

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
April 26, 2016
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. **Approval of Minutes** for the *April 12, 2016* Planning and Zoning Commission meeting.
2. **P2016-013 (Korey)**
Discuss and consider a request by Alexander Menjivar and Daniel & Lidia Mendez for the approval of a final plat for Lots 1 & 2, Block A, Mendez Addition being a five (5) acre tract of land identified as Tract 2 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5143 SH-276, and take any action necessary.
3. **P2016-014 (David)**
Discuss and consider a request by Daniel Stewart of Cates-Clark & Associates, LP on behalf of Jeff Finkel of Seaman Development Corporation for the approval of a final plat for Lot 1, Block 1, Rockwall-Pine Addition being a 3.642-acre portion of a larger 14.07-acre tract of land identified as Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 920 E. IH-30, located southwest of the intersection of Kyle Drive and the E. IH-30 frontage road and take any action necessary.
4. **P2016-015 (Korey)**
Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of JBR-2, LLC for the approval of a final plat for Lots 1 & 2, Block A, JBR2 Addition being a 7.329-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary.
5. **P2016-017 (David)**
Discuss and consider a request by Robert R. Varner, Jr. of Townsend Professional Centre, LLC for the approval of a replat creating Lots 9, 10, & 11, Block A, Municipal Industrial Park Addition, being a 2.60-acre parcel of land currently identified as Lot 8, Block A, Municipal Industrial Park Addition (2.29-acres) and Lot 1, Block A, Corrigan Law Office Addition (0.31-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary.

APPOINTMENTS

6. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

DISCUSSION ITEMS

7. **Z2016-012 (Korey)**
Hold a public hearing to discuss and consider a request by Jim Evans of CEI Engineering Associates, inc. on behalf of Bob Hubbard of EZ Mart Stores, Inc. for the approval of a Specific Use Permit (SUP) to allow a retail store with more than two (2) gasoline dispensers on a 0.918-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, and take any action necessary.
8. **Z2016-013 (David)**
Hold a public hearing to discuss and consider a request by Garrett Lust of Pointe Land & Development, LLC on behalf of Marven Wu of West Union Investment, Co. for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 81.49-acre parcel of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of

Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on Rochell Road south of the intersection of Rochell Road the SH-276, and take any action necessary.

9. Z2016-014 (Ryan)

Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and located on the north side of Airport Road, west of the intersection of Airport Road and FM3549, and take any action necessary.

10. Z2016-015 (Ryan)

Hold a public hearing to discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (*R. & R. Hance Investments, LP*) for the approval of a zoning amendment to Planned Development District 79 (PD-79) [*Ordinance No. 16-07*] for the purpose of amending the concept plan and incorporating 11.121-acres of land into the existing 44.292-acre development creating a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive, and take any action necessary.

11. Z2016-016 (Ryan)

Hold a public hearing to discuss and consider a City initiated zoning request for the approval of a text amendment to Section 4, *Southside Residential Neighborhood Overlay (SRO) District*, of Article V, *District Development Standards*, of the Unified Development Code, and take any action necessary.

12. Z2016-017 (Ryan)

Hold a public hearing to discuss and consider a City initiated zoning request for the approval of a text amendment to Section 1, *Land Use Schedule*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code for the purpose of changing the requirements for *Used Motor Vehicle Dealerships*, and take any action necessary.

13. P2016-016 (David)

Discuss and consider a request by Bart Carroll of Carroll Consulting Group, Inc. on behalf of the owner Robert John Crowell of Crowell Development Corporation for the approval of a final plat for Wanda Ridge Estates, Phase 2 containing 45 single-family residential lots on 79.7111-acres identified as Tract 17-3 (4.679-acres), Tract 19 (61.658-acres), and Tract 42-01 (13.374-acres) of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated in the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located north of the intersection of Wanda Lane and FM-548, and take any action necessary.

14. SP2016-006 (Ryan)

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Michael James of U. V. Real Estate, LP for the approval of a site plan for an *Auto Body Shop (i.e. Service King Collision Repair)* on a 3.2039-acre tract of land described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.

15. SP2016-007 (David)

Discuss and consider a request by Bryan M. Burger, PE of Burger Engineering, LLC on behalf of the owner Don Silverman of Rockwall 205-552, LLC for the approval of site plan for a grocery store (*i.e. Aldi Food Store*) on a 1.972-acre portion of a larger 9.183-acre tract of land identified as Tract 4-1 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of SH-205 [*N. Goliad Street*] and FM-552, and take any action necessary.

16. SP2016-008 (Korey)

Discuss and consider a request by Vincent Jarrard of Eurthmic Design Group Architects on behalf of the owner Cameron Bagley of Racetrac Petroleum, Inc. for the approval of site plan for a *car wash/auto detail facility (i.e. Carmel Carwash)* on a 1.3-acre tract of land identified as Lot 1, Block 1, Crossings Addition (*i.e. 1.004-acres*) and a 0.296-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall,

Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street, and take any action necessary.

17. SP2016-009 (David)

Discuss and consider a request by Eric Morff of Cole on behalf of the owner 2804 Ridge, LLC for the approval of site plan for a *restaurant with drive-through (i.e. Panera Bread)* on a 0.93-acre parcel of land identified as Lot 2 of the Road Runner Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 2804 S. Goliad Street, and take any action necessary.

18. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ P2016-008: Preliminary Plat for Lots 1-4, Block A, Lakeshore Commons Addition [Approved]
- ✓ Z2016-006: SUP for a Carport at 303 Renfro Drive (2nd Reading) [Approved]
- ✓ Z2016-008: SUP for an Accessory Building at 735 David Drive (1st Reading) [Approved]
- ✓ Z2016-009: SUP for a Minor Automotive Facility at 2225 Ridge Road (1st Reading) [Approved]
- ✓ Z2016-010: PD Development Plan for Care Now (1st Reading) [Approved]
- ✓ Z2016-011: Zoning Change (*Commercial to PD for a Multi-Family Apartment Complex*) [Withdrawn]

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22nd day of April, 2016 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
April 26, 2016
5:00 P.M.

DISCUSSION ITEMS

1. SP2016-006 (Ryan)

Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Michael James of U. V. Real Estate, LP for the approval of a site plan for an *Auto Body Shop (i.e. Service King Collision Repair)* on a 3.2039-acre tract of land described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.

2. SP2016-007 (David)

Discuss and consider a request by Bryan M. Burger, PE of Burger Engineering, LLC on behalf of the owner Don Silverman of Rockwall 205-552, LLC for the approval of site plan for a grocery store (*i.e. Aldi Food Store*) on a 1.972-acre portion of a larger 9.183-acre tract of land identified as Tract 4-1 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of SH-205 [*N. Goliad Street*] and FM-552, and take any action necessary.

3. SP2016-008 (Korey)

Discuss and consider a request by Vincent Jarrard of Eurthmic Design Group Architects on behalf of the owner Cameron Bagley of Racetrac Petroleum, Inc. for the approval of site plan for a *car wash/auto detail* facility (*i.e. Carmel Carwash*) on a 1.3-acre tract of land identified as Lot 1, Block 1, Crossings Addition (*i.e. 1.004-acres*) and a 0.296-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street, and take any action necessary.

4. SP2016-009 (David)

Discuss and consider a request by Eric Morff of Cole on behalf of the owner 2804 Ridge, LLC for the approval of site plan for a *restaurant with drive-through (i.e. Panera Bread)* on a 0.93-acre parcel of land identified as Lot 2 of the Road Runner Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2804 S. Goliad Street, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22nd day of April, 2016, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

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MINUTES
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
April 12, 2016
6:00 P.M.

I. CALL TO ORDER

Chairman Renfro called the meeting to order at 6:01 p.m. Present were Commissioner John McCutcheon, Patrick Trowbridge, Johnny Lyons, Annie Fishman, Tracy Logan and Sandra Whitley. Staff members present were Planning Director, Ryan Miller, Senior Planner, David Gonzales, Planner, Korey Brooks, Planning Coordinator, Laura Morales, Assistant Engineer, Amy Williams, Civil Engineer, Jeremy White and Fire Marshal, Ariana Hargrove.

II. CONSENT AGENDA

1. Approval of Minutes for the March 29, 2016 Planning and Zoning Commission meeting.

2. P2016-012

Discuss and consider a request by Worth Williams of Moore Worth Investments, LLC on behalf of Jean Voltz of Arkoma Development LLC for the approval of preliminary plat for Lots 1-4, Block A, Lakeshore Commons Addition being a 4.706-acre tract of land identified as Tract 8-4 of the J. H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, located at the southwest corner of the intersection of SH-205 [N. Goliad Street] and North Lakeshore Drive, situated within the North SH-205 Overlay (N. SH-205 OV) District, and take any action necessary.

Commissioner McCutcheon made motion to pass the consent agenda. Commissioner Lyons seconded the motion which passed by a vote of 7-0.

III. PUBLIC HEARING ITEMS

3. Z2016-008

Hold a public hearing to discuss and consider a request by Darrell Simpson on behalf of Sherri Banuelos for the approval of a Specific Use Permit (SUP) to allow an accessory building that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code for a 1.03-acre tract of land identified as Tract 11-5 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Single Family One (SF-1) District, addressed as 735 Davis Drive, and take any action necessary.

Planner, Korey Brooks, gave brief explanation of request stating that the applicant, Sherry Banuelos is requesting a Specific Use Permit to allow for an accessory building that does not meet the minimum requirements specified in the Unified Development Code According to the section SF-1 in the UDCC no more than two accessory buildings are allowed which are up to 225 square feet in area and 15 feet or less in height, and the exterior cladding contains only materials found on the main structure. The subject property is zoned Single Family 1 District. The proposed accessory building will stand approximately 15-feet in total height and will have a building footprint of 24-feet x 36-feet or approximately 864 square feet. The accessory building will be located behind the main residential structure and not visible from the street. The applicant is requesting a waiver to the size requirement to allow for a building approximately 639 sq. ft. larger than the maximum size allowed in a SF-1 District. The applicant is also requesting a waiver to the masonry requirement to construct the accessory building out of a steel building system with a standing seam metal roof that does not comply with the masonry requirements for an accessory building in an SF-1 District. The applicant plans to extend the current gravel driveway to the accessory building to allow access to the building.

Mr. Brooks also stated that 23 notices to property owners and occupants within 500-feet of the subject property were mailed as well as notification sent to the Rolling Meadows HOA, which is the only HOA/Neighborhood Organization that is within 1,500-feet and participating in the

63 notification program. Additionally, a sign was posted on the subject property as required by the
64 Unified Development Code. Staff had not received any notices returned.

65
66 Chairman Renfro asked the applicant to come forth and speak.

67
68 Darrell Simpson
69 635 Davis Dr.
70 Rockwall, TX

71
72 Mr. Simpson, representative for Ms. Banuelos came forward and said he was available for
73 questions.

74
75 Commissioner Trowbridge asked what kind of roof will be on the building. Mr. Simpson stated it
76 will be a white metal roof.

77
78 Chairman Renfro opened the public hearing and asked if anyone who wished to come forward
79 and speak to do so. There being no one indicating such, Chairman Renfro closed the public
80 hearing and brought the item back to the Commission for discussion.

81
82 Commissioner Trowbridge made motion to pass the item with staff recommendations.
83 Commissioner McCutcheon seconded the motion, which passed by a vote of 7-0.

84
85
86 4. Z2016-009

87 Hold a public hearing to discuss and consider a request by Mohamed Taha for the approval of a
88 Specific Use Permit (SUP) to allow a minor auto repair garage to be established in conjunction with an
89 existing oil/lube change facility located on a 0.2755-acre parcel of land identified as Lot 3, Block B,
90 Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)
91 District, situated within the Scenic Overlay (SOV) District, addressed as 2225 Ridge Road, and take any
92 action necessary.

93
94 Senior Planner David Gonzales gave brief explanation of request stating that the reason for the
95 request for the SUP is for the purpose of allowing outside storage of vehicles for customers that
96 are in need of parts or equipment unavailable at the time of service. These vehicles would be
97 parked/stored at the rear of the building for a period of no more than 48 hours, and should not
98 be visible from Ridge Road when parked behind the building. This facility has been in operation
99 since 1987 and has an approved site plan indicating four diagonal parking spaces. The
100 applicant has provided an amended site plan depicting seven striped head-in parking spaces
101 located at the rear of the building with the possibility of one or two spaces being visible from the
102 sidewalk and right of way. Should the SUP be approved as requested, the Unified Development
103 Code would require screening of the stored vehicles from public streets, sidewalks, and open
104 space. Also, Mr. Taha made a similar request for a SUP in September 2014 and was denied by
105 City Council on November 3, 2014. This item was considered to be denied with prejudice,
106 requiring the applicant to wait for a period of at least one year from the date of denial in order to
107 resubmit the same or similar application.

108
109 Mr. Gonzales added that also to consider is the Engineering Departments standards of design
110 and construction regarding parking spaces. Based on the design standards, these parking
111 spaces are to be a minimum 9-ft X 20-ft with a 24-ft wide aisle behind the parking spaces for
112 maneuvering. Based on the proposed design, a turnaround behind the last parking space is
113 required, with no dead-end parking allowed.

114
115 Mr. Gonzales further noted that staff mailed twenty-nine notices to property owners and
116 residents within 500 feet of the subject property and also notified one HOA within 1500-feet and
117 posted a sign on the subject property. Three notices were received in opposition of the request.
118 Mr. Gonzales stated Mr. Taha and his attorney were both present and available for questions as
119 well as staff.

120
121
122 Chairman Renfro asked the Commission for any questions for staff.

125 Commissioner Trowbridge wanted to clarify what was being considered for approval is seven
126 parking spaces of which some can be seen from the road as well as the radius at the end of the
127 parking area for two spaces.
128

129 Mr. Gonzales stated the applicant is requesting the seven spaces however with that request a
130 screening mechanism was not part of the request when it was submitted that would need to be
131 discussed. Also concerning the two parking spaces, those would be lost it is fifteen feet that
132 they have to abide by.
133

134 Chairman Renfro asked concerning the number of violations applicant has had as there have
135 been several since the opening of his business and from the last time the applicant was before
136 he Commission. Mr. Gonzales stated that from the time the application was received the total
137 amount of citations that have been issued is 33 however since the last Specific Use Permit
138 request where applicant came before the Commission there has been 24 for a total of 33 since
139 Code Enforcement has been involved.
140

141 Commissioner Trowbridge asked if this was a Specific Use Permit is within a Scenic Overlay. Mr.
142 Gonzales stated it is.
143

144 Chairman Renfro opened the public hearing and asked the applicant to come forward.
145

146 Mohamed Taha
147 4713 One Place Dr.
148 Garland, TX
149

150 Chairman Renfro asked Mr. Taha concerning the violations. Mr. Taha stated the violations began
151 after the last request he made last year where he failed to attend the City Council meeting where
152 request was denied and reason for that was his misunderstanding that once the Planning and
153 Zoning Commission approved that was the final step. Two of the violations were for vehicles
154 that came in overnight after closing both of which were waiting on parts, he explained to Code
155 Officer but according to the Code due to the vehicles being there it was a violation. Mr. Taha
156 went on to explain that at the beginning he was not aware of the Code in its entirety believing
157 that as long as the cars were parked behind the building it was not a violation and that led to
158 citations which he took to court where some were dismissed and then was informed he would be
159 in violation until he came before the Commission and City Council for approval of request that
160 would allow the vehicles to be parked outside.
161

162 Commissioner Trowbridge asked if he was the owner of the business and the land. Mr. Taha
163 stated he is only the owner of the business the land owner is his business partner.
164

165 Commissioner Lyons asked if any repairs were done to vehicles outside of the building. Mr.
166 Taha stated the work is done inside the bay, occasionally if a tow truck drops off a vehicle that is
167 in need of a part in order to be moved inside the bay that will be done for that purpose.
168

169 Commissioner Lyons asked if original request was for four parking spaces, why the change to
170 seven. Mr. Taha stated that due to the increase of business he feels there is need.
171 Mr. Gonzales added that the original request was for seven as well, but it was the
172 recommendation of Planning and Zoning at that time to approve four.
173

174 Heath Grob
175 106 N. 2nd Street
176 Rockwall, TX
177

178 Mr. Grob came forward stated he is the representative for Mr. Taha and stated the reason for
179 requesting the seven parking spaces is because those spaces are not open to the public, they
180 line up with the bay to allow access in and out from the bay there is no real turning around back
181 there. Concerning the citations, 21 of the citations were just three incidents, there are seven
182 parking spots that is seven tickets per incident. The third time a citation was issued is when Mr.
183 Taha retained him as attorney. Mr. Grob further clarified that the reason Mr. Taha did not attend
184 the last City Council meeting was due to his misunderstanding that he had one meeting left for
185 approval. Concerning the screening of the vehicles Mr. Taha is willing to put a gate that would
186 screen all vehicles from the street, however it does not remedy the visibility of the vehicles to

187 the three story building that is behind them, and aside from landscaping that is impossible to
188 block, however being that the vehicles would only be parked at night, it should not affect them.

189
190 Commissioner Logan asked if the approval was granted where the gate would be built at. Mr.
191 Grob stated it would come along the right side of the building and it would be a six or seven foot
192 gate that would be closed when business is closed for the evening.

193
194 Chairman Renfro opened the public hearing and asked anyone who wished to speak to come
195 forward and do so at this time.

196
197 Deborah Shultz
198 1435 Foxwood Lane
199 Rockwall, TX

200
201 Mrs. Shultz came forward and stated she is in favor of the request. She has worked with Mr.
202 Taha in the past when taking her vehicle in for repair and he has been very helpful in working
203 with her as she is a single mom. Her kid's scouting troop has also volunteered to help with any
204 cleaning and such should it be needed in the business. She added her father owned his own
205 business as well and feels it should be allowed that he park within his own property.

206
207 Nell Wellborn
208 810 Lake Meadows Circle
209 Rockwall, TX

210
211 Ms. Wellborn came forward and stated she is in opposition of the request. She believes this
212 Specific Use Permit is going beyond what the City is required to do. She feels this location was
213 not ideal for this type of business, and over the years it has gotten worse instead of better. She
214 doesn't believe the office building that sits behind complains of the visibility issue, however they
215 do complain of employees of Mr. Taha parking in their office due to lack of parking. Ms. Welborn
216 brought pictures she wanted to share but were unable to present them due to a technical
217 problem.

218
219 Terri Nevitt
220 201 Becky Lane
221 Rockwall, TX

222
223 Ms. Nevitt came forward and stated she is in opposition of the request, feels size and location of
224 this business it is too small for the amount of business he is generating, feels he has outgrown
225 the location and should look to relocate to better suite his growth.

226
227 Chairman Renfro asked if anyone else wished to speak, there being no one indicating such
228 Chairman Renfro closed the public hearing, brought the item back to the Commission and asked
229 the applicant to come forward to offer any rebuttal.

230
231 Mr. Taha stated that concerning the parking for his employees, he contacted the owner of the
232 parking area directly across the street from him and is going to be leasing it to allow for his
233 employees to park there. Concerning the expanding plan currently he has contacted a contractor
234 to do remodeling to keep with Rockwall's standards.

235
236 Chairman Renfro asked concerning the possibility that this location has outgrown the location.
237 Mr. Taha stated he is now booking appointments and downloaded a software that allows for him
238 not to book more vehicles than a day can handle, aside from times when he is awaiting parts
239 that are generally not in stock where the vehicles do have to stay.

240
241 Commissioner Logan asked if there are three bays, can three vehicles be stored within those.
242 Mr. Taha stated that creates a problem when he opens the business, at the time he opens he
243 would have to move all the vehicles and there are only two employees on staff in the morning
244 therefor having them parked facilitates the opening instead of moving in and out of the bay.

245
246 Commissioner McCutcheon brought up that at the time of last request Mr. Taha had said there
247 would be some remodeling to the business at that time, and asked why that had not been done
248 as of yet.

249 Mr. Taha stated at that time it was not financially feasible, but within this last year business has
250 grown and have now met with the contractor and are going to be moving forward with that.
251

252 Commissioner Lyons stated concern with having seven spaces versus the four, the safety
253 concern of fitting seven in such a tight area, he asked for clarification of what size they would be
254 assuming they are not going to be standard sized spaces. Mr. Gonzales stated the engineered
255 design require them to be 9x20 they have to be standard parking spaces unless the Commission
256 approves otherwise. Mr. Taha added that when he first came into the building the parking spaces
257 were not slanted as they are now but were straight. Mr. Lyons added he was leaning for
258 approving four instead of seven.
259

260 Chairman Renfro asked for further discussion from the Commission before taking action.
261

262 Commissioner Trowbridge stated concern this being in the Scenic Overlay; felt it had to be
263 carefully thought out to keep the integrity of this area.
264

265 Chairman Renfro added that outgrowing a business is a good thing that marks success but does
266 agree that there does need to find the balance between helping the citizen as well as keeping the
267 integrity of the Scenic Overlay.
268

269 Commissioner McCutcheon also expressed concern if request is turned down, what is being
270 gained from that as it will still be an existing building.
271

272 Commissioner Whitley stated concern with the amount of violations, and who would monitor
273 that the vehicles are only stored overnight.
274

275 Commissioner Trowbridge asked if item is approved with four spaces versus seven, how the
276 motion would move forward. Mr. Gonzales stated the applicants request is for seven parking
277 spaces, however if the Commission changes that is what would go forward to City Council.
278

279 Commissioner Fishman stated her concern is finding balance between the land uses of the
280 location with it being in a Scenic Overlay and having a good Rockwall business that is
281 encouraged but feels this business may have outgrown the location.
282

283 Commissioner Lyons made motion to approve with staff recommendations with four slanted
284 parking spaces, without screening. Commissioner McCutcheon made amendment to add the
285 screening. Commissioner Lyons denied the amendment. Commissioner Logan seconded the
286 motion. The motion passed by a vote of 4-3 with Chairman Renfro, Commissioner Whitley and
287 Commissioner McCutcheon dissenting.
288

289 5. Z2016-010

290 Hold a public hearing to discuss and consider a request by Grey Stogner of Crestview Real Estate on
291 behalf of the owner Tom R. Briscoe of Briscoe Oil, Inc. for the approval of a PD Development Plan for
292 an urgent care facility on a 1.042-acre tract of land identified as Lots 1 & 2, Block A, Briscoe/Hillcrest
293 Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County,
294 Texas, zoned Planned Development District 32 (PD-32), situated within the *Summit Office Subdistrict*
295 and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of Horizon Road [FM3097]
296 and the IH-30 frontage road, and take any action necessary.
297

298 Senior Planner, David Gonzales, gave brief explanation of request explaining that on September
299 20, 2010, the City Council passed Ordinance No. 10-21 [Planned Development District 32, which
300 established a concept plan and development standards for the approximate 78.89-acre tract of
301 land commonly referred to as PD-32 or the Harbor District. Within the approved concept plan,
302 PD-32 was divided into ten subdistricts that contained individual development and land use
303 standards. The subject property is a 1.042-acre portion of land located within the Summit Office
304 Subdistrict, which according to the PD Ordinance is intended to capitalize on the superior views
305 of Lake Ray Hubbard by providing mid-rise office buildings. Key characteristics include good
306 visibility and ease of access from Interstate 30 and Horizon Road.
307

308 Mr. Gonzales further added that the applicant, Grey Stogner, has submitted an application for
309 the approval of a PD Development Plan indicating a proposed layout for the 1.042-acre tract of
310 land. Based on the applicant's concept plan, a waiver to the building placement requirements

311 will be required for the purpose of allowing the buildings' easterly facing facade to be situated
312 no more than 60-ft to 70-ft from Horizon Road and for the southerly facing façade to vary from
313 the horizontal articulation standards. It should be noted that the district's intent for the
314 buildings setback from Horizon Road is 150 feet; however, the property has been platted with a
315 25-ft building setback. Since the applicant is requesting waivers to Ordinance No. 10-21 and the
316 proposed use while being a permitted use does not meet Criteria A of Section 9.C that states it
317 needs to meet the general intent of the PD District or Subdistrict in which the subject property is
318 located, staff has required the applicant to submit a PD Development Plan. Through this
319 process, the City Council retains discretionary approval over the request to ensure that the
320 proposed development does not have a negative impact on adjacent properties.
321

322 Mr. Gonzales went on to further explain that the concept plan for the Summit Office Subdistrict
323 calls for pedestrian opportunities extending parallel with Pinnacle Way Drive, which is the
324 primary connector to Horizon Road. Street Type B which is Pinnacle Way Drive calls for a 48-ft
325 right-of-way that includes a 24-ft street section with an 8-ft sidewalk, street trees, and pedestrian
326 scaled streetlights, which meets the requirements outlined in Ord No. 10-21. The plan submitted
327 by the applicant does conform to the majority of the technical requirements of PD-32, with the
328 exception of the building placement requirements and the horizontal articulation standards.
329 According to the ordinance, a minimum of 45% of the building façade facing the proposed
330 Pinnacle Way Drive is to be built to the build-to-line with the remaining portion of the façade to
331 be no less than 2-ft and no greater than 12-ft from the BTL creating horizontal articulation.
332 Although the applicant has provided a recess in the elevation extending to the BTL, it only
333 represents approximately 32% or a 27-ft expanse of the façade rather the 45% or a 38-ft expanse
334 of this plane as required by the ordinance. Another aspect to consider with this request is the
335 abandonment of Hill Top Lane, which bisects the Briscoe property. This right-of-way will be
336 exchanged for the realigned Pinnacle Way Drive. The original intent of Hill Top Lane was to
337 provide cross access for the 1.042-acre property located along the western boundary which is
338 Harbor District Addition, Block A, Lot 4 of the subject property. Access will still be provided
339 through a 24-ft cross access easement to the property and will be dedicated during the platting
340 process. This has been included as a condition of approval in this case memo and in the draft
341 ordinance.
342

343 Also, taking the intent of the district into consideration the current plan does seem to conform to
344 the vision stated within the concept plan with respect to the creation of a pedestrian friendly
345 environment along Pinnacle Way Drive. With this being said, the requested waivers for building
346 placement and horizontal articulation along with the abandonment of Hill Top Lane and the issue
347 of cross access to the adjoining property makes this a discretionary approval for the City
348 Council. Should the City Council choose to grant the request the applicant will still need to
349 submit a PD Site Plan that will be reviewed by the Architectural Review Board and the Planning
350 and Zoning Commission.
351

352 Mr. Gonzales also advised the Commission that on April 1, 2016, staff mailed 28 notices to
353 property owners and residents within 500 feet of the subject property. Staff also emailed notices
354 to the Lakeside Village and Lago Vista Homeowner's Associations, which are the only HOA's
355 located within 1,500 feet of the subject property and also posted a sign at the corner of the
356 intersection of Sunset Ridge Drive and the IH-30 Frontage Road. Staff has received one
357 response in favor of the PD Development Plan request. Mr. Gonzales added the applicant is
358 present to answer questions as well as staff.
359

360 Chairman Renfro asked for questions for staff.
361

362 Commissioner Trowbridge asked if land to the left hand corner where the Trend Tower and the
363 parking garage will be contiguous to the neighboring property or is there a property in between
364 the proposed lot. Mr. Gonzales stated future development will happen on that property.
365

366 Commissioner Logan asked if standard is 150 foot setback and the depth from Horizon is only
367 176 feet would it be considered under the current standards not developable. Mr. Gonzales
368 stated the property is platted with a 25 foot setback and looking at the Concept Plan refers to
369 that area as a parking lot but when the three lots are combined then you have a developable
370 piece of property therefor that is the purpose of applicant bringing forward the PD Development
371 Plan for the Commissions consideration. That is reason for built in flexibility.
372

373 Chairman Renfro asked if Concept Plan also calls for a midsize office type building. Mr.
374 Gonzales stated it called for a midrise up to eight stories high that is what the intent of the
375 District is to not have a building that goes beyond eight stories. Chairman Renfro added that it
376 called for it to go upward not outward being that the lot is so small.
377

378 Planning Director, Ryan Miller added that the way PD 32 was written, it was understood that not
379 all development would conform to the Concept Plan because a Concept Plan was being laid out
380 for the entire district sometimes it involved smaller parcels of land, this being one of them.
381 Therefore within the Concept Plan itself subdistrict were created where the intent was broadly
382 stated and allow this subdistrict does call for a midrise it does allow one story buildings and the
383 use applicant is proposing is allowed by right. What is kicking in the PD Development in this
384 case is the abandonment of Hilltop Lane and the realignment of Pinnacle Way.
385

386 Chairman Renfro asked the applicant to come forth and speak.

387
388 Matt Moore
389 1903 Central Drive
390 Bedford, TX

391
392 Mr. Moore came forward and stated both Mr. Gonzales and Mr. Miller gave good explanation of
393 request and the challenges from a development point on this particular piece of property.
394 Advised he is available for any questions from the Commission.
395

396 Chairman Renfro opened the public hearing and asked anyone wishing to speak to come
397 forward to do so.
398

399 Philip M. Ruais
400 5900 S. Lake Forest Dr. Suite 200
401 McKinney, TX
402

403 Mr. Ruais came forward and stated he is a representative and attorney for Landa Properties that
404 own 4.59 acres off of Summer Lee Drive stated the only opposition they have to request is that
405 they don't feel it is not an acceptable gateway or entry way for a development for the City of
406 Rockwall in what they are trying to set forth and develop.
407

408 Dick Clark
409 2917 Saratoga Drive
410 Rockwall, TX
411

412 Mr. Clark came forward and stated why an eight story urgent care facility is needed what else
413 would be going into the building and how far away the closest medical facility is from this
414 proposed site were any studies done if another medical facility is needed in the City. Does not
415 feel there is really a necessity to develop on this land at this particular time with this particular
416 product. Mr. Miller added clarification to Mr. Clark stating the building is not going to be eight
417 stories high but instead is the maximum height allowed in the district and applicant is proposing
418 a single story building. Mr. Clark continued to state concern with adding another building will
419 add to traffic and feels that traffic and growth need to be taken into consideration.
420

421 Kristen Minth
422 3406 Lakeside Drive
423 Rockwall, TX
424

425 Mrs. Minth came forward and stated she is in favor of request feels with the changes to the off
426 ramps and previous requests for gas stations in this spot no more gas stations are needed, asks
427 Commission to approve request.
428

429 Chairman Renfro closed the public hearing and asked applicant to come forward for any
430 rebuttal.
431

432 Mr. Moore came forward and stated with the traffic standpoint he feels it should not be a concern
433 as this use is not a very intense use given the location of IH30 and Horizon and they average
434 about 45 patients a day spread out in the course of a day this use would not be a big traffic

435 generator as opposed to a gas station or a big store. Mr. Moore added that with concern to
436 whether this use for the Gateway Overlay is an appropriate use, feels it is subject to opinion
437 feels the use is compatible for the area. Care Now would not make the investment in Rockwall if
438 they felt the need was not there and could not be successful. Added he is available for any
439 questions from the Commission.

440
441 Chairman Renfro asked concerning Gateway Overlay, what is the client willing to do to offset the
442 removal of existing landscape. Mr. Moore stated they will have interior lot landscaping and
443 whatever else is required to meet the intent of the PD.

444
445 Chairman Renfro expressed concern of ability to make left turn from Pinnacle Way extension will
446 traffic is able to take a left turn from Horizon and towards the freeway without a traffic light as
447 people are coming off of and exiting Horizon and turning right, which he feels it will create traffic
448 trouble at certain times of the day.

449
450 Commissioner Fishman had concern with whether or not this is the best fit for this land how
451 well will a Care Now fit in the grand scheme of what was intended for this area.

452
453 Commissioner Lyons expressed concern of location for this use with only looking at what has
454 been submitted as well as concern with the landscaping and asked if it was known how many
455 urgent care facilities there are currently in Rockwall. Mr. Moore stated if this was approved at the
456 next step they will provide a full landscape plan, and at this time does not know how many other
457 urgent care facilities are in town.

458
459 Greg Stogner
460 12720 Hillcrest Road
461 Dallas, TX

462
463 Mr. Stogner came forward and stated he has worked with Care Now as a developer for about ten
464 years and went on to expand on the Care Now owner that is a family owned business with 29
465 locations that they own. The difference between urgent care facilities as opposed to a Care Now
466 is that their goal is to be the family practitioner for the community, they get very involved with
467 the community and the difference is that there is always a doctor on duty. The client is very
468 interested in the City of Rockwall. Mr. Stogner added that as far as the concern for the
469 landscaping due to the Gateway Overlay they are willing to work with staff, they are of the mind
470 set of you only get one chance to make a good impression and will it will be heavily landscaped
471 and they will do all that is needed to make it a good looking facility and entry way to meet the
472 standards of Rockwall.

473
474 Mr. Gonzales added that Hilltop Lane is a 20 foot right a way and taking a look at how that can be
475 traveled that is one of the purposes of having it exchanged over for Pinnacle Way Drive that
476 would not meet the standards for a street with a 20 foot right a way.

477
478 Commissioner McCutcheon asked for clarification of why request is before the Commission is it
479 being mainly for the reason only due to the right a way road swap. Mr. Gonzales stated that is
480 one of the reasons, it is an amendment to PD32 and part of the amendment is to include the
481 abandonment of Hilltop Lane in exchange for the Pinnacle Way Drive. Commissioner
482 McCutcheon went on to express concern with this being the gateway into the City, but feels
483 proposal is better fit than a request for a gas station.

484
485 Chairman Renfro expressed concern over this particular use in this prime real estate area in the
486 City and although it is a great developer there is still concern if it does not work and is left
487 vacant.

488
489 Commissioner Trowbridge asked how long the lease was for. Mr. Stogner stated it was for
490 twenty years and addressed Chairman Renfro's concern of it being in the gateway of the City, but
491 feels it is a low impact one story good looking that will be heavily beautifully landscaped and
492 should that happen, which he feels is not likely, what is left is a usable building.

493
494 Commissioner Whitley asked if this development happens will it impede access to the adjacent
495 properties. Mr. Gonzales stated access will be available.

496

497 Commissioner Trowbridge made comment of initial concern with the drop of density and the
498 height with request being a less density low building in comparison with what surrounds it, but
499 can see a lot of work has been done from staff comments from work session and feels he is on
500 board with it at this time due to that.

501
502 Commissioner Logan asked if the request were to be approved would it be a requirement for the
503 building to have the same type of "Tuscan" look that is in place along that corridor. Mr.
504 Gonzales stated that the Summit Office would require either traditional building style it is in the
505 PD specific to the guidelines or there are two types that are available to the applicant that would
506 be something that would be reviewed at the site plan stage.

507
508 Chairman Renfro expressed at this time he is inclined not to support the request and asked for
509 further discussion or a motion.

510
511 Commissioner Lyons made motion to approve item with staff recommendations. Commissioner
512 Trowbridge seconded the motion, which passed by a vote of 5-2 with Chairman Renfro and
513 Commissioner Fishman dissenting.

514
515 Chairman Renfro called for a five minute recess at 7:58 p.m.

516
517 Chairman Renfro called the meeting back to order at 8:11 p.m.

518
519
520 6. Z2016-011
521 Hold a public hearing to discuss and consider a request by Fred Hazel of Davis Development on behalf
522 of Jim Kirby of Rockway Partners, LLC for the approval of a zoning change from a Commercial (C)
523 District to a Planned Development District for a multi-family apartment complex on a 17.60-acre tract of
524 land identified as Lots 6-11, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall
525 County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District,
526 located east of the intersection of Laguna Drive and La Jolla Pointe Drive, and take any action
527 necessary.

528
529 Planning Director, Ryan Miller, gave brief explanation of item stating On March 11, 2016, the
530 applicant submitted an application requesting to rezone a 17.60-acre tract of land from a
531 Commercial District to a Planned Development District for a multi-family apartment complex that
532 will consist of 272 units. The subject property, which was annexed into the City on November 7,
533 1960 by Ordinance No. 60-03, is located on the north side of Interstate Highway 30 west of Ridge
534 Road along La Jolla Pointe Drive -- and is currently a vacant tract of land. The subdivision was
535 originally platted in 2003 as La Jolla Pointe Addition, Phase 2 which was Case No. PZ2002-83-
536 001, and was replatted into its current configuration in 2007 Case No. P2006-019.

537
538 Mr. Miller further explained that along with the application, the applicant has submitted a
539 concept plan, building elevations and development standards for the proposed multi-family
540 apartment complex. The concept plan shows that the proposed 272-unit apartment complex will
541 consist of eight buildings that range in height from three to four stories, and contain 24-36 units
542 each; with the exception of Building No. 1, which will consist of 49 units. This building will also
543 house a clubhouse/amenity center and the leasing office, with an exterior pool adjacent to the
544 southern building façade. The above unit composition equals a minimum unit size of 1,032 SF.
545 Based on the size of the subject property and the number of units proposed, the requested
546 density will be 15.45 units per acre. Currently, the highest density-zoning district that the City
547 permits is the Multi-Family 14 District, which permits up to 14 units per acre. Since the
548 applicant is proposing to rezone the subject property to a Planned Development District,
549 additional density maybe requested of the City Council; however, this does remain a
550 discretionary decision for the City Council, and the City Council does have the power to reduce
551 the density of the request.

552
553 Mr. Miller added that to meet the requirement the concept plan indicates that a mixture of 38
554 garages and 482 surface parking spaces will be utilized. This will exceed the parking
555 requirement by 16 spaces. The proposed 38 garages will be integrated into the design of the
556 eight buildings and will not incorporate tandem parking spaces.

557

558 Mr. Miller went on to state that the concept plan includes the public right-of-way for Carmel
559 Circle, which was dedicated with Case No.'s P2006-019 & P2004-068. The applicant is requesting
560 that the City Council abandon this right-of-way as part of this case. If the City Council chooses
561 to approve this request, staff will begin the abandonment process by establishing the fair market
562 value of the right-of-way and offering one-half of the right-of-way to the adjacent property
563 owners. Staff should point out that currently the subject property excludes an outparcel that is
564 situated at the southwest corner of Carmel Circle and La Jolla Pointe Drive, and that the property
565 owner of this outparcel would have the right to purchase a portion of this right-of-way. This
566 could lead to changes in the concept plan at the time of site plan depending on the adjacent
567 property owner's decision to purchase or not purchase the right-of-way.
568

569 Mr. Miller further stated that as part of this submittal, staff has required the applicant to submit a
570 Traffic Impact Analysis. The TIA submitted by the applicant has been forwarded on to the City's
571 consultant for outside review. The building elevations submitted by the applicant show that four
572 different architectural styles will be used for the proposed eight buildings. Each of the buildings
573 will utilize a mixture of stucco, natural cut stone, and brick on the exterior façades, and a
574 combination of standing seam metal and architectural shingles on the roofs. In addition, the
575 elevations conform to the four sided architecture requirements stipulated by the IH-30 Overlay
576 District as stipulated by the UDC. Staff has incorporated these elevations into the Planned
577 Development District Ordinance, and general conformance to these elevations and pending a
578 recommendation by the Architectural Review Board at the time of site plan is a requirement of
579 the proposed zoning district.
580

581
582 Chairman Renfro asked if there were any questions for staff.
583

584 Chairman Renfro asked if it met the current comp plan. Mr. Miller stated it generally conforms to
585 the guidelines stipulated by the comp plan there were a couple of recommendations that staff
586 made that are contained in the case memo that were made to the applicant and they did
587 generally conform to those recommendations with the exception of one of the buildings could
588 have been turned closer to the street however there are significant grade issues and therefor
589 that building had to be angled in that manner. Mr. Miller clarified that the concept plan is a series
590 of guidelines and policies and few requests that come before the Commission meet one hundred
591 percent of the Comp Plan. Chairman Renfro added that the future land use map shows this to be
592 Commercial. Mr. Miller stated that it was according to the future land use map.
593

594 Chairman Renfro had question regarding the number of units of condos/townhomes that may or
595 may not be coming across from subject property in the Harbor District. Mr. Miller stated there is
596 an allowance for 1,164 condominiums or townhomes in the Harbor District.
597

598 Commissioner Trowbridge asked for clarification or examples of what the future land use map
599 use being Commercial could it include retail, or office use. Mr. Miller stated Commercial does
600 allow for retail use
601

602 Commissioner Lyons asked what school district this area belongs to. Mr. Miller stated staff does
603 not deal with the school district to answer that question.
604

605 Chairman Renfro asked applicant to come forward and speak.
606

607 Gene Babb
608 1220 Blue Bell Ct
609 Celina, TX
610

611 Mr. Babb came forward and gave brief description of request stating this is a family owned
612 business and they have several developments throughout Texas including 2,111 units
613 completed to date in DFW with 3, 728 under construction one hundred percent of their equity is
614 internal and use traditional construction loans and have constructed over 50,000 units since
615 1995. He went on to add the highlights of the project with a slide show presentation that
616 showed the price targets, details of units and amenities.
617
618

619 Mr. Babb added that he would not go into great detail as Mr. Miller had already gone thru the
620 information but wanted to address the concerns that have been voiced being the majority of the
621 issues being with traffic, the property becoming section 8, home property devaluation, and
622 crime.

623 Mr. Babb explained that they are currently building in three areas Craig's Ranch in McKinney
624 and the homes in the surrounding area there range from \$300,000 up to \$1,000,000 and have not
625 heard any feedback that their product has affected the home values there and the same goes for
626 the development in Frisco as well as in Prosper. The issue with traffic, they did conduct an
627 independent traffic study and it stated the traffic is not god and is below what it should be and
628 indicated that our apartment complex would not worsen the already problem with traffic that
629 exists currently and states there is a future interchange that is to be installed between Ridge
630 Road and Horizon and when that happens that will provide much needed relief to this area. With
631 concern to the property getting sold and it becoming a Section 8 community, there are laws in
632 place that would not allow that anytime a Section 8 community is going to be built it has to be
633 hammered out prior to development it cannot be something that is retroactive after the
634 community is built. Mr. Babb went on to add that with the concern of increased crime,
635 statistically is shown that there is more crime in a commercial area, but with the target area for
636 tenants that they have, the credit requirements that are required it will be a high level tenant. Mr.
637 Babb added that Mr. Fred Hazel, the company vice president as well as engineers from the Davis
638 Company that are present if there were any additional questions.

639
640 Chairman Renfro asked for questions for applicant from Commission.

641
642 Commissioner Trowbridge asked if the units would be three and four stick built stories, would
643 any be basement units and are the hallways enclosed and air-conditioned. Mr. Babb stated there
644 would be no basement units and the hallways would be open and wide which provide a lot of air
645 circulation and also have ceiling fan.

646
647 Commissioner Trowbridge asked what the average cost of units would be. Mr. Babb stated it is
648 1,032 square feet average and at a \$1.30 a foot that translates to roughly \$1,350 a month with
649 some of the larger units would increase.

650
651 Commissioner Logan asked for clarification of the traffic study with it being at a graded level of
652 F which is the worst it can be, and in knowing that why are they opting for this particular
653 location where the traffic is so bad already. Mr. Babb stated traffic is bad everywhere and
654 coming from Atlanta where it is worse, feels traffic for a multi-family is not bad, they like the
655 drive by that comes with traffic and are counting on the future plan for the interchange that will
656 relieve some of the traffic.

657
658 Commissioner Fishman asked if they would be retaining ownership over the long term. Mr. Babb
659 stated it was a hard question to answer as sometimes they do and sometimes they don't
660 although they don't build to sell, but being a private company and often times they have private
661 investors that want to purchase their communities and they will sell them and Mr. Davis will re-
662 invest that money back into the company.

663
664 Fred Hazel
665 407 Oxmoor Lake Drive
666 McDonough, GA
667

668
669 Mr. Hazel came forward came forward and stated to answer that question directly, the
670 community may be sold but would like to point out that the proposed community is what they
671 consider investment grade asset given the rents, the cost to construct, the amenities, if it were
672 sold you would have someone paying a lot of money and therefor you would have someone that
673 is going to maintain the property to maintain the quality of the asset.

674
675
676 Chairman Renfro opened the public hearing and asked if anyone who wished to speak to come
677 forward and do so.

678
679
680

681 Fred Mosley
682 2030 Pontchatrain Dr.
683 Rockwall, TX
684

685 Mr. Mosley stated opposition due to the paramount issue being traffic in and out for the people
686 that already live here he has lived at Lakeside Village for the last ten years. Feels it is a challenge
687 today and adding 500-600 vehicles plus service vehicles coming in and out it is going to be near
688 impossible and would like to see their independent study challenged.
689

690 Austin Greenberg
691 3400 Water View
692 Rockwall, TX
693

694 Mr. Greenberg stated he is in opposition of request due to traffic, wants it to stay commercial
695 and although the developer mentioned construction in other communities they are larger
696 communities not one as small as Rockwall. He is also concerned with the school overcrowding
697 this development will add to the school district.
698

699 Kristen Minth
700 3406 Lakeside Drive
701 Rockwall, TX
702

703 Ms. Minth came forward expressed and expressed opposition this development was not
704 preplanned. Transition is not needed it is zoned commercial for a reason and feels it needs to
705 stay as such.
706

707 Nick Nichols
708 3927 Mediterranean
709 Rockwall, TX
710

711 Mr. Nichols expressed opposition due to the impact it will have on the already big problem with
712 the traffic situation. Also impact the construction will have on this area, and also the problem it
713 will cause to accommodate new students that will come.
714

715 Jack Willard
716 3106 Village Dr.
717 Rockwall, TX
718

719 Mr. Willard expressed opposition due to the debris/trash that will be generated off of the parking
720 lot as well as concern with security. Also expressed this will have a negative impact on house
721 value.
722

723 Tina Goltia
724 3311 Lakeside Dr.
725 Rockwall, TX
726

727 Ms. Goltia expressed opposition to the request, moved here from Florida, chose Rockwall due to
728 the quality of schools, sense of community, unique feel town and is concerned with losing the
729 commercial area feel which is the main reason she chose Rockwall, urged the Commission to
730 vote against.
731

732 Sean Phiffer
733 3405 Water View
734 Rockwall, TX
735

736 Mr. Phiffer expressed opposition to the request, feels it is not adequate area it will cause traffic,
737 feels this area should stay commercial and also will cause added crowding to schools.
738
739

740 Bobby Moore
741 4105 Cabana Court
742 Rockwall, TX

743 Mr. Moore came forward and stated opposition due to traffic issues it will create. Also the issues
744 with overcrowding of the schools. He also expressed concern with water runoff it will create.
745 Safety concern with the railroad being nearby as well as the devaluation of house value will be
746 affected.

747
748 Pam Watkins
749 3620 Lakeside Dr.
750 Rockwall, TX

751
752 Ms. Watkins came forward and stated she has lived in Rockwall for the last twenty years and
753 expressed her opposition of the request feels this development does not need to lose the
754 commercial zoning. Also spoke with many people in Lakeside Village who could not be present
755 but asked she express their opposition as well.

756
757 Pam Griffin
758 2324
759 Rockwall, TX

760
761 Ms. Griffin came forward and expressed her opposition with concern for school overcrowding
762 this added development will add. Also is concerned with the safety of their amenities.

763
764 Randall Sanders
765 2920 Starboard
766 Rockwall, TX

767
768 Expressed opposition due to the traffic it will create as well as school overcrowd

769
770 Linda Allen
771 3510 Village Drive
772 Rockwall, TX

773
774 Ms. Allen came forward and expressed opposition due to the noise and light pollution as well as
775 school overcrowding.

776
777 Julie Ballantine
778 3018 Bayside Drive
779 Rockwall, TX

780
781 Ms. Ballantine expressed opposition due to the negative impact it will bring to home values
782 surrounding the development.

783
784 Jerry Gardner
785 3412 Augusta Blvd.
786 Rockwall, TX

787
788
789 Mr. Gardner expressed his opposition due to the overcrowding it will add to the area.

790
791 Erv Slovak
792 3322 Augusta Blvd.
793 Rockwall, TX

794
795 Expressed opposition to the request expressed concern with the look of the development.

796
797 Roger Williamson
798 3402 & 3404 Lakeside Dr.
799 Rockwall, TX

800
801 Expressed concern with what drainage issues this will cause, there is already water and flooding
802 issues in Lakeside Village from water running down the hill. As well as the traffic issue.

803
804

805 Paul Hustins
806 3313 Lakeside Drive
807 Rockwall, TX
808

809 Mr. Hustins came forward and stated opposition due to traffic issues this will create. Also added
810 he agrees with all other concerns that have been voiced.
811

812
813 Dick Clark
814 2917 Saratoga Drive
815 Rockwall, TX
816

817 Mr. Clark came forward and expressed opposition due to the traffic and property values will be
818 affected as well.
819

820
821 Jackie McLary
822 3622 Lakeside Drive
823 Rockwall, TX
824

825 Mr. McLary came forward and stated opposition due to traffic issues it will create.
826
827

828 Dick Clark
829 2917 Saratoga Drive
830 Rockwall, TX
831

832 Mr. Clark came forward and expressed opposition due to the traffic and how the property values
833 will be affected.
834

835
836 Mike Crawford
837 3620 Lakeside Dr.
838 Rockwall, TX
839

840 Mr. Crawford came forward and stated opposition to the request.
841
842

843 Janell Baker
844 3616 Hilltop Circle
845 Rockwall, TX
846

847 Ms. Baker expressed opposition to request due to the overcrowding of the schools this will
848 cause.
849

850
851 Jim Kirby
852 13330 Noel Rd. #622
853 Dallas, TX
854

855 Mr. Kirby expressed opposition due to the problem of water detention the construction of this
856 development will create to the Lakeside Village subdivision.
857

858
859 Phillip Ruais
860 5900 S. Lake Forest Dr. Suite 200
861 Dallas, TX
862

863 Mr. Ruais who stated he is the representative and attorney for Landa Properties property owner
864 of the small square surrounding area of subject property, and stated she is in opposition due to
865 her no longer having an access point to her property on this road she would be required to
866 create a new access point of La Jolla which will make for further traffic problems.

867 Chairman Renfro asked staff to clarify that and asked staff to interject. Mr. Miller stated if that
868 right of way is abandoned his property owner would have the ability to purchase one half of that
869 right away should they decline then it would revert back to, and this is only if it approved, the
870 Davis Development Group but they wouldn't be restricted to access to this property she would
871 get a drive access point off of La Jolla Point.

872
873 Mr. Ruais added that they would have to use a portion of their property for access in a
874 multifamily use as opposed to a commercial development and urges the Commission to deny
875 the request.

876
877 Terry Nevitt
878 201 Becky Lane
879 Rockwall, TX

880
881 Ms. Nevitt expressed opposition to request feels there are already the needed apartments for
882 Rockwall, and is concerned with property values as well as traffic.

883
884 Chairman Renfro closed the public hearing and asked the applicant to come forward and offer a
885 rebuttal.

886
887 Mr. Hazel came forward and had addressed comments made of tenants not paying property
888 taxes paid to the community but the community pays taxes. Concerning the issue with light and
889 noise pollution, met with mayor before coming forward and also met with the HOA communities,
890 once constructed visibility will be hard from the neighboring residents. Also there will be storm
891 water studies that will be done to address any water detentions. With concern with the traffic
892 issue, there was a third party review that was done on their independent traffic study.
893 The security-it is a gated community and therefor feels his tenants will not be motivated to
894 trespass into adjoining comminutes to use their amenities.

895
896 Chairman Renfro brought the item back to the Commission for discussion.

897
898 Commissioner Trowbridge made comment concerning traffic that although it is zoned
899 commercial and any other building will create traffic as well, the question needs to be what
900 needs to be approved for the land use.

901
902 Commissioner Logan stated that she reviewed the traffic study that the developer provided and
903 the City took the time to have it analyzed by a third party but her concern remains that the
904 survey states that it already has the lowest grade possible and it this development would add
905 and doesn't feel she could support request.

906
907 Commissioner Lyons stated concerns traffic it would cause, feels traffic should be alleviated
908 before considering a proposal such as this. Also concerned with the impact it will have on the
909 overcrowding of the schools. He also expressed concern of thinking of what possibly could be
910 brought forth if not this.

911
912 Chairman Renfro stated he has faith in the traffic study and there is no way to know whether or
913 not it would affect the property value expressed concerns with the condos already approved at
914 the Harbor what will happen to existing apartment complexes if yet another one is approved.

915
916 Commissioner Whitley made comment concerning traffic and feels it should be considered and
917 concerns of that of the citizens cannot be minimized. What can be proposed in the future should
918 be considered as well, if a strip mall comes in and sooner or later something will be developed
919 on this property.

920
921 Commissioner McCutcheon expressed same general feeling of fellow Commissioners feels this
922 is not the right land use for this particular property to change the use for residential where he
923 feels the majority of people leave that needs to be considered and although it is a good product
924 it is not the right location.

925
926 Commissioner Fishman expressed that although it is a good product feels how it will affect the
927 long term use and there is a need to respect the opinion of the already existing residents and if
928 there is such a strong opposition, that needs to be taken into consideration.

929 Chairman Renfro asked for any further discussion or motion.

930
931 Commissioner McCutcheon made motion to deny request. Commissioner Lyons seconded the
932 motion, which passed for denial with a vote of 6-1 with Commissioner Trowbridge dissenting.
933

934
935 IV. ACTION ITEMS
936

937 7. SP2016-005
938 Discuss and consider a request by Jay Holman & Don Silverman of Rockwall 205-552, LLC for the
939 approval of site plan for a retail building on a 1.231-acre portion of a larger 9.183-acre tract of land
940 identified as Tract 4-1 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County,
941 Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV)
942 District, located at the northwest corner of the intersection of SH-205 [N. Goliad Street] and FM-552,
943 and take any action necessary.
944

945 Planner, Korey Brooks, gave brief explanation of request stating On March 11, 2016, the
946 applicant submitted an application for a site plan showing the proposed layout of an 11,334 SF
947 retail building on a 1.231-acre parcel of land. The subject property is located north of the
948 northwest corner of the intersection of North Goliad Street and FM 552, and is zoned General
949 Retail within the North SH-205 Overlay District.
950

951 Mr. Brooks explained that according to Section 4.4, General Retail District, of Article V,
952 Development Standards, of the Unified Development Code, the proposed use is permitted by-
953 right in the General Retail District, and will not require any additional approvals by the Planning
954 and Zoning Commission. The submitted site plan, building elevations, landscape plan, and
955 photometric plan conform to the technical requirements contained within the Unified
956 Development Code for properties located in a General Retail District and located within the N.
957 SH-205 Overlay District
958

959 Mr. Brooks added that on March 29, 2016, the Architectural Review Board reviewed the proposed
960 site plan and building elevations. The ARB stated that the proposed design of the building did
961 not meet the intent of standards stipulated in the North SH-205 Overlay District and asked the
962 applicant to make revisions to the building elevation, specifically the rear elevation of the
963 building needs additional articulation and architectural consideration. This was being requested
964 because this building will be situated in the development so that all four sides are visible. The
965 applicant has submitted revisions for the ARB and staff to review.
966

967 Chairman Renfro asked for any questions for staff or applicant there being none Chairman
968 Renfro asked for discussion or a motion.
969

970 Commissioner McCutcheon made motion to approve the item with staff recommendations
971 Commissioner Trowbridge seconded the motion, which passed by a vote of 7-0.
972

973
974 V. DISCUSSION ITEMS
975

- 976 8. Director's Report of post Council meeting outcomes of Planning & Zoning cases.
977
978 ✓ P2016-006: Breezy Hill, Phase VII [Approved]
979 ✓ P2016-007: Breezy Hill, Phase VI [Approved]
980 ✓ P2016-009: Lots 1 & 2, Block H, Lake Rockwall Estates, East Addition [Approved]
981 ✓ P2016-010: Preliminary Plat for Saddle Star Estates [Approved]
982 ✓ P2016-011: Master Plat/Open Space Plan for Saddle Star Estates [Approved]
983 ✓ Z2016-006: SUP for a Carport at 303 Renfro Drive (1st Reading) [Approved]
984 ✓ Z2016-007: Zoning Change AG to GR for 5205 S. FM-549 (1st Reading) [Withdrawn by Applicant]
985 ✓ MIS2016-005: Masonry Exception for 508 St. Mary's Street [Approved]
986 ✓ MIS2016-006: Special Exception Request for 120 Blanche Drive [Approved]
987
988

989 Planning Director, Ryan Miller, provided a brief update about the outcome of the above
990 referenced case at the City Council meeting. The Commission did not have any questions
991 concerning this agenda item.
992

993
994 VI. ADJOURNMENT

995
996 Meeting adjourned at 10:06 p.m.
997
998
999

1000
1001 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL,
1002 Texas, this _____ day of _____, 2016.

1003
1004
1005 _____
1006 Craig Renfro, Chairman
1007

1008 Attest:

1009 _____
1010 Laura Morales, Planning Coordinator
1011
1012

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 04/26/2016

APPLICANT: Alexander Menjivar and Daniel & Lidia Mendez

AGENDA ITEM: **P2016-013**; *Lots 1&2, Block A, Mendez Addition*

SUMMARY:

Discuss and consider a request by Alexander Menjivar and Daniel & Lidia Mendez for the approval of a final plat for Lots 1 & 2, Block A, Mendez Addition being a five (5) acre tract of land identified as Tract 2 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5143 SH-276, and take any action necessary.

PLAT INFORMATION:

- The objective of this request is to subdivide one (1) tract of land (*i.e. Tract 2 [5.06-acres], of the J. H. Bailey Survey Abstract No. 45*) into two (2) parcels of land (*i.e. Lot 1 [approx. 1 acre] & Lot 2 [approx. 4.06 acres]*), for the purpose of conveying Lot 2.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for replats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

RECOMMENDATIONS:

Staff recommends approval of the final plat for *Lots 1 & 2, Block A, Mendez Addition*, in conformance with the following conditions of approval:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *final plat* shall conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2016-013	Owner FENTER, LULA M	Applied 4/14/2016 LM
Project Name 5143 HWY 276	Applicant LIDIA MENDEZ	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status STAFF REVIEW		Status 4/14/2016 LM

Site Address 5143 HWY276	City, State Zip ROCKWALL, TX 75032	Zoning
------------------------------------	--	---------------

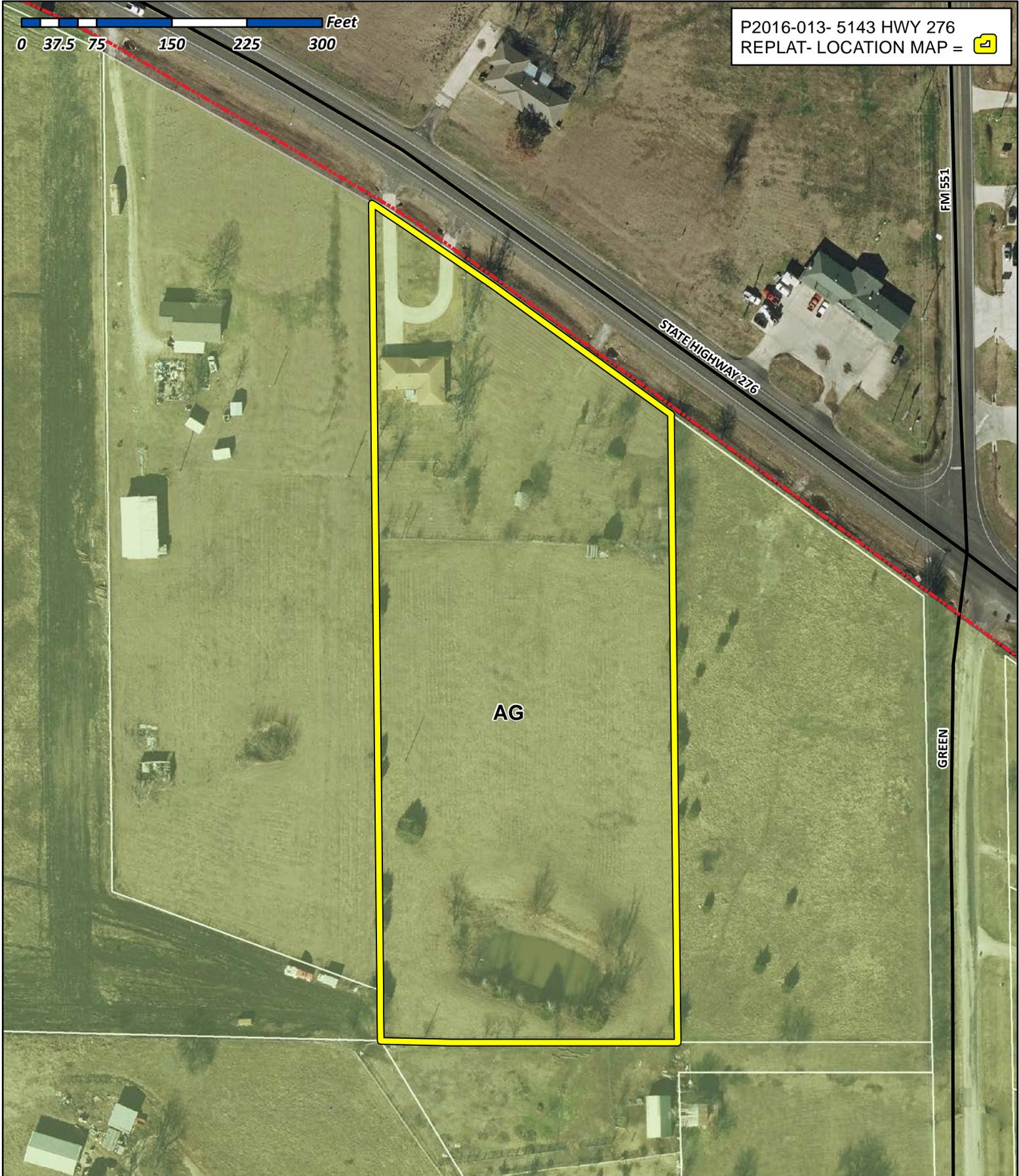
Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	2	NULL	2	0045-0000-0002-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
ENGINEERING (4/19/2016 11:41 AM AW) Dedicate right-of-way along SH 276 (60' total from the centerline of the existing SH 276) Tie at least 2 corners of the property to City of Rockwall monumentation (x and y coordinates)	Amy Williams	4/14/2016	4/21/2016	4/19/2016	5	COMMENTS	See Comment
FIRE	Ariana Hargrove	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
GIS	Lance Singleton	4/14/2016	4/21/2016	4/21/2016	7	APPROVED	
PLANNING	Korey Brooks	4/14/2016	4/21/2016	4/22/2016	8	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2016-013 (Lots 1 & 2, Block A, Mendez Addition): Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request for the approval the approval of a final plat for Lots 1 & 2, Block A, Mendez Addition being a five (5) acre tract of land identified as Tract 2 of the J H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5143 SH-276						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2016-013) in the lower right hand corner of all pages on future submittals.						
M.4 Please change the title block as follows:						
<p style="text-align: center;">Final Plat Lots 1 & 2, Block A Mendez Addition 2 Lots, Being 5.06 Acres J. H. Bailey Survey, Abstract No. 45 City of Rockwall Rockwall County, Texas</p>						
M.5 Please show and label 25-foot build lines where adjacent to a street.						
M.6 Please label the right-of-way- wide and street centerline for each street within and adjacent to the development.						
M.7 Please check the direction of the coordinate on the East Property Line. It currently says "S° 27' 25 W 626.10". This is actually pointing south not west.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by May 3, 2016. The Planning & Zoning meeting date for this case will be May 10, 2016.						
I.9 The projected City Council meeting date and subsequent approval for this plat is May 16, 2016.						

0 37.5 75 150 225 300 Feet

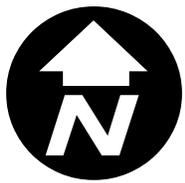
P2016-013- 5143 HWY 276
REPLAT- LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS DANIEL R. MENDEZ and LIDIA MENDEZ, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the JOHN H. BAILEY, JR SURVEY, ABSTRACT NO. 45, Rockwall County, Texas, and being all of a tract of land as described in a Gift Warranty deed from Lula May Fenter to Sheila F. Peoples and Deborah J. Wrobel, dated January 15, 2014 and being recorded in Document number 2014000000630 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1" iron pipe found for corner in the southwest right-of-way line of SH 276, at the northeast corner of said Peoples and Wrobel tract, said point also being the northwest corner of a tract of land as described in a Warranty deed to Martin Ramirez and Teresa Ramirez, as recorded in Volume 614, Page 120 of the Real Property Records of Rockwall County, Texas;

THENCE S. 00 deg. 27 min. 25 sec. W. a distance of 626.10 feet to a 1/2" iron pipe found for corner;

THENCE N. 89 deg. 02 min. 51 sec. W. a distance of 296.33 feet to a 1' iron pipe found for corner;

THENCE N. 00 deg. 28 min. 42 sec. W. a distance of 50.33 feet to a 1 1/2" iron pipe found for corner;

THENCE N. 00 deg. 00 min. 27 sec. E. a distance of 790.71 feet to a 1/2" iron pipe found for corner in the southwest right-of-way line of SH 276;

THENCE in a southeasterly direction along a curve to the right having a central angle of 03 deg. 39 min. 20 sec, a radius of 2804.79 feet, a tangent of 89.51 feet, a chord of S. 54 deg. 56 min. 08 sec. E., 178.92 feet along said right-of-way line, an arc distance of 178.95 feet to a concrete TXDOT monument found for corner;

THENCE S. 52 deg. 57 min. 33 sec. E. along said right-of-way line, a distance of 194.37 feet to the POINT OF BEGINNING and containing 220,496 square feet or 5.06 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as MENDEZ ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner of any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

DANIEL R. MENDEZ _____

LIDIA MENDEZ _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DANIEL R. MENDEZ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared LIDIA MENDEZ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of MENDEZ ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____

City Secretary City of Rockwall _____

City Engineer _____

Date _____

FINAL PLAT
MENDEZ ADDITION

5.06 ACRES OR 220496 S.F.
(2 LOTS)

J.H. BAILEY SURVEY, A-45
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
DANIEL R. MENDEZ
LIDIA MENDEZ
5143 HWY 276
ROCKWALL, TEXAS 75032

SYMBOL LEGEND	
⊗ TV	⊗ GAS
⊗ TELEVISION CABLE BOX	⊗ PHONE
⊗ METER	⊗ HYDRANT
⊗ ELEC. METER	⊗ LIGHT POLE
⊗ ELEC. BOX	⊗ REF. IRON ROD FOUND
⊗ SUBSURFACE JUNCTION BOX	⊗ CORNER
⊗ WATER METER	⊗ PREPARE TANK
⊗ FENCE	⊗ EASEMENT LINE
⊗ PROPERTY LINE	⊗

SURVEY DATE APRIL 15, 2016
SCALE 1" = 60' FILE # 20150134-FP
CLIENT MENDEZ

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 04/26/2016

APPLICANT: Daniel Stewart of Cates-Clark & Associates, LP

AGENDA ITEM: P2016-014 (*Rooms To Go; Final Plat*)

SUMMARY:

Discuss and consider a request by Daniel Stewart of Cates-Clark & Associates, LP on behalf of Jeff Finkel of Seaman Development Corporation for the approval of a final plat for Lot 1, Block 1, Rockwall-Pine Addition being a 3.642-acre portion of a larger 14.07-acre tract of land identified as Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 920 E. IH-30, located southwest of the intersection of Kyle Drive and the E. IH-30 frontage road and take any action necessary.

COMMENTS:

- ✓ The objective of the request is to subdivide a 14.07-acre tract of land creating a 3.642-acre lot for the development of a 40,590 sq. ft. retail facility. The remainder of the land will continue to be vacant. The final plat will establish the necessary fire lane, public access, utility, detention and drainage easements for the new development. A site plan was approved in February of this year for the development of a Room To Go furniture retailer.
- ✓ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions listed in the *Recommendations* section below.
- ✓ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the request for final plat, staff would recommend the following conditions of approval:

- 1) All staff comments (*Project Plan Review*) provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit and to include the following additional Planning comments;
 - a. That adherence to Engineering and Fire Department standards shall be required, and
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



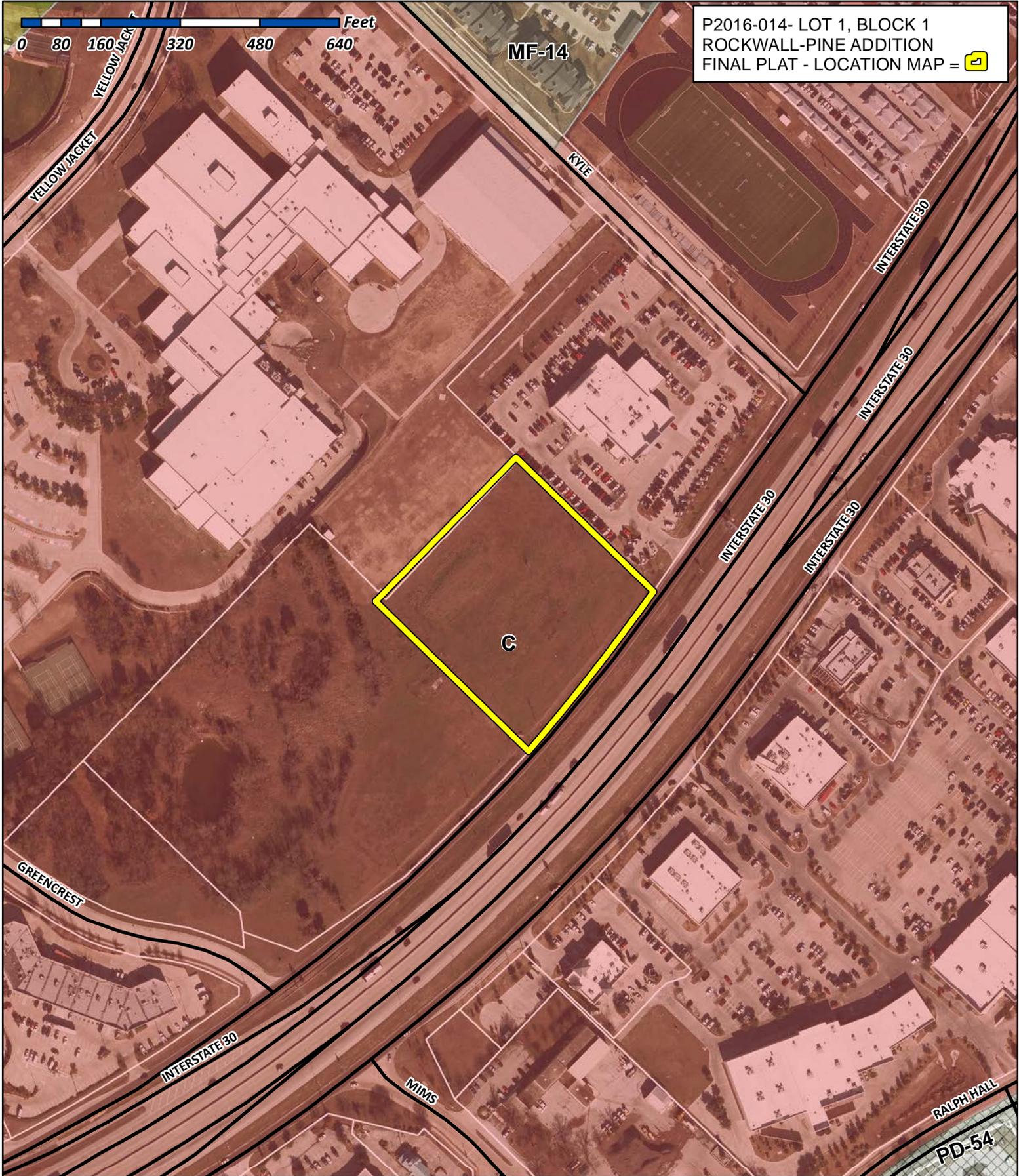
Project Number P2016-014	Owner SEAMAN DEVELOPMENT CORPORATION	Applied 4/14/2016 LM
Project Name Rooms To Go	Applicant CATES-CLARK & ASSOCIATES, LLP	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 4/14/2016 LM

Site Address I30	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision HERITAGE BPG ADDITION	Tract 4	Block NULL	Lot No 4	Parcel No 0145-0000-0004-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
ENGINEERING (4/19/2016 11:47 AM AW) Need the off-site sanitary sewer easement filed prior to approval of the final plat	Amy Williams	4/14/2016	4/21/2016	4/19/2016	5	COMMENTS	See Comment
FIRE	Ariana Hargrove	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
GIS	Lance Singleton	4/14/2016	4/21/2016				
PLANNING	David Gonzales	4/14/2016	4/21/2016	4/19/2016	5	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Daniel Stewart of Cates-Clark & Associates, LP on behalf of Jeff Finkel of Seaman Development Corporation for the approval of a final plat for Lot 1, Block 1, Rockwall-Pine Addition being a 3.642-acre portion of a larger 14.07-acre tract of land identified as Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 920 E. IH-30, located southwest of the intersection of Kyle Drive and the E. IH-30 frontage road and take any action necessary.</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday, May 3, 2016. Please provide three large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:</p>						
<ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-014" on the lower right corner on all pages of the revised plat. 3. Provide Vol__ & Pg__ for 15' offsite sanitary sewer easement. 4. Surveyor's Certificate - Notary not necessary when stamped by surveyor. 						
<p>** As a note and once the plat has been approved by the Planning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved by staff prior to plat submittal on mylar for filing purposes. **</p>						
<p>Meeting Dates to Attend (Since this plat request will be placed on the Consent Agenda for both the Planning and City Council meetings, it is not necessary for you to attend; however, staff would recommend that someone be present for the meetings. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.</p>						
<p>Planning - Action: April 26, 2016 (6:00 p.m.)</p>						
<p>City Council - Action: May May 2, 2016 (6:00 p.m.)</p>						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

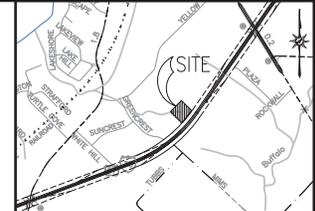
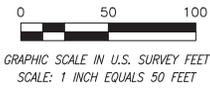
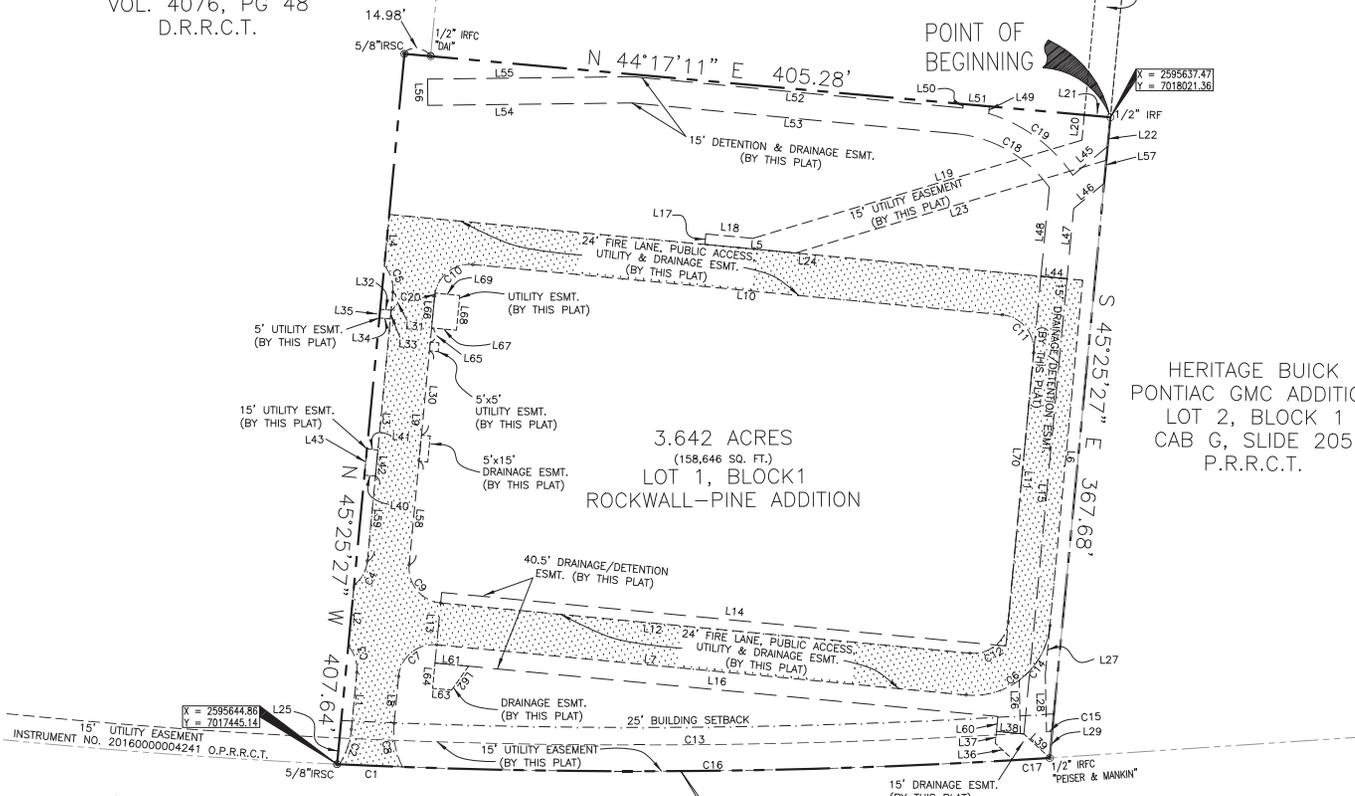


REMAINDER OF
CALLED 14.45 ACRES
ROCKWALL RENTAL PROPERTIES LP
VOL. 4076, PG 48
D.R.R.C.T.

CALLED 33.295 ACRES
LOT 2, BLOCK 1
ROCKWALL HIGH SCHOOL ADDITION
SLIDE H, PAGE 5
P.R.R.C.T.

3.642 ACRES
(158,846 SQ. FT.)
LOT 1, BLOCK 1
ROCKWALL-PINE ADDITION

HERITAGE BUICK
PONTIAC GMC ADDITION
LOT 2, BLOCK 1
CAB G, SLIDE 205
P.R.R.C.T.



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	3668.90'	36.13'	36.13'	S 41°32'17" W	0°33'51"
C2	45.00'	21.31'	21.11'	S 31°51'36" E	2°07'42"
C3	20.00'	16.29'	15.84'	S 68°45'05" E	46°39'16"
C4	20.00'	16.29'	15.84'	S 22°05'49" E	46°39'16"
C5	20.00'	16.29'	15.84'	S 68°45'05" E	46°39'16"
C6	44.00'	69.12'	62.23'	N 00°25'24" W	90°00'05"
C7	20.00'	31.42'	28.28'	N 00°25'27" W	90°00'00"
C8	45.00'	25.68'	25.34'	S 61°46'29" E	32°42'05"
C9	20.00'	31.42'	28.28'	S 89°34'33" W	90°00'00"
C10	20.00'	31.42'	28.28'	S 00°25'27" E	90°00'00"
C11	20.00'	31.42'	28.28'	S 89°34'33" W	90°00'01"
C12	20.00'	31.42'	28.28'	N 00°25'27" W	90°00'00"
C13	3654.86'	389.38'	389.20'	N 38°46'39" E	6°06'15"
C14	44.00'	36.85'	35.78'	S 21°25'50" E	47°59'13"
C15	3654.86'	3.28'	3.28'	S 35°27'52" W	0°03'05"
C16	3669.86'	407.65'	407.44'	N 38°39'31" E	6°21'52"
C17	3669.86'	20.74'	20.74'	S 35°38'18" W	0°19'26"
C18	74.58'	61.33'	61.33'	S 69°09'20" W	48°33'14"
C19	89.58'	80.78'	59.62'	S 75°23'17" W	38°52'28"
C20	20.00'	1.72'	1.72'	N 42°57'35" W	4°55'45"

LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 45°25'27" E	32.71'	L36	N 81°57'48" E	14.17'
L2	S 45°25'27" E	34.91'	L37	S 45°25'27" E	6.84'
L3	S 45°25'27" E	154.20'	L38	S 44°34'33" W	15.75'
L4	N 45°25'27" W	29.46'	L39	S 81°57'48" E	20.14'
L5	S 44°34'33" W	398.27'	L40	N 44°34'33" E	6.27'
L6	S 45°25'27" E	198.20'	L41	N 44°34'33" E	6.27'
L7	N 44°34'33" E	304.00'	L42	N 45°25'27" W	15.00'
L8	N 45°25'27" W	27.00'	L43	N 45°25'27" W	15.00'
L9	N 45°25'27" W	154.20'	L44	N 44°34'33" E	15.00'
L10	S 44°34'33" W	304.00'	L45	N 00°25'27" W	25.87'
L11	N 45°25'27" W	154.20'	L46	N 00°25'27" W	22.63'
L12	N 44°34'33" E	304.00'	L47	N 45°25'27" W	40.28'
L13	N 45°25'27" W	40.50'	L48	N 45°25'27" W	50.99'
L14	S 44°34'33" W	324.00'	L49	S 45°25'27" E	4.11'
L15	N 45°25'27" W	261.23'	L50	S 45°25'27" E	2.31'
L16	S 44°34'33" W	323.25'	L51	S 44°34'33" W	15.00'
L17	N 45°25'27" W	6.00'	L52	N 44°34'33" E	187.17'
L18	S 44°34'33" W	26.91'	L53	S 44°34'33" W	186.33'
L19	S 22°33'29" W	196.41'	L54	N 38°28'40" E	116.72'
L20	S 45°25'27" E	14.49'	L55	S 38°28'40" W	117.52'
L21	N 44°17'11" E	15.00'	L56	S 51°31'20" E	15.00'
L22	S 45°25'27" E	24.68'	L57	S 45°25'27" E	21.21'
L23	N 22°33'29" E	185.44'	L58	S 45°25'27" E	59.42'
L24	S 44°34'33" W	52.09'	L59	N 45°25'27" W	48.60'
L25	N 45°25'27" W	15.01'	L60	N 45°25'27" W	8.57'
L26	S 51°59'46" E	30.46'	L61	S 44°34'33" W	19.26'
L27	S 45°25'27" E	27.93'	L62	N 15°25'27" W	16.78'
L28	N 51°59'46" W	32.90'	L63	N 44°34'33" E	10.87'
L29	N 45°25'27" W	15.19'	L64	N 45°25'27" W	14.53'
L30	N 45°25'27" W	48.38'	L65	N 45°25'27" W	8.12'
L31	N 45°25'27" W	10.40'	L66	N 45°25'27" W	18.28'
L32	S 44°34'33" W	6.27'	L67	N 44°34'33" E	14.25'
L33	N 45°25'27" W	5.00'	L68	N 45°25'27" W	20.00'
L34	N 44°34'33" E	6.27'	L69	N 44°34'33" E	14.18'
L35	S 45°25'27" E	5.00'	L70	N 45°25'27" W	212.17'

$\Delta = 6^{\circ}21'52''$
 $A = 407.65'$
 $R = 3669.86'$
 $CB = S38^{\circ}39'31''W$
 $CH = 407.44'$

INTERSTATE 30
300 FOOT RIGHT-OF-WAY
VOL. 59, PG.226
D.R.R.C.T.

- NOTES:**
- Coordinates and bearings are based on NAD-83 Texas State Plane Coordinates - Texas North Central Zone 4202 per City of Rockwall Reference Monument - Reset R005-1.
 - Building setbacks are determined by zoning regulations.
 - Easements shown are created by this plat, unless otherwise noted.
 - There were no cemeteries observed on the property.

LEGEND

IRFC = Iron Rod Found with cap
 IRSC = Iron Rod Set with cap stamped "ADAMS SURVEYING 5610"
 XS = Cut "X" Set
 XF = Cut "X" Found
 L.E. = Landscape Easement
 P.R.D.C.T. = Plat Records of Rockwall County, Texas
 R.P.R.D.C.T. = Real Property Records of Rockwall County, Texas
 R.O.W. = Right-Of-Way
 = Proposed Fire Lane, Public Access, Utility, & Detention Easement

ENGINEER
 CATES-CLARK & ASSOCIATES, LLC
 14800 QUORUM DRIVE, SUITE 200
 DALLAS, TEXAS 75254
 PH: (972) 385-2272
 CONTACT: Daniel Stewart, P.E., LEED, G.A.
 Email: dstewart@clark-cates.com

OWNER
 ROCKWALL RENTAL PROPERTIES, LP
 P.O. BOX 818
 TERRELL, TEXAS 75160
 PHONE: 214-869-5862
 CONTACT: Randall Noe

SURVEYOR
 ADAMS SURVEYING COMPANY, LLC
 P.O. BOX 260392
 PLANO, TEXAS 75026
 PH: (469) 317-0250
 CONTACT: Philip Adams, R.P.L.S.
 Email: padams@txasc.com

FINAL PLAT
 LOT 1, BLOCK 1
 ROCKWALL-PINE ADDITION
 BEING 3.642 ACRES
 IN THE
 J.D. McFARLAND SURVEY, ABSTRACT NO. 145
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 MARCH 30, 2016

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ROCKWALL RENTAL PROPERTIES LP, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract or parcel of land situated in the J.D. McFARLAND SURVEY, ABSTRACT NO. 145, City of Rockwall, Rockwall County, Texas and being a portion of a called 14.45 acre tract of land described in a deed to Rockwall Rental Properties LP as recorded in Volume 4076, Page 48 of the Deed Records of Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the most easterly northeast corner of said Rockwall Rental tract, same being a southeast corner of Lot 2, Block 1 of Rockwall High School Addition, an addition to the City of Rockwall, as recorded in Slide H, Page 5 of the Plat Records of Rockwall County, Texas (P.R.R.C.T.) and also being in the southwest line of Lot 2, Block 1 of Heritage Buick-Pontiac-GMC Addition, an addition to the City of Rockwall, as described in a plat recorded in Cabinet G, Page 205 (P.R.R.C.T.);

THENCE S 45°25'27" E, coincident with the most easterly northeast line of said Rockwall Rental tract and the southwest line of said Heritage tract, a distance of 367.68 feet to a 1/2 inch iron rod found with a red plastic cap stamped "Peiser & Mankin" for the common southeast corner of said Rockwall Rental tract and the southwest corner of said Heritage tract, in a non-tangent curve to the right in the north Right-of-Way (ROW) line of Interstate 30 (300 foot ROW) as described in a deed to the State of Texas recorded in Volume 59, Page 226 D.R.R.C.T. with a radius of 3669.86 feet, a delta angle of 06°21'52", and a chord that bears S 38°39'31" W, a distance of 407.44 feet;

THENCE along the southeast line of said Rockwall Rental tract, same being the north ROW line of said Interstate 30 an arc length of 407.65 feet to a 5/8 inch iron rod set for corner with a pink plastic cap stamped "Adams Surveying Company LLC" therein;

THENCE N 45°25'27" W, leaving said ROW line, a distance of 407.64 feet to a 5/8 inch iron rod set for corner with a pink plastic cap stamped "Adams Surveying Company LLC";

THENCE N 44°17'11" E, passing a 1/2 inch iron rod found with a yellow plastic cap stamped "DAI" at a southwest corner of said Rockwall High School tract at a distance of 14.98 feet and continuing on coincident with a northwest line of said Rockwall Rental tract and a southeast line of said Rockwall High School tract for a total distance of 405.28 feet to the POINT OF BEGINNING and containing 3.642 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We Rockwall Rental Properties LP, a Texas limited Liability Partnership, the undersigned owner(s) of the land shown on this plat, and designated herein as the ROCKWALL-PINE ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ROCKWALL-PINE ADDITION subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with thererequired base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progresspayments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- Property owner is responsible for all maintenance, repair, and/or replacement of all detention/drainage systems.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Randall Noe, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____th day of _____, 2016.

Notary Public in and for the State of Texas
[IF APPLICABLE:]

My Commission Expires

Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Randall Noe, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My Commission Expires

GENERAL NOTES

1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, David A. Minton, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Surveyor Signature

RPLS No.

Before me, the undersigned authority, on this day personally appeared David A. Minton, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My Commission Expires

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____th day of _____, 2016. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____th day of _____, 2016.

Mayor, City of Rockwall

City Secretary

City Engineer

FINAL PLAT

LOT1, BLOCK1
ROCKWALL-PINE ADDITION

BEING 3.642 ACRES
IN THE

J.D. McFARLAND SURVEY, ABSTRACT NO. 145
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

MARCH 30, 2016

ENGINEER
CATES-CLARK & ASSOCIATES, LLC
14800 QUORUM DRIVE, SUITE 200
DALLAS, TEXAS 75254
PH: (972) 385-2272
CONTACT: Daniel Stewart, P.E., LEED, G.A.
Email: dstewart@cates-clark.com

OWNER
ROCKWALL RENTAL PROPERTIES, LP
P.O. BOX 818
TERRELL, TEXAS 75160
PHONE: 214-869-5862
CONTACT: Randall Noe

SURVEYOR
ADAMS SURVEYING COMPANY, LLC
P.O. BOX 260392
PLANO, TEXAS 75026
PH: (469) 317-0250
CONTACT: Philip Adams, R.P.L.S.
Email: padams@txasc.com

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 04/26/2016

APPLICANT: Jimmy Strohmeyer; *Strohmeyer Architects, Inc.*

AGENDA ITEM: P2016-015; Lots 1&2, Block A, *JBR2 Addition*

SUMMARY:

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of JBR-2, LLC for the approval of a final plat for Lots 1 & 2, Block A, JBR2 Addition being a 7.329-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary.

FINAL PLAT INFORMATION:

- The objective of this request is to subdivide one (1) tract of land into two (2) parcels of land (*i.e. Lot 1 [approx. 4.739 acres] & Lot 2 [approx. 2.590 acres]*) for the purpose of conveying Lot 1.
- The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for *Final Plats* as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this *final plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

RECOMMENDATIONS

If the Planning & Zoning Commission and City Council choose to approve the final plat for Lots 1&2, Block A, JBR2 Addition, staff would recommend the following conditions of approval:

- 1) The final plat shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) Any construction resulting from the approval of this final plat shall conform to the requirements set forth by the Unified Development Code (UDC), the 2009 International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



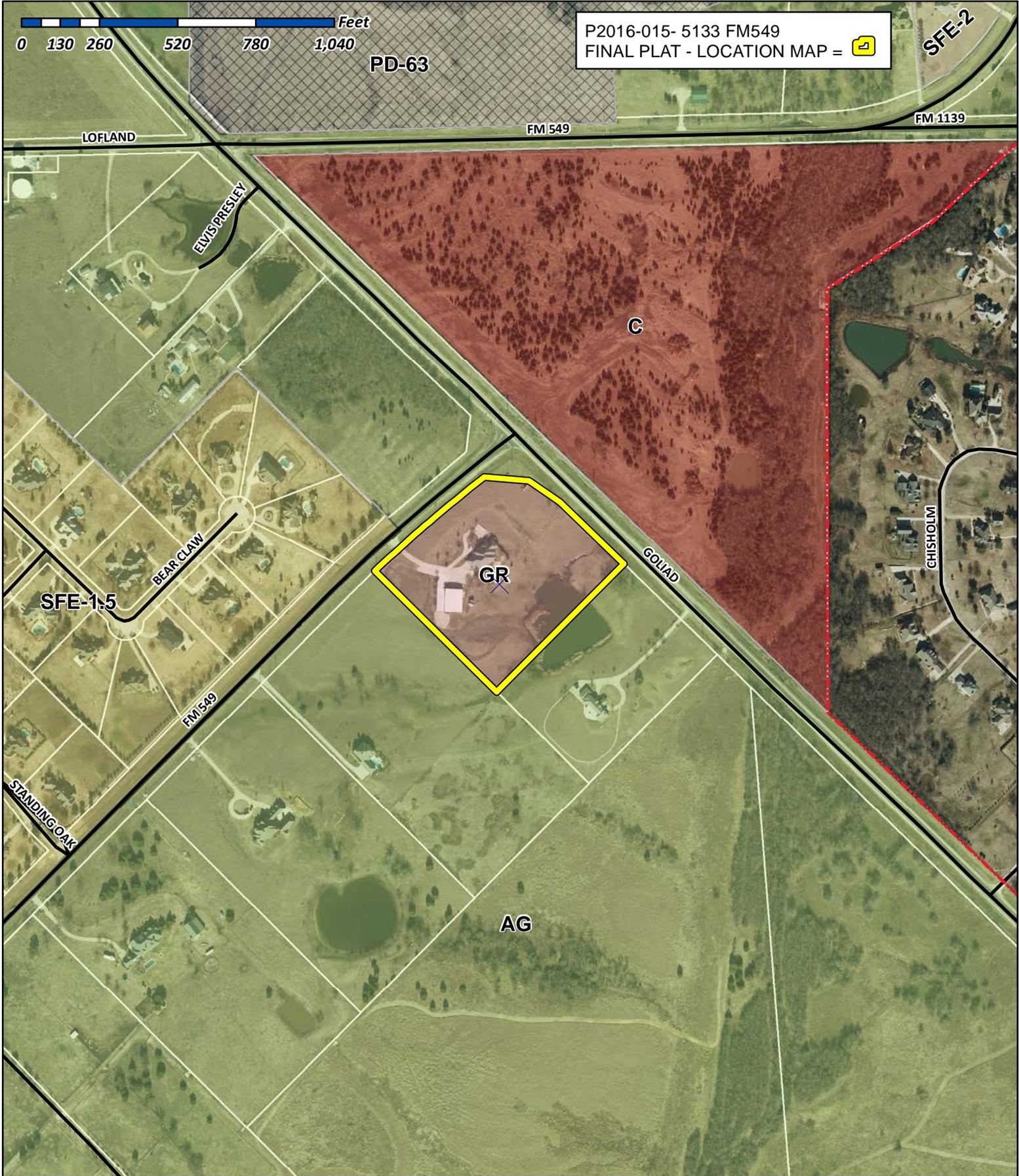
Project Number P2016-015	Owner J, BR2 LLC	Applied 4/14/2016 LM
Project Name 5133 FM549	Applicant STROHMEYER ARCHITECTS	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 4/14/2016 LM

Site Address 5133 S FM549	City, State Zip ROCKWALL, TX 75032	Zoning
-------------------------------------	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	17-12	NULL	17-12	0080-0000-0017-12-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
ENGINEERING (4/19/2016 11:50 AM AW) Need right-of-way dedications equal to 60' from the centerline of FM 549. Verify and show minimum right-of-way along SH 205. Requesting a 10' utility easement along 15' RCH Water Supply easement	Amy Williams	4/14/2016	4/21/2016	4/19/2016	5	COMMENTS	See Comment
FIRE	Ariana Hargrove	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
GIS	Lance Singleton	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
PLANNING	Korey Brooks	4/14/2016	4/21/2016	4/22/2016	8	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(4/22/2016 8:54 AM KB)						P2016-015 (Lots 1 & 2, Block A, JBR2 Addition): Please address the following comments (M= Mandatory Comments; I = Informational Comments).
I.1						This is a request for the approval the approval of a final plat for Lots 1 & 2, Block A, JBR2 Addition being a 7.329-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated west of the intersection of SH-205 and FM-549
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (P2016-015) in the lower right hand corner of all pages on future submittals.
M.4						Please change the title block as follows:
						Final Plat Lots 1 & 2, Block A JBR2 Addition 2 Lots, Being 7.329 Acres Situated Within the W.W. Ford Survey, Abstract No. 80 City of Rockwall Rockwall County, Texas
M.5						Please show and label 25-foot building lines where adjacent to a street.
M.7						Please label the right-of-way width and street centerline for each street adjacent to the development.
M.8						This plat is required to have the seal and signature of the surveyor responsible for the surveying and development and/or the preparation of the plat.
I.9						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by May 3, 2016. The Planning & Zoning meeting date for this case will be May 10, 2016.
I.10						The projected City Council meeting date and subsequent approval for this plat is May 16, 2016.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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THE OAKS OF BUFFALO WAY
CABINET D, SLIDE 27
P.R.R.C.T.

KENNETH SUTTON AND
HANK STANLEY
VOLUME 2015, PAGE 41
D.R.R.C.T.

R 6337.94'
Δ 3°26'29"
A 380.68'
CB N 48°32'25" E
CL 380.63'
F.M. ROAD NO. 549
(VARIABLE WIDTH R.O.W.)

1/2" CIRF
NORTHING 7008060.596
EASTING 2605260.703
AS TIED TO CITY OF ROCKWALL GPS
MONUMENTS R015 & R017

20' FARMERS ELECTRIC EASEMENT.
VOLUME 1743, PAGE 21
D.R.R.C.T.

15' RCH WATER SUPPLY EASEMENT.
VOLUME 928, PAGE 271
D.R.R.C.T.

25' ACCESS EASEMENT.
BY THIS PLAT

15' RCH WATER SUPPLY EASEMENT
VOLUME 64, PAGE 320 &
VOLUME 64, PAGE 323
D.R.R.C.T.

10' TEXAS UTILITIES
ELECTRIC EASEMENT
VOL. 1510, PG. 1
D.R.R.C.T.

SCOTT W. BLACKWOOD AND
GLENITA BLACKWOOD
VOLUME 2884, PAGE 250
D.R.R.C.T.

**LOT 1
BLOCK A**
4.739 AC
206,424 SF
J-BR2, LLC.
VOLUME 5288, PAGE 148
O.P.R.R.C.T.

**LOT 2
BLOCK A**
2.590 AC
112,811 SF

5/8" IRS
(REFERENCE)

1/2" CIRF

367.13'
S 44°32'11" W

POINT IN
POND

234.93'
602.06'

DR. MOHIUDIN ZEB,
NASREEN ZEB
VOLUME 1059, PAGE 14
D.R.R.C.T.

POINT OF
BEGINNING
CONCRETE HIGHWAY
MONUMENT

CONCRETE HIGHWAY
MONUMENT

S 43°23'49" E
35.69'

CONCRETE HIGHWAY
MONUMENT

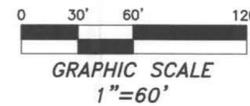
CONCRETE HIGHWAY
MONUMENT

STATE HIGHWAY 205
(VARIABLE WIDTH R.O.W.)

1/2" IRF

S 45°44'46" E
84.17'

1/2" IRF
NORTHING 7008087.117
EASTING 2606090.870
AS TIED TO CITY OF ROCKWALL GPS
MONUMENTS R015 & R017



Legend of Symbols & Abbreviations

(C.M.) = CONTROLLING MONUMENT

1/2" CIRF = 1/2" IRON ROD WITH CAP STAMPED
"R.S.C.L. R.P.L.S. 5034" FOUND

5/8" IRS = 5/8" IRON ROD WITH CAP STAMPED
"MADDOX SURVEYING R.P.L.S. 5430" SET

IRF = IRON ROD FOUND

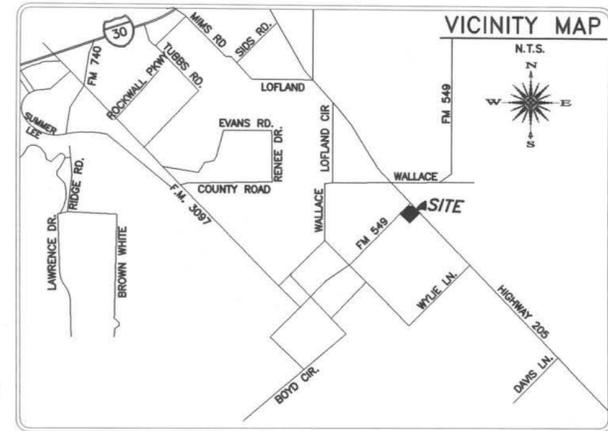
R.O.W. = RIGHT-OF-WAY

AC = ACRES

SF = SQUARE FEET

O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS ROCKWALL
COUNTY, TEXAS

P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY,
TEXAS



FLOOD NOTE:

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48085C0575 J, DATED JUNE 2, 2009, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).
2. ZONE "X"(OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
3. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

SURVEY NOTES:

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.

EASEMENT CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	35.00'	93°44'32"	57.26'	S 87°07'14" E	51.09'
C2	60.00'	94°19'04"	98.77'	N 87°24'30" W	87.99'
C3	6337.94'	00°13'34"	25.00'	N 49°45'11" E	25.00'

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 40°14'58" E	35.00'
L2	S 45°22'22" E	25.00'
L3	N 40°14'58" W	35.00'

FINAL PLAT
J BR2 ADDITION
LOT 1 AND 2 BLOCK A
BEING ALL OF A TRACT OF LAND TO
J BR2, LLC,
RECORDED IN VOLUME 5288, PAGE 148
OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
SITUATED IN THE
W.W. FORD SURVEY, ABSTRACT NO. 80
ROCKWALL COUNTY, TEXAS

Surveyor:
**MADDOX SURVEYING &
MAPPING INC.**
P.O. Box 2109
Forney, Texas 75126
(972) 564-4416
Firm Reg. No. 10013200

Owner:
J BR2, LLC
2701 Sunset Ridge Drive
Suite 610
Rockwall, Texas 75032

03-25-2016

CASE NO. _____
SHEET 1 OF 2

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)

COUNTY OF ROCKWALL)

That we the undersigned owner's of the land shown on this plat, and designated herein as the J BR2 ADDITION to the City of Rockwall, Texas, and whose name's are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. we further certify that all other parties who have a mortgage or lien interest in the J BR2 ADDITION have been notified

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall's West regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We and our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

J BR2, LLC
OWNER

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My Commission Expires:

OWNERS CERTIFICATE

STATE OF TEXAS)

COUNTY OF ROCKWALL)

WHEREAS, J BR2, LLC is the owner of a tract of land in the W.W. FORD Survey, Abstract No. 80, situated in Rockwall County, Texas, being all of said tract as recorded in Volume 5288, Page 148 of the Official Public Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a Concrete Highway Monument found lying at the intersection of the southeast right-of-way line of F.M. Road No. 549, (a variable width right-of-way) and the southwest right-of-way line of State Highway No. 205, (a variable width right-of-way) said point also being the north corner of said J BR2 tract and lying on the northeast corner clip of same;

THENCE South 85 degrees 10 minutes 23 seconds East along the southwest right-of-way line of said State Highway No. 205 and said corner clip a distance of 151.23 feet to a Concrete Highway Monument found for corner;

THENCE South 43 degrees 23 minutes 49 seconds East continuing along the southwest right-of-way line of said State Highway No. 205 a distance of 35.69 feet to a Concrete Highway Monument found for corner;

THENCE South 46 degrees 13 minutes 09 seconds East continuing along the southwest right-of-way line of said State Highway No. 205 a distance of 99.29 feet to a Concrete Highway Monument found for corner;

THENCE South 51 degrees 37 minutes 27 seconds East continuing along the southwest right-of-way line of said State Highway No. 205 a distance of 201.34 feet to a 1/2 inch iron rod found for corner;

THENCE South 45 degrees 44 minutes 46 seconds East continuing along the southwest right-of-way line of said State Highway No. 205 a distance of 84.17 feet to a 1/2 inch iron rod found for the east corner of said J BR2 tract and the north corner of a tract of land to Dr. Mohiudin Zeb, Nasreen Zeb as recorded in Volume 1059, Page 14 of the Deed Records of Rockwall County, Texas;

THENCE South 44 degrees 32 minutes 11 seconds West departing the southwest right-of-way line of said State Highway No. 205 and along the common line of said Dr. Mohiudin tract and said J BR2 tract a distance of 602.06 feet to a 1/2 inch iron rod with cap stamped "R.S.C.I. R.P.L.S. 5034" found for the south corner of said J BR2 tract same being the east corner of said Dr. Mohiudin tract and lying on the northeast line of a tract of land to Scott W. Blackwood and Glenita Blackwood as recorded in Volume 2884, Page 250 of the Deed Records of Rockwall County, Texas;

THENCE North 45 degrees 22 minutes 22 seconds West along the common line of said J BR2 tract and said Blackwood tract a distance of 573.15 feet to a 1/2 inch iron rod with cap stamped "R.S.C.I. R.P.L.S. 5034" found for the west corner of said J BR2 tract and the north corner of said Blackwood tract, said point also lying on the aforementioned southeast right-of-way line of F.M. Road No. 549 and at the beginning of a curve to the right;

THENCE with said curve to the right and along said southeast right-of-way line of F.M. Road No. 549 having a radius of 6337.94 feet, a central angle of 03 degrees 26 minutes 29 seconds, an arc length of 380.68 feet, a chord bearing of North 48 degrees 32 minutes 25 seconds East a distance of 380.63 feet to a Concrete Highway Monument found for corner;

THENCE North 50 degrees 36 minutes 24 seconds East continuing along said southeast right-of-way line of F.M. Road No. 549 a distance of 103.37 feet to the POINT OF BEGINNING containing 319,235 square Feet, or 7.329 acres of land.

SURVEYORS CERTIFICATE

I, HEREBY CERTIFY, THAT I PREPARED THIS SURVEY PLAT SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND BY ME AND THAT ALL CORNERS ARE MARKED, AND THAT ALL DIMENSIONS SHOWN THEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND FURTHERMORE THERE ARE NO ENCROACHMENTS, PROTRUSIONS, IMPROVEMENTS, EASEMENTS, RIGHT-OF-WAY, OR 100 YEAR FLOOD PLAIN AFFECTING THE PROPERTY EXCEPT AS SHOWN THEREON.

WITNESS UNDER MY HAND THIS THE _____ DAY OF _____, 2016.

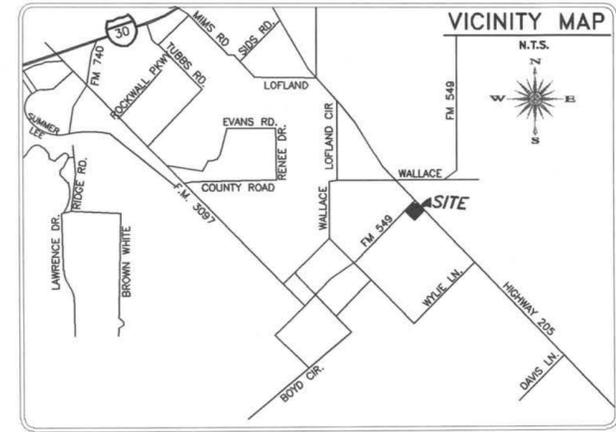
BRIAN J. MADDOX,
STATE OF TEXAS,
R.P.L.S. NO. 5430

RECOMMENDED FOR FINAL APPROVAL

Chairman, Planning & Zoning Commission
I hereby certify that the above and foregoing plat of Final Plat of J BR2 ADDITION LOT 1 AND 2 BLOCK A to the City of Rockwall, Texas was approved by the Mayor of the City of Rockwall on the _____ day of _____, 2016.
This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one year from said date of final approval. An extension may be granted by the City Council.
Said Addition shall be subject to all the requirements of the Platting Ordinance of the City of Rockwall.
Witness my hand this the _____ day of _____, 2016.

Mayor, City of Rockwall _____ Date _____ City Secretary, City of Rockwall _____ Date

City Engineer, City of Rockwall _____ Date



FLOOD NOTE:

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) – NATIONAL FLOOD INSURANCE PROGRAM (NFIP) – FLOOD INSURANCE RATE MAP (FIRM) – FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS – MAP NO. 48085C0575 J, DATED JUNE 2, 2009, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).
2. ZONE "X"(OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
3. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

SURVEY NOTES:

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS MONUMENT NETWORK.

FINAL PLAT
J BR2 ADDITION
LOT 1 AND 2 BLOCK A
BEING ALL OF A TRACT OF LAND TO
J BR2, LLC ,
RECORDED IN VOLUME 5288, PAGE 148
OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
SITUATED IN THE
W.W. FORD SURVEY, ABSTRACT NO. 80
ROCKWALL COUNTY, TEXAS

Surveyor:
MADDOX SURVEYING & MAPPING INC.
P.O. Box 2109
Forney, Texas 75126
(972) 564-4416
Firm Reg. No. 10013200

Owner:
J BR2, LLC
2701 Sunset Ridge Drive
Suite 610
Rockwall, Texas 75032

CASE NO. _____
SHEET 2 OF 2

03-25-2016

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 04/26/2016

APPLICANT: Robert R. Varner, Jr. of Townsend Professional Centre, LLC

AGENDA ITEM: P2016-017 (*Townsend Professional Centre; Replat*)

SUMMARY:

Discuss and consider a request by Robert R. Varner, Jr. of Townsend Professional Centre, LLC for the approval of a replat creating Lots 9, 10, & 11, Block A, Municipal Industrial Park Addition, being a 2.60-acre parcel of land currently identified as Lot 8, Block A, Municipal Industrial Park Addition (2.29-acres) and Lot 1, Block A, Corrigan Law Office Addition (0.31-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary.

COMMENTS:

- ✓ The objective of the request is to combine two (2) existing lots [*Lot 8, Block A, Municipal Industrial Park Addition (2.29-acres) and Lot 1, Block A, Corrigan Law Office Addition (0.31-acres)*] totaling 2.60-acres and subdivide the property into three (3) separate lots for the purpose of conveying a portion of the property; however, the final plat will also establish fire lane, public access, utility, detention and drainage easements necessary to develop the property.
- ✓ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions listed in the *Recommendations* section below.
- ✓ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the request for final plat, staff would recommend the following conditions of approval:

- 1) All staff comments (*Project Plan Review*) provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit and to include the following additional Planning comments;
 - a. That adherence to Engineering and Fire Department standards shall be required, and
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



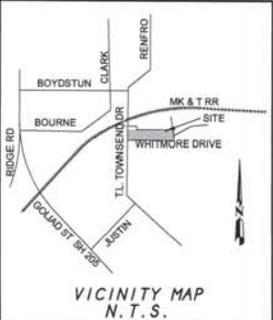
Project Number P2016-017	Owner TOWNSEND PROFESSIONAL CENTRE, LLC	Applied 4/15/2016 LM
Project Name 815 Townsend	Applicant TOWNSEND PROFESSIONAL CENTRE, LLC	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

Site Address 815 TOWNSEND	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision MUNICIPAL INDUSTRIAL PARK	Tract 8	Block A	Lot No 8	Parcel No 4470-000A-0008-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
ENGINEERING (4/19/2016 11:58 AM AW) Add a 20' drainage easement along the northern property line of lots 10 and 11 and in the driveway and across lot 11 to the detention pond. Add fire lane, access, and drainage easement into lot 10 or 11 wherever the new paving is being constructed. Show flood plain with 100 year water surface cross sections and elevations. Clarify the two bearings/distances along the northern property line.	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
GIS	Lance Singleton	4/15/2016	4/22/2016	4/21/2016	6	APPROVED	
PLANNING	David Gonzales	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Robert R. Varner, Jr. of Townsend Professional Centre, LLC for the approval of a replat creating Lots 9, 10, & 11, Block A, Municipal Industrial Park Addition, being a 2.60-acre parcel of land currently identified as Lot 8, Block A, Municipal Industrial Park Addition (2.29-acres) and Lot 1, Block A, Corrigan Law Office Addition (0.31-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary.</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday, May 3, 2016. Please provide three large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:</p>						
<ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-017" on the lower right corner on all pages of the revised plat. 3. Change the Title Block to read as follows: Final Plat Being a Conveyance Plat establishing 3 lots to be known as Municipal Industrial Park Lots 9, 10, and 11, Block A and Being a replat of Lot 8, Block A, Municipal Industrial Park and Lot 1, Block A Corrigan Law Office Addition totalling 2.60 acres (3 lots) R. Ballard Survey, Abstract No. 29 City of Rockwall, Rockwall County, Texas 4. Add a 'Plat Note" above title block that reads: a) Conveyance Plat Only: Not for Development b) A conveyance plat is a map of property approved by the City for the purpose of sale or conveyance in its entirety or interests thereon defined. Lots created by a conveyance plat may not have all necessary public utilities available for immediate use. No certificate of occupancy shall be issued nor permanent public utility service provided to any lot(s) created by conveyance plat until all required public improvements have been constructed and accepted and a Final Plat, or Replat is filed for record with the county clerk. Selling a portion of property by metes and bounds, except as shown on an approved, filed and accepted Conveyance Plat is a violation of the City's code of ordinance and state law. 5. Change label for 24' Firelane, Cross Access.... to "24' Firelane, Public Access, and Utility Easement" where applicable. 6. Provide all easement information and/or indicate abandonment for the portion known as the Corrigan Law Office Addition. 7. Under the Owners Certificate - provide the legal description. 						
<p>** As a note and once the plat has been approved by the Planning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved by staff prior to plat submittal on mylar for filing purposes. **</p>						
<p>Meeting Dates to Attend (Since this plat request will be placed on the Consent Agenda for both the Planning and City Council meetings, it is not necessary for you to attend; however, staff would recommend that someone be present for the meetings. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.</p>						
<p>Planning - Action: April 26, 2016 (6:00 p.m.)</p>						
<p>City Council - Action: May 2, 2016 (6:00 p.m.)</p>						



LOT 5, BLOCK A
 REPLAT MUNICIPAL INDUSTRIAL PARK
 LOT 2 AND LOT 3, BLOCK A
 CAB. F. SLIDE 165

1.75 ACRES
 ALONZO A. GARRETT
 VOL. 40, PG. 429

1.75 ACRES
 ALONZO A. GARRETT
 VOL. 40, PG. 429

LOT 9
 1.19 ACRES
 51718 S.F.

LOT 10
 0.45 ACRES
 19715 S.F.

LOT 11
 0.96 ACRES
 41943 S.F.

BLOCK A

DETENTION & DRAINAGE ESMT

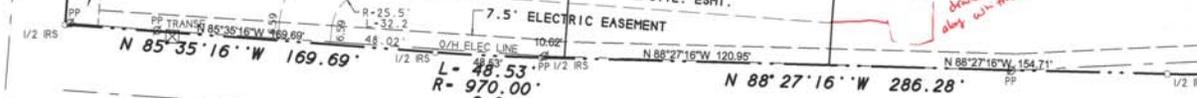
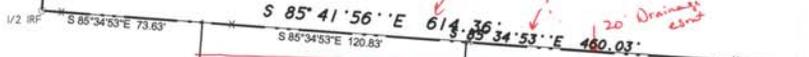
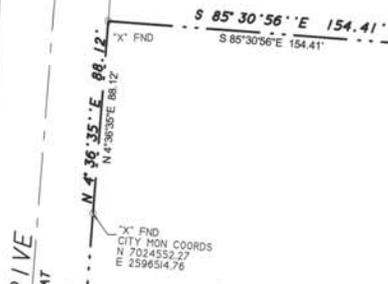
7.5' ELECTRIC EASEMENT

24' FIRE LANE CROSS ACCESS & UTIL. ESMT.

15' X 15' SANITARY SEWER EASEMENT

WHITMORE DRIVE
 60' R.O.W. PER PLAT
 CAB. A. SLIDE 326

TOWNSEND DRIVE
 50' R.O.W. PER PLAT



Show floodplain w/ 100-year water surface cross-section

Drainage esmt for drainage along front of lot along with trees

20' Drainage esmt

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated Sept 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: RECORDED PLAT.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."



Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	12°52'57"	629.82	141.61	71.10	141.31	S 85°06'19"W
2	2°52'00"	970.00	48.53	71.10	48.53	N 87°01'26"W

FINAL PLAT
MUNICIPAL INDUSTRIAL PARK
LOT 9, 10 & 11, BLOCK A

BEING A REPLAT OF LOT 8, BLOCK A
 MUNICIPAL INDUSTRIAL PARK
 2.60 ACRES (3 LOTS)
 R. BALLARD SURVEY, ABSTRACT NO. 29
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
 TOWNSEND PROFESSIONAL CENTRE, LLC
 ROBERT VARNER, JR.
 2001 N. LAMAR STREET
 SUITE 200
 DALLAS, TEXAS 75201

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2

SURVEY DATE: APRIL 13, 2016
 SCALE: 1" = 20' FILE # 20581181-EP
 CLIENT: VARNER



CITY CASE NO. P2016-
 2016 017

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS TOWNSEND PROFESSIONAL CENTRE, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING all of Lot 8, Block A, REPLAT MUNICIPAL INDUSTRIAL PARK, LOT 1, BLOCK A, an Addition to the City of Rockwall, Rockwall County, Texas, according to the map or plat thereof; recorded in Cabinet G, Slide 151, of the Map Records of Rockwall County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as MUNICIPAL INDUSTRIAL PARK, LOT 9, 10 & 11, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

ROBERT VARNER, JR. for
TOWNSEND PROFESSIONAL CENTRE, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ROBERT VARNER, JR. known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

7. All dedication/drainage facilities to be installed, repaired, and replaced by property owner

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of MUNICIPAL INDUSTRIAL PARK LOT 9, 10 & 11, BLOCK A, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ City Secretary City of Rockwall _____

City Engineer _____ Date _____

FINAL PLAT
MUNICIPAL INDUSTRIAL PARK
LOT 9, 10 & 11, BLOCK A
BEING A REPLAT OF LOT 8, BLOCK A
MUNICIPAL INDUSTRIAL PARK
2.60 ACRES (3 LOTS)
R. BALLARD SURVEY, ABSTRACT NO. 29
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
TOWNSEND PROFESSIONAL CENTRE, LLC
ROBERT VARNER, JR.
2001 N. LAMAR STREET
SUITE 200
DALLAS, TEXAS 75201

H.D. Fetty Land Surveyor, LLC

Firm Registration No. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 2 OF 2

SURVEY DATE APRIL 15, 2016
SCALE 1" = 20' PLS # 20081161-RP
CLIENT VARNER



P2016-017- LOTS 9,10, & 11 BLOCK A
MUNICIPAL INDUSTRIAL PARK ADDITION
REPLAT - LOCATION MAP =

PD-52

LI

TL TOWNSEND

WHITMORE

C

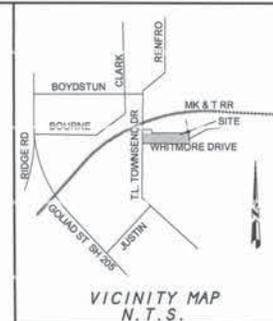


City of Rockwall

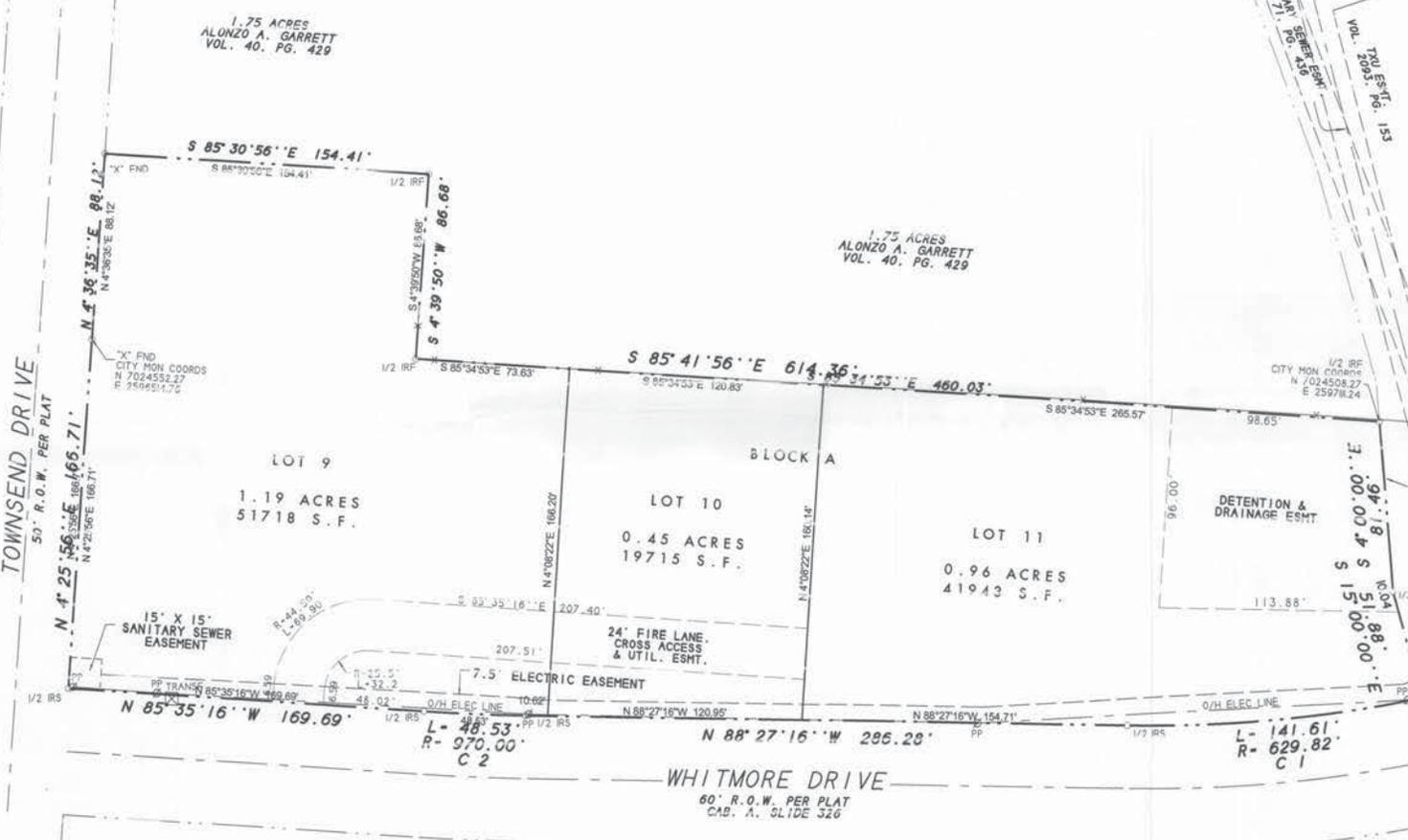
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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LOT 5, BLOCK A
 REPLAT MUNICIPAL INDUSTRIAL PARK
 LOT 2 AND LOT 3, BLOCK A
 CAB. F. SLIDE 165



TOWNSEND DRIVE
 50' R.O.W. PER PLAT

WHITMORE DRIVE
 60' R.O.W. PER PLAT
 CAB. A. SLIDE 326

FINAL PLAT
MUNICIPAL INDUSTRIAL PARK
LOT 9, 10 & 11, BLOCK A

BEING A REPLAT OF LOT 8, BLOCK A
 MUNICIPAL INDUSTRIAL PARK
 2.60 ACRES (3 LOTS)
 R. BALLARD SURVEY, ABSTRACT NO. 29
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

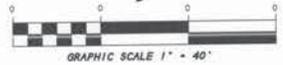
OWNER:
 TOWNSEND PROFESSIONAL CENTRE, LLC
 ROBERT VARNER, JR.
 2001 N. LAMAR STREET
 SUITE 200
 DALLAS, TEXAS 75201

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2

SURVEY DATE APRIL 15, 2016
 SCALE 1" = 20' FILE # 20261181-02
 CLIENT VARNER

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L, dated Sept 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: RECORDED PLAT.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."



Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	12°52'57"	629.82	141.61	71.10	141.31	S 85°06'19"W
2	2°52'00"	970.00	48.53	71.10	48.53	N 87°01'26"W

City of Rockwall Project Plan Review History



Project Number Z2016-012	Owner EZ MART STORES INC	Applied 4/14/2016 LM
Project Name Kroger Fuel Station	Applicant CEI ENGINEERING ASSOCIATES, INC	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

Site Address 2901 RIDGE RD	City, State Zip ROCKWALL, TX 75032	Zoning
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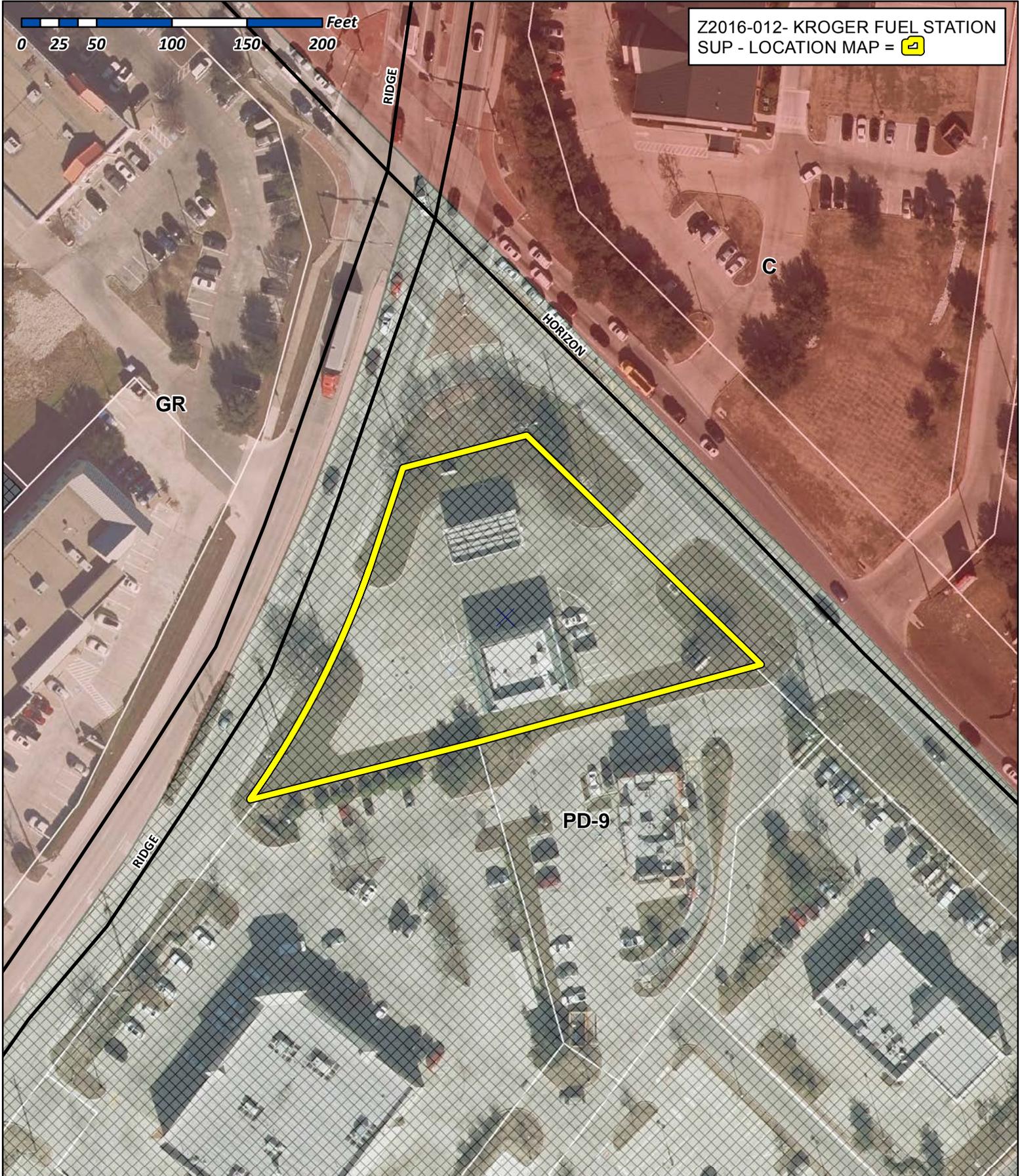
Subdivision MR M ADDITION	Tract 1	Block A	Lot No 1	Parcel No 4465-000A-0001-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/14/2016	4/21/2016	4/22/2016	8	APPROVED	
ENGINEERING (4/19/2016 11:21 AM AW) Parking next to the building to be 9'x20' Drainage under the canopy to drain to oil/water separator prior to draining to storm system No overhangs in any easements.	Amy Williams	4/14/2016	4/21/2016	4/22/2016	8	COMMENTS	See Conditions
FIRE (4/22/2016 10:38 AM AA) Will need to comply with fire lane and fire hydrant requirements. Unable to determine based on submittal. Show location of any off-site fire lane or fire hydrants that you are using for coverage.	Ariana Hargrove	4/14/2016	4/21/2016	4/22/2016	8	COMMENTS	see comments
PLANNING	Korey Brooks	4/14/2016	4/21/2016	4/22/2016	8	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(4/22/2016 8:56 AM KB)						Z2016-012 SUP for Retail Building with more than two (2) gasoline dispensers: Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request for the approval of a Specific Use Permit (SUP) to allow a retail store with more than two (2) gasoline dispensers on a 0.918-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 2901 Ridge Road.
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (Z2016-012) in the lower right hand corner of all pages on future submittals.
I.4						Please review the attached draft ordinance prior to the April 26, 2016 Planning & Zoning Commission meeting.
I.5						This property is located within the Scenic Overlay (SOV) and is subject to stricter architectural standards. The structure shall have 90 percent masonry materials, including a minimum 20 percent stone on each exterior wall. Also the building shall be architecturally finished on all four sides with the same materials, detailing, and features.
I.6						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 3, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 10, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on April 26, 2016.
I.7						The projected City Council meeting dates for this case will be May 16, 2016 [1st Reading] & June 6, 2016 [2nd Reading].



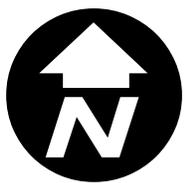
Z2016-012- KROGER FUEL STATION
SUP - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
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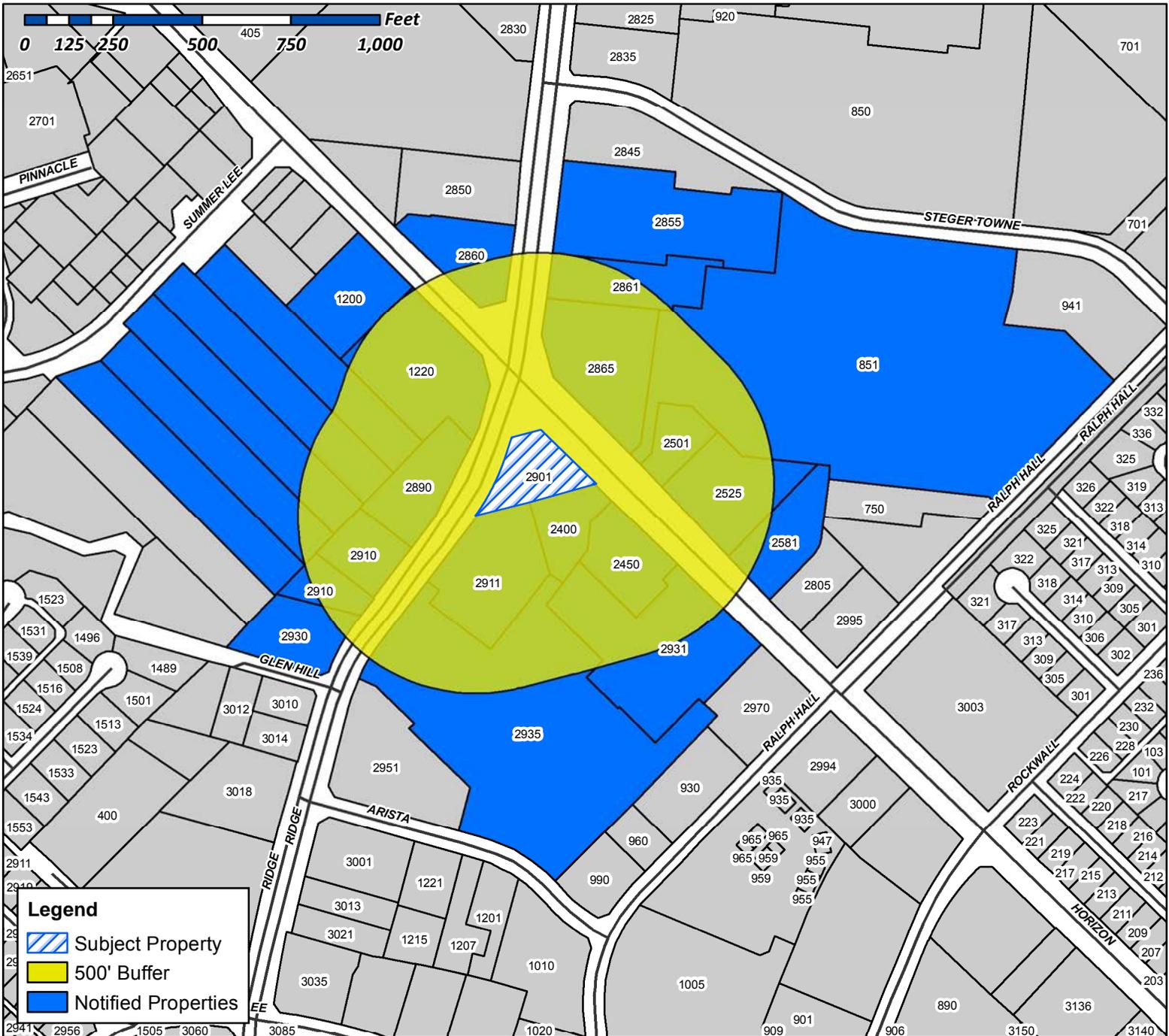




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2016-012
Case Name: Kroger Fuel Center
Case Type: Specific Use Permit
Zoning: Planned Development 9 (PD-9)
Case Address: 2901 Ridge Road

Date Created: 04/18/2016
For Questions on this Case Call (972) 771-7745



BANK OF AMERICA
ATTN: CORPORATE REAL ESTATE ACESS
101 N TYRON ST
CHARLOTTE, NC 28255

KROGER TEXAS LP
1014 VINE STREET
CINCINNATI, OH 45202

NEW BLB CORPORATION
1100 SIENNA CT
BURLESON, TX 76028

SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

CURRENT RESIDENT
1220 HORIZON RD
ROCKWALL, TX 75032

HP ROCKWALL 740 LTD
C/O GARY P HAMMER
12720 HILLCREST RD STE 1080
DALLAS, TX 75230

KROGER TEXAS LP
1331 E AIRPORT FWY
IRVING, TX 75062

CFT DEVELOPMENTS LLC
ATTN: DAVID LUO, DIRECTOR
1683 WALNUT GROVE AVE
ROSEMEAD, CA 91770

BRYANT JUDY GRACE & LINDA JEAN BRUNETTE
AND
DOUGLASS FREDERICK WYGAL
1714 MARCELLA LN
ROWLETT, TX 75089

CURRENT RESIDENT
2400 HORIZON RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2450 HORIZON RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2501 HORIZON RD
ROCKWALL, TX 75032

ROCKWALL PARTNERS LTD
2525 HORIZON RD
ROCKWALL, TX 75032

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

SELMA HOSPITALITY INC
2560 ROYAL LN STE 210
DALLAS, TX 75229

JUCHA RHETT BARRY
2581 HORIZON RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2855 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2860 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2861 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2865 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2890 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2901 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2910 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2911 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2930 SOUTH RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2931 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2935 RIDGE RD
ROCKWALL, TX 75032

MINNETONKA CAPITAL INVESTMENTS V LP
%WALGREEN CO #5827
300 WILMOT RD
DEERFIELD, IL 60015

ATTICUS REAL ESTATE SERVICES INC
5339 ALPHA RD STE 300
DALLAS, TX 75240

STEGER TOWNE CROSSING II LP
580 DECKER DR STE 203
IRVING, TX 75062

JEY INVESTMENTS
602 FALVEY AVE
TEXARKANA, TX 75501

HUGHES ROBERT J & PATRICK HUGHES &
SANDRA FERGUSON
8030 SAN LEANDRO DR
DALLAS, TX 75218

CURRENT RESIDENT
851 STEGER TOWNE DR
ROCKWALL, TX 75032

1220 HORIZON ROAD LLC
C/O CVS 7464-02
OCC EXP DEPT 1 CVS DRIVE
WOONSOCKET, RI 02895

LOWES HOME CENTERS INC
ATTN: TAX DEPT
PO BOX 1000
MOORESVILLE, NC 28115

AMERICAN NATIONAL BANK THE
PO BOX 40
TERRELL, TX 75160

LANDAU PROPERTIES LP
PO BOX 601679
DALLAS, TX 75360

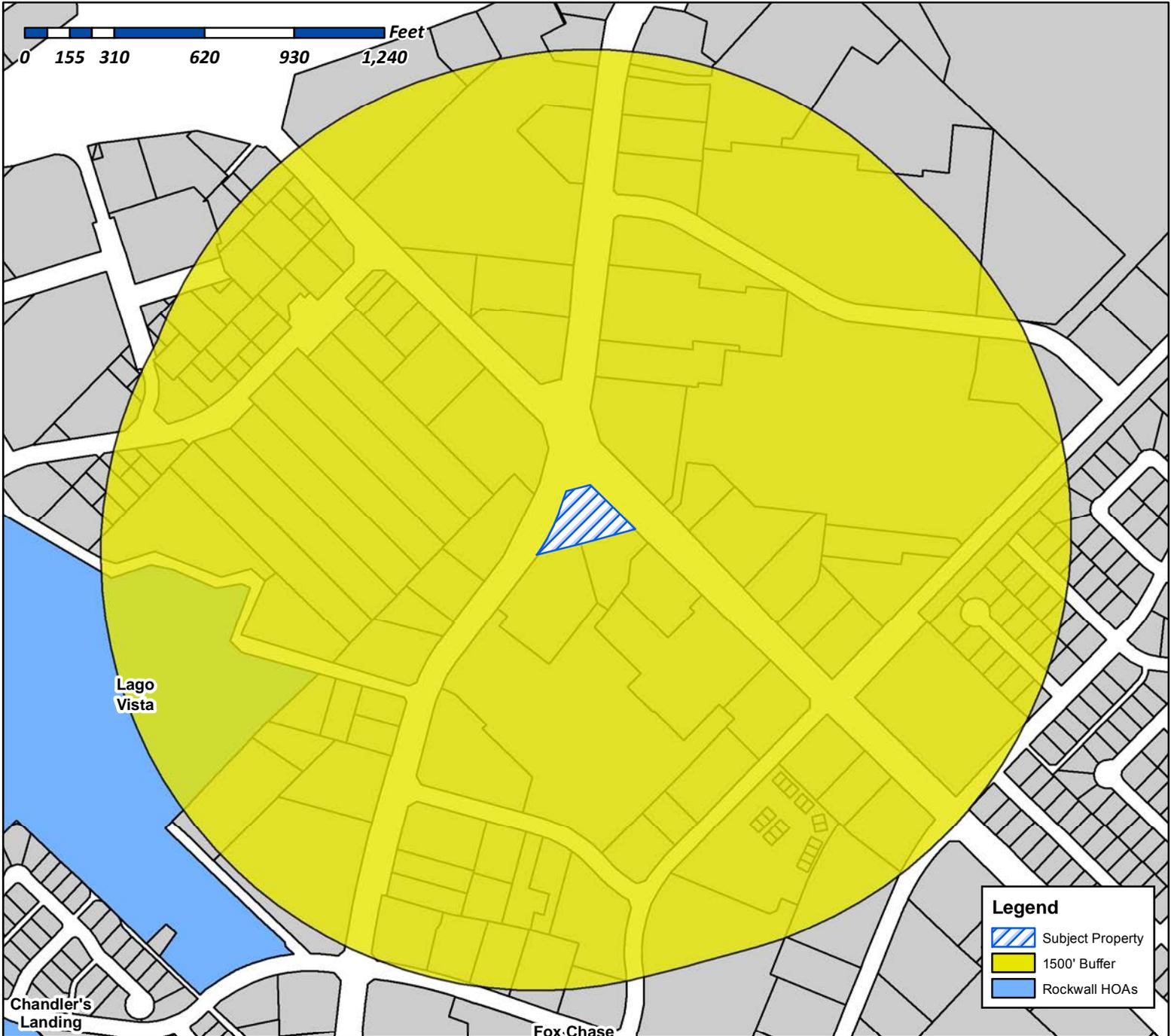
W & R PROPERTIES INC
PO BOX 657
KAUFMAN, TX 75142



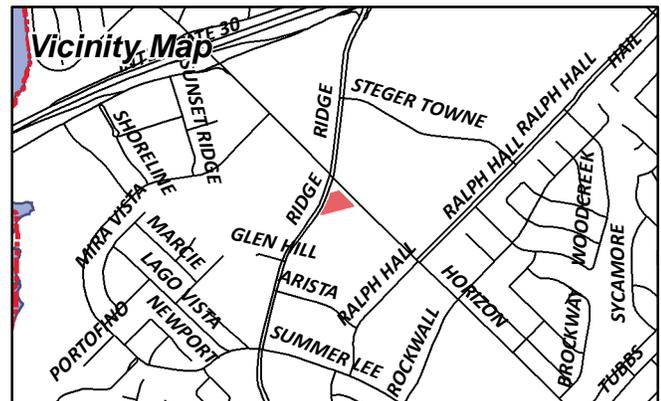
City of Rockwall

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Case Number: Z2016-012
Case Name: Kroger Fuel Station
Case Type: Specific Use Permit
Zoning: Planned Development 9 (PD) District
Case Address: 2901 Ridge Road



Date Created: 04/18/2016
For Questions on this Case Call (972) 771-7745



CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

4800 Sugar Grove Boulevard, Suite 316
Stafford, TX 77477
(281) 494-0360 Fax (281) 494-0309
www.ceienq.com

March 23, 2016

Mr. Ryan Miller, AICP
Director of Planning
City of Rockwall
385 South Goliad
Rockwall, TX 75087

RE: SUP Application Kroger Fuel SW575

Mr. Miller:

CEI Engineering, Inc. is requesting a Specific Use Permit for the Kroger proposed fuel station to be located at the SEC of Ridge Road and Horizon Road (2901 Ridge Road). Currently there is an existing 2,264sf EZ-Mart store with 2 MPD dispensers and canopy located onsite. Kroger Fuel is proposing to replace the existing store, pumps, tanks and canopy with an 807sf kiosk, 8 MPD dispensers, new tanks and a new canopy.

Current zoning is PD-9 with a base zoning of GR and within a Scenic Overlay District. A fuel station is allowed in this zoning by a Specific Use Permit. The site plan adheres to the specific setback and other requirements of this district.

If you have any questions please contact me.

Thank you and have a good day.

CEI Engineering, Inc.

A handwritten signature in blue ink that reads "Jim Evans, RLA". The signature is fluid and cursive.

Jim Evans, RLA
Asst. Project Manager

Providing Consolidated Land Development Services

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ LOUISIANA ■ MINNESOTA ■ GEORGIA ■ PENNSYLVANIA

PROPERTY DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block A, Mr. M Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Cabinet C, Page 24, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a TXDOT (Texas Department of Transportation) Brass Monument found for the most northerly corner of Lot 1, Block A, of said Mr. M Addition, said monument also being the northeast end of a corner clip at the intersection of the southwesterly right-of-way line of Ridge Road (F.M. Road 3097, variable width right-of-way) and southeasterly right-of-way line of Ridge Road (F.M. Road 740, variable width right-of-way);

THENCE South 45 deg 40 min 35 sec East, departing said corner clip and along the southwesterly right-of-way line of said Horizon Road and the Easterly line of Lot 1, Block A, of said Mr. M Addition, a distance of 222.12 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner, from which a TXDOT Aluminum Monument bears, South 84 deg 11 min 36 sec West, a distance of 2.82 feet and a 1/2 inch iron rod found bears North 40 deg 44 min 12 sec West, a distance of 3.77 feet;

THENCE South 74 deg 35 min 42 sec West, departing the southwesterly right-of-way line of said Horizon Road, along the Southeast line of said Lot 1, the Northwest line of Lot 20, Block A, Horizon Ridge Addition, and addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet F, Slide 336, Official Public Records, Rockwall County, Texas, and the Northwest line of Lot 1, Block A, of RDI Retail Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Slide 369, Official Public Records, Rockwall County, Texas, a distance of 350.75 feet to a TXDOT Brass Monument found for corner, being situated in the southeasterly right-of way line of said Ridge Road and being the beginning of a non-tangent curve to the left having a radius of 623.69 feet, a central angle of 15 deg 47 min 49 sec, a chord bearing of North 26 deg 09 min 20 sec East and a chord length of 171.41 feet;

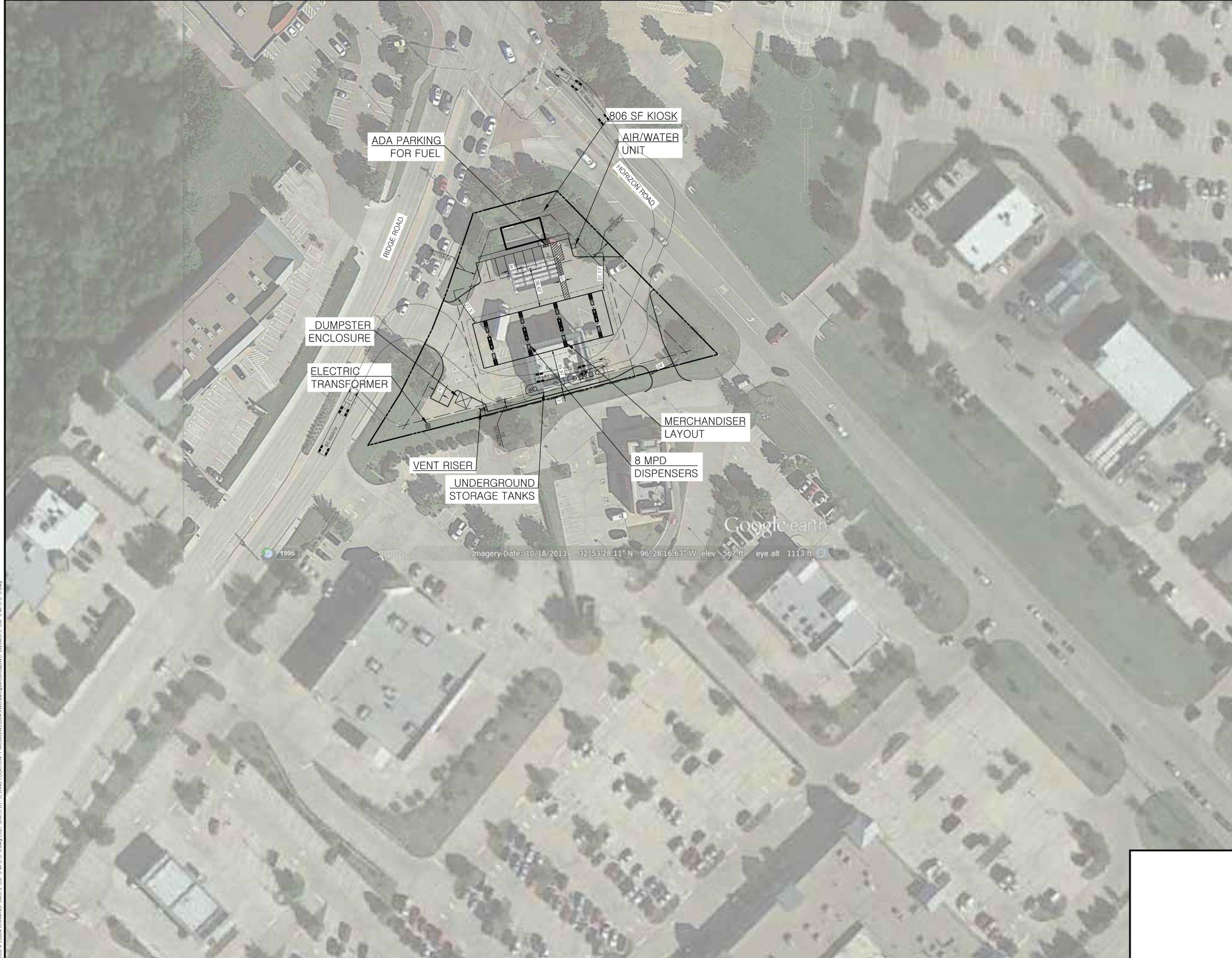
THENCE along the southeasterly right-of-way of said Ridge Road, the Westerly line of Lot 1, Block A, of said Mr. M Addition, and said non-tangent curve to the left, an arc distance of 171.95 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner;

THENCE North 18 deg 15 min 25 sec East, continuing along the southeasterly right-of-way of said Ridge Road and the Westerly line of Lot 1, Block A, of said Mr. M Addition, a distance of 76.38 feet to a TXDOT Aluminum Monument found for corner at the southwest end of the said corner clip;

THENCE North 74 deg 35 min 42 sec East, along said corner clip, a distance of 82.72 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 0.918 acres or 40,001 square feet of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed on the 18th day of September, 2014, utilizing a G.P.S. measurement (NAD 83, Texas State Plane, North Central Zone) using City of Rockwall, Control Monuments Reset #1 and R014.



**Know what's below.
Call before you dig.**

NOTE: THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. SITE INFORMATION WAS OBTAINED FROM CLIENT'S DOCUMENTS. DESIGN MAY VARY, DEPENDING ON ACTUAL TOPOGRAPHY, DRAINAGE, SOILS, SURVEY, ETC. THIS ADDITIONAL DATA AND SITE CONDITIONS COULD CAUSE CHANGES IN PARKING RATIOS AND SPACE AVAILABLE FOR DEVELOPMENT, AND MAY INCREASE ESTIMATED DEVELOPMENT COSTS.

JOB # 28304 DRAWING: 8 MPD C-6.dwg LAST SAVED BY: JEVANS LOCATION: F:\WORK\28304\MPD\8MPD\8MPD_C-6.dwg

28304	3/22/16	DPOB	PM	DES	DRW
CEI PROJECT NO.	INITIAL DATE	DPOB	PM	DES	DRW
CEI Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
4800 Sugar Grove Blvd, Suite 316 Stafford, TX 77477			(281)494-0309 (281)494-0390		
KROGER FUEL SW575 (EXPANSION)					
NEC HORIZON ROAD & RIDGE ROAD ROCKWALL, TX					
CONCEPTUAL SITE PLAN				REV DATE 3/08/16 C-6	SHEET NO. C-1

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A RETAIL STORE WITH MORE THAN TWO (2) GASOLINE DISPENSERS AS SPECIFIED IN ARTICLE IV, PERMISSIBLE USES, OF THE UNIFIED DEVELOPMENT CODE, FOR A 0.918 - ACRE TRACT OF LAND ZONED PLANNED DEVELOPMENT DISTRICT 9 (PD-9) FOR GENERAL RETAIL (GR) DISTRICT LAND USES, AND IDENTIFIED AS LOT 1, BLOCK A, MR. M ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Jim Evans of CEI Engineering Associates, Inc. on behalf of Bob Hubbard of EZ Mart Stores, Inc. for the approval of a Specific Use Permit (SUP) to allow a retail store with more than two (2) gasoline dispensers on a 0.918-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, and more specifically described in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for a retail store with more than two (2) gasoline dispensers within Planned Development District 9 (PD-9) as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code for the *Subject Property*.

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in Planned Development District 9 (PD-9) and **Article V, Section 4.4, General Retail (GR) District Standards, of the Unified Development Code (Ordinance No. 04-38)** as heretofore amended, as amended herein by granting of this Specific Use Permit (SUP), and as may be amended in the

future, and shall be subject to the additional following conditions.

2.1 Conditions for a Certificate of Occupancy (CO)

The following conditions pertain to the development of a retail store with more than two (2) gasoline dispensers on the *Subject Property*, and conformance to these development conditions are required for the issuance of a Certificate of Occupancy (CO):

- 1) All development on this property shall generally conform to the Concept Plan in *Exhibit 'C'* of this ordinance;
- 2) No more than eight (8) gasoline dispensers shall be allowed on the *Subject Property*; and,
- 3) Prior to the approval of a Building Permit a Site Plan generally conforming to the Concept Plan in *Exhibit 'C'* of this ordinance will need to be submitted and approved by the Planning & Zoning Commission, and City Council if necessary.

2.2 Operational Conditions

The following conditions pertain to the operation of a retail store with more than two (2) gasoline dispensers on the subject property, and conformance to these operational conditions are required for continued operations:

- 1) All operation on this property shall generally conform to the Concept Plan in *Exhibit 'C'* of this ordinance. Additionally, all conditions of Section 2.2 of this ordinance must be satisfied for continued operations.
- 2) No outside display of merchandise or outside storage shall be permitted on the subject property.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 16th DAY OF MAY, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: May 16, 2016

2nd Reading: June 6, 2016

Exhibit A: Legal Description

PROPERTY DESCRIPTION

STATE OF TEXAS § COUNTY OF ROCKWALL §

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block A, Mr. M Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Cabinet C, Page 24, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a TXDOT (Texas Department of Transportation) Brass Monument found for the most northerly corner of Lot 1, Block A, of said Mr. M Addition, said monument also being the northeast end of a corner clip at the intersection of the southwesterly right-of-way line of Ridge Road (F.M. Road 3097, variable width right-of-way) and southeasterly right-of-way line of Ridge Road (F.M. Road 740, variable width right-of-way);

THENCE South 45 deg 40 min 35 sec East, departing said corner clip and along the southwesterly right-of-way line of said Horizon Road and the Easterly line of Lot 1, Block A, of said Mr. M Addition, a distance of 222.12 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner, from which a TXDOT Aluminum Monument bears, South 84 deg 11 min 36 sec West, a distance of 2.82 feet and a 1/2 inch iron rod found bears North 40 deg 44 min 12 sec West, a distance of 3.77 feet;

THENCE South 74 deg 35 min 42 sec West, departing the southwesterly right-of-way line of said Horizon Road, along the Southeast line of said Lot 1, the Northwest line of Lot 20, Block A, Horizon Ridge Addition, and addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet F, Slide 336, Official Public Records, Rockwall County, Texas, and the Northwest line of Lot 1, Block A, of RDI Retail Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Slide 369, Official Public Records, Rockwall County, Texas, a distance of 350.75 feet to a TXDOT Brass Monument found for corner, being situated in the southeasterly right-of-way line of said Ridge Road and being the beginning of a non-tangent curve to the left having a radius of 623.69 feet, a central angle of 15 deg 47 min 49 sec, a chord bearing of North 26 deg 09 min 20 sec East and a chord length of 171.41 feet;

THENCE along the southeasterly right-of-way of said Ridge Road, the Westerly line of Lot 1, Block A, of said Mr. M Addition, and said non-tangent curve to the left, an arc distance of 171.95 feet to a 1/2 inch iron rod with red plastic cap stamped "W.A.I." set for corner;

THENCE North 18 deg 15 min 25 sec East, continuing along the southeasterly right-of-way of said Ridge Road and the Westerly line of Lot 1, Block A, of said Mr. M Addition, a distance of 76.38 feet to a TXDOT Aluminum Monument found for corner at the southwest end of the said corner clip;

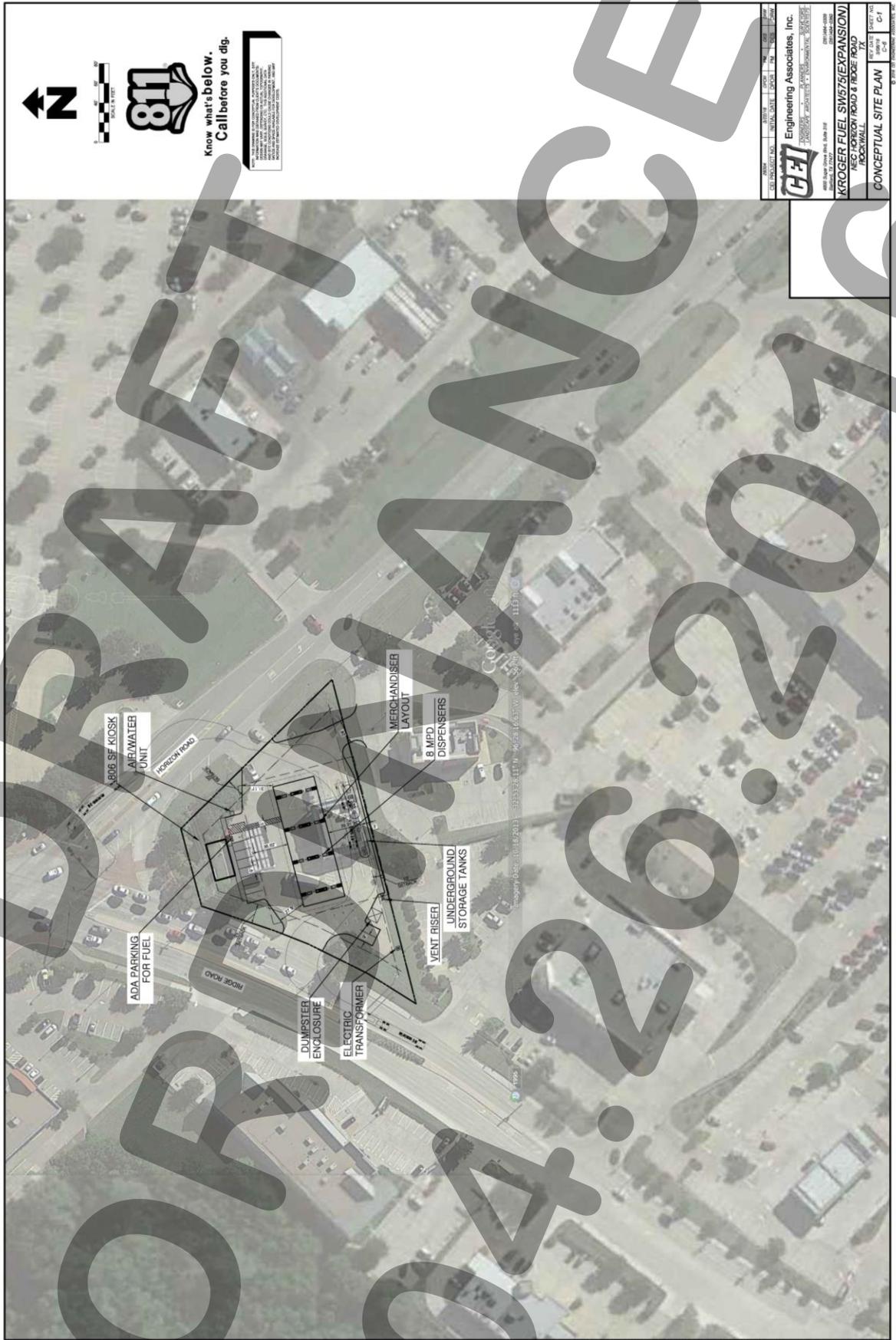
THENCE North 74 deg 35 min 42 sec East, along said corner clip, a distance of 82.72 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 0.918 acres or 40,001 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed on the 18th day of September, 2014, utilizing a G.P.S. measurement (NAD 83, Texas State Plane, North Central Zone) using City of Rockwall, Control Monuments Reset #1 and R014.

Exhibit B: Survey



Exhibit C: Conceptual Site Plan



City of Rockwall Project Plan Review History



Project Number Z2016-013	Owner WEST, UNION INVESTMENT CO	Applied 4/15/2016 LM
Project Name Rochelle Estates - PD	Applicant POINTE LAND AND DEVELOPMENT	Approved
Type ZONING		Closed
Subtype PD		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

Site Address ROCHELL RD	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	16	NULL	16	0186-0000-0016-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/22/2016	4/29/2016	4/22/2016		APPROVED	
ENGINEERING (4/19/2016 11:18 AM AW) Cul-de-sac right-of-ways must have minimum radius of 57.5 and paving radius of 47.5 Street along the park to be 41' B-B and 60' ROW FYI-Water, sewer, and Rochelle improvements required	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	Comments
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
PLANNING	David Gonzales	4/15/2016	4/22/2016	4/20/2016	5	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Hold a public hearing to discuss and consider a request by Garrett Lust of Pointe Land & Development, LLC on behalf of Marven Wu of West Union Investment, Co. for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 81.49-acre parcel of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on Rochell Road south of the intersection of Rochell Road the SH-276, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday, May 3, 2016 (three large copies FOLDED and one PDF version) for subsequent review by staff. For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com</p> <ul style="list-style-type: none"> • On all future submittals please include the Case Number (Z2016-013) in the lower right hand corner. • Please review the Draft Ordinance prior to the Planning & Zoning Meeting scheduled for May 10, 2015. • Please make the following corrections/additions to the Concept Plan: <ul style="list-style-type: none"> (1) Provide a legend indicating the following at a minimum: <ul style="list-style-type: none"> a. Total Acres – # b. Total Open Space - % c. Lot Type 'A' – 65' x 125' – 174 Lots d. Lot Type 'B' – 80' x 125' – 30 Lots e. Total Number of Lots – 204 f. Maximum Density - 2.503 d.u/acre (2) Rochelle Estates subdivision name – verify spelling for subdivision (i.e. Rochell or Rochelle). The city street name reflects the associated family name and is spelled without the 'e' on the end. (3) Provide % of open space for each separate area on the plan (i.e. detention areas, landscape buffer, park area, etc.). (4) Provide a typical street cross section for the proposed Minor Collector street to be located along the southern portion of the development, as indicated on the City's Thoroughfare Plan. (5) Provide niche styled parking spaces along the perimeter of the park area for access and convenience of the public. (6) Provide a label on the landscape buffer along Rochell Road. (7) Label all streets (e.g. Street A, Street B, etc.) (8) Provide property owner boundaries and property lines on adjacent properties. (9) Indicate the City's corporate boundaries on the concept plan. (10) Remove the statement at lower right indicating "This plan was prepared using...are subject to change without notice." <p>• The following are a list of Comprehensive Plan (plan) policies that have not been satisfied or could benefit from clarification:</p> <ul style="list-style-type: none"> (1) Currently, the concept plan does not indicate the total amount of open space being provided. The minimum amount required is 20% open space (i.e. ~16.298%). Provide the total open space meeting this requirement. (2) The plan also requires that all lots less than 12,000 sq. ft. must be located within 800-ft of a public park or open space corridor in order to benefit from a property value premium. Provide an exhibit indicating conformance to this requirement. (3) All residential lots that are 16,000 SF or less should be served by an alley. A request to waive this requirement by the City Council may be approved through the PD Ordinance.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<ul style="list-style-type: none"> • Please make these revisions and corrections, and provide any additional information that has been requested. Revisions for this case will be due to staff by May 3, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the May 10, 2016 Planning & Zoning Meeting. 						
<ul style="list-style-type: none"> • Please mark your calendar for the scheduled meeting dates as follows: 						
<ol style="list-style-type: none"> 1. Planning and Zoning Work Session: April 26, 2016 						
<ol style="list-style-type: none"> 2. Planning and Zoning Public Hearing: May 10, 2016 						
<ol style="list-style-type: none"> 3. City Council dates: a) May 16, 2016 [Public Hearing - 1st Reading], b) June 2, 2016 [2nd Reading (if approved)]. 						

Rockwall Zoning Change Application - Letter of Explanation

The purpose of this Zoning Application is to amend the Unified Development Code of the City of Rockwall, Texas as previously amended, so as to change the zoning from (AG) Agriculture District to (PD) Planned Development District on an 81.49-acre tract known as abstract 186, J. Ramsey Survey and more specifically described in the attached Zoning Application Exhibits. Our application focuses on zoning to develop a single-family residential community located on Rochelle Rd, south of Highway 276. With this Zoning Application, Pointe Land and Development seeks a variety of lot sizes and home products we feel meet the demands of the home buyers for this area of Rockwall. The proposed (PD) Planned Development District provides single family development criteria for a quality and prestigious community consistent with the developments in this area as well as Rockwall as a whole. Pointe Land & Development will be constructing a new section of Highlands Blvd and Rochelle Rd to improve the quality of roads and access to the area as per Rockwall's Thoroughfare Plan.

B. R. McClendon, trustee
vol. 91 pg. 523

1st tr. 80.42 ac.

2nd tr. 81.45 ac.

N 00° 12' 45" E

1640.51'

Ind 1/2" I.R.

Joe Smart
v. 59 p. 511

Joe Smart
v. 59 p. 509

N 89° 39' 28" E

2145.25'

fc. cor. brs.
S 89° 39' 28" W
40.00'

81.49 ac.

James F. Wood, trustee
vol. 122 pg. 783

J. RAMSEY SURVEY A-186
ROCKWALL COUNTY, TEXAS

N 89° 19' 38" W

2133.00'

3/8" I.R. brs.
N 89° 19' 38" W
29.58'

Ridge Haven Est.
plat cabinet A-213

- (11)
- (10)
- (9)
- (8)
- (7)
- (6)
- (5)
- (1)

S 00° 37' 46" W

1678.46'

P.W.F.

set nail

BEGIN

set nail

1" = 300'



FIELD NOTES

BEING an 81.49 acre tract of land situated in the J. RAMSEY SURVEY A-186 of Rockwall County, Texas and being a part of a once called 405 acre tract described in a deed recorded in Volume D Page 73 and being the same land as described in deed to James F. Wood, Trustee as recorded in Volume 122 Page 783 of the Rockwall County, Deed Records, said 81.49 acre tract being further described as follows;

BEGINNING at a nail set in the center of an existing public road on the East line of the Ramsey Survey and being about South 2874 feet from the Northeast corner of said Ramsey Survey and being the Southeast corner of that certain tract described in deed to Joe Smart as recorded in Volume 59 Page 509 of the Rockwall County, Deed Records from said nail a fence corner bears S 89 deg 39 min 28 sec W 40 feet;

THENCE S 00 deg 37 min 46 sec W along the center of said road and along the East line of the Ramsey Survey 1678.46 feet to the Southeast corner of said 405 acre tract and being the Northeast corner of the Ridge Haven Estates, subdivision as per plat recorded in Glide A 213 of the Rockwall County, Plat Records, from which a 3/8 inch iron rod was found to bear N 89 deg 19 min 38 sec W 29.58 feet;

THENCE N 89 deg 19 min 38 sec W along the North line of said Ridge Haven Estates and along an old fence 2133.00 feet to a fence corner found at the Southeast corner of a called 80.42 acre tract described in a deed to B.R. McClendon as recorded in Volume 91 Page 523 of the Rockwall County, Deed Records;

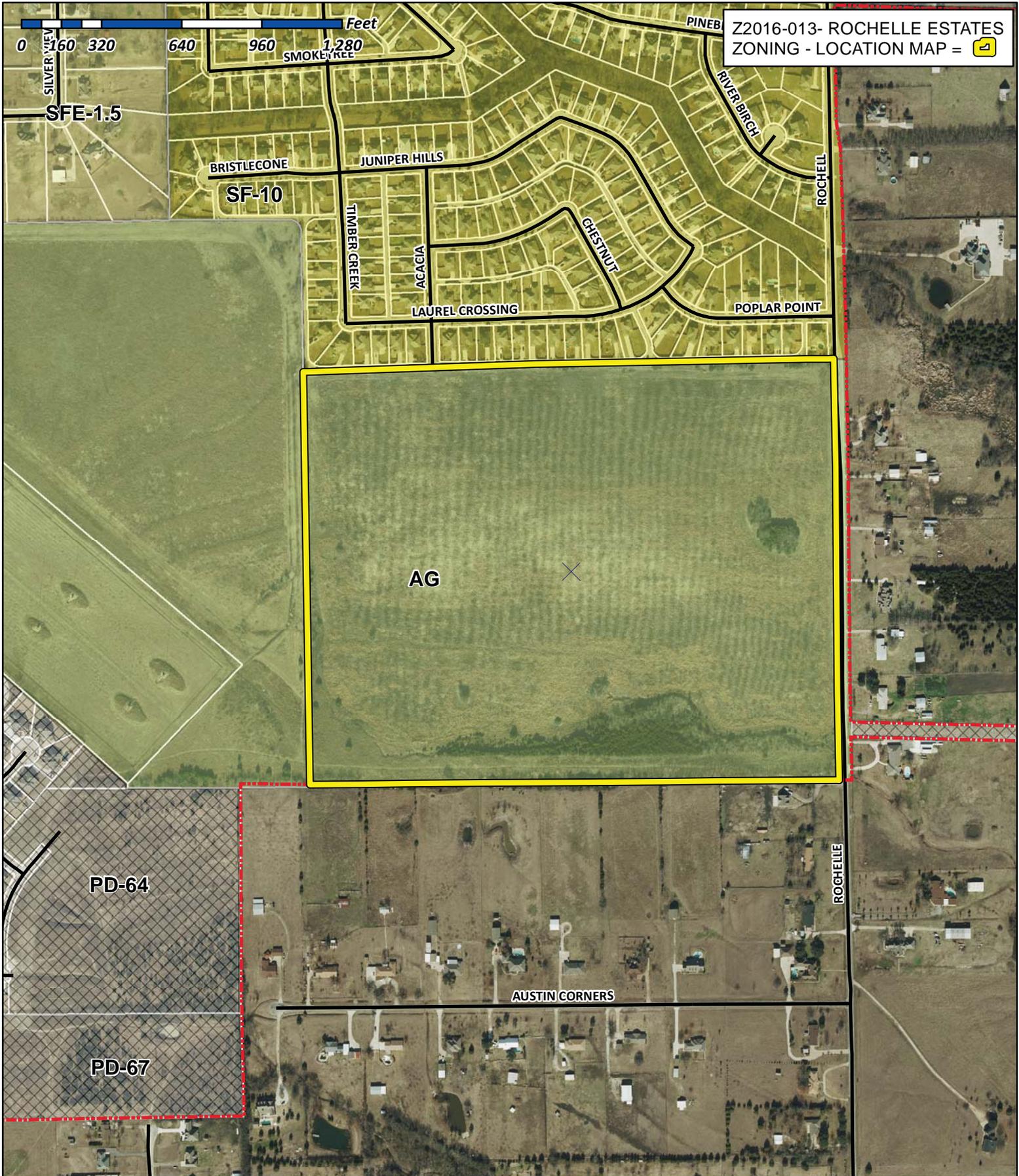
THENCE N 00 deg 12 min 45 sec East along the East line of said McClendon tract and along an old fence 1640.51 feet to a 1/2 inch iron rod found at a fence corner at an ell corner of that certain tract described in deed to Joe Smart as recorded in Volume 59 Page 511 of the Rockwall County, Deed Records;

THENCE N 89 deg 39 min 28 sec E along the South line of the Smart tracts 2145.25 feet to the point of beginning and containing 81.49 acres of land.

I do hereby certify this plat to be true and correct and to represent a ground survey completed November 17, 1987.

Barton W. McDonald
Barton W. McDonald
Registered Public Surveyor No. 4219

Legal Description



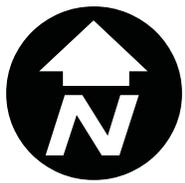
Z2016-013- ROCHELLE ESTATES
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

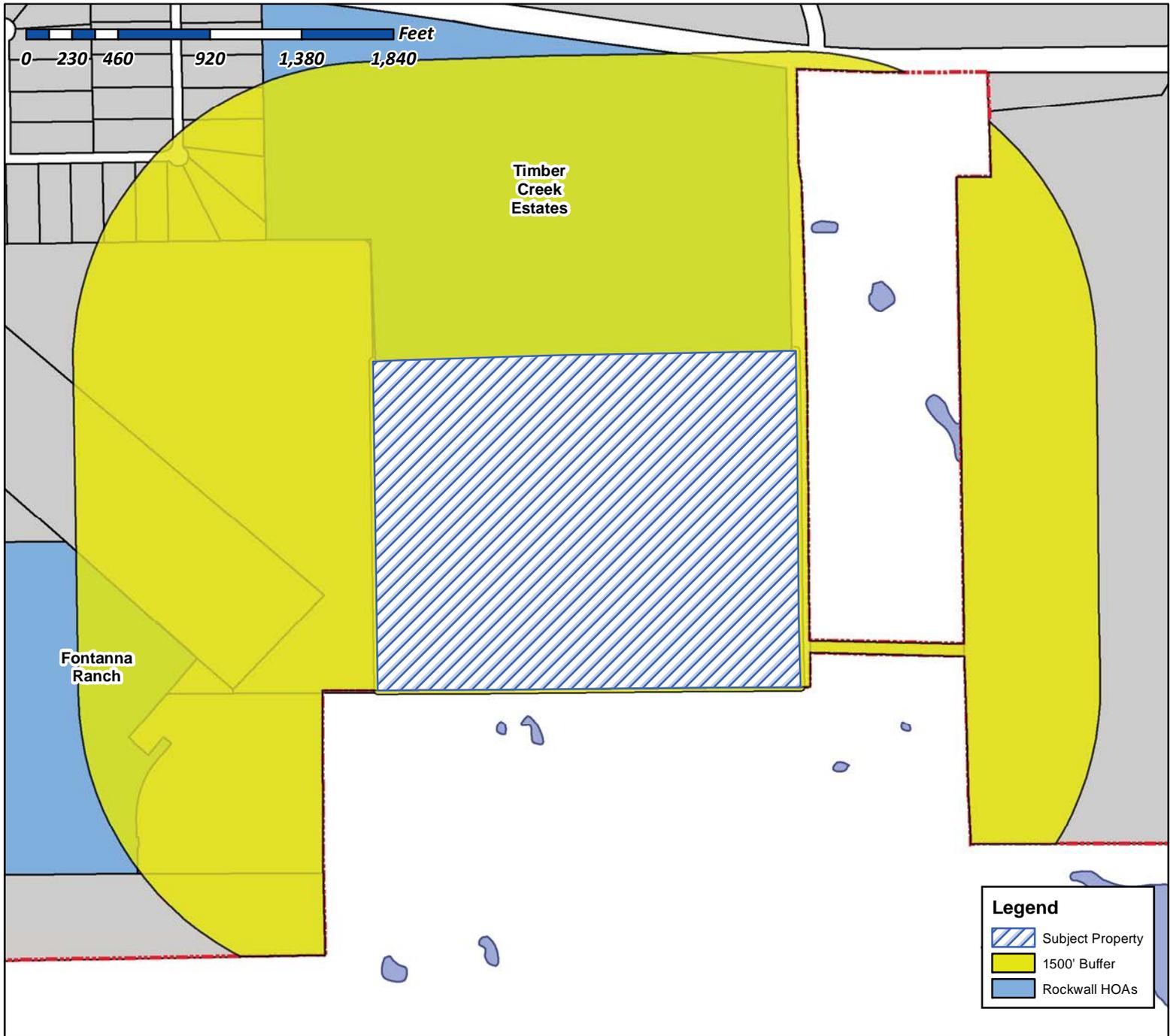




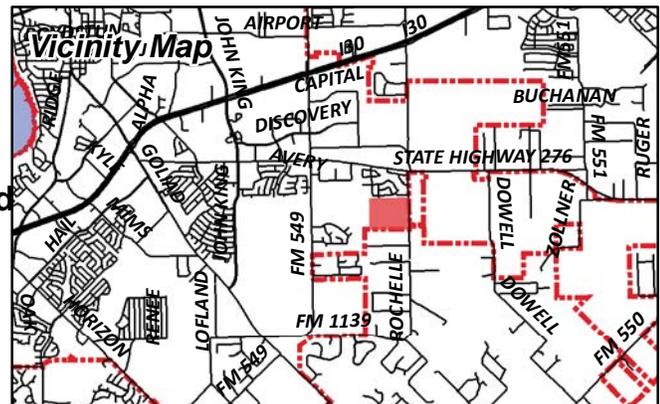
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2016-013
Case Name: Rochelle Estates
Case Type: Zoning
Zoning: Planned Development (PD) District
Case Address: South of intersection of Rochelle Road and SH-276



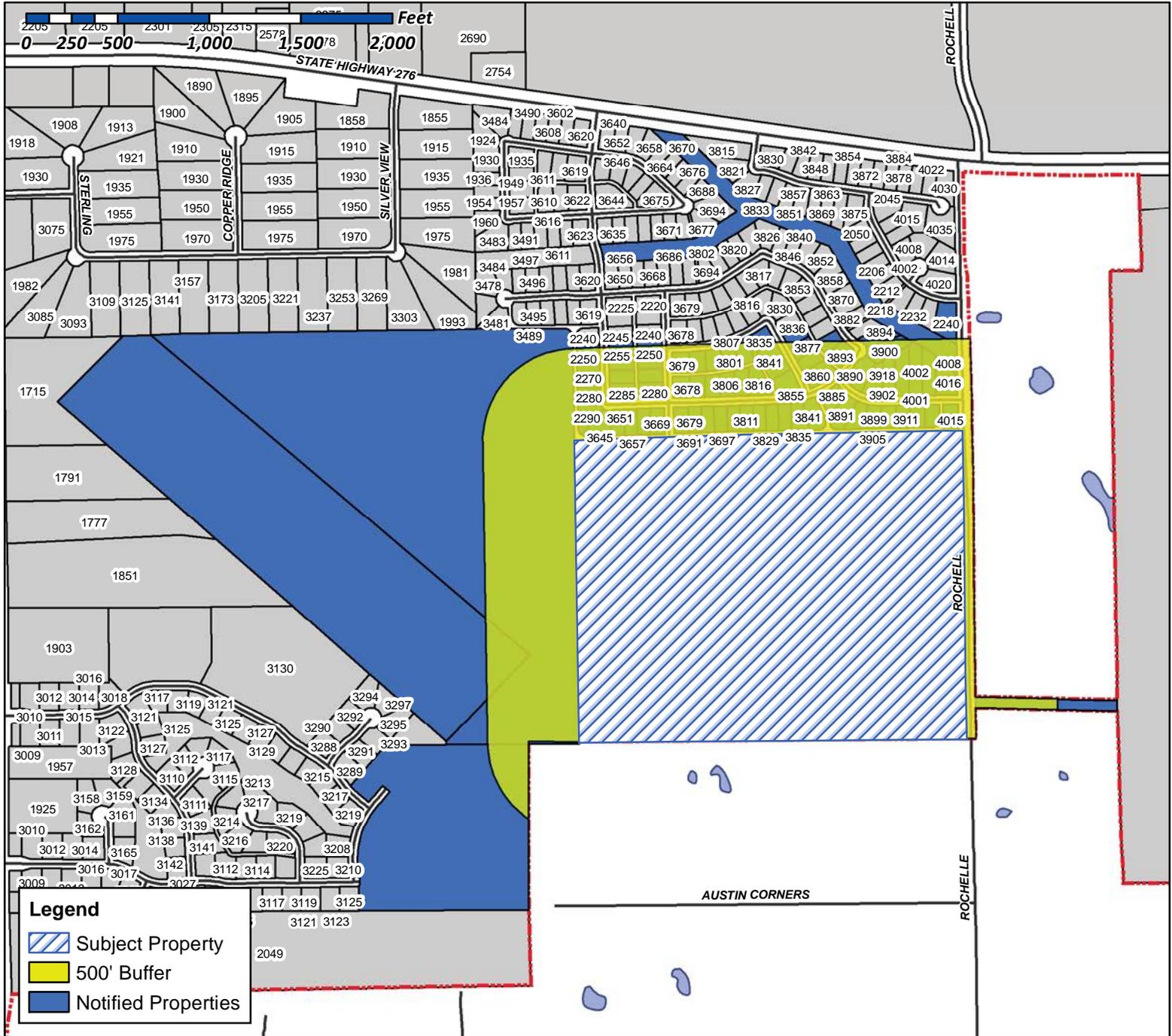
Date Created: 04/18/2016
For Questions on this Case Call (972) 771-7745



City of Rockwall

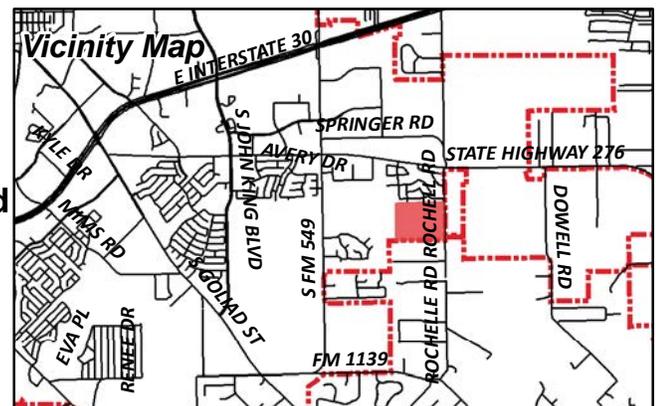
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Case Number: Z2016-013
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Case Address: South of Intersection of Rochelle Road and SH-276

Date Created: 04/18/2016
For Questions on this Case Call (972) 771-7745

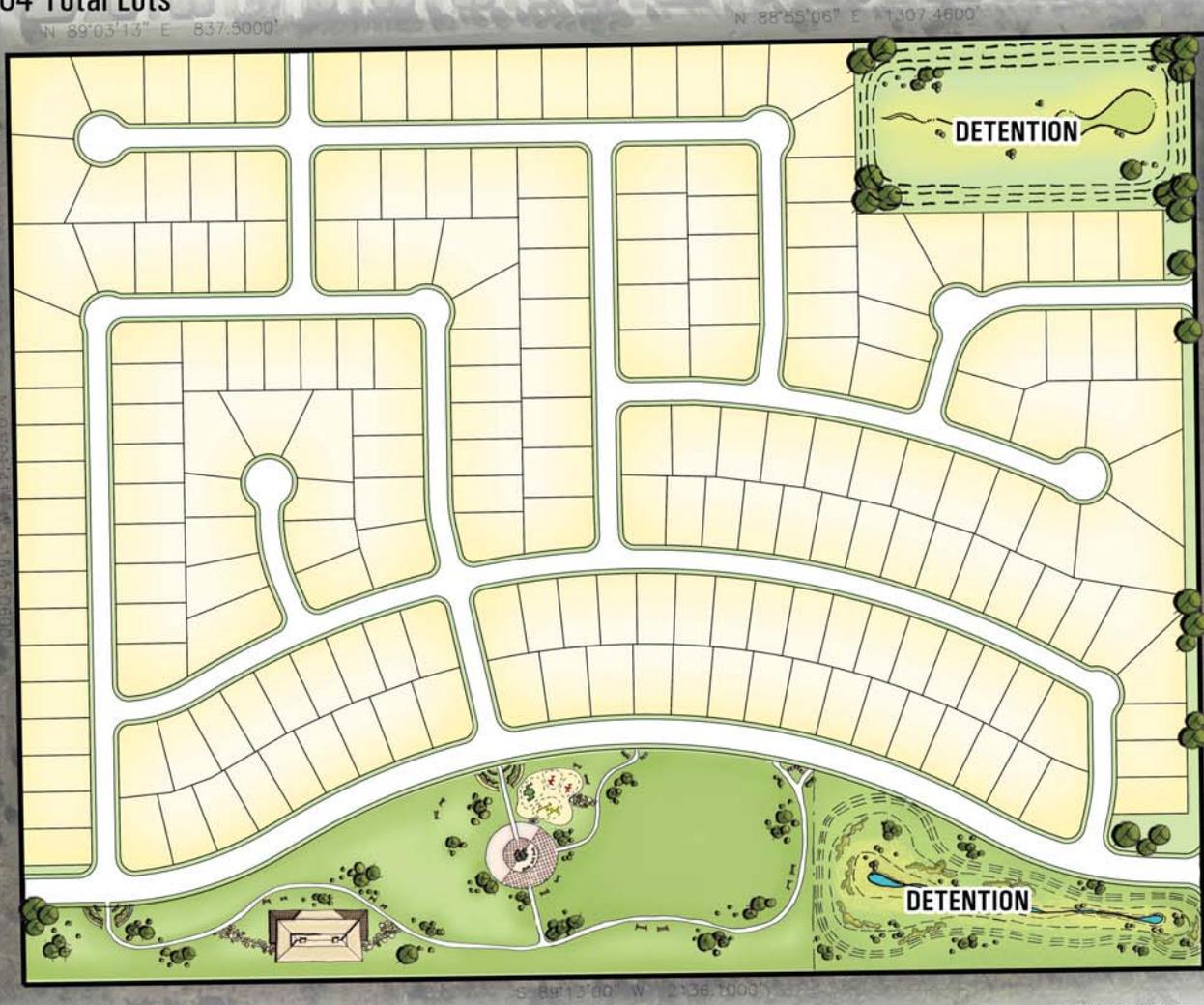


Reference No.	Name	Legal Description	Address_1	Address_2	Address_3	City	State	Zip
0186-0000-0005-00-OR	CURRENT RESIDENT	A0186 J A RAMSEY, TRACT 5, ACRES 18.506, (PT OF 46.506 AC TR)		FM549		ROCKWALL	TX	75032
5168-000G-0022-00-OR	GUAN HAIHUI & YUFENG TANG	TIMBER CREEK ESTATES, BLOCK G, LOT 22		1024 BUBB RD		CUPERTINO	CA	95014
5168-000J-0005-00-OR	PAPPAS NICHOLAS	TIMBER CREEK ESTATES, BLOCK J, LOT 5		11595 MINES RD		LIVERMORE	CA	94550
5168-000J-0003-00-OR	PAPPAS NICHOLAS	TIMBER CREEK ESTATES, BLOCK J, LOT 3		11595 MINES RD		LIVERMORE	CA	94550
5168-000G-0020-00-OR	ROBERTSON JAMES E	TIMBER CREEK ESTATES, BLOCK G, LOT 20		1202 BAYSHORE DR		ROCKWALL	TX	75032
5168-000G-0030-00-OR	CLIFTON STEPHEN E	TIMBER CREEK ESTATES, BLOCK G, LOT 30		1273 HIGHLAND DR		ROCKWALL	TX	75087
5168-000F-0031-00-OR	AMERICAN DREAM RENTALS LLC	TIMBER CREEK ESTATES, BLOCK F, LOT 31	A TEXAS LIMITED LIABILITY COMP.	1285 NW PINE LAKE DR		STUART	FL	34994
0186-0000-0008-00-OR	MCLENDON COMPANY THE	A0186 J A RAMSEY, TRACT 8, ACRES 80.42		13101 PRESTON RD	STE 501	DALLAS	TX	75240
5168-000G-0019-00-OR	ANUAR PETER	TIMBER CREEK ESTATES, BLOCK G, LOT 19		1419 WEST WICKHAM CIRCLE		DELRAY BEACH	FL	33445
5168-000J-0010-00-OR	SUTKER ITAI	TIMBER CREEK ESTATES, BLOCK J, LOT 10		17353 HATTERAS ST		ENCINO	CA	91316
5168-000H-0007-00-OR	PETERSON JUSTIN H & LAURA C REVOCABLE LIVING TRUST	TIMBER CREEK ESTATES, BLOCK H, LOT 7		1960 MURIFIELD AVENUE		ROCKWALL	TX	75087
5168-000J-0002-00-OR	AKITA TRUST	TIMBER CREEK ESTATES, BLOCK J, LOT 2		213 WILD LILAC		IRVINE	CA	92620
5168-000F-0021-00-OR	HIGGINBOTHAM JANET R &	TIMBER CREEK ESTATES, BLOCK E, LOT 21	MELANIE A EDWARDS	2240 RIVERBIRCH LN		ROCKWALL	TX	75032
5168-000H-0011-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK H, LOT 11		2250 ACACIA DR		ROCKWALL	TX	75032
5168-000G-0018-00-OR	GIDDENS ANTHONY & JERELYNN	TIMBER CREEK ESTATES, BLOCK G, LOT 18		2250 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000H-0004-00-OR	HOWLE MICHELE	TIMBER CREEK ESTATES, BLOCK H, LOT 4		2255 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000G-0019-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 19		2260 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000H-0010-00-OR	MCCUEN STEVE	TIMBER CREEK ESTATES, BLOCK H, LOT 10		2260 ACACIA		ROCKWALL	TX	75032
5168-000H-0005-00-OR	LUTTRELL OSCAR & JEAN	TIMBER CREEK ESTATES, BLOCK H, LOT 5		2265 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000H-0009-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK H, LOT 9		2270 ACACIA DR		ROCKWALL	TX	75032
5168-000G-0020-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 20		2270 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000H-0006-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK H, LOT 6		2275 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000H-0008-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK H, LOT 8		2280 ACACIA DR		ROCKWALL	TX	75032
5168-000G-0021-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 21		2280 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000H-0007-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK H, LOT 7		2285 TIMBER CREEK DR		ROCKWALL	TX	75032
5168-000G-0022-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 22		2290 TIMBER CREEK DR		ROCKWALL	TX	75032
0186-0000-0016-00-OR	WEST UNION INVESTMENT CO	A0186 J A RAMSEY, TRACT 16, ACRES 81.49		23545 CRENSHAW BLVD	STE 201	TORRANCE	CA	90505
5168-000G-0029-00-OR	HOCKINSON KIRK & KAREN	TIMBER CREEK ESTATES, BLOCK G, LOT 29		25 PRAIRIE FALCON DR		NOVATO	CA	94949
5168-000G-0027-00-OR	EMERY DIANE MEYER	TIMBER CREEK ESTATES, BLOCK G, LOT 27		2706 SUZANNE DR		ROWLETT	TX	75088
5168-000H-0006-00-OR	AMH 2015-1 BORROWER LLC	TIMBER CREEK ESTATES, BLOCK H, LOT 6		30601 AGOURA RD	SUITE 200	AGOURA HILLS	CA	91301
5168-000H-0008-00-OR	SYBRANDY HENRY M AND CANDY I 1989 REVOCABLE TRUST	TIMBER CREEK ESTATES, BLOCK H, LOT 8	HENRY M AND CANDY I SYBRANDY	3216 ERIE ST		SAN DIEGO	CA	92117
5168-000G-0046-00-OR	BURNHAM PAMELA	TIMBER CREEK ESTATES, BLOCK G, LOT 46		3510 DOVER DR		SANTA CRUZ	CA	95065
5168-000G-0023-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 23		3645 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000G-0024-00-OR	CLARK JUSTIN L	TIMBER CREEK ESTATES, BLOCK G, LOT 24		3651 LAUREL CROSSING DRIVE		ROCKWALL	TX	75032
5168-000G-0025-00-OR	COURTNEY SHANNON AND SHAMBRICA	TIMBER CREEK ESTATES, BLOCK G, LOT 25		3657 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000G-0026-00-OR	KYLE LAURA	TIMBER CREEK ESTATES, BLOCK G, LOT 26		3663 LAUREL CROSSING DRIVE		ROCKWALL	TX	75032
5168-000G-0027-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 27		3669 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0015-00-OR	CROSSAN GEORGE N & JUDY A	TIMBER CREEK ESTATES, BLOCK J, LOT 15		3678 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0001-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 1		3679 CHESTNUT TR		ROCKWALL	TX	75032
5168-000G-0028-00-OR	KILLINGSWORTH WILLIAM R AND	TIMBER CREEK ESTATES, BLOCK G, LOT 28	MARY ANN PETTON	3679 LAUREL CROSSING		ROCKWALL	TX	75032
5168-000J-0014-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 14		3684 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0002-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 2		3685 CHESTNUT TR		ROCKWALL	TX	75032
5168-000G-0029-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 29		3685 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0013-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 13		3690 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0003-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 3		3691 CHESTNUT TR		ROCKWALL	TX	75032
5168-000G-0030-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 30		3691 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000G-0031-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 31		3697 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0004-00-OR	BARNES JENNIFER L	TIMBER CREEK ESTATES, BLOCK J, LOT 4		3801 CHESTNUT TR		ROCKWALL	TX	75032
5168-000J-0013-00-OR	ANUAR MOSHE & KAREN	TIMBER CREEK ESTATES, BLOCK J, LOT 13		3801 NW 97TH AVE		HOLLYWOOD	FL	33024
5168-000J-0012-00-OR	MATTHEWS ROSS D III &	TIMBER CREEK ESTATES, BLOCK J, LOT 12	KRISTI L WALDEN	3802 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000G-0032-00-OR	FIELDS GREGORY & TESSARA	TIMBER CREEK ESTATES, BLOCK G, LOT 32		3805 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0011-00-OR	MCCAIG LINDA S	TIMBER CREEK ESTATES, BLOCK J, LOT 11		3806 LAUREL CROSSING DRIVE		ROCKWALL	TX	75032
5168-000J-0005-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 5		3807 CHESTNUT TR		ROCKWALL	TX	75032
5168-000G-0033-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 33		3811 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0010-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 10		3816 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000G-0034-00-OR	COPPOCK MICHAEL & LANESSA	TIMBER CREEK ESTATES, BLOCK G, LOT 34		3817 LAUREL CROSSING		ROCKWALL	TX	75032
5168-000G-0035-00-OR	BEAN RUSSELL S & JESSICA D	TIMBER CREEK ESTATES, BLOCK G, LOT 35		3823 LAUREL CROSSING DRIVE		ROCKWALL	TX	75032
5168-000G-0036-00-OR	VENTURA CELYN A	TIMBER CREEK ESTATES, BLOCK G, LOT 36		3829 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0006-00-OR	SHARPE CHARLES & MYRA JO	TIMBER CREEK ESTATES, BLOCK J, LOT 6		3835 CHESTNUT TR		ROCKWALL	TX	75032
5168-000G-0037-00-OR	THOMAS ANTHONY	TIMBER CREEK ESTATES, BLOCK G, LOT 37		3835 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0007-00-OR	MCCARTER CHARLES & MARIA C	TIMBER CREEK ESTATES, BLOCK J, LOT 7		3841 CHESTNUT TRAIL		ROCKWALL	TX	75032
5168-000G-0038-00-OR	GOMEZ OSCAR SR	TIMBER CREEK ESTATES, BLOCK G, LOT 38		3841 LAUREL CROSSING DR		ROCKWALL	TX	75032
5168-000J-0019-00-OR	HARRISON CLINTON	TIMBER CREEK ESTATES, BLOCK I, LOT 19		3842 CHESTNUT TR		ROCKWALL	TX	75032
5168-000J-0008-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK J, LOT 8		3847 CHESTNUT TR		ROCKWALL	TX	75032
5168-000J-0018-00-OR	MELLEN JUSTIN C & CRYSTAL R	TIMBER CREEK ESTATES, BLOCK I, LOT 18		3848 CHESTNUT TR		ROCKWALL	TX	75032
5168-000J-0017-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK I, LOT 17		3854 CHESTNUT TR		ROCKWALL	TX	75032
5168-000J-0009-00-OR	NOTT PHILLIP	TIMBER CREEK ESTATES, BLOCK J, LOT 9		3855 CHESTNUT TRAIL		ROCKWALL	TX	75032
5168-000J-0016-00-OR	ROWELL ARNOLD B & JACQUELYN	TIMBER CREEK ESTATES, BLOCK I, LOT 16		3860 CHESTNUT TR		ROCKWALL	TX	75032
5168-000F-0028-00-OR	GERSON AND LESSER REVOCABLE TRUST	TIMBER CREEK ESTATES, BLOCK F, LOT 28	RANDI T GERSON AND SARA R LES	387 43RD ST		OAKLAND	CA	94609
5168-000J-0014-00-OR	SMITH OLIVER HUGHIE & NATASHA COLETTE	TIMBER CREEK ESTATES, BLOCK I, LOT 14		3885 JUNIPER HILLS DR		ROCKWALL	TX	75032

5168-000G-0039-00-OR	KNEAREM BEAU J	TIMBER CREEK ESTATES, BLOCK G, LOT 39		3885 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0026-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK F, LOT 26		3890 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0026-00-OR	THOMAS JOHN SCOTT & TAMMY L	TIMBER CREEK ESTATES, BLOCK F, LOT 26		3890 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0040-00-OR	WILLIAMS MICHAEL AND MICHELLE	TIMBER CREEK ESTATES, BLOCK G, LOT 40		3891 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000I-0015-00-OR	BENNETT CLAY	TIMBER CREEK ESTATES, BLOCK I, LOT 15		3893 JUNIPER HILLS DR		ROCKWALL	TX	75032
5168-000F-0024-00-OR	NEFF NATHANIEL J	TIMBER CREEK ESTATES, BLOCK F, LOT 24		3894 JUNIPER HILLS DR		ROCKWALL	TX	75032
5168-000G-0041-00-OR	BAHAM AMBER	TIMBER CREEK ESTATES, BLOCK G, LOT 41		3899 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0025-00-OR	FORTNER MICHAEL AND JENNIFER	TIMBER CREEK ESTATES, BLOCK F, LOT 25		3900 JUNIPER HILLS DR		ROCKWALL	TX	75032
5168-000F-0027-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK F, LOT 27		3902 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0042-00-OR	NARRAMORE RYAN & WENDI	TIMBER CREEK ESTATES, BLOCK G, LOT 42		3905 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0028-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK F, LOT 28		3910 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0043-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 43		3911 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0029-00-OR	COLLINSWORTH TERRY RAY & SHIRLEY ANN	TIMBER CREEK ESTATES, BLOCK F, LOT 29		3918 POPLAR POINT DRIVE		ROCKWALL	TX	75032
5168-000G-0044-00-OR	FERGUSON MONDE & JONATHAN	TIMBER CREEK ESTATES, BLOCK G, LOT 44		3919 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0045-00-OR	BATES DOUGLAS & ANITA	TIMBER CREEK ESTATES, BLOCK G, LOT 45		4001 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0030-00-OR	WILLIAMS DAVID R & LEAANN	TIMBER CREEK ESTATES, BLOCK F, LOT 30		4002 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0046-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK G, LOT 46		4007 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0031-00-OR	CURRENT RESIDENT	TIMBER CREEK ESTATES, BLOCK F, LOT 31		4008 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0047-00-OR	HARRISON CHRISTINA LYNN	TIMBER CREEK ESTATES, BLOCK G, LOT 47		4015 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000F-0032-00-OR	MCPHERSON LUKE KENNETH & SHAYLYN	TIMBER CREEK ESTATES, BLOCK F, LOT 32		4016 POPLAR POINT DR		ROCKWALL	TX	75032
5168-000G-0043-00-OR	CARR JIMMIE T	TIMBER CREEK ESTATES, BLOCK G, LOT 43		506 GILTIN DR		ARLINGTON	TX	76006
4760-0000-0009-01-OR	HIGHLANDS OF ROCKWALL LTD	RIDGE HAVEN EST #2, LOT 9-1, ACRES 1.04	C/O JAMES M BROWN	6750 HILLCREST PLAZA DR	STE 213	DALLAS	TX	75230
5168-000I-0001-00-OR	AMERICAN RESIDENTIAL LEASING COMPANY LLC	TIMBER CREEK ESTATES, BLOCK J, LOT 1		7047 E GREENWAY PARKWAY	SUITE 350	SCOTTSDALE	AZ	85254
5168-000G-0023-00-OR	ZHIXING REN & ZHIPU SHU	TIMBER CREEK ESTATES, BLOCK G, LOT 23		7572 BOLLINGER RD		CUPERTINO	CA	95014
5168-000G-0021-00-OR	FREO TEXAS LLC	TIMBER CREEK ESTATES, BLOCK G, LOT 21		7702 E DOUBLETREE RANCH RD #100		SCOTTSDALE	AZ	85258
5168-000I-0008-00-OR	ROMERO OSCAR & SELMA C	TIMBER CREEK ESTATES, BLOCK J, LOT 8		925 SKYLINE DR		VALLEJO	CA	94591
0186-0000-0003-00-OR	IHEARTMEDIA TOWER CO I (AM) LLC	A0186 J A RAMSEY, TRACT 3, ACRES 39.26	VERTICAL BRIDGE CC PARENT LLC	951 BROKEN SOUND PKWY	SUITE 320	BOCA RATON	FL	33487
5168-000G-0033-00-OR	MALTEZ RAOUL A	TIMBER CREEK ESTATES, BLOCK G, LOT 33		PO BOX 1314		FAIR OAKS	CA	95628
5168-000G-0005-00-OR	FONTANNA RANCH LTD	A0186 J A RAMSEY, TRACT 5, ACRES 18.506, (PT OF 46.506 AC TR)		PO BOX 191185		DALLAS	TX	75219
5168-000G-0031-00-OR	BRADEN MICHAEL	TIMBER CREEK ESTATES, BLOCK G, LOT 31		PO BOX 3016		SAN ANSELMO	CA	94979
5168-000I-0017-00-OR	BRADEN MICHAEL	TIMBER CREEK ESTATES, BLOCK I, LOT 17		PO BOX 3016		SAN ANSELMO	CA	94979
5168-000H-0011-00-OR	MCCUEN STEVEN	TIMBER CREEK ESTATES, BLOCK H, LOT 11		PO BOX 953		ROCKWALL	TX	75087

ROCHELLE ESTATES

A Concept Plan - 204 Total Lots

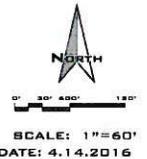
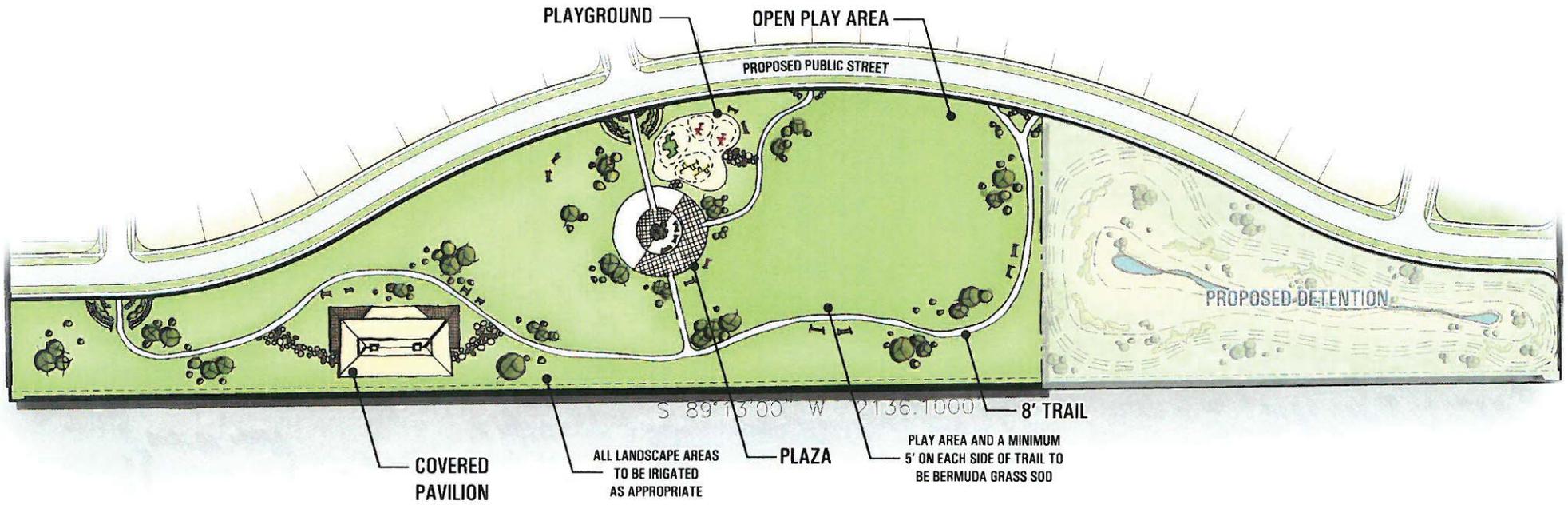


SCALE: 1"=100'
DATE: 4.15.2016

THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

Rochelle Estates

Park Concept Plan ± 9.0 AC



THIS PLAN WAS PREPARED USING REASONABLY RELIABLE SOURCES AND IS SUBJECT TO CHANGE PENDING A DETAILED BOUNDARY SURVEY. THIS PLAN HAS NOT BEEN REVIEWED BY ANY GOVERNMENTAL AGENCY. ADDITIONAL STREETS AND/OR DRAINAGE PROVISIONS MAY BE REQUIRED. THIS PLAN IS AN ARTIST'S CONCEPTION AND IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. ALL PLANS FOR FACILITIES OR LAND USES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

Amenity Package
Proposed Split District Park Concept Plan

Features:

- 9 Acres of Open Space
- 8ft concrete Hike & Bike trail
- Playground
- Plaza
- Full irrigation of park area
- Bermuda Sod of park area
- Covered Pavilion
- Picnic area
- Benches
- Landscape features including trees and other vegetation approved by City of Rockwall

City of Rockwall Project Plan Review History



Project Number Z2016-014	Owner LAKESIDE, CHURCH OF CHRIST OF RW	Applied 4/15/2016 LM
Project Name Ridgecrest Subdivision (AG to PD)	Applicant SKORBURG COMPANY	Approved
Type ZONING		Closed
Subtype PD		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

Site Address AIRPORT RD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision ROLLING MEADOWS ESTATES	Tract 2	Block A	Lot No 2	Parcel No 4861-000A-0002-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/22/2016	4/29/2016	4/22/2016		APPROVED	
ENGINEERING	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	APPROVED	
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
PLANNING	Ryan Miller	4/15/2016	4/22/2016	4/19/2016	4	APPROVED	See Comments

Z2016-014 (Lakeside Church of Christ Tract [AG to PD]): Please address the following comments (M= Mandatory Comments; I = Informational Comments).

- I.1 Hold a public hearing to discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and located on the north side of Airport Road, west of the intersection of Airport Road and FM3549, and take any action necessary.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 On all future submittals please include the case number (Z2016-014) in the lower right hand corner.
- I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on May 10, 2016.
- M.5 Please submit a legal description for the subject property.
- I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due to staff on May 3, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the May 10, 2016 Planning & Zoning Meeting.
- I.7 The projected City Council dates for this case are project to be: 1) May 16, 2016 [1st Reading], and 2) June 6, 2016 [2nd Reading].

0 95 190 380 570 760 Feet

Z2016-014- ROCKWALL LAKESIDE CHURCH ZONING - LOCATION MAP = 

ROLLING MEADOWS

SFE-4

SF-10

AMITY

INDIAN

AG

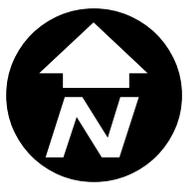
AIRPORT

LI

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

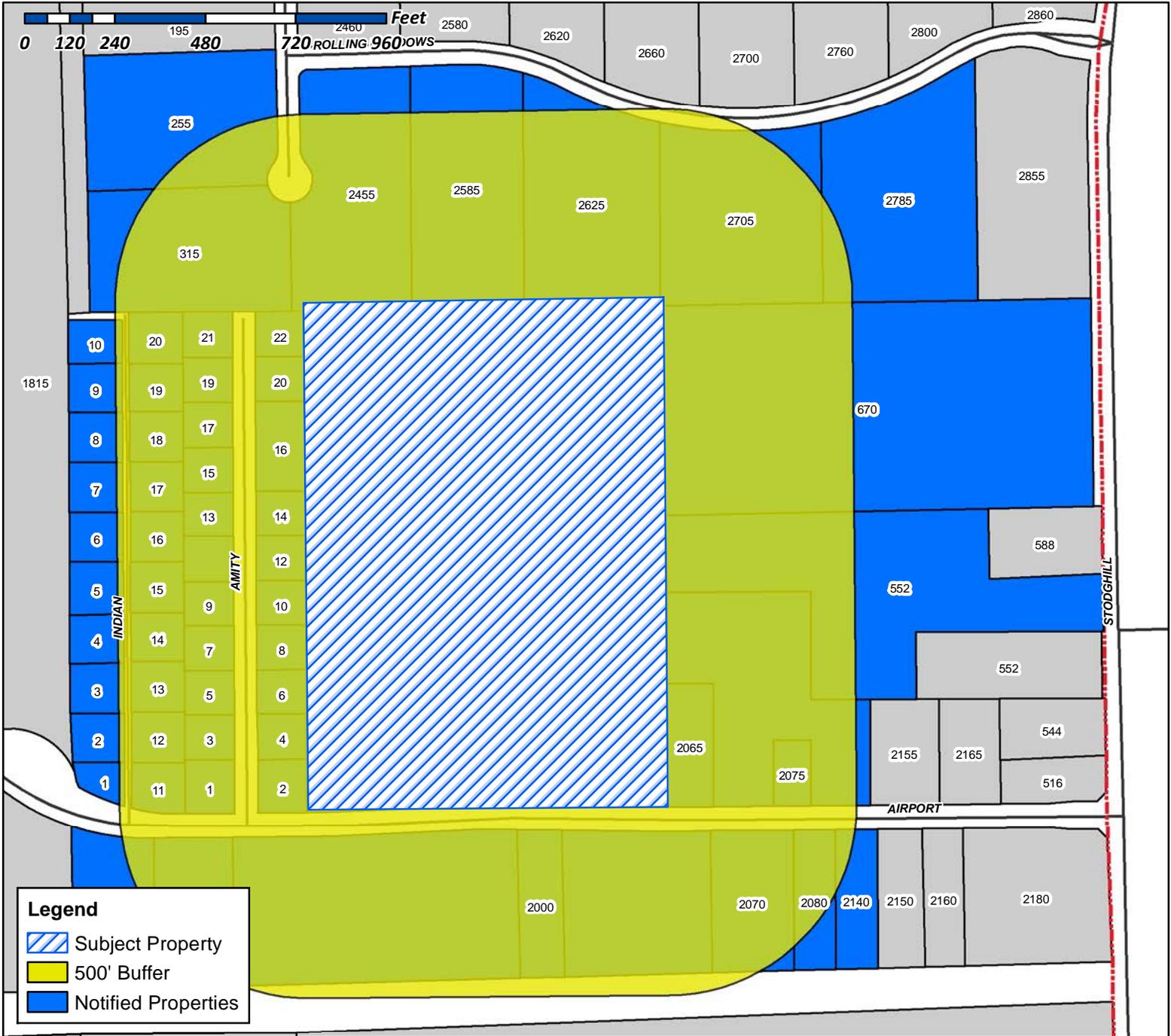
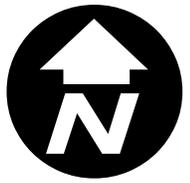




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

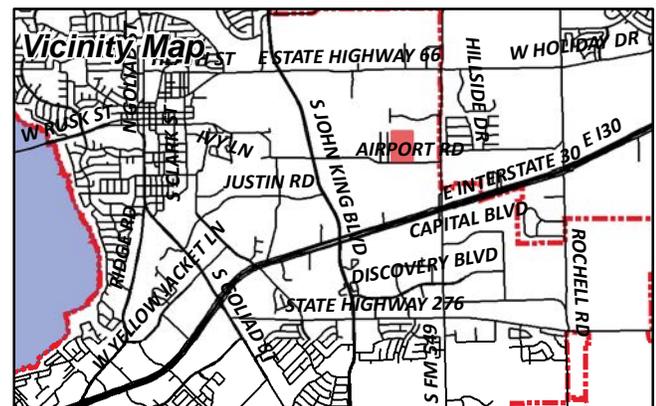
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Case Number: Z2016-014
Case Name: Rockwall Lakeside Church of Christ
Case Type: Zoning
Zoning: Planned Development (PD) District
Case Address: Intersection of Airport Road and FM3549

Date Created: 4/19/2016

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1 AMITY LN
ROCKWALL, TX 75087

KELLER THERESA L
1 INDIAN TRL
ROCKWALL, TX 75087

HERRERA MINDY ALISE AND JOSE ANGEL
10 AMITY LN
ROCKWALL, TX 75087

PAREDES JULIO E & BLANCA A
10 INDIAN TRL
ROCKWALL, TX 75087

HERRERA SARAH E AND DANIEL O
11 INDIAN TR
ROCKWALL, TX 75087

GLOTH CHARLES ETUX
12 AMITY LN
ROCKWALL, TX 75087

FINK JAMI
12 INDIAN TRL
ROCKWALL, TX 75087

SIMONITCH MARK S
13 AMITY LN
ROCKWALL, TX 75087

KIMBRELL MIKE
13 INDIAN TRL
ROCKWALL, TX 75087

HERNANDEZ GERARDO & KARLA
1320 BLAIR DR
MESQUITE, TX 75150

CURRENT RESIDENT
14 AMITY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
14 INDIAN TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
15 AMITY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
15 INDIAN TRL
ROCKWALL, TX 75087

MUNDAY NICHOLAS & ELIZABETH
153 SAN MILANO DR
GOLETA, CA 93117

RAY NOLA L
159 QUINTA CIR
ROYSE CITY, TX 75189

BAKER NORMAN S & JEAN K
16 AMITY LN
ROCKWALL, TX 75087

RUSH JONATHAN S AND RACHEL M
16 INDIAN TR
ROCKWALL, TX 75087

PARKER MARK
1616 ROYAL OAKS DRIVE
WACO, TX 76710

SANCHEZ MARISELA
17 AMITY LN
ROCKWALL, TX 75087

CONFIDENTIAL
17 INDIAN TRAIL
ROCKWALL, TX 75087

DEVOLL JAMES DAVID &
1721 BRIARROAKS DR
FLOWER MOUND, TX 75028

CURRENT RESIDENT
18 INDIAN TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
19 INDIAN TRL
ROCKWALL, TX 75087

BENTLEY THOMAS R AND HERTA
19 AMITY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1930 AIRPORT RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2 INDIAN TRL
ROCKWALL, TX 75087

SMITH NORMA JANE
2 AMITY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
20 AMITY LN
ROCKWALL, TX 75087

BEALL JOHNNY
20 INDIAN TRL
ROCKWALL, TX 75087

SPRINGER OUIDA MRS
2000 AIRPORT RD
ROCKWALL, TX 75087

DOUGLAS JENNIFER E
2065 AIRPORT RD
ROCKWALL, TX 75087

SCHUELER BARBARA JEAN AND
2070 AIRPORT ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2075 AIRPORT RD
ROCKWALL, TX 75087

STANDLEY VEANETA TRUSTEE
2080 AIRPORT RD
ROCKWALL, TX 75087

CURRENT RESIDENT
21 AMITY LN
ROCKWALL, TX 75087

GRIFFIN PATTY C & J T
2140 AIRPORT RD
ROCKWALL, TX 75087

RODRIGUEZ DELFINO & ROGELIO
22 AMITY LN
ROCKWALL, TX 75087

BISHOP RANDY M & CATHLEEN M
2455 ROLLING MEADOWS DR
ROCKWALL, TX 75087

LOVOI JOSEPH H HR AND JULIANA A
255 ROLLING MEADOW CR
ROCKWALL, TX 75087

EVANS GARY L & BECKY
2585 ROLLING MEADOWS DR
ROCKWALL, TX 75087

ORR DONNA & ROGER SHANK LIVING TR
2625 ROLLING MEADOWS DR
ROCKWALL, TX 75087

BENNETT STELLA & CLIFFORD
2705 ROLLING MEADOWS DR
ROCKWALL, TX 75087

BANKS JAMES H & SARAH DENNIS
2785 ROLLING MEADOWS DR
ROCKWALL, TX 75087

PARRISH THAYER W & ELSIE JOAN
3 AMITY LN
ROCKWALL, TX 75087

MIXON DEMPSEY W JR & DEANNA
3 INDIAN TRL
ROCKWALL, TX 75087

MCCLUNG CARL
3104 BOURBON STREET CIR
ROCKWALL, TX 75032

HAMANN BRENT AND KRISTIE
315 ROLLING MEADOW CIR
ROCKWALL, TX 75087

HAMANN BRENT A & KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

VELASQUEZ MARIO
3603 GRAY DR
MESQUITE, TX 75150

CURRENT RESIDENT
4 INDIAN TRL
ROCKWALL, TX 75087

HARRELL JEFFREY WARREN
4 AMITY LN
ROCKWALL, TX 75087

DAVIS LISA M
402 S GOLIAD ST
ROCKWALL, TX 75087

STEPHENS MARK B & JULIANNE S
5 AMITY LN
ROCKWALL, TX 75087

HOWLAND JERRY
5 INDIAN TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
552 FM3549 STODGHILL RD
ROCKWALL, TX 75087

TABIRA JACOB M & MARIA A
574 GARRETT DR
ROCKWALL, TX 75087

MARTIN WILLIAM ARLAND
6 AMITY LN
ROCKWALL, TX 75087

MASON KAREN
6 INDIAN TRL
ROCKWALL, TX 75087

CHEN XIANSONG AND
609 BELHAVEN DR
ALLEN, TX 75013

LAKESIDE CHURCH OF CHRIST OF RW
670 STODGHILL RD
ROCKWALL, TX 75087

LAKESIDE CHURCH OF CHRIST OF RW
670 STODGHILL RD
ROCKWALL, TX 75087

FAULK THOMAS G & GLADYS
7 AMITY LN
ROCKWALL, TX 75087

GUZMAN JOSE ANTONIO
7 INDIAN TRL
ROCKWALL, TX 75087

BRALEY STEVEN
8 AMITY LN
ROCKWALL, TX 75087

VOTH DOUGLAS & LEAH
8 INDIAN TRL
ROCKWALL, TX 75087

GARCIA MARTIN
852 ROSE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
9 AMITY LN
ROCKWALL, TX 75087

PANNELL CHRYSAL
990 CORNELIUS RD
ROCKWALL, TX 75087

WACK LINDSEY P & DONNETTE
994 REDWOOD TRAIL
ROCKWALL, TX 75087

GARRETT RANDY SCOTT
PO BOX 10
FATE, TX 75132

BLACKLAND WATER CORP
PO BOX 215
FATE, TX 75132

LEGAL DESCRIPTION

BEING, a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 in Rockwall County, Texas, being all of Lot 2 Block A and a portion of Lot 1 Block A, out of Rockwall Lakeside Church of Christ Addition, an addition to the City of Rockwall, as described in Cabinet F, Slide 72-78, in the Plat Records of Rockwall County, Texas, being more particularly described as follows:

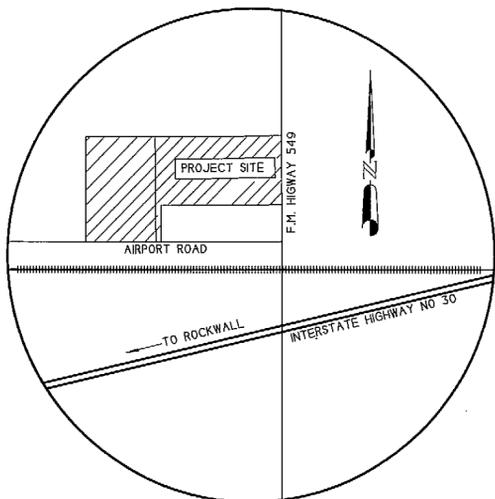
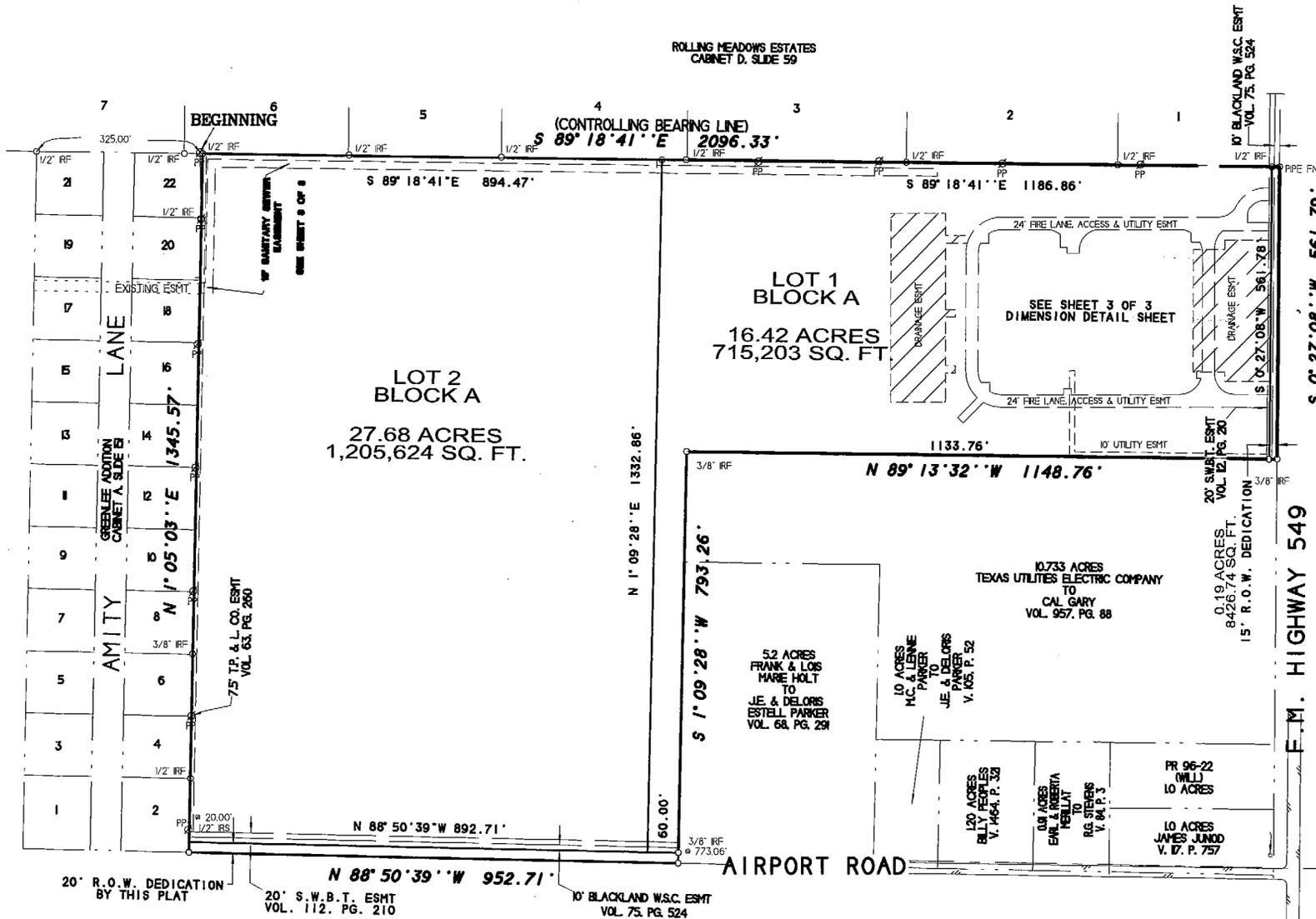
BEGINNING, at a ½ inch iron rod set at the southwest corner of said Rockwall Lakeside Church of Christ Addition and being the southeast corner of Greenlee addition, an addition to the City of Rockwall, as described in Cab. A, Slide 151, in said Plat Records;

THENCE, North 01°05'03" East, along the west line of said Rockwall Lakeside Church of Christ Addition and along the east line of said Greenlee Addition, for a distance of 1325.57 feet, to a ½ inch iron rod set at the northwest corner of said Rockwall Lakeside Church Addition;

THENCE, South 89°18'40" East, along the north line of said Rockwall Lakeside Church Addition, at 894.47 feet, passing the northeast corner of said Lot 2 Block A and the northwest corner of said Lot 1 Block A, for a total distance of 954.47 feet, to a ½ inch iron rod set;

THENCE, South 01°09'28" West, departing said north line, for a distance of 1353.35 feet, to a ½ inch iron rod set at the most southerly southeast corner of said Rockwall Lakeside Church of Christ Addition;

THENCE, North 88°50'39" West, along the south line of said Rockwall Lakeside Church of Christ Addition, for a distance of 952.71 feet, to the POINT OF BEGINNING and containing 29.541 acres of land.



VICINITY MAP
N.T.S.

NOTES
1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

OWNER :
ROCKWALL LAKESIDE CHURCH OF CHRIST
CONTACT: ROY GARNER
PHONE: (972) 771-0074

F 72-73-74

FINAL PLAT
**ROCKWALL LAKESIDE CHURCH
OF CHRIST ADDITION**
2 LOTS 44.29 ACRES

E.M. ELLIOTT SURVEY, ABSTRACT NO. 77
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SHEET 1 OF 3



ROCKWALL SURVEYING CO., INC. LAND SURVEYING
1984 S. FM 551 ROYSE CITY, TX 75189 972-772-5434 PHONE 972-772-5443 FAX

SURVEY DATE JANUARY 16, 2004
SCALE 1" = 200' FILE # 20020108PP
CLIENT GARNER

FILED FOR RECORD
ROCKWALL COUNTY
04 JUL 22 AM 9:48
PAULETTE BURKS
CO. CLERK
RY: _____ DEPUTY

OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS ROCKWALL LAKESIDE CHURCH OF CHRIST, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77, City of Rockwall, Rockwall County, Texas, and being a part of that 64.88 acres tract of land as described in a Warranty deed from T.B. Moss and wife, Carolyn L. Moss to R.G. Stephens, Joseph Funk, and J.E. Overall, Jr., dated July 21, 1971 and being recorded in Volume 97, Page 420 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the North line of said 64.88 acres tract of land, said point being S. 89 deg. 18 min. 40 sec. E., 325.00 feet from the Northwest corner of same, and being in the South line of Lot 6, ROLLING MEADOWS ESTATES, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet D, Slide 59 of the Plat Records of Rockwall County, Texas, said point also being at the Northeast corner of Lot 22, Greenlee Addition, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 151 of the Plat Records of Rockwall County, Texas;

THENCE S. 89 deg. 18 min. 40 sec. E. (Controlling bearing line) along the North line of said 64.88 acres tract and the South line of ROLLING MEADOWS ESTATES, a distance of 2096.33 feet to a 1/2" iron rod found for corner in the West right-of-way line of F.M. Highway 548;

THENCE S. 00 deg. 27 min. 08 sec. W. along said right-of-way line, a distance of 561.79 feet to a 3/8" iron rod found for corner at the Northeast corner of a 10.733 acres tract of land as described in a Deed to Cal Gary as recorded in Volume 957, Page 88 of the Real Property Records of Rockwall County, Texas;

THENCE S. 01 deg. 09 min. 28 sec. W. at 773.06 feet pass a 3/8" iron rod found for witness and continuing for a total distance of 793.26 feet to a point for corner in the center of Airport Road;

THENCE N. 88 deg. 50 min. 39 sec. W. along the center of Airport Road, a distance of 952.71 feet to a point for corner at the Southeast corner of Greenlee Addition;

THENCE N. 01 deg. 05 min. 03 sec. E., at 20.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for witness and continuing along the East line of Greenlee Addition for a total distance of 1345.57 feet to the POINT OF BEGINNING and containing 44.29 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as ROCKWALL LAKESIDE CHURCH OF CHRIST ADDITION an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys parks water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

Milton Halbert (Signature)

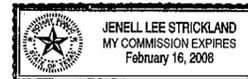
STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared MILTON HALBERT, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 1st day of July 2004

Jenell Lee Strickland (Signature) Notary Public in and for the State of Texas

2-16-08 My Commission Expires:



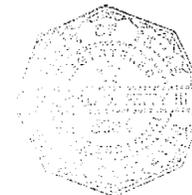
NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III (Signature) Registered Professional Land Surveyor No. 5034



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission (Signature)

7/21/04 Date

APPROVED

I hereby certify that the above and foregoing plat of ROCKWALL LAKESIDE CHURCH OF CHRIST ADDITION, an addition to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the 17 day of July, 2004.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this 21st day of July, 2004

Mayor, City of Rockwall (Signature)

City Secretary, City of Rockwall (Signature)



Chuck Todd 7-2-04 CITY ENGINEER

FINAL PLAT

ROCKWALL LAKESIDE CHURCH OF CHRIST ADDITION

2 LOTS 44.29 ACRES

E.M. ELLIOTT SURVEY, ABSTRACT NO. 77

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

OWNER :

ROCKWALL LAKESIDE CHURCH OF CHRIST CONTACT: ROY GARNER PHONE: (972) 771-0074

F. 72-73-74

SHEET 2 OF 3

RSC LAND SURVEYING

306 E. WASHINGTON, SUITE C ROCKWALL, TEXAS 75087 PHONE (972) 772-5434 FAX (972) 772-5443

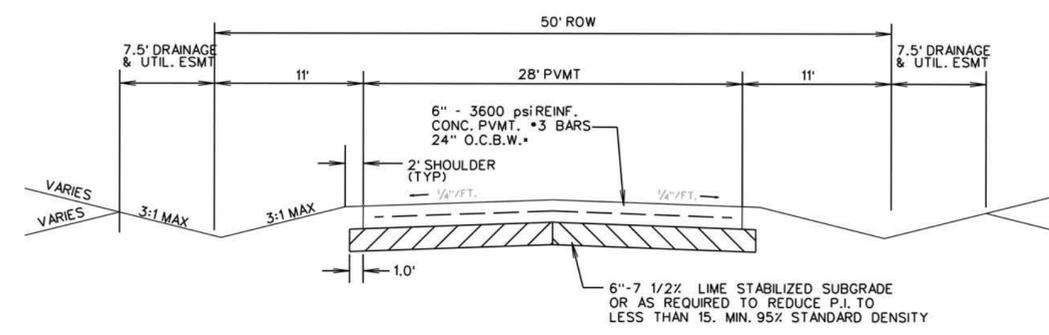
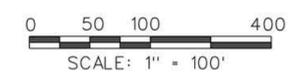
SURVEY DATE JANUARY 16, 2004 SCALE 1" = 200' FILE # 20020108PF CLIENT GARNER

FILED FOR RECORD ROCKWALL CO. TEXAS 04 JUL 22 AM 9:47 ROULETTE BURKS CO. CLERK DEPUTY

Lot	SF
1	22445
2	16200
3	16200
4	16200
5	16200
6	16326
7	17798
8	16020
9	16020
10	16020
11	18304
12	16183
13	17800
14	16020
15	16020
16	16020
17	18359
18	21195
19	16200
20	16200
21	16200
22	16200
23	16200
24	16196
25	16945
26	16234
27	22718
28	16200
29	16200
30	16605
31	19383
32	26118
33	31795
34	17223
35	16200
36	16200
37	16200
38	16200
39	16200
40	16200
41	16200
42	16332



LOCATION MAP
N.T.S.



TYPICAL PAVEMENT SECTION
N.T.S.

MARK E. PARKER
PROBATE CAUSE PR09-18

*MIN. 6.5 SACK MIX IF HAND PLACED
6.0 SACK IF MACHINE PLACED

CONCEPT PLAN
OF
RIDGECREST
SITUATED IN THE
E.M. ELLIOTT SURVEY, ABSTRACT NO. 77

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APPLICANT
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225

TOTAL OPEN SPACE 8.52 AC.

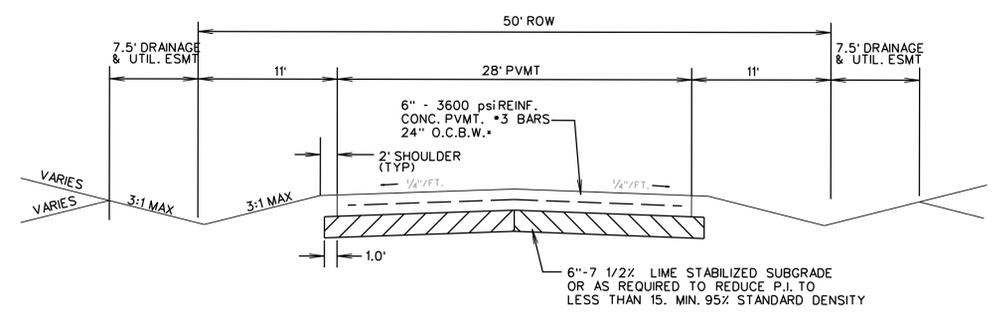
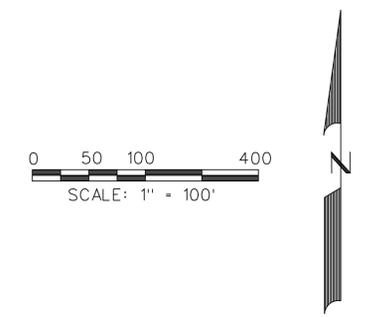
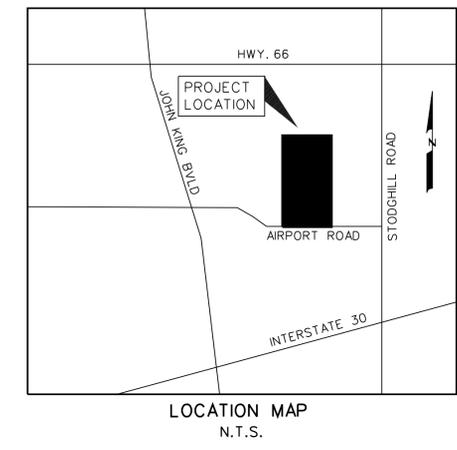
TOTAL ACRES 29.541

TOTAL RESIDENTIAL LOTS 42

RESIDENTIAL DENSITY 1.42

APRIL 2015 SCALE 1" = 100'

Ridgecrest	
Block A	
Lot	SF
1	22445
2	16200
3	16200
4	16200
5	16200
6	16326
7	17798
8	16020
9	16020
10	16020
11	18304
12	16183
13	17800
14	16020
15	16020
16	16020
17	18359
18	21195
19	16200
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34	17223
35	16200
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37	16200
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39	16200
40	16200
41	16200
42	16332



MARK E. PARKER
PROBATE CAUSE PRO9-18

TOTAL OPEN SPACE 8.52 AC.

TOTAL ACRES 29.541

TOTAL RESIDENTIAL LOTS 42

RESIDENTIAL DENSITY 1.42

TYPICAL PAVEMENT SECTION
N.T.S.
*MIN. 6.5 SACK MIX IF HAND PLACED
6.0 SACK IF MACHINE PLACED

CONCEPT PLAN
OF
RIDGECREST
SITUATED IN THE
E.M. ELLIOTT SURVEY, ABSTRACT NO. 77
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
APPLICANT
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
APRIL 2015 SCALE 1" = 100'

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 29.541-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF LOT 1 AND ALL OF LOT 2, BLOCK A, ROCKWALL LAKESIDE CHURCH OF CHRIST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Noah Flabiano of the Skorburg Company on behalf of the owner of the property, Lakeside Church of Christ of Rockwall, for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on a 29.541-acre tract of land identified as a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 2. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Site Plan
 - (4) Preliminary Plat
 - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, (*Open Space Master Plan*) shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Open Space Master Plan* for the development.
- (e) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat* application for the development.
- (f) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application may be processed by the City concurrently with a *PD Site Plan* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

Section 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified

Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2016

2nd Reading: June 6, 2016

Exhibit 'A':
Legal Description

BEING, a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 in Rockwall County, Texas, being all of Lot 2 Block A and a portion of Lot 1 Block A, out of Rockwall Lakeside Church of Christ Addition, an addition to the City of Rockwall, as described in Cabinet F, Slide 72-78, in the Plat Records of Rockwall County, Texas, being more particularly described as follows:

BEGINNING, at a ½ inch iron rod set at the southwest corner of said Rockwall Lakeside Church of Christ Addition and being the southeast corner of Greenlee addition, an addition to the City of Rockwall, as described in Cab. A, Slide 151, in said Plat Records;

THENCE, North 01°05'03" East, along the west line of said Rockwall Lakeside Church of Christ Addition and along the east line of said Greenlee Addition, for a distance of 1325.57 feet, to a ½ inch iron rod set at the northwest corner of said Rockwall Lakeside Church Addition;

THENCE, South 89°18'40" East, along the north line of said Rockwall Lakeside Church Addition, at 894.47 feet, passing the northeast corner of said Lot 2 Block A and the northwest corner of said Lot 1 Block A, for a total distance of 954.47 feet, to a ½ inch iron rod set;

THENCE, South 01°09'28" West, departing said north line, for a distance of 1353.35 feet, to a ½ inch iron rod set at the most southerly southeast corner of said Rockwall Lakeside Church of Christ Addition;

THENCE, North 88°50'39" West, along the south line of said Rockwall Lakeside Church of Christ Addition, for a distance of 952.71 feet, to the *POINT OF BEGINNING* and containing 29.541 acres of land.

**Exhibit 'B':
Concept Plan**

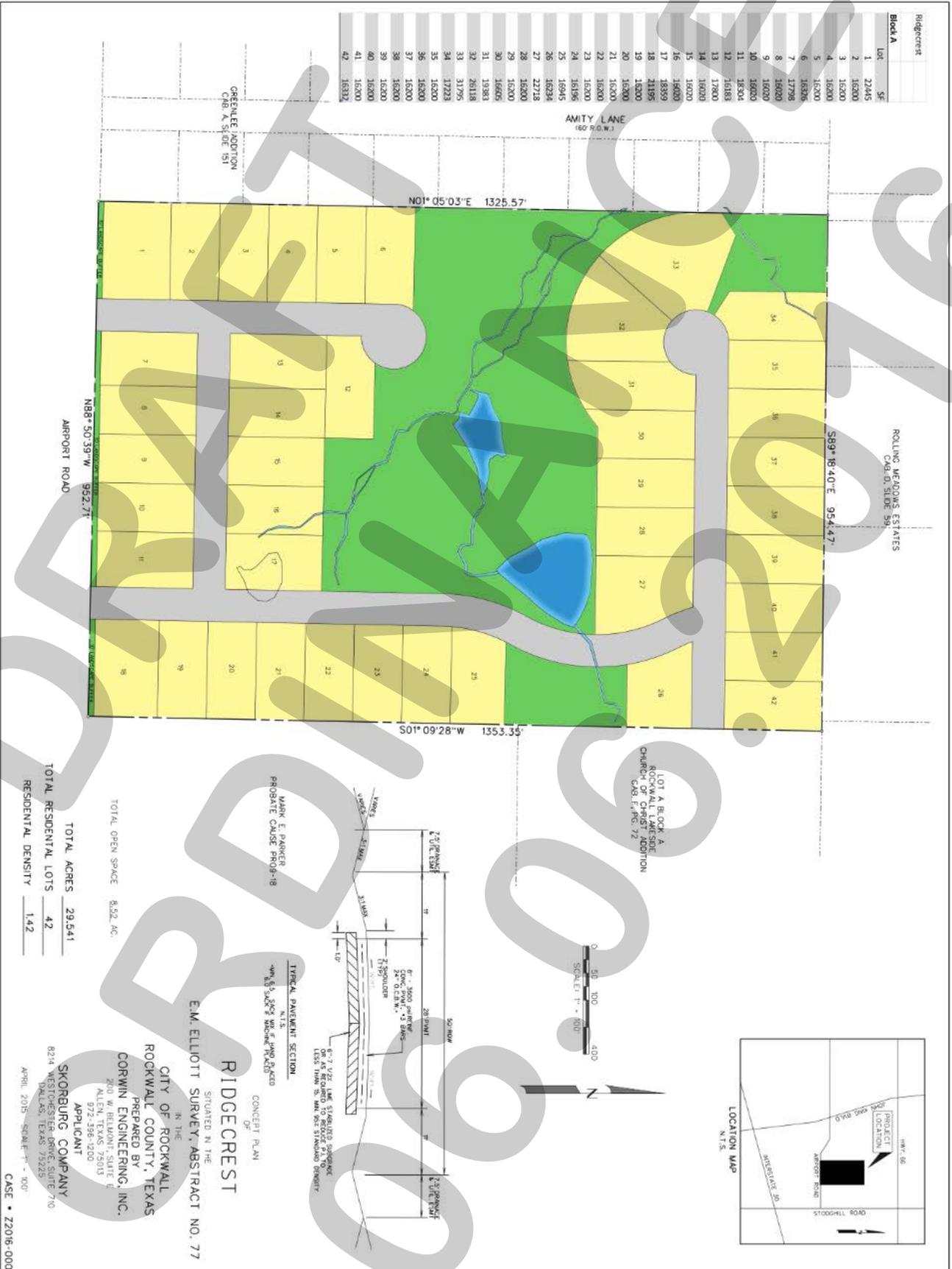


Exhibit 'C':
PD Development Standards

A. GENERAL REQUIREMENTS

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this *Planned Development Ordinance*, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are permitted on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 100'	15,000 SF	42	100.00%
Average Lot Size:		15,000 SF		
		Maximum Permitted Units:	42	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this *Planned Development Ordinance*, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 1.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 42 units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

Table 2: Lot Dimensional Requirements

Minimum Lot Width/Frontage ⁽¹⁾	80'
Minimum Lot Depth	100'
Minimum Lot Area	15,000 SF
Minimum Front Yard Setback ⁽²⁾	20'
Minimum Side Yard Setback	5'
Minimum Side Yard Setback (Adjacent to a Street)	10'
Minimum Length of Driveway Pavement	20'
Maximum Height	36'
Minimum Rear Yard Setback	10'
Minimum Area/Dwelling Unit (SF)	1,800 SF
Maximum Lot Coverage	65%

General Notes:

¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10%, but shall meet the minimum lot size for each lot type as referenced within *Table 1*.

²: The Director of Planning or his designee may grant a reduction in the required 20-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 20-foot front yard building setback would create an undue hardship on the property.

4. *Building Standards.* All development shall adhere to the following building standards:

(a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, cast stone, cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*), and stucco (i.e. *three [3] part*

Exhibit 'C':
PD Development Standards

stucco or a comparable -- to be determined by staff). Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco shall be permitted to be used to meet up to 50% of the masonry requirement.

(b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

(c) *Garage Orientation*. Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized that garage shall be located at least 20-feet behind the front building façade. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.

5. *Anti-Monotony Restrictions*. The development shall adhere to the following anti-monotony standards:

(1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.

(2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or Airport Road shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

(a) Number of Stories

(b) Permitted Encroachment Type and Layout

(c) Roof Type and Layout

(d) Articulation of the Front Façade

(3) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

See the Illustrations on the following page.

Exhibit 'C':
PD Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where **RED** are the same.



Illustration 2: Properties do not line up on opposite side of the street. Where **RED** are the same.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
- (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways (*i.e. Airport Road*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

7. **Landscape and Hardscape Standards.**

- (1) **Landscape.** Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development, unless specifically provided by this *PD Ordinance*, shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this subdivision:

Exhibit 'C':
PD Development Standards

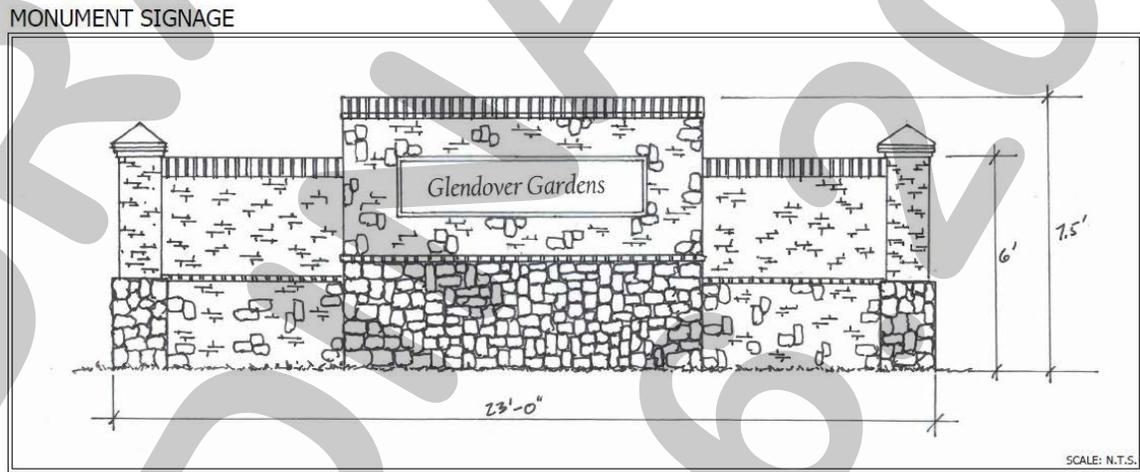
- (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
- (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (a) *Landscape Buffer and Sidewalks (Airport Road).* A minimum of a 10-foot landscape buffer shall be provided along the frontage of Airport Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover and one (1) canopy tree per 50-feet of linear frontage.
- (3) *Streetscape Landscaping.* Prior to the issuance of a Certificate of Occupancy (CO), all residential, single family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by *Section 7(1)* of this ordinance in the following sizes and proportions:
- (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
- (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.
- Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.*
- (4) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (5) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards and conform to the street cross section contained in *Exhibit 'B'* of this ordinance.
9. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
10. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*i.e. 3-phase lines*), or additional lines that are added to existing poles, may be above ground, if

Exhibit 'C':
PD Development Standards

located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

11. *Open Space*. The development shall consist of a minimum of 20% open space (or 5.9082-acres), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).
12. *Neighborhood Signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision and shall generally conform to the signage depicted in *Figure 1 (below)*. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.

Figure 1: Example of Subdivision Signage Design Standard



13. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.
14. *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

City of Rockwall Project Plan Review History



Project Number Z2016-015	Owner R, & R HANCE INVESTMENTS LP	Applied 4/15/2016 KB
Project Name Saddle Star Estates South	Applicant GWEN REED	Approved
Type ZONING		Closed
Subtype PD		Expired
Status STAFF REVIEW		Status 4/15/2016 KB

Site Address JOHN KING BLVD	City, State Zip ROCKWALL, TX 75087		Zoning
---------------------------------------	--	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	2-3	NULL	2-3	0097-0000-0002-03-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/22/2016	4/29/2016	4/22/2016		APPROVED	
ENGINEERING (4/19/2016 3:38 PM AW) No trees in the right-of-way. Remove from median.	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See Comment
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
PLANNING Z2016-015 (South Saddle Star Estates PD Amendment): Please address the following comments (M= Mandatory Comments; I = Informational Comments).	Ryan Miller	4/15/2016	4/22/2016	4/19/2016	4	APPROVED	See Comments

I.1 Hold a public hearing to discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owners Gwen Reed and Randa Hance (R. & R. Hance Investments, LP) for the approval of a zoning amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-07] for the purpose of amending the concept plan and incorporating 11.121-acres of land into the existing 44.292-acre development creating a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive, and take any action necessary.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 On all future submittals please include the case number (Z2016-015) in the lower right hand corner.

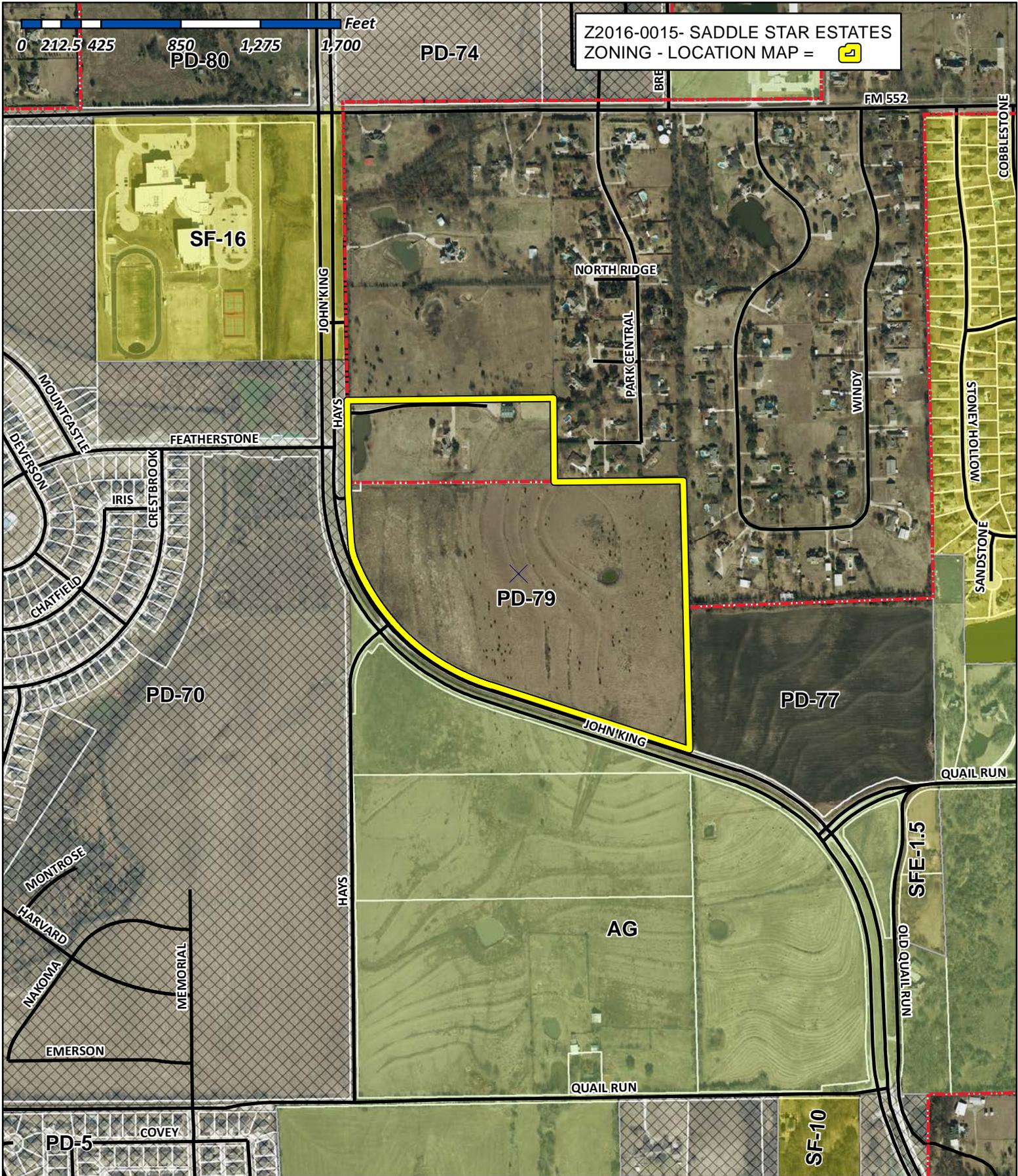
I.4 Please review the Draft Ordinance prior to the Planning & Zoning Meeting on May 10, 2016.

M.5 Please change the color between Phases 1 & 2 on the Concept Plan to better distinguish between the two.

M.6 Identify and label the trail head on the Concept Plan.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that has been requested. Revisions for this case will be due to staff on May 3, 2016 by no later than 3:00 p.m.; however, staff encourages the applicant to submit revisions as soon as possible to give staff ample time to review the case prior to the May10, 2016 Planning & Zoning Meeting.

I.8 The projected City Council dates for this case are project to be: 1) May 16, 2016 [1st Reading], and 2) June 6, 2016 [2nd Reading].



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

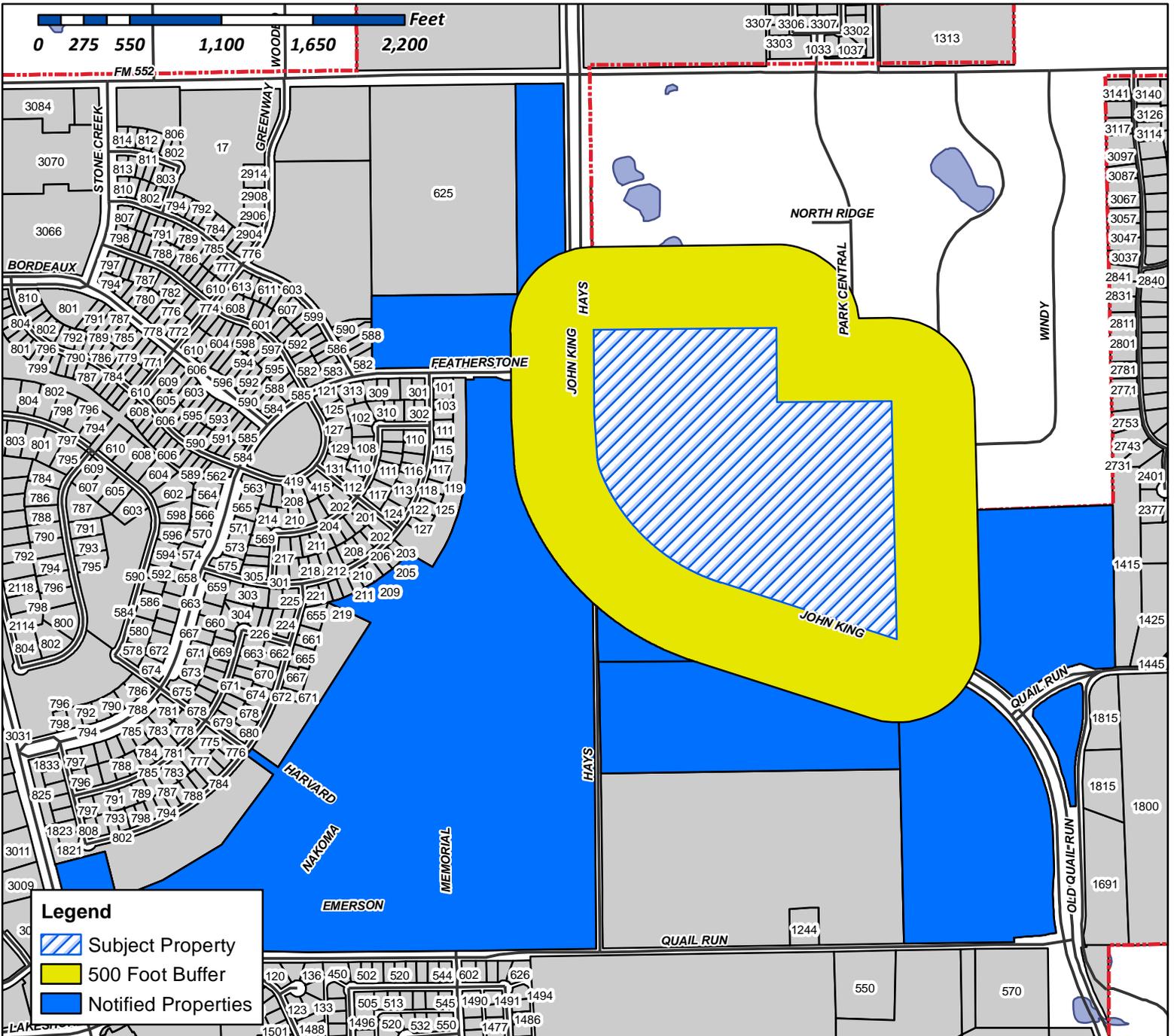




City of Rockwall

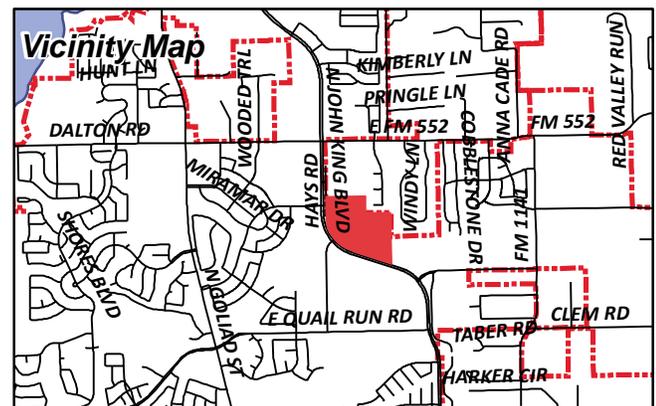
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2016-015
Case Name: Saddle Star Estates
Case Type: Zoning
Zoning: PD-79
Case Address: South of southeastern corner of FM 552 and John King Blvd.

Date Created: 04/18/2015
For Questions on this Case Call (972) 771-7745



GIDEON LONNIE L TR
BRADLEY JOE GIDEON TRUST
1217 LIVE OAK
ROYSE CIT, TX 75189

R & R HANCE INVESTMENTS LP
1244 E QUAIL RUN RD
ROCKWALL, TX 75087

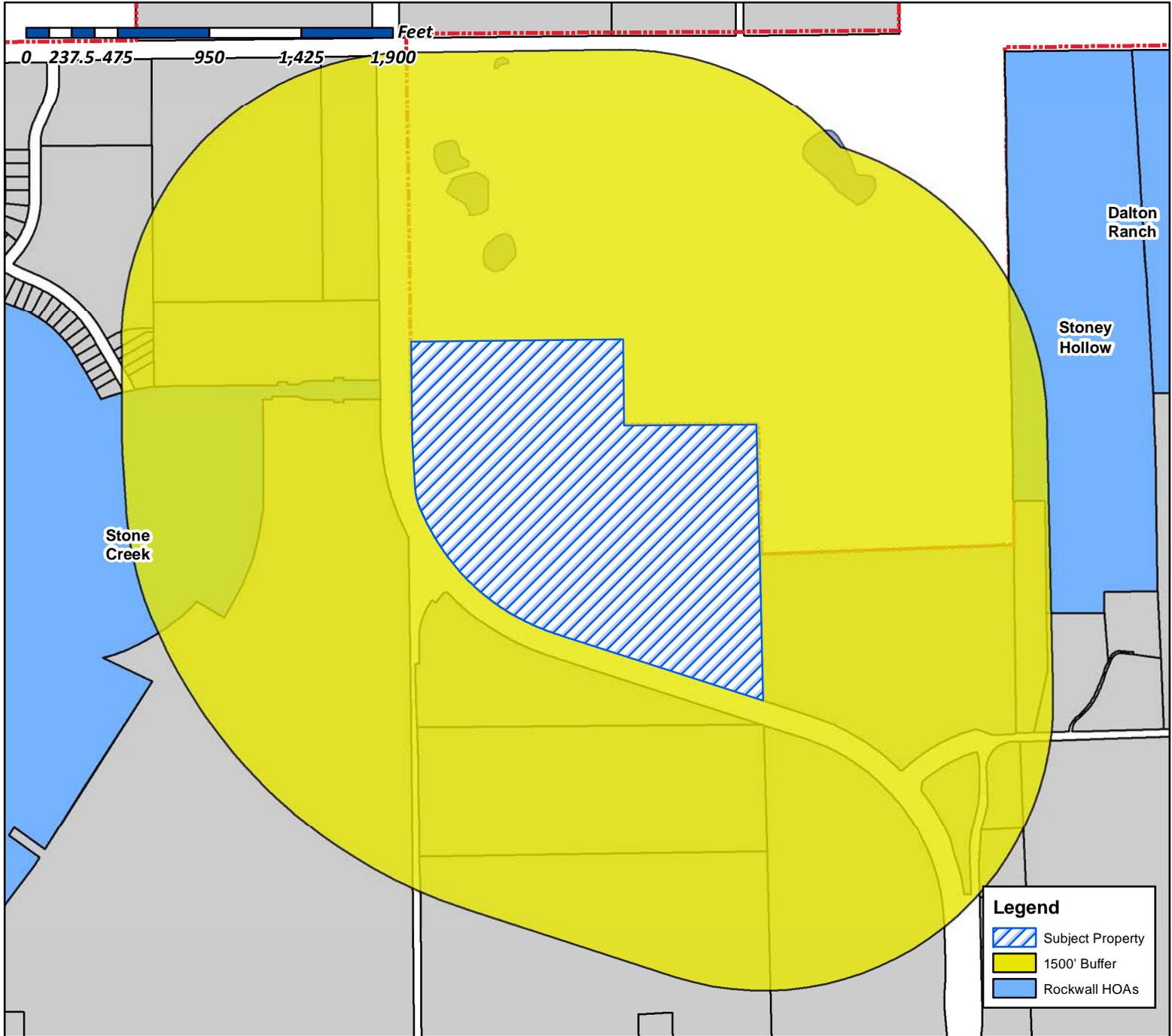
STONE CREEK SF LTD
8214 WESTCHESTER DR STE 710
DALLAS, TX 75225



City of Rockwall

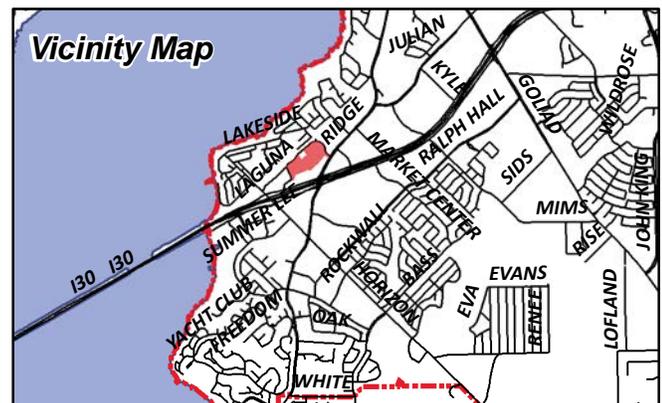
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Date Created: 04/18/2016
For Questions on this Case Call (972) 771-7745



PROPERTY DESCRIPTION

TRACT 1:

BEING 44.292 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of two tracts of land, the "First Tract" being a called 32.5 acres and the "Second Tract" being a called 32 acres, described in a Special Warranty Deed to R & R Hance Investments, L.P., recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 of the Deed Records of Rockwall County, Texas (DRRCT), SAVE AND EXCEPT the called "Parcel 16 (Parts 1 and 2)" conveyed to the City of Rockwall, recorded as Instrument No. 2007-00380919 and in Volume 5124, Page 210 (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" capped iron rod stamped, "6081," found for corner in the northeasterly right-of-way line of John Kind Boulevard (120' right-of-way) at the common north corner of said "Part 1" of Parcel 16 and called "Parcel 15" conveyed to the City of Rockwall, recorded as Instrument No. 2009-00424601 and in Volume 5951, Page 84 (DRRCT), said point also being in the common line of said "First Tract" and a called 29.185 acre tract of land conveyed to Gideon Grove Ltd., recorded as Instrument No. 20150000014609 of the Official Public Records of Rockwall County, Texas;

THENCE North 72°06'44" West along the common northeasterly line of said John Kind Boulevard and said Part 1, a distance of 1,126.56 feet to a point for corner at the beginning of a tangent curve to the right, having a radius of 1,140.00 feet and a chord which bears North 44°02'06" West, a distance of 1,073.12 feet;

THENCE in the northwesterly direction along said curve to the right, and last mentioned common line, through a central angle of 56°09'19", an arc distance of 1,117.31 feet to a 1/2" iron rod with a yellow cap stamped, "RPLS 3963," set for corner at the end of said curve and at the most northerly corner of said Part 1;

THENCE North 00°38'27" West continuing along the east right-of-way line of said John Kind Boulevard, a distance of 261.96 feet to a "PK" nail set for corner at the southwest corner of said Part 2;

THENCE North 89°38'44" East along the south line of said Part 2, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap found for the southeast corner thereof;

THENCE North 00°38'27" West along the east line of said Part 2, a distance of 40.00 feet to a 1/2" iron rod with a yellow cap found for the northeast corner thereof in the north line of said Second Tract and being in the south line of a tract of land conveyed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

THENCE North 89°38'05" East along the common line of last mentioned tracts, at 1,051.89 feet passing a 1/2" iron rod found for the southeast corner of said Reed tract common to the southwest corner of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), and continuing along the north line of said Second Tract and the south line of said Park Ridge Estates, a total distance of 1,736.25 feet to a 3/8" iron rod found for the common east corner thereof, and being in the west line of Block A of Windmill Valley Subdivision, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 157 (PRRCT);

THENCE South 01°17'27" East along the common line of said Second Tract and said Block A, a distance of 669.75 feet to a 1/2" iron rod found for the southwest corner of said Block A, and being the northwest corner of said 29.185 acre tract;

THENCE South 01°30'45" East along the west line of said 29.185 acre tract and partially along the east lines of said First Tract and said Second Tract, a distance of 761.52 feet to the PLACE OF BEGINNING and Containing 44.292 acres, or 1,929,345 square feet, of land.

TRACT 2:

BEING 11.121 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 11.126 acre tract of land described in a Warranty Deed with Vendor's Lien to Randy Reed and wife, Gwen Reed, recorded in Volume 260, Page 1 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

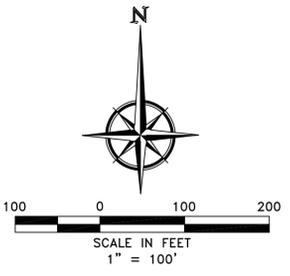
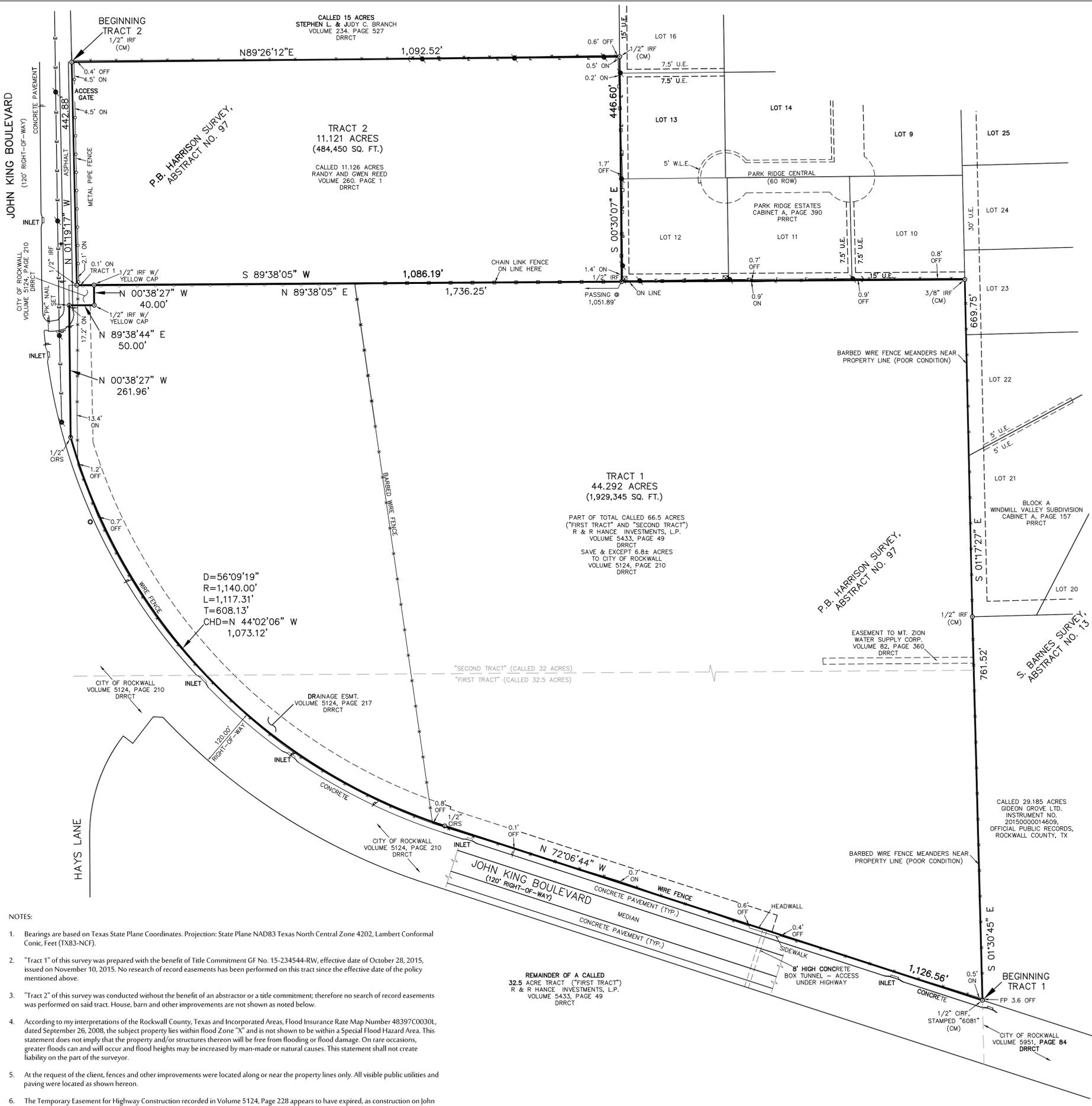
BEGINNING at a 1/2" iron rod found for corner in the east right-of-way line of John Kind Boulevard (120' right-of-way) at the common west corner of said Reed tract and a tract of land conveyed to Stephen L. Branch and Judy C. Branch, recorded in Volume 234, Page 527 (DRRCT);

THENCE North 89°26'12" East along the common line of last mentioned tracts, a distance of 1,092.52 feet to a 1/2" iron rod found for the common east corner thereof, and being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT);

THENCE South 00°30'07" East along the common line of said Reed tract and said Park Ridge Estates, a distance of 446.60 feet to a 1/2" iron rod found for the common south corner thereof, and being in the north line of a called 32 acre tract described, in a Special Warranty Deed to R & R Hance Investments, L.P., as "Second Tract," recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 (DRRCT);

THENCE South 89°38'05" West along the common line of said Second Tract and said Reed tract, a distance of 1,086.19 feet to a 1/2" iron rod found at the southwest corner of said Reed tract and being in the east right-of-way line of said John King Boulevard;

THENCE North 01°19'17" West along the west line of said Reed tract and the east line of said John King Boulevard, a distance of 442.88 feet to the PLACE OF BEGINNING and Containing 11.121 acres, or 484,450 square feet, of land.



PROPERTY DESCRIPTION

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THENCE North 72°06'44" West along the common northeasterly line of said John Kind Boulevard and said Part 1, a distance of 1,126.56 feet to a point for corner at the beginning of a tangent curve to the right, having a radius of 1,140.00 feet and a chord which bears North 44°02'06" West, a distance of 1,073.12 feet;

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THENCE North 00°38'27" West along the east line of said Part 2, a distance of 40.00 feet to a 1/2" iron rod with a yellow cap found for the northeast corner thereof in the north line of said Second Tract and being in the south line of a tract of land conveyed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

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THENCE South 01°17'27" East along the common line of said Second Tract and said Block A, a distance of 669.75 feet to a 1/2" iron rod found for the southwest corner of said Block A, and being the northwest corner of said 29.185 acre tract;

THENCE South 01°30'45" East along the west line of said 29.185 acre tract and partially along the east lines of said First Tract and said Second Tract, a distance of 761.52 feet to the PLACE OF BEGINNING and Containing 44.292 acres, or 1,929,345 square feet, of land.

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THENCE South 00°30'07" East along the common line of said Reed tract and said Park Ridge Estates, a distance of 446.60 feet to a 1/2" iron rod found for the common south corner thereof, and being in the north line of a called 32 acre tract described, in a Special Warranty Deed to R & R Hance Investments, L.P., as "Second Tract," recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 (DRRCT);

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THENCE North 01°19'17" West along the west line of said Reed tract and the east line of said John King Boulevard, a distance of 442.88 feet to the PLACE OF BEGINNING and Containing 11.121 acres, or 484,450 square feet, of land.

- NOTES:**
- Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (TX83-NCF).
 - "Tract 1" of this survey was prepared with the benefit of Title Commitment GF No. 15-234544-RW, effective date of October 28, 2015, issued on November 10, 2015. No research of record easements has been performed on this tract since the effective date of the policy mentioned above.
 - "Tract 2" of this survey was conducted without the benefit of an abstractor or a title commitment; therefore no search of record easements was performed on said tract. House, barn and other improvements are not shown as noted below.
 - According to my interpretations of the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map Number 48397C0030L, dated September 26, 2008, the subject property lies within flood Zone "X" and is not shown to be within a Special Flood Hazard Area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the surveyor.
 - At the request of the client, fences and other improvements were located along or near the property lines only. All visible public utilities and paving were located as shown hereon.
 - The Temporary Easement for Highway Construction recorded in Volume 5124, Page 228 appears to have expired, as construction on John King Boulevard is complete.

LEGEND	
CIRS	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
CIRF	CAPPED IRON ROD FOUND
IRF	IRON ROD FOUND
(CM)	CONTROL MONUMENT
A.E.	ACCESS EASEMENT
U.E.	UTILITY EASEMENT
W.L.E.	WATER LINE EASEMENT
—	FIRE HYDRANT
—	GUY WIRE
—	POWER POLE
—	SIGN
—	TELEPHONE BOX
—	STORM SEWER MANHOLE
PRRCT	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
DRRCT	DEED RECORDS, ROCKWALL COUNTY, TEXAS
—	OVERHEAD ELECTRIC LINE
—	WIRE OR BARBED WIRE FENCE
—	CHAIN LINK FENCE
—	METAL PIPE FENCE

I, Robert C. Myers, Registered Professional Land Surveyor of the State of Texas, do hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors standards and specifications for a "Standard Land Survey" and that the plat hereon is a true, correct, and accurate, representation of the subject property as determined by an on the ground survey under my supervision. The lines and dimensions of said property being indicated by the plat, and there are no known encroachments, conflicts, or protrusions, except as shown on this survey.

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary document was released 1/28/2016 for Client's review.
 ROBERT C. MYERS R.P.L.S. NO. 3963

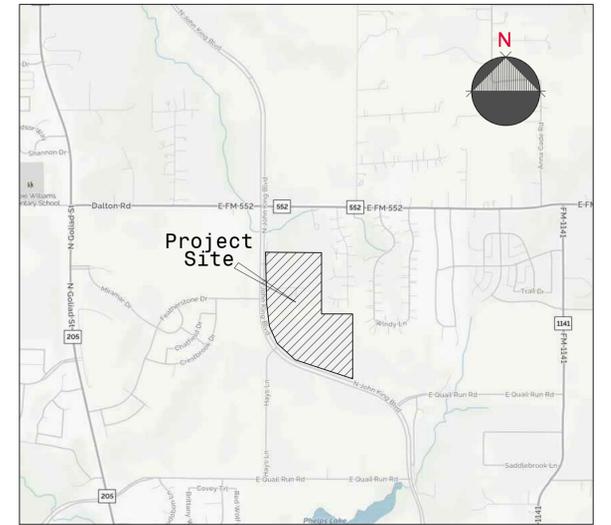
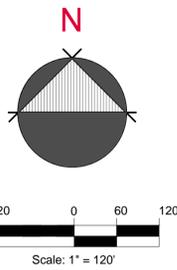


R.C. MYERS SURVEYING, LLC

"Registered Professional Land Surveyors"
 488 ARROYO COURT (214) 532-0636 Voice
 SUNNYVALE, TEXAS 75182 (972) 412-4875 Fax
 Robert "Calvin" Myers, RPLS 3963
 rcmysurveying@gmail.com Firm No. 10192300

Client: Saddle Star Land Development, LLC & First National Title Inc. Co.
 Job No.: 355 Drawn by: TAM Date: 01/25/2016 Revised:

STANDARD LAND SURVEY
 OF
44.292 AND 11.121 ACRES
 SITUATED IN THE
P.B. HARRISON SURVEY, ABST. NO. 97
CITY OF ROCKWALL, ROCKWALL COUNTY, TX



Vicinity Map
n. t. s.

Note:
Detention to be provided as per City of Rockwall
Drainage Specifications and Standards.

Phasing Data

- PHASE ONE - 90 Lots
- PHASE TWO - 53 Lots

Land Use Data

- Total Area - 56.427 Ac.
- Total Open Space - 11.33 Ac.
- Typ. Lot Size - 70'x125'
- Total Lots - 143
- Density - 2.53 D.U. / Ac.

MASTER PLAT
OPEN SPACE PLAN



SOUTH

City of Rockwall, Rockwall County, Texas

Owner:
RANDY HANCE
14241 North Dallas Pkwy., S 1050
Dallas, Texas 75234
972.991.1600

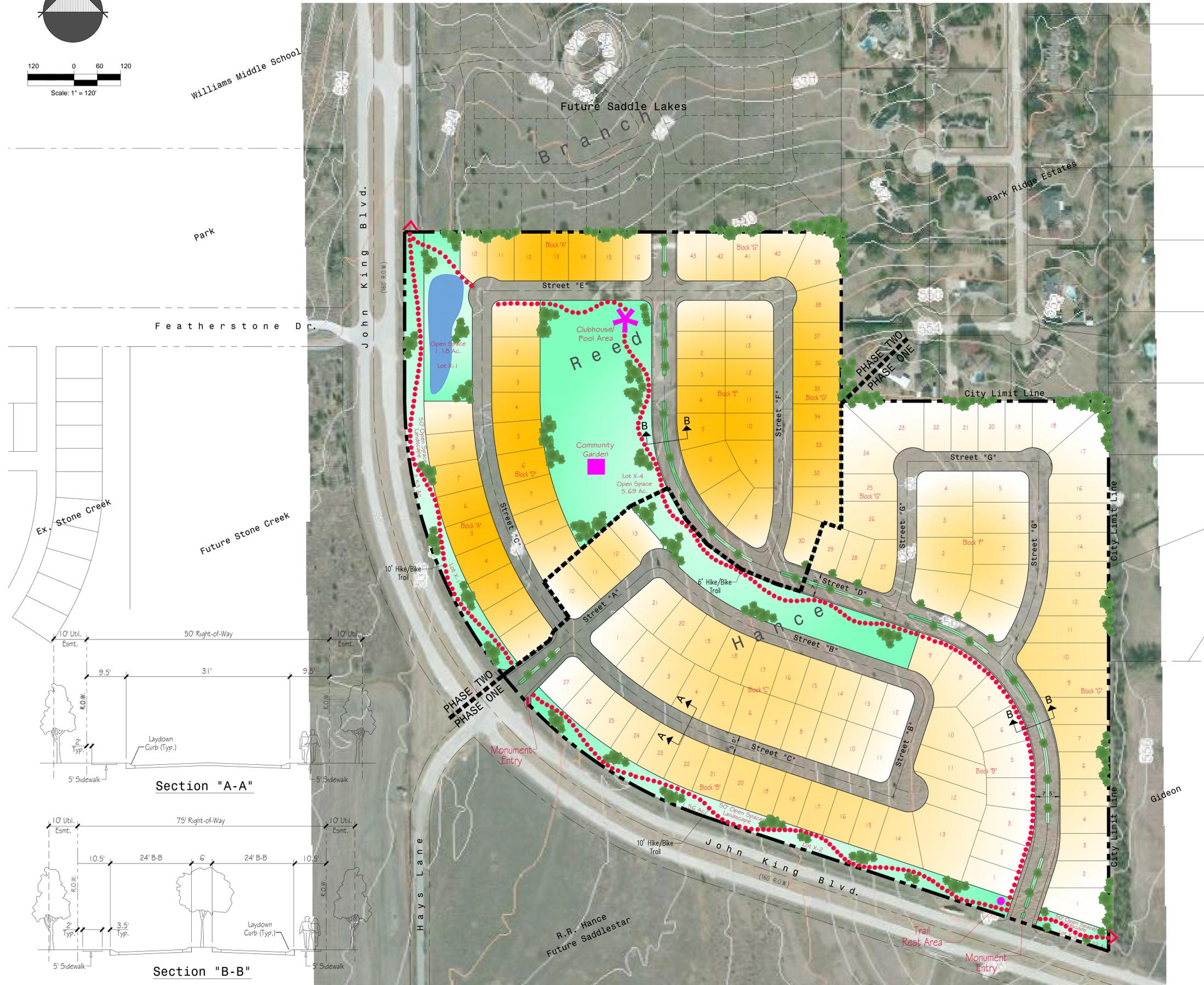
Engineer:
ENGINEERING CONCEPTS & DESIGN, L.P.
Civil, Mechanical & Electrical Engineering
1801 Woodloch Drive, Suite 200, Wylie, TX 75098
972.991.1600

OWEN REED
3076 Hays Lane
Rockwall, Texas 75087

Feb. 19, 2016

Scale: 1" = 120'

Case No. Z-2015-034



Section "A-A"

Section "B-B"

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND PLANNED DEVELOPMENT DISTRICT 79 (PD-79) [ORDINANCE NO. 16-07] FOR THE PURPOSE OF AMENDING THE CONCEPT PLAN AND INCORPORATING 11.121-ACRES OF LAND INTO THE EXISTING 44.292-ACRE DEVELOPMENT FOR A 55.413-ACRE TRACT OF LAND, ZONED AGRICULTURAL (AG) DISTRICT AND PLANNED DEVELOPMENT DISTRICT 79 (PD-79) FOR SINGLE FAMILY 8.4 (SF-8.4) DISTRICT LAND USES, BEING IDENTIFIED AS TRACTS 1, 1-5 & 2-03 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Pat Atkins of Saddle Star Land Development, Inc. on behalf of the owners Randa Hance of R&R Hance Investment, LP and Gwen Reed for the approval of an amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-07] for the purpose of amending the *Concept Plan* and incorporating 11.121-acres of land into the existing 44.292-acre tract of land, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single Family 8.4 (SF-8.4) District land uses, being a 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 79 [Ordinance No. 16-07] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 16-07*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by

granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Site Plan
 - (4) Preliminary Plat
 - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, (*Open Space Master Plan*) shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Open Space Master Plan* for the development.
- (e) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat* application for the development.
- (f) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application may be processed by the City concurrently with a *PD Site Plan* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

Section 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 9. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2016

2nd Reading: June 6, 2016

Exhibit 'A':
Legal Description and Survey

TRACT 1:

BEING 44.292 acres of land situated in the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of two tracts of land, the "First Tract" being a called 32.5 acres and the "Second Tract" being a called 32 acres, described in a Special Warranty Deed to R & R Hance Investments, LP., recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 of the Deed Records of Rockwall County, Texas (DRRCT), SAVE AND EXCEPT the called "Parcel 16 (Parts 1 and 2)" conveyed to the City of Rockwall, recorded as Instrument No. 2007-00380919 and in Volume 5124, Page 210 (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" capped iron rod stamped, "6081," found for corner in the northeasterly right-of-way line of John King Boulevard (120' right-of-way) at the common north corner of said "Part 1" of Parcel 16 and called "Parcel 15" conveyed to the City of Rockwall, recorded as Instrument No. 2009-00424601 and in Volume 5951, Page 84 (DRRCT), said point also being in the common line of said "First Tract" and a called 29.185 acre tract of land conveyed to Gideon Grove Ltd., recorded as Instrument No. 20150000014609 of the Official Public Records of Rockwall County, Texas;

THENCE North 72°06'44" West along the common northeasterly line of said John King Boulevard and said Part 1, a distance of 1,126.56 feet to a point for corner at the beginning of a tangent curve to the right, having a radius of 1,140.00 feet and a chord which bears North 44° 02' 06" West, a distance of 1,073.12-feet;

THENCE in the northwesterly direction along said curve to the right, and last mentioned common line, through a central angle of 56°09'19", an arc distance of 1,117.31-feet to a 1/2" iron rod with a yellow cap stamped, "RPLS 3963," set for corner at the end of said curve and at the most northerly corner of said Part 1;

THENCE North 00°38'27" West continuing along the east right-of-way line of said John King Boulevard, a distance of 261.96 feet to a "PK" nail set for corner at the southwest corner of said Part 2;

THENCE North 89°38'44" East along the south line of said Part 2, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap found for the southeast corner thereof;

THENCE North 00°38'27" West along the east line of said Part 2, a distance of 40.00 feet to a 1/2" iron rod with a yellow cap found for the northeast corner thereof in the north line of said Second Tract and being in the south line of a tract of land conveyed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

THENCE North 89°38'05" East along the common line of last mentioned tracts, at 1,051.89 feet passing a 1/2" iron rod found for the southeast corner of said Reed tract common to the southwest corner of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), and continuing along the north line of said Second Tract and the south line of said Park Ridge Estates, a total distance of 1,736.25 feet to a 3/8" iron rod found for the common east corner thereof, and being in the west line of Block A of Wind mill Valley Subdivision, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 157 (PRRCT);

THENCE South 01°17'27" East along the common line of said Second Tract and said Block A, a distance of 669.75 feet to a 1/2" iron rod found for the southwest corner of said Block A, and being the northwest corner of said 29.185 acre tract;

THENCE South 01°30'45" East along the west line of said 29.185-acre tract and partially

Exhibit 'A':
Legal Description and Survey

along the east lines of said First Tract and said Second Tract, a distance of 761.52 feet to the PLACE OF BEGINNING and Containing 44.292 acres, or 1,929,345 square feet, of land.

TRACT 2:

BEING 11.121 acres of land situated in the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 11.126 acre tract of land described in a Warranty Deed with Vendor's Lien to Randy Reed and wife, Gwen Reed, recorded in Volume 260, Page 1 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the east right-of-way line of John King Boulevard (120' right-of-way) at the common west corner of said Reed tract and a tract of land conveyed to Stephen L. Branch and Judy C. Branch, recorded in Volume 234, Page 527 (DRRCT);

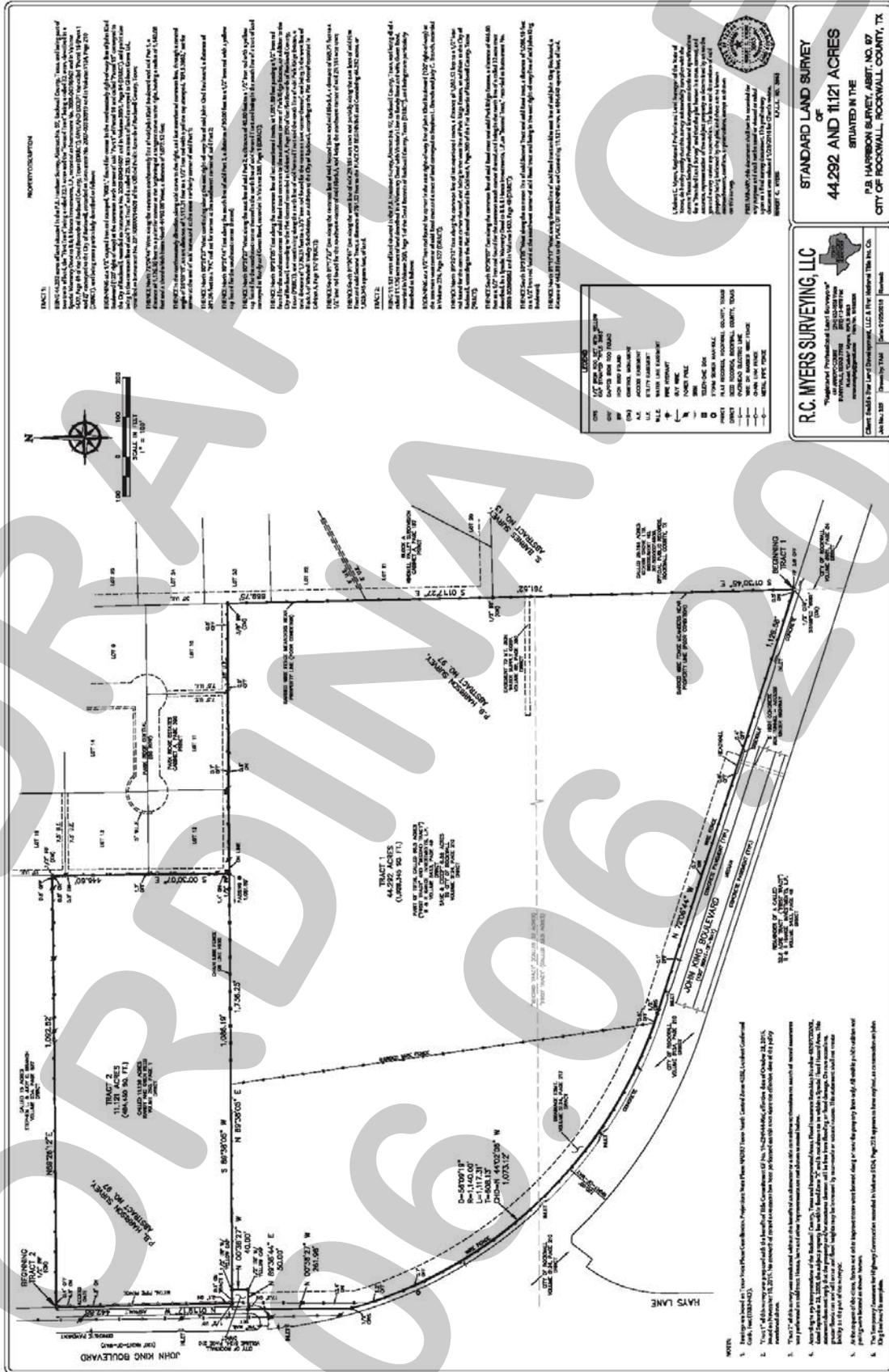
THENCE North 89°26'12" East along the common line of last mentioned tracts, a distance of 1,092.52-feet to a 1/2" iron rod found for the common east corner thereof, and being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT);

THENCE South 00°30'07" East along the common line of said Reed tract and said Park Ridge Estates, a distance of 446.60 feet to a 1/2" iron rod found for the common south corner thereof, and being in the north line of a called 32 acre tract described, in a Special Warranty Deed to R & R Hance Investments, L.P., as "*Second Tract*," recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 (DRRCT);

THENCE South 89°38'05" West along the common line of said Second Tract and said Reed tract, a distance of 1,086.19-feet to a 1/2" iron rod found at the southwest corner of said Reed tract and being in the east right-of-way line of said John King Boulevard;

THENCE North 01°19'17" West along the west line of said Reed tract and the east line of said John King Boulevard, a distance of 442.88-feet to the PLACE OF BEGINNING and Containing 11.121-acres, or 484,450 square feet, of land.

Exhibit 'A':
Legal Description and Survey



**Exhibit 'B':
Concept Plan**

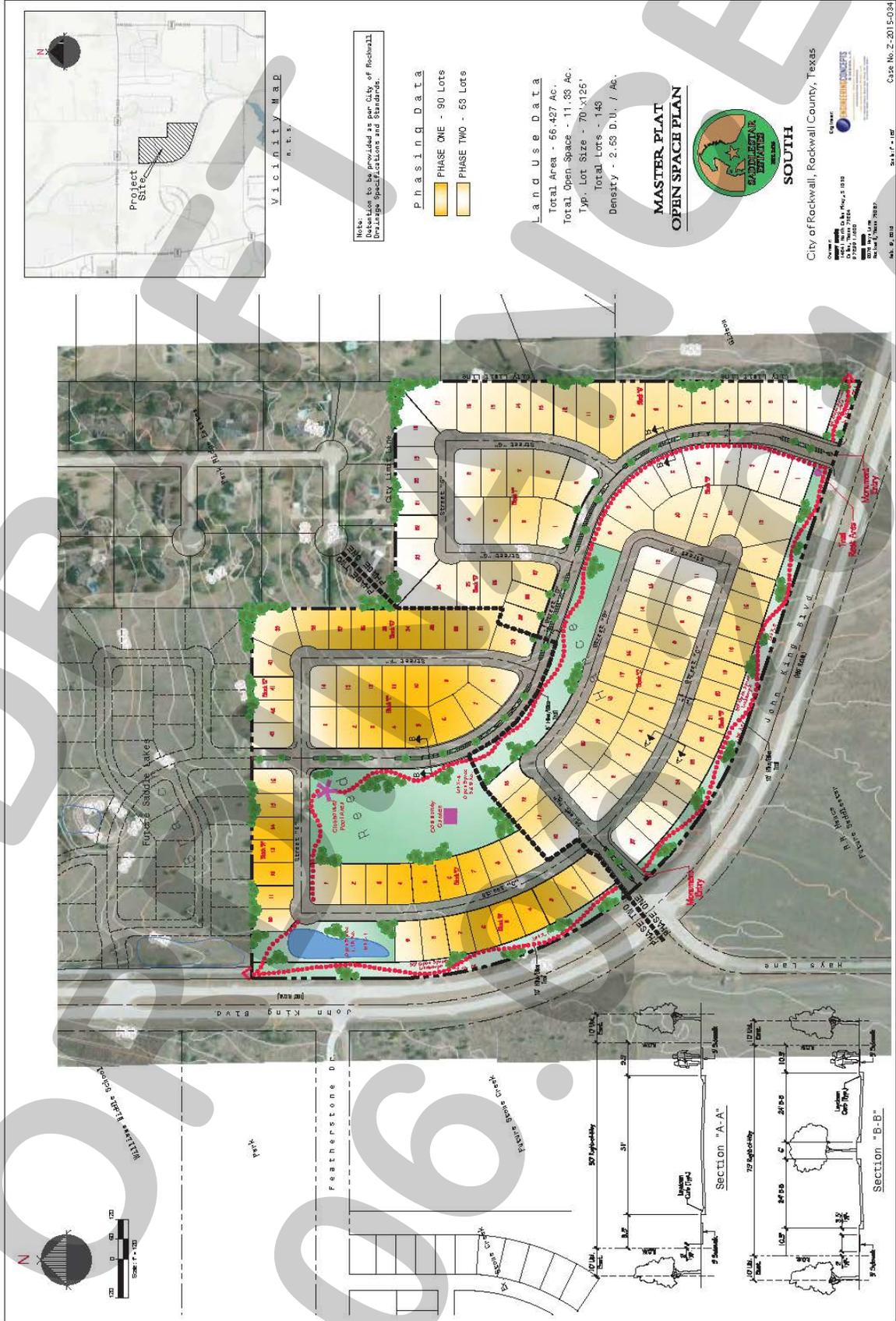


Exhibit 'C':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	70' x 125'	8,750 SF	143	100.00%
<i>Maximum Permitted Units:</i>			143	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 8.4 (SF-8.4) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.53 dwelling units per gross acre of land; however, in no case should the proposed development exceed 143 units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

Table 2: Lot Dimensional Requirements

<i>Minimum Lot Width</i> ⁽¹⁾	70'
<i>Minimum Lot Depth</i>	125'
<i>Minimum Lot Area</i>	8,750 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	20'
<i>Minimum Side Yard Setback</i>	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i> ⁽³⁾	30'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF
<i>Maximum Lot Coverage</i>	65%
<i>Permitted Encroachment into Required Setbacks</i> ⁽⁵⁾	Allowed

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
4. As measured from the rear yard property line.
5. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks (Adjacent to a Street)* and shall not encroach into public right-of-way [a *Sunroom* is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].

Exhibit 'C':
Development Standards

4. *Building Standards.* All development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only.
- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation.* Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration; however garages oriented toward the street in a front entry configuration must be situated a minimum of 20-feet behind the front building façade of the primary structure. In this case the front façade of the primary structure does not include a permitted encroachment (e.g. *a porch, sunroom, etcetera*) allowed in *Table 2* above. All garage configurations that are not front entry shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code.

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	70' x 120'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on John King Boulevard shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Permitted encroachments (i.e. *porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the

Exhibit 'C':
Development Standards

subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.



Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

Exhibit 'C':
Development Standards

- (c) *Corner Lots.* Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (d) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

- (1) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this subdivision:
 - (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
 - (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (a) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard.
- (3) *Streetscape Landscaping.* Prior to the issuance of a Certificate of Occupancy (CO), all residential, single family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by *Section 7(1)* of this ordinance in the following sizes and proportions:
 - (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Exhibit 'C':
Development Standards

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

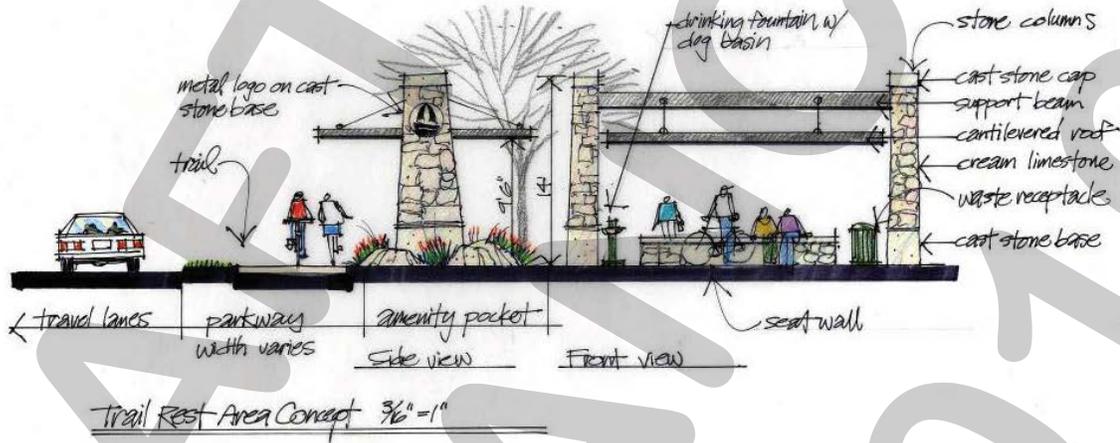
- (4) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (5) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
10. *Sidewalks.* At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3-phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
12. *Open Space.* The development shall consist of a minimum of 20% open space (*or 11.29-acres*), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).

Continued on Next Page ...

Exhibit 'C':
Development Standards

13. *Trail Rest Area*. The developer shall be responsible for the construction of a *Trail Rest Area* that generally conforms to the rest area depicted in *Figure 1 (below)*.

Figure 1: *Trail Rest Area Concept*



14. *Neighborhood Signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.

15. *Drainage Standards*. The development shall comply with existing drainage standards including the permissible spread of water in the streets and permissible gutter flow through intersections as outlined in the City of Rockwall's *Standards of Design and Construction (approved in August 2003 and updated in October 2007)*. The proposed drainage areas, flow patterns, and storm drain system that will be constructed shall be based on the City's drainage criteria and be identified on a *Conceptual Drainage Plan*, which shall be submitted with the *Civil Plans* at the time of *Engineering* submittal. The *Conceptual Drainage Plan* shall be reviewed and approved by the Engineering Department in compliance with engineering standards.

16. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.

17. *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: April 26, 2016

SUBJECT: *Southside Neighborhood Residential Overlay (SRO) District*

On April 4, 2016, the City Council directed staff to initiate a text amendment to Section 4, *Southside Residential Neighborhood Overlay (SRO) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) for the purpose of removing the City Council's ability to grant land use without a public process (*i.e. zoning change*). In addition, under the current ordinance any application for a special request must first be brought to the City Council to initiate the request, then to the Planning and Zoning Commission for a recommendation, and finally returning to the City Council for action. Typically, these requests would be taken directly to the Planning and Zoning Commission for recommendation prior to being brought before the City Council.

In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the UDC staff is bringing the proposed amendments forward to the Planning and Zoning Commission for a recommendation to the City Council. Attached to this case memo is a copy of the current ordinance and a copy of the proposed amendments to the UDC. The schedule for this text amendment is as follows:

Planning and Zoning Work Session: April 26, 2016
Planning and Zoning Public Hearing: May 10, 2016
City Council Public Hearing [*1st Reading*]: May 16, 2016
City Council [*2nd Reading*]: June 6, 2016

Staff will send out a 15-day notice to the Rockwall County News in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC.

Current Ordinance:

Article V, District Development Standards, of the Unified Development Code

Section 6. Overlay Districts

Section 4. Southside Residential Neighborhood Overlay (SRO) District

- (A) *Purpose.* This overlay district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. It is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.
- (B) *Other Requirements.* Any requirements necessary for residential development or use not specifically stated in this section shall comply with the SF-7 District requirements.
- (C) *Area Requirements.*

- (1) Minimum lot area: 5,000 square feet.
- (2) Maximum number of single-family detached dwellings units per lot: one.
- (3) Minimum square footage per dwelling unit: 900 square feet.
- (4) Minimum lot frontage on a public street: 50 feet.*
- (5) Minimum lot depth: 100 feet.*
- (6) Minimum depth of front yard setback: 20 feet.*
- (7) Minimum depth of rear yard setback: ten feet.*
- (8) Minimum width of side yard setback:
 - (a) Internal lot: six feet.*
 - (b) Abutting street: 15 feet.*
 - (c) Abutting an arterial: 20 feet.*

**These setbacks may be varied by the planning and zoning commission and city council upon request of the applicant.*

- (9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
 - (10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.
 - (11) Maximum building coverage as a percentage of lot area: 40 percent.
 - (12) Maximum building height: 32 feet.
 - (13) Minimum number of paved off-street parking spaces required for:
 - (a) One single-family dwelling unit: two. An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) All other uses: see article V, Parking and Loading.
- (D) Consideration of special request in furtherance of neighborhood preservation. The city council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to, neighborhood signage plans, use of building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, or other requests submitted for consideration.

Upon receipt of such special requests, the city council shall review same and forward its recommendation to the planning and zoning commission for consideration. Upon recommendations from the planning and zoning commission, the city council may approve requests by amendment of the ordinance designating the neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in this Unified Development Code. Such special requests may be denied by the city council by passage of a motion to deny.

Proposed Amendments:

Article V, District Development Standards, of the Unified Development Code

Section 6. Overlay Districts

Section 4. Southside Residential Neighborhood Overlay (SRO) District

(A) Purpose. **The purpose of the Overlay District is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood. This overlay district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. It is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.**

(B) Other Requirements. Any requirements **necessary for residential development or use** not specifically stated in this section shall comply with the **Single Family 7 (SF-7)** District requirements.

(C) Area Requirements.

- (1) Minimum lot area: 5,000 square feet.
- (2) Maximum number of single-family detached dwellings units per lot: One.
- (3) Minimum square footage per dwelling unit: 900 square feet.
- (4) Minimum lot frontage on a public street: 50 feet.*
- (5) Minimum lot depth: 100 feet.*
- (6) Minimum depth of front yard setback: 20 feet.*
- (7) Minimum depth of rear yard setback: 10 feet.*
- (8) Minimum width of side yard setback:

- (a) Internal lot: 6 feet.*
- (b) Abutting street: 15 feet.*
- (c) Abutting an arterial: 20 feet.*

~~*These setbacks may be varied by the planning and zoning commission and city council upon request of the applicant.~~

- (9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
- (10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.
- (11) Maximum building coverage as a percentage of lot area: 40 percent.
- (12) Maximum building height: 32 feet.
- (13) Minimum number of paved off-street parking spaces required for:

- (a) One Single-Family Dwelling Unit: Two **(2) Parking Spaces**. An enclosed garage shall not be considered in meeting the off-street parking requirements.
- (b) All Other Uses: **see article V, Parking and Loading; see Article VI, Parking and Loading, of the Unified Development Code.**

(D) *Consideration of Special Request in Furtherance of Neighborhood Preservation.* The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, **the use of alternate building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, reductions in the building setbacks,** or other requests submitted for consideration **to the Planning and Zoning Department.**

~~Upon receipt of such special requests, the city council shall review same and forward its recommendation to the planning and zoning commission for~~

~~consideration. Upon recommendations from the planning and zoning commission, the city council may approve requests by amendment of the ordinance designating the neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in this Unified Development Code. Such special requests may be denied by the city council by passage of a motion to deny.~~

Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny.

Special requests shall not include any request to change the land use of a property.

(Ord. No. 10-14, § 36, 7-6-2010)

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 6.4, *SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT*, OF ARTICLE V, *DISTRICT DEVELOPMENT STANDARDS*; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] has been initiated by the City Council of the City of Rockwall to amend Section 4, *Southside Residential Neighborhood Overlay (SRO) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Section 4, *Southside Residential Neighborhood Overlay (SRO) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibits 'A'* of this ordinance.

Section 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JUNE, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2016

2nd Reading: June 6, 2016

Exhibit 'A'
*Article V, District Development Standards,
Unified Development Code*

Section 6.4. Southside Residential Neighborhood Overlay (SRO) District

- (A) *Purpose.* The purpose of the Overlay District is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood.
- (B) *Other Requirements.* Any requirements not specifically stated in this section shall comply with the Single Family 7 (SF-7) District requirements.
- (C) *Area Requirements.*
- (1) Minimum lot area: 5,000 square feet.
 - (2) Maximum number of single-family detached dwellings units per lot: One.
 - (3) Minimum square footage per dwelling unit: 900 square feet.
 - (4) Minimum lot frontage on a public street: 50 feet.
 - (5) Minimum lot depth: 100 feet.
 - (6) Minimum depth of front yard setback: 20 feet.
 - (7) Minimum depth of rear yard setback: 10 feet.
 - (8) Minimum width of side yard setback:
 - (a) Internal lot: 6 feet.
 - (b) Abutting street: 15 feet.
 - (c) Abutting an arterial: 20 feet.
 - (9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
 - (10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.
 - (11) Maximum building coverage as a percentage of lot area: 40 percent.
 - (12) Maximum building height: 32 feet.
 - (13) Minimum number of paved off-street parking spaces required for:
 - (a) One Single-family Dwelling Unit: Two (2) Parking Spaces. An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) All Other Uses: *see Article VI, Parking and Loading, of the Unified Development Code.*
- (D) *Consideration of Special Request in Furtherance of Neighborhood Preservation.* The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials reductions in the building setbacks, or other requests submitted for consideration to the Planning and Zoning Department.

Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny.

Special requests shall not include any request to change the land use of a property.



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: April 26, 2016

SUBJECT: *Used Automotive Dealerships*

On March 21, 2016, Dallas Cothrum of Master Plan gave a presentation on behalf of his client Echo Park Automotive requesting that the City Council consider amending the zoning code to allow a *Motor Vehicle Dealership, Used (Cars and Light Trucks)* to be permitted within a Light Industrial (LI) District. Specifically, Mr. Cothrum was making this request with the intent of opening up the zoning ordinance to allow Echo Park to establish a used motor vehicle dealership at 1415 & 1501 E. IH-30. Currently, Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), only permits a *Motor Vehicle Dealership, Used (Cars and Light Trucks)* to be established as an accessory use to *Motor Vehicle Dealership, New (Cars and Light Trucks)*. As a result of this request, the City Council approved a motion to direct staff to initiate a text amendment to allow *Motor Vehicle Dealership, Used (Cars and Light Trucks)* through a Specific Use Permits (SUP) in the Light Industrial (LI) District.

In response to this direction and in accordance with Section 4, *Unified Development Code Text Amendments*, of Article XI, *Zoning Related Applications*, of the UDC, staff has drafted a preliminary text amendment for the Planning and Zoning Commission's review. The proposed text amendment would allow the *Motor Vehicle Dealership, Used (Cars and Light Trucks)* use by SUP in the Light Industrial (LI) District and *by-right* in the Heavy Industrial (HI) District; however, it would restrict the use in the Scenic Overlay (SOV), IH-30 Overlay (IH-30 OV), SH-205 By-Pass Overlay (SH205 BY-OV) FM-549 Overlay (FM-549 OV) and the SH-205 Overlay (SH-205 OV) District except as an ancillary or accessory use to *Motor Vehicle Dealership, New (Cars and Light Trucks)*. In drafting the text amendment, staff took into consideration the following information concerning the *Motor Vehicle Dealership, Used (Cars and Light Trucks)* use:

- 1) *Comparable Cities.* Staff has done a comparison study of the City's current zoning ordinance compared to comparable City's in the *North Texas Region*. The City's compared in this study were: (1) Plano, (2) McKinney, (3) Frisco, (4) Carrollton, (5) Rowlett, (6) Mesquite, (7) Garland, and (8) Lancaster. Through this study staff has determined that the City's current ordinance is the most restrictive of all the cities surveyed; with the exception of the City of Rowlett, which has the same restrictions as the City of Rockwall. It should be noted that the majority of the cities surveyed require a SUP or a Conditional Use Permit (CUP) in most if not all of the zoning districts that permit the use. In addition, the City of Frisco expressly prohibits the use in certain Overlay Districts on major corridors within the City despite allowing the use in the underlying zoning district. The only city surveyed that added additional land use restrictions was the City of Lancaster. *Attached to this memorandum is a copy of the survey of comparable cities.*
- 2) *Locations of the Current Motor Vehicle Dealership Facilities.* Staff has also completed a locational analysis showing the locations of all existing new and used motor vehicle dealerships located in the City (*see the attached maps of Rockwall Auto Dealerships*). Currently, the City has 11 new and used motor vehicle dealerships (*i.e. nine (9) new motor*

vehicle dealerships that also have used motor vehicle sales as an ancillary use -- one (1) of which, *Fenton Nissan*, is currently under construction -- , and two (2) non-conforming used motor vehicle dealerships that pre-date the current zoning ordinance). It should be noted that all nine (9) of the new motor vehicle dealerships are located in the IH-30 Overlay District on property that fronts onto IH-30. The two (2) non-conforming used motor vehicle dealerships are located in the Downtown (DT) District situated in and fronting on SH-205.

- 3) *Proliferation/Concentration of Automotive Uses*. On January 22, 2008, the City Council approved a text amendment (i.e. Case No. Z2007-036; Ordinance No. 08-05) intended to address the proliferation and concentration of automotive uses along IH-30. Specifically, the text amendment changed the *Permissible Land Use Charts* to require a SUP for the use in the Light Industrial (LI) District, which previously had been permitted *by-right*. The case memo provided to the City Council at that time stated the purpose of this action was to protect the undeveloped land, zoned Light Industrial (LI) District that existed along the IH-30 Corridor, and to prevent the concentration of automotive uses in this corridor. As was stated above, all but two (2) of the current locations are located in the IH-30 Corridor. These nine (9) locations are typically in clusters of two (2) and are in close proximity of one another (i.e. ~161-feet to ~2,836-feet of each other) [see the attached maps of *Rockwall Auto Dealerships*].
- 4) *Ad Valorem Taxes*. It should be noted that according to Section 152.001(2) of the State of Texas *Tax Code* a retail sale does not include the purchase of (1) new motor vehicles from a licensed dealer franchised to resell that type of vehicle, (2) used motor vehicles by a licensed dealer for resale purposes, and (3) new motor vehicles by a licensed franchise dealer for a lease contract. This means that the City does not collect sales tax on the sale or lease of any new or used automobile. In addition, staff has performed a basic fiscal impact analysis comparing the assessed values of the existing eight (8) -- *Fenton Nissan is currently under construction* -- new/used motor vehicle facilities against the City's commercial/retail land uses, which is the predominate use in the IH-30 Overlay (IH-30) District. The analysis performed by staff shows that the eight (8) new/used motor vehicle facilities have a total land footprint of 62.387-acres (77.138-acres with *Fenton Nissan*) adjacent to IH-30, with a total land value of ~22M, a total improvement value of ~18M, and a total assessed value ~40M. This all equals a total \$196,381.00 of property taxes paid to the City per year. The total property value per square foot for this use breaks down to \$14.89/SF. Performing this same analysis on the City's commercial/retail uses the total property value (*Citywide*) per square foot breaks down to \$18.96/SF, or a difference of +\$4.07 in favor of retail. This number is assumed to be higher if only the commercial/retail land in the IH-30 Corridor was used, because land value in those areas tend to be higher than the land value Citywide. In addition, the retail/commercial uses include sales tax, which would further widen this disparity. It should also be pointed out that these are new motor vehicle facilities and not used motor vehicle facilities, which is what the current ordinance is proposing to allow.

With all that being said, it should be noted that staff's proposed ordinance does not accommodate the request made by Echo Park Automotive for the property at 1415 & 1501 E. IH-30, which is located within the IH-30 Overlay (IH-30 OV) District; however, for the reasons stated above and to prevent the proliferation/concentration of automotive uses within the City's overlay districts staff has prepared an ordinance prohibiting the use in many of the City's strategic highway corridors. The Planning and Zoning Commission and City Council retain the discretion to amend or redirect staff should the ordinance not be sufficient to properly regulate the use. The City Council also retains the discretion to refrain from changing the ordinance if they see no public benefit from doing so.

In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the UDC staff is bringing the proposed amendments forward to the Planning and Zoning Commission for a recommendation to the City Council. Attached to this case memo are copies of the current

ordinance, the proposed amendments to the UDC, and all studies referenced above. The schedule for this text amendment is as follows:

Planning and Zoning Work Session: April 26, 2016

Planning and Zoning Public Hearing: May 10, 2016

City Council Public Hearing [*1st Reading*]: May 16, 2016

City Council [*2nd Reading*]: June 6, 2016

Staff will send out a 15-day notice to the Rockwall County News in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC.

Exhibit 'A': Current Ordinance
Article IV, Permissible Uses,
of the Unified Development Code

Article IV, Permissible Uses, of the Unified Development Code
Section 1. Land Use Schedule
Section 1.1. Use of Land and Buildings

Residential										Permitted Uses	Mixed Use			Commercial			Industrial			
AG	SF- E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14	Auto and Marine	DT	R-O	N-S	GR	C	HC	RT	LI	HI	
										Auto repair garage, major +							P		P	P
										Auto repair garage, minor +	S				S	S	P		P	P
										Automobile rental						S	P		S	P
										Boat and trailer dealership (new and used) +						S	P		S	P
										Car wash/auto detail +				S	S	P	P		P	P
										Car wash, self-service					S	P	P		P	P
										Indoor motor vehicle dealership/showroom, new and/or used +						S	S		S	S
										Motor vehicle dealership, new (cars and light trucks) +						S	P		S	P
										Motor vehicle dealership, used (cars and light trucks) +						A	A		A	A
										Parking, commercial	S					P	P		P	P
										Parking lot, noncommercial	A			S	P	P	P	P	P	P
										Recreational vehicle (RV) sales and service						S	P		S	P
										Service station +				S	P	P	P		P	P
										Towing and impound yard +							S		S	P
										Towing service, no storage +							P		P	P
										Truck rental							P		S	P
										Truck stop with fuel and accessory services +							S		S	P

Exhibit 'A': Current Ordinance

*Article IV, Permissible Uses,
of the Unified Development Code*

Article IV, Permissible Uses, of the Unified Development Code

Section 2. Use Standards

Section 2.1.8 Auto and Marine-Related Use Conditions

Indoor Motor Vehicle Dealership/Showroom, (New and/or Used). The indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage.

1. The sales/storage facility must be a completely enclosed building.
2. Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures.
3. All activities shall remain inside the building (*i.e. no detailing, sales activities, et cetera shall be performed outside the building*).
4. Accessory uses may be allowed in compliance with the "Permissible Use Charts" located within *Section 1.1* of this article.

Motor Vehicle Dealerships (New and Used).

1. Used vehicles may only be sold as an ancillary use to new vehicle sales.
2. All outside display of vehicles must be on an approved concrete, or enhanced concrete surface.
3. All vehicle display areas must meet the landscape standards for parking areas.

Exhibit 'B': Proposed Amendment
Article IV, Permissible Uses,
of the Unified Development Code

Article IV, Permissible Uses, of the Unified Development Code
Section 1. Land Use Schedule
Section 1.1. Use of Land and Buildings

Residential										Permitted Uses	Mixed Use			Commercial			Industrial			
AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14	Auto and Marine	DT	R-O	N-S	GR	C	HC	RT	LI	HI	
										Auto repair garage, major +						P			P	P
										Auto repair garage, minor +	S				S	S	P		P	P
										Automobile rental						S	P		S	P
										Boat and trailer dealership (new and used) +						S	P		S	P
										Car wash/auto detail +				S	S	P	P		P	P
										Car wash, self-service					S	P	P		P	P
										Indoor motor vehicle dealership/showroom, new and/or used +						S	S		S	S
										Motor vehicle dealership, new (cars and light trucks) +						S	P		S	P
										Motor vehicle dealership, used (cars and light trucks) +						A	A		AS	AP
										Parking, commercial	S					P	P		P	P
										Parking lot, noncommercial	A			S	P	P	P	P	P	P
										Recreational vehicle (RV) sales and service						S	P		S	P
										Service station +				S	P	P	P		P	P
										Towing and impound yard +							S		S	P
										Towing service, no storage +							P		P	P
										Truck rental							P		S	P
										Truck stop with fuel and accessory services +							S		S	P

Exhibit 'B': Proposed Text Amendment

*Article IV, Permissible Uses,
of the Unified Development Code*

Article IV, Permissible Uses, of the Unified Development Code

Section 2. Use Standards

Section 2.1.8 Auto and Marine-Related Use Conditions

Indoor Motor Vehicle Dealership/Showroom, (New and/or Used). The indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage.

5. The sales/storage facility must be a completely enclosed building.
6. Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures.
7. All activities shall remain inside the building (*i.e. no detailing, sales activities, et cetera shall be performed outside the building*).
8. Accessory uses may be allowed in compliance with the "Permissible Use Charts" located within *Section 1.1* of this article.

Motor Vehicle Dealerships (New and Used).

1. Used vehicles may only be sold as an ancillary use to new vehicle sales **in the Commercial (C) and Heavy Commercial (HC) Districts.**
- 2. Used vehicle sales may not be located within the Scenic Overlay (SOV), IH-30 Overlay (IH-30 OV), SH-205 By-Pass Overlay (SH205 BY-OV) FM-549 Overlay (FM-549 OV) or the SH-205 Overlay (SH-205 OV) District except as an ancillary use to new vehicle sales.**
- ~~2.~~ **3.** All outside display of vehicles must be on an approved concrete, or enhanced concrete surface.
- ~~3.~~ **4.** All vehicle display areas must meet the landscape standards for parking areas.

Survey of Comparable Cities

City of Plano

The City of Plano requires *Automobile Dealer (Used)* uses to obtain a Specific Use Permit (SUP) subject to their residential adjacency standards in their Light Commercial (LC), Corridor Commercial (CC) and Central Business-1 (CBD1) Districts. Additionally, they permit the use *by-right* subject to the residential adjacency standards in their Light Industrial-1 (LI1) and Light Industrial-2 (LI2).

City of Carrollton

The City of Carrollton allows *Used Car Dealers* in their Light Industrial (LI) District by Specific Use Permit (SUP) and *by-right* in their Heavy Industrial (HI) District. Additionally, they have included another use (i.e. *Used Car Dealers -- indoors only or accessory to new car sales*), which is allowed *by-right* in more zoning districts.

City of Frisco

The City of Frisco allows *Automobile Sales, Used* by Specific Use Permit (SUP) in their Highway (HI), Commercial-2 (C-2) and Industrial (I) Districts. In addition, the City has expressly prohibited the use in their US 380 Gateway, Rural Corridor, Main Street and Tollway Overlay Districts.

City of McKinney

The City of McKinney permits *Automobile, Motorcycle, Boat (Sales, Repair, or Storage)* *by-right* in the General Business (BG), Commercial (C), Commercial Business (BC), Light Manufacturing (ML), Heavy Manufacturing (MH), Light Industrial (LI), and the Heavy Industrial (HI) Districts; and, by SUP in the Regional Commercial (C3) District.

City of Rowlett

The City of Rowlett only allows used vehicle sales as an accessory use to new vehicle sales.

City of Mesquite

The City of Mesquite requires a Conditional Use Permit (i.e. *Specific Use Permit*) in their Central Business (CB), Commercial (C) and Industrial (I) Districts.

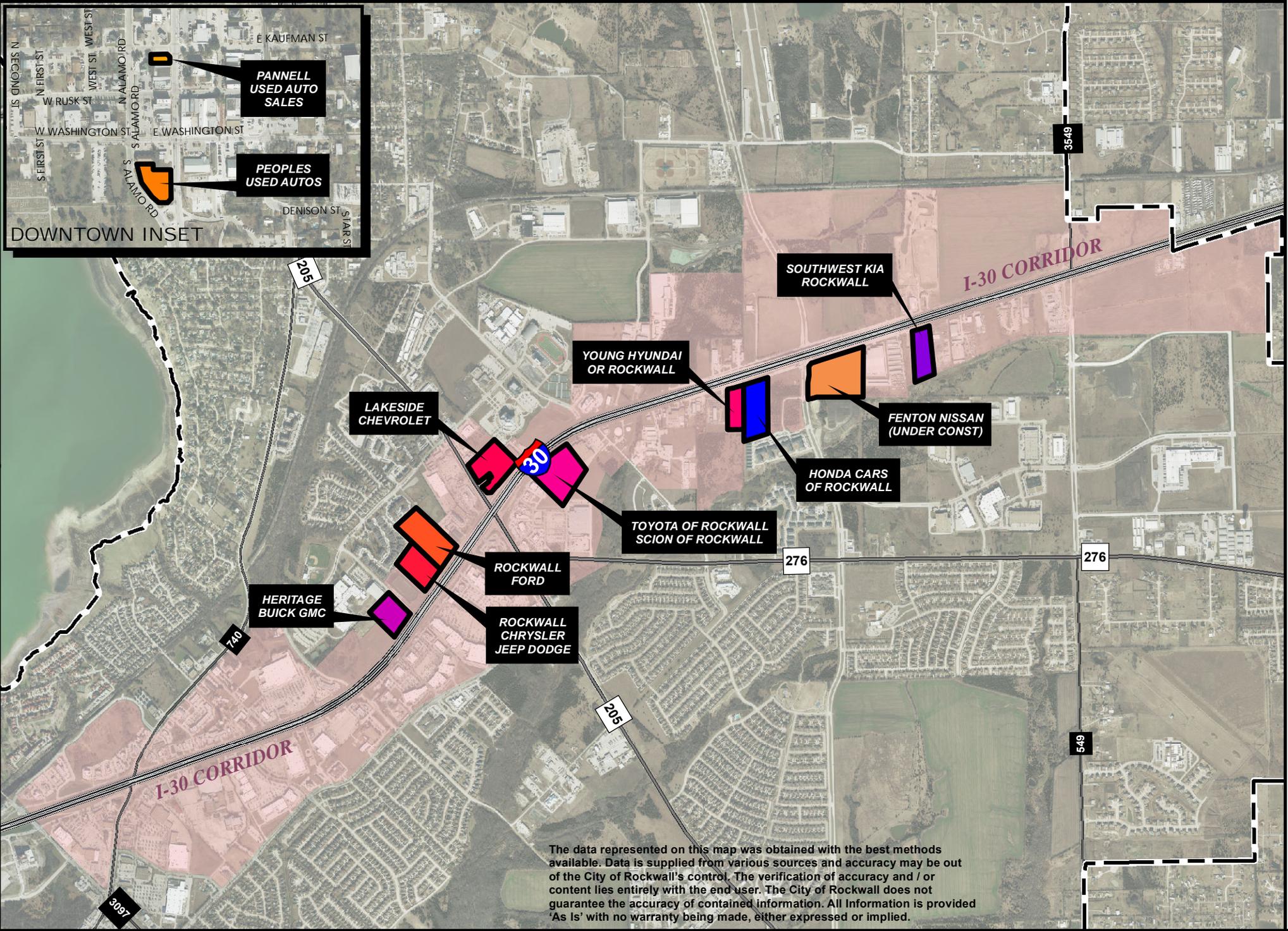
City of Garland

The City of Garland requires a Specific Use Permit (SUP) for *Automobile Sales, New or Used* in the Light Commercial (LC) and Industrial (IN) Districts and permits the use *by-right* in a Heavy Commercial (HC) District.

City of Lancaster

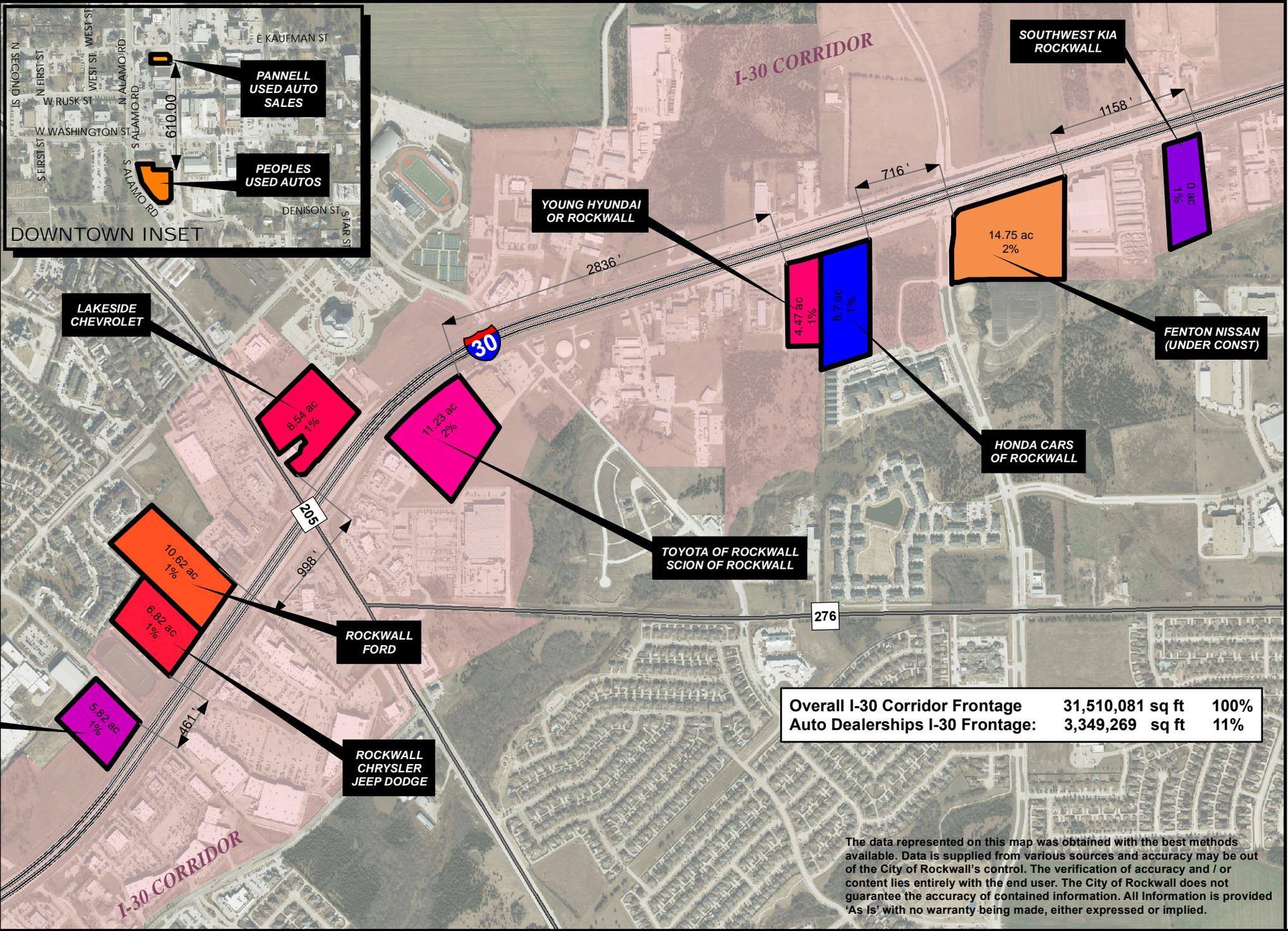
The City of Lancaster allows the *Motor Vehicle Dealership, New & Used (Cars and Light Trucks)* land use through a Specific Use Permit in their Commercial Highway (CH) District and *by-right* in their Commercial Services (CS), Light Industrial (LI) and Medium Industrial (MI) Districts. In addition, the following use standards are also required:

- 1) The area to be used for outside storage and display shall not exceed 50% of the lot area within 100 feet of any adjacent street.
- 2) All such outside storage and display areas must be permanently paved to City standards.
- 3) All such outside storage and display areas must be screened along all road frontages with a solid evergreen landscape screen a minimum of three (3) feet in height.
- 4) All such outside storage and display areas may be lighted with directed exterior lighting that does not glare onto any adjacent roadways.
- 5) A site plan and landscape plan shall be approved prior to issuance of any Building Permit.



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.





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FISCAL IMPACT STUDY
APRIL 22, 2016

NOTES

(1) ALL VALUES ARE FOR 2015.

(2) TEXAS COMPTROLLERS OFFICE, 2015 (Q1, Q2 & Q3) AND 2014 (Q4)

NEW/USED MOTOR VEHICLE DEALERSHIPS

RCAD ID	BUSINESS NAME	TAX ID NAME	ZONING	ACRE	LOT SF	LAND VALUE	IMP VALUE	APPRAISED	ACCESSED	PROP TAX PAID
53498	ROCKWALL CHRYSLER	ROCKWALL DIRT CO LTD	C	6.874	299,431.00	\$2,844,600	\$1,305,108	\$4,149,708	\$4,149,708	\$20,138
72211	BUICK - GMC	TARBELL AUTOMOTIVE INC	C	6.000	261,360.00	\$2,090,880	\$1,129,120	\$3,220,000	\$3,220,000	\$15,626
79020	ROCKWALL KIA	SALEHOUN FAMILY LIMITED PARTNERSHIP	LI	5.961	259,674.23	\$908,860	\$2,341,190	\$3,250,050	\$3,250,050	\$15,772
53497	ROCKWALL FORD	ROCKWALL LAND COMPANY LTD	C	10.585	461,083.00	\$4,380,290	\$2,180,626	\$6,560,916	\$6,560,916	\$31,840
55997	LAKESIDE CHEVROLET	BOOMPA LTD	C	8.635	376,140.60	\$3,385,270	\$1,001,640	\$4,386,910	\$4,386,910	\$21,289
71939	ROCKWALL TOYOTA	JACKSON AUTOMOTIVE REAL ESTATE INV LLC	LI	11.256	490,315.72	\$4,412,840	\$3,842,905	\$8,255,745	\$8,255,745	\$40,065
84567	ROCKWALL HONDA	REALTY HOLDINGS OF ROCKWALL LLC	PD-10 & C	8.686	378,362.16	\$3,026,900	\$4,881,940	\$7,908,840	\$7,908,840	\$38,381
70023	YOUNG HYUNDAI	AUTOMOTIVE REAL ESTATE HOLDINGS LLC	LI	4.390	191,228.40	\$956,140	\$1,778,250	\$2,734,390	\$2,734,390	\$13,270
				62.387	2,717,595.11	\$22,005,780	\$18,460,779	\$40,466,559	\$40,466,559	\$196,381

NEW/USED MOTOR VEHICLE DEALERSHIP PROPERTY VALUE PER SF: \$ 14.89

PROP ID	DBA NAME	TAX NAME	ZONING	ACRE	LOT SF	LAND VALUE	IMP VALUE	APPRAISED	ACCESSED	PROP TAX PAID
21411	PANNELL AUTOMOTIVE	PANNELL JIM ESTATE	DT	0.126	5,488.56	\$60,370	\$3,230	\$63,600	\$63,600	\$308
21470	PEOPLES AUTO	PEOPLES BILLY W	DT	0.684	29,795.04	\$192,180	\$6,150	\$198,330	\$198,330	\$963
				0.810	35,283.60	\$252,550	\$9,380	\$261,930	\$261,930	\$1,271

PROPERTY VALUE PER SF (USED DEALERS IN THE DOWNTOWN): \$ 8.11
AVERAGE DOWNTOWN PROPERTY VALUE PER SF (DOWNTOWN CORE): \$ 30.62

COMPARISON OF COMMERCIAL/RETAIL PROPERTY

LAST YEAR RETAIL SALES TAX (CITY-WIDE) (2)	\$ 1,425,810,448.00	
ROCKWALL DEVELOPED COMMERCIAL/RETAIL LOT SQUARE FOOTAGE	47,095,384.04	1,081.00 ACRES
ROCKWALL COMMERCIAL/RETAIL SALES TAX PER LOT SF:	\$ 30.27	
ROCKWALL DEVELOPED COMMERCIAL/RETAIL LOT SQUARE FOOTAGE	47,095,384.04	1,081.00 ACRES
ROCKWALL DEVELOPED COMMERCIAL/RETAIL TOTAL PROPERTY VALUE	\$ 892,800,806.00	555.00 LOTS
ROCKWALL DEVELOPED COMMERCIAL/RETAIL PROPERTY VALUE PER LOT SF:	\$ 18.96	
TOTAL POTENTIAL/AVERAGE IMPACT OF COMMERCIAL/RETAIL PER LOT SF:	\$ 49.23	

SIMILAR SITE COMPARISON

	<u>PROPERTY TAX</u>	<u>SALES TAX</u>
ROCKWALL FORD (~11.0-ACRES)	\$14.18/SF	\$ -
PLAZA AT ROCKWALL (~11.00-ACRES)	\$39.33/SF	23 STORES (116,873 BUILDING SF)

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTIONS 1.1 & 2.1.8 OF ARTICLE IV, *PERMISSIBLE USES*; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] has been initiated by the City Council of the City of Rockwall to amend Section 1.1, *Use of Land and Buildings*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for the purposes of establishing *Motor Vehicle Dealership, Used (Cars and Light Trucks)* as a standalone use permitted within the Light Industrial (LI) District by Specific Use Permit and *by-right* in the Heavy Industrial (HI) District, and prohibiting the standalone use in certain Overlay Districts; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Section 1.1, *Use of Land and Buildings*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

Section 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 4. That this ordinance shall take effect immediately from and after its passage and the

publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JUNE, 2016.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2016

2nd Reading: June 6, 2016

Exhibit 'A'
Article IV, Permissible Uses,
of the Unified Development Code

Article IV, Permissible Uses, of the Unified Development Code
Section 1. Land Use Schedule
Section 1.1. Use of Land and Buildings

Residential										Permitted Uses	Mixed Use			Commercial			Industrial			
AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14	Auto and Marine	DT	R-O	N-S	GR	C	HC	RT	LI	HI	
										Auto repair garage, major +							P		P	P
										Auto repair garage, minor +	S				S	S	P		P	P
										Automobile rental						S	P		S	P
										Boat and trailer dealership (new and used) +						S	P		S	P
										Car wash/auto detail +			S		S	P	P		P	P
										Car wash, self-service					S	P	P		P	P
										Indoor motor vehicle dealership/showroom, new and/or used +						S	S		S	S
										Motor vehicle dealership, new (cars and light trucks) +						S	P		S	P
										Motor vehicle dealership, used (cars and light trucks) +						A	A		AS	AP
										Parking, commercial	S					P	P		P	P
										Parking lot, noncommercial	A		S		P	P	P	P	P	P
										Recreational vehicle (RV) sales and service						S	P		S	P
										Service station +			S		P	P	P		P	P
										Towing and impound yard +							S		S	P
										Towing service, no storage +							P		P	P
										Truck rental							P		S	P
										Truck stop with fuel and accessory services +							S		S	P

Exhibit 'A'
*Article IV, Permissible Uses,
of the Unified Development Code*

Article IV, Permissible Uses, of the Unified Development Code
Section 2. Use Standards
Section 2.1.8 Auto and Marine-Related Use Conditions

Indoor Motor Vehicle Dealership/Showroom, (New and/or Used). The indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage.

1. The sales/storage facility must be a completely enclosed building.
2. Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures.
3. All activities shall remain inside the building (*i.e. no detailing, sales activities, et cetera shall be performed outside the building*).
4. Accessory uses may be allowed in compliance with the "Permissible Use Charts" located within *Section 1.1* of this article.

Motor Vehicle Dealerships (New and Used).

1. Used vehicles may only be sold as an ancillary use to new vehicle sales **in the Commercial (C) and Heavy Commercial (HC) Districts.**
2. **Used vehicle sales may not be located within the Scenic Overlay (SOV), IH-30 Overlay (IH-30 OV), SH-205 By-Pass Overlay (SH205 BY-OV) FM-549 Overlay (FM-549 OV) or the SH-205 Overlay (SH-205 OV) District except as an ancillary use to new vehicle sales.**
- ~~2.~~ 3. All outside display of vehicles must be on an approved concrete, or enhanced concrete surface.
- ~~3.~~ 4. All vehicle display areas must meet the landscape standards for parking areas.

City of Rockwall Project Plan Review History



Project Number P2016-016	Owner CROWELL DEVELOPMENT CORP	Applied 4/15/2016 LM
Project Name Wanda Ridge Estates - ETJ Plat	Applicant CARROLL CONSULTING GROUP, INC	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

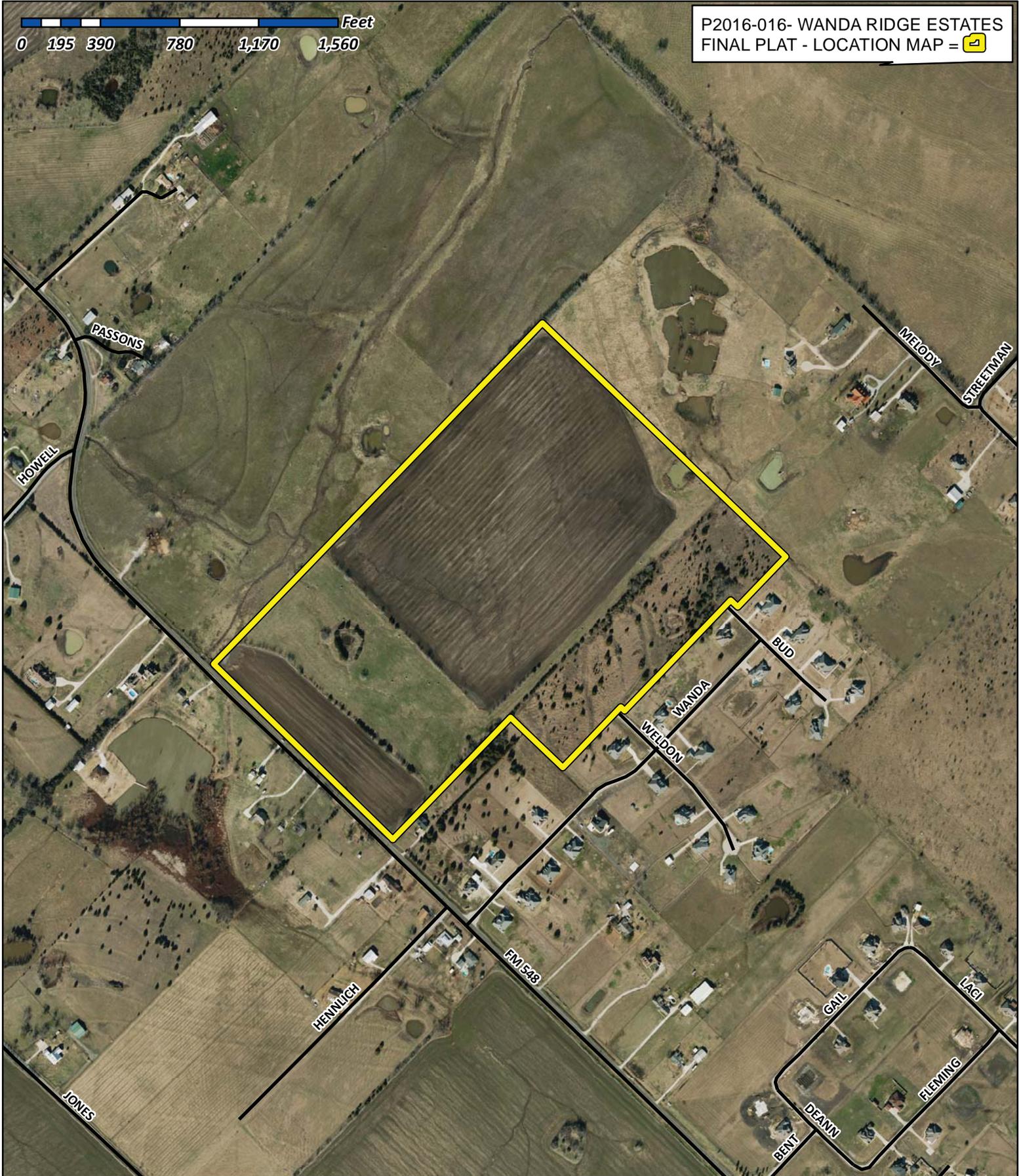
Site Address FM 548 ETJ	City, State Zip ,	Zoning
Subdivision	Tract	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
ENGINEERING	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See Comment
(4/19/2016 11:46 AM AW) Note on the plat to state "All drainage/detention systems to be maintained, repaired, and replaced by property owner(s)". The easements that are detention need to be labeled "detention/drainage" easement							
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
GIS	Lance Singleton	4/15/2016	4/22/2016	4/21/2016	6	COMMENTS	See Comment
(4/21/2016 8:42 AM LS) Contact Rockwall COunty for 911 Addressing: Susan Skrabanek sskrabanek@rockwallcountytexas.com 9-1-1 Rural Addressing / Rockwall County 1215 E. Yellowjacket Ln. Rockwall, Texas 75087 972.204.7681							
PLANNING	David Gonzales	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Discuss and consider a request by Bart Carroll of Carroll Consulting Group, Inc. on behalf of the owner Robert John Crowell of Crowell Development Corporation for the approval of a final plat for Wanda Ridge Estates, Phase 2 containing 45 single-family residential lots on 79.7111-acres identified as Tract 17-3 (4.679-acres), Tract 19 (61.658-acres), and Tract 42-01 (13.374-acres) of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated in the City of Rockwall's Extraterritorial Jurisdiction (ETJ), located north of the intersection of Wanda Lane and FM-548, and take any action necessary.</p> <p>Please address the following Rockwall County Comments:</p> <p>From: Pat NeSmith [mailto:pnesmith@rockwallcountytexas.com] Sent: Tuesday, April 19, 2016 1:24 PM To: 'Ron Merritt' <rmerritt@rockwallcountytexas.com> Subject: RE: Wanda Ridge Estates - Final Plat</p> <p>I don't have any problem with the plat but will need to see the plans for drainage of water from Weldon St north to Bud St, we have a problem with the flow now. I see an easement on the lot south of Weldon but I don't see a drainage easement on the 2 lots between those streets. There's a big ditch in there now behind the 2 existing houses on Wanda.</p> <p>I hope all the lot owners with drainage easements on their prop understand what that means. Looks like at least 14 or 15 are going to be affected.</p> <p>The following City of Rockwall staff comments are to be addressed and resubmitted no later than Tuesday, May 3, 2016. Please provide three large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:</p> <ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-016" on the lower right corner on all pages of the revised plat. 3. Indicate and label the 25-ft Right-of-Way Dedication along FM 548 by hatching the area and providing the total acres being dedicated. 4. Surveyor's Certificate - Notary not necessary when stamped by surveyor. <p>** As a note and once the plat has been approved by the Planning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved by staff prior to plat submittal on mylar for filing purposes. **</p> <p>The following are scheduled meeting dates that you and/or your representative(s) should attend in order to answer any questions regarding the final plat. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.</p> <p>Planning - Work Session: April 26, 2016 (6:00 p.m.)</p> <p>Planning - Action: May 10, 2016 (6:00 p.m.)</p> <p>City Council - Action: May 16, 2016 (6:00 p.m.)</p>

0 195 390 780 1,170 1,560 Feet

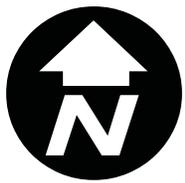
P2016-016- WANDA RIDGE ESTATES
FINAL PLAT - LOCATION MAP = 

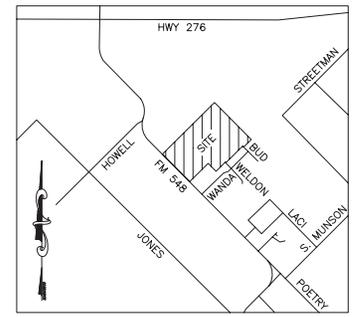
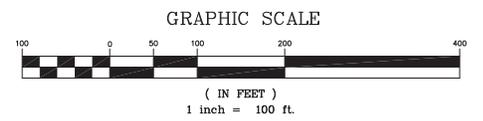
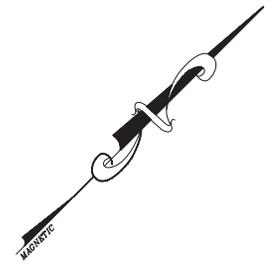


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



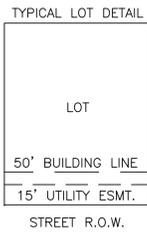
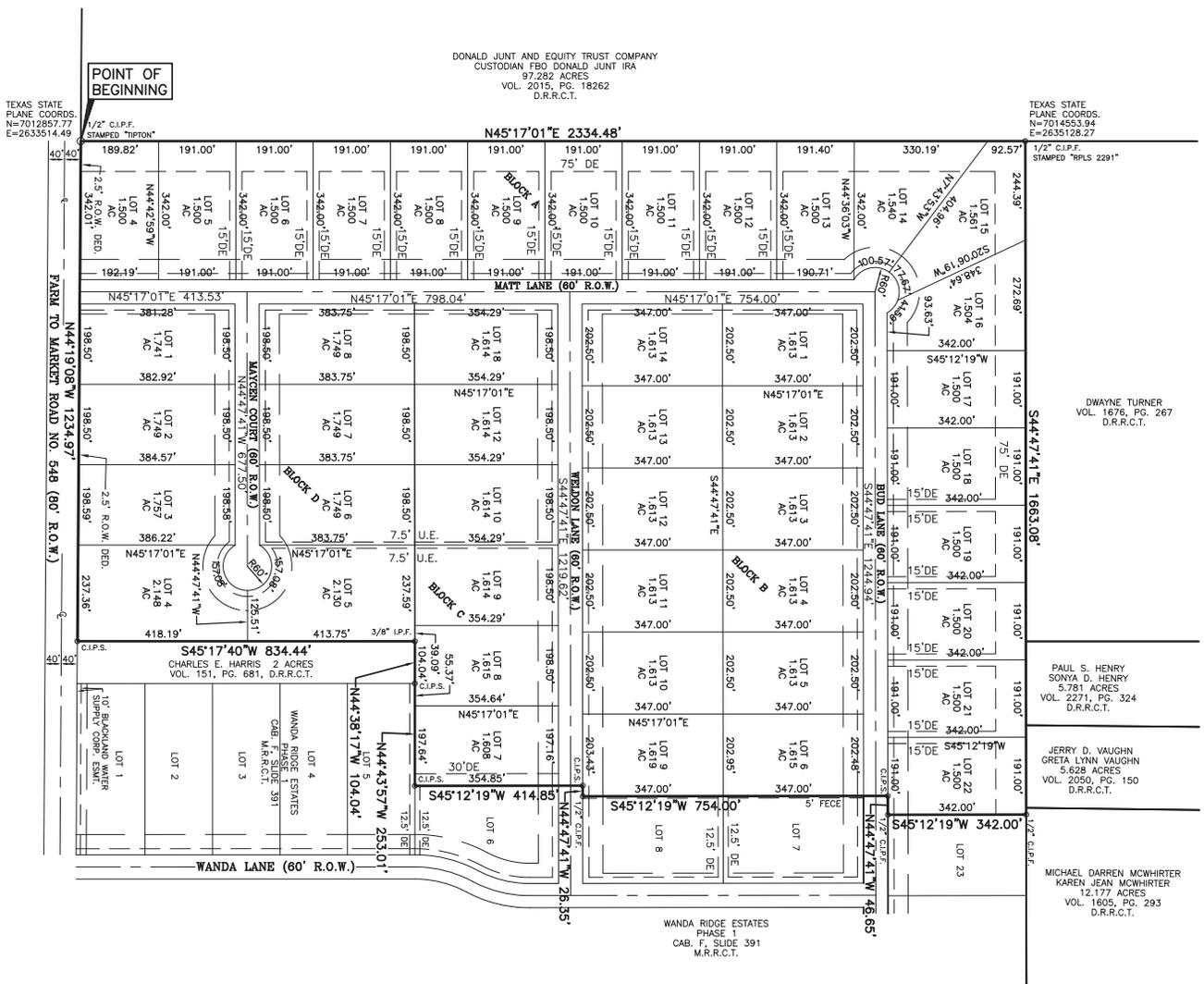


- UE - UTILITY EASEMENT
- BL - BUILDING LINE
- DE - DRAINAGE EASEMENT
- FECE - FARMERS ELECTRIC COOPERATIVE EASEMENT
- C.I.P.S. - 1/2" YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

FINAL PLAT
WANDA RIDGE ESTATES
PHASE 2
 45 RESIDENTIAL LOTS
 79.7111 ACRES OF LAND
 S. MCFADGIN SURVEY, ABSTRACT NO. 142
 ROCKWALL COUNTY, TEXAS

CARROLL CONSULTING GROUP, INC.
 P.O. BOX 11 LAVON, TEXAS 75166 PHONE:
 TEXAS FIRM REGISTRATION NO.: 10007200 (972) 742-4411

JOB No.	SCALE:	DATE	DRAWN BY:
2232-16	1"=100'	APRIL 7, 2016	CP



OWNER:
 CROWELL DEVELOPMENT CORPORATION
 CONTACT: ROBERT JOHN CROWELL
 403 SOUTH ELM STREET
 ROYSE CITY, TEXAS 75189
 PHONE: 972-636-2108

Bearings based on northwest line of deed recorded in
 Volume 4417, Page 152, Deed Records, Rockwall County, Texas.

State Plane coordinates based on the Texas State Plane Coordinate System,
 North Central Zone, North American Datum of 1983 on Grid Coordinate
 values, No Scale and no Projection.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas, Crowell Development Co., Inc. is the owner of a tract of land situated in the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas and being the same 79.7111 acre tract of land as conveyed to Crowell Development Co., Inc. by deed recorded in Volume 4417, Page 152, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" capped iron pin found on the northeasterly right-of-way line of Farm to Market Road No. 548 (80' R.O.W.) for the west corner of said 79.7111 acre tract and the south corner of a 97.282 acre tract of land conveyed to Donald Junt and Equity Trust Company Custodian FBO Donald Junt IRA by deed recorded in Volume 2015, Page 18262, Deed Records, Rockwall County, Texas;

Thence, North 45°17'01" East, along the northwest line of said 79.7111 acre tract and the southeast line of said 97.282 acre tract, a distance of 2334.48 feet to a 1/2" capped iron pin found for the north corner of said 79.7111 acre tract and the west corner of a tract of land conveyed to Dwayne Turner by deed recorded in Volume 1676, Page 267, Deed Records, Rockwall County, Texas;

Thence, South 44°47'41" East, along the northeast line of said 79.7111 acre tract, the southwest line of said Turner tract, the southwest line of a 5.781 acre tract of land conveyed to Paul S. Henry and Sonya D. Henry by deed recorded in Volume 2271, Page 324, Deed Records, Rockwall County, Texas, the southwest line of a 5.628 acre tract of land conveyed to Jerry D. Vaughn and Orela Lynn Vaughn by deed recorded in Volume 2050, Page 150, Deed Records, Rockwall County, Texas and the southwest line of a 12.177 acre tract of land conveyed to Michael Darren McWhirter and Karen Jean McWhirter by deed recorded in Volume 1605, Page 293, Deed Records, Rockwall County, Texas, a distance of 1663.08 feet to a 1/2" capped iron pin found for the most northerly east corner of said 79.7111 acre tract and the most northerly corner of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Map Records, Rockwall County, Texas;

Thence, southwesterly, along the southeasterly lines of said 79.7111 acre tract and the northwesterly lines of said Wanda Ridge Estates Phase 1 the following:

South 45°12'19" West, a distance of 342.00 feet to a 1/2" capped iron pin found for corner on the northeast right-of-way line of Bud Lane (60' R.O.W.);

North 44°47'41" West, along the northeast line of said Bud Lane, a distance of 46.65 feet to a 1/2" yellow capped iron pin set stamped "CCG INC RPLS 5129" for corner;

South 45°12'19" West, a distance of 754.00 feet to a 1/2" capped iron pin found on the northeast right-of-way line of Weldon Lane (60' R.O.W.);

North 44°47'41" West, along the northeast line of said Weldon Lane, a distance of 26.35 feet to a 1/2" yellow capped iron pin set stamped "CCG INC RPLS 5129" for corner;

South 45°12'19" West, a distance of 414.85 feet to a 1/2" yellow capped iron pin set stamped "CCG INC RPLS 5129" on the north line of Lot 5, of said Wanda Ridge Estates Phase 1;

Thence, North 44°43'57" West, along a southwesterly line of said 79.7111 acre tract and the northeast line of said Lot 5, a distance of 253.01 feet to a 1/2" yellow capped iron pin set stamped "CCG INC RPLS 5129" for the north corner of said Lot 5 and the east corner of a 2 acre tract of land conveyed to Charles E. Harris by deed recorded in Volume 151, Page 681, Deed Records, Rockwall County, Texas;

Thence, North 44°38'17" West, along a southwesterly line of said 79.7111 acre tract and the northeast line of said 2 acre tract, a distance of 104.04 feet to a 3/8" iron pin found for the north corner of said 2 acre tract;

Thence, South 45°17'40" West, along a southeasterly line of said 79.7111 acre tract and the northwest line of said 2 acre tract, a distance of 834.44 feet to a 1/2" yellow capped iron pin set stamped "CCG INC RPLS 5129" on the northeasterly right-of-way line of Farm to Market Road No. 548 (80' R.O.W.) for the south corner of said 79.7111 acre tract and the west corner of said 2 acre tract;

Thence, North 44°19'08" West, along the northeasterly right-of-way line of Farm to Market Road No. 548 (80' R.O.W.) and the southwest line of said 79.7111 acre tract, a distance of 1234.97 feet to the Point of Beginning and containing 3,472,216 square feet or 79.7111 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

I the undersigned owner of the land shown on this plat, and designated herein as the WANDA RIDGE ESTATES PHASE 2 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the WANDA RIDGE ESTATES PHASE 2 subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- 1.No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2.Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3.The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4.The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5.The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the subdivision.
6.No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutters, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the _____ day of _____, 2016.

BY: _____
Crowell Development Co., Inc., Owner
By: Bobby J. Crowell

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Bobby J. Crowell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN under my hand and seal of office this _____ day of _____, 2016.

Notary Public for and in the State of Texas
My commission expires: _____

WITNESS, my hand, this the _____ day of _____, 2016.

BY: _____
Crowell Development Co., Inc., Owner
By: Bobby J. Crowell

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, on this day personally appeared Bobby J. Crowell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN under my hand and seal of office this _____ day of _____, 2016.

Notary Public for and in the State of Texas
My commission expires: _____

SURVEYOR'S CERTIFICATE

STATE OF TEXAS

THAT I, James Bart Carroll, do hereby certify that I have prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE"

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

GIVEN under my hand and seal of office, this _____ day of _____, 2016.

Notary Public in and for the State of Texas.
My commission expires: _____

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

Bearings based on northwest line of deed recorded in Volume 4417, Page 152, Deed Records, Rockwall County, Texas.

Planning & Zoning Commission, Chairman Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2016.

Mayor, City of Rockwall City Secretary City Engineer

Rockwall County Judge Date

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

FINAL PLAT

WANDA RIDGE ESTATES
PHASE 2

45 RESIDENTIAL LOTS
79.7111 ACRES OF LAND
S. MCFADGIN SURVEY, ABSTRACT NO. 142
ROCKWALL COUNTY, TEXAS

PAGE 2 OF 2

CARROLL CONSULTING GROUP, INC.

Table with 4 columns: JOB No., SCALE, DATE, DRAWN BY. Values: 2232-16, 1"=100', APRIL 7, 2016, CP

City of Rockwall Project Plan Review History



Project Number SP2016-006	Owner U, V REAL ESTATE LP	Applied 3/11/2016 KB
Project Name Service King	Applicant CLAYMOORE ENGINEERING, INC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status STAFF REVIEW		Status 3/11/2016 KB

Site Address 1780 E I30	City, State Zip ROCKWALL, TX 75087	Zoning
-----------------------------------	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	7-1	NULL	7-1	0134-0000-0007-01-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	3/11/2016	3/18/2016	4/22/2016	42	APPROVED	
ENGINEERING (4/19/2016 3:37 PM AW) Sewer is in the rear of the lot not along I-30 The 18' parking spaces to have a "clear" 2 foot overhang. No walls or fences allowed in that 2'. Verify if there is a water line in the Blackland easement. Will need their permission to cross their easement with a fence and retaining wall. See comments on markup	Amy Williams	3/11/2016	3/18/2016	4/19/2016	39	COMMENTS	See Comments
FIRE (4/22/2016 10:45 AM AA) Where security gates are installed across fire lane, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.	Ariana Hargrove	3/11/2016	3/18/2016	4/22/2016	42	COMMENTS	See comment
GIS (4/20/2016 4:54 PM LS) Assigned address will be: 1780 E INTERSTATE 30, ROCKWALL, TX 75087	Lance Singleton	3/11/2016	3/18/2016	4/20/2016	40	APPROVED	See Comments
PLANNING	Ryan Miller	3/11/2016	3/18/2016	4/20/2016	40	APPROVED	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2016-006 (Service King Site Plan): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1						This is a request for the approval of a site plan for an Auto Body Shop (i.e. Service King Collision Repair) on a 3.2039-acre tract of land described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.
I.2						For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
M.3						For reference, include the case number (SP2016-006) in the lower right hand corner of all pages on future submittals.
I.4						This property will be required to be replated prior to the issuance of a building permit.
M.5						Submittal Requirements. Please provide a material sample board for the Architectural Review Board to review at their meeting on April 26, 2016. Please submit a Photometric Plan and lighting cut-sheets that meet the City's lighting requirements.
M.6						Site Plan. Adjust the building square footage to include the porta-coche in the front. Building square footage includes all areas under roof.
M.7						Site Plan. Please indicate the dimensions of all walls on the building (i.e. this will include the porta-coche).
M.8						Site Plan. Please show a connection to the cross access easement that abuts the eastern property line (i.e. the KIA dealership). The cross access easement should extend across the subject property.
M.9						Screening. All buildings must be designed such that no roof mounted mechanical equipment, vents, HVAC or satellite dishes shall be visible from any direction. Additionally, all ground mounted equipment must be screened from horizontal view. Please indicate the location of all such equipment on the building elevations (in dashed lines) and/or the site plan, and indicate how the equipment will be screened.
M.10						Dumpster Enclosure. Per the IH-30 Overlay (IH-30 OV) District the dumpster enclosure is required to be constructed utilizing the same materials used on the primary structure and be constructed with eight (8) foot walls. Please make the necessary corrections and show a detail/elevation of the dumpster enclosure.
M.11						Landscaping. Please remove the irrigation plans from the plan set.
M.12						Landscaping. Per the IH-30 OV District three (3) canopy trees and four (4) accent trees are required per 100-linear feet. In addition, canopy trees are to be a minimum of four (4) inch caliper in size and accent trees are required to be a minimum of four (4) feet. Currently, the landscaping shown does not meet this requirement. Please review the ordinance for the trees permitted within the IH-30 OV District.
M.13						Landscaping. A minimum of a 20-foot landscape buffer is required with a combination of a built-up berm and/or shrubbery or a combination thereof is required along the IH-30 right-of-way. Additionally, no parking is permitted within the landscape buffer. Please make the necessary changes.
M.14						Landscaping. All parking spaces are required to be within 80-feet of a tree. Please provide a detail page showing each tree buffered by 80-feet to demonstrate conformance to this requirement.
I.15						Photometric. No light pole, base or combination thereof shall exceed 30-feet in height. Please indicated the mounting height of each lighting standard indicating conformance to the lighting requirements.
I.16						Photometric. Please provide cut-sheets for all exterior lighting (e.g. wall packs, canister lighting, etc.).
M.17						Building Elevations. The IH-30 Overlay (IH-30 OV) District requires a minimum of 20% natural or quarried stone used on each building façade. Please adjust the façade calculations to indicate the amount of stone utilized on each building façade.
M.18						Building Elevations. The proposed building elevations do not meet the minimum horizontal and vertical articulation requirements. Please provide horizontal and vertical off-sets and projects that conform to the articulation formulas in the UDC.
M.19						Building Elevations. The IH-30 OV District requires four (4) sided architecture that has wall faces that are architecturally finished on all four (4) sides with the same materials, detailing and features. The current building elevations do not meet this requirement.
M.20						Variances. Please submit a letter specifically requesting each variance, and providing a rational for the approval of these variances. It should be noted that any variances to the Overlay District requirements require a ¾-majority vote.
I.21						The Architectural Review Board (ARB) meeting for this case will be held on April 26, 2016.
I.22						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 3, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 10, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
on April 26, 2016. I.23 If necessary the projected City Council meeting date for this case will be May 16, 2016.						

0 50 100 200 300 400 Feet

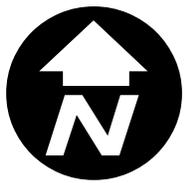
SP2016-006- SERVICE KING
SITE PLAN - LOCATION MAP = 



City of Rockwall

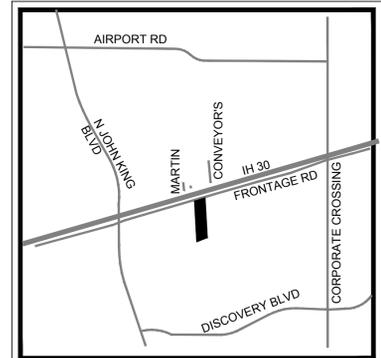
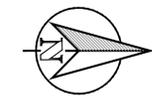
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PARKING TABLE	
PARKING REQUIREMENTS	2 SPACES / EACH SERVICE BAY
PARKING REQUIRED	16 SPACES (1 ADA) 8 SERVICE BAYS
PARKING PROVIDED	16 SPACES (5 ADA)

SITE DATA TABLE	
SITE AREA	3.29 ACRES (143,447.42 SF)
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	AUTO REPAIR GARAGE, MAJOR
BUILDING SIZE	16,208 SF
LOT COVERAGE	11.3 %
FLOOR TO AREA RATIO	0.11 : 1
BUILDING HEIGHT	1 STORY

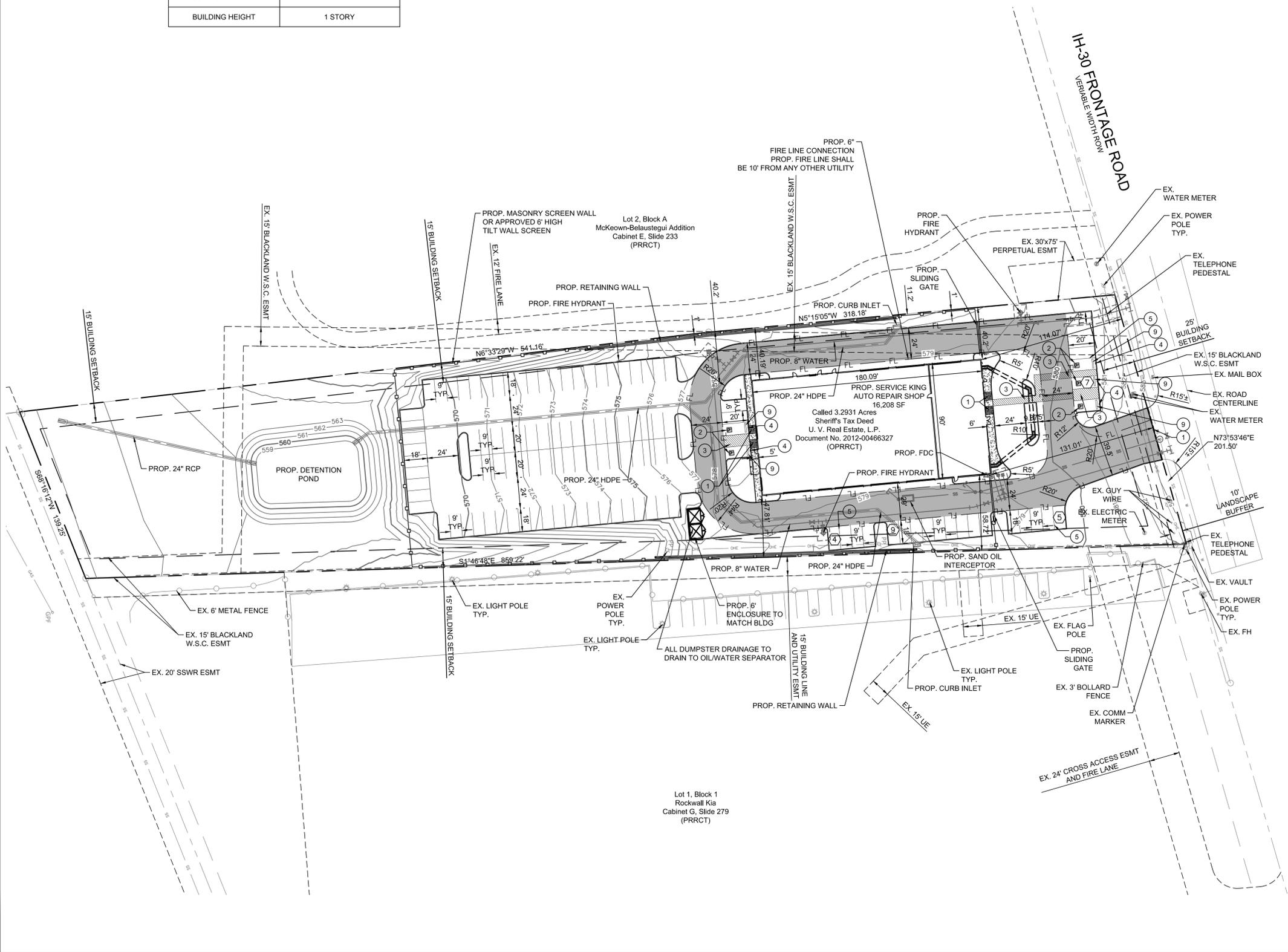


VICINITY MAP
N.T.S.

LEGEND	
[Symbol]	5" STANDARD DUTY CONCRETE
[Symbol]	FIRE LANE (6" CONCRETE)
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	FULL DEPTH SAWCUT
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE
[Symbol]	PARKING COUNT

CONSTRUCTION SCHEDULE	
1	SAW CUT
2	HANDICAP SYMBOL
3	PAVEMENT STRIPING
4	HANDICAP SIGN
5	4" PARKING STALL
6	SIDEWALK
7	PROPOSED DUMPSTER AREA AND ENCLOSURE
8	HANDICAP RAMPS
9	CURB STOP

NOTE:
A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.



TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOORE.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 CLAY CRIST
 Engineer
 P.E. No 109800 Date 4/15/2016

**SERVICE KING
 I.H. 30
 ROCKWALL, TEXAS**

NO.	DATE	REVISION	BY

SITE PLAN

DESIGN: BJK
 DRAWN: NMA
 CHECKED: CLC
 DATE: 4/15/2016

SHEET
SP-1

File No. 2015-147

SERVICE KING ROCKWALL - I.H. 30

LEGAL DESCRIPTION AND OR ADDRESS:
 SHERIFF'S TAX DEED
 U.V. REAL ESTATE, LP.
 DOCUMENT NO. 2012-00466327
 3.293 AC

OWNER:
 U.V. REAL ESTATE L.P.
 8131 LYNDON B JOHNSON FREEWAY
 SUITE 770
 DALLAS, TEXAS 75251

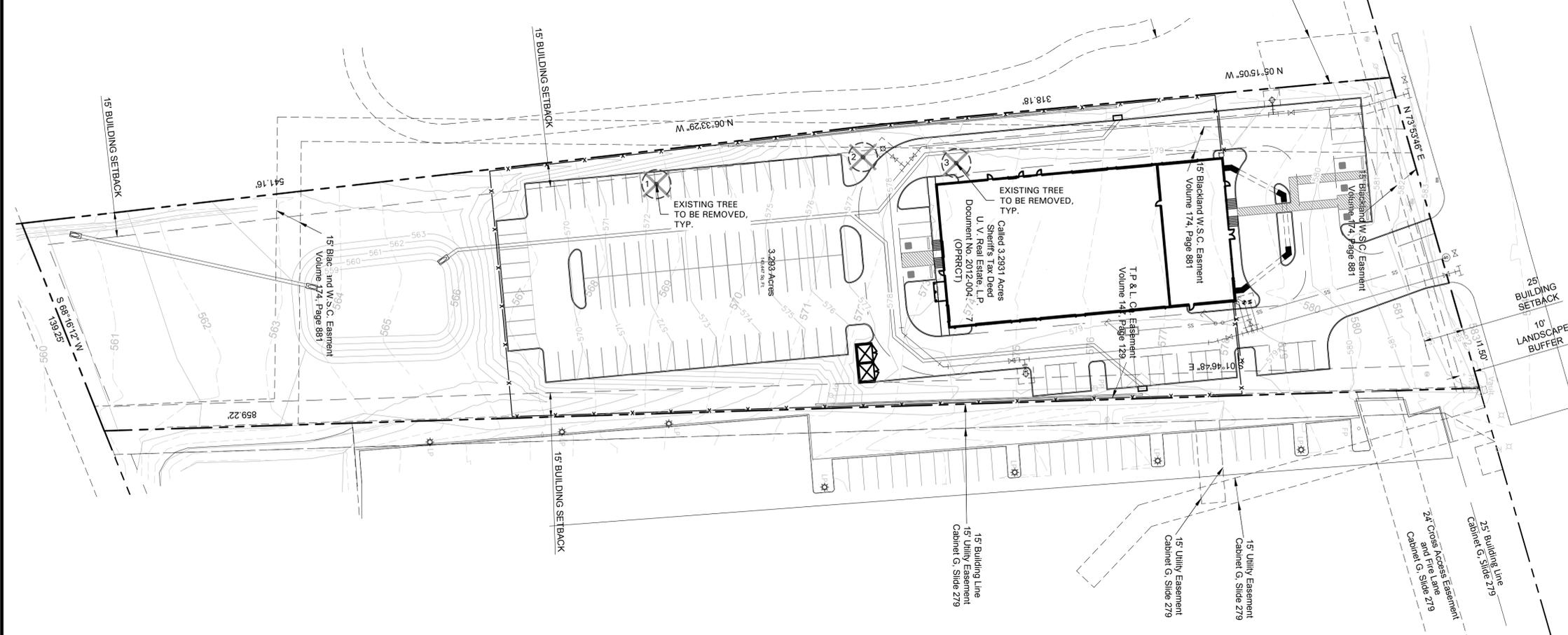
APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER

PLOTTED BY: DREW DONOSKY
 PLOT DATE: 4/12/2016 3:00 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2015-147 SERVICE KING ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 4/12/2016 11:33 PM

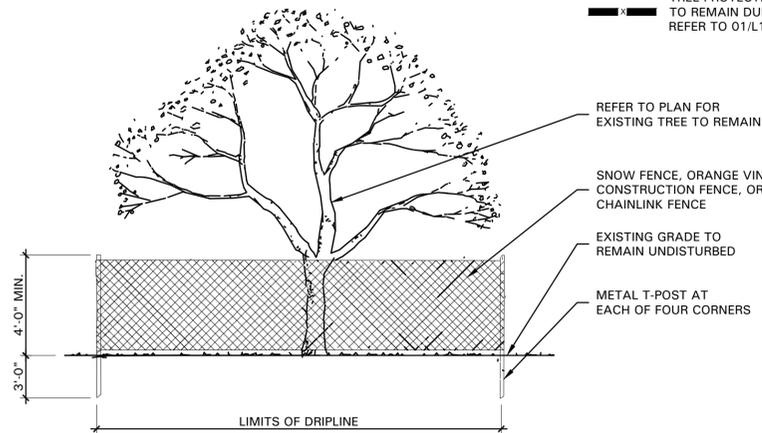
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



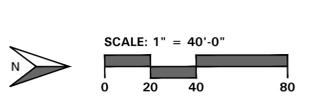
EXISTING TREE LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L.1.01



01 TREE PROTECTIVE FENCING
 NOT TO SCALE

TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	12	WILLOW	TO BE REMOVED	
2	5.5	CEDAR	TO BE REMOVED	
3	3	CEDAR	TO BE REMOVED	
Total Caliper Inches on Site				20.5
Total Caliper Inches Removed				20.5



• 4245 North Central Expy
 • Suite 501
 • Dallas, Texas 75205
 • 214.865.7192 office

SERVICE KING ROCKWALL

LEGAL DESCRIPTION AND OR ADDRESS:
 SHERIFF'S TAX DEED
 U.V. REAL ESTATE, LP.
 DOCUMENT NO. 2012-00466327
 3.293 AC

OWNER:
 U.V. REAL ESTATE L.P.
 8131 LYNDON B JOHNSON FREEWAY
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APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER



04.15.16

SERVICE KING
I.H. 30
ROCKWALL, TEXAS

No.	DATE	REVISION	BY

LANDSCAPE SPECIFICATIONS AND DETAILS

DESIGN:	KAH
DRAWN:	MUA
CHECKED:	KAH
DATE:	03/08/2016

SHEET L2.02

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK
 - A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 - Planting (trees, shrubs and grasses)
 - Bed preparation and fertilization
 - Notification of sources
 - Water and maintenance until final acceptance
 - Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1960, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 - The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the requirements and provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

- do not measure from branch or root tip-to-tip.
- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
 - Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 - Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - Remove rejected plant material immediately from job site.
 - To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

- specified at no additional cost to the Owner.
- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 - Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

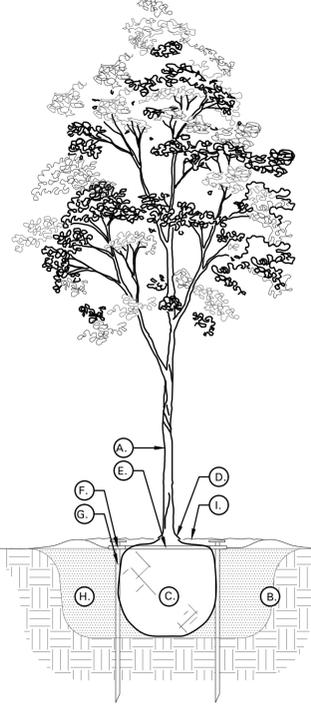
tree planting detail as approved by the Landscape Architect if the percolation test fails.

- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
 - Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be 1/2" maximum height above final finished grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks or curbs.
 - Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

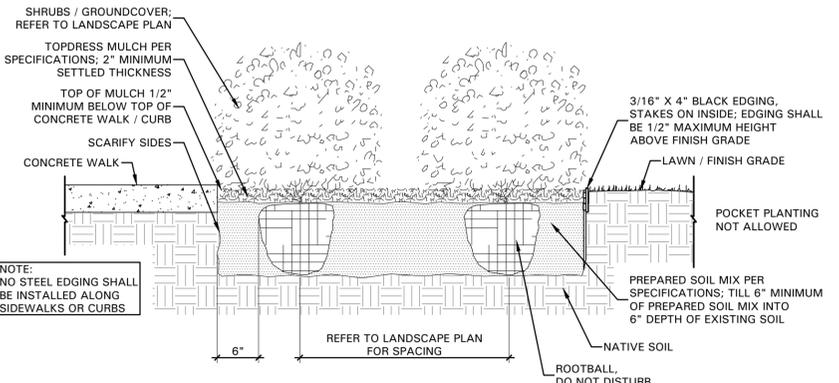
- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. 'U' BRACKET.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH 'U' BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



01 TREE PLANTING DETAIL NOT TO SCALE

02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE

BELLE FIRMA
• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office

SERVICE KING ROCKWALL

LEGAL DESCRIPTION AND OR ADDRESS:
SHERIFF'S TAX DEED
U.V. REAL ESTATE, LP.
DOCUMENT NO. 2012-00466327
3.293 AC

OWNER:
U.V. REAL ESTATE L.P.
8131 LYNDON B JOHNSON FREEWAY
SUITE 770
DALLAS, TEXAS 75251

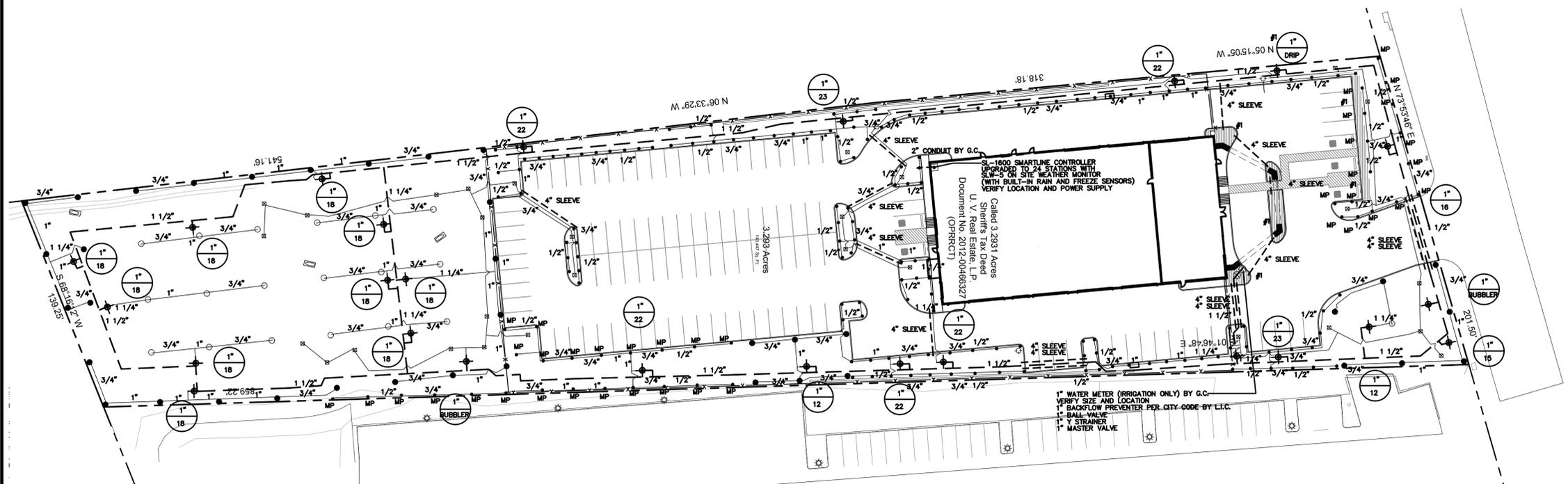
APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CASE NUMBER

No.	DATE	REVISION	BY

IRRIGATION NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE WEATHERMATIC EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.
4. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
5. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
6. LAWN SPRAY HEADS SHALL BE WEATHERMATIC LX-4 INSTALLED PER DETAIL SHOWN.
7. ROTOR HEADS SHALL BE WEATHERMATIC TURBO INSTALLED PER DETAIL SHOWN. (WITH BUILT-IN CHECK VALVE)
8. NOZZLES SHALL BE WEATHERMATIC 5500 SERIES, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER ARC AND RADIUS FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
9. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
10. ELECTRIC CONTROL VALVES SHALL BE WEATHERMATIC 11000 SERIES INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION. REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.
11. QUICK COUPLING VALVES SHALL BE WEATHERMATIC QV75 INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 3/4" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH THREE (3) CH75 COUPLERS AND THREE (3) #10HSL SWIVEL HOSE ELLS AS PART OF THIS CONTRACT.
12. ALL 24 VOLT VALVE WIRING TO BE UF 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPLICES ARE TO BE PERMANENT AND WATERPROOF.
13. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5) FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
14. THE DESIGN PRESSURE IS 65 PSI.
15. ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
16. IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
17. TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.



SMARTLINE CERTIFIED DESIGN

1. THIS IRRIGATION DESIGN FEATURES SMARTLINE CONTROLLER AND WEATHER MONITOR TECHNOLOGY AND UTILIZES 'ET' BASED WATER CONSERVATION AUTO ADJUSTING SCHEDULING.
2. THE IRRIGATION CONTRACTOR MUST PROGRAM THE CONTROLLER BY SELECTING THE PROPER SPRINKLER TYPE, PLANT TYPE, SOIL TYPE, SLOPE AND SUN / SHADE EXPOSURE FOR EACH ZONE.
3. THE IRRIGATION CONTRACTOR MUST CONTACT THE IRRIGATION DESIGNER FOR APPROVAL OF CONTROLLER SETTINGS.
4. THE IRRIGATION DESIGNER IS JOHN WINGFIELD (972) 513-3859.
5. ALL EQUIPMENT MUST BE INSTALLED AS SPECIFIED. NO EQUIPMENT SUBSTITUTIONS WILL BE PERMITTED.

SLEEVING NOTES

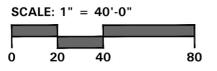
1. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
2. SLEEVE MATERIAL SHALL BE SCHEDULE 40 PIPE, SIZE AS INDICATED ON PLAN.
3. CONTRACTOR SHALL LAY SLEEVES AND CONDUITS AT TWENTY-FOUR (24") INCHES BELOW FINISH GRADE OF THE TOP OF PAVEMENT.
4. CONTRACTOR SHALL EXTEND SLEEVES ONE (1') FOOT BEYOND EDGE OF ALL PAVEMENT.
5. CONTRACTOR SHALL CAP PIPE ENDS USING PVC CAPS.
6. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION LEGEND

- WEATHERMATIC LX-4 POP-UP LAWN HEAD
- MP HUNTER MP ROTATOR NOZZLE
- WEATHERMATIC TURBO ROTARY FC
- WEATHERMATIC TURBO ROTARY PC
- ⊗ WEATHERMATIC 106.5 BUBBLER (2 PER TREE, TYP.)
- ⊕ WEATHERMATIC 11000 SERIES ELECTRIC VALVE
- ▲ WEATHERMATIC QV75 QUICK COUPLER
- CONTROLLER, SIZE AS INDICATED
- ⊕ WATER METER, SIZE AS INDICATED WITH D.C.A., SIZE AS INDICATED
- PVC SCHEDULE 40 SLEEVING
- PVC CLASS 200 MAINLINE
- PVC CLASS 200 LATERAL LINE
- XXX VALVE SIZE
- XXX GPM
- ▨ NETAFIM TECHLINE#TLDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- ▨ NETAFIM TECHLINE#TLDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- XXX NETAFIM DISC FILTER #DF100-080 NETAFIM PRESSURE REGULATOR #PRV15025 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS

BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	1/2"
6 - 10	3/4"
11 - 20	1"
21 - 30	1 1/4"
31 - 40	1 1/2"



• 4245 North Central Expy
 • Suite 501
 • Dallas, Texas 75205
 • 214.865.7192 office

SERVICE KING ROCKWALL

LEGAL DESCRIPTION AND OR ADDRESS:
 SHERIFF'S TAX DEED
 U.V. REAL ESTATE, LP.
 DOCUMENT NO. 2012-00466327
 3.293 AC

OWNER:
 U.V. REAL ESTATE L.P.
 8131 LYNDON B JOHNSON FREEWAY
 SUITE 770
 DALLAS, TEXAS 75251

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Provide underground irrigation sleeves as indicated on the drawings.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE
 - A. Section 32 8424 - Irrigation System
- 1.3 REFERENCED STANDARDS
 - A. American Society for Testing and Materials:
 1. ASTM - D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SD R-PR)
 2. ASTM - D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40.
 3. ASTM - D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

2.1 DEFINITIONS

- A. Sleeve - A pipe within which another pipe is placed for carrying water or other utilities to be installed.
- B. Wire Sleeves - A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.
- 2.2 GENERAL
 - A. Polyvinyl Chloride Pipe (PVC) - Manufactured in accordance with standards noted herein:
 1. Marking and Identification - Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
 2. Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Coverage - Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
- B. Sleeve Extensions - Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.
- 3.2 BACKFILL
 - A. Compaction - Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
 - B. Damage - Repair any damage resulting from improper compaction including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 SCOPE

- A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper

installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

B. Work includes but is not limited to:

1. Trenching and backfill.
2. Installation of automatic controlled system.
3. Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.

C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Refer to Irrigation Plans for controller, head, and valve locations.
- B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits
- C. Section 32 9300 - Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.3 APPLICABLE STANDARDS

- A. America Standard for Testing and Materials (ASTM) - Latest edition.
 1. D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread, Schedule 80
 3. D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Schedule 40
 4. D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
 6. D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
 7. F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
 8. D2855 Making Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedure: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's "cut sheets" and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a binder and inspected and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized Representative.

D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.

E. Operating and Maintenance Manuals:

1. Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation system.
2. Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to completion of the irrigation system.
3. Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, operate, and maintain the equipment.
4. Provide the following in each manual:
 - a. Index sheet with Contractor's name, address, telephone number, and contact name.
 - b. Duration of guarantee period. Include warranties and guarantees extended to the Owner by the manufacturer of all equipment.
 - c. Equipment list providing the following for each item:
 - 1) Manufacturer's name
 - 2) Make and model number
 - 3) Name and address of local part's representative
 - 4) Spare parts list in detail
 - 5) Details operating and maintenance instructions for major equipment.

F. Project Record Documents:

1. Comply with Division I requirements.
2. Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
3. When dimensioning is complete, transpose work to bond paper.
4. Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same, to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings.

G. Quick Coupler Keys: Provide three (3) coupler keys with boiler drains attached using brass reducer.

H. Controller Keys: Provide three (3) sets of keys to controller enclosures).

I. Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.

J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system.

L. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.

1.7 COORDINATION

- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.
- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.
- 2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)
 - A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.
 - B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.
 - C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.

2.3 COPPER TUBING

A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).

2.4 COPPER TUBE FITTINGS

A. Cast brass or wrought copper, sweat - solder type.

2.5 WIRE

- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).
- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

A. Composed of Standard Schedule 40 PVC Fittings and PVC

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch (1/2") diameter by eight (8") inches long, where applicable.

B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.

2.7 MATERIALS - SEE IRRIGATION PLAN

- A. Sprinkler heads in lawn area as specified on plan.
- B. PVC Pipe: Class 200, SDR 21
- C. Copper Tubing (City Connection): Type "M"
- D. 24V Wire: Size 14, Type UF
- E. Electric valves: Shall be all plastic construction as indicated on plans.
- F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.
- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.
- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.
- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.
- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.

3.3 PVC PIPE AND FITTING ASSEMBLY

- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

3.4 COPPER TUBING AND FITTING ASSEMBLY

A. Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fittings to tubing in an approved manner using 50-50 soft solid core solder.

3.5 POP-UP SPRAY HEADS

A. Supply pop-up spray heads in accordance with materials list and plan. Attach sprinkler to lateral piping with a semi-flexible polyethylene nipple not less than three (3") inches or more than six (6") inches long.

3.6 VALVES

A. Supply valves in accordance with materials list and sized according to drawings. Install valves in a level position in accordance with manufacturer's specifications. See plan for typical installation of electric valve and valve box.

3.7 WIRING

- A. Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for UF wire unless otherwise noted on the plan. Wire shall be tucked under the piping.
- B. A separate wire is required from the control to each electric valve. A common neutral wire is also required from each control to each of the valves served by each particular control.
- C. Bundle multiple wires and tape them together at ten (10') foot intervals. Install ten (10') inch expansion coils at not more than one hundred (100') foot intervals. Make splices waterproof.

3.8 AUTOMATIC SPRINKLER CONTROLS

A. Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.

3.9 TESTING

- A. Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joint or joints and repeat test.
- B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to ensure stability of line under pressure. In each case, leave fittings and couplings open to visual inspection for full period of test.

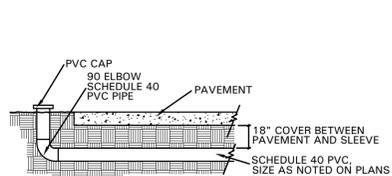
3.10 FINAL ADJUSTMENT

- A. After installation has been completed, make final adjustment of sprinkler system in preparation for Owner Authorized Representative's final inspection.
- B. Completely flush system to remove debris from lines by removing nozzle from heads on end of lines and turning on system.
- C. Check sprinklers for proper operation and proper alignment for direction of throw.
- D. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each valve.
- E. Check nozzling for proper coverage. Prevailing wind conditions may indicate that arch of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage and furnish data to Owner Authorized Representative with each change.

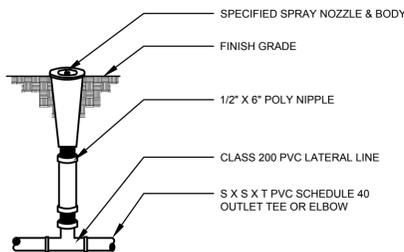
3.11 SYSTEM DEMONSTRATION

A. Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance manual for basis of demonstration.

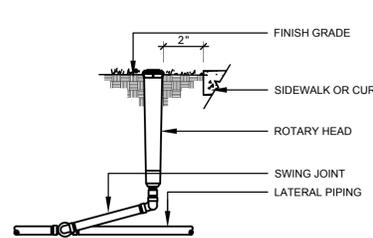
END OF SECTION



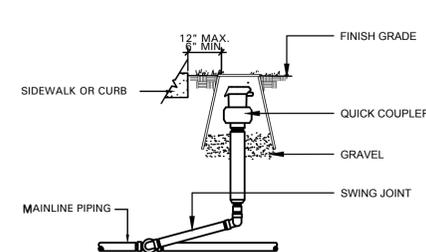
01 SLEEVE DETAIL
NOT TO SCALE



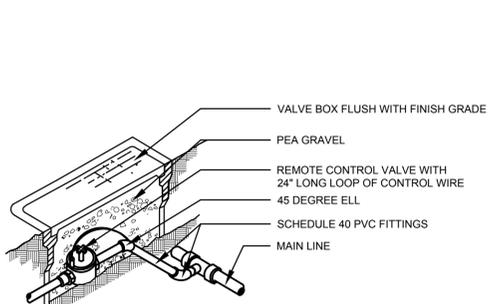
02 POP-UP LAWN SPRAY ASSEMBLY
NOT TO SCALE



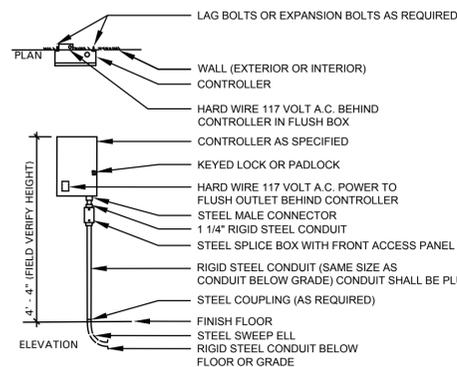
03 ROTARY HEAD
NOT TO SCALE



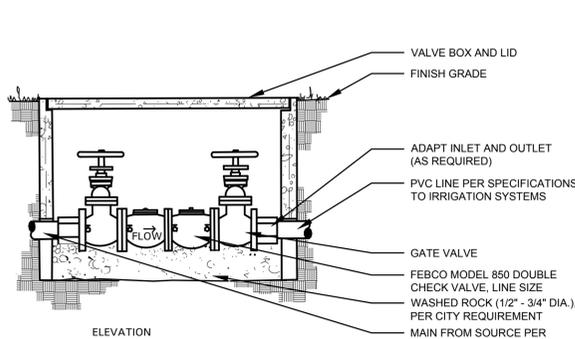
04 QUICK COUPLER
NOT TO SCALE



05 REMOTE CONTROL VALVE
NOT TO SCALE



06 WALL MOUNTED CONTROLLER
NOT TO SCALE



07 BACKFLOW PREVENTER
NOT TO SCALE



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

SERVICE KING ROCKWALL	
LEGAL DESCRIPTION AND OR ADDRESS: SHERIFF'S TAX DEED U.V. REAL ESTATE, LP. DOCUMENT NO. 2012-00466327 3.293 AC	
OWNER: U.V. REAL ESTATE L.P. 8131 LYNDON B JOHNSON FREEWAY SUITE 770 DALLAS, TEXAS 75251	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER	

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
PHONE: 817.281.0572
WWW.CLAYMOOREENGINEERING.COM
1100 CHEER SPARKER RD., SUITE #1
COLLEGEVILLE, TX 76048



04.15.16

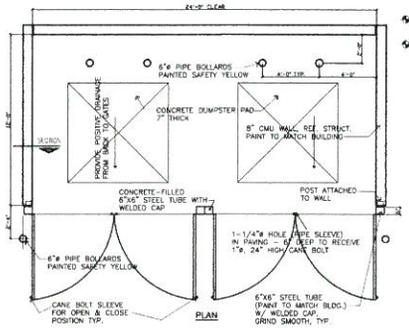
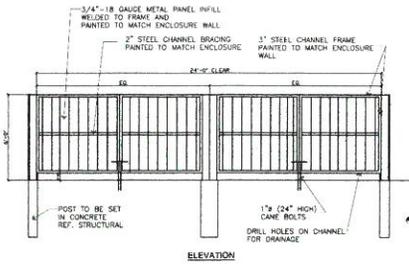
**SERVICE KING
I.H. 30
ROCKWALL, TEXAS**

NO.	DATE	REVISION	BY

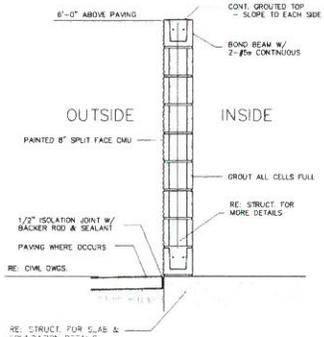
IRRIGATION AND SPECIFICATIONS AND DETAILS

DESIGN:	KAH
DRAWN:	MUA
CHECKED:	KAH
DATE:	03/08/2016

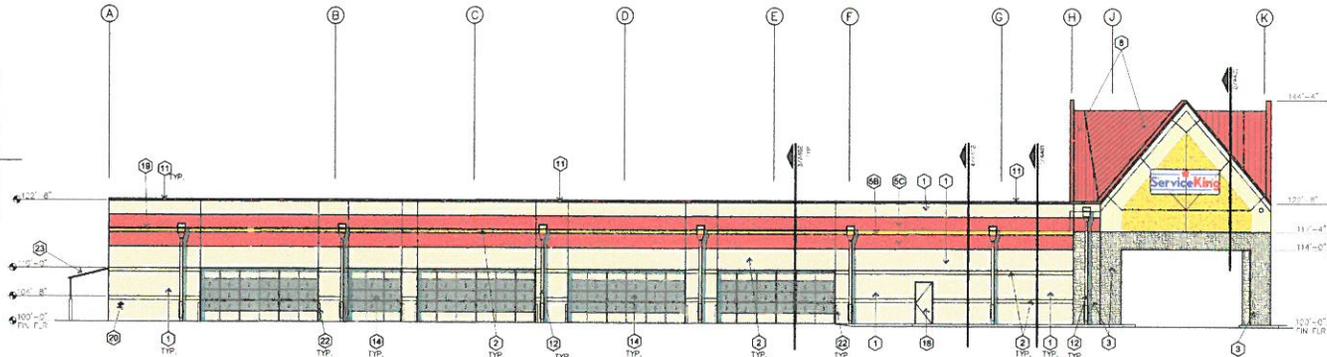
SHEET
L3.02



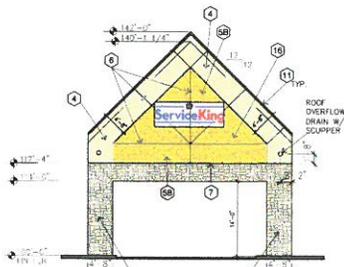
4 DUMPSTER ENCLOSURE DETAIL
SCALE: 1/4"=1'-0"



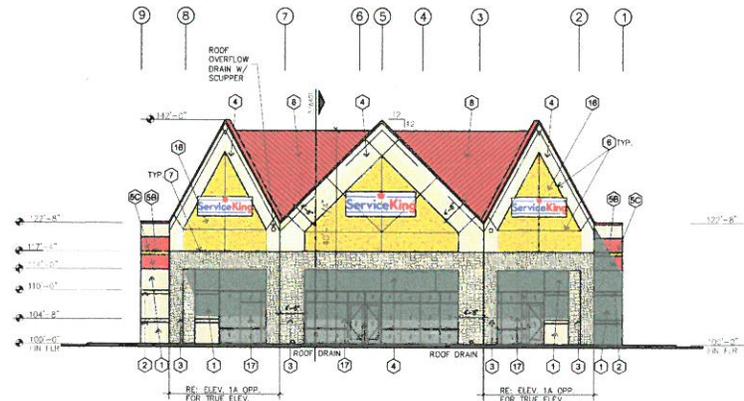
3 DUMPSTER WALL SECTION
SCALE: 3/4"=1'-0"



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"
100% CMU BLOCK MASONRY



1A
SCALE: 3/32" = 1'-0"



1 SOUTH (FRONT) ELEVATION
SCALE: 3/32" = 1'-0"
100% MASONRY
24.6% STONE
63.6% STUCCO
11.8% CMU BLOCK

EXTERIOR ELEVATION KEYNOTES	
1	5/8" x 4/8" CMU, INTERNAL COLOR
2	CMU, BURNISHED FACE, INTERNAL COLOR
3	STONE
4	1/2" LATH & PLASTER WALL FINISH
5	NOT USED
6	2000 PSI FRESH CMU, PAINTED COLOR #7 YELLOW COLOR
7	2000 PSI FRESH CMU, PAINTED COLOR #7 YELLOW COLOR
8	PLASTER CONTROL/JUNCTION JOINT EXPANSION JOINT, 1/2" MIN. STONE AND PLASTER WALL FINISH
9	PROTECTED STANDING SEAM METAL ROOF
10	PAINTED METAL SIDING
11	ROOF ALUMINUM SIDING, PAINTED
12	PRETENSIONED METAL CEILING
13	ROOF SCUPPER & DOWNSPOUT - (DRAWING)
14	PAINT BUSHY SEMI GLOSS
15	OVERHEAD GLASS DOOR & TRACK
16	OVERHEAD SECTIONAL METAL DOOR
17	1/2" LATH & PLASTER WALL - FINISH PAINTED #7 YELLOW COLOR
18	2000 PSI FRESH CMU, PAINTED COLOR #7 YELLOW COLOR
19	EXPANSION JOINT, 1/2" MIN. STONE AND PLASTER WALL FINISH
20	PAINT - NO BLEND
21	FINISH ROOF W/ THIS DEPARTMENT: CONCRETE
22	ELECTRICAL ROOF, REF. ELEC. DRAWINGS
23	2" - 6" HIGH 4" DIA. PIPE BOLLARD

CORPORATE INFO	
1	1000 N. CENTRAL EXPWY., SUITE 400, RICHARDSON, TEXAS 75080
2	714.272.2600
3	714.272.2600
4	714.272.2600
5	714.272.2600
6	714.272.2600
7	714.272.2600
8	714.272.2600
9	714.272.2600
10	714.272.2600
11	714.272.2600
12	714.272.2600
13	714.272.2600
14	714.272.2600
15	714.272.2600
16	714.272.2600
17	714.272.2600
18	714.272.2600
19	714.272.2600
20	714.272.2600
21	714.272.2600
22	714.272.2600
23	714.272.2600

SERVICE KING
COLLISION REPAIR CENTER
1780 East Interstate 30
Rockwall, Texas

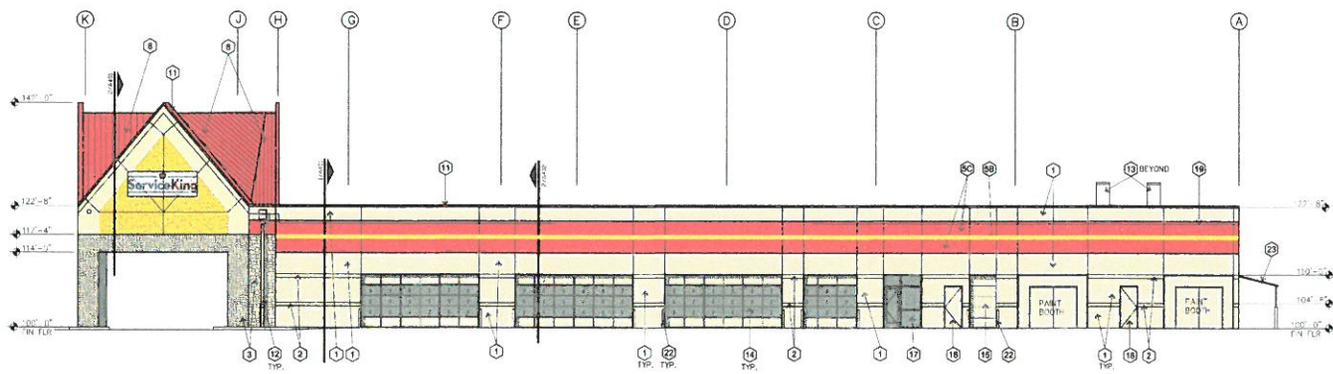
SERVICE KING
COLLISION REPAIR CENTER
2600 N. CENTRAL EXPWY.,
SUITE 400
RICHARDSON, TEXAS
75080

CANROL architects

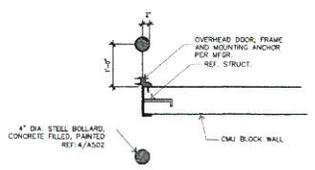
2600 N. CENTRAL EXPWY.,
SUITE 400
RICHARDSON, TEXAS
75080
F: 972.722.2600

EXTERIOR ELEVATIONS & DETAILS

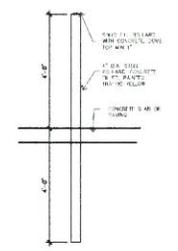
DATE: 05.01.2018	SHEET NO:
PROJECT NO: 201800	A501
DRAWN BY: GW	CHECKED BY: JC



2 EAST ELEVATION
 SCALE: 3/32" = 1'-0"
 100% CMU BLOCK MASONRY



5 PIPE BOLLARD DETAIL
 SCALE: 1/2" = 1'-0"



4 PIPE BOLLARD DETAIL
 SCALE: 1/2" = 1'-0"



1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"
 100% CMU BLOCK MASONRY

EXTERIOR ELEVATION KEYNOTES	
1	SHIRT TAPE OVER EXTERIOR COLOR
2	CMU UNSURFACED FACE, FEDERAL COLOR
3	STONE
4	7/8" LATH & PLASTER WALL FINISH
5	NOT USED
6	PAINTED
7	60/40 PR YELLOW COLOR
8	PAINTED
9	60/40 PR YELLOW COLOR
10	PAINTED
11	PLASTER COVERED EXPANSION JOINT AND PLASTER WALL FINISH
12	EXPANSION JOINT BETWEEN CMU BLOCK AND PLASTER WALL FINISH
13	MECHANICALLY FASTENED SEAM METAL TOP
14	MECHANICALLY FASTENED SEAM METAL SIDING
15	NOT USED
16	MECHANICALLY FASTENED SEAM METAL SIDING
17	MECHANICALLY FASTENED SEAM METAL SIDING
18	MECHANICALLY FASTENED SEAM METAL SIDING
19	MECHANICALLY FASTENED SEAM METAL SIDING
20	MECHANICALLY FASTENED SEAM METAL SIDING
21	MECHANICALLY FASTENED SEAM METAL SIDING
22	MECHANICALLY FASTENED SEAM METAL SIDING

ISSUE	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION
3	ISSUED FOR CONSTRUCTION
4	ISSUED FOR CONSTRUCTION
5	ISSUED FOR CONSTRUCTION
6	ISSUED FOR CONSTRUCTION
7	ISSUED FOR CONSTRUCTION
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19	ISSUED FOR CONSTRUCTION
20	ISSUED FOR CONSTRUCTION
21	ISSUED FOR CONSTRUCTION
22	ISSUED FOR CONSTRUCTION

SERVICE KING
COLLISION REPAIR CENTER
 1780 East Interstate 30
 Rockwall, Texas

SERVICE KING
COLLISION REPAIR
 2600 N. CENTRAL EXPWY.
 SUITE 400
 RICHARDSON, TEXAS
 75080

KAROL architects
 250 E. INTERSTATE 30
 ROCKWALL, TX 75087
 P: 972-732-6088
 F: 972-732-6416

EXTERIOR ELEVATIONS & DETAILS

DATE: 05.01.2016 SHEET NO:
 PROJECT NO: 2016001 **A502**
 DRAWN BY: GW
 CHECKED BY: JC

CITY OF ROCKWALL
ORDINANCE NO. 16-21
SPECIFIC USE PERMIT NO. S-148

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) FOR OUTSIDE STORAGE ON A 3.2039-ACRE TRACT OF LAND ZONED LIGHT INDUSTRIAL (LI) DISTRICT, LOCATED WITHIN THE IH-30 (IH-30 OV) OVERLAY DISTRICT, ADDRESSED AS 1780 E. IH-30 AND DESCRIBED AS TRACT 7-01 OF J. LOCKHART SURVEY, ABSTRACT NO. 134, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Moore of Claymoore Engineering, Inc., representing *Service King Collision Repair*, on behalf of the owner, Mike James of UV Real Estate, LP, for a Specific Use Permit (SUP) allowing for *Outside Storage* in conjunction with a proposed *Auto Repair Garage (Major) [i.e. Auto Body Shop]* on a 3.2039-acre tract of land zoned Light Industrial (LI) District, located within the IH-30 (IH-30 OV) Overlay District, addressed as 1780 E. IH-30 and identified as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for *Outside Storage* within a Light Industrial (LI) District located within the IH-30 (IH-30 OV) Overlay District on the *Subject Property*; and

SECTION 2. That the Subject Property shall be used only in the manner and for the purposes described in the Specific Use Permit (SUP) and specifically set forth in *Section 2.1.10, Wholesale, Distribution and Storage, of Article IV, Permissible Uses; Section 5.3, Light Industrial*

(LI) District, and Section 6.6, IH-30 (IH-30 OV) Overlay District, of Article V, District Development Standards, of the City of Rockwall Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions and compliance standards:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Auto Repair Garage (Major)* with outside storage of automobiles on the subject property at 1780 E. IH-30 and conformance to these stipulations are required for continued operations:

- 1) All development must generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance, which shall be incorporated herein by reference.
- 2) All outside storage and outside overnight storage of vehicles (*excluding equipment, parts and inventory*) shall be screened from adjacent properties and public rights-of-way by a minimum six (6) foot masonry fence. The outside storage of equipment, parts and inventory shall be prohibited.
- 3) Garage doors or overhead doors shall not face onto a public right-of-way.
- 4) Vehicles shall not be stored on site for longer than 90 days.
- 5) All work shall be performed inside an enclosed building.
- 6) The operation of this site shall conform to all federal, state and local standards and comply with the requirements of Section 2.2, *Compliance Standards*, of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code, the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP).

SECTION 3. That the official zoning map of the City of Rockwall be corrected to reflect the changes described herein.

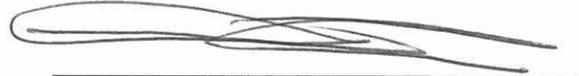
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section of provision of this ordinance or the application of that section or provision to any person, firm, cooperation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have to adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF MARCH, 2016.**



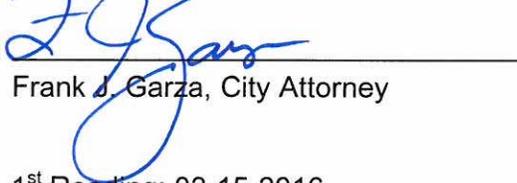
Dennis Lewis, Mayor Pro Tem

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: 02-15-2016

2nd Reading: 03-07-2016

Exhibit 'A'

Property Survey w/ Legal Description

SURVEY PLAT

RHODES
Surveying
www.rhodesurveying.com

BARRY S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 1780 Interstate Highway 30, in the city of ROCKWALL, ROCKWALL COUNTY Texas



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas being conveyed to U.V. Real Estate LP as recorded in Volume 6771, Page 1, Deed Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch yellow capped iron rod set for corner being in the South line of Interstate Highway 30, being the Northeast corner of a tract of land conveyed to Ivor and Kathryn Mckeown as recorded Volume 6749, Page 228, Deed Records, Rockwall County, Texas and being the Northwest corner of said U.V. Real Estate tract;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 201.50 feet to a 1/2 inch yellow capped iron rod set for corner being the Northwest corner of a tract of land conveyed to Salehoun Family Limited Partnership as recorded Volume 4605, Page 60, Deed Records, Rockwall County, Texas and being the Northeast corner of said U.V. Real Estate tract;

THENCE South 01 degrees 49 minutes 34 seconds East, a distance of 859.22 feet to a 1/2 inch iron rod found for corner being in the North line of a tract of land conveyed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, Deed Records, Rockwall County, Texas and being the Southeast corner of said U.V. Real Estate tract;

THENCE South 68 degrees 13 minutes 26 seconds West, a distance of 139.25 feet to a 1/2 inch yellow capped iron rod set for corner being in the East line of said Mckeown tract;

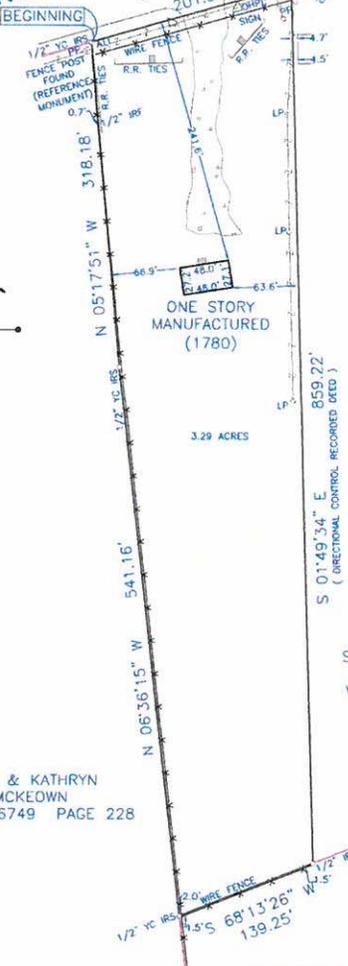
THENCE North 06 degrees 36 minutes 15 seconds West, a distance of 541.16 feet to a 1/2 inch iron rod set for corner;

THENCE North 05 degrees 17 minutes 51 seconds West, a distance of 318.18 feet to the PLACE OF BEGINNING and containing 3.29 acres of land.

TITLE AND ABSTRACTING WORK FURNISHED BY: U.V. REALTY



INTERSTATE HIGHWAY 30



SALEHOUN FAMILY LIMITED PARTNERSHIP
VOLUME 4605 PAGE 60

IVOR & KATHRYN MCKEOWN
VOLUME 6749 PAGE 228

HITT FAMILY LIMITED PARTNERSHIP
VOLUME 1875 PAGE 238

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

The plat hereon is true, correct, and accurate representation of the property as determined by survey; the lines and dimensions of said property being as indicated by the plat; the size, location, and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 100'
Date: 02/20/2013
C. F. No.:
Job no.: 90664
Drawn by: CW

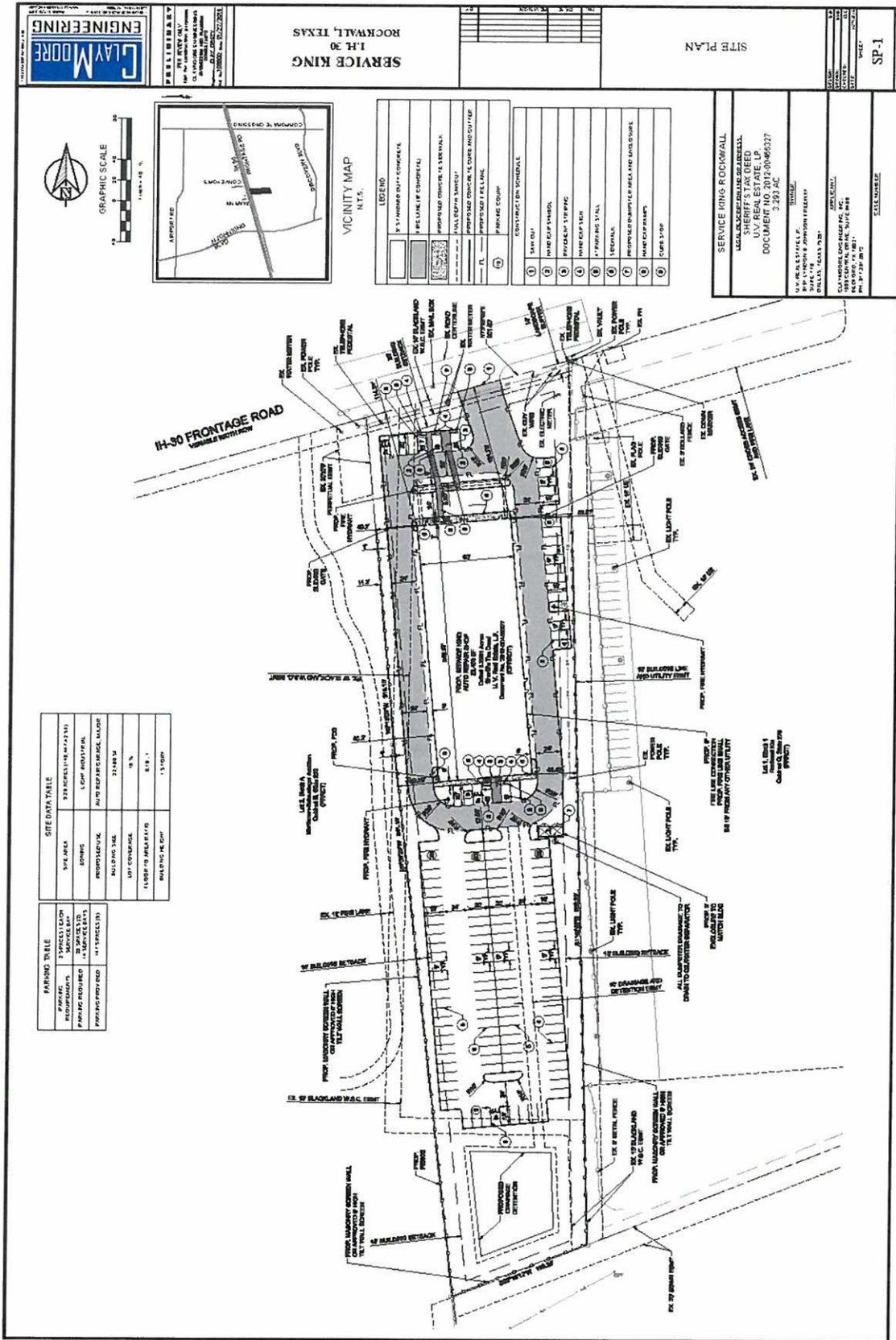
TEXT
IMPROVEMENTS
BOUNDARY LINE
EASEMENT/SETBACK
RESURFACE/FENCES

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR U.V. REALTY. USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.



Exhibit 'B'

Site Plan/Concept Plan



City of Rockwall Project Plan Review History



Project Number SP2016-007	Owner ROCKWALL 205-552, LLC	Applied 4/15/2016 LM
Project Name Aldi Food Store	Applicant BURGER ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

Site Address 3251 N GOLIAD ST	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision HARLAN PARK PH 2	Tract 4-1	Block NULL	Lot No 4-1	Parcel No 0030-0000-0004-01-OR	General Plan
--	---------------------	----------------------	----------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
ENGINEERING (4/19/2016 4:19 PM AW) Dumpster drainage to drain to either an oil/water separator or grease trap. Sidewalk along Dalton to be in a public sidewalk easement No sand under paving 10' separation between sprinkler line and any other utility including water service.Engineering Comments on plans. Infrastructure needs to be in place prior to approval of CO	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
GIS (4/20/2016 4:52 PM LS) Address Assignment will be: 3251 N. GOLIAD ST, ROCKWALL, TX 75087	Lance Singleton	4/15/2016	4/22/2016	4/20/2016	5	APPROVED	See Comments
PLANNING	David Gonzales	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Bryan M. Burger, PE of Burger Engineering, LLC on behalf of the owner Don Silverman of Rockwall 205-552, LLC for the approval of site plan for a grocery store (i.e. Aldi Food Store) on a 1.972-acre portion of a larger 9.183-acre tract of land identified as Tract 4-1 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of SH-205 [N. Goliad Street] and FM-552, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, May 3, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label site plan documents with "Case No. SP2016-007" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

Variance/Waivers to the Unified Development Code (per submittal):

1. Waiver to Article IV, Sec. 2.1.10, ...Outside Storage: To allow for the outside cart storage area with screening walls as depicted on the Site Plan.

**** Variances to the N SH-205 OV requires a 3/4 majority vote of council for approval ****

Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Waiver request to outside cart storage area as listed above.
2. Remove the label (By Plat) where indicated.
3. Relabel 30-ft Firelanes as "30-ft Firelane, Public Access & Utility Easement"

Landscape Plan:

1. Relocate '20-ft Landscape Buffer' so that it is readable.

Photometric Plan:

1. The lighting pole standards are not to exceed a maximum overall height of 20-ft (includes pole, base, fixtures, etc.) per the UDC standards. Provide detail.
2. Provide cut sheets for all exterior lighting fixtures (e.g. pole lights, wall packs, etc.)
3. General Comment: All lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare.

Building Elevations:

1. The building elevations are required to be reviewed by the Architectural Review Board prior to approval.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case,

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
please feel free to contact David Gonzales with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Architecural Review Board - Discussion: April 26, 2016 (5:00 p.m.)						
Planning - Discussion: April 26, 2016 (6:00 p.m.)						
Planning - Action: May 10, 2016 (6:00 p.m.)						
City Council - Action: May 16, 2016 (6:00 p.m.) [FOR VARIANCE & WAIVER REQUESTS ONLY]						

0 25 50 100 150 200 Feet

SP2016-007- ALDI FOOD STORE
SITE PLAN - LOCATION MAP = 



DALTON

FM 552



SF-16



PD-70

GOLIAD

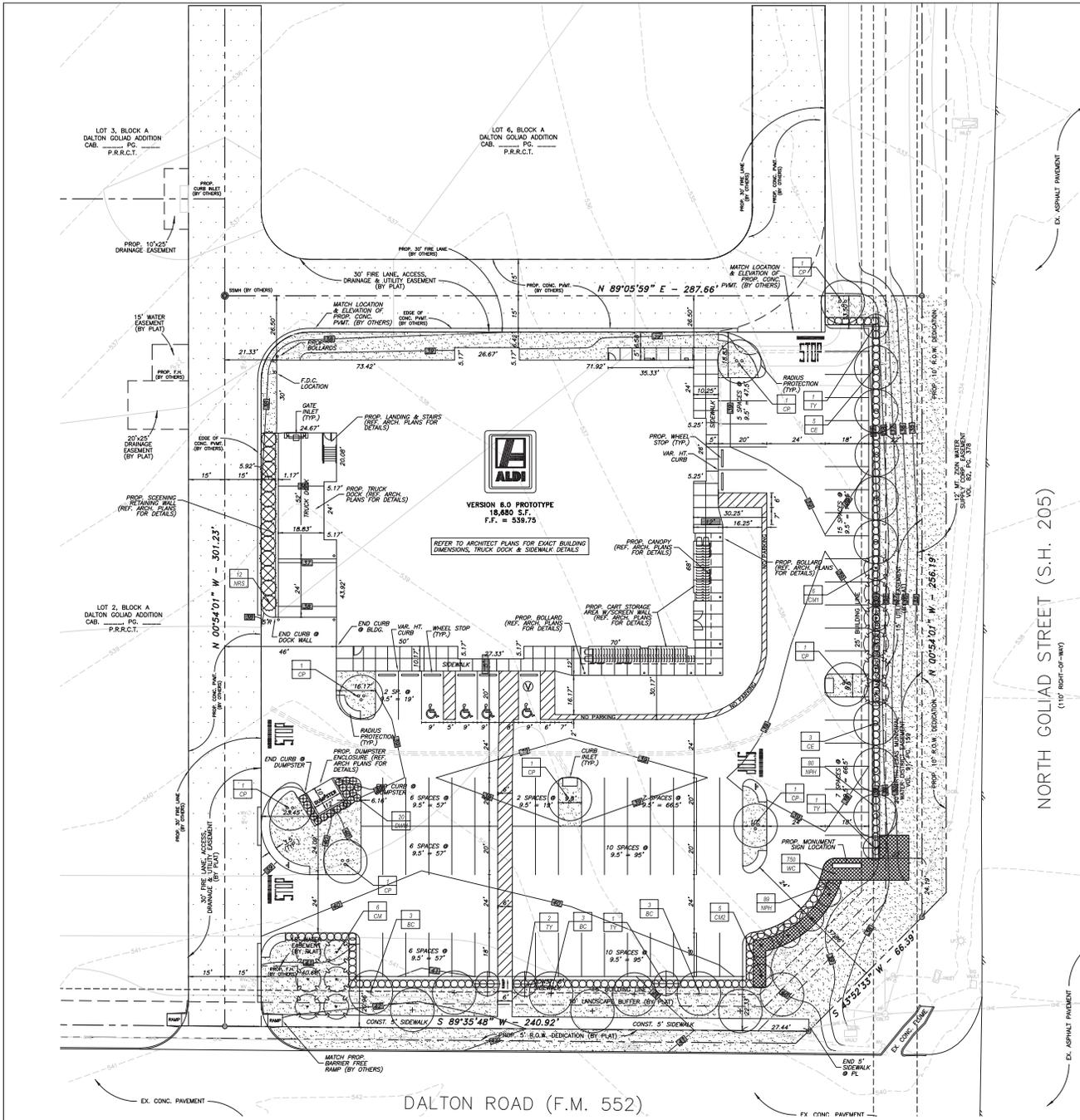


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

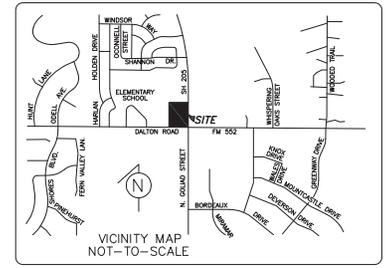
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Soil Saver Bermudagrass, unless otherwise noted on the drawings.



PLANT LIST

TREES		QUANTITY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
8	BC	8	BC	Ball Cypress	Taxodium distichum	4" cal	container grown, 15" ht, 5" spread min.
8	CE	8	CE	Cedar Elm	Ulmus crassifolia	4" cal	container grown, 15" ht, 5" spread min.
8	CP	8	CP	Chinese Privet	Ligustrum chinensis	4" cal	container grown, 15" ht, 5" spread min.
5	TY	5	TY	Tree Yucca Holly	Yucca confertifolia	6" ht	B&B, 3 cans, free form, no cross caking
12	CH2	12	CH2	Chapel Maple 'Crimson'	Acer glaberrimus 'Crimson'	6" ht	container grown, 3-4 cans, no cross caking
5	CH2	5	CH2	Chapel Maple Holly	Lagerstroemia indica 'Holly'	5" ht	container grown, 3-4 cans, no cross caking

SHRUBS		QUANTITY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
168	NRH	168	NRH	Hardy Holly	Ilex cornuta 'Hedgehog'	5" gal	container, full plant, 30" cal.
12	NS	12	NS	Hardy Holly	Ilex cornuta 'Hedgehog'	5" gal	container, full plant, 30" cal.
20	DMM	20	DMM	Dwarf Wax Myrtle 'Dove Deer'	Myrica pauciflora	5" gal	container, full plant, 30" cal.

GROUNDCOVERS		QUANTITY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
750	WC	750	WC	Minicreeping Common Bermudagrass	Elymus tenuis coloratus Cynodon dactylon	4" pots red soil	container, (3) 12" runners min, 12" cal. soil set, refer to notes

NOTE: Plant lists are to be added to all drawings on plan. All heights and spreads are minimums. All plant material shall meet or exceed minimums as indicated. All trees to have quality roots and matching with a white.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants on or near the site.
- All plant material shall be maintained in a healthy and growing condition as appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Five grass areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform mounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid acid and shall be left in a maximum of 1" below final final grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region known as bottom soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches company applied, and final grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (17) one inch of imported topsoil on all areas to receive lawn.

LANDSCAPE TABULATIONS

SITE REQUIREMENTS (Site area 85,091 sq. ft.)		Required	Provided
Requirements: 50% site area to be landscaped		12,885 sq. ft. (15%)	16,888 sq. ft. (19.6%)

FRONT YARD REQUIREMENTS		Required	Provided
Requirements: 50% of required landscape must be trees in front yard		6,442 sq. ft. (50%)	6,442 sq. ft.

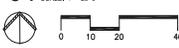
STREET REQUIREMENTS (SH-205 OVERLAY)		Required	Provided
Requirements: (3) canopy tree 4" cal. and (4) accent trees, 4" ht. per 100 ft. of coverage			

DALTON ROAD (SR-211)		Required	Provided
(8) trees, 4" cal.		(5) trees, 4" cal.	
(12) trees, 4" ht.		(10) trees, 4" ht.	

NORTH GOLIAD STREET (SR-181)		Required	Provided
(8) trees, 4" cal.		(8) trees, 4" cal.	
(10) trees, 4" ht.		(10) trees, 4" ht.	

PARKING LOT (80 spaces, 38,124 sq. ft.)		Required	Provided
Requirements: 5% of total parking lot area and (1) tree, 4" cal. per 10 RECORDED parking spaces (75 REQUIRED)		(8) trees, 3" cal.	(8) trees, 4" cal.
		1,566 sq. ft. (5%)	2,483 sq. ft. 6.3%

01 LANDSCAPE PLAN



REV.	DATE	REMARKS

LANDSCAPE PLAN

ALDI FOOD STORE

LOT 1, BLOCK A - DALTON GOLIAD ADDITION

THE CITY OF DENTON, TEXAS

DESIGN	BDA	DRAWN	BDA	DATE	3/28/16	SCALE	1"=20'	NOTES	D.P.	FILE	002-006	NO.	L-1
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APPLICANT:
ALDI, INC.
2500 WESTCOURT ROAD
DENTON, TEXAS 76207
CONTACT: HEATHER RUMMER

ENGINEER:
BURGER ENGINEERING, LLC
REGISTERED ENGINEERING FIRM F-12997
17105 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75249
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.



smr
landscape architects, inc.
17105 Preston Road, Suite 180N
Denton, Texas 76207
Tel: 264-0100
Fax: 264-1106
Email: smr@smr.com

SP2016-0

SECTION 02000 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCES

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work includes Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping, including, including:

- Planting trees, shrubs, and grasses
- Soil preparation and fertilization
- Notification of owners
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1990, Edition by American National Standards Institute, Inc. (ANSI) - plant material.
- American Joint Commission on Horticultural Nomenclature 1949 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Courts, Texas 1976 - Cornell University.

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bid preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Quality of representative samples: When received, inspect trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant material.
- File Certificates of Inspection of plant materials by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 2 - EXECUTION

2.1 BED PREPARATION & FERTILIZATION

- Landscaping Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. To existing soil to a depth of six (6") inches prior to mixing compost and fertilizer. Apply fertilizer per manufacturer's recommendations. Add six (6") inches of compost and mix to a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for new pits shall be as follows: Use existing top soil on site (use impounded soil as needed) for low large dumps, trucks, ditches, catches, subsoils, etc., placed in one (1") inch layers and compacted thoroughly.
- Class Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid flat to joint, (stepped joints) after finishing the ground first. Roll grass areas to achieve a smooth surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open. This weather bermudagrass.
 - Areas to be Hybridized Common Bermudagrass: Hybridized with Bermudagrass seed at a rate of five (5) pounds per one thousand (1,000) square feet. Use a 4" x 4" batter board against the bed areas.

2.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth (A & B) plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect and approval of all positioning of plant materials.
- Planting and Mulching: Planting shall be directed by the Architect and shall be proved in accordance with approved horticultural practices including The Pruning, Class (1) planting standards provided by National Arborist Association.
 - Deadwood or suckers and broken badly broken branches shall be removed. General topping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all trees shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material shall be maintained.
- Steel Curing Installation:
 - Cutting shall be aligned as indicated on plans. Sides on sides of steel cutting and slopes down towards the main installation.
 - All steel cutting shall be free of holes and sharp points.
 - Top of cutting shall be a minimum height above grade.
 - Slopes are to be installed on the planting bed side of the cutting, as opposed to the grass side.
 - Do not install steel cutting along sidewalks.
 - Cut same angle as 45 degree angle where existing masonry adjacent.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to final acceptance, Contractor ensuring all portions of landscape installation. General Contractor shall install planting bed areas three (3") inches below finish grade of sidewalks, drive and curbs to show on the drawings. All lawn areas to receive solid sod shall be one (1") inch below the finish grade of sidewalks, drive, and curbs. All construction details shall be returned prior to Landscape Contractor beginning work.
- Furnish General Contractor shall provide as described in Section 02000. Earthwork.
- Storage of materials and equipment at the job site shall be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass to be accepted unless they show healthy growth and satisfactory foliage conditions.
- Maintenance shall include watering of trees and plants, collection, weeding, spraying, edging, pruning of trees, mowing of grass, clearing up and all other work necessary to maintain a well-kept lawn.
- A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner and Landscape Contractor will be completed prior to written acceptance. Once final acceptance of installation, the Landscape Contractor will be required to do any of the above listed work.

1.7 GUARANTEE

- Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead material as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died to the stem, size or symmetry have been damaged, shall be considered subject to replacement. In such cases, the number of plants, species, varieties, and plant material shall be those originally planned and shall be planted as originally specified. All work shall be completed within the same time frame as the original work. All work shall be a twelve (12) month guarantee. Any damage, including loss in lawn or bed area, including any rework or equipment used in the site immediately after the work shall be replaced immediately.
- In the discretion of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the site and replaced with new plants of the same size, species, variety, and plant material. All replantations are to be included under "Work of this section."

1.7 QUALITY ASSURANCE

- Generally comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full-time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and stock materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedule to site.
 - Owner and/or Architect shall inspect all plant material when reasonable at place of grower for compliance with requirements for genetic, disease, cultural history, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, drainage holes, trunks, branches, and related defects.
 - Owner and/or Architect may request immediately of defective material any time during the process of work. Remove rejected materials from the site immediately. Plants damaged or rejected at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Ball and Burlapped (BB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Unballed and Unburlapped (UB) Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

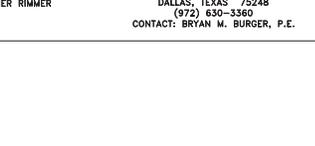
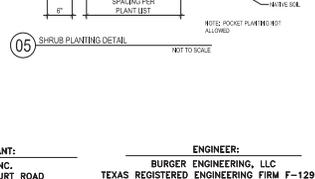
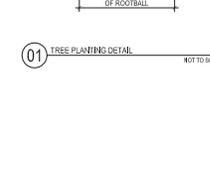
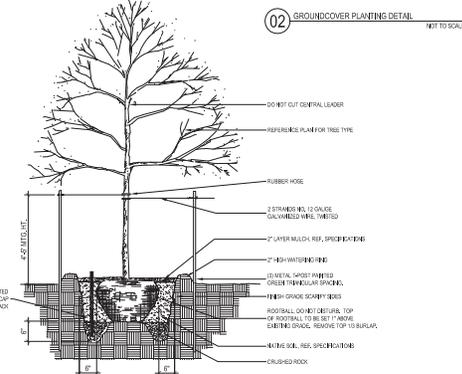
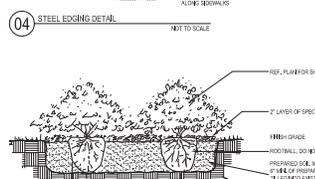
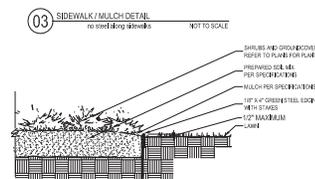
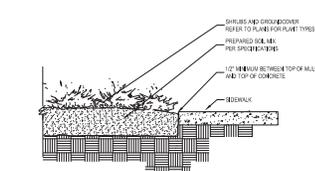
- Sandy Loam:
 - Fertile, fertile, dark, loamy soil free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loan contains Dehydrogen or equivalent material that is required.
 - Physical properties as follows:
 - Clay - between 1-2.5 percent
 - SI - between 15-25 percent
 - Sand - less than 82 percent
 - Organic matter shall be 3% - 10% of total dry weight.
 - If received, provide a verified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 60% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine balanced material.
- Premixed Bedding Soil as supplied by V&A Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Co. Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Double Shredded Hardwood Mulch, partially decomposed dark brown. Living Earth Technology or approved equal.
- Organic Fertilizer: Fertilizer, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 4" x 4" with stakes 4' on center.
- Staking Material for Shrub Trees:
 - Post: Staked 2" x 4", #1 or #2, 8' long; paint green.
 - Wire: 12 gauge, single strand, galvanized steel.
 - Rubber hose: 2 ply, fiber reinforced with minimum 1/2 inch diameter. Color: Black.
 - Gavel: Washed native pine gravel, grad 1" to 1-1/2".
 - Fiber Fabric: Mirlal 140N by Calumet Fibers Marketing Company, available at Lufftand Co., (214) 621-5200 or approved equal.

SOLID SOD NOTES

- Final grade areas to achieve final contours indicated. Leave areas to receive topsoil 2" above final desired grade in planting areas and 1" above final grade in turf areas.
- Adjust contours to achieve positive drainage away from building. Provide uniform rounding at top and bottom of slopes and other drains or grades. Control Erosion and areas where water may flow.
- All lawn areas to receive solid sod shall be at a minimum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant soil to hard to cover (indicated) areas completely. Inverse edges of sod are bounding. Top dress joints by hand with topsoil to 6.0 inches.
- Roll grass areas to achieve a smooth, even surface, free from undrained voidations.
- Water sod thoroughly as soil operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, spraying and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from sod supply if necessary.
- Final installation occurs between September 1st and March 1st. All sod areas to be covered with Winter Rygrass, at a rate of 4.0 pounds per one thousand (1,000) square feet.



APPLICANT: ALDI, INC. 2500 WESTCOURT ROAD DENTON, TEXAS 76207 CONTACT: HEATHER RIMMER

ENGINEER: BURGER ENGINEERING, LLC REGISTERED ENGINEERING FIRM F-12997 17103 PRESTON ROAD, SUITE 180N DALLAS, TEXAS 75248 (972) 630-3360 CONTACT: BRYAN M. BURGER, P.E.

REV.	DATE	REMARKS

LANDSCAPE SPECIFICATIONS

ALDI FOOD STORE

LOT 1, BLOCK A - DALTON COLIAD ADDITION

THE CITY OF ROCKWALL, TEXAS

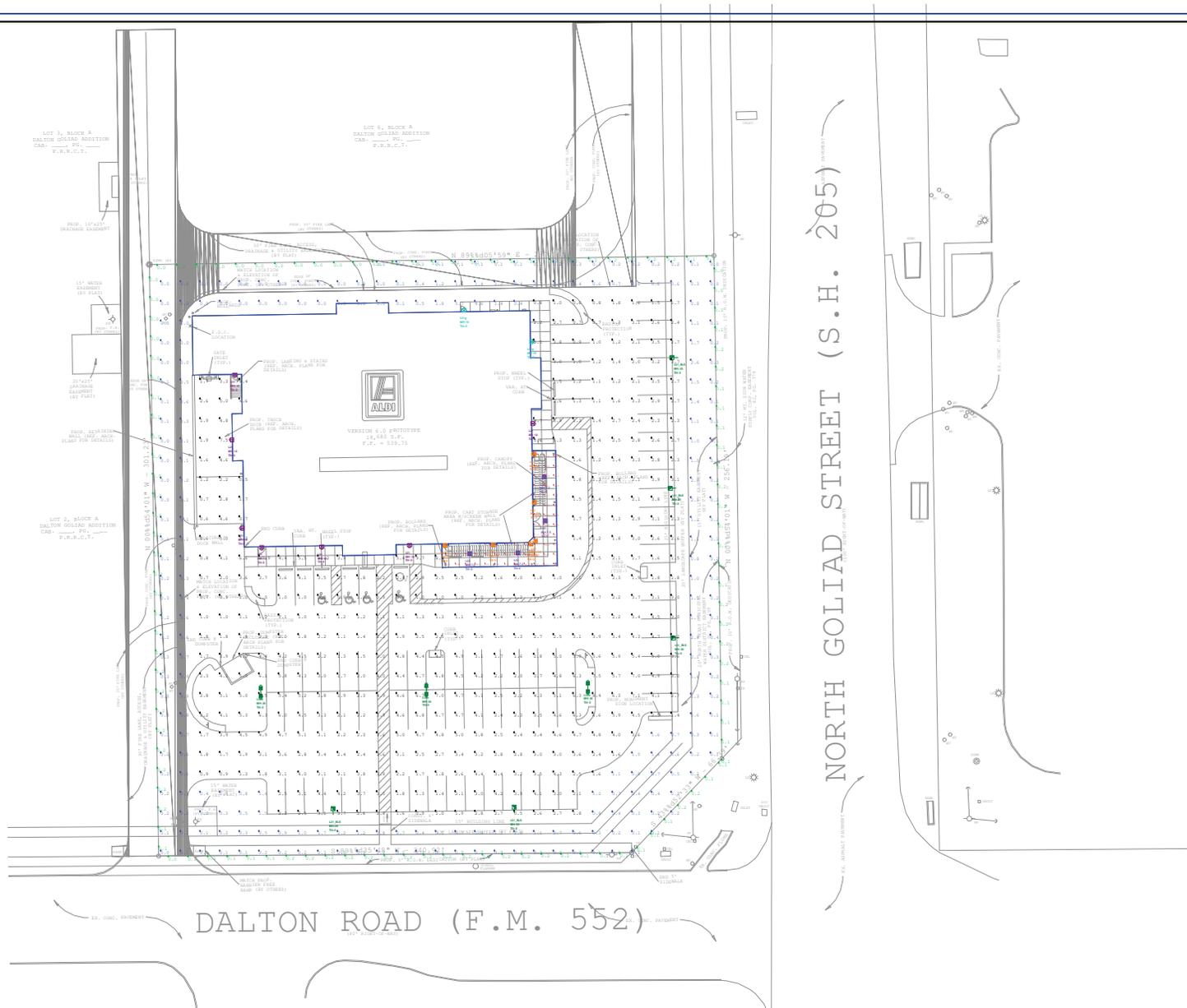
BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 DALLAS, TEXAS 75248
 OFFICE: (972) 630-3360 FAX: (972) 630-3360
 E: b.m.burger@bme.com

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	3/28/16	NONE	D.P.	007-006	L-2



smr
 landscape architects, pc
 17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Tel: 972-630-3360
 Fax: 972-630-3360
 E: b.m.burger@smr.com

SP2016-0



Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
	3	L32b	BACK-BACK	11412	1.000	112	OSQ-A-NM-4ME-A-57K-UL-CS W/ OSQ-DACS
	6	L23	SINGLE	N.A.	1.000	43.07	AL-42WLED-UD-CG-120
	4	L22	SINGLE	4620	1.000	43	CPY250-A-DM-F-C-UL-CS
	7	L21	SINGLE	4109	1.000	42	XSPWA03MG-UCSP
	2	L21g	SINGLE	2722	1.000	25	XSPWA03MG-UCSP
	5	L31_BLS	SINGLE	9747	1.000	112	OSQ-A-NM-4ME-A-57K-UL-CS W/ OSQ-DACS

Calculation Summary: LMF = 1.00					
Label	Avg	Max	Min	Avg/Min	Max/Min
Canopy	12.85	31.3	1.1	11.68	28.45
Pavement	2.98	11.2	0.5	5.96	22.40
Property Line	0.11	0.2	0.0	N.A.	N.A.
Site	0.49	5.7	0.0	N.A.	N.A.

FIXTURE MOUNTING HEIGHTS AS SHOWN
 NOTE: 18' POLE + 2' BASE = 20' MH
 ADDITIONAL EQUIPMENT REQUIRED:
 (3) CL-SSP-4011-18-D2-CS (18' x 4" STEEL SQUARE POLE, 2@180 MOUNT)
 (5) CL-SSP-4011-18-D1-CS (18' x 4" STEEL SQUARE POLE, SINGLE MOUNT)
 (1) OSQ-DACS DIRECT ARM MOUNT
 (5) OSQ-BLSMF BACKLIGHT SHIELD ACCESSORY
 PROPOSED POLES MEET 120MPH SUSTAINED WIND LOADS



NORTH GOLIAD STREET (S.H. 205)

DALTON ROAD (F.M. 552)



1200 92nd Street - Sturtevant, WI 53177
www.cree.com - (800) 236-8800

Project Name: ALDI SITE LIGHTING - ROCKWALL, TX SR No. 13286

Date: 3/23/2016 Scale: 1"=40' Footcandles calculated at grade

Filename: ALD-160323RKTJEE.AGI Layout by: JACOB EDLER

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

EXTERIOR FINISH SCHEDULE

KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
(A)	EDGE METAL BY FRESHONE	A1 - SLATE GRAY A1a - SEVER METALLIC	FIELD AND TRANSOM WINDOW SILLS
(A2)	MODULAR BRICK	FIELD COLOR - SEE SPEC	FIELD AND TRANSOM WINDOW SILLS
(A3)	STUCCO	A3 - SW7054 PASSIVE A3a - SW7053 CHAINSET GRAY	
(A4)	STOREFRONT	ANODIZED ALUM.	RE: DWG. A402
(A5)	NOT USED		
(A6)	METAL SOFFIT PANELS	SOLID PANELS - SEE SPEC	RE: DWG. A301-A304
(A7)	EXTERIOR FAN BY SHERWIN WILLIAMS	PF-15 / CL-5	RE: DWG. A403
(A8)	DAMPSTER ENCLOSURE		RE: DWG. A505
(A9)	ALUMINUM COMPOSITE PANEL	AP - BRIGHT SILVER APa - SLATE GRAY	PROVIDE PANEL JOINTS AS SHOWN - AT JEDTODGO SIGN FIELD AND FOOD MARKET SIGN FIELD. PROVIDE ONE PIECE TIGHT FIT EXTRUDED ALUMINUM INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND 1 TRIM AT PANEL EDGES. AT CANOPY FASCIA, PROVIDE 'CLIP AND CLACK' INSTALLATION SYSTEM.
(A10)	QUARRIED STONE	5% ROUGHBACK, 95% BUFF SUR-FACE MIX	MEZGER ENTERPRISES, INC., LEUDERS, TX
(A11)	BIRD-2	PF-15 / CL-4	RE: DWG. A403
(A12)	BIRD-4	FACTORY FINISH - CHARCOAL	RE: DWG. A403
(A13)	GUARD RAIL TYPE "A"	PF-16 / CL-5	RE: DWG. A31A/503, A403
(A14)	GUARD RAIL TYPE "B"	PF-16 / CL-5	RE: DWG. A31A/503, A403
(A15)	CART RAIL & STARTER POST	GALVANIZED	
(A16)	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL IN LNU OF CAST STONE SILL
(A17)	CONTROL JOINT		MAX. 30' OC. RE: DWG. A304
(A18)	OVERFLOW SCUPPER	PF-15 / CL-5	RE: DWG. C2A/503
(A19)	FOOD MARKET SIGNAGE	BY SIGN VENDOR	1" @ 3/8" W. x 2" @ 1/4"
(A20)	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" W. x 9'-5 1/2" H. (SEE DETAIL D1) (CHECK VERIFY SIGN SIZE PRIOR TO FRAMING OPENING)
(A21)	CRIB	NATURAL	RE: DWG. A403 - SEE STRUCTURAL DWGS.
(A22)	CAST STONE SILL	SEE SPEC	WATER TABLE TRIM
(A23)	PREFABRICATED SUN SHADE	SILVER POWDER COAT	MANUFACTURED BY C. R. LAURENCE. RE: DWG. A306, A305
(A24)	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
(B)	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
(C)	WALL SCONCE	FACTORY FINISH	MOUNT @ 7'-0" A.F.F.
(D)	EXTERNAL SIREN	FACTORY FINISH	MOUNT @ 12'-0" A.F.F.
(E)	UTILITY METERING & C.I.	FACTORY FINISH	SEE ELECTRICAL DWGS.
(F)	EXTERIOR WALL PACK	FACTORY FINISH	MOUNT @ 12'-0" A.F.F.
(G)	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
(H)	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS.
(I)	MCOR GONG	FACTORY FINISH	SEE FIRE PROTECTION DWGS.
(J)	HOSE BB	FACTORY FINISH	SEE PLUMBING DWGS.
(K)	HPZ DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS.
(M)	STOREFRONT KEY	ANODIZED ALUMINUM	SHADED WINDOWS ARE SPANDREL. RE: DWG. A402

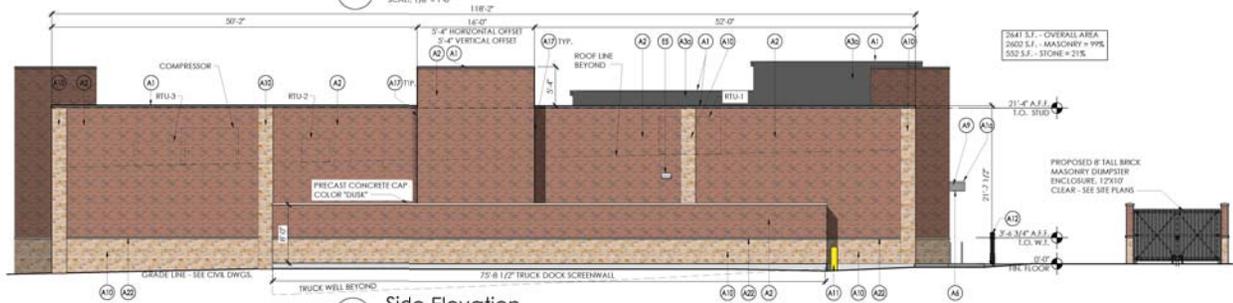
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
FOOD MARKET SIGN	2	38.1	76.2
TOTAL SIGNAGE			226.0

NOTE: SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMITS SUBMITTAL.

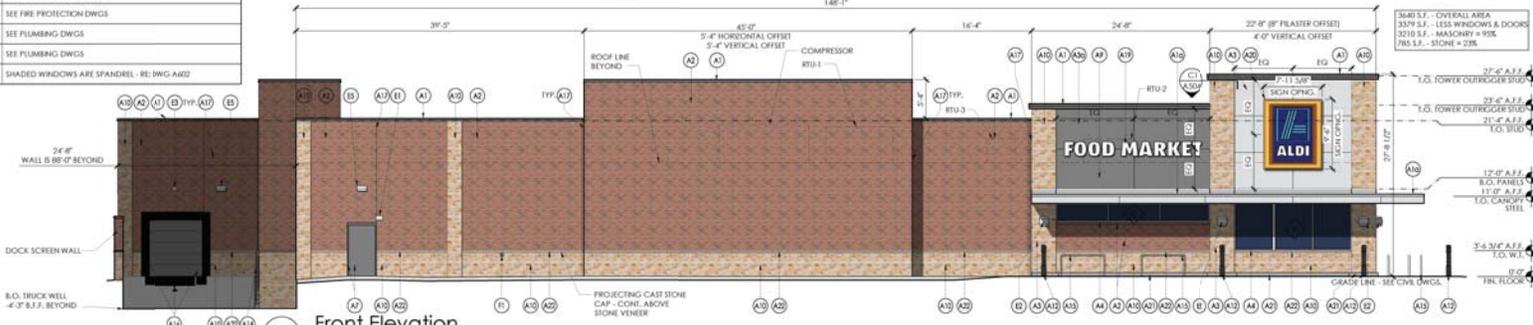
- ARCHITECTURAL ELEMENTS PER SEC. 4.11.04
- CANOPY
 - RECESSED PROJECTIONS
 - DISPLAY WINDOWS
 - ARTICULATED BASE



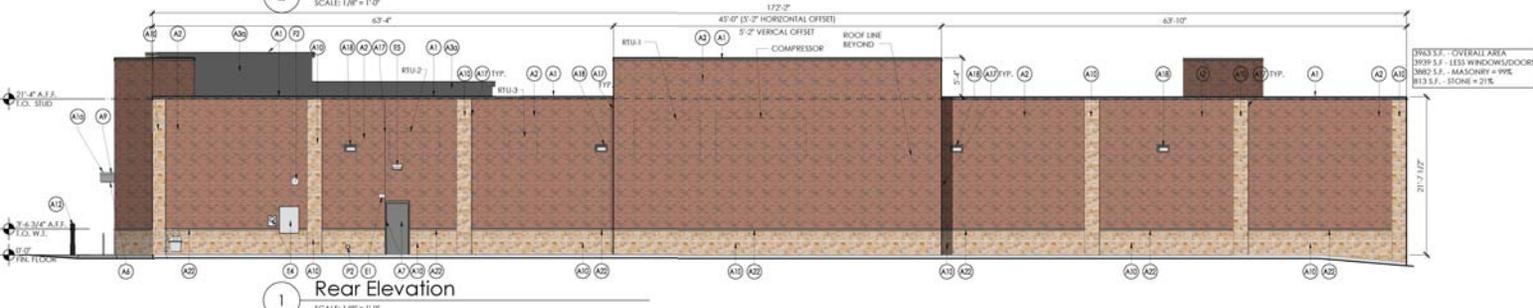
4 Side Elevation
SCALE: 1/8" = 1'-0"



3 Side Elevation
SCALE: 1/8" = 1'-0"



2 Front Elevation
SCALE: 1/8" = 1'-0"



1 Rear Elevation
SCALE: 1/8" = 1'-0"

DAVID L. NARRAMORE
A.I.A. ARCHITECT
Architects & Planners

P.O. BOX 8438 GREENVILLE, SC 29604
30 MILLS AVE. GREENVILLE, SC 29605

PHONE: 864.242.9881
FAX: 864.232.5202

www.dlnarramore-architects.com

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SEAL

2500 WESTCOURT RD
DENVER, TX 75007
940.220.5400
FAX: 940.220.5490

ALDI FOOD STORE NO. 49
N. GOLIAD & DALTON
ROCKWALL, TX

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT DATA
V6.0-LHSD
PROJECT NUMBER
16456
ISSUE DATE
04-11-18

ALDI FOOD STORE NO 49
ROCKWALL, TX

A-201

EXTERIOR ELEVATIONS

City of Rockwall Project Plan Review History



Project Number SP2016-008	Owner RACETRAC, PETROLEUM INC	Applied 4/15/2016 LM
Project Name Carmel Car Wash	Applicant EURYTHMIC DESIGN GROUP ARCHITECTS	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status STAFF REVIEW		Status 4/15/2016 LM

Site Address 2003 S GOLIAD ST	City, State Zip ROCKWALL, TX 75087	Zoning
---	--	---------------

Subdivision CROSSINGS ADDITION	Tract 1	Block 1	Lot No 1	Parcel No 3434-0001-0001-00-OR	General Plan
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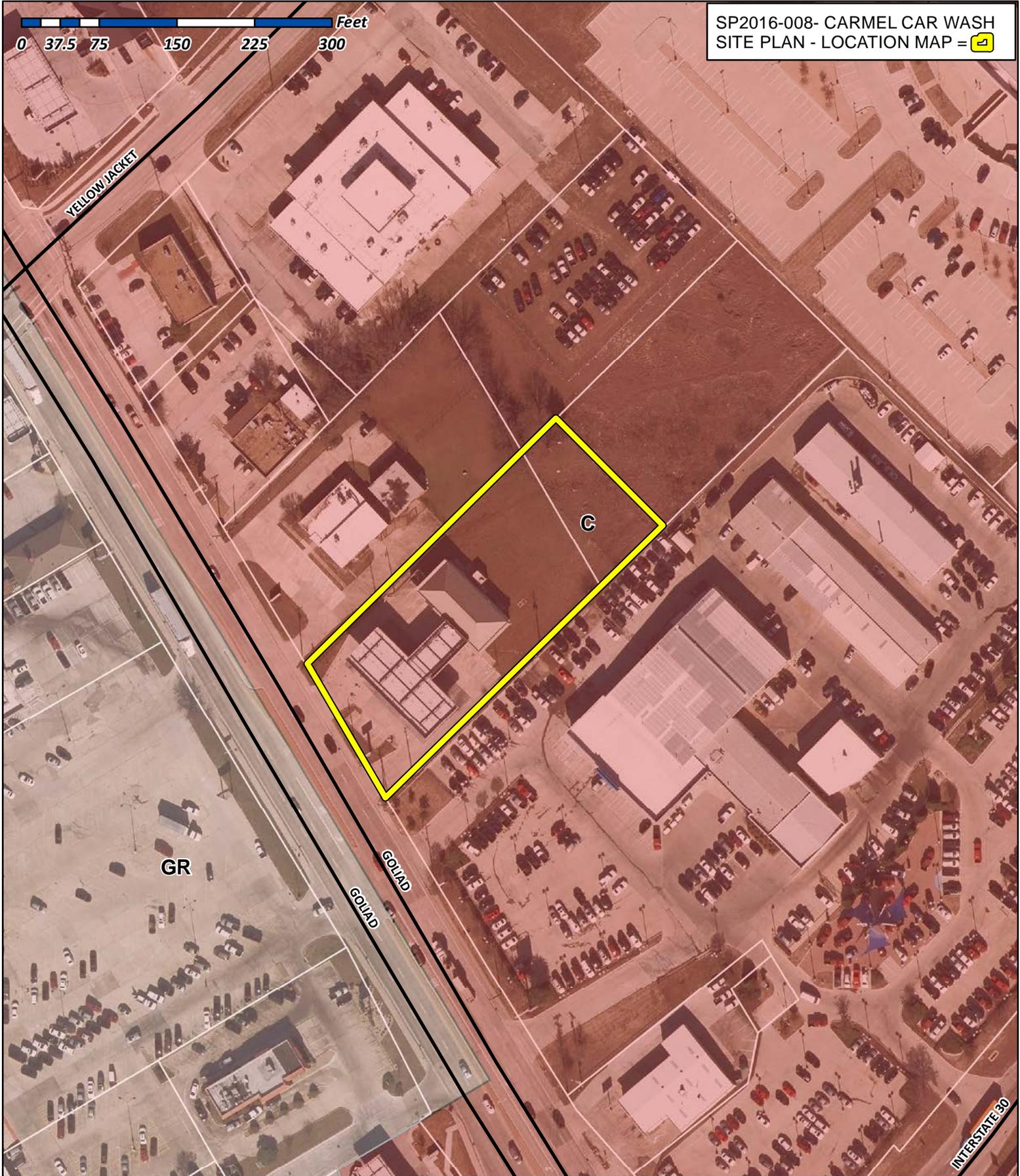
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
ENGINEERING (4/19/2016 12:19 PM AW) Parking needs to be 90 degrees along the 2 way fire lane and access easement Fire hydrant to be in a 15' wide easement Verify that the signage isn't in an easement Fire lane to be a minimum of 6" 3,600 psi concrete (min 6.5 sack) Parallel parking is a minimum of 22'x9' Need more dimensions (see markup) Need off-site easements for drainage and fire lane/access Entire lot must drain to the east to existing drop inlet.	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
GIS (4/20/2016 4:57 PM LS) Assigned address will be: 2003 S GOLIAD ST, ROCKWALL, TX 75087	Lance Singleton	4/15/2016	4/22/2016	4/20/2016	5	APPROVED	See Comments
PLANNING	Korey Brooks	4/15/2016	4/22/2016	4/22/2016	7	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(4/22/2016 8:58 AM KB)						
SP2016-008 (Carmel Car Wash): Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of site plan for a car wash/auto detail facility (i.e. Carmel Carwash) on a 1.3-acre tract of land identified as Lot 1, Block 1, Crossings Addition (i.e. 1.004-acres) and a 0.296-acre portion of Lot 1, Block 1, Rockwall Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2003 S. Goliad Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2016-008) in the lower right hand corner of all pages on future submittals.						
I.4 This property will be required to be plated prior to the issuance of a building permit.						
I.5 This property is located in the SH 205 Overlay (SH-205 OV) District and is subject to stricter architectural/site design standards. Each exterior wall shall consist of 90% masonry including a minimum 20% natural or quarried stone.						
M.6 Site Plan. Please provide Material Sample Board with actual samples of proposed materials.						
M.7 Site Plan. Please provide color building elevations.						
M.8 Site Plan. Please provide perimeter dimensions of all buildings. Indicate the perimeter dimensions in feet.						
M.9 Site Plan. Please indicate the distance between all property lines and existing/planned buildings located on the site.						
M.10 Site Plan. Please indicate all building setbacks adjacent to right-of-way (i.e. SH. 205).						
M.11 Site Plan. All trash and recycling receptacles shall be four-sided with a gate and located outside buffer strips and to the rear of the primary building. The receptacles shall be screen by a minimum 8-foot solid masonry screen and shall utilize similar masonry materialsto the primary structure. Every effort shall be made to screen trash/recycling receptacles from SH 205. Please ensure that the screening wall is 8-feet and add a detail of the dumpster enclosure to show that it is 8-feet in height.						
M.12 Site Plan. Please label all adjacent existing and proposed street names (i.e. SH 205)						
M.13 Site Plan. Please indicate the street centerline for SH 205.						
M.14 Site Plan. Please indicate whether utility equipment will be pad/ground mounted roof mounted. Pad mounted utility equipment shall be screened from horizontal view from any adjacent public street and from any adjacent property. All buildings must be designed so that no roof mounted mechanical equipment shall be visible from any direction.						
M.15 Site Plan. Minimum width of side yard setback is 10-feet. Please check setback on the "Plan South" elevation to ensure that the building is 10-feet away from the property line.						
I.16 Any above ground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure.						
M.17 Site Plan. Please indicate the widths of the drives entering the car wash.						
M.18 Landscape Plan. Please provide the same site data information required in Sec 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.						
M.19 Landscape Plan. Please indicate the application zoning district percentage of landscaping required and provided in addition to the impervious areas vs. the amount of landscaping and open spaces required and provided.						
M.20 Landscape Plan. Please make adjustments so that the Impervious Area is no greater than 85% and that the pervious area is at least 15%.						
M.21 Landscape Plan. Canopy trees must be at least 4" caliper. Currently the canopy trees are 1-inch below the requirement.						
M.22 Landscape Plan. Please indicate the 10' landscape buffer. Currently there is a 10' buffer showing adjacent to SH 205, however, it does not specify that it is a landscape buffer.						
M.23 Photometric. No light pole, base or combination thereof shall exceed 30-feet in height. Please provide a light detail indicating the height the lighting poles.						
M.24 Photometric. Please darken the property lines on the Photometric Plan.						
M.25 Photometric. No lighting facilities shall distribute more than 0.2 of one footcandle of light at the property line. Please look at the lighting along the property lines to get this as close as possible to 0.2.						
M.26 Photometric. Under canopy lighting, including covered parking, shall not exceed 0.35 of one foot candle. Please look at the lighting for the covered parking to						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						get this as close as possible to 0.35.
M.27						Photometric. Parking areas are not to exceed a maintained average of 1.5 foot candles at the ground level and shall not distribute more than 0.2 of one foot candle of light upon any adjacent property. Please look at the lighting for the employee parking to get this as close as possible to the requirements.
M.28						Photometric. Please try and make the lighting symbols clearer so that it is easier to distinguish each symbol.
M.29						Photometric. Please provide cut-sheets for all exterior lighting (e.g. wall packs, canister lighting, etc.).
M.30						Building Elevations. Please label all roof mounted mechanical equipment and how these will be screened from view.
M.31						Building Elevations. Please provide a spec on stone used in elevation. Also, please note that smooth-face CMU is not allowed.
M.32						Building Elevations. Please provide a spec of the storage building located on the site.
M.33						Building Elevations. Each exterior wall shall consist of 90 percent masonry material including a minimum of 20 percent natural or quarried stone. Please ensure that the East Elevation includes 90% masonry, including 20% natural or quarried stone, or please apply for a variance from City Council.
M.34						Building Elevations. Please indicate the parapet wall by dashing in the top of roof deck.
M.35						Building Elevations. Please indicate any additional design elements for the base, wall, or parapets. Be sure to include the location, size, color, and material of any proposed structure.
I.36						The Architectural Review Board (ARB) meeting for this case will be held on April 16, 2016.
I.37						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 26, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 10, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on April 26, 2016.
I.38						If necessary the projected City Council meeting date for this case will be May 16, 2016.

0 37.5 75 150 225 300 Feet

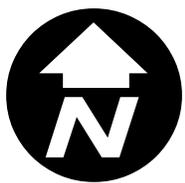
SP2016-008- CARMEL CAR WASH
SITE PLAN - LOCATION MAP = 



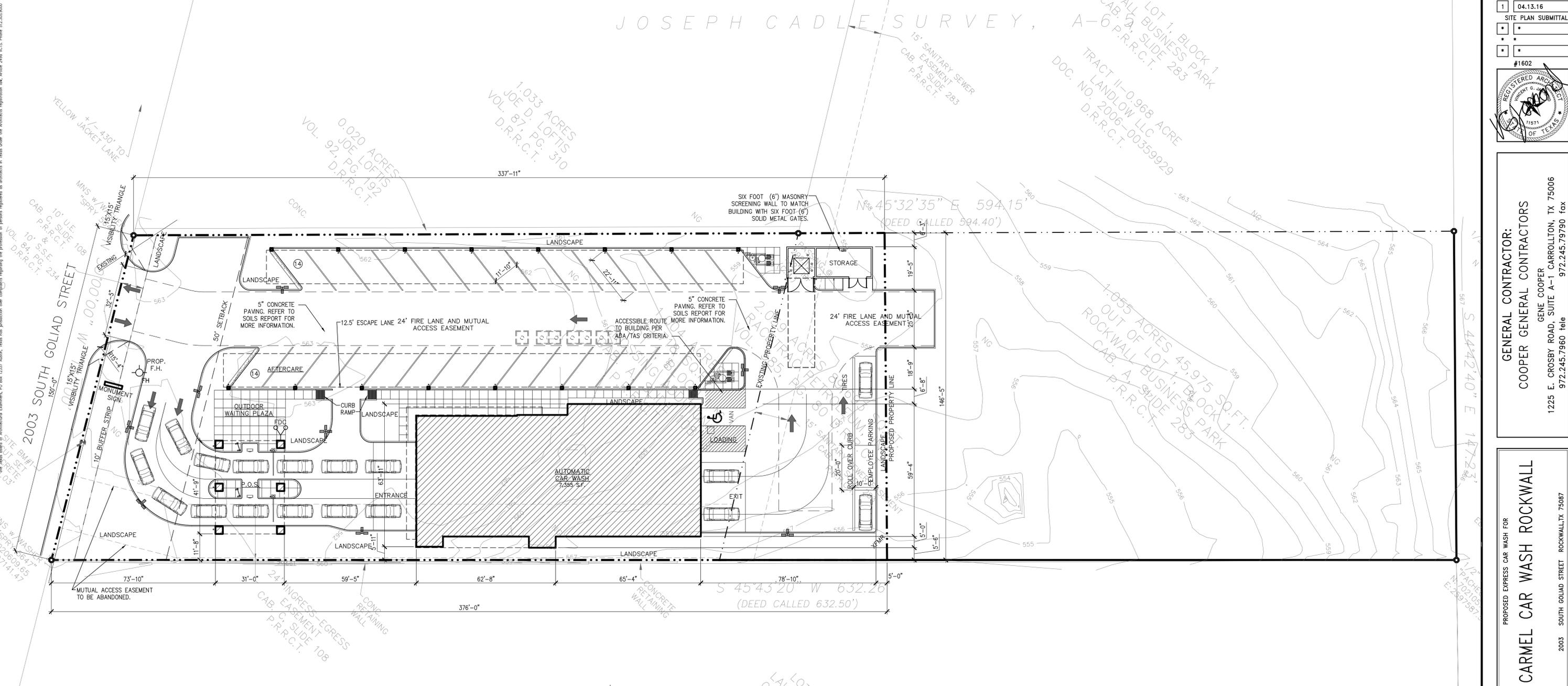
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

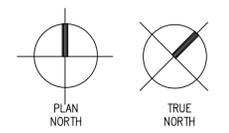
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



JOSEPH CADLE SURVEY, A-6



1 SITE PLAN 1" = 20'-0"



LOT 3, BLOCK A
LAKESIDE CHEVRON
CAB. G. SLIDE 108
P.R.R.C.T.



WATER METER SCHEDULE						
ID.	LOCATION	TYPE	SIZE	QUANTITY	SAN. SEW.	STATUS
1	N.E. CORNER	DOMESTIC	2"	2	6"	NEW
2	N.E. CORNER	IRRIGATION	1"	1	N/A	EXISTING

SITE DATA AND TABULATIONS:	
CURRENT AND PROPOSED ZONING COMMERCIAL (C)	
LOT AREA	52,072 S.F.
BUILDING AREA	7,355 S.F.
P.O.S. CANOPY	1,294 S.F.
VACUUM CANOPY 1	3,223 S.F.
VACUUM CANOPY 2	3,218 S.F.
TOTAL BUILDING AREA TO BE PARKED	7,355 S.F.
COVERAGE =	28.97%
FAR =	1:1
MAXIMUM HEIGHT OF BLDG. =	24'
PARKING REQUIRED:	
1:250 CAR WASH (7355 S.F.)	29.42 SPACES
TOTAL	30 SPACES
PARKING PROVIDED	33 SPACES
ACCESSIBLE SPACES REQUIRED	1 SPACES
ACCESSIBLE SPACES PROVIDED	1 SPACES
6 SPACES OF STACKING REQUIRED AND PROVIDED.	

CURRENT ZONING:
COMMERCIAL (C)
PROPOSED USE:
EXPRESS CAR WASH



CARMEL CAR WASH- ROCKWALL
2007 S. GOLIAD STREET ROCKWALL TEXAS 75087
CASE NUMBER:
OWNER INFORMATION:
CAMERON BAGLEY
RACETRAC PETROLEUM, INC.
3225 CUMBERLAND BLVD. SUITE 100 ATLANTA, GEORGIA 30339
770.431.7600 x1202 cbagley@racetrac.com
APPLICANT INFORMATION:
VINCENT JARRARD AIA
EURYTHMIC DESIGN GROUP ARCHITECTS
11700 PRESTON ROAD SUITE 660 DALLAS, TEXAS 75230
214.361.1934 vincent@edg-architects.com

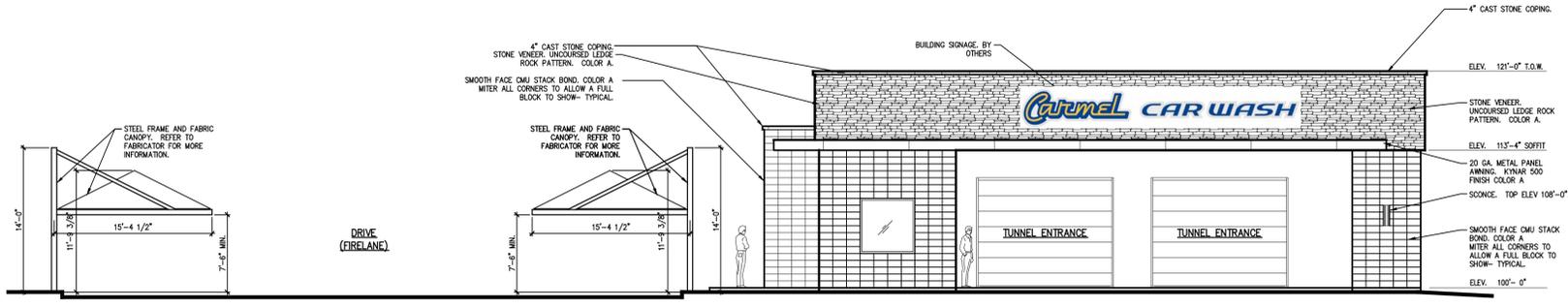
1 04.13.16
SITE PLAN SUBMITTAL

#1602

GENERAL CONTRACTOR:
COOPER GENERAL CONTRACTORS
GENE COOPER
1225 E. CROSBY ROAD, SUITE A-1 CARROLLTON, TX 75006
972.245.7960 tele 972.245.7979 fax

PROPOSED EXPRESS CAR WASH FOR
CARMEL CAR WASH ROCKWALL
2003 SOUTH GOLIAD STREET ROCKWALL, TX 75087

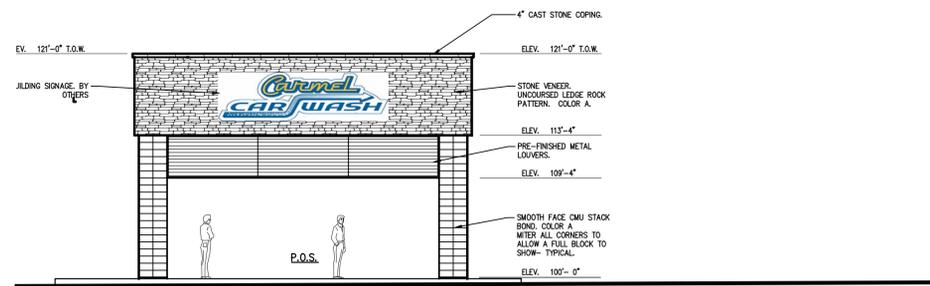
EURYTHMIC DESIGN GROUP ARCHITECTS
V. G. JARRARD A.I.A.
11700 PRESTON ROAD SUITE 660-417 DALLAS, TX 75230
tele 214.361.1934 email vincent@edg-architects.com
ARCHITECTURE ART INTERIOR ARCHITECTURE FURNITURE DESIGN



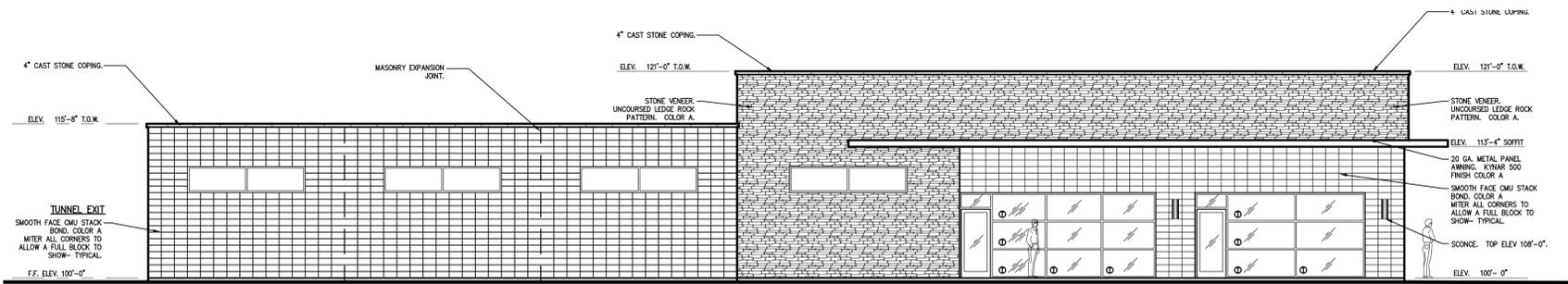
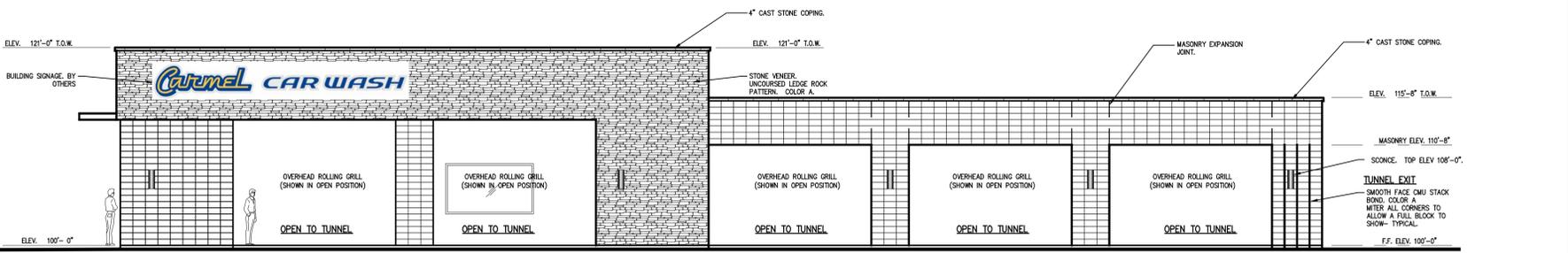
1 WEST (FRONT) ELEVATION 1/8" = 1'-0"



2 WEST (FRONT) P.O.S. ELEVATION 1/8" = 1'-0"



3 SOUTH (RIGHT) ELEVATION 1/8" = 1'-0"



4 NORTH (LEFT) ELEVATION 1/8" = 1'-0"



5 EAST (REAR) ELEVATION 1/8" = 1'-0"

WALL MATERIAL CALCULATIONS IN SQUARE FEET:

FACADE	NET MASONRY TOTAL	MASONRY REQ'D 90%	STONE REQ'D PROVIDED	STONE 20% OF 90% PROVIDED
WEST (FRONT)	773	696	714	380
SOUTH (RIGHT)	1322	1190	1322	623
EAST (REAR)	N/A	N/A	N/A	N/A
NORTH (LEFT)	1921	1729	1880	734

ARTICULATION DATA:

EFFECTED FACADES (SOUTH AND NORTH) OTHER FACADES ARE EXEMPT DUE TO THEIR OVERALL LENGTH AND ORIENTATION

AVERAGE WALL HEIGHT 18.75'

HORIZONTAL OFFSET DATA

REQUIRED OFFSET 18.75' X 25% = 4.68' (5.0' MINIMUM)
 PROVIDED OFFSET 5.0'

MAXIMUM HORIZONTAL LENGTH OF OFFSET ALLOWED 128.50' X 25% = 32.12' (20.0' MINIMUM)
 MAXIMUM HORIZONTAL LENGTH OF OFFSET PROVIDED 60.0' (MAXIMUM 60')

VERTICAL OFFSET DATA

REQUIRED OFFSET 18.75' X 25% = 4.68' (5.0' MINIMUM)
 PROVIDED OFFSET 5.0'

MAXIMUM HORIZONTAL LENGTH OF OFFSET ALLOWED 128.50' X 25% = 32.12' (15.0' MINIMUM)
 MAXIMUM HORIZONTAL LENGTH OF OFFSET PROVIDED 60.0' (MAXIMUM 60')



CARMEL CAR WASH- ROCKWALL
 2007 S. GOLIAD STREET ROCKWALL TEXAS 75087
 CASE NUMBER:
OWNER INFORMATION:
 CAMERON BAGLEY
 RACETRAC PETROLEUM, INC.
 3225 CUMBERLAND BLVD. SUITE 100 ATLANTA, GEORGIA 30339
 770.431.7600 x1202 cbagley@racetrac.com
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PROPOSED EXPRESS CAR WASH FOR
CARMEL CAR WASH ROCKWALL
 2003 SOUTH GOLIAD STREET ROCKWALL, TX 75087

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 ARCHITECTURE ART INTERIOR ARCHITECTURE FURNITURE DESIGN

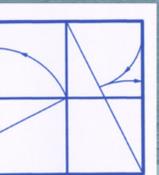
All drawings and wall material calculations were prepared by Vincent Edg and approved by the architect. No other person is responsible for the accuracy of the drawings or the calculations. No other person is responsible for the accuracy of the drawings or the calculations. No other person is responsible for the accuracy of the drawings or the calculations.



Carmel CAR WASH

Carmel CAR WASH

Carmel CAR WASH



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ARCHITECTS

CARMEL CARWASH - SOUTHBOUND VIEW



Carmel CAR WASH

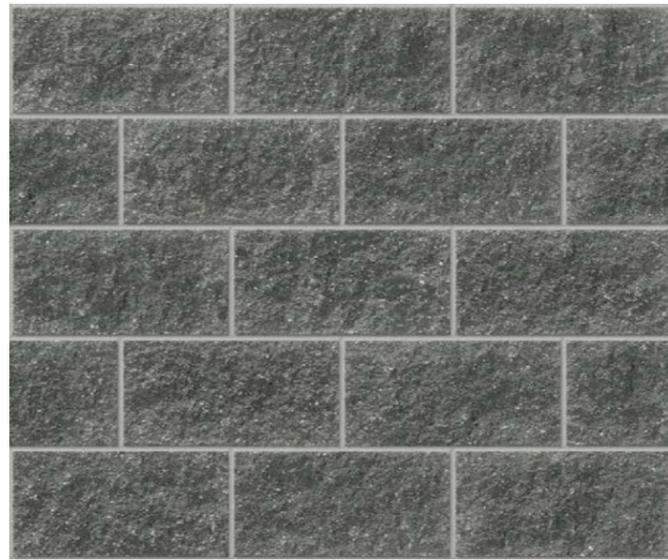
Carmel CAR WASH

WASH

Carmel CAR WASH



CARMEL CARWASH - NORTHBOUND VIEW



SMOOTH FACED CMU – STACK BOND



STONE –UNCOURSED LEDGE ROCK PATTERN



CAST STONE



BREAK METAL AWNINGS AND LOUVERS



GLASS AND FRAME

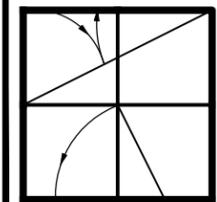


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Project _____ Issues/Rev Date _____ By Drawing _____

EURYTHMIC DESIGN GROUP
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Project No. _____
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IRRIGATION NOTES: FOR EXISTING SYSTEM TO BE EXPANDED

1. PROVIDE IRRIGATION SYSTEM DESIGNED BY A LICENSED IRRIGATION CONTRACTOR PER CITY REQUIREMENTS. IRRIGATION PLAN MUST BE SUBMITTED PRIOR TO CONSTRUCTION.
2. VERIFY CONDITION OF DOUBLE CHECK VALVE AT THE METER.
3. NEW CONSTRUCTION: ADJUSTABLE FLOW CONTROLS SHALL BE REQUIRED ON CIRCUIT REMOTE CONTROL. VALVES AND PRESSURE REGULATION COMPONENT(S) SHALL BE REQUIRED WHERE STATIC PRESSURE EXCEEDS MANUFACTURER'S RECOMMENDED OPERATING RANGE.
4. NEW CONSTRUCTION: VALVES AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND / OR GROUND COVER AREAS.
5. NEW CONSTRUCTION: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
6. NEW CONSTRUCTION: SERVICEABLE CHECK VALVES SHALL BE REQUIRED ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HARD DRAINAGE.
7. NEW CONSTRUCTION: SPRINKLER HEAD SPACING SHALL BE DESIGNED FOR HEAD-TO-HEAD COVERAGE OR HEADS SHALL BE SPACED AS PER MANUFACTURER'S RECOMMENDATIONS AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL BE DESIGNED SO THAT IRRIGATION IS NOT APPLIED TO VEHICULAR TRAFFIC LANES, OTHER PAVEMENT OR STRUCTURES.
8. VERIFY ALL EXISTING AUTOMATIC IRRIGATION SYSTEMS ARE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS SHALL HAVE MULTIPLE-CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM, INCLUDING THE CAPACITY OF BEING SET TO IRRIGATE EVERY FIVE DAYS. ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN SENSOR SHUT-OFF DEVICE.
9. IRRIGATION CONSTRUCTION PLANS SHALL INCLUDE A WATER BUDGET. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR. WATER BUDGET SHALL INCLUDE:
 - A. CHART CONTAINING ZONE NUMBER, PRECIPITATION RATE AND GPM.
 - B. LOCATION OF EMERGENCY IRRIGATION SYSTEM SHUT OFF VALVE.
10. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED. TREE IRRIGATION SHALL NOT SHARE THE SAME ZONE, INCLUDING VALVES AND CIRCUITS, AS SHRUBS AND PLANTS DUE TO DIFFERENT WATERING REQUIREMENTS. A MINIMUM OF ONE (1) BUBBLER SHALL BE PROVIDED FOR ALL NEWLY PLANTED TREES. TREES LARGER THAN 4 INCHES IN CALIPER SHALL HAVE TWO (2) BUBBLERS. BUBBLERS SHALL BE LOCATED 2 FEET FROM THE TREE TRUNK.
11. PROVIDE THE OWNER (END USER) WITH A COPY OF ALL WARRANTIES, PRODUCT MANUALS AND AN AS-BUILT DRAWING IN PDF FORMAT OF THE IRRIGATION SYSTEM ON CD AND TWO (2) FULL SIZED HARD COPIES FOR THEIR FILES.

1 04.13.16
SITE PLAN SUBMITTAL

#1602

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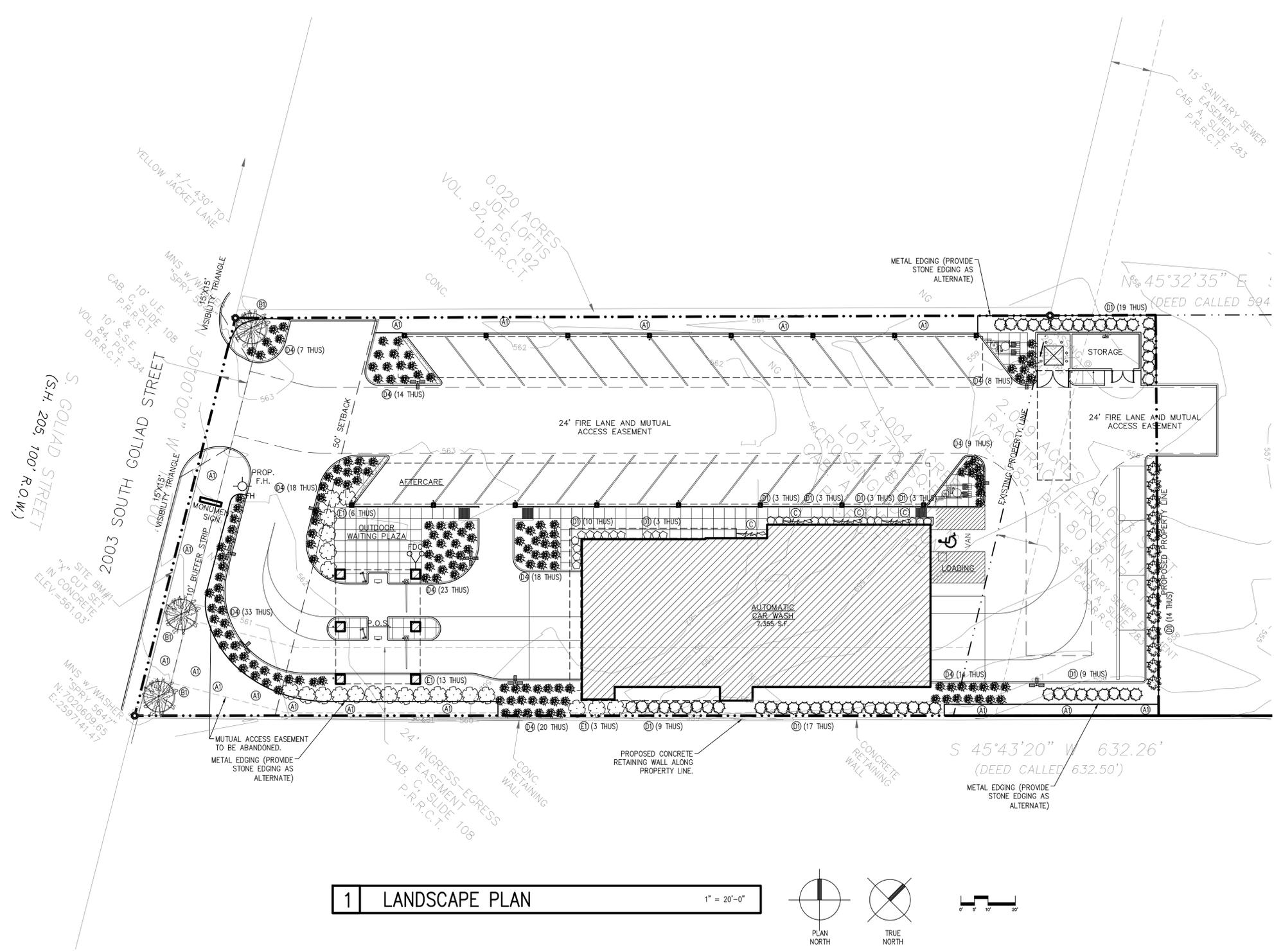
SHEET:
L-1.0
1 OF (2) L SHEETS

NOTE TO G.C.
ALL FILL PLACED ON THE SITE SHALL RESPECT ALL EXISTING TREES BY ASSURING THAT NO SOIL OR MULCH HAS COVERED UP THE ROOT FLARE OF THE TREES.

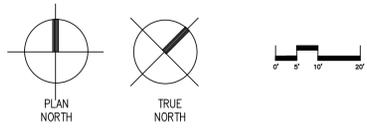
THE PLANS PRESENTED HERE COMPLY WITH THE LANDSCAPE AND TREE ORDINANCE.

THERE SHALL BE NO UNSCREENED OUTDOOR STORAGE ON SITE. ALL OUTDOOR STORAGE AND/OR EQUIPMENT YARDS SHALL BE WITHIN THE BOUNDARY OF A MASONRY SCREEN WALL.

LANDSCAPE LEGEND	
	EXISTING TREE TO REMAIN UNLESS OTHERWISE NOTED ON PLAN.
	NEW LARGE CANOPY TREE
	NOT USED
	LARGE SHRUB (HEDGEROW)
	LARGE SHRUB - COTONEASTER
	MEDIUM SHRUB - DWARF BURFORD HOLLY
	SMALL SHRUB -
	SHRUB - ROSE
	ESPALIER - LITTLE GEM MAGNOLIA
	PERENNIAL OR ORNAMENTAL GRASS
	LANDSCAPE BOULDER
	PLANT SPECIFICATION KEY SYMBOL
	CONCRETE FLATWORK WITH SAW CUTS AT 48" O.C. EACH WAY.
REFER TO SHEET L-2.0 FOR PLANT MATERIAL LIST.	



1 LANDSCAPE PLAN 1" = 20'-0"



G.C. SHALL INSURE FULL COMPLIANCE WITH THE LATEST REQUIREMENTS OF THE ADA/TAS FOR THIS PROJECT REGARDLESS OF THE INFORMATION THAT MAY BE CONTAINED IN THESE DOCUMENTS.

CURRENT ZONING:
COMMERCIAL (C)
PROPOSED USE:
EXPRESS CAR WASH



CARMEL CAR WASH- ROCKWALL
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GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NEEDED FOR INSTALLATION OF PROPOSED LANDSCAPE MATERIAL. THIS DESIGN AND FUTURE MAINTENANCE SHALL BE CARRIED OUT WITH AND MAINTAINED BY CURRENT ORGANIC GARDENING STANDARDS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS AS PUBLISHED BY THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANT MATERIAL SHALL BE PURCHASED FROM SOURCES AS CLOSE TO THE CONSTRUCTION SITE AS POSSIBLE. ALL MULCH SHALL BE PURCHASED FROM LOCAL YARDS THAT USE ONLY NATIVE "ORGANIC" MATERIAL. ALL COMPOST AND MULCH SHALL BE CERTIFIED ORGANIC AND FREE OF CHEMICALS AND PESTICIDES, UNLESS OTHERWISE NOTED ON THE PLANS.
- ANY CONFLICTS OF TREE LOCATION AND UTILITY LINES, UNDERGROUND OR OVERHEAD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE.
- NO PLANTING SHALL TAKE PLACE BEFORE FINISHED GRADING HAS BEEN FINISHED AND BED LAYOUTS HAVE BEEN APPROVED BY THE ARCHITECT.
- THE ARCHITECT AND OR OWNER RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DUE TO UNSATISFACTORY CONDITIONS OF THE PLANT MATERIAL. ALL PLANTS SHALL BE CONTAINER GROWN OR B & B. ALL PLASTIC CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. ALL PLASTIC CONTAINERS SHALL BE RECYCLED LOCALLY.
- ALL PLANT MATERIAL SHALL BE WATERED THOROUGHLY TWICE WITHIN THE FIRST 24 HOURS OF PLANTING, THEN ONCE PER WEEK FOR THE FIRST GROWING SEASON.
- THE CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON ALL LANDSCAPE MATERIAL FROM THE DATE OF THE C.O.
- THE PLANTED AREA SHALL BE IRRIGATED OR SPRINKLERED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, BUT WILL SUFFICIENTLY SOAK THE SOIL TO A DEPTH OF 6 INCHES. THE IRRIGATION SHALL OCCUR AT FIVE DAY INTERVALS DURING THE FIRST TWO MONTHS. RAINFALL OCCURRENCES OF 1/2 INCH OR GREATER SHALL POSTPONE THE WATERING SCHEDULE ONE CYCLE.
- RAISE ALL BEDS 6" TO ALLOW FOR PROPER DRAINAGE. PREPARE ALL BEDS BY ADDING 6" OF ORGANIC COMPOST, ORGANIC FERTILIZER (2 LBS/100 S.F.), ROTO-TILL TO A DEPTH OF 8". TOP DRESS WITH A 3" MINIMUM LAYER OF NATIVE CEDAR MULCH AFTER PLANTING.
- LAWN PLANTING: REMOVE ALL SURFACE ROCKS OVER 2" ROUND. LIGHTLY TILL OR SCARIFY THE TOP SOIL TO A DEPTH OF 2". LIGHTLY RAKE AND GENTLY SLOPE TO PREVENT PONDING OF WATER. FOR SOD: TURF SHALL BE ROLLED AFTER INSTALLATION AND FERTILIZED WITH AN ORGANIC FERTILIZER SUITABLE FOR NEWLY PLANTED TURF APPLIED PER THE MANUFACTURER'S RECOMMENDATION. FOR HYDRO-MULCH: PRIOR TO HYDRO-MULCHING SPRAY TOP SOIL WITH "AGISPON" OR "MEDIAN" AND TREAT THE SEED WITH ONE OF THE SAME PRODUCTS. APPLY SEED TO THE GROUND FIRST THEN HYDRO-MULCH OVER THE SEED. AFTER ALL AREAS OF GRASS HAVE BEEN ESTABLISHED APPLY A LIGHT APPLICATION OF ORGANIC FERTILIZER AT THE TIME OF THE FIRST MOWING. PULL ALL VISIBLE WEEDS AT THAT TIME AS WELL.
- ASIAN JASMINE, IVY OR OTHER NON TURF GROUND COVER: PLANT 12" O.C. MAXIMUM.
- SHRUBS: SPACE LARGE SHRUBS SUCH AS BURFORD HOLLIES, COTONEASTER AND INDIAN HAWTHORN @ 4'6"-5'0" O.C. SPACE MEDIUM SHRUBS SUCH AS DWARF BURFORD HOLLIES AT 3'0"-3'6" O.C. SPACE SMALL SHRUBS SUCH AS DWARF YAUPON, ORNAMENTAL GRASSES AND NANDINA @ 2' O.C. SPACE ROSES AT 3'6"-4'0" O.C. THE SHRUBS INDICATED ON THE PLANS ARE FOR INFORMATIONAL PURPOSES AND ARE NOT NECESSARILY INTENDED TO BE AN EXACT COUNT OF THE NUMBER OF SHRUBS. THE GENERAL CONTRACTOR SHALL SUPPLY AS MANY SHRUBS AS REQUIRED TO FILL THE AREA DESIGNATED ON THE PLANS SPACED ACCORDING TO THE SPECIFICATIONS.
- SHRUB PLANTING: THE HOLE SHALL BE DUG THE EXACT DEPTH OF THE HEIGHT ROOT BALL. THE TOP OF THE SHRUB'S ROOT SYSTEM SHALL BE EQUAL TO OR SLIGHTLY ABOVE THE FINISHED GRADE. THE G.C. SHALL INSPECT THE ROOT BALL AND DETERMINE THAT SOIL HAS NOT BEEN ADDED ABOVE TO THE TOP OF THE ROOT SYSTEM. IF THIS HAS OCCURRED REMOVE THE SOIL. THE HOLE SHALL BE TWICE THE DIAMETER OF THE CONTAINER. DO NOT LEAVE ANY "SLICK" SIDES OF THE HOLE, THE HOLE SHOULD BE JAGGED ROUGH, MAKE AN "UGLY" HOLE. BACK FILL WITH THE EXISTING SOIL. DO NOT ADD AMENDMENTS TO THE BACK FILL SOIL. MULCH AFTER PLANTING WITH 3" MINIMUM OF SHREDDED NATIVE CEDAR MULCH.
- TREE PLANTING: THE HOLE SHALL BE DUG THE EXACT DEPTH OF THE HEIGHT ROOT BALL. THE TREES TRUNK FLARE SHALL BE ABOVE THE FINISHED GRADE. THE G.C. SHALL INSPECT THE ROOT BALL AND DETERMINE THAT THE SOIL HAS NOT BEEN ADDED ABOVE THE TRUNK FLARE. IF THIS HAS OCCURRED REMOVE THE SOIL TO EXPOSE THE FLARE BEING MINDFUL OF THE TREES ROOT SYSTEM. THE HOLE SHALL BE TWICE THE DIAMETER OF THE ROOT BALL. DO NOT LEAVE ANY "SLICK" SIDES OF THE HOLE, THE HOLE SHOULD BE JAGGED ROUGH, MAKE AN "UGLY" HOLE. BACK FILL WITH THE EXISTING SOIL. DO NOT ADD AMENDMENTS TO THE BACK FILL SOIL. LEAVE BURLAP ON THE BALL HOWEVER LOOSEN THE BURLAP FROM TRUNK AND REMOVE ANY NYLON PLASTIC COVERING OR STRING OF WIRE MESH. DO NOT WRAP OR STAKE THE PLANT. DO NOT OVER PRUNE. MULCH THE TOP OF THE BALL AFTER PLANTING WITH 3" MINIMUM OF SHREDDED NATIVE CEDAR MULCH. IN GRASS AREAS EXTEND MULCH TO DRIP LINE IF PLANT MINIMUM.
- ALL WORK SHALL BE PERFORMED ACCORDING TO THE CITY LANDSCAPE ORDINANCE(S) AND GUIDELINES.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE SCHEDULE FOR AN ORGANIC PROGRAM TO INCLUDE FERTILIZATION, PRUNING, MOWING, MULCHING, ETC. UPON COMPLETION OF WORK.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED AND SHALL BE IRRIGATED WITH AN AUTOMATIC CONVENTIONAL IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSOR CONTROLS. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED IRRIGATOR OR MASTER PLUMBER.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS CREATED DURING CONSTRUCTION I.E. BURLAP, CONTAINERS, PLANT TAGS, ETC. ALL PLASTIC CONTAINERS SHALL BE RECYCLED LOCALLY.
- THE OWNER SHALL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE CODE OF THE LOCAL MUNICIPALITY AND IN ACCORDANCE WITH THE LATEST ORGANIC GARDENING PRACTICES.
- ALL OUT DOOR MECHANICAL EQUIPMENT SUCH AS COMPRESSORS, UTILITY HUTS, TRANSFORMERS OR OTHER BUILDING SERVICE EQUIPMENT IS REQUIRED TO BE COMPLETELY SCREENED FROM VIEW ON ALL SIDES USING A VEGETATIVE SCREEN. IF MECHANICAL EQUIPMENT IS TO BE LOCATED ON THE ROOF OF THE BUILDING IT IS REQUIRED TO BE SCREENED FROM VIEW. REFER TO THE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION FOR LOCATIONS OF ROOFTOP MECHANICAL EQUIPMENT.

LANDSCAPE CALCULATIONS

EFFECTIVE SITE SQUARE FOOTAGE	52,072 S.F. (1.195 ACRES)	
COMMERCIAL ZONING - NO RESIDENTIAL ADJACENCY		
LANDSCAPE AREA REQUIREMENTS:	REQUIRED	PROVIDED
REQUIRED LANDSCAPING AREA COMMERCIAL USE (15%)	7,811 S.F.	11,242 S.F. (21.58%)
NO CREDITS TAKEN		
10' BUFFER STRIP	YES	YES
MINIMUM LANDSCAPE LOCATED IN FRONT OF BUILDING (50%)	3,905 S.F.	6,552 S.F. (167.78%)
PARKING LOT LANDSCAPE REQUIREMENT FOR AREA GREATER THAN 20,000 S.F.		
PARKING AND MANEUVERING AREA	20,000 S.F.	19,030 S.F.
PARKING LOT LANDSCAPE REQUIRED	NO	NO
STREET TREES 1:50 L.F. 145.42/50 = 2.91	3 TREES	3 TREES

LANDSCAPE LEGEND

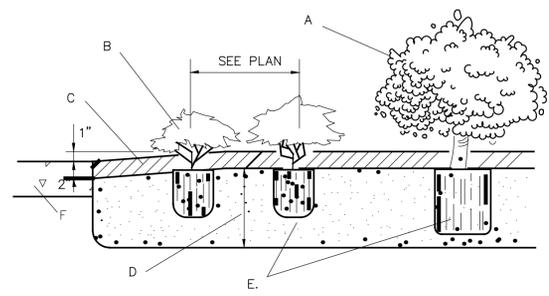
MARK	TYPE	PLANT VARIETY
A	NOT USED	DECOMPOSED GRANITE
A1	GROUND COVER	COMMON BERMUDA - CYNODON DACTYLON.
A2	NOT USED	1 GALLON CREEPING JUNIPER (0 THUS) (JUNIPERUS HORIZONTALIS) 18" O.C.
A3	NOT USED	
B	NEW TREE NOT USED	3" CALIPER CEDAR ELM (0 THUS) (ULMUS CRASSIFOLIA)
B1	STREET TREE	3" CALIPER SHUMARD RED OAK (0 THUS) (QUERCUS SHUMARDII)
E	EXISTING TREE - NOT USED	NO PROTECTED TREES. REFER TO OWNER CERTIFICATION LETTER.
C	NEW ORNAMENTAL TREE	10' LITTLE GEM MAGNOLIA - ESPALIER (4 THUS) (MAGNOLIA GRANDIFLORA 'LITTLE GEM')
D1	SMALL SHRUB	3 GALLON DWARF YAUPON HOLLY (25 THUS) (ILEX VOMITORIA 'NANA')
D2	MEDIUM SHRUB	5 GALLON COTONEASTER, GRAY (14 THUS) (COTONEASTER GLAUCOPHYLLA)
D3	MEDIUM SHRUB	5 GALLON DWARF BURFORD HOLLY (54 THUS) (ILEX CORNUTA 'BURFORD NANA')
D4	MEDIUM SHRUB	3 GALLON ANTIQUE ROSE - VARIETY OF COLORS - REFER TO OWNER (164 THUS) (ROSA SPP.) USE NATIVE BUSH STYLE ROSE BUSHES. DO NOT USE HYBRID VARIETALS UNLESS THEY HAVE A PROVEN 40 YEAR TRACK RECORD OF SUCCESS IN THE DFW AREA.
D6	MEDIUM SHRUB NOT USED	6 GALLON RED YUCCA (0 THUS) (HESPERALOE PARVIFLORA)
D6	MEDIUM SHRUB NOT USED	6 GALLON SALVIA, GREGGI (AUTUMN SAGE) RED (0 THUS) (SALVIA GREGGI)
E1	LARGE SHRUB	5 GALLON BURFORD HOLLY (22 THUS) (ILEX CORNUTA 'BURFORDII')
E2	LARGE SHRUB NOT USED	6 GALLON TEXAS SAGE (0 THUS) (LEUCOPHYLLUM FRUTESCENS)
F	SPECIMEN CACTUS NOT USED	6" WIDE X 3" TALL PRICKLY PEAR CACTUS (0 THUS) (OPUNTIA PHAENACHTHA)
G	NOT USED	(0 THUS)
G1	NOT USED	(0 THUS)
G2	SMALL SHRUB NOT USED	6 GALLON ROSEMARY (0 THUS) (ROSMARINUS OFFICINALIS)
J	ORNAMENTAL GRASSES NOT USED	1 GALLON VARIETY OF PERENNIAL ORNAMENTAL GRASSES.
K	ANNUAL VERITIES NOT USED	ANNUAL COLORS VARIETY T.O.G.

NOTE TO G.C.
 ALL FILL PLACED ON THE SITE SHALL RESPECT ALL EXISTING TREES BY ASSURING THAT NO SOIL OR MULCH HAS COVERED UP THE ROOT FLARE OF THE TREES.

THE PLANS PRESENTED HERE COMPLY WITH THE LANDSCAPE AND TREE ORDINANCE.



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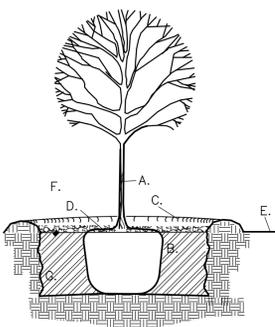
GENERAL NOTES:

- ADD OR REMOVE TOPSOIL AS NECESSARY TO ACCOUNT FOR THE INCLUSION OF SOIL AMENDMENTS. SOIL MIXTURE, REF SPECS.
- TRIANGULARLY SPACE ALL GROUNDCOVERS AT SPACING SHOWN ON PLANS.
- SAVE MULCHING OF PLANTING BED UNTIL NEAR FINAL ACCEPTANCE.

CONSTRUCTION NOTES:

- SHRUB - PER PLAN REMOVE ALL LABELS
- GROUNDCOVER - PER PLAN
- 3" MIN. CEDAR MULCH. SLOPE FROM HARDSCAPE TO 1" ABOVE HARDSCAPE
- PLANTING MIX AS SPECIFIED
- REMOVE CONTAINER PRUNE ANY CIRCLING ROOT

1 PLANTING BED DETAIL N.T.S.



GENERAL NOTES:

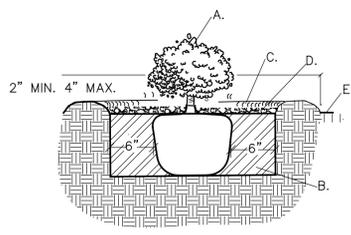
- STABILIZE SOIL BELOW ROOT BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL SHALL BE 1" TO 2" ABOVE FINISH GRADE
- ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED COMPLETELY FROM ROOTBALL AND REMOVE TOP 1/3 OF BURLAP.

CONSTRUCTION NOTES:

- TREE.
- LOOSEN NATIVE BACKFILL
- WATER RETENTION BASIN.
- 3" DEPTH OF CEDAR MULCH. REFER TO NOTE REGARDING ROOT FLARE.
- FINISH GRADE.
- NO TREE STAKING REQUIRED.
- DIG AN "UGLY" HOLE. REFER TO NOTES.

* FOR HIGH WIND LOCATIONS OR IN AREAS WHERE THE GRADE SLOPES EXCEEDS 3:1. FOR LOCATIONS IN MEDIAN SEE BELOW ALIGN IN MEDIANS PARALLEL TO CURB. INSTALL IN FIRM GROUND. SEE STANDARD MEDIAN DETAILS SD-36.

2 ISOLATED TREE PLANTING N.T.S.



GENERAL NOTES:

- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- SHRUB.
- PLANTING SOIL MIXTURE (REF SPECIFICATIONS)
- WATER RETENTION BASIN.
- 3" DEPTH OF CEDAR MULCH.
- FINISH GRADE.

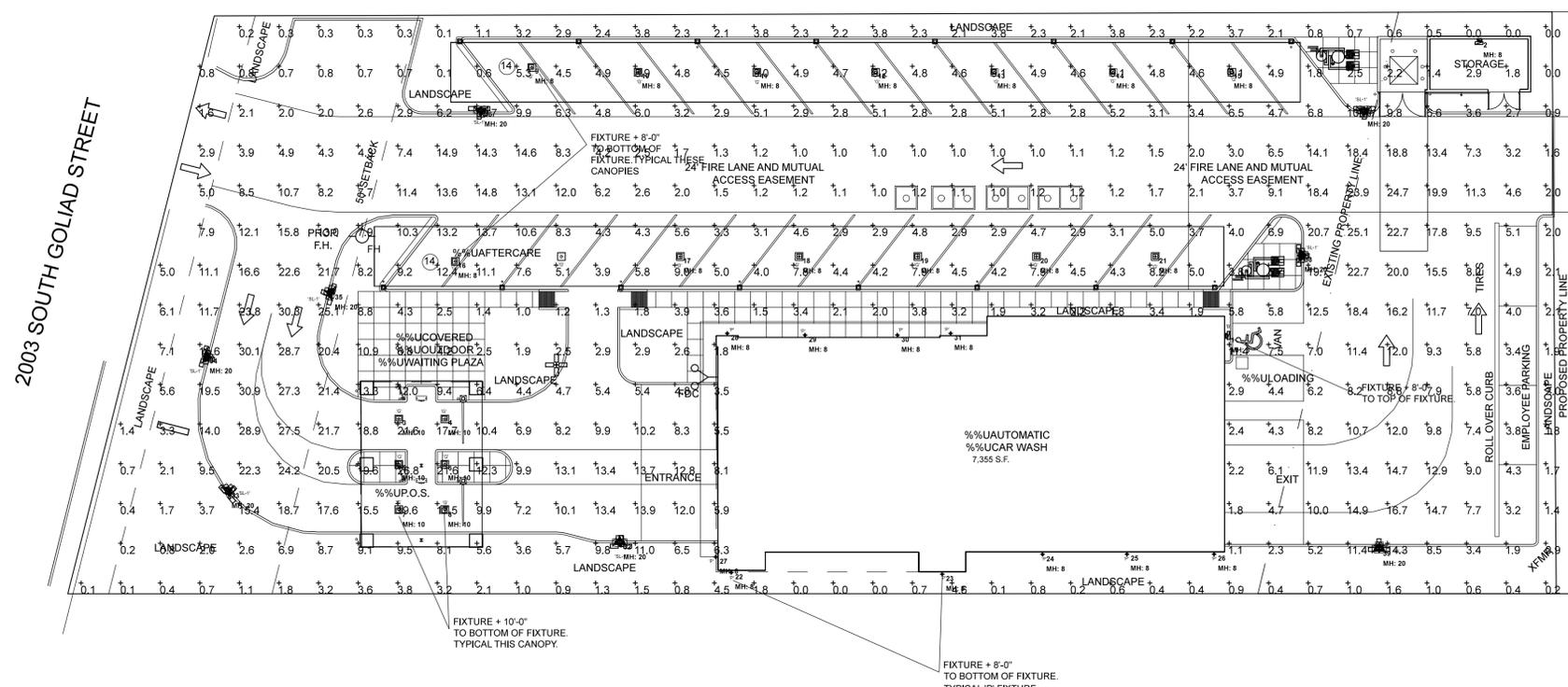
3 ISOLATED SHRUB PLANTING N.T.S.

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 1225 E. CROSBY ROAD, SUITE A-1 CARROLLTON, TX 75006
 972.245.7960 Tele 972.245.79790 fax

PROPOSED EXPRESS CAR WASH FOR
CARMEL CAR WASH ROCKWALL
 2003 SOUTH GOLIAD STREET ROCKWALL, TX 75087

EURYTHMIC DESIGN GROUP ARCHITECTS
 V. G. JARRARD A.I.A.
 11700 PRESTON ROAD SUITE 660-417 DALLAS, TX 75230
 Tele 214.361.1934 email vincent@edg-architects.com
 ARCHITECTURE ART INTERIOR ARCHITECTURE FURNITURE DESIGN



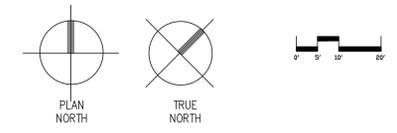
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
[Symbol]	2	B	SINGLE	9000	0.800	MPWP-FC-100-XX	150
[Symbol]	19	G	SINGLE	N.A.	0.864	QDCAST1A (4PANELS 10° TILT)	56
[Symbol]	10	P	SINGLE	4080	0.864	UTA-30381	56.2
[Symbol]	8	SL-3	3 @ 90 DEG ROTATED	22000	0.800	MPTR-SL-250	283

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpLr	PtSpTb
Entire Site @Finished Grade	Illuminance	Fc	6.67	30.9	0.0	N.A.	N.A.	10	10

LumNo	Label	X	Y	Z	Orient	Tilt
1	B	297.3	70.8	8	0	0
2	B	361.05	145.05	8	270	0
3	G	88	50	10	0	0
4	G	99.55	50	10	0	0
5	G	88	38.6	10	0	0
6	G	99.55	38.6	10	0	0
7	G	88	26.9	10	0	0
8	G	99.55	26.9	10	0	0
9	G	121.5	138.45	8	0	0
10	G	148.5	137.25	8	0	0
11	G	178.5	137.25	8	0	0
12	G	208.2	137.25	8	0	0
13	G	238.35	137.25	8	0	0
14	G	268.35	137.25	8	0	0
15	G	298.05	137.25	8	0	0
16	G	102.15	89.55	8	0	0
17	G	159	90.75	8	0	0
18	G	189.15	90.75	8	0	0
19	G	219	90.75	8	0	0
20	G	249.15	90.75	8	0	0
21	G	279.15	90.75	8	0	0
22	P	172.05	11.25	8	0	0
23	P	225.3	10.8	8	0	0
24	P	250.65	15.75	8	0	0
25	P	271.95	15.9	8	0	0
26	P	294	15.9	8	0	0
27	P	168.15	15.15	8	0	0
28	P	171	71.4	8	0	0
29	P	190.65	70.95	8	0	0
30	P	214.05	70.95	8	0	0
31	P	227.4	71.4	8	0	0
32	SL-3	143.85	18.75	20	90	0
33	SL-3	44.85	31.65	20	38.752	0
34	SL-3	39.3	65.55	20	345.964	0
35	SL-3	70.95	81.6	20	164.055	0
36	SL-3	108.75	127.65	20	270	0
37	SL-3	331.8	127.65	20	270	0
38	SL-3	315.9	91.05	20	0	0
39	SL-3	335.7	17.1	20	90	0



1 SITE PLAN - PHOTOMETRIC
 1" = 20'-0"



CARMEL CAR WASH- ROCKWALL
 2007 S. GOLIAD STREET ROCKWALL TEXAS 75087
 CASE NUMBER:
OWNER INFORMATION:
 CAMERON BAGLEY
 RACETRAC PETROLEUM, INC.
 3225 CUMBERLAND BLVD. SUITE 100 ATLANTA, GEORGIA 30339
 770.431.7600 x1202 cbagley@racetrac.com
APPLICANT INFORMATION:
 VINCENT JARRARD AIA
 EURYTHMIC DESIGN GROUP ARCHITECTS
 11700 PRESTON ROAD SUITE 660 DALLAS, TEXAS 75230
 214.361.1934 vincent@edg-architects.com

The Texas Board of Architectural Examiners, P.O. Box 13337 Austin, Texas has jurisdiction over compliance regarding the professional registration of architects in Texas under the Architect Registration Law, Article 2409, Title 16, Texas Government Code.

City of Rockwall Project Plan Review History



Project Number SP2016-009	Owner 2804 RIDGE, LLC,	Applied 4/15/2016	LM
Project Name Panera Bread	Applicant COLE	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status STAFF REVIEW		Status 4/15/2016	LM

Site Address 2804 RIDGE RD	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision CARLISLE PLAZA ADDN	Tract 1	Block	Lot No 1	Parcel No 4807-0000-0001-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	4/15/2016	4/22/2016	4/22/2016	7	APPROVED	
ENGINEERING	Amy Williams	4/15/2016	4/22/2016	4/19/2016	4	COMMENTS	See Comments
(4/19/2016 3:22 PM AW) Show distances from edges of driveways to the next driveway edge up and downstream Need to show existing driveways Need to show drainage/detention easement Parking adjacent to the building to be 20'x9' The non-adjacent 90 degree parking is to have a "clear" two foot overhang and it can't be on the adjacent property Need off-site cross access easement to allow for driveway and dumpster All concrete to be steel reinforced Remove one of the angled parking (see markup) The existing water line shown on the plan is a 1" not an 8". An 8" water line extension will be required to serve the fire coverage/fire hydrant(s) and services. The dumpster will require a drain for the runoff to drain to the grease trap. Need to add a note that the dimensions are to face of curbEngineering Comments on plans.							
FIRE	Ariana Hargrove	4/15/2016	4/22/2016	4/22/2016	7	COMMENTS	See comments

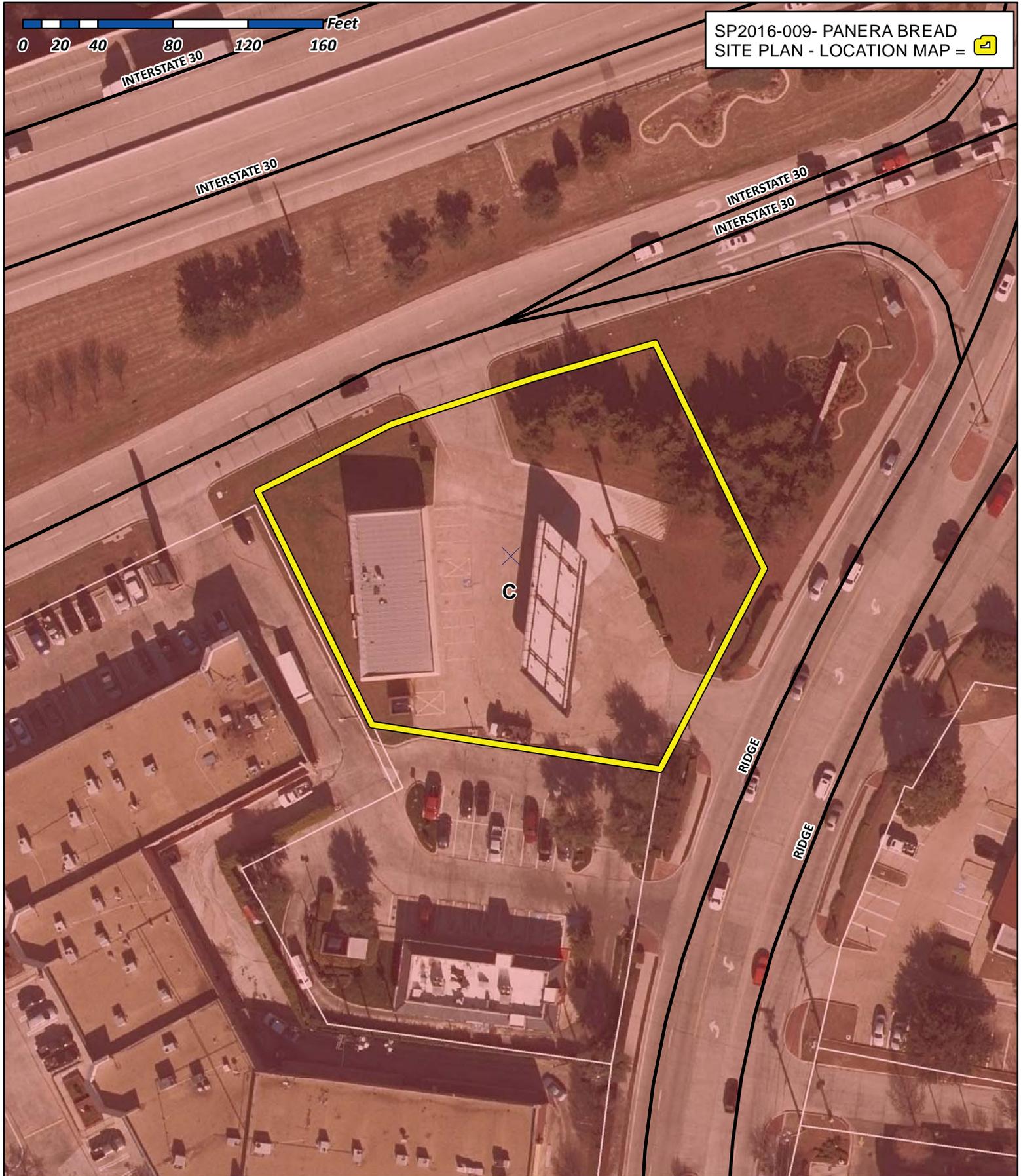
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(4/22/2016 10:53 AM AA) Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants on public streets are allowed to be considered as available where streets are not provided with median dividers which cannot be crossed by fire fighters pulling hose lines.) Access to 2 fire hydrants are listed above will be required to meet the needed fire flow of 1750 gpm/2hr, if not fire sprinklered. Show location of all hydrants being used to meet this requirement. An automatic sprinkler system shall be provided for Group A-2 occupancies where the fire area has an occupant load of 100 or more. Confirm total building occupant load including all seating and staff areas. Additional comment will apply if fire sprinklers are required.							
GIS (4/20/2016 4:41 PM LS) Assigned Address will be: 2804 RIDGE RD, ROCKWALL, TX 75032	Lance Singleton	4/15/2016	4/22/2016	4/20/2016	5	APPROVED	See Comments
PLANNING	David Gonzales	4/15/2016	4/22/2016	4/21/2016	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Eric Morff of Cole on behalf of the owner 2804 Ridge, LLC for the approval of site plan for a restaurant with drive-through (i.e. Panera Bread) on a 0.93-acre parcel of land identified as Lot 2 of the Road Runner Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) & Scenic Overlay (SOV) Districts, addressed as 2804 S. Goliad Street, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday, May 3, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required. 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO). 3. Label site plan documents with "Case No. SP2016-009" at the lower right corner of each plan. 4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department. The sign plan submitted with this package is considered to be NOT ACCEPTED and therefore is not a part of the approval process for this Site Plan. <p>Variances to the IH-30 Overlay (IH-30 OV) & Scenic Overlay District Required (per submittal):</p> <ol style="list-style-type: none"> 1. Variance request to allow for a roof design that does not meet the required pitched roof standard of the IH-30 OV and SOV District standards. <p>** Variances to the IH-30 OV & SOV requires a 3/4 majority vote of council for approval **</p> <p>Please address the following Planning Comments for each plan submitted:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1. Re-label Firelane,...etc. as "26-ft Firelane & Public Access Easement." 2. Dumpster enclosure walls are to be a minimum of 8-ft in height with materials to match the primary structure with an opaque gate and a self latching mechanism. Provide detail and label as such. <p>Landscape Plan:</p> <ol style="list-style-type: none"> 1. Ridge Road is within the SOV and requires four 4" canopy trees and three 4ft height accent trees per 100 linear feet of frontage. Provide a minimum of 3 canopy and 4 accent trees. Also, correct 'Street Frontage Landscaping' table to reflect the corrections. 2. The OV districts require one row of trees at the perimeter behind the building. <p>Treescape Plan:</p> <ol style="list-style-type: none"> 1. The trees to be removed are indicated as cedar trees that are less than 11 inches in diameter; therefore, no tree mitigation is required for this submittal. <p>Photometric Plan:</p> <ol style="list-style-type: none"> 1. The lighting pole standards are not to exceed a maximum overall height of 20-ft (includes pole, base, fixtures, etc.) per the SOV standards. Provide detail indicating as such. 2. All lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare. The cut sheets provide indicate flood lamps and exposed bulbs (wall packs), which are not an approved lighting source. Provide new lighting sources meeting the City's standards. 						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>3. The lighting levels along property lines are not to exceed 0.2-FC in order to reduce glare. The lighting levels are not represented/extended to the property line(s). Resubmit photometric plan in compliance with standards and indicate all property lines.</p>						
<p>Building Elevations:</p>						
<p>1. All mechanical equipment requires screening from rights-of-way and adjacent properties. Provide detail of screening mechanism to be used. If RTU's, dash-in on elevations.</p>						
<p>2. Variance to the pitched roof standard as listed above.</p>						
<p>3. Identify the CMU product on the South Exterior Elevation - Custom CMU heavy block required (e.g. split face, burnished, sand blasted).</p>						
<p>4. The building elevations are required to be reviewed by the Architectural Review Board prior to approval.</p>						
<p>The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.</p>						
<p>Meeting Dates to Attend:</p>						
<p>Architectural Review Board - Discussion: April 26, 2016 (5:00 p.m.)</p>						
<p>Planning - Discussion: April 26, 2016 (6:00 p.m.)</p>						
<p>Planning - Action: May 10, 2016 (6:00 p.m.)</p>						
<p>City Council - Action: May 16, 2016 (6:00 p.m.) [FOR VARIANCE REQUESTS ONLY]</p>						

0 20 40 80 120 160 Feet

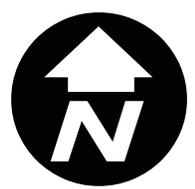
SP2016-009- PANERA BREAD
SITE PLAN - LOCATION MAP = 



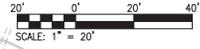
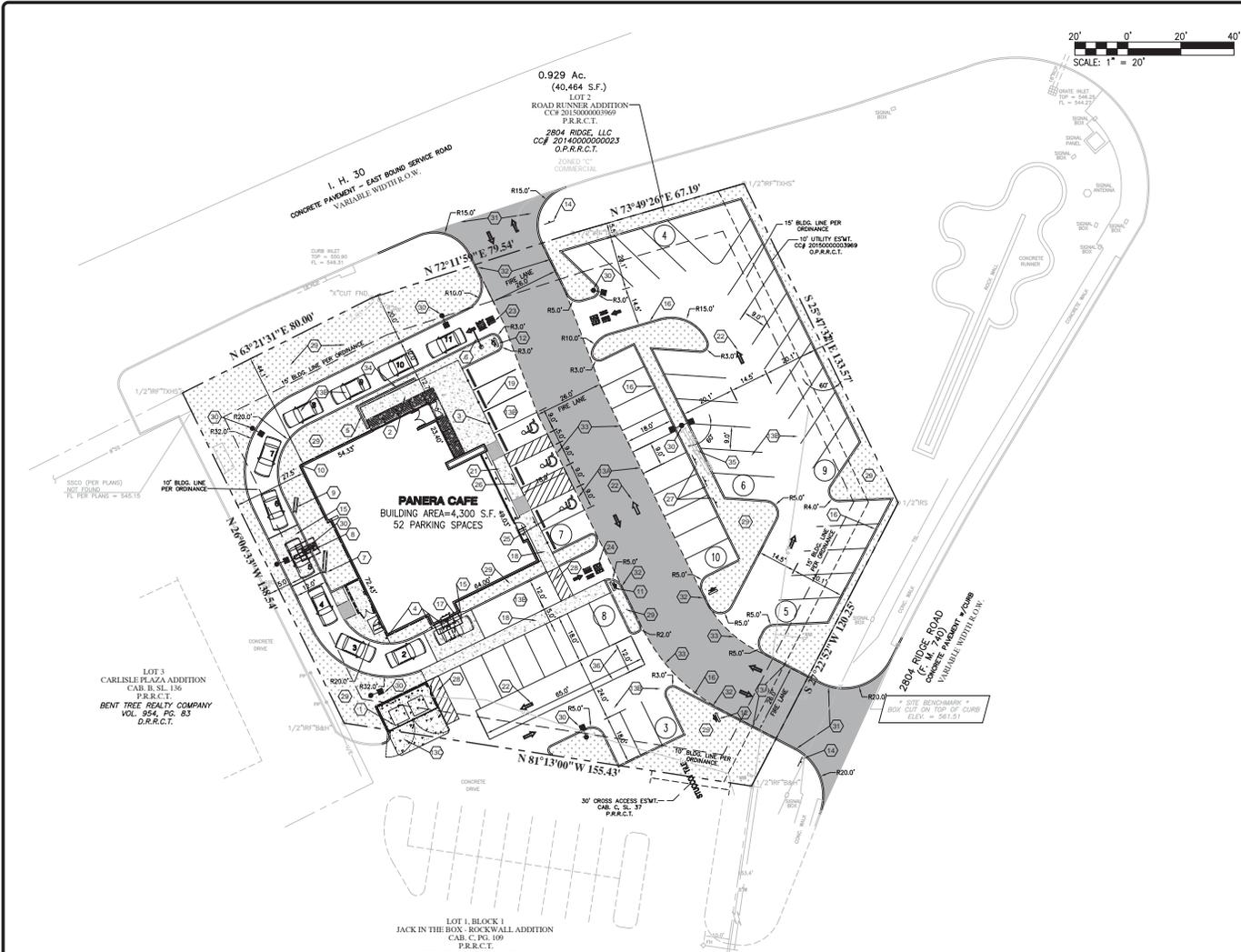
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

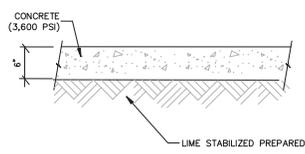


USER: C:\Users\mhw\OneDrive\Documents\2024\04\20240408_Cole_Plan\Project\DWG\20240408_Cole_Plan.dwg
 DATE: 04/15/2024 10:00:00 AM
 PLOT: 20240408_Cole_Plan.dwg
 PLOT DATE: 04/15/2024 10:00:00 AM



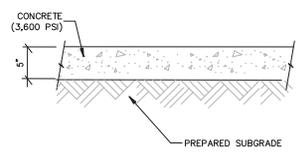
KEYED NOTES:

- ① NEW TRASH ENCLOSURE.
- ② NEW PATIO AREA.
- ③ NEW 4" BOLLARD(S).
- ④ NEW 6" BOLLARD(S).
- ⑤ NEW PATIO HANDRAIL WITH INTEGRATED BOLLARDS.
- ⑥ NEW CLEARANCE BAR.
- ⑦ NEW MENU BOARD.
- ⑧ NEW MENU CANOPY.
- ⑨ NEW PREVIEW BOARD.
- ⑩ NEW BUILDING MOUNTED CAMERA.
- ⑪ NEW "DO NOT ENTER / THANK YOU" SIGN.
- ⑫ NEW "DRIVE-THRU" SIGN.
- ⑬ NEW HEAVY DUTY CONCRETE PAVEMENT.
- ⑭ NEW LIGHT DUTY CONCRETE PAVEMENT.
- ⑮ NEW REFUSE AREA CONCRETE PAVEMENT.
- ⑯ NEW "STOP" SIGN.
- ⑰ NEW CONCRETE PAD WITH SENSOR LOOP.
- ⑱ NEW 6" VERTICAL CONCRETE CURB (STANDARD SECTION).
- ⑲ NEW 6" VERTICAL CONCRETE CURB (WIDE SECTION).
- ⑳ NEW TURNED DOWN CONCRETE WALK.
- ㉑ NEW WHEEL STOPS (7 TOTAL).
- ㉒ NEW FLARED ACCESSIBLE RAMP WITH TRUNCATED DOMES IN SIDEWALK.
- ㉓ NEW PARALLEL ACCESSIBLE RAMP WITH TRUNCATED DOMES IN SIDEWALK.
- ㉔ NEW TRAFFIC FLOW ARROW.
- ㉕ NEW "DRIVE-THRU" STRIPING AND TRAFFIC FLOW ARROW.
- ㉖ NEW "DO NOT ENTER" STRIPING AND TRAFFIC FLOW ARROWS.
- ㉗ NEW ACCESSIBLE PARKING PAINTED SYMBOL AND STRIPING (3 TOTAL).
- ㉘ NEW ACCESSIBLE PARKING AND FINE SIGN(S) IN BOLLARD (3 TOTAL).
- ㉙ NEW RAPID PICK UP SIGNS.
- ㉚ NEW PAINTED AISLE.
- ㉛ NEW LANDSCAPE AREA.
- ㉜ NEW SITE LIGHTING.
- ㉝ NEW STANDARD DRIVE APPROACH PER CITY OF ROCKWALL STANDARDS.
- ㉞ NEW CURB TO BE PAINTED RED WITH CONTRASTING WHITE LETTERS READING "NO PARKING FIRE LANE" PER ROCKWALL FIRE PROTECTION STANDARDS.
- ㉟ NEW RED PAINTED STRIPE WITH CONTRASTING WHITE LETTERS READING "NO PARKING FIRE LANE" PER ROCKWALL FIRE PROTECTION STANDARDS.
- ㊱ SEGMENTAL RETAINING WALL.
- ㊲ EXISTING PYLON SIGN TO REMAIN AND BE REFACED.
- ㊳ NEW 12'X65' LOADING AREA.



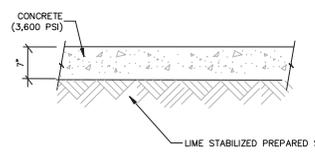
NOTE:
 PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.
 CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES "GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

1 HEAVY DUTY CONCRETE DETAIL
 SCALE: N.T.S. REF. DWG. ???



NOTE:
 PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.
 CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES "GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

2 LIGHT DUTY CONCRETE DETAIL
 SCALE: N.T.S. REF. DWG. ???



NOTE:
 PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.
 CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES "GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

3 REFUSE AREA CONCRETE DETAIL
 SCALE: N.T.S. REF. DWG. ???



CALL 8-1-1 or 1-800-344-8377 (TEXAS ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

CITY CASE #

NO.	REVISION DESCRIPTION	DATE

DEVELOPER/OWNER:
PANERA LLC
 3830 SOUTH OXFORD ROAD, SUITE 100
 ST. LOUIS, MO 63027
 (314) 384-2646

THESE DOCUMENTS, INCLUDING ALL ATTACHED SCHEDULES, SPECIFICATIONS, AND ANY OTHER INFORMATION, ARE THE PROPERTY OF COLE ENGINEERING & SURVEYING, P.A. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF COLE ENGINEERING & SURVEYING, P.A.

Panera Café #1892
 2804 RIDGE ROAD
 ROCKWALL, TX 75087



COLE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 3115 W. WOODBRIDGE BLVD.
 SUITE 200
 FORT WORTH, TX 76107
 (817) 335-8800

DESIGN/CALC. BY: CAW
 DRAWN BY: CAW
 CHECKED BY: CNM
 DRAWING SCALE:
 DATE: 04/15/2024
 Job Number: 15-0157
 Sheet Number: C2.0

811



DRIVE-THRU LANE
 Illuminance (Fc)
 Average=4.14 Maximum=12.0
 Minimum=1.6 Avg/Min=2.59 Max/Min=7.50

DRIVE-THRU MENU
 Illuminance (Fc)
 Average=3.10 Maximum=4.2
 Minimum=2.6 Avg/Min=1.19 Max/Min=1.62

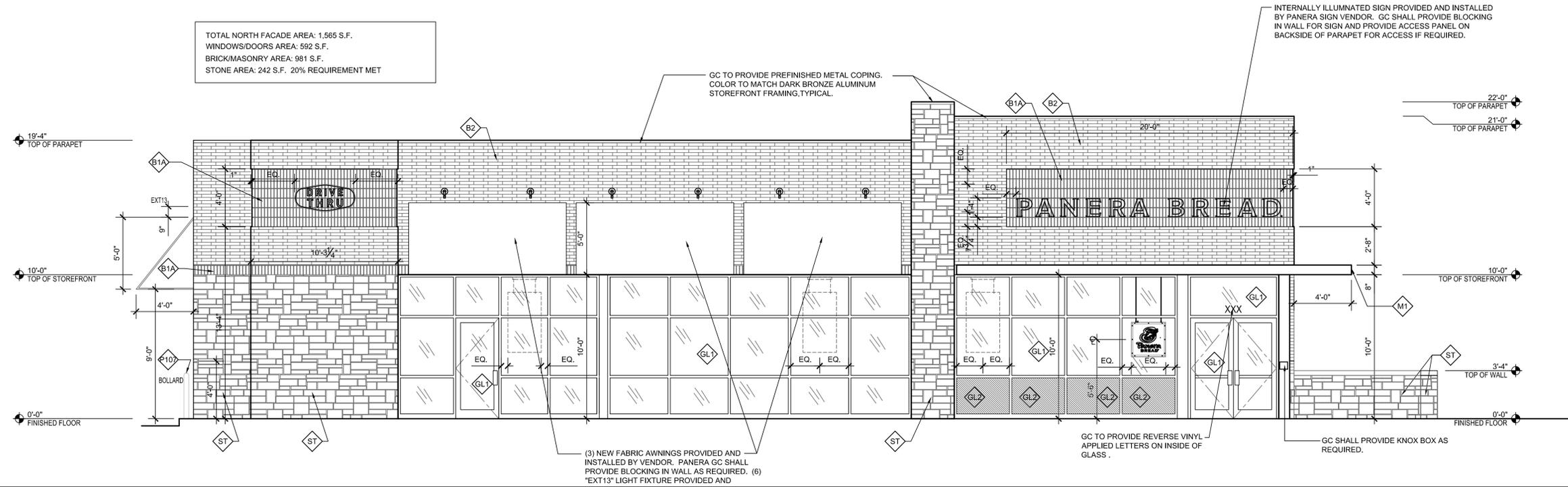
DRIVE-THRU WINDOW
 Illuminance (Fc)
 Average=11.97 Maximum=19.9
 Minimum=4.1 Avg/Min=2.92 Max/Min=4.85

PARKING LOT
 Illuminance (Fc)
 Average=2.04 Maximum=4.3
 Minimum=0.1 Avg/Min=20.40 Max/Min=43.00

Luminaire Schedule				
Symbol	Qty	Label	Description	
	2	Type S5	ECF-5-215LA-641A-NW	
	3	Type S1	ECF-3-215LA-641A-NW-IS	
	1	Type S2	ECF-5-215LA-641A-NW	
	1	Type S3	ECF-2-215LA-641A-NW	
	1	Type S4	ECF-2-70LA-3270-NW	

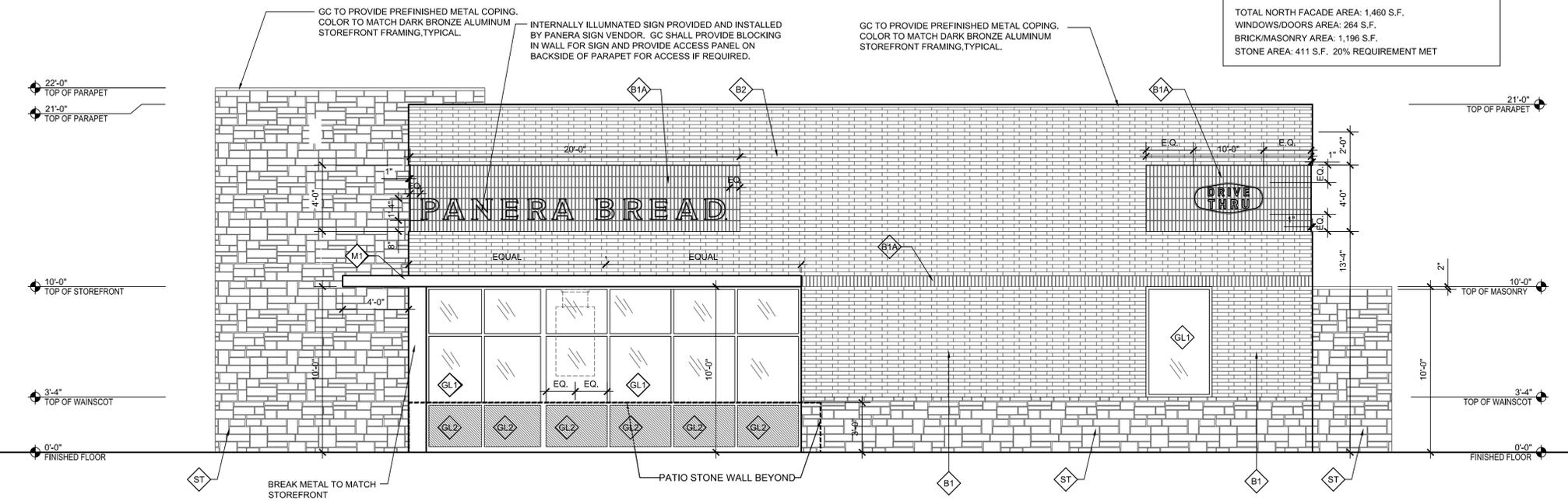


TOTAL NORTH FACADE AREA: 1,565 S.F.
WINDOWS/DOORS AREA: 592 S.F.
BRICK/MASONRY AREA: 981 S.F.
STONE AREA: 242 S.F. 20% REQUIREMENT MET



22 EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

TOTAL NORTH FACADE AREA: 1,460 S.F.
WINDOWS/DOORS AREA: 284 S.F.
BRICK/MASONRY AREA: 1,196 S.F.
STONE AREA: 411 S.F. 20% REQUIREMENT MET



24 NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS:

- INDICATED BY SYMBOL
- BRICK - ENDICOTT OR LOCAL - DARK IRONSPOT, SIZE: MODULAR, TEXTURE: SMOOTH, RUNNING BOND
 - BRICK - ENDICOTT OR LOCAL - DARK IRONSPOT, SIZE: MODULAR, TEXTURE: SMOOTH, SOLDIER COURSE
 - BRICK - ENDICOTT OR LOCAL - GOLDEN BUFF, SIZE: NORMAN, TEXTURE: SMOOTH, RUNNING BOND
 - NATURAL LIMESTONE - SALADO QUARRY - SONOMA COLOR: CAVE, HEIGHTS 4'-12" (TYP.), 3'-5" THICKNESS (TYP.)
 - ALUMINUM STOREFRONT - KAWNEER OR EQUAL COLOR: DARK BRONZE, 1" INSULATED GLAZING (TYP.)
 - ALUMINUM STOREFRONT - KAWNEER OR EQUAL COLOR: DARK BRONZE, 1" INSULATED GLAZING (TYP.) W/FROSTED GLASS OR FILM
 - MAPES CANOPIES SUNSHADE: 6" PROFILE, PAINT TO MATCH STOREFRONT



Project: PANERA BREAD
 Location: ROCKWELL
 Cat.No: ECF-3-215LA-641A-NW-IS
 Type: S1
 Qty:
 Notes:

EcoForm combines economy with performance in an LED area luminaire. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion response and wireless controls are available for further energy savings during off peak hours.

Ordering guide

example: ECF-APD-MRO-1-4-75LA-NW-120-NP-LF

Prefix	Controls	Mounting	Optics	LED Wattage	Color Temp	Voltage	Finish	Options
ECF								
ECF EcoForm	<p>— Standard luminaire (leave blank)</p> <p>DIM 0-10V Dimming</p> <p>APD¹ Auto Profile Dimming</p> <p>APD-MRO² Auto Profile Dimming and Motion Response Override pole mounted motion sensor</p> <p>APD-MRI^{2,3} APD with Motion Response Override luminaire sensor</p> <p>MRI^{2,3} Motion Response at 50% low luminaire sensor</p> <p>MR50² Motion Response at 50% low, pole mounted sensor</p> <p>LimeLight Wireless Controls</p> <p>LLC2^{1,5} #2 lens for 8-15' mounted heights</p> <p>LLC3^{1,5} #3 lens for 15-25' mounted heights</p> <p>LLC4^{1,5} #4 lens for 25-40' mounted heights</p>	<p>1 Standard</p> <p>2 2@180</p> <p>2@90 2@90</p> <p>3 3@90</p> <p>3@120 3@120</p> <p>4 4@90</p> <p>WS Wall mount including surface conduit rear entry permitted</p> <p>MA Mast Arm Fitter (requires 2-3/8" O.D. Mast Arm)</p>	<p>2 Type 2</p> <p>3 Type 3</p> <p>4 Type 4</p> <p>5 Type 5</p>	<p>530 mA</p> <p>55LA-3253¹</p> <p>75LA-4853</p> <p>100LA-6453</p> <p>700mA</p> <p>70LA-3270</p> <p>105LA-4870</p> <p>135LA-6470</p> <p>1050mA</p> <p>105LA-321A¹</p> <p>160LA-481A</p> <p>215LA-641A</p>	<p>CW Cool White 5,700K 70 CRI (nominal)</p> <p>NW Neutral White 4,000K 70 CRI (nominal)</p> <p>WW⁴ Warm White 3,000K 70 CRI (nominal)</p>	<p>120 120V</p> <p>208 208V</p> <p>240 240V</p> <p>277 277V</p> <p>347 347V</p> <p>480 480V</p> <p>UNV 120-277V 50hz/60hz</p> <p>HVU 347-480V 50hz/60hz</p>	<p>BRP Bronze Paint</p> <p>BLP Black Paint</p> <p>WP White Paint</p> <p>NP Natural Paint</p> <p>OC Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024)</p> <p>SC Special color Specify, must supply color chip. Requires factory quote.</p>	<p>TL Tool-Less entry and driver removal hardware</p> <p>TB³ Terminal Block</p> <p>IS⁶ Internal Shield</p> <p>LF⁷ Line Fusing</p> <p>LFC⁷ Line Fusing for Canada</p> <p>PC^{5,7,8} Receptacle with Photocell (Includes PCR5)</p> <p>PCB^{5,7,8} Photocell Button</p> <p>PCRS^{5,11,13} Photocell Receptacle only with 2 dimming connections</p> <p>PCR7^{5,12,13} Photocell Receptacle only with 2 dimming and 2 auxiliary connections</p> <p>RAM Retrofit Arm Mount kit</p> <p>PTF2⁹ Pole Top Fitter for 2 3/8"- 3" Tenon</p> <p>PTF3⁹ Pole Top Fitter for 3"- 3 1/2" Tenon</p> <p>PTF4⁹ Pole Top Fitter for 3 1/2"- 4" Tenon</p> <p>RPA¹⁰ Round Pole Adapter for 3"- 3.9" O.D.</p> <p>BD Bird Deterrent (field installed only)</p>

- Available in 120V-277V Voltages only (UNV, 120, 208, 240 & 277).
- MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See page 2 for Accessories. Available in 120V or 277V only.
- ECF-MRI requires outboarded sensor when used with Terminal Block (TB) Option.
- Contact factory for lead times on warm white.
- LLC2/LLC3/LLC4 Wireless Controls are not configurable with PC/PCB/PCR5/PCR7 Options. See page 7-8 for more info.
- Not configurable with Type 5 (5) Optics.
- Not configurable with 120-277V (UNV) Voltage. Voltage must be specified.
- Not configurable with 480V (480) Voltage.
- Not configurable with 3@120 (3@120) Mounting.
- No adaptor required for 4" round poles. RPAs provided with Black Paint standard.
- Works with 3-pin or 5-pin NEMA photocell/dimming device.
- Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
- If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.

ECF EcoForm

Site & Area

EcoForm Accessories (order separately)

FS1R-100

MR hand held programmer

For use with 'MRI' motion response when field programming is required. If desired, only one is needed per job.

MS-A-120V

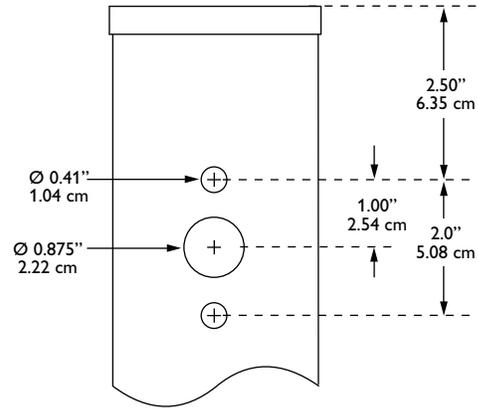
120V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

MS-A-277V

277V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

Note: Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

EcoForm Drill Template (standard arm mount)



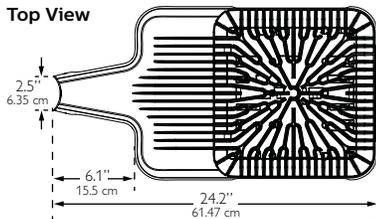
LED Wattage and Lumen Values (standard EcoForm luminaire)

Order Code (standard units)	Array Quantity	Total LEDs	LED Current (mA)	Average System Watts ¹	LED Selection	Initial Lumens ²			
						2 Type 2	3 Type 3	4 Type 4	5 Type 5
55LA-3253	2	32	530	52	NW	5,994 (s)	5,895 (s)	5,823 (s)	5,588 (s)
75LA-4853	3	48	530	77	NW	8,899 (s)	8,753 (s)	8,646 (s)	8,297 (s)
100LA-6453	4	64	530	103	NW	11,896 (s)	11,700	11,558	11,091
70LA-3270	2	32	700	69	NW	7,385 (s)	7,576 (s)	7,293 (s)	7,068 (s)
105LA-4870	3	48	700	104	NW	10,965 (s)	11,249 (s)	10,828 (s)	10,494 (s)
135LA-6470	4	64	700	139	NW	14,657 (s)	15,037	14,475 (s)	14,028
105LA-321A	2	32	1050	107	NW	10,199 (s)	10,458	10,072 (s)	9,767
160LA-481A	3	48	1050	158	NW	15,144 (s)	15,565	14,955 (s)	14,465
215LA-641A	4	64	1050	211	NW	20,243	20,252	19,991	19,880

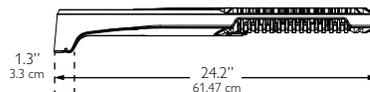
1. System input wattage may vary based on input voltage, by up to +/- 10% , and based on manufacturer forward voltage, by up to +/- 8%.
 2. Lumen values based on photometric tests performed in compliance with IESNA LM-79.
- (s). Data is scaled based on tests of similar, but not identical, luminaires.

Dimensions – Standard EcoForm luminaire

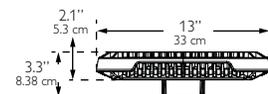
Top View



Side View



End View



EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.2 / 0.019	0.5 / 0.046	0.5 / 0.046

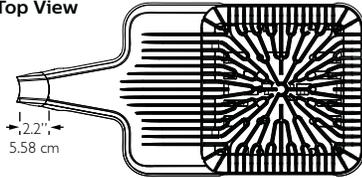
Approximate Luminaire Weight:
20 Lbs (9.07 Kg)

ECF EcoForm

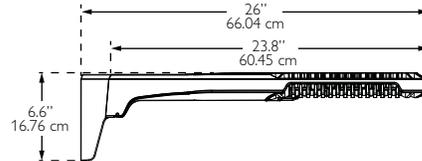
Site & Area

Dimensions – EcoForm with Retrofit Arm Mount (RAM)

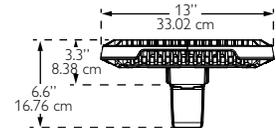
Top View



Side View



End View



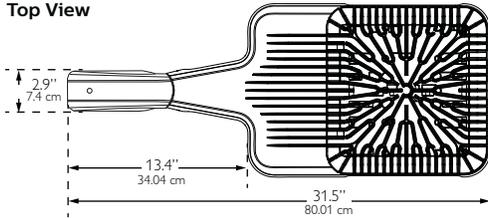
EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.3 / 0.028	0.6 / 0.056	0.7 / 0.065

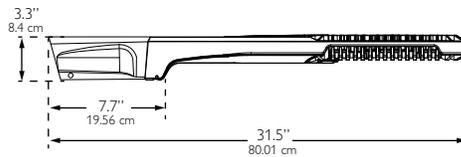
Approximate Luminaire Weight:
21 Lbs (9.53 Kg)

Dimensions – EcoForm with Mast Arm Fitter (MA)

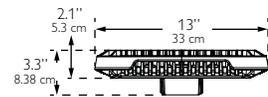
Top View



Side View



End View



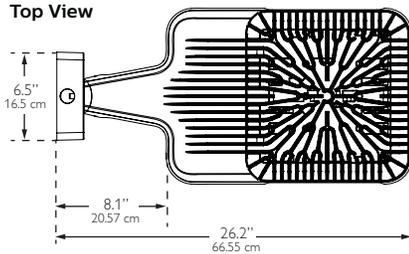
EPA (ft²/m²)

Single
0.51 / 0.047

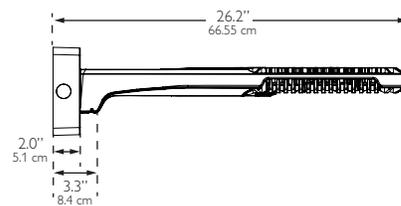
Approximate Luminaire Weight:
21.5 Lbs (9.77 Kg)

Dimensions – EcoForm with Wall Mount (WS)

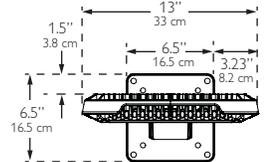
Top View



Side View



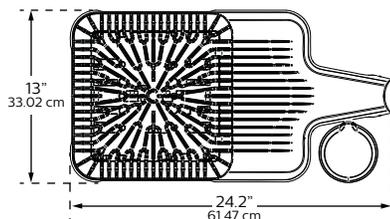
End View



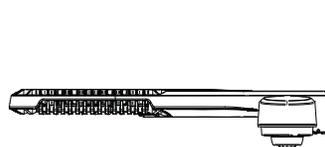
Approximate Luminaire Weight:
23.36 Lbs (10.6 Kg)

Dimensions – EcoForm with LimeLight Luminaire mounted controller

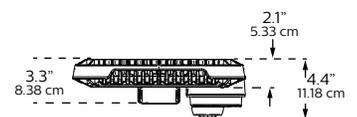
Top View



Side View



End View



ECF EcoForm

Site & Area

Luminaire Configuration Information

ECF

Philips Gardco EcoForm LED standard luminaire providing constant wattage and constant light output when power to the luminaire is energized.

ECF-DIM

Philips Gardco EcoForm LED luminaire provided with 0-10V dimming for connection to a control system provided by others.

ECF-APD

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming. Luminaire is provided with a Philips DynaDimmer module, programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously recalculated by the Philips DynaDimmer module based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point.

ECF-APD is available in 120V–277V input only.

ECF-APD Dimming Profile:

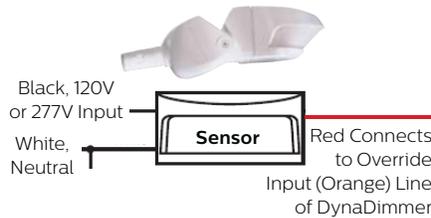
100%	2 hours 50%	6 hours 50%	100%
Power On	Mid Point	Power Off	

ECF-MR50

Philips Gardco EcoForm LED luminaire with motion response, providing a 50% power reduction on low and a commensurate reduction in light output. The power and light output reduction is accomplished utilizing the Philips DynaDimmer module, programmed for a constant 50% power. Power supplied by the motion sensor connected to the override line on the DynaDimmer takes the luminaire to high setting, 100% power and light output, when motion is detected. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

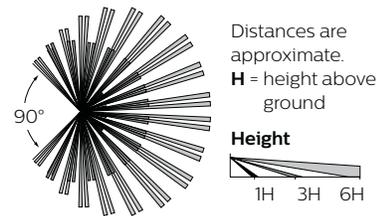
ECF-MR50 is available in 120V–277V input only to the luminaire. Motion sensors require single voltage 120V or 277V input.

The Area PIR motion sensor is the WattStopper EW-200-120-W (120V Input – MSA-120V) or the WattStopper EW-200-277-W (277V Input – MSA-277V.) One motion sensor per pole is required and is ordered separately. Area sensors require single voltage 120V or 277V input.



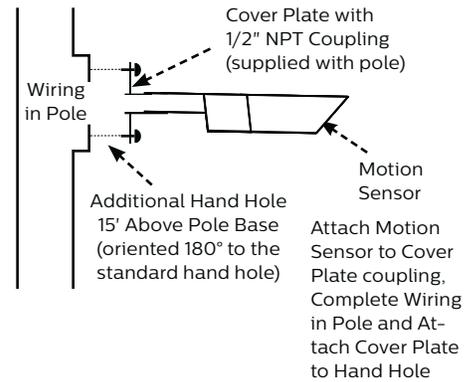
The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Area PIR Motion Sensor Coverage Pattern:



Motion response requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole.

Mounting to a Philips Gardco Pole:



ECF-APD-MRO

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming, with Motion Response Override. The ECF-APD-MRO combines the benefits of both automatic profile dimming and motion response, using the Philips DynaDimmer module. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for the ECF-APD. If motion is detected during the time that the luminaire is operating at 50%, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

Notes:

ECF-APD-MRO is available in 120V through 277V input only to luminaire. The motion sensor requires either 120V or 277V input to the motion sensor.

The ECF-APD-MRO has the same pole requirements and utilizