

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
June 28, 2016
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. **Approval of Minutes** for the *June 14, 2016* Planning and Zoning Commission meeting.

APPOINTMENTS

2. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

ACTION ITEMS

3. **SP2016-014 (Korey)**

Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary.

DISCUSSION ITEMS

4. **Z2016-020 (Korey)**

Hold a public hearing to discuss and consider a request by Sandra Peterson for the approval of a Specific Use Permit (SUP) to allow for a carport that does not meet the minimum setback requirements stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for a 0.231-acre parcel of land identified as Lot 10, Block D of Northshore, Phase 2A Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 509 Sunset Hill Drive, and take any action necessary

5. **Z2016-021 (David)**

Hold a public hearing to discuss and consider a request by Mike Hogue for the approval of a zoning amendment to Planned Development District 52 (PD-52) for the purpose of allowing townhomes on a 2.17-acre tract of land identified as Lot 1, Block 1, Allen Hogue Subdivision (*0.7910-acres*) and Lots 67 & 68, Block B, B. F. Boydston Addition (*1.257-acres*), City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses, being addressed as 703, 705 & 709 E. Boydston Avenue, and take any action necessary.

6. Director's Report of post Council meeting outcomes of Planning & Zoning cases (**Ryan**).

- ✓ P2016-020: Final Plat for Fontanna Ranch, Phase II [*Approved*]
- ✓ P2016-028: Master Plat and Open Space Plan for the Ridgecrest Estates Subdivision [*Approved*]
- ✓ P2016-029: Preliminary Plat for the Ridgecrest Estates Subdivision [*Approved*]
- ✓ Z2016-013: Terracina Estates (AG to PD) (*2nd Reading*) [*Approved*]
- ✓ Z2016-017: Text Amendment for Used Motor Vehicle Sales [*Approved*]
- ✓ Z2016-018: Amendment to Planned Development District 74 (PD-74) (*1st Reading*) [*Approved*]
- ✓ MIS2016-008: Masonry Exception for 905 N. Alamo Street [*Approved*]
- ✓ SP2015-018: Variance to the Material Standards for RaceTrak Site Plan [*Approved*]
- ✓ SP2016-012: Variances for Pratt Site Plan [*Approved*]
- ✓ SP2016-013: Variance to the Material Standards for CareNow Site Plan [*Approved*]

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24th day of June, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
June 28, 2016
5:00 P.M.

DISCUSSION ITEMS

1. SP2016-014 (Korey)

Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24th day of June, 2016, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
June 14, 2016
6:00 P.M.

I. CALL TO ORDER

Chairman Renfro called the meeting to order at 6:00 p.m. Present were, Commissioners Johnny Lyons, Tracy Logan, Annie Fishman, Sandra Whitley and John McCutcheon. Absent was Commissioner Patrick Trowbridge. Staff members present were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Korey Brooks, Planning Coordinator, Laura Morale, and Civil Engineer, Jeremy White.

II. CONSENT AGENDA

1. Approval of Minutes for the May 31, 2016 Planning and Zoning Commission meeting.

2. P2016-020

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Randal Currington of Fontanna Ranch Phase II, LP for the approval of a final plat for Phase II of the Fontanna Ranch Subdivision containing 49 single-family residential lots on a 19.167-acre tract of land identified as Tract 5 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 64 (PD-64) for Single Family 16 (SF-16) land uses, generally located east of FM-549 and south of SH-276, and take any action necessary.

3. P2016-028

Discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a master plan/ open space plan for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

4. P2016-029

Discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a preliminary plat for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

Commissioner Lyons made a motion to approve the consent agenda. Commissioner McCutcheon seconded the motion, which passed by a vote of 6-0, with Commissioner Trowbridge absent.

III. APPOINTMENTS

5. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Chairman Renfro noted that the item that was reviewed by the Architectural Review Board will be discussed later in the agenda.

64 IV. PUBLIC HEARING ITEMS

65
66 6. Z2016-017

67 Hold a public hearing to discuss and consider a City initiated zoning request for the approval of a text
68 amendment to Section 1, *Land Use Schedule*, and Section 2.1.8, *Auto and Marine-Related Use*
69 *Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code for the purpose of
70 changing the requirements for *Used Motor Vehicle Dealerships*, and take any action necessary.

71
72 **Planning Director, Ryan Miller, gave brief explanation of item stating that staff was directed by**
73 **City Council on May 16th to amend our current ordinance to allow for Used Automotive**
74 **dealerships in a Light Industrial District by a Specific Use Permit. Currently they are only allowed**
75 **as an accessory use to New Motor Vehicle dealerships in the City. The ordinance change would**
76 **effectively allow them as a standalone use through a Specific Use Permit in a Light Industrial**
77 **District.**

78
79 **Mr. Miller went on to explain that at the May 31st work session the Commission asked staff for a**
80 **map of all the Light Industrial District properties be provided. Staff did provide that map as well**
81 **as a copy of the proposed draft ordinance in the Commissions packet for review. A fifteen day**
82 **notice was sent out in accordance with State Law and all local requirements were met as well.**
83 **Mr. Miller stated he was available for questions.**

84
85 **Chairman Renfro opened the public hearing and asked anyone who wished to speak to come**
86 **forth and do so.**

87
88 **Maxwell Fisher**
89 **900 Jackson Street Suite 640**
90 **Dallas, TX**

91
92 **Mr. Fisher came forward and stated that he will not be making the full presentation as it was**
93 **already shown to the Commission in the work session. He went on to state he represents Echo**
94 **Park and believes the ordinance should be adopted to allow Pre-Owned Auto Sales by SUP in**
95 **the Light Industrial District as well as the IH-30 Overlay. He added that he was available for**
96 **questions.**

97
98 **Chairman Renfro reminded the Commission that when this item was previously brought before**
99 **them there were some questions concerning the motivation of the request and asked Mr. Miller**
100 **to clarify what Council is directing the Commission to do to make sure everyone is clear.**

101
102 **Mr. Miller stated originally staff received the direction from Council and an ordinance was**
103 **brought before the Commission three meetings ago and what that ordinance proposed to allow**
104 **the Used Automotive Dealership by SUP in the Light Industrial District; however staff included**
105 **that it should be allowed by right in a High Industrial District and also be restricted within certain**
106 **Overlay Districts. That was voted down by the Planning and Zoning Commission by a vote of 6-1**
107 **and staff took it to the City Council and they made a motion to deny by a vote of 6-1 and as part**
108 **of that motion redirected staff to bring back an ordinance only allowing the Used Automotive**
109 **Dealerships in a Light Industrial District with a Specific Use Permit and in accordance with that**
110 **staff is bringing it back to the Commission.**

111
112 **Commissioner Logan asked for clarification of the automotive sales tax asked if that is a tax that**
113 **goes to the State and therefore there is no income generated for the City by Used Car**
114 **dealerships in Light Industrial or anywhere else. Mr. Miller stated there is a tax on real property,**
115 **on inventory. Commissioner Logan asked in comparison with other business would it be**
116 **significantly less. Mr. Miller stated that was a question he was unable to answer.**

117
118 **Chairman Renfro stated it was his understanding that when Commissioner Trowbridge and**
119 **himself at the previous meeting the concern was that there is very few real-estate left especially**
120 **in the IH-30 corridor and that is considered the gateway as travelers come in and exiting the City**
121 **and therefore must be very conscientious and careful of what type of business uses go into that**
122 **corridor. Although it is within the IH-30 Overlay District and there are restrictions built in but**
123 **believes the concern was that this would be a standalone Used Car Dealership, unlike what is**
124 **now where the New Car dealerships have a designated area within their dealerships for the used**
125 **vehicles and currently there is an ordinance in place that allows for Used Auto Dealerships as**

126 long as the business is ran in an enclosed building and is typically off the IH-30 overlay and
127 deals with more internet sales and therefore most of the time it is not known what those
128 buildings are. Chairman Renfro further asked if this was being done for the sense that another
129 ordinance was needed for a specific use that he feels may never be used in that area but has to
130 be in that area.

131
132 Mr. Miller stated that Council redirected staff because there was nothing in the original
133 direction, and that staff was directed to provide an ordinance that made the change in the Light
134 Industrial District standard, which is what is being brought forward at this time without the
135 additional restrictions.

136
137 Chairman Renfro asked for more clarification as to why amendment was asked to be drawn up
138 and stated he was unaware of a person or company was asking to come in to build a standalone
139 car dealership and therefore we have to have an ordinance showing that the City allows that.

140
141 Mr. Miller stated Echo Park had an appointment item with City Council where they made the
142 original request for Council to change the ordinance and that is what started this process off. At
143 that time staff was directed to bring the original ordinance forward which staff did however
144 added the additional restrictions and Council since has redirected staff to bring back this
145 ordinance.

146
147 Commissioner McCutcheon asked if this was approved as its being brought forward would any
148 of the current New/Used Car dealerships now be allowed to change to an only Used Vehicle
149 dealership. Mr. Miller stated they would be required to apply for a Specific Use Permit and is
150 discretionary to Planning and Zoning and City Council.

151
152 Commissioner Fishman asked if additional Used Car dealerships alone were to come into this
153 area would they be required to come before the Commission or would they be allowed to go in
154 by right. Mr. Miller stated that the only change being made requires a Specific Use Permit
155 therefore any Used Car dealership coming into a Light Industrial District would be required to go
156 through this discretionary process prior to being able to apply for a Certificate of Occupancy.

157
158 Chairman Renfro noted that that being the case it could be done on an individual case by case
159 basis. Mr. Miller stated that was correct.

160
161 Commissioner McCutcheon expressed concern that although there could be good opportunities
162 that come in but as a whole how will it affect the overall look if it becomes obsolete and and
163 would end up as an empty parking lot as many of our neighboring cities have had that happen
164 and expressed concern of Rockwall ending up like that and does not feel he has heard a good
165 enough reason to allow this change and although Rockwall is more restrictive than other cities
166 but also one of the smallest cities that does not have the land mass that other cities do and
167 therefore have to be more conscientious of what is allowed.

168
169 Commissioner Fishman reiterated some of Commissioner McCutcheon's concerns stating that
170 she feels that by allowing Used Car dealerships into this area how it will deter other businesses
171 from wanting to come into Rockwall, for example some of the high end car dealerships will they
172 be as inclined to come to Rockwall and although the product being presented is very nice, she
173 is concerned with not knowing what the impact will be in the long term and has not heard
174 enough information to change her position from when this was presented a few weeks ago.

175
176 Commissioner Logan stated that it was her understanding that for both New and Used Car
177 dealerships motor vehicle sales tax goes to the State therefor all of the land that is dedicated to
178 a car dealership produces, other than property tax revenue, no taxable benefit to the City and
179 feels that allowing this use would add a negative aspect of putting more property invested in car
180 dealerships, with Used Car dealerships being slightly lower in the chain than a New Car
181 dealership.

182
183 Chairman Renfro asked the Commissioners if they were prepared to go with the same decision
184 as they reached when it was brought before them a few weeks ago. He expressed concern with
185 there being only so much property along the IH-30 corridor and when it's gone it's gone and
186 therefore it is necessary to be careful with what is allowed to go in, feels that the market has
187 shown that when there are nice flagship dealerships here and is concerned that when the Used

188 Car dealerships start coming in the New Car dealerships may feel the need to leave and then
189 there would be the end result of who would occupy those nice New Car dealerships, it would
190 most likely be more Used Car dealerships and will create the problem that some neighboring
191 cities have ended up with.

192
193 Commissioner McCutcheon made motion to deny case Z2016-017. Chairman Renfro asked for
194 clarification as to what was being denied if it was the introduction of a text amendment. Mr.
195 Miller stated that by denying what is basically being said is to leave the ordinance as is.
196 Commissioner Logan seconded the motion, which passed by a vote of 6-0, with Commissioner
197 Trowbridge absent.

198
199
200 7. Z2016-018

201 Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on
202 behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District
203 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the
204 purpose of incorporating changes to the development standards contained in *Exhibit 'C' of Ordinance*
205 *14-26* for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J.
206 Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-
207 552 and west of Breezy Hill Road, and take any action necessary.

208
209 Planning Director, Ryan Miller, gave brief explanation and background of the item stating the
210 subject property was originally annexed into the City after it was put into a 212 Development
211 Agreement. The original 212 Agreement allowed the property to have 810 single-family
212 residential lots however when it was brought into the City it was changed to 658 single-family
213 residential lots with a 59 acre general retail tract of land that was at the hard corner of John King
214 Blvd. and FM 552. In October of 2012 it was amended to allow up to 691 lots and amended again
215 in 2014 to allow 742 lots and that is where the current lot count stands. On March 13, 2015 the
216 applicant submitted an application requesting to increase it to 762 lots at 2 units per acre and
217 this request also included a new lot type that would be 50x120 foot lots, however that was
218 denied and since that time period a year has passed and the applicant has resubmitted an
219 application requesting to amend the concept plan to allow for a new lot type and to remove
220 about 14.21 acres of land from the retail portion. Mr. Miller provided the Commission a map that
221 showed where the 14.21 acres of land was depicted in the concept plan as Phase 10 and that
222 would be a new lot type, lot type E, which would be a 50x120 foot lot with a minimum of 6,000
223 square feet and the applicant is proposing to incorporate 47 of those into the overall concept
224 plan. This would increase the overall lot count from 742 lots to 789 lots and increase the density
225 from 2 units per acre to 2.07 units per acre.

226
227 Mr. Miller went on to state that it should be noted that if the City Council chooses to approve this
228 case, the Future Land Use map will need to be amended to change the designation for this area
229 from a Commercial designation to a Low Density Residential designation and that has been
230 added to the conditions of approval for this case.

231
232 Mr. Miller went on to state staff mailed out 334 notifications on May 27, 2016 and also sent out
233 notices to the Stoney Hollow and Breezy Hill Homeowner's Associations. Of the notices sent
234 out, staff received 7 notices returned in opposition of the request, 2 were provided for the
235 Commission this evening and 5 were provided in the packet. Mr. Miller added the applicant was
236 present and staff was available for questions.

237
238 Chairman Renfro opened the public hearing and asked the applicant to come forward.

239
240 Adam Buzcek
241 8214 Westchester Drive Suite 710
242 Dallas, TX

243
244 Mr. Buzcek came forward and provided a slide show of request which included other Skorburg
245 projects in Rockwall which include Breezy Hill and Stone Creek. The slide show provided plat
246 history, subject property location, proposed concept plan, zoning request, and development
247 standards.
248

249 Mr. Buczek went on to give a brief history of the subject property stating that the original 212
250 Agreement back in 2007 when the property was purchased had all single-family zoning with up
251 to 810 residential lots and it accommodated an area for a school site, because at that time
252 Rockwall Independent School District had expressed interest in wanting a site on the project. In
253 2009 with the direction of Council and working with staff, they looked to rezone and improve the
254 PD by zoning with a 55 acre commercial site at the south, that was the second version of the
255 item and it reduced the lot count to 658 lots because they converted from residential to
256 commercial maintaining the 2 lots per acre for overall residential density. In 2012 the PD was
257 once again amended the PD for 691 residential units and RISD did not want to build the school
258 site in Breezy Hill therefore they made a master plan that conformed to the 2 units per acre and
259 kept the same lot mix. In 2014 a proposal for 50 foot product was proposed and that request was
260 denied at that time and now there are currently 60 foot lots along the retail and that request was
261 denied at that time. The reason that was done is due to the success of the 50 foot product and
262 the 60 foot product harmoniously co-existing in pods in a transitional zoning from the retail of
263 the Tom Thumb center by Stone Creek was very successful and was a different product line and
264 saw that they were running out of that lot mix.

265
266 Mr. Buczek stated that they are before the Commission now 15 months later asking for the City
267 to approve and support their request for the 50 foot product of lots that would be a transitional
268 zoning from the remaining commercial which will be approximately 20 acres and leaving about
269 20 acres on the hard corner and then transition to the proposed 50's and then it would transition
270 to 60's, 70's, 80's and then the half acre lots.

271
272 Mr. Buczek went on to show slide show that showed subject property location, trail system,
273 open space plan. If request is approved it will have a residential increase of approximately 10
274 acres the residential units would increase from 741 to 789 which is still under the original 810 lot
275 vision before the commercial component was added. The residential density goes up 700th of an
276 acre from 2.0 to 2.07. M. Buczek went on to state reasons they feel this request should be
277 approved is because it is a logical transitional zoning between the commercial and that has been
278 proven by Stone Creek, the 50's and 60's have harmoniously existed. They are high quality and
279 high price point and the builder would be Windsor Homes. This proposal would offer some
280 diversity of housing product for Breezy Hill which it currently does not have. Stone Creek will be
281 out of that lot type by the end of this year. He went on to state that they feel the remaining 20
282 acres of commercial will still accommodate a good anchor and some pad sites down the road.
283 The projected price points will be 280's 290's and mid 300's that is what is selling in Stone Creek
284 currently. The projected square footage is 1800square feet minimum but most of the product
285 that they are selling is in the 2,000's and goes as high as 4,000.

286
287 Mr. Buczek stated he and his team were available for questions.

288
289
290 Chairman Renfro asked what the square footage range would be. Mr. Buczek stated they would
291 be 1,800 to 4,000 and for this area would be predominantly 2,400 to 3,500 square feet and the
292 price range for those would be the high 280's to mid-300.

293
294 Chairman Renfro stated he read the concerns of the residents and one major concern that was
295 expressed by numerous residents was that this product type is going to either cap or reduce
296 market values in adjacent neighborhoods and asked what a response to that concern would be.
297 Mr. Buczek stated his response would be to look at Stone Creek and look at Breezy Hill the 50
298 foot lots have not dragged the 60 foot lots down at all. In Stone Creek have had 50 foot product
299 since 2009 and feels it is just a different product type and looking at the concept plan you can
300 see it is 400 acres and was originally intended to be a life cycle neighborhood and Stone Creek
301 had the 50x120 component in it although Breezy Hill did not but it did not start out with a retail
302 component it started out all residential but after Council's direction the retail component was
303 added with the thinking that it could go back to residential as the market dictated. Now realizing
304 that much commercial is not necessary and is not the highest best land use they would like to
305 reduce the 20 acres of commercial and incorporate that same transitional buffer that was done in
306 Stone Creek. Looking at the price point history they have exceeded the price points in all
307 categories including in every lot category, so in answer does not feel the price values of
308 adjacent homes will be affected.

309

310 Commissioner Logan asked concerning the original concept plan that included the site for the
311 school was that when it was proposing 810 lots. Mr. Buczek stated it was.

312
313 Commissioner Logan asked what year they began to produce the majority of homes. Mr. Buczek
314 stated it was in 2012. Commissioner Logan expressed concern of what the residents that
315 originally bought in Breezy Hill with the premise that the developer established when they made
316 their big investment and now that is being changed how that would cause a feeling to them of
317 having been misguided of what would be developed in subject property when they first bought
318 their homes.

319
320 Commissioner Whitley expressed stated she understood the change from commercial to
321 residential and is not opposed to that but her concern is with arguments that focus on the price
322 points, aside from the profit motive, why not just continue with the 60 foot lots in this particular
323 section as opposed to bringing it down to the 50 foot lots. Mr. Buczek stated there was a clear
324 and pristine answer and that is that the residual land at Stone Creek is entirely zoned for 60 foot
325 lots, and therefore there is an abundant amount of 60 foot lots and zero 50 foot lots left in Stone
326 Creek. There are about 300 of the 60 foot lots in the balance of the Stone Creek Property and that
327 is not to say it will all be developed that way, may choose to do bigger lots but there is plenty of
328 60 foot lots for that market demand for that lot size, but there is zero on the 50 foot market and
329 there are a lot of people that do not want to pay and maintain a 60 foot lot. If the 50 foot lots are
330 approved it will be a high end product just as the 60 foot product is, Windsor Homes will be the
331 builder.

332
333 Chairman Renfro noted again this is a public hearing and asked those who wanted to speak to
334 form a line and come forward.

335
336 Amanda Warner
337 890 Pleasant View Dr.
338 Rockwall, TX

339
340 Ms. Warner came forward and stated she had questions for the developer. One, what is the
341 percentage sold of the half acres, the 80 foots, and the 70 foots that are currently already
342 established in the neighborhood. Two, what is the average price of what is existing, either built
343 or in the process of being built as far as the price point.

344
345 Kelli Nori
346 4189 Lorion Drive
347 Rockwall, TXX

348
349 Ms. Nori came forward and stated she is in opposition of the request. She stated she moved to
350 Rockwall because these types of developments were available where they weren't available
351 somewhere else and wants to keep the value of her home. She feels that by bringing in the
352 proposed product it will drive the value of her property down and affects the investment that
353 they made. They made the investment with the understanding that the minimum standards were
354 set at the threshold and now the developer wants to lower them. She doesn't have an issue if
355 they were kept at the 60 foot lots its going down to the 50 foot lot that makes a big difference.
356 Also, she stated it was her understanding that the 50 foot lots of which the developer just
357 mentioned had sold two lots was having trouble selling those due to the fact that Windsor
358 Homes does not have a floor plan that fits the 50 foot lots.

359
360 Dave Parks
361 3718 Drewsbury Drive
362 Rockwall, TX

363
364 Mr. Parks stated his opposition to the proposal. He moved to Rockwall and made a contract to
365 build a home in Breezy Hill in November of 2014 and at that time their builder relayed to them
366 that the developer had certain limits to the lot and house size and sold us on Breezy Hill being a
367 premiere level home neighborhood, the next step up from Stoney Creek and there would be a
368 certain lot size and the price point ranges would be that of 350's to 500's so therefore felt good
369 about making the decision to make the investment. Feels the developer changing it now is
370 wrong and lacks integrity on their part.

371

372
373
374
375
376
377
378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403
404
405
406
407
408
409
410
411
412
413
414
415
416
417
418
419
420
421
422
423
424
425
426
427
428
429
430
431
432
433

Nancy Parks
3718 Drewsbury Drive
Rockwall, TX

Ms. Parks came forward and stated she is the wife of Mr. Parks that just spoke and she also is in opposition to the request. She is a real estate agent here in Rockwall and one of the things she can say is selling a house in Stone Creek versus selling a house in Breezy Hill, there is a quite a bit of a price difference. They came to Rockwall from New York and paid a premium to live in that neighborhood and would like to keep that neighborhood like it is and that is a premium neighborhood. Has no issue if they would like to go back to 60 foot lots.

Norm Fontan
805 Calm Crest Drive
Rockwall, TX

Mr. Fontane expressed his opposition to the request. He mentioned the earlier discussion about the used car lot and what kind of town we want Rockwall to be, feels the desire should be for it to be a town everyone is proud of and he is very proud to have moved here from Michigan. He would like for the lot sizes to stay the same or even bigger because it is beautiful there and by adding more smaller homes the character of the neighborhood would be lost urged the Commission to vote against the proposal.

Julli Cavalli
721 Calm Crest Drive
Rockwall, TX

Mrs. Cavalli came forward and stated her opposition of the request. She moved here from Georgia over a year ago and moved into a half acre in Breezy Hill and did so to get away from the feel of being so close to other properties and the sight of so much concrete. They looked into Stoney Creek at the start of their home search but felt the houses there were just too close together. She also feels it will affect the price value of her home and the look of her neighborhood. Feels the developer should stay with the original plan they had when they created Breezy Hill because that is what was sold to them and that should be honored.

David Cavalli
721 Calm Crest Drive
Rockwall, TX

Mr. Cavalli came forward and stated he is the spouse of Ms. Julli Cavalli who just spoke and he is also in opposition of the request and agrees with all the concerns his wife spoke of, but wanted to add that in looking at the 50 foot lots that are supposed to be transitional, the commercial and the rest of the neighborhood but in looking at that feels there is a big fault in their logic because half of the commercial is backed up to 60 foot lots and therefore is not really a transitional. He feels it is more about the product. Both Stone Creek and Breezy Hill are both beautiful developments for Rockwall but feels the developer is trying to get more for them, while taking away what was promised to the residents of Breezy Hill.

Chairman Renfro asked if there was anyone else wishing to come forward and speak, there being no one indicating such, Chairman Renfro closed the public hearing and asked the applicant to come back up for rebuttal.

Chairman Renfro asked Mr. Buczek if he could start from the beginning of the concerns and questions that were shared starting with the price points. Mr. Buczek began with the question concerning the average price on all lot sizes that is a statistic that is not really tracked cannot give a specific number but if he had to guess his prognostication would be that they are probably averaging somewhere around \$400,000 to \$525,000 somewhere in that range between all size houses.

Chairman Renfro asked concerning the value, minimum standards were 60 foot lots and question of those lots being harder to sell. Mr. Buczek stated they have been selling the 60 foot lots since 2009 in Stone Creek so the answer is no, there has not been a problem selling 60 foot lots and Windsor has floor plans that fit the customer can come in and pick a lot there are lots to choose from between both master plans.

434
435
436
437
438
439
440
441
442
443
444
445
446
447
448
449
450
451
452
453
454
455
456
457
458
459
460
461
462
463
464
465
466
467
468
469
470
471
472
473
474
475
476
477
478
479
480
481
482
483
484
485
486
487
488
489
490
491
492
493
494

Chairman Renfro asked about the question that came up concerning the minimal lot size on original plan being 60 foot and it was never disclosed to the residents of any plan for 50 foot lots when they made their purchase. Mr. Buczek stated that is correct because they never had a 50 foot lot type in Breezy Hill since day one going back to 2012. The comment that was made concerning why didn't the developer disclose that on a map during time of purchase, but at that time not being sure if that would be introduced, feels it is much easier to add something at a later time than retract something from the plan that was already offered. Markets, demands and cycles change and PD's are always subject to potentially re-opened and modified as the market conditions change when new market opportunities present themselves or go away.

Chairman Renfro asked why the sixty foot product would not work in this particular location. Mr. Buczek stated it would work in time, but it would come down to the loss they are taking by losing part of the commercial by turning it into residential and in turn losing profit, but feels that the market has spoken and with this commercial are sitting there the last three years with nothing coming in. They are trying to have a differentiated product because it is a differentiated price point and a differentiated product line and it's only 10 acres of land out of 400 acres, and although he does understand everyone's concerns he asks that the look at the price points of Windsor Homes on this product and can be assured that this price point with this square footage is not going to bring down values but instead will enhance the values for the 60 foot lots that are to the north of the site.

Mr. Buczek went on to state that after all the discussion and the concerns of the neighbors if it would appease the Commission and the neighbors to some degree to convert the lots that are on the north end edge of the ten acres to make those all 60's they would be willing to do that. If that is something that can be considered it is an option for them. What they are trying to do is to have the different product on a small piece of land that has no traffic circulation connectivity with any of the other phases of Breezy Hill. It will have its own dedicated entrance in and out, out of John King. It is like its own pod within the master plan neighborhood.

Commissioner Fishman expressed concern that the smaller lots to eventually turn into transitional properties especially when they're backed up to retail. And although that may be something that will happen in the very near future, it is still a concern. Mr. Buczek stated they would be willing to add a deed restriction for this lot type that would not allow a property to be rented for longer than a 12 month period.

Commissioner Logan asked concerning the j-swing garages versus the front entry garages that one resident that spoke had concerns about. Mr. Buczek stated the 60 foot wide lot does afford more options with a two in one garage floor plan. The 50 foot lot does not it is a front entry product like the Stone Creek 50 foot product but the visual simulation of these 50's will have zero impact on the visual streetscape of the rest of Breezy Hill because the only way you'll be driving through there is if you live there.

Chairman Renfro asked concerning the open space. Mr. Buczek stated the minimum was 20% and according to the concept plan they are exceeding the open space requirement.

There being no other questions for the applicant or staff, Chairman Renfro brought the item back to the Commission for discussion.

Commissioner Whitley point of clarification if the Commission denies the request, would it be a year before they can come back or can a motion to approve be made with the amendment that all the lots be 60 foot, how would that work. Mr. Miller stated that the options are to approve and that would go onto Council and require a simple majority for approval. If a motion was made to deny the request and that were to pass that would kick in the three quarter majority vote meaning a super majority would be needed to approve the case by Council. If a recommendation by the Commission be made to Council to incorporate 60's as the applicant offered on the northern part that would be a recommendation to approve with those additional recommendations.

495 Commissioner Whitley asked concerning the time frame the applicant would be required to wait
496 before making another application if the request is denied. Mr. Miller explained that if Council
497 denies the request, they're prohibited from bringing back the same request for a period of one
498 year. However, the ordinance calls for a substantial change to be able to bring the request prior
499 to the one year and the Planning and Zoning Commission is the body that makes the
500 determination on whether or not it is a substantial change. If the applicant were to bring
501 something back the Planning Director has the ability to allow that to come in, however typically
502 it is brought to the Planning and Zoning Commission to make the determination if there is a
503 substantial change.
504

505 Commissioner Lyons stated that he feels that the community would be best served in this
506 situation by sticking with the 60's the reason being that that is what the plan has been on this
507 portion of it and feels many of the residents did purchase their homes with that understanding
508 that there was not going to be smaller lots and 60's was the standard. Feels it is not much of a
509 difference from 50's to 60's and the developer would still make a good profit and remaining
510 consistent to what they committed to the residents.
511

512 Commissioner Lyons made a motion to deny case Z2016-018. Chairman Renfro asked staff for
513 clarification if the motion is to deny but Commissioner Lyons amends it to add the 60 foot lots,
514 does he have to deny it. Mr. Miller explained if Commissioner Lyons denies the recommendation
515 for the 60 foot lots can be made to City Council.
516

517 Commissioner Lyons made a motion to approve case Z2016-018 with the amendment to make
518 the lots from 50 foot lots to 60 foot lots.
519

520 Commissioner Whitley asked for clarification if all would be 60 foot lots and not just the
521 contiguous lots that the applicant discussed. Chairman Renfro clarified motion was to make all
522 the lots 60 foot lots, there would be no 50's.
523

524 Commissioner McCutcheon commented on point of order as far as if the Commission makes
525 this change and it's approved, what are City Councils options if they chose to approve it with
526 50's. Mr. Miller stated City Council could approve the request as presented, and it would require
527 a simple majority vote.
528

529 Commissioner Logan commented on what the developer said concerning reason they are
530 proposing the request is because they already have so many of the 60 foot lots and that only
531 attracts a certain size of home owner and had concerns. Mr. Miller pointed out that a second
532 motion was required before further discussion could take place.
533

534 Commissioner McCutcheon seconded the motion. Commissioner Logan expressed concern of
535 tying down the developer with all 60's when they have so many 60's that have not been sold yet
536 and that only attracts a certain income level and sees how they are interested in drawing
537 different income levels for the entire neighborhood.
538

539 Chairman Renfro noted there was a motion on the table and called for a vote. The motion passed
540 by a vote of 6-0, with Commissioner Trowbridge absent.
541

542 V. ACTION ITEMS
543

544 8. MIS2016-008

545 Discuss and consider a request by Theresa and Ronald Briones for the approval of an exception to the
546 minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of
547 Article V, *District Development Standards*, of the Unified Development Code, for a 0.248-acre parcel of
548 land identified as part of Lot 7, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas,
549 zoned Single Family 10 (SF-10) District, addressed as 905 N. Alamo Street/906 N. West Street, and
550 take any action necessary.
551

552 Planner, Korey Brooks, gave explanation of request stating the applicant is requesting to
553 construct a new home on the vacant lot at 905 N. Alamo Street and they want to utilize Hardy
554 Plank or a similar siding material. The subject property is located just north of the intersection of
555 Heath Street and N. Alamo Street and is zoned Single Family 10 District. According to the UDC,
556 the minimum masonry requirement for exterior walls on structures that are 120 square feet or

557 greater is 80%; with a maximum of 50% of this masonry requirement being permitted to be Hardy
558 Plank, stucco or a similar cementaceous material. Additionally, the code states that exceptions
559 to these requirements may be permitted on a case-by-case basis by the City Council. The
560 applicant did submit building elevations and photos of other homes in the neighborhood that
561 have Hardy Board or similar siding.

562
563 Mr. Brooks further stated that additionally, the applicant has stated in a letter submitted to staff
564 that the purpose of requesting the masonry exception is to match the materials and architectural
565 style of the adjacent properties. Also something else to note is that the majority of the
566 structures on the adjacent properties utilize vinyl/wood siding or a similar cementaceous lap
567 siding material.

568
569 Mr. Brooks stated he has a sample of the product that is being proposed and has passed that
570 around for the Commissions review and the applicant was present and available for questions,
571 as well as staff.

572
573 Commissioner McCutcheon asked concerning sample if that was the actual color that would be
574 used. Mr. Brooks stated he would refer that question to the applicant.

575
576 Chairman Renfro asked the applicant to come forward and speak.

577
578 Theresa Briones
579 1401 Bayline
580 Rockwall, TX

581
582 Ms. Briones came forward and answered Commissioner McCutcheon's question stating that the
583 color sample presented is not the color that she plans on doing a light gray. She explained
584 reason for request was to keep the same look of the existing neighborhood.

585
586 There being no further questions for the applicant or staff, Chairman Renfro brought the item
587 back to the Commission for discussion.

588
589 Commissioner McCutcheon made a motion to pass MIS2016-008. Commissioner Whitley
590 seconded the motion which passed by a vote of 6-0, with Commissioner Trowbridge absent.

591
592
593 9. SP2015-018
594 Discuss and consider a request by Brad Williams of Winstead PC on behalf of RaceTrac for the
595 approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land
596 identified as Lots 1R & 2R of the Woods at Rockwall Addition, City of Rockwall, Rockwall County,
597 Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the
598 southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action
599 necessary.

600
601 Senior Planner, David Gonzales, gave brief explanation of request stating the subject property is
602 located on the southeast corner of Ridge Road and Yellow Jacket and stated as the Commission
603 may recall the applicant was before the Commission in December of 2015 requesting an
604 amendment to the site plan specifically to the elevations at that time, and part of that request
605 was concerning the secondary materials to the building's elevations. At that time they had
606 brought forward a material that was not only EIFS but also trek board. Mr. Gonzales passed
607 around a sample of material for the Commissions review and noted reminded the Commission
608 that after both the Architectural Review Board and the Planning Commission's approval it did go
609 to City Council and the variance to that particular material and the allowance to the secondary
610 material to exceed 10% was approved however, after having put up a mockup of the trex board
611 they realized it did not work and now are coming forward with another material they are
612 proposing which is a compact wood material that looks more like wood but is not a 100% wood
613 product and will be considered secondary material. Mr. Gonzales provided a spec sheet of the
614 material for the Commission's review as well as a calculation sheet.

615
616 Mr. Gonzales further noted that the purpose of the request is not only for the increase of the
617 secondary material but also for a change in the elevation which includes the tower element has
618 been removed however what the approved elevation of 2015 and the proposed elevation, the

619 change is a patio area that has been extended on the north side of the building they are
620 including a roll of glass that will be an open air type patio which they can close in the winter.
621 That changed required them to increase the secondary material and those percentages and
622 numbers are shown on the calculation report provided to the Commission. Mr. Gonzales gave a
623 brief breakdown of the numbers by explaining that staff essentially reviews elevations for each
624 elevation and in this case the top portion of the calculation sheet indicates an average of
625 secondary material of each elevation and that can be anywhere from 10% to 29% for an average
626 of 21% however with the elevations that were brought forward in December, that elevation total
627 was for the entire building and that was a 14%, the purpose of the calculation report was to
628 compare the numbers of the new proposed numbers as opposed to those which were brought in
629 December.

630
631 Mr. Gonzales stated the applicant was present and staff was available for questions.

632
633 Chairman Renfro asked the applicant to come forward.

634
635 Brad Williams
636 2728 N. Harwood
637 Dallas, TX
638

639 Mr. Williams came forward and stated he represents RaceTrac and provided a slide show that
640 showed pictures of proposed perspectives and changes. The patio is what is driving the
641 changes RaceTrac felt that adding the enclosed patio would be more useful for the customers
642 for a year round use and one of the reasons to eliminate the tower was also to direct the
643 customers to the front entrance. He further noted that the illustration provided helps show the
644 change in materials. Looking at the old elevation and the new elevations there is a very small
645 increase in the secondary materials. Mr. Williams went through a comparison of trex versus
646 compact wood. He stated he is available for any questions.

647
648 Chairman Renfro asked concerning the difference in the years of warranty between the two
649 materials. Mr. Williams explained that the trex is warrantied for ten years for its intended
650 application as a deck and when taking the trex out of the deck and using it in the way that is
651 being proposed the question was why that warranty wouldn't continue to apply, so it is a ten
652 year as a deck, and the compact wood is warrantied for the proposed application interior as well
653 as exterior.

654
655 Commissioner Logan expressed concern of compact wood not looking more like real wood than
656 the trex asked staff if it was a variance to stone. Mr. Gonzales stated the trex board is simply a
657 variance to allow for more than 10% of a secondary material and they do meet the stone
658 requirement.

659
660 Commissioner McCutcheon asked staff concerning the stone increase appears there is more
661 stone than what was shown initially. Mr. Gonzales state there is stone in the interior of the patio
662 area and that is the reason for the increase and the interior wall is not part of the calculation.

663
664 Chairman Renfro asked for discussion or motions from the Commission.

665
666 Commissioner Fishman made a motion to approve the item with staff recommendations.
667 Commissioner McCutcheon seconded the motion which passed by a vote of 6-0, with
668 Commissioner Trowbridge absent.

669
670 10. SP2016-012

671 Discuss and consider a request by Chet Leugers, PE of Pacheco Koch on behalf of Michael Hampton of
672 the Rockwall Economic Development Corporation for the approval of a site plan for a
673 warehouse/manufacturing facility on a 30.6-acre portion of a larger 86.806-acre tract of land identified
674 as Tract 1 of the H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas,
675 zoned Light Industrial (LI) District, located at the northwest corner of Discovery Boulevard and Data
676 Drive, and take any action necessary.

677
678 Senior Planner, David Gonzales, gave brief explanations of request stating the subject property
679 is located within the Rockwall Technology Park along Data Drive and Discovery Blvd. The
680 applicant, Pratt Industries a Georgia-based packaging company, that is requesting to construct

681 389,500 SF warehouse/manufacturing facility and will be taking up a 30.6-acre tract of land, it is
682 zoned Light Industrial there are three main points of access to the site.
683

684 Mr. Gonzales went on to explain that as discussed in the work session the parking for the site
685 with it being 389,000 square feet facility does require 389 parking spots and that will be a
686 variance they are requesting. With consideration to the site plan they do meet the elevations,
687 landscape plan, treescape plan and photometric plan within the Unified Development Code for
688 the Light Industrial District with the exception of the variances that are being requested.
689 Concerning the treescape plan looking at the site it is a vacant tract of land and has quite a few
690 trees on it, the applicant will be removing about 3,700 inches from the site but the majority of
691 those are cedar trees and within the City's ordinance are mitigated at 50% of those trees that are
692 over 11 inches and 2,600 of the trees are considered not protected. Also within the tree
693 mitigation there are two elm trees that total 18 inches and for those removal does require
694 Planning Commission's approval. Total mitigation will be 576 inches for the property, however
695 they will be providing 192 3 inch calper trees minimum size trees for the entire site and that will
696 clear out the balance for the mitigation and will have no trees owed.
697

698 Mr. Gonzales further noted that concerning the variances the applicant is requesting, since it is
699 not in an Overlay District, they will require a simple majority vote by City Council. There are six
700 variances to the Unified Development Code, starting with the parking. The UDC requires them to
701 have 389 parking spaces but the applicant will be providing 132 spaces and that is based on the
702 number of employees that will be on site and therefore are asking for the parking to be reduced.
703 The next variance is for tilt wall construction and that is considered on a case by case basis
704 through City Council and that leads to the material variance stone or brick is required but since
705 it will be 100% tilt wall, 20% cultured stone is required on walls that are visible from a public
706 street. They will also be requesting variances to the vertical and horizontal articulations as well
707 as a variance to the detention base. Anytime an applicant comes in and they have on site
708 detention as the applicant in this case does, they are required one tree per 750 square feet of dry
709 detention area. In this case the applicant indicated that the detention area will be only temporary
710 because the REDC has a regional detention that connects to the property, and this is to
711 eliminate the need for the detention for this particular site.
712

713 Mr. Gonzales went on to note that all six variances that are being requested require a simple
714 majority vote from City Council, and staff and applicant are available for questions.
715

716 Commissioner McCutcheon asked staff except for the parking and detention variances, did the
717 existing Bimbo as well as neighboring properties ask for similar variances. Mr. Gonzales stated
718 they have.
719

720 Commissioner Logan asked concerning the detention plan. Mr. Gonzales stated the applicant
721 would be better fitted to answer that question.
722

723 Chairman Renfro asked the applicant to come forward.
724

725 Michael Hampton
726 REDC
727 2610 Observation Trail
728 Rockwall, TX
729

730 Mr. Hampton came forward and gave brief summary of request stating this particular spot is
731 referred to as Phase IV has about 95 acres of developable property that the REDC has been
732 actively marketing out area. Pacheco Koch is the engineer on the project and REDC is working
733 with them for the detention pond it is on the far northwest corner that will serve as a detention
734 pond for these 95 acres have permission to utilize an existing lake in the Discovery Lakes
735 subdivision. The temporary pond primarily is to serve the western half because their timeline is
736 faster than that of the REDC although they are actively working on completing that. The
737 applicant would prefer not to build the temporary pond only to have to fill it once the permanent
738 one that is under way is completed.
739

740 Mr. Hampton went on to explain that the REDC goes through a lengthy process that is used to
741 qualify prospects and part of that is understanding not only the company and their financials but
742 also the quality of business they will run. There is several building in the surrounding area in

743 which variances similar to these have been approved. They will have very extensive landscaping
744 plan to embellish the buildings overall look.
745

746 Chairman Renfro brought the item back to the Commission for discussion. There being no
747 questions or discussion, Chairman Renfro made a motion to approve the item. Commissioner
748 McCutcheon seconded the motion, which passed by a vote of 6-0, with Commissioner
749 Trowbridge absent.
750

751
752 11. SP2016-013

753 Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of the owner Tom R.
754 Briscoe of Briscoe Oil, Inc. for the approval of a *PD Site Plan* for an urgent care facility on a 1.042-acre
755 tract of land identified as Lots 1 & 2, Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal
756 Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development
757 District 32 (PD-32), situated within the *Summit Office Subdistrict* and the IH-30 Overlay (IH-30 OV)
758 District, located at the southwest corner of Horizon Road [FM3097] and the IH-30 frontage road, and
759 take any action necessary.
760

761 Senior Planner, David Gonzales, gave brief explanation of request stating that on May 11, 2016,
762 the applicant submitted an application for a PD site plan showing the proposed layout of a 6,235
763 SF urgent care facility on a 1.042-acre tract of land and is located directly east of Trend Tower
764 adjacent to the IH-30 Frontage Road and Horizon Road and is zoned Planned Development
765 District 32 and that PD Development Plan was approved in May of this year.
766

767 Mr. Gonzales went on to state that according to Ordinance No. 10-21, the proposed use is
768 permitted by-right in the Summit Office Subdistrict, and will not require any additional approvals
769 by the Planning and Zoning Commission. The submitted site plan, building elevations,
770 landscape plan, and photometric plan conform to the technical requirements contained within
771 the UDC and Planned Development District. The applicant is requesting a variance to the IH-30
772 Overlay District standards of the UDC and Mr. Gonzales added that as a note, approval of a
773 variance request to the IH-30 OV requires passage of a 3/4 majority vote of City Council and the
774 approval of a variance to the IH-30 OV is a discretionary decision for the City Council. The
775 request for the masonry requirements according to the UDC, each exterior wall is required to
776 be constructed of 90% masonry materials on walls visible from a public street or open space,
777 including a minimum of 20% being natural or quarried stone. In this case, the proposed building
778 will be comprised of 100% masonry materials with two of the facades incorporating a minimum
779 of 35% natural chopped stone. The two remaining facades, the north and west elevations, do
780 not meet the minimum 20% standard for stone. A variance to allow for not meeting the minimum
781 stone standard requires a 3/4 majority vote by the City Council for approval.
782

783 Mr. Gonzales further stated that on May 31, 2016, the Architectural Review Board reviewed the
784 proposed site plan and building elevations. Through internal discussion with the applicant, the
785 ARB recommended removing the stone from the tower element adjacent to IH-30 and placing it
786 on the southern elevation for the purpose of wrapping the chopped stone around the building
787 from the southern elevation to eastern elevation. This will also have the effect of increasing the
788 stone that faces onto Pinnacle Way Drive. In lieu of stone on the tower element the ARB
789 recommended that the applicant utilize one of the two proposed brick materials. In addition, the
790 ARB agreed with the applicant that the western elevation did not need to incorporate stone since
791 it will face Trend Tower and not be visible from a public right-of-way. Finally, the ARB
792 recommended that the applicant consider incorporating more adornments in the banding
793 elements and trim the windows out in opposing materials for example if the wall is stone then
794 what would be uses is brick to frame the windows and vice-versa. The applicant agreed with the
795 ARB's assessment and provided elevations demonstrating conformance to these
796 recommendations.
797

798 Mr. Gonzales stated the applicant was present and staff is available for questions.
799

800 Chairman Renfro asked the applicant to come forward.
801

802 Greg Stoggnier
803 12720 Hillcrest Suite 650
804 Dallas, TX

805
806
807
808
809
810
811
812
813
814
815
816
817
818
819
820
821
822
823
824
825
826
827
828
829
830
831
832
833
834
835
836
837
838
839
840
841
842
843
844
845
846
847
848
849
850
851
852
853
854
855
856
857
858
859
860
861
862
863
864
865
866

Mr. Stoggnor came forward and stated they met with the Architectural Review Board and received good suggestions from them north elevations were originally stone, the Board recommended those go to brick which they will do and the building will be 19.98% stone and is 100% masonry therefor he feels they meet the intent.

Chairman Renfro brought the item back to the Commission for discussion.

Commissioner Lyons made a motion to approve the item with staff recommendations. Commissioner Fishman seconded the motion which passed by a vote of 6-0, with Commissioner Trowbridge absent.

12. SP2016-014

Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary.

Chairman Renfro noted this item has been tabled until further notice.

VI. DISCUSSION ITEMS

13. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- ✓ P2016-021: Preliminary Plat for Lot 1, Block A, Rockwall CCA Addition [Approved]
- ✓ P2016-022: Preliminary Plat for Lot 1, Block 1, Dobbs Elementary Addition [Approved]
- ✓ P2016-026: Lot 6, Block M, Sanger Brothers Addition [Approved]
- ✓ SP2016-006: Variances for Service King Collision Repair [Approved]
- ✓ Z2016-012: SUP for Kroger Gas Station at 2901 Ridge Road (2nd Reading) [Approved]
- ✓ Z2016-013: Terracina Estates (AG to PD) (1st Reading) [Approved]
- ✓ Z2016-014: Ridgecrest Subdivision (AG to PD) (2nd Reading) [Approved]
- ✓ Z2016-015: Amendment to Planned Development District 79 (PD-79) (2nd Reading) [Approved]
- ✓ Z2016-016: Text Amendment to Southside Residential Neighborhood Overlay (SRO) District (2nd Reading) [Approved]

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting. No discussion took place concerning this agenda item.

Mr. Miller added that the Texas Chapter of the APA is providing a workshop and the Commission is welcome to attend, information regarding this will be sent via email.

VII. ADJOURNMENT

Chairman Renfro adjourned the meeting at 8:29 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2016.

Craig Renfro, Chairman

Attest:

867
868
869

Laura Morales, Planning Coordinator

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 06/28/2016

APPLICANT: Ron Valk; *Platinum Storage Rockwall, LLC*

AGENDA ITEM: **SP2016-014**; Platinum Storage

SUMMARY:

Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary.

PURPOSE:

The applicant is requesting approval of a Site Plan for the purpose of constructing two (2) office/warehouses (one ~ 9,180 sq. ft. and the other ~ 11,300 sq. ft.). The 2.692-acre parcel is zoned Commercial (C) District, is within the IH-30 Overlay (IH-30 OV) District, and is generally located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 4.5, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the proposed use (*i.e. an office/warehouse*) is a use permitted by right and will not require any additional approvals from the Planning and Zoning Commission. The submitted site plan, landscape plan, and photometric plan conform to the technical requirements contained within the Unified Development Code (UDC) for properties located in a Commercial (C) District and located within the IH-30 Overlay (IH-30 OV) District. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>~117,000 SF; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>~60-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>~100-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>~15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP</i>	<i>25-Ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>17.46%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X>90%; In Conformance</i>
<i>Max Floor Area Ratio</i>	<i>4:1</i>	<i>X<4:1; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>30</i>	<i>33 Provided; In Conformance</i>
<i>Minimum Stone Requirement (IH-30 OV)</i>	<i>20% ea facade</i>	<i>X<20%; Exception Requested</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>33.91 %; In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Maximum Impervious Coverage</i>	<i>85%</i>	<i>64.5%; In Conformance</i>

VARIANCES:

Based on the applicant's submittal, staff has identified the following variances:

- A) *Four (4) Sided Architecture*: According to Section 6.6, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the UDC, commercial buildings shall be architecturally finished on all four (4) sides (i.e. incorporating the same materials detailing, and features). The building elevations submitted by the applicant show that the south elevation will have loading doors located along the entire length of the façade to allow for loading and unloading of materials. The applicant is also requesting to utilize 2% natural or quarried stone on this elevation. The lack of stone and articulation do not meet the four (4) sided architecture requirements (see a., b., and c. below to see how the four (4) sided architecture requirements are evaluated).
- a. *Horizontal articulation*. According to Section 4.1, *General Commercial District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) no building wall shall extend for a distance equal to three times the wall's height without having an offset of 25 percent of the wall's height, and that new plane shall extend for a distance equal to at least 25 percent of the maximum length of the first plane.
 - b. *Vertical articulation*. According to Section 4.1, *General Commercial District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) no horizontal wall shall extend for a distance greater than three times the height of the wall without changing height by a minimum of 25 percent of the wall's height.
 - c. *Stone*. According to Section 6.6, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), each exterior wall shall consist of 90 percent masonry materials including a minimum of 20% natural or quarried stone.
- B) *Secondary Materials*. According to Section 6.6, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), (s)econdary materials used on the façade of a building are those that comprise less than ten (10) percent of an elevation area. On the South Elevation, the applicant is proposing to use 14% EIFS, however, this will not be visible from any major public streets.

All variances in this case pertain to the southern building façade of both buildings which the applicant has stated will incorporate loading docks and will not be visible from the street. Additionally the applicant feels that the articulation requirement would impact the location and usability of the building for the proposed uses. These variances will require a

¾ majority vote by the City Council to be approved since the property is situated in the IH-30 Overlay (IH-30 OV) District.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On May 31, 2016, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning the agenda item took place between the Board Members and city staff. The board expressed concern with the vertical articulation on the two buildings and requested that the applicant raise the height of some of the vertical structures to break up the monotony of the two (2) buildings. Additionally, the board suggested that the applicant flip the northern building so that the two buildings face each other. The board expressed how this would create a courtyard so that one building is not facing the back of another. Subsequently, the applicant made changes to the vertical structures by increasing the height of all the structures as well as providing some variation in some of the vertical structures to provide more depth to the building. The applicant decided not to make the suggested change of flipping the northern building so that it faces the southern building.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall
Project Plan Review History



Project Number	SP2016-014	Owner	GINGERCREST, INC	Applied	5/16/2016	LM
Project Name	Platinum Storage	Applicant	PLATINUM CONSTRUCTION	Approved		
Type	SITE PLAN			Closed		
Subtype				Expired		
Status	STAFF REVIEW			Status	5/16/2016	LM

Revised plans staff comments are highlighted in yellow

Site Address	1450 S TL Townsend Dr	City, State Zip	Rockwall, TX 75032	Zoning	
Subdivision		Tract		Block	Lot No
				Parcel No	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 9:24 AM AW) Paving to be 3,600 psi (minimum of 6.5 sack) not 3,500 psi Drive aisles without paving to be a minimum of 20' wide Need to show sanitary sewer easement (see markups) No walls are allowed in easements. Engineering Comments on plans. 4% engineering fees Impact fees	Amy Williams	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
ENGINEERING (6/22/2016 10:23 AM AW) Add the dimensions back to the parking spaces and drive aisle (see markup)	Amy Williams	6/22/2016	6/29/2016	6/22/2016		COMMENTS	See Comments
FIRE (5/17/2016 3:02 PM AA) Need Owner to request approval for alternate fire lane coverage in accordance with IFC 503.1.1 or provide additional fire lane.	Ariana Hargrove	5/16/2016	5/23/2016	5/24/2016	8	COMMENTS	see comment
FIRE (6/22/2016 2:19 PM AA) Need Owner to request approval for alternate fire lane coverage in accordance with IFC 503.1.1 or provide additional fire lane. (South Building)	Ariana Hargrove	6/22/2016	6/29/2016	6/22/2016		COMMENTS	see comment
GIS (5/17/2016 8:56 AM LS) Address Assignment: East Building: 1450 S TL TOWNSEND DR, ROCKWALL, TX 75032 West Building: 1460 S TL TOWNSEND DR, ROCKWALL, TX 75032	Lance Singleton	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	See Comment

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p><See attached map for suite numbers> *not all unit numbers will be used. This scheme allows for future demising wall changes. Contact Addressing@rockwall.com with any questions.</p>						
PLANNING	Korey Brooks	5/16/2016	5/23/2016	5/24/2016	8 COMMENTS	See Comments
<p>(5/24/2016 8:57 AM KB) SP2016-014 (Platinum Storage Rockwall, LLC): Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p>						
<p>I.1 This is a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30.</p>						
<p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p>						
<p>M.3 For reference, include the case number (SP2016-014) in the lower right hand corner of all pages on future submittals.</p>						
<p>I.4 This property will be required to be plated prior to the issuance of a building permit.</p>						
<p>I.5 This property is located in the IH 30 Overlay (IH-30 OV) District and is subject to stricter architectural/site design standards. Each exterior wall shall consist of 90% masonry including a minimum 20% natural or quarried stone.</p>						
<p>M.6 Site Plan. Please provide Material Sample Board with samples of proposed materials.</p>						
<p>M.7 Site Plan. Please show entire lot to show frontage on Townsend Drive.</p>						
<p>M.8 Site Plan. Please show and label the 15-foot setback on Townsend Drive.</p>						
<p>M.9 Site Plan. Please show vicinity map.</p>						
<p>M.10 Site Plan. Please show distance from building to all property lines.</p>						
<p>M.11 Site Plan. Please indicate depth of paving material.</p>						
<p>M.12 Site Plan. All trash and recycling receptacles shall be four-sided with a gate and located outside buffer strips and to the rear of the primary building. The receptacles shall be screened by a minimum 8-foot solid masonry screen and shall utilize similar masonry materials to the primary structure. Please ensure that the screening wall is 8-feet and add a detail of the dumpster enclosure to show that it is 8-feet in height.</p>						
<p>M.13 Site Plan. Please indicate the distance between all buildings on site.</p>						
<p>M.14 Site Plan. Please indicate the street centerline for T.L. Towsend Drive.</p>						
<p>M.15 Site Plan. Please provide dimensions of all walls.</p>						
<p>M.16 Site Plan. Please indicate required accessible parking spaced in addition to showing the provided number of accessible spaces.</p>						
<p>M.17 Site Plan. Please indicate whether utility equipment will be pad/ground mounted roof mounted. Pad mounted utility equipment shall be screened from horizontal view from any adjacent public street and from any adjacent property. All buildings must be designed so that no roof mounted mechanical equipment shall be visible from any direction.</p>						
<p>M.18 Landscape Plan. Please provide the same site data information required in Sec 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.</p>						
<p>M.19 Landscape Plan. Please indicate the applicable zoning district percentage of landscaping required and provided in addition to the impervious areas vs. the amount of landscaping and open spaces required and provided.</p>						
<p>I.20 Landscape Plan. Please ensure that the Impervious Area is no greater than 85% and that the pervious area is at least 15%.</p>						
<p>M.21 Landscape Plan. Canopy trees must be at least 4" caliper. Currently the canopy trees are 1-inch below the requirement.</p>						
<p>M.22 Landscape Plan. A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan. Please indicate the 10' landscape buffer along Townsend Drive.</p>						
<p>M.23 Landscape Plan. Please provide a note indicating that the irrigation will meet requirements in of the UDC.</p>						
<p>M.24 Photometric. Please provide the same site data information required in Section 2.1 Site Plan; Miscellaneous and Density and Dimensional Requirements of the Development Application Checklist.</p>						

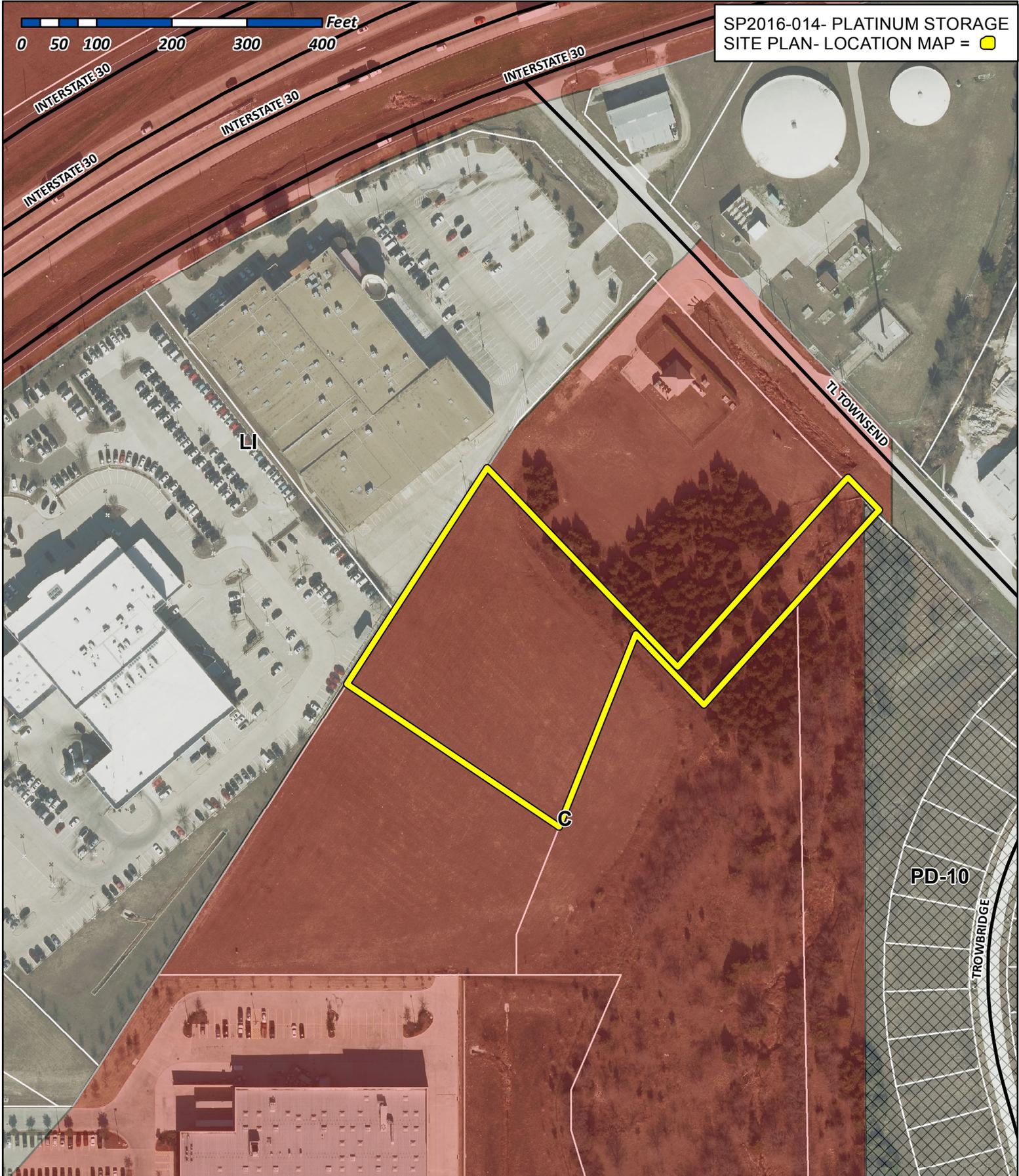
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.25 Photometric. Please darken the property lines on the Photometric Plan.						
M.26 Photometric. Please provide cut-sheets for all exterior lighting (e.g. wall packs, canister lighting, etc.).						
M.27 Building Elevations. Please label all roof mounted mechanical equipment and how these will be screened from view.						
M.28 Building Elevations. Each exterior wall shall consist of 90 percent masonry material including a minimum of 20 percent natural or quarried stone. Please ensure that the all elevations include 90% masonry, including 20% natural or quarried stone, or please apply for a variance from City Council.						
M.29 Building Elevations. Please indicate the parapet wall by dashing in the top of roof deck.						
M.30 Building Elevations. Please indicate the surface area (sq. ft.) of each façade and the percentage and square footage of each material used on that façade using a table.						
M.31 Building Elevations. Please provide specifications and descriptions of all proposed building materials on all proposed buildings.						
M.32 Building Elevations. The vertical articulations must be at least 5-feet in order to meet vertical articulation standards. Currently these articulations are 2-feet.						
M.33 Building Elevations. Please look at the South Elevation. It currently does not meet the vertical or horizontal articulation requirements. Additionally, it does not meet the minimum stone requirements. Also, all retail/commercial buildings shall be architecturally finished on all four sides with same materials, detailing, and features as the front.						
M.34. Please provide a letter outlining all variance requests.						
I.35 The Architectural Review Board (ARB) meeting for this case will be held on May 31, 2016.						
I.36 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 14, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on May 31, 2016.						
I.37 If necessary the projected City Council meeting date for this case will be June 20, 2016.						

PLANNING	Korey Brooks	6/22/2016	6/29/2016	6/22/2016	COMMENTS	See Comments
----------	--------------	-----------	-----------	-----------	----------	--------------

(6/22/2016 10:40 AM KB)
 SP2016-014 (Platinum Storage Rockwall, LLC): Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- M.1 Landscape Plan. Please provide the same site data information required in Sec 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.
- M.2 Landscape Plan. Please indicate the applicable zoning percentage of landscaping required and provided in addition to the impervious areas vs. the amount of landscaping and open spaces required and provided.
- I.3 Landscape Plan. Please ensure that the Impervious Area is no greater than 85% and that the pervious area is at least 15%.
- M.4 Landscape Plan. Canopy trees must be at least 4" caliper. Currently the canopy trees are 1-inch below the requirement.
- M.5 Landscape Plan. A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan. Please indicate the 10' landscape buffer along Townsend Drive.
- M.6 Landscape Plan. Please provide a note indicating that the irrigation will meet requirements in of the UDC.
- M.7 Landscape Plan. Please show the entire site to show frontage on T.L. Townsend Drive.
- M.8 Landscape Plan. Please show 10' landscape buffer adjacent to T.L. Townsend Drive.
- M.9 Building Elevations. Please indicate the parapet wall by dashing in the top of roof deck on the North and South Elevations.
- M.10 Building Elevations. No smooth-face CMU is allowed. Please indicate the type of CMU you will be using.
- M.11 Building Elevations. No more than 10% of secondary materials are allowed on any elevation so a variance will be required for the 14% EIFS being used on the South Elevation.
- M.12 Building Elevations. Please provide a Materials Sample Board.
- M.13 Building Elevations. Please ensure that stucco must be 3-part stucco.
- I.14 The Architectural Review Board (ARB) meeting for this case will be held on June 28, 2016.
- I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
additional information that is requested as soon as possible.						
I.16 The Planning and Zoning Meeting for this case will be June 28, 2016 Planning & Zoning Meeting.						
I.1 The City Council meeting date for this case will be July 5, 2016.						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

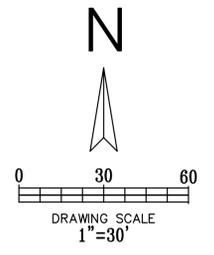
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



FOR REVIEW, NOT FOR CONSTRUCTION
THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/15/16.

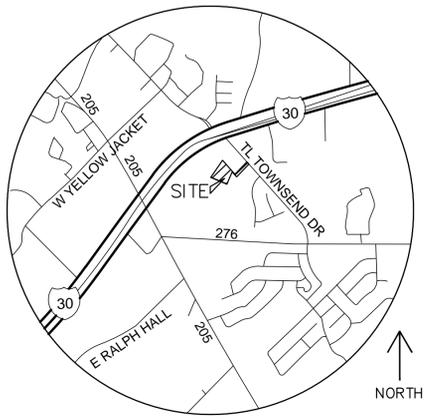
SITE PLAN
 OFFICE PARK ON TOWNSEND DRIVE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PLOT DATE
06/15/16
 DRAWING SCALE
1" = 30'
 PROJECT NUMBER
CD15034
 SHEET NUMBER
SP



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PROPOSED BARRIER FREE RAMP
 - PARKING SPACES IN A ROW
 - PROPOSED LANDSCAPING
 - 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX)
 - 6"-8" PROPOSED PAVEMENT 4,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX) FIRELANES SHALL BE A MINIMUM OF 7" THICK.
 - PROPOSED FIRE LANE

- SITE NOTES:**
1. THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 4. THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 5. DETENTION HAS BEEN PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
 6. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 7. THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.



VICINITY MAP
 NTS

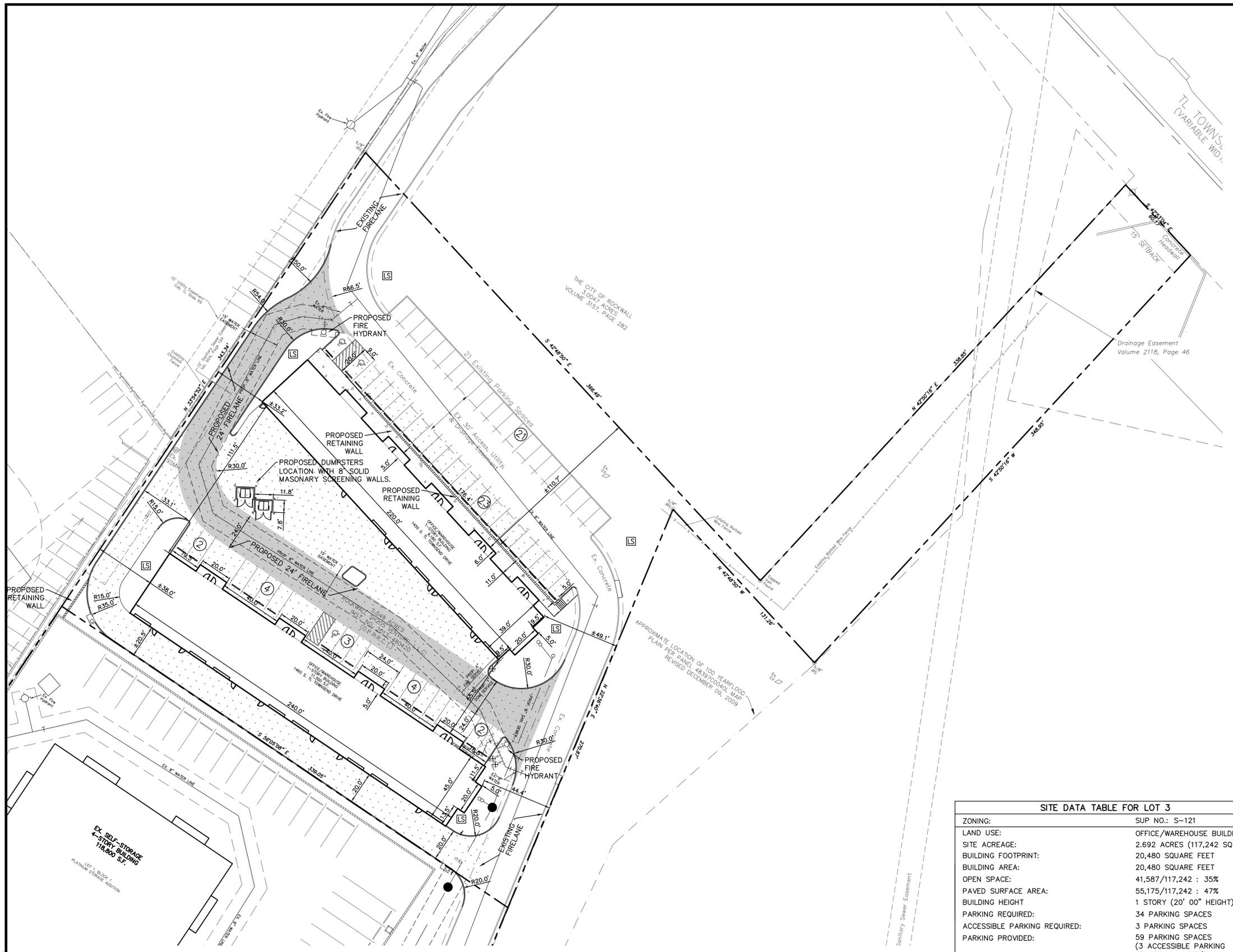
BENCHMARK
 NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
 ELEVATION= 539.71
 NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE I30 EB SERVICE ROAD AND TOWNSEND ROAD.
 ELEVATION= 537.64
 CITY OF ROCKWALL CONTROL MONUMENT #19
 ELEVATION= 600.68

SITE DATA TABLE FOR LOT 3

ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
OPEN SPACE:	41,587/117,242 : 35%
PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)

REVISIONS

REV NO.	DATE	DESCRIPTION



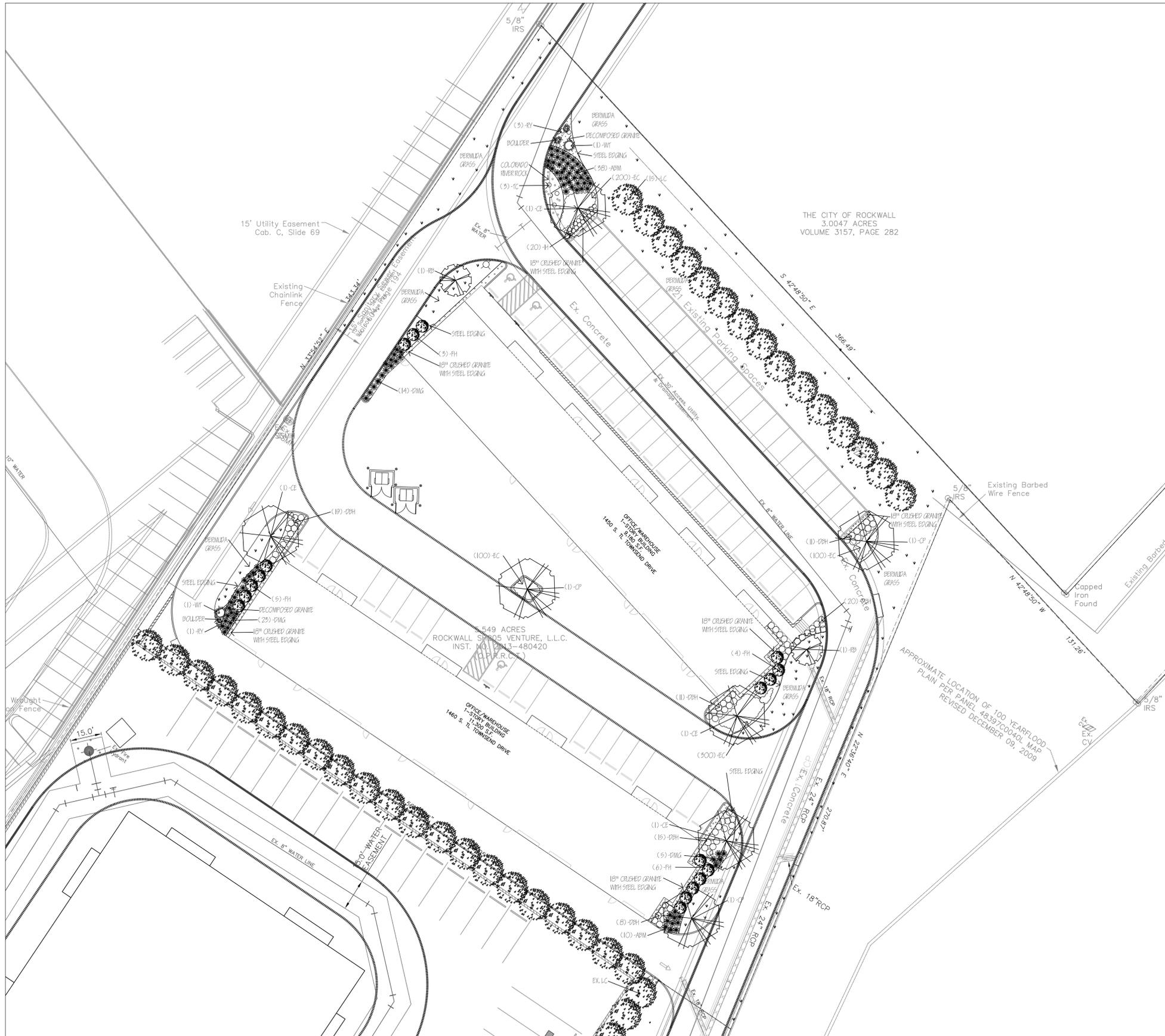
!!! CAUTION !!!
UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

ENGINEER:
 CUMULUS DESIGN, INC.
 P.O. BOX 2119
 EULESS, TEXAS 76039
 PH: 214-235-0367
 CONTACT: PAUL CRAGUN
 EMAIL: PAUL@CUMULUSDESIGN.NET

OWNER:
 RON WALK
 1834 S FM 551
 FATE, TX 75189

Cumulus Design, Inc. is not responsible for any errors or omissions in this drawing or any other drawings or specifications prepared by Cumulus Design, Inc. or any other party. The user of this drawing assumes all liability for any modification or use of this drawing without the express written consent of Cumulus Design, Inc.

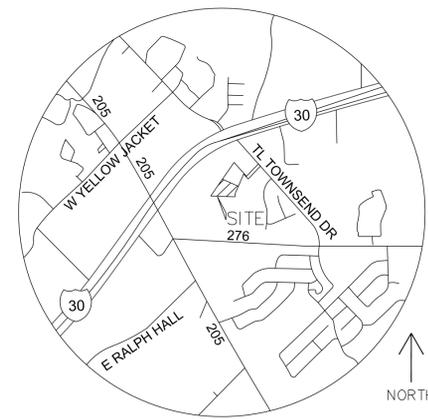


PLANT MATERIAL LIST

TREES			
KEY	QUANTITY	DESCRIPTION	SIZE
CE	4	ULMUS CRASSIFOLIA	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
CP	3	CEDEAR ELM	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
LC	15	PISTACHIA CHINENSE	30 GAL., 5 FT. HT., 3 FT. SPREAD
RB	2	CUPRESSOCYPARIS LEYLANDII	2" CAL., 8 FT., 3' SPREAD
		LEYLAND CYPRESS	2" CAL., 8 FT., 3' SPREAD
		CERCIS CANADENSIS VAR. TEXENSIS	2" CAL., 8 FT., 3' SPREAD
		TEXAS REDBUD	2" CAL., 8 FT., 3' SPREAD
SHRUBS			SIZE
DBH	84	ILEX BURFORDII 'NANA'	5 GAL., MIN. 24" HT., 24" O.C.
IH	20	DF. BURFORD HOLLY	5 GAL., MIN. 24" HT., 24" O.C.
FH	18	RAPHILOPIS INDICA 'PINK LADY'	30 GAL., MIN. 24" HT., 24" O.C.
WT	2	INDIAN HAWTHORN	30 GAL., MIN. 5' HT., 3' SPREAD, FULL TO GD.
RY	4	ILEX X ATTENUATA 'FOSTERI'	5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT.,
		FOSTER HOLLY	5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT.,
		AGAVE OVATIFOLIA	5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT.,
		WHALES TONGUE	5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT.,
		HESPERALOE PARVIFOLIA	5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT.,
		RED YUCCA	5 GAL., MIN. 15" HT., 5 GAL., MIN. 15" HT.,
GROUND COVER			SIZE
EC	700	EUONYMUS COLORATUS FORTUNEI	4" POT, FULL PLANT 10" O.C.
		PURPLE WINTERCREPPER	4" POT, FULL PLANT 10" O.C.
BLOOMING COLOR			SIZE
TC	3	MALVAEUS ARBOREUS V. DRUMMONDII	1 GAL., FULL PLANT 16" O.C.
		TURKS CAP	1 GAL., FULL PLANT 16" O.C.
ORNAMENTAL GRASSES			SIZE
ABM	48	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GAL., FULL PLANT 15" O.C.
DMS	42	AUTUMN BLUSH MUHLY	1 GAL., FULL PLANT 15" O.C.
		MISCANTHUS SINENSIS 'ADAGIO'	1 GAL., FULL PLANT 16" O.C.
		DF. MAIDEN GRASS	1 GAL., FULL PLANT 16" O.C.

LANDSCAPE ORDINANCE FOR CITY OF ROCKWALL

REQUIREMENTS	PROVIDED
MINIMUM SQUARE FOOTAGE REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MINIMUM IN THE ZONING ORDINANCES SET FORTH AS FOLLOWS: COMMERCIAL = 15% @ 107,242 SF. = 17,586 SF. REQUIRED	99,798 SF. LANDSCAPE AREA PROVIDED
ANY PARKING LOT WITH MORE THAN 2 ROWS SHALL HAVE A MINIMUM OF 5% OR 200 SF. WHICHEVER IS GREATER IN THE INTERIOR OF THE PARKING LOT IN LANDSCAPING, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL LANDSCAPING. = 17,586 SF. @ 5% = 879 SF.	1,644 SF. LANDSCAPE AREA PROVIDED
PARKING AND MANEUVERING SPACE EXCEEDS 20,000 SF., ONE TREE FOR EVERY 10 PARKING SPACES. 99,179 SF. @ 99 SPACES = 6 TREES	(6) TREES PROVIDED
NO PARKING SPACE SHALL BE FURTHER THAN 80 FEET FROM AT LEAST ONE TREE.	ALL PARKING SPACES ARE WITHIN 80 FT. OF AT LEAST ONE TREE.
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.	TREES ARE LOCATED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.
NO LESS THAN 50% OF THE TOTAL LANDSCAPE REQUIREMENT SHALL BE LOCATED IN FRONT OF THE BUILDING LANDSCAPE REQUIREMENTS = 17,586 SF. @ 50% = 8,793 SF.	LANDSCAPE PROVIDED = 12,250 SF.
ONE ROW OF LEYLAND CYPRESS TO BE INSTALLED ALONG NORTHERN PROPERTY LINE IN ACCORDANCE WITH SUP #5-121	(15) LEYLAND CYPRESS PROVIDED
IRREGATION TO BE AN UNDERGROUND AUTOMATIC SYSTEM	AUTOMATIC SYSTEM PROVIDED



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"
TRUE NORTH

Copyright © 2016 Cumulus Design. All Rights Reserved. This drawing is the property of Cumulus Design and shall not be reproduced, copied, or modified without the express written permission of Cumulus Design.

- NOTES:
1. OUTDOOR LIGHTING CIRCUITS SHALL BE PROVIDED WITH PROGRAMMABLE TIME CLOCK AND PHOTOCELL CONTROLLERS PER INTERNATIONAL ENERGY CONSERVATION CODE.
 2. NUMBERS AND CONTOURS SHOWN ON PLAN ARE FOOT-CANDLE UNITS.
 3. ELECTRICAL CONTRACTOR SHALL VERIFY ILLUMINATION LEVELS AFTER INSTALLATION AND SHALL ADJUST LUMINAIRES AS NECESSARY.

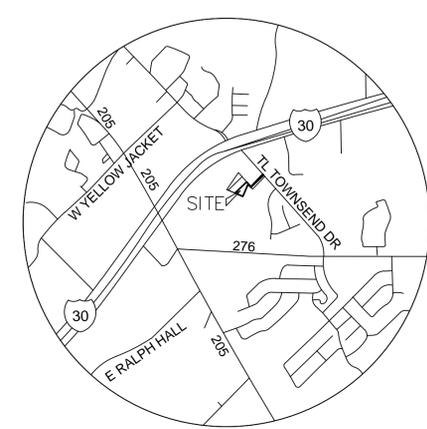
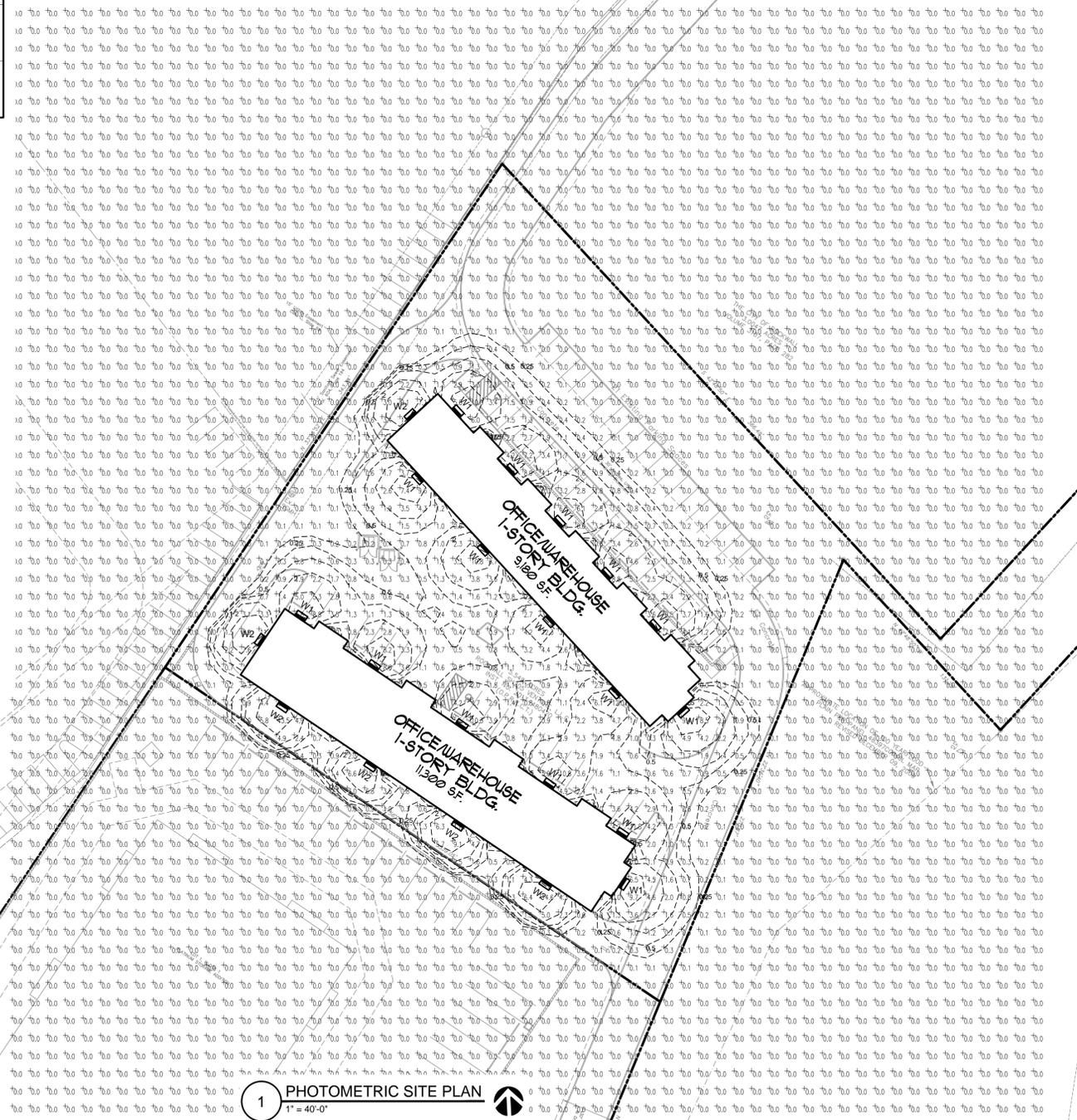
OUTDOOR LIGHTING SCHEDULE						
SYMBOL	LABEL	QTY	MANUF. CAT #	DESCRIPTION	LAMP	HEIGHT
	W1	16	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	HORZ. 12'-0"
	W2	6	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	15' DOWN 12'-0"

OUTDOOR ILLUMINATION SUMMARY	
TOTAL LUMINAIRES	22
TOTAL KW LOAD	1.1
# POINTS	2,703
AVERAGE F.C.	0.4
MAXIMUM F.C.	12.3



LUMINAIRE TYPE 'W1'

SITE DATA TABLE FOR LOT 3	
ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
OPEN SPACE:	41,587/117,242 : 35%
PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)



0 VICINITY MAP
NOT TO SCALE

1 PHOTOMETRIC SITE PLAN
1" = 40'-0"



GRAPHIC SCALE

LOT 1, BLOCK 1
TOYOTA OF ROCKWALL
CABINET Q, SLIDE 153-155
(P.R.R.C.T.)

NO.	REVISION

PROPOSED NEW FACILITY:
OFFICE/WAREHOUSE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087

4700Kemble St.
Ft. Worth, TX 76103
TEL: 817-386-5365
FAX: 817-386-5365
WWW.JLEBDYSYS.COM



PHOTOMETRIC
SITE PLAN

Date 06-20-2016

Scale As Noted

Drawn JLL

Job 15037

Sheet

PS1

CASE #SP2016-014

ALED4T50




Specification grade area lights available in IES Type IV distributions. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Mounts to 4" square steel poles at 20-35'. Patent pending management system. 5 Year Warranty.

Color: Bronze Weight: 32.0 lbs

Project: PLATINUM CONSTRUCTION	Type: OFFICE/WAREHOUSE
Prepared By: JL BUILDING SYSTEMS, LLC	Date: 06-20-2016

Driver Info	LED Info
Type: Constant Current	Watts: 50W
120V: 0.46A	Color Temp: 5000K
208V: 0.27A	Color Accuracy: 67 CRI
240V: 0.23A	L70 Lifespan: 100000
277V: 0.20A	Lumens: 5,196
Input Watts: 52W	Efficacy: 100 LPW
Efficiency: 96%	

Technical Specifications

Listings
UL Listing:
Suitable for wet locations as a downlight.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P0000178Y

LED Characteristics

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:
Multi-chip, high-output, long-life LEDs

Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent future-to-future color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Construction
IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Effective Projected Area:
EPA = 0.75

IP Rating:
Ingress Protection rating of IP66 for dust and water.

Ambient Temperature:
Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.

Thermal Management:
Superior patent pending thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.

Housing:
Die cast aluminum housing, lens frame and mounting arm.

Mounting:
Heavy-duty mounting arm with "O" ring seal & stainless steel screws.

Reflector:
Specular vacuum-metallized polycarbonate

Gaskets:
High temperature silicone gaskets

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Electrical
Driver:
Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:
6.9% at 120V, 7.8% at 277V

Surge Protection:
6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Other
Equivalency:
ALED™ 50W replaces 200W metal halide

California Title 24:
See ALED4T50/PC, ALED3T50/PCS or ALED3T50/PCT for a 2013 California Title 24 compliant model.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com
Copyright © 2014 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 1 of 2

ALED4T50



Technical Specifications (continued)

Other
The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Patents:
The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.

Country of Origin:
Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

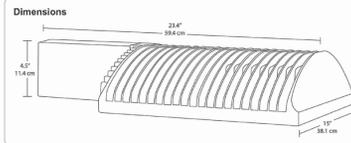
Recovery Act (ARRA) Compliant:
This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods - Buy American Act - Construction Materials (October 2010).

Trade Agreements Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:
Suitable in accordance with FAR Subpart 25.4.

Optical
BUG Rating:
B0 U0 G2

Dimensions



Features
66% energy cost savings vs. HID
100,000-hour LED lifespan
Type IV distribution
5-year warranty

Ordering Matrix

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Sensor	Bi-Level
ALED	4T	50		5000K		PC2				
2T = Type II	50 = Arm	= 5000K	= = 120	= No Photocell	= No	/WS2 = Multi-Level Motion Sensor (Only available for	= No Bi-			
3T = Type III	50W	(Cool)	Bronze	277V	IPC = 120V	Dimming	120-277V with /D10 for 50W)	= Level		
4T = Type IV	Splitter	Y = 3000K	W = 480	Button	ID16 =	Dimmable		= Bi-		
		(Warm)	White	480V	IPC2 = 277V	Button		= Level		
		N = 4000K	RG =		IPC3 = 120V	Swivel				
		(Neutral)	Gray		IPC2 = 277V	Swivel				
					IPC1 = 120-277V	Twistlock				
					IPC4 = 480V	Swivel				
					IPC14 = 480V	Twistlock				

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com
Copyright © 2014 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 2 of 2

NO. REVISION

PROPOSED NEW FACILITY:
OFFICE/WAREHOUSE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087

4700Kemble St.
Fort Worth, TX 76103
TEL: 817-386-5265
FAX: 817-386-5265
WWW.JLBUILDINGS.COM



OUTDOOR LIGHTING SPECIFICATIONS

Date 06-20-2016

Scale As Noted

Drawn JLL

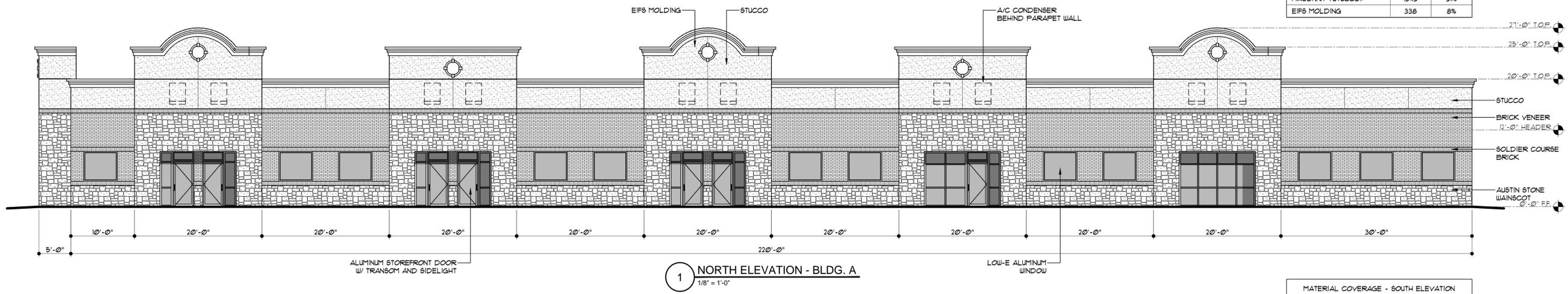
Job 15037

Sheet

PS2

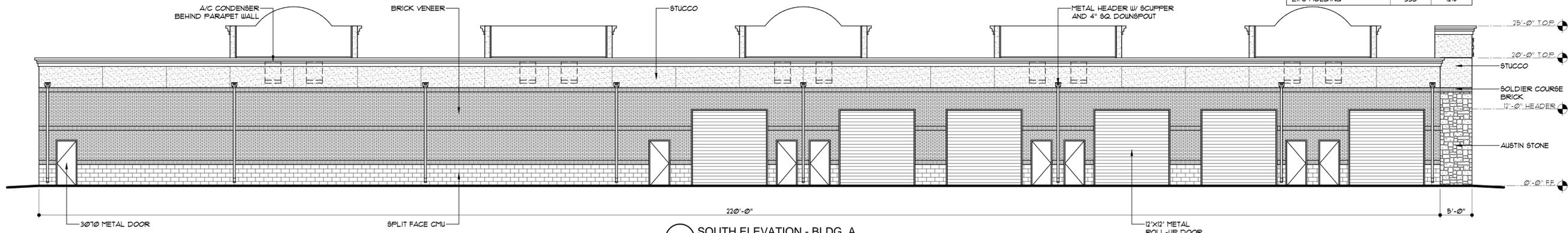
CASE #SP2016-014

MATERIAL COVERAGE - NORTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	5105	
DOORS & WINDOWS (DED.)	784	
ACCOUNTABLE AREA	4321	100%
MASONRY (STONE)	1455	34%
MASONRY (BRICK)	1185	27%
MASONRY (STUCCO)	1343	31%
EIFS MOLDING	338	8%

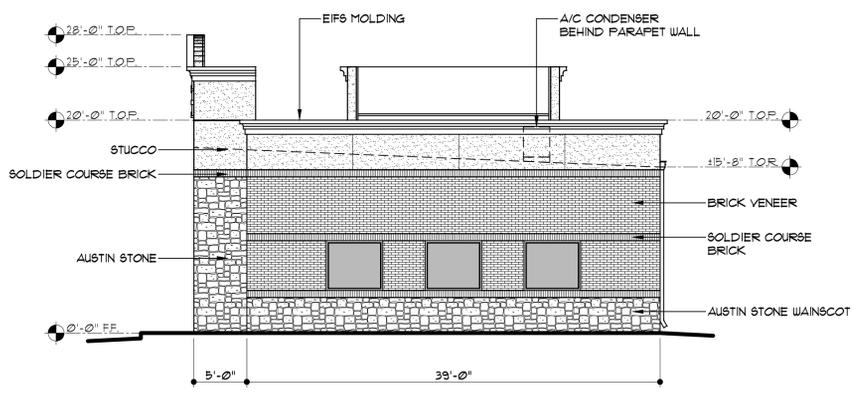


1 NORTH ELEVATION - BLDG. A
1/8" = 1'-0"

MATERIAL COVERAGE - SOUTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	4530	
DOORS & WINDOWS (DED.)	1055	
ACCOUNTABLE AREA	3475	100%
MASONRY (STONE)	73	2%
MASONRY (CMU)	404	12%
MASONRY (BRICK)	1878	54%
MASONRY (STUCCO)	782	23%
EIFS MOLDING	338	12%



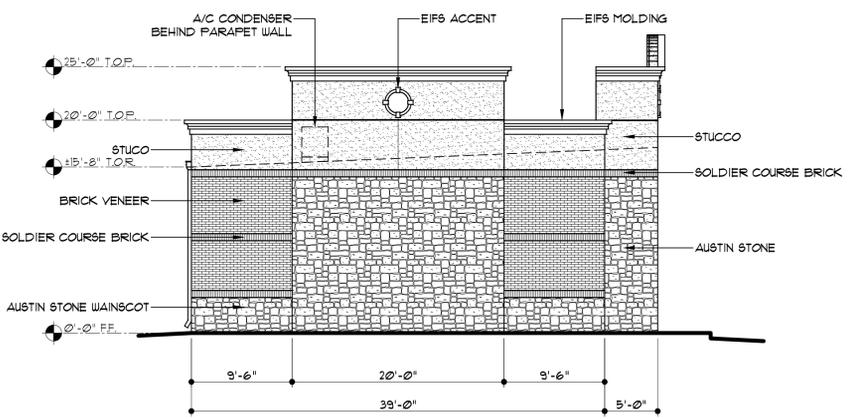
2 SOUTH ELEVATION - BLDG. A
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. A
1/8" = 1'-0"

MATERIAL COVERAGE - WEST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	910	
DOORS & WINDOWS (DED.)	15	
ACCOUNTABLE AREA	895	100%
MASONRY (STONE)	203	24%
MASONRY (BRICK)	388	46%
MASONRY (STUCCO)	178	21%
EIFS MOLDING	66	8%

MATERIAL COVERAGE - EAST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1009	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1009	100%
MASONRY (STONE)	430	43%
MASONRY (BRICK)	235	23%
MASONRY (STUCCO)	278	28%
EIFS MOLDING	66	7%



4 EAST ELEVATION - BLDG. A
1/8" = 1'-0"

NO.	REVISION	NO.	REVISION



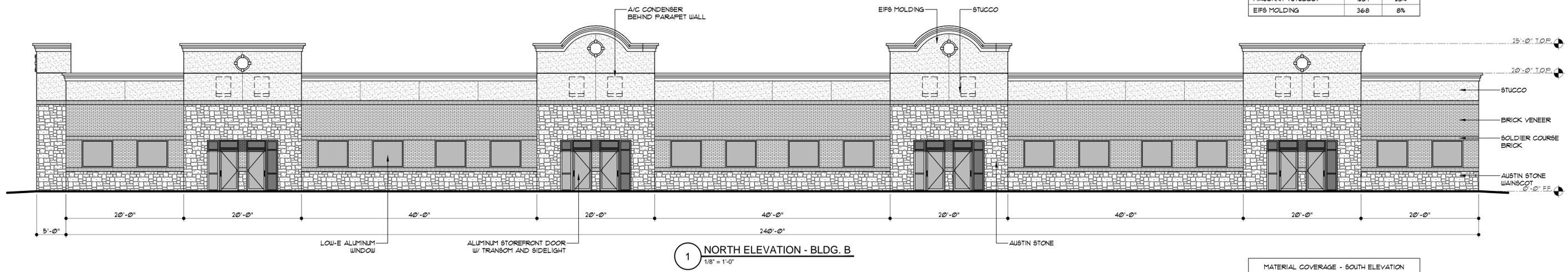
4700Kemble St.
Fort Worth, TX 76103
Ph: 817-534-6579
FAX: 817-386-5365
WWW.JLBUILDSYS.COM

PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
1450 S TL TOWNSEND DR.
ROCKWALL, TEXAS

Date	06-20-2016	ELEVATIONS BUILDING A
Scale	As Noted	
Drawn	JLL	
Job	15037	
Sheet:		A2.1

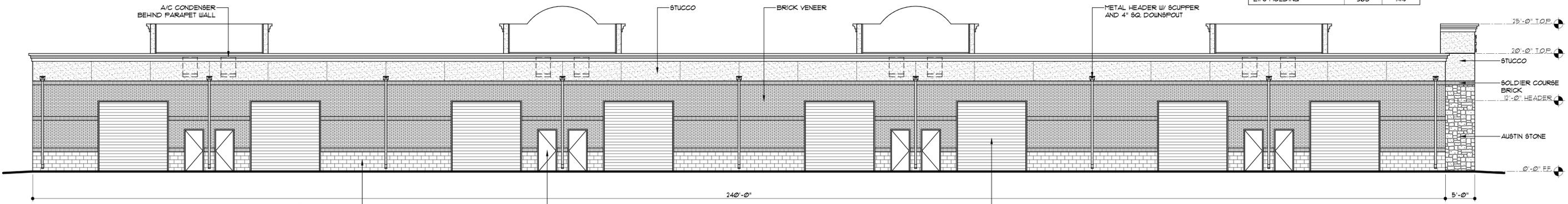
CASE #SP2016-014

MATERIAL COVERAGE - NORTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	5379	
DOORS & WINDOWS (DED.)	768	
ACCOUNTABLE AREA	4611	100%
MASONRY (STONE)	1410	31%
MASONRY (BRICK)	1546	34%
MASONRY (STUCCO)	1281	28%
EIFS MOLDING	368	8%

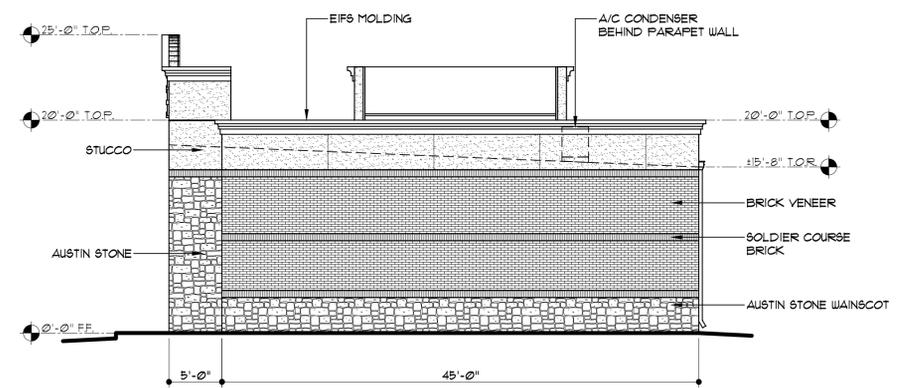


1 NORTH ELEVATION - BLDG. B
1/8" = 1'-0"

MATERIAL COVERAGE - SOUTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	4530	
DOORS & WINDOWS (DED.)	1343	
ACCOUNTABLE AREA	3187	100%
MASONRY (STONE)	73	2%
MASONRY (CMU)	391	12%
MASONRY (BRICK)	1507	47%
MASONRY (STUCCO)	848	27%
EIFS MOLDING	368	14%



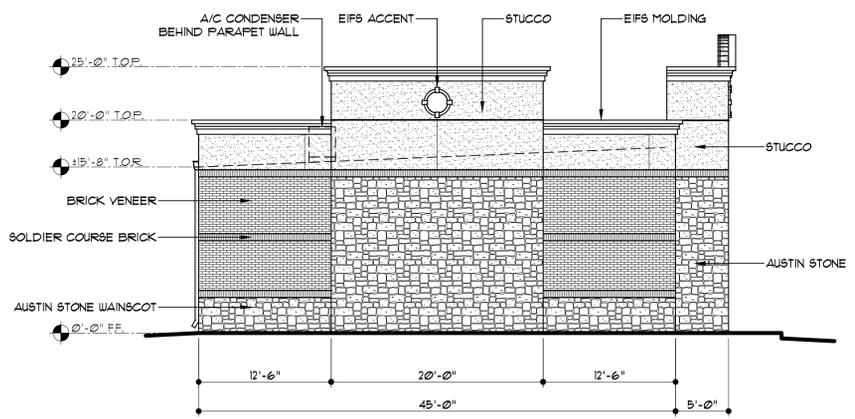
2 SOUTH ELEVATION - BLDG. B
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. B
1/8" = 1'-0"

MATERIAL COVERAGE - WEST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1025	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1025	100%
MASONRY (STONE)	223	22%
MASONRY (BRICK)	523	52%
MASONRY (STUCCO)	198	19%
EIFS MOLDING	75	7%

MATERIAL COVERAGE - EAST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1125	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1125	100%
MASONRY (STONE)	557	50%
MASONRY (BRICK)	195	17%
MASONRY (STUCCO)	298	26%
EIFS MOLDING	75	7%



4 EAST ELEVATION - BLDG. B
1/8" = 1'-0"

CASE #SP2016-014

NO.	REVISION	NO.	REVISION



4700Kemble St.
Fort Worth, TX 76103
Ph: 817-534-6579
FAX: 817-386-5365
WWW.JLBUILDSYS.COM

PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
1450 S TL TOWNSEND DR.
ROCKWALL, TEXAS

Date	06-20-2016	ELEVATIONS BUILDING B
Scale	As Noted	
Drawn	JLL	Sheet: A2.2
Job	15037	



1 NE PERSPECTIVE VIEW
NOT TO SCALE



2 NORTH ELEVATION - BLDG. B
NOT TO SCALE (BLDG. A SIMILAR)



3 SOUTH ELEVATION - BLDG. B
NOT TO SCALE (BLDG. A SIMILAR)

BUILDING EXTERIOR MATERIALS				
MARK	MATERIAL	BRAND	COLOR/MOD.	REMARKS
(A)	3-STAGE STUCCO	'OMEGA'	BISON BEIGE MOD. 412	COLOR-INTRINSIC
(B)	SOLDIER BRICK	'ACME'	MOCHA IRONSPOT	HARD-FIRED, INTEGRALLY-COLORED
(C)	BRICK	'ACME'	QUORUM	HARD-FIRED, INTEGRALLY-COLORED
(D)	SPLIT FACE CMU	'OLD CASTLE'	LIGHT GRAY MOD. PREMIUM SD-33	INTEGRALLY-COLORED, SAME ASTM AS CLAY BRICK
(E)	AUSTIN STONE	'AGUADO STONE'	AUSTIN TEXAS CREAM MOD. NO. 28	NATURAL STONE
(F)	EIFS	'DRYVIT'	SUI86 MOCHA MOD. NO. 305	COLOR-INTRINSIC

CASE #SP2016-014

NO.	REVISION	NO.	REVISION



4700Kemble St.
Fort Worth, TX 76103
Ph: 817-534-6579
FAX: 817-386-5365
WWW.JLBUILDSYS.COM

PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
1450 S TL TOWNSEND DR.
ROCKWALL, TEXAS

Date	06-20-2016	PERSPECTIVE VIEW & MATERIALS
Scale	As Noted	
Drawn	JLL	
Job	15037	
Sheet:		A2.3

City of Rockwall Project Plan Review History



Project Number Z2016-020	Owner PETERSON, BRYCE M & SANDRA	Applied 6/17/2016 LM
Project Name 509 Sunset Drive	Applicant PETERSON, BRYCE M & SANDRA	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status STAFF REVIEW		Status 6/17/2016 LM

Site Address 509 SUNSET HILL DR	City, State Zip ROCKWALL, TX 75087	Zoning
---	--	---------------

Subdivision NORTHSHORE PH 2A	Tract 10	Block D	Lot No 10	Parcel No 4575-000D-0010-00-OR	General Plan
--	--------------------	-------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	6/17/2016	6/24/2016	6/24/2016	7	APPROVED	
ENGINEERING (6/21/2016 7:53 AM AW) No structures in easements	Amy Williams	6/17/2016	6/24/2016	6/21/2016	4	COMMENTS	See Comment
FIRE	Ariana Hargrove	6/17/2016	6/24/2016	6/21/2016	4	APPROVED	
PLANNING (6/24/2016 9:42 AM KB) Z2016-020 SUP for Carport: Please address the following comments (M= Mandatory Comments; I = Informational Comments)	Korey Brooks	6/17/2016	6/24/2016	6/24/2016	7	COMMENTS	See Comments

- I.1 This is a request by Sandra Peterson for the approval of a Specific Use Permit (SUP) to allow for a carport that does not meet the minimum setback requirements stipulated by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code [Ordinance No. 04-38] for a 0.231-acre parcel of land identified as Lot 10, Block D of Northshore, Phase 2A Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 509 Sunset Hill Drive.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (Z2016-020) in the lower right hand corner of all pages on future submittals.
- M.4 Please review the attached draft ordinance prior to the July 12, 2016 Planning & Zoning Commission meeting.
- M.5 Please provide rendering of how the carport will look.
- M.6 Please be sure to stay out of the easement. We do not allow structures or overhangs in easements.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 12, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on June 28, 2016.
- I.8 The projected City Council meeting dates for this case will be July 18, 2016 [1st Reading] & August 1, 2016 [2nd Reading].

