAL: 45°, VERTICAL: 60°  
 ROADWAY CLASS: SHORT, TYPE III



**\*TEST BASED ON ABSOLUTE PHOTOMETRY WHERE LAMP LUMENS=LUMENS TOTAL.**  
**\*CUTOFF CLASSIFICATION AND EFFICIENCY CANNOT BE PROPERLY CALCULATED FOR ABSOLUTE PHOTOMETRY.**

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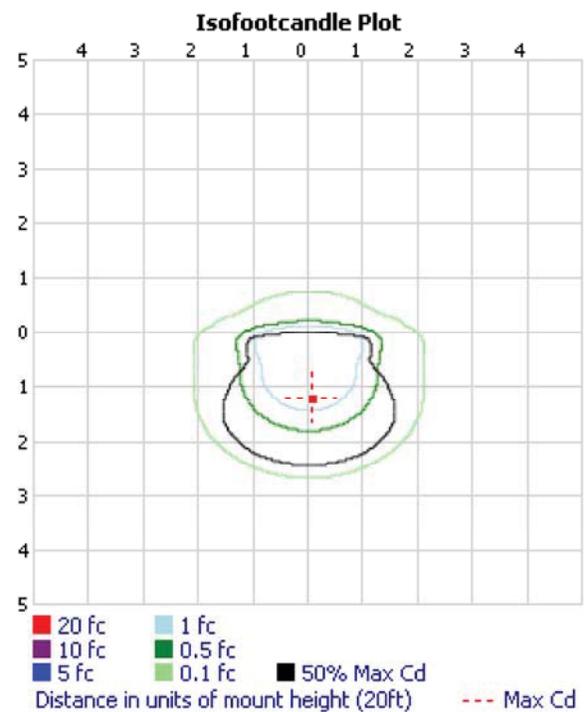
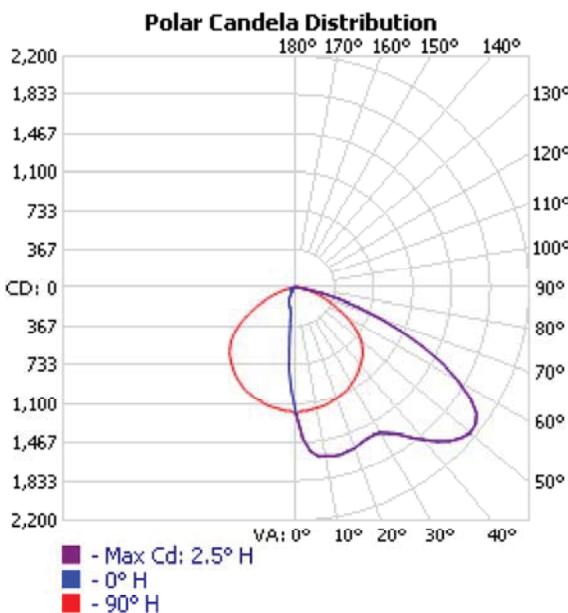


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 PAGE 1 OF 4

**OUTDOOR PHOTOMETRIC REPORT**

CATALOG: WST LED P2 40K VF HVOLT

TEST #: ISF 30965P19  
 TEST LAB: SCALED PHOTOMETRY  
 TEST DATE: 5/16/2016  
 CATALOG: WST LED P2 40K VF HVOLT  
 DESCRIPTION: WST LED, PERFORMANCE PACKAGE 2, 4000 K, VISUAL COMFORT FORWARD THROW, HVOLT  
 SERIES: WST-LED  
 LAMP: LED  
 LAMP OUTPUT: TOTAL LUMINAIRE LUMENS: 3469.4, **ABSOLUTE PHOTOMETRY \***  
 BALLAST / DRIVER: LED DRIVER  
 INPUT WATTAGE: 31  
 LUMINOUS OPENING: RECTANGLE (L: 7.56", W: 12")  
 Max Cd: 2,144.7 AT HORIZONTAL: 2.5°, VERTICAL: 50°  
 ROADWAY CLASS: VERY SHORT, TYPE III



\*TEST BASED ON ABSOLUTE PHOTOMETRY WHERE LAMP LUMENS=LUMENS TOTAL.  
 \*CUTOFF CLASSIFICATION AND EFFICIENCY CANNOT BE PROPERLY CALCULATED FOR ABSOLUTE PHOTOMETRY.

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ISF 30965P19  
 VISUAL PHOTOMETRIC TOOL

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