0 10 20 40 60 80 Feet

Z2016-020- 509 SUNSET HILL DRIVE
SUP - LOCATION MAP = 

AMESBURY

SUNSET HILL

SF-10



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

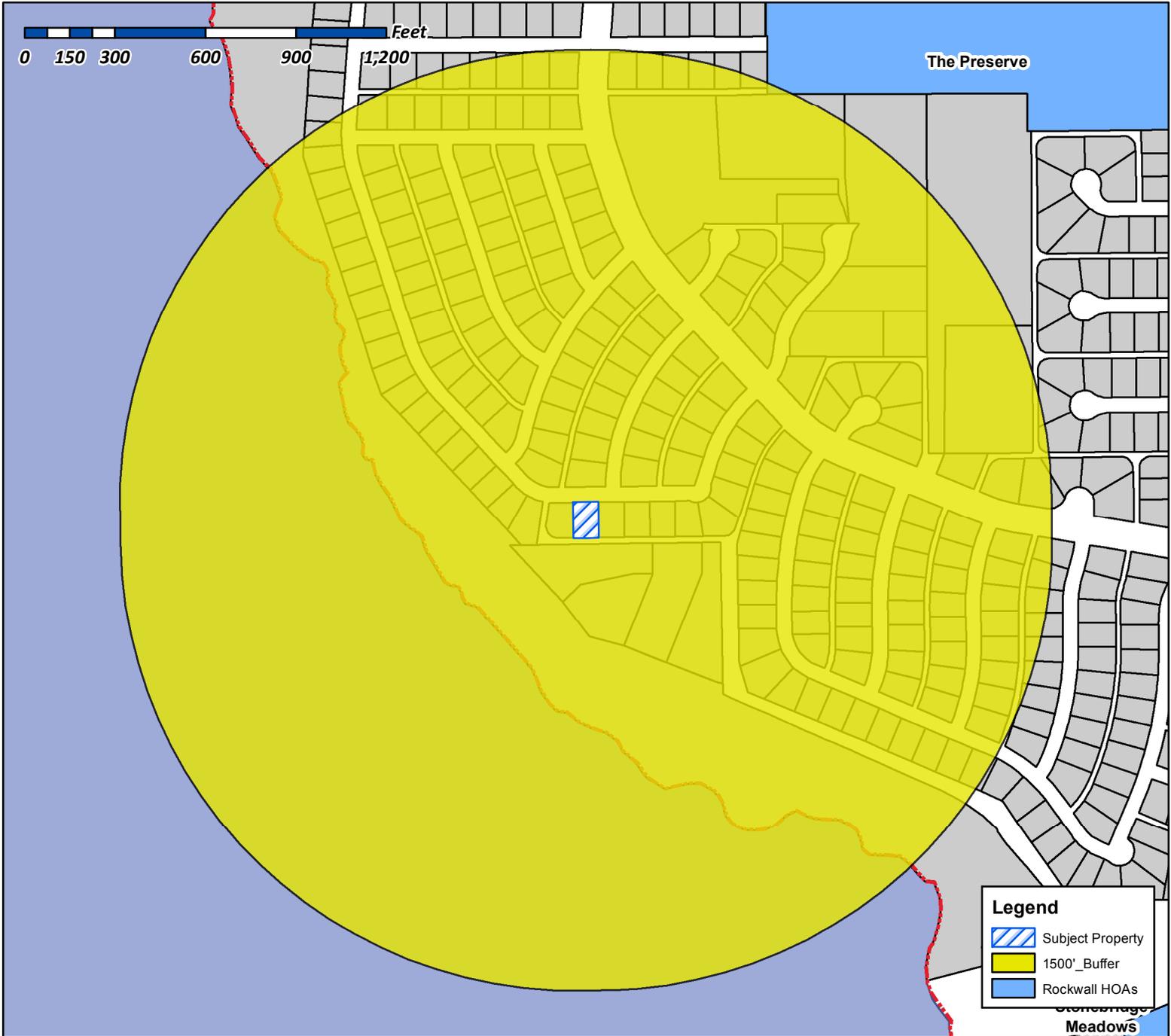




City of Rockwall

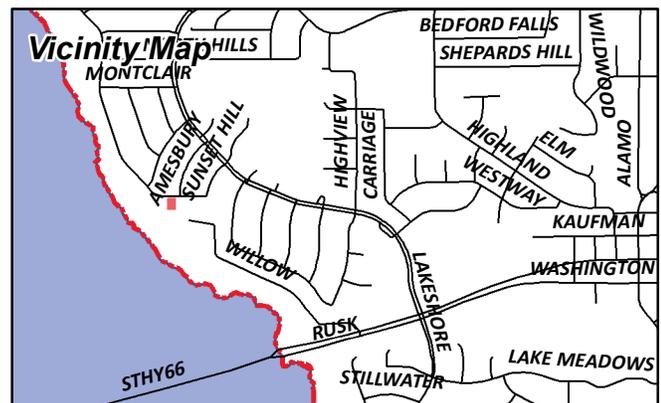
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-020
Case Name: 509 Sunset Hill Drive
Case Type: Specific Use Permit
Zoning: SF-10
Case Address: 509 Sunset Hill Drive

Date Created: 06/17/2016
 For Questions on this Case Call (972) 771-7745





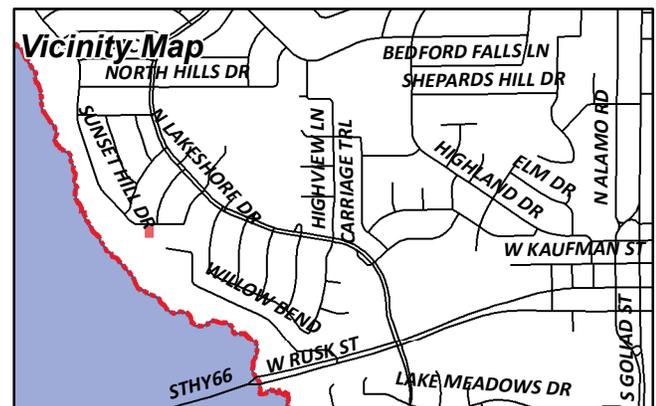
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-020
Case Name: 509 Sunset Hill Drive
Case Type: Specific Use Permit
Zoning: SF-10
Case Address: 509 Sunset Hill Drive



Date Created: 06/17/2016

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
1 SOAPBERRY LN
ROCKWALL, TX 75087

SAUNDERS BRIAN AND LAUREN
1131 BAYSHORE DR
ROCKWALL, TX 75087

HENRY CHRIS S AND ANGELA D
1133 BAYSHORE DR
ROCKWALL, TX 75087

MARTIN JESSIE L
1135 BAYSHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1137 BAYSHORE DR
ROCKWALL, TX 75087

WRIGHT MICHAEL G & EDITH M
1139 BAYSHORE DR
ROCKWALL, TX 75087

REDMOND BRIAN C & NICOLE L
1475 PLUMMER DR
ROCKWALL, TX 75087

HANNA ANNA CHRISTINE
1602 SUNSET HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1603 SUNSET HILL DR
ROCKWALL, TX 75087

STIEGELMAR DIXIE L
1604 SUNSET HILL DR
ROCKWALL, TX 75087

KLUTTS NORMA A
1605 SUNSET HILL DR
ROCKWALL, TX 75087

LEE-GRAHAM WENDY
1606 AMESBURY LN
ROCKWALL, TX 75032

MULDER LINDA FAYE
1606 SUNSET HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1607 STONEYBROOK DR
ROCKWALL, TX 75087

JOHNSTON ALTON W & PEGGY F
1607 AMESBURY LN
ROCKWALL, TX 75087

MITCHELL DENNIS E ETUX
1607 SUNSET HILL DR
ROCKWALL, TX 75087

BURTON DAVID A & MARY KAY
1608 AMESBURY LN
ROCKWALL, TX 75087

LEAL JR FEDERICO MARTINEZ AND VERONICA
1608 SUNSET HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1609 SUNSET HILL DR
ROCKWALL, TX 75087

BARTENSTEIN WILLIAM
1609 AMESBURY LN
ROCKWALL, TX 75087

CASE DAVID L ETUX
1609 STONEYBROOK DR
ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K
1610 AMESBURY LN
ROCKWALL, TX 75087

SCAMPERINO CHARLES
1611 AMESBURY LN
ROCKWALL, TX 75087

SARVER WANDA & DONALD
1611 STONEYBROOK DR
ROCKWALL, TX 75087

BURKS GLENN H & PAULETTE
1612 AMESBURY LN
ROCKWALL, TX 75087

ROGERS JOHN R & SHIRLEY J
1613 AMESBURY LN
ROCKWALL, TX 75087

HOLLY MARK A
1613 STONEYBROOK DR
ROCKWALL, TX 75087

LYNCH PATRICIA A
1614 AMESBURY LN
ROCKWALL, TX 75087

BREWER THOMAS D AND KASIE
1615 AMESBURY LN
ROCKWALL, TX 75087

CATHEY KITA
1615 STONEYBROOK DR
ROCKWALL, TX 75087

OFFUTT DENNIS O & GLENDA K
1616 AMESBURY LN
ROCKWALL, TX 75087

HATHEWAY RICHARD J & CAROL J
1617 STONEYBROOK DR
ROCKWALL, TX 75087

RIDDELL RONALD SCOTT II AND
2 SOAPBERRY
ROCKWALL, TX 75087

HAWKINS RONALD T & JENIREE R
2950 FM 1504
WILLS POINT, TX 75169

RASH ROBERT D
3 SOAPBERRY LN
ROCKWALL, TX 75087

RASH RANDALL L & KAREN
4 SOAPBERRY LN
ROCKWALL, TX 75087

FERRENTINO WAYNE J
501 SUNSET HILL DR
ROCKWALL, TX 75087

BELLER JONATHAN G AND
503 SUNSET HILL DRIVE
ROCKWALL, TX 75087

DEAN GREG
505 SUNSET HILL DR
ROCKWALL, TX 75087

JACKSON CRAIG A & JULIEANN J
507 SUNSET HILL DR
ROCKWALL, TX 75087

PETERSON BRYCE M & SANDRA
509 SUNSET HILL DR
ROCKWALL, TX 75087

KING MARILYN
511 SUNSET HILL DR
ROCKWALL, TX 75087

STEGALL SHEY THOMAS AND REGAN LANE
601 SUNSET HILL DR
ROCKWALL, TX 75087

HUMPHRIES GEORGE ETUX DARLENE
603 SUNSET HILL DR
ROCKWALL, TX 75087

HOOTON REVOCABLE TRUST
605 SUNSET HILL DR
ROCKWALL, TX 75087

GLADNEY CATHERINE DIANE SELBY
607 KNOLLWOOD DR
ROCKWALL, TX 75087

HEARD JOHN D & PATRICIA
607 SUNSET HILL DR
ROCKWALL, TX 75087

KILLE ROLAND C & KAREN C
608 SUNSET HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
609 SUNSET HILL DR
ROCKWALL, TX 75087

OBRIEN DANIEL F & MARY ANN
609 KNOLLWOOD DR
ROCKWALL, TX 75087

SILVA IRMA
610 SUNSET HILL DR
ROCKWALL, TX 75087

LINDER & MILES FAMILY LIVING TRUST
611 SUNSET HILL DR
ROCKWALL, TX 75087

FLOURA EDWARD
612 SUNSET HILL
ROCKWALL, TX 75087

RASH MARTHA PLUMMER LIFE ESTATE
JOAN RASH & JACK STANLEY PAPPA O
ROCKWALL, TX 75087

ADAMS LYNWOOD D
PO BOX 2286
ROWLETT, TX 75030

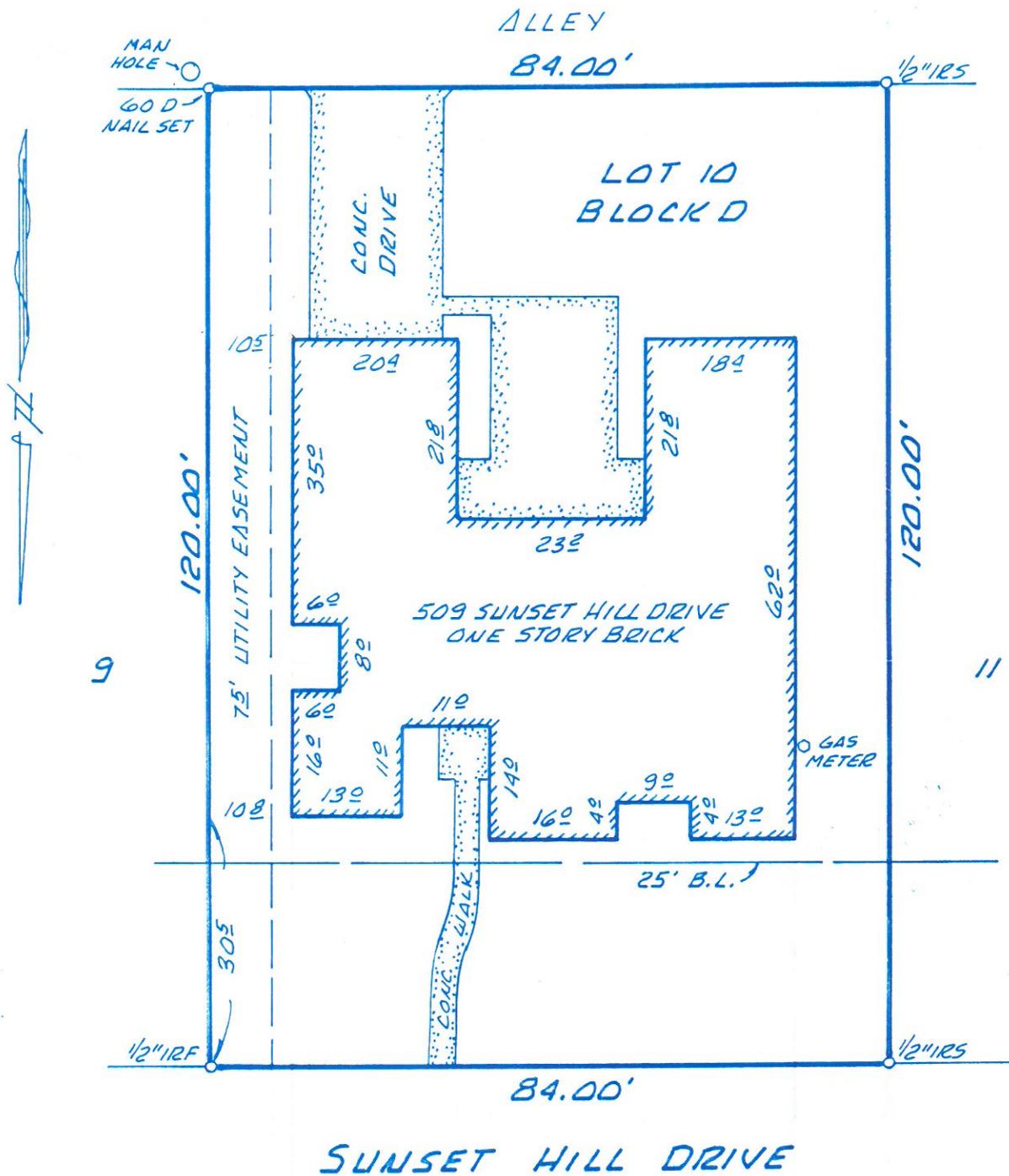
SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, MADE A CAREFUL AND ACCURATE SURVEY ON THE GROUND OF THE PROPERTY LOCATED AT 509 SUNSET HILL DRIVE IN THE CITY OF ROCKWALL, TEXAS

DESCRIBED AS FOLLOWS:

BEING LOT TEN (10), BLOCK D, OF NORTHSORE PHASE 2-A, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SLIDE 112-114, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.



TO: SAFECO TITLE

THE PLAT HEREON IS A TRUE, CORRECT, AND ACCURATE REPRESENTATION OF THE PROPERTY AS DETERMINED BY SURVEY, THE LINES AND DIMENSIONS OF SAID PROPERTY BEING AS INDICATED BY THE PLAT; THE SIZE, LOCATION AND TYPE OF BUILDINGS AND IMPROVEMENTS ARE AS SHOWN, ALL IMPROVEMENTS BEING WITHIN THE BOUNDARIES OF THE PROPERTY, SET BACK FROM THE PROPERTY LINES THE DISTANCES INDICATED, AND THE DISTANCE FROM THE NEAREST INTERSECTING STREET, OR ROAD, IS AS SHOWN ON SAID PLAT

THERE ARE NO ENCROACHMENTS, OR PROTRUSIONS, EXCEPT AS SHOWN

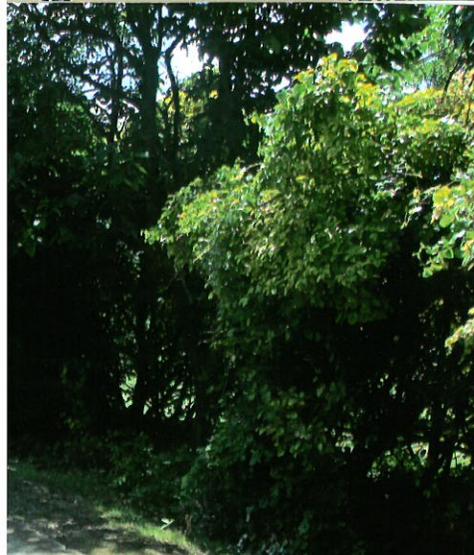


MICHAEL R. GLOVER, R.P.L.S.
NO. 4476

THIS PROPERTY APPEARS TO LIE WITHIN ZONE X ACCORDING TO FLOOD INSURANCE RATE MAP FOR THE CITY OF ROCKWALL, TEXAS, COMMUNITY PANEL NO. 480547 0005 C, DATED JUNE 16, 1992

SCALE: 1" = 20'
DATE: 12-9-93
G.F. NO. 93R 11165
NAME: PETERSON
JOB NO. 931418

SURVICE
SURVEYING COMPANY
15790 Dooley Rd., #218-B
Addison, Texas 75244
214.980.0883



CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CARPORT THAT DOES NOT CONFORM TO THE REQUIREMENTS AS STIPULATED BY SECTION 2.1.2, RESIDENTIAL AND LODGING USE CONDITIONS, OF ARTICLE IV, PERMISSIBLE USES, OF THE UNIFIED DEVELOPMENT CODE, BEING A 0.231-ACRE TRACT OF LAND, ZONED SINGLE-FAMILY RESIDENTIAL (SF-10) DISTRICT, AND ADDRESSED AS 509 SUNSET HILL DRIVE, AND IDENTIFIED AS LOT 10, BLOCK D OF NORTHSORE, PHASE 2A ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A' OF THIS ORDINANCE*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Sandra Peterson for the approval of a Specific Use Permit (SUP) to allow for a *Carport* that does not conform to the requirements as stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*], being a 0.231-acre tract of land, zoned Single-Family Residential (SF-10) District, and identified Lot 10, Block D, of Northshore, Phase 2A Addition, City Rockwall, Rockwall County, Texas, addressed as 509 Sunset Hill Drive and more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for a *Carport* that does not conform to the requirements stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for a property within a Single Family Residential (SF-10) District and

more specifically described as the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) granted herein and shall be subject to the conditions set forth in *Article IV, Permissible Uses, Sec. 2.1.2 Residential and Lodging Uses* of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting of this Specific Use Permit (SUP), and as may be amended in the future, and shall be subject to the additional following conditions:

- 1) The carport generally conforms to the approved site plan depicted in *Exhibit 'B'* of this ordinance;
- 2) The carport shall not exceed 530 square feet in area;
- 3) The carport shall not exceed a maximum height of 10 feet;
- 4) The carport is subject to administrative review in the event that the *Subject Property* is sold or conveyed in any manner to another party, subdivided, or re-platted.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF AUGUST, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July, 18, 2016

2nd Reading: August 1, 2016

Exhibit 'A'
Survey/Legal Description

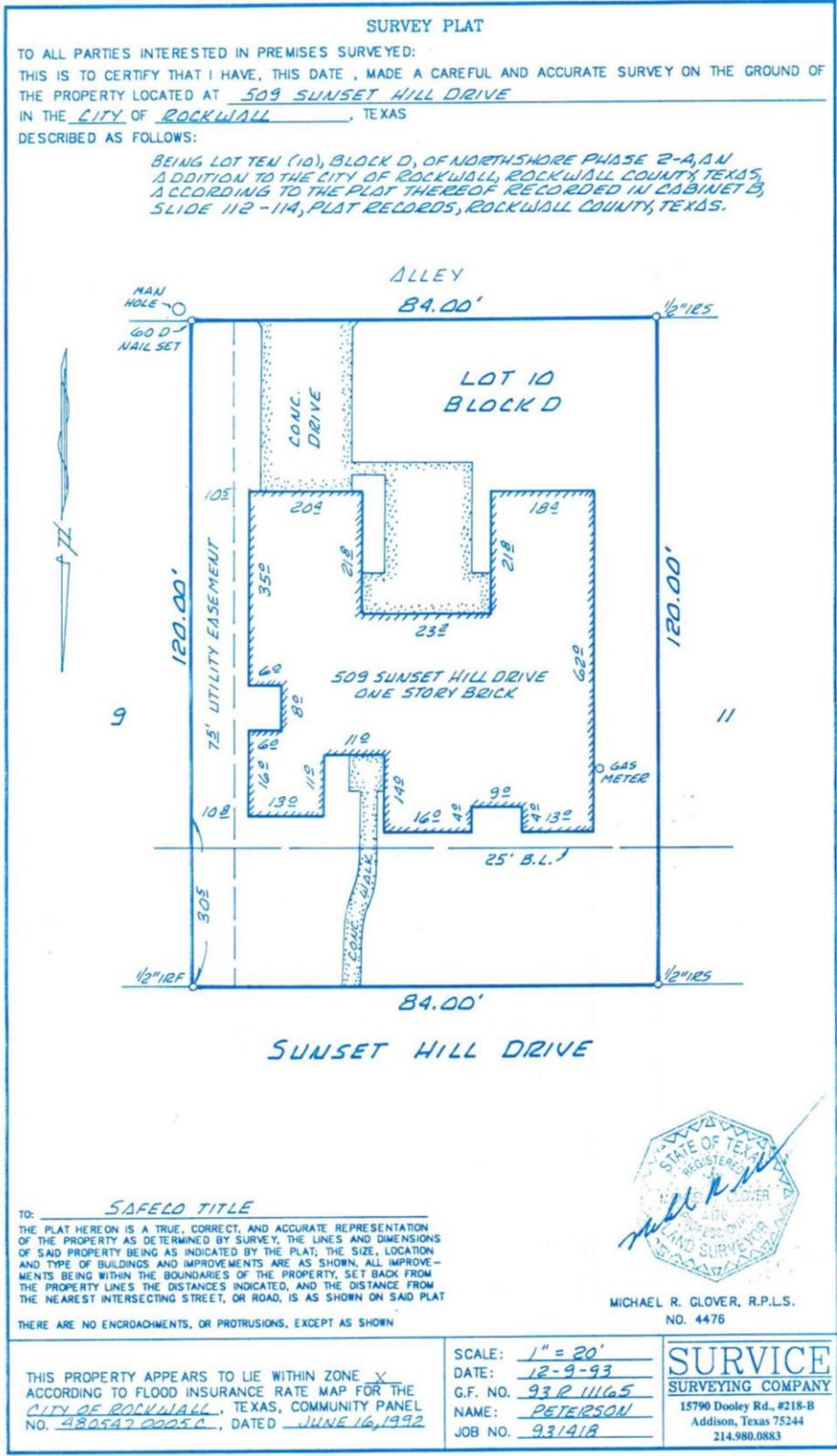
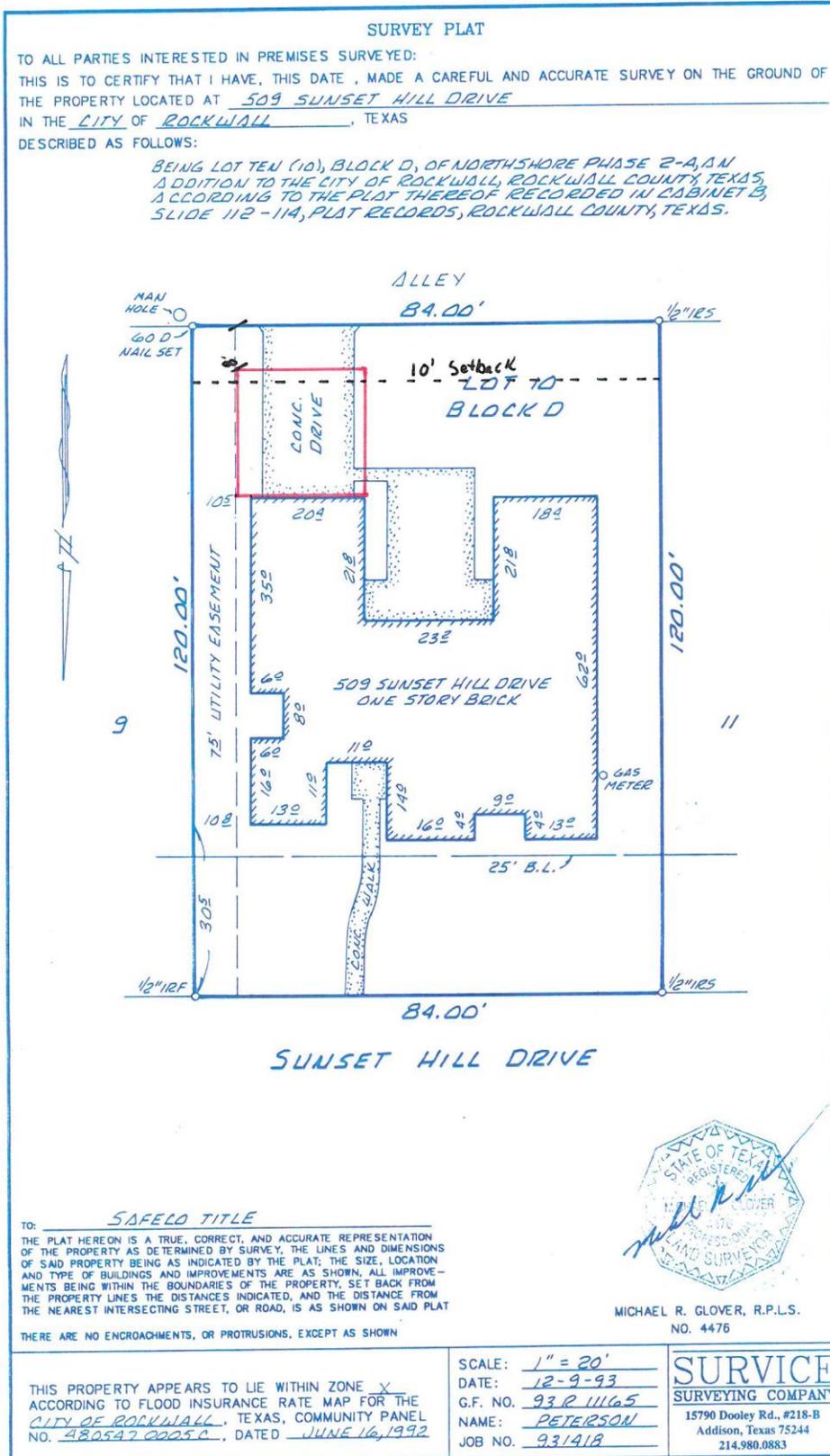


Exhibit 'B'
Site Plan



City of Rockwall Project Plan Review History



Project Number Z2016-021	Owner HOGUE, ALLEN	Applied 6/17/2016 LM
Project Name Hogue Townhomes	Applicant HOGUE, ALLEN	Approved
Type ZONING		Closed
Subtype PD		Expired
Status STAFF REVIEW		Status 6/17/2016 LM

Site Address 703 E BOYSTUN AVE	City, State Zip ROCKWALL, TX 75087	Zoning
--	--	---------------

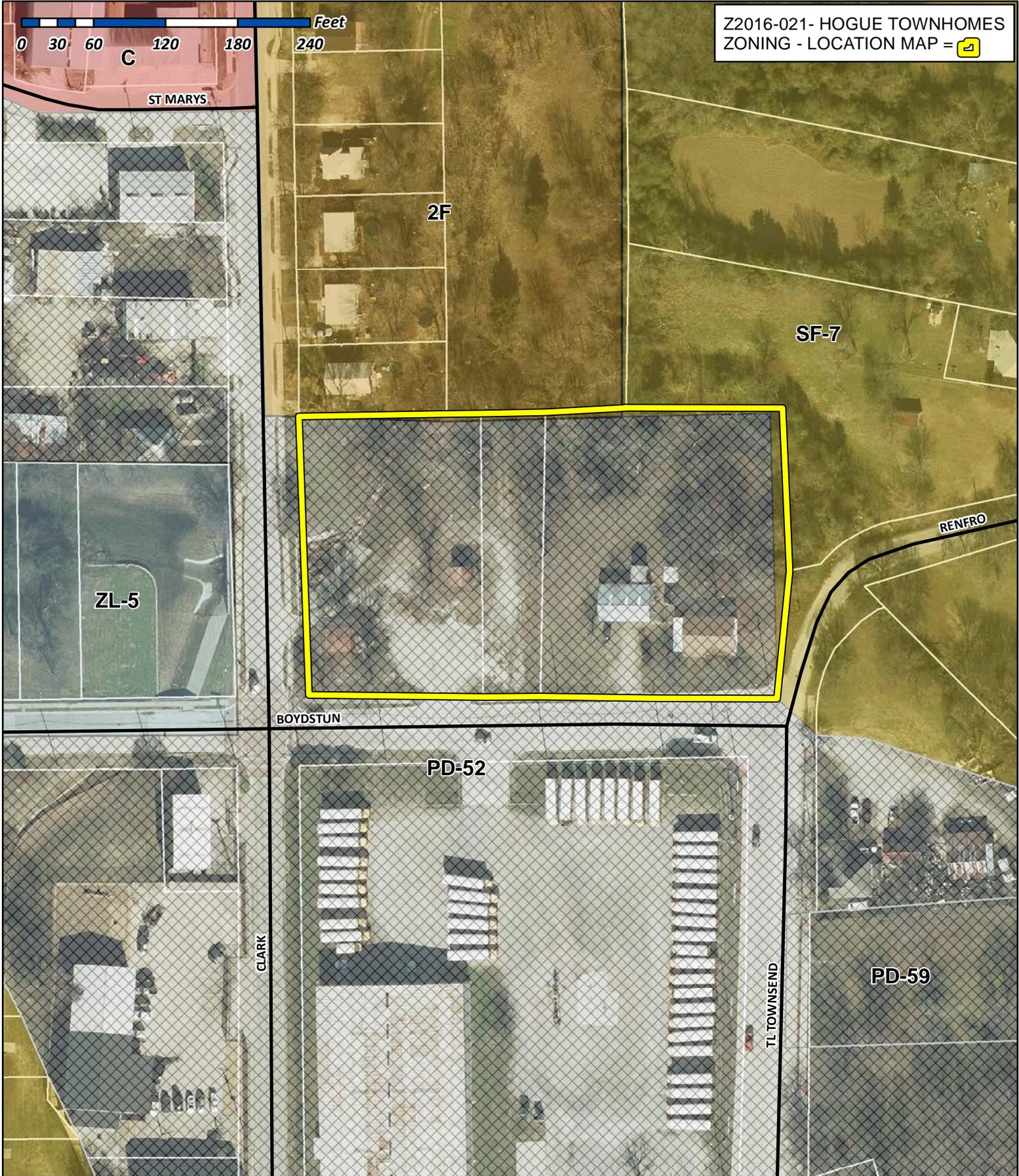
Subdivision B F BOYDSTON	Tract 1	Block 1	Lot No 1	Parcel No 3995-0001-0001-00-OR	General Plan
------------------------------------	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	6/21/2016	6/28/2016	6/21/2016		APPROVED	
ENGINEERING (6/21/2016 7:54 AM AW) All engineering requirements must be met Detention required	Amy Williams	6/17/2016	6/24/2016	6/23/2016	6	APPROVED	See Conditions
FIRE (6/21/2016 4:25 PM AA) Fire sprinkler system is required. All fire code requirements shall be met.	Ariana Hargrove	6/17/2016	6/24/2016	6/23/2016	6	APPROVED	see comments
PLANNING Hold a public hearing to discuss and consider a request by Mike Hogue for the approval of a zoning amendment to Planned Development District 52 (PD-52) for the purpose of allowing townhomes on a 2.048-acre tract of land identified as Lot 1, Block 1, Allen Hogue Subdivision (0.7910-acres) and Lots 67 & 68, Block B, B. F. Boydston Addition (1.257-acres), City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses, being addressed as 703, 705 & 709 E. Boydston Avenue, and take any action necessary.	David Gonzales	6/17/2016	6/24/2016	6/21/2016	4	COMMENTS	See comments

Planning Staff General Comments:

1. Submittal and approval of a site plan and plat are required for the proposed development prior to issuance of a building permit.
2. Development of the proposed property must meet the intent of the PD Conceptual Site Plan and the PD Conceptual Building Elevations as attached to the PD Ordinance.
3. The development shall adhere to the city's engineering and fire department standards as established.
4. Waiver required from City Council for not meeting the street frontage requirements.
5. Once a draft PD Ordinance has been written and provided to you, please review and make any corrections/additions you feel are appropriate for your development.

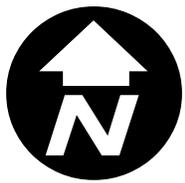
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday, July 5, 2016 (three large copies FOLDED and one PDF version) for subsequent/final review by staff. For questions or comments concerning this case please contact David Gonzales, AICP in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com</p>						
<ul style="list-style-type: none"> • On all future plan submittals please include the Case Number (Z2016-021) in the lower right hand corner. • Adherence to the Parks Board Recommendations for Park District No. 21. 						
<p>Please make the following corrections/additions to the Conceptual Site Plan:</p>						
<ol style="list-style-type: none"> 1) Provide a label (i.e. BLOCK A & BLOCK B) delineating the townhouse lots (e.g. 10 lot area) from the remainder of the total lot area (i.e. open space, park area, road section, etc.). Also, label each separate lot within the townhouse area (e.g. Lot 1, Lot 2, ..., Lot 10). 2) Provide and label 10-ft landscape buffers adjacent to E. Boydston Ave and S. Clark St. Also indicate large canopy trees (min. 3 caliper inch) spaced 50-ft apart along those streets. 3) Provide and label a 10-ft front building setback line for the townhouse lots only (BLOCK A). 4) Remove the labels and lines indicating the 15-ft and 50-ft building lines. 5) Make adjustments and redraw lots # 1 & # 10 - those portions of the lot corners are not to be encroaching onto the street section. 6) Delineate/provide dimensions to the park area. Also, what amenities will be offered for the park? 7) Although not a requirement, how much open space will remain within the development (net acreage and/or percentage of total area). 8) Relabel the Site Plan submitted as "Conceptual Site Plan." 						
<p>Please make the following corrections/additions to the Conceptual Building Elevations:</p>						
<ol style="list-style-type: none"> 1) Provide an exterior materials type and calculation for each elevation. 2) Provide the overall height of the building. 						
<ul style="list-style-type: none"> • The following are a list of Comprehensive Plan (plan) policies that have not been satisfied or could benefit from clarification: 						
<p>(1) The comp plan requires higher standards for residential design and that townhomes should differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback. A request to waive this requirement by the City Council may be approved through the PD Ordinance.</p>						
<ul style="list-style-type: none"> • Please make these revisions and corrections, and provide any additional information that has been requested. Revisions for this case will be due to staff by July 5, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible. All outstanding items may be listed or considered as conditions of approval should the request be approved by City Council. 						
<ul style="list-style-type: none"> • Please mark your calendar for the scheduled meeting dates as follows: 						
<ol style="list-style-type: none"> 1) Planning and Zoning Work Session: June 28, 2016 						
<ol style="list-style-type: none"> 2) Planning and Zoning Public Hearing: July 12, 2016 						
<ol style="list-style-type: none"> 2) City Council dates: a) July 18, 2016 [Public Hearing - 1st Reading] and b) August 1, 2016 [2nd Reading (if approved at 1st Reading)]. 						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

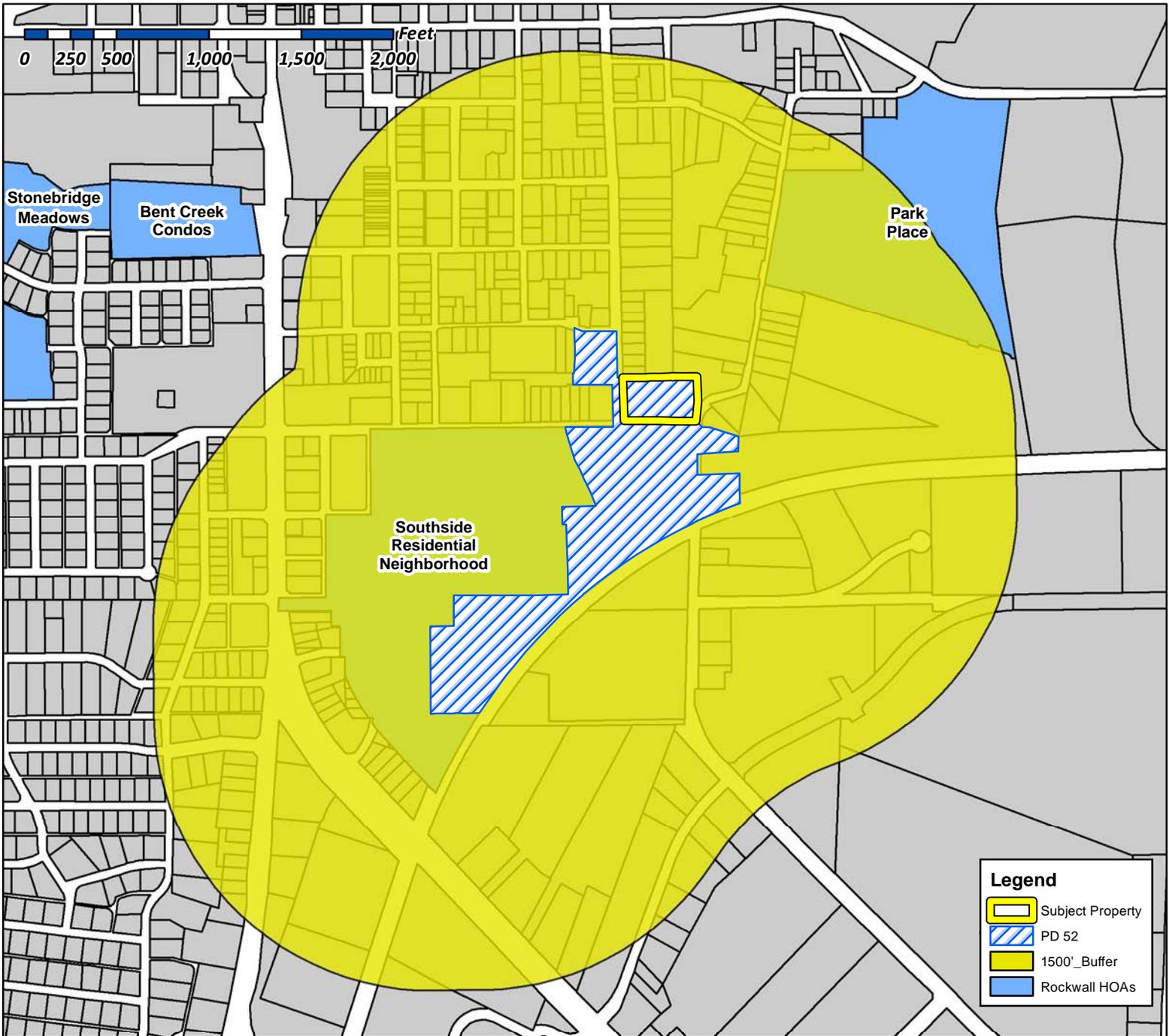




City of Rockwall

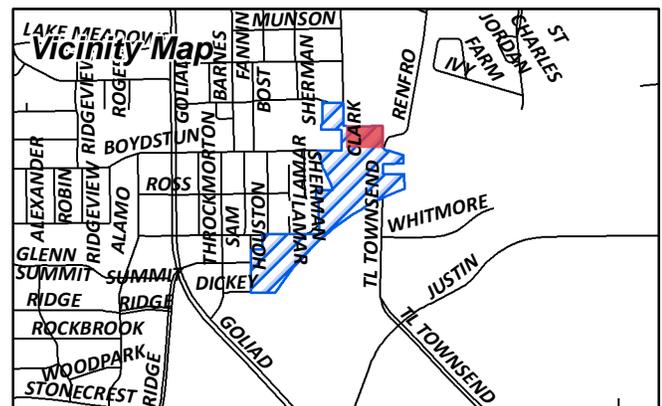
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-021
Case Name: Hogue Townhomes
Case Type: Zoning
Zoning: PD-52 District
Case Address: Northeast Corner of S. Clark St. and E. Boydston Ave.

Date Created: 06/17/2016
 For Questions on this Case Call (972) 771-7745

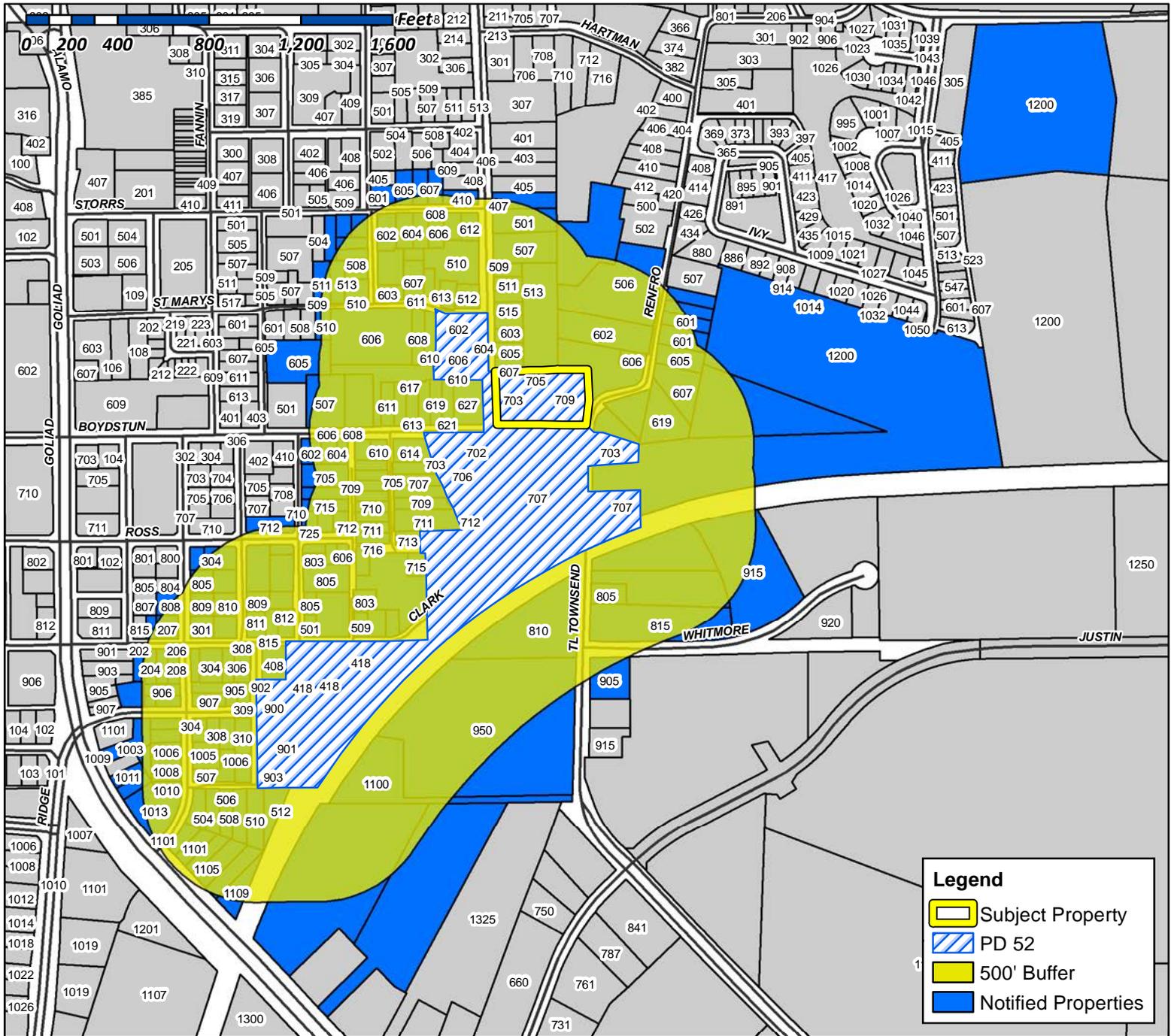




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

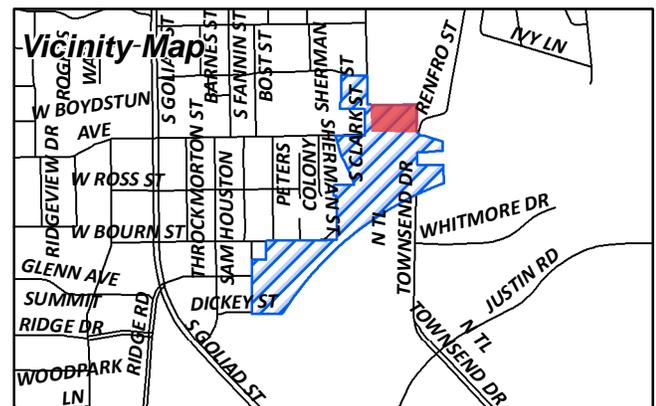
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2016-021
Case Name: Hogue Townhomes
Case Type: Zoning
Zoning: PD-52
Case Address: Northeast Corner of S. Clark and E. Boydston Ave.

Date Created: 06/17/2016

For Questions on this Case Call (972) 771-7745



GARRETT A A
C/O GERRY B GARRETT
1000 E YELLOW JACKET LN
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND
1005 SAM HOUSTON
ROCKWALL, TX 75087

COLES JOSEPH R III AND WENDY A
1006 SAM HOUSTON
ROCKWALL, TX 75087

PRICE ALVIN
1006 DAVY CROCKETT ST
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND
1007 SAM HOUSTON
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

JONES EVELYN
1008 DAVY CROCKETT ST
ROCKWALL, TX 75087

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 W RUSK ST
ROCKWALL, TX 75087

ROGERS MICHAEL W
1010 SAM HOUSTON
ROCKWALL, TX 75087

DORRIS CHARLES E
1011 S GOLIAD
ROCKWALL, TX 75087

ROGERS MIKE
1012 SAM HOUSTON
ROCKWALL, TX 75087

ROGERS MICHAEL W
1013 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

POTTS DANNY & VONDA
1100 T L TOWNSEND DR
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST, INNIS WAYNE
ROGERS
1101 S GOLIAD
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

SLATER RODNEY E
1103 S 29TH ST
COPPERAS COVE, TX 76522

ROQUEMORE TOMMIE
1105 S GOLIAD
ROCKWALL, TX 75087

LUKE LINDA FAYE
1109 S GOLIAD ST
ROCKWALL, TX 75087

LOSANES LOU & RUBY
1180 CRESTCOVE DR
ROCKWALL, TX 75087

COLUMBIA EXTRUSION CORP
1200 E WASHINGTON
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

LAKEPOINTE ENTERPRISES LLC
1309 MORAIN PL
HEATH, TX 75032

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

BALL JUSTIN
1370 FAIRLAKES POINTE
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O RAILAMERICA TAX DEPARTMENT
13901 SUTTON PARK DR S O
JACKSONVILLE, FL 32224

ROGERS FAMILY LIVING TRUST, INNIS WAYNE
ROGERS
AND WANDA MAY TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

ROGERS MICHAEL W
1404 RIDGE RD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

HOYT MICHAEL A & CAROLYN A
1412 ENGLEWOOD DR
ROYSE CITY, TX 75189

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

COLEMAN JACQUELYN W
15320 BITTERSWEET RD
BROOKFIELD, WI 53005

MCCALLUM DARRELL
1535 E INTERSTATE 30
ROCKWALL, TX 75087

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

WHITE ORCHID HOLDING CO
16970 DALLAS PKWY 0
DALLAS, TX 75248

SCROGGS CHARLES
1748 BISON MEADOW LN
HEATH, TX 75032

BATRES SALVADOR SR
202 E BOURN ST
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN AVE
ROCKWALL, TX 75087

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COLES JOSEPH R III AND WENDY A
208 LAKEVIEW DR
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

HUMPHREY ELDORA B &
DERRILL DELOYD
2310 BERWICK AVE
DALLAS, TX 75203

LIGHTFOOT MARSHALL & CYNTHIA
256 WINDY LN
ROCKWALL, TX 75087

DABNEY TERESA A
2824 MISTY RIDGE LN
ROCKWALL, TX 75032

WAFFER JULIUS
3002 WELDON LN
ROYSE CITY, TX 75189

NEW CALDONIA BAPTIST CHURCH
301 E BOURNE AVE
ROCKWALL, TX 75087

HARRIS JESSIE EARL JR ESTATE
LINDA HARRIS INDEPENDENT EXECUTOR
301 MEADOWDALE
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

CHERRY JOHN T
303 RENFRO ST
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC
304 BOURN
ROCKWALL, TX 75087

LOSANES LOU & RUBY G
304 EMMA JANE
ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA
304 E ROSS AVE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA EXTRUSIONS CORP
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

LRG GROUP LLC
306 BOURN AVE
ROCKWALL, TX 75087

JONES ARCHIE & JUANITA
308 E BOURN ST
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

JONES LENA EST
310 EMMA JANE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
3150 HAYS LN
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
405 TYLER ST
ROCKWALL, TX 75087

CHERRY JOHN T
407 S CLARK ST
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

COBURN SHARON S
410 S CLARK ST
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

SAUCEDO RAUL &
501 S CLARK ST
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

MATHIS MICHAEL L & DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

DEAN GREG
505 SUNSET HILL DR
ROCKWALL, TX 75087

SIMS VERNA MAE
506 DICKEY ST
ROCKWALL, TX 75087

HAMM MARY ALICE
506 RENFRO ST
ROCKWALL, TX 75087

RODRIGUEZ ROGELO & MARIA
507 DICKEY ST
ROCKWALL, TX 75087

PIERATT ALAN & MELODY
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

MOORE JAMES L
508 SHERMAN ST
ROCKWALL, TX 75087

BROWN GEORGIA AND
FLORIDA TAYLOR
508 DICKEY ST
ROCKWALL, TX 75087

BUFFINGTON LEE SAMUEL ETAL
509 E BOURN ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

HUMPHREY ELDORA B &
510 DICKEY ST
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL & CYNTHIA
510 SHERMAN ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

WALKER LESA C
511 SAINT MARY ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

JOHNSON TIMOTHY ALLEN
513 ST MARYS ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

HARRIS JESSIE EARL JR ESTATE
515 S CLARK ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR 0
DALLAS, TX 75231

JACOBS J D JR & OLLIE M
5961 CONNIE LN
ROCKWALL, TX 75032

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
601 STORRS ST
ROCKWALL, TX 75087

HARRIS JESSIE EARL JR ESTATE
601 S CLARK ST
ROCKWALL, TX 75087

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MARVIN E & JOYCE M
LIFE ESTATE
602 RENFRO ST
ROCKWALL, TX 75087

DEAN GREG
602 S CLARK ST
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W & LESLIE A BARRETT
602 STORRS STREET
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK STREET
ROCKWALL, TX 75087

LANGLEY RONALD SHANE
603 ST MARYS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK ST
ROCKWALL, TX 75087

DABNEY TERESA A
604 S ROSS
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

GENTRY P J ETUX
605 BOST ST
ROCKWALL, TX 75087

MACON JACKIE L
605 E ROSS ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
606 ROSS
ROCKWALL, TX 75087

GAMEZ DAVID & REFUGIO & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

HISER AMY MICHELE
606 STORRS STREET
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

HOYT MICHAEL A & CAROLYN A
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

HAMANN BRENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
609 STORRS ST
ROCKWALL, TX 75087

HUBBARD CURTIS L & ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

SMITH CHARLES ELLIOT
611 E BOYDSTUN AVE
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

SPENCER NEFAME
6138 SINGING HILLS DR
DALLAS, TX 75241

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

ASCOT INVESTORS LLC
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

ASCOT INVESTORS LLC
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO STREET
ROCKWALL, TX 75087

SHEPHERD PLACE HOMES INC
620 ROWLETT RD
GARLAND, TX 75043

ASCOT INVESTORS LLC
621 E BOYDSTUN AVE
ROCKWALL, TX 75087

ASCOT INVESTORS LLC
627 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

TOWNSEND PROFESSIONAL CENTRE LLC
703 MCKINNEY AVE
DALLAS, TX 75202

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

SLATER RODNEY E
705 PETERS COLONY
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
706 S CLARK ST
ROCKWALL, TX 75087

KATELY CHARLES LEE & THELMA S
706 SHERMAN ST
ROCKWALL, TX 75087

COLUMBIA EXTRUSION CORP
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

DIAZ MAGDALENA MARIA GALVAN
708 SHERMAN ST
ROCKWALL, TX 75087

ASCOT INVESTORS LLC
709 B WEST RUSK #580
ROCKWALL, TX 75087

DARLING MARJORIE A
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

JONES HELEN
710 SHERMAN ST
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE CIR
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WRIGHT ALVIN
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
711 SHERMAN ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
712 CLARK ST
ROCKWALL, TX 75087

JOHNSON PAMELA
712 SHERMAN ST
ROCKWALL, TX 75087

GARRETT MAMIE W
C/O TONY ELLIS
712 HAWTHORN DR
CEDAR HILL, TX 75104

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

LINVEL OLIVER
712 PETERS COLONY
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

STRANGE EMERSON JR
715 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
716 SHERMAN ST
ROCKWALL, TX 75087

BALL JUSTIN
725 PETERS COLONY
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
7475 SANDY LAKE RD
QUINLAN, TX 75474

JONES HELEN
7835 MILITARY PKWY APT 208
DALLAS, TX 75227

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

COBURN SHARON S
798 HOOMAEMAE ST
PEARL CITY, HI 96782

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
805 SAM HOUSTON
ROCKWALL, TX 75087

TOWNSEND PROFESSIONAL CENTRE LLC
805 TOWNSEND
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

CLARK MICHAEL
808 SAM HOUSTON
ROCKWALL, TX 75087

U S HOUSING AUTHORITY
809 SAM HOUSTON
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

ROCKWALL COUNTY
810 HIGH SCHOOL
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

CHAMBLESS WILLIAM AND HELEN GOMEZ-
SALVADOR
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

VARNER ROBERT R JR &
815 TOWNSEND
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

VARNER ROBERT R JR &
GLEN COX
815 TL TOWNSEND
ROCKWALL, TX 75087

CLARK MICHAEL
8305 CONCORD DR
ROWLETT, TX 75089

CLARK MICHAEL
8305 CONCORD DR
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

TURBO MOTOR SALES
C/O HENRY PATRICK ETUX
901 DAVY CROCKETT ST
ROCKWALL, TX 75087

WHITE ORCHID HOLDING CO
902 DAVY CROCKETT
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

MELTON J D
903 DAVY CROCKETT
ROCKWALL, TX 75087

HEFLIN JERRY
905 T L TOWNSEND
ROCKWALL, TX 75087

PRICE BARBARA N
905 SAM HOUSTON ST
ROCKWALL, TX 75087

VALENCIA MONICA L
906 SAM HOUSTON
ROCKWALL, TX 75087

ANDERSON ALLEN
907 SAM HOUSTON
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087

ROCKWALL COUNTY
950 TOWNSEND RD
ROCKWALL, TX 75087

PANNELL CHRYSAL
990 CORNELIUS RD
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE O
ROCKWALL, TX 75087

GENTRY P J ETUX
PO BOX 1073
ROCKWALL, TX 75087

SAUCEDO RAUL &
REYNA ENRIQUEZ
PO BOX 1093
ROCKWALL, TX 75087

ROCKWALL SOUTHSIDE NEIGHBORHOOD
COALITION
C/O TONY RIOS
PO BOX 1262
ROCKWALL, TX 75087

DORRIS CHARLES
PO BOX 216
ROCKWALL, TX 75087

DORRIS CHARLES E
PO BOX 216
ROCKWALL, TX 75087

JOHNSON TIMOTHY ALLEN
PO BOX 2423
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

CANALES FRANCISCO R
PO BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

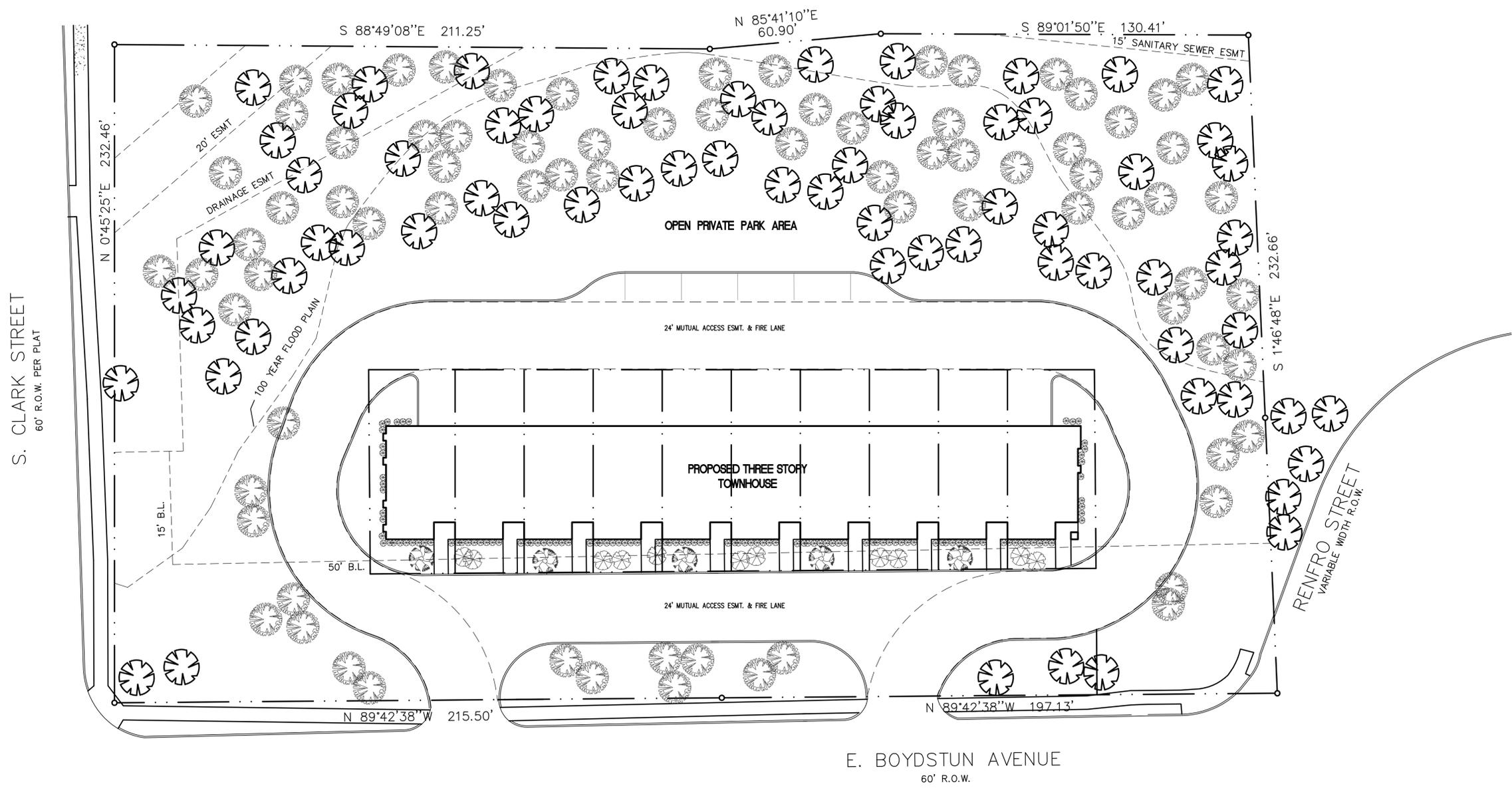
NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

HEFLIN JERRY
PO BOX 518
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC
PO BOX 8333
GREENVILLE, TX 75404

MELTON JEFFREY G
PO BOX 884
ROCKWALL, TX 75087

MELTON J D
PO BOX 884
ROCKWALL, TX 75087



MERSHAWN ARCHITECTS
 INSTITUTIONAL
 RESIDENTIAL RESTAURANTS
 MEDICAL COMMERCIAL CHURCHES

2313 RIDGE ROAD #103
 ROCKWALL, TEXAS 75087
 PHONE: 972-722-9302
 FAX: 972-249-2051

No.	Date	Revision	By

HOGUE TOWNHOUSE
 ROCKWALL, TEXAS

SITE PLAN

Scale: 1" = 20'-0"
 Date: MM/DD/YEAR
 Project No.: 160301
 Designed: GW
 Drawn: GW
 Checked: WM

SHEET
A1 OF
3

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



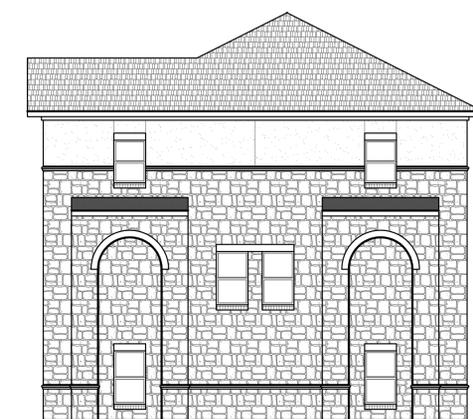
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

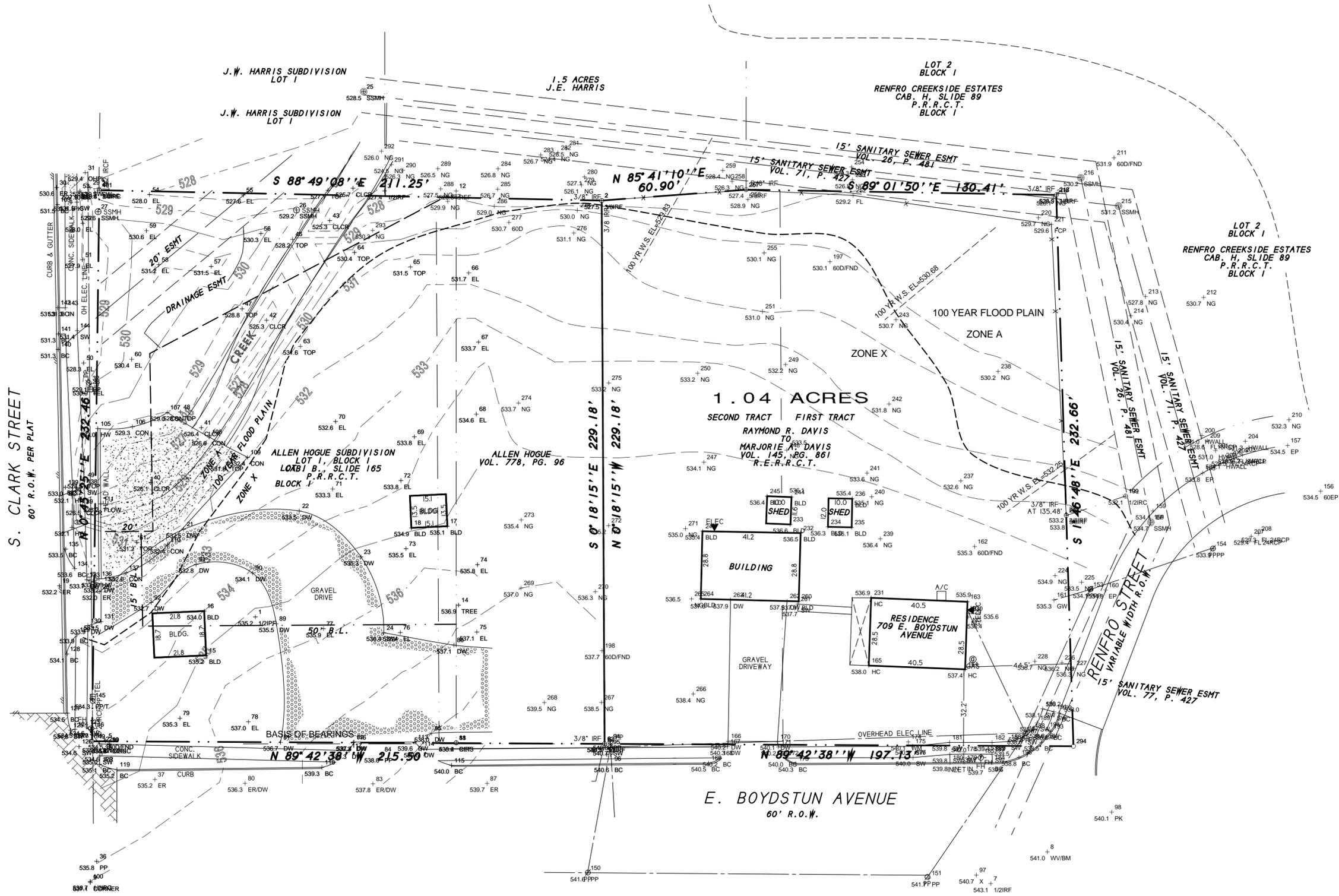
RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS
MERSHAWN
MEDICAL COMMERCIAL
CHURCHES
2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087
PHONE: 972-722-9302
FAX: 972-249-2081

No.	Date	Revision	By

HOGUE TOWNHOUSE
ROCKWALL, TEXAS
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"
Date: MM/DD/YY
Project No.: 160301
Designed: GW
Drawn: GW
Checked: WM

SHEET
A3 OF
3



SYMBOL LEGEND			
TELEVISION	GAS	TEL	FIRE
CABLE RISER	METER	HOSE	HYDRANT
ELEC	ELEC	BOX	LP
METER	SUBSURFACE	METER	NON-BURIED
JUNCTION BOX	JUNCTION BOX	POLE	CORNER
FENCE	EXISTING LINE	A/C	PROPANE TANK

SURVEY DATE APRIL 25, 2016
 SCALE 1" = 30' FILE # 20160168-T
 CLIENT HOGUE GF # R160999R

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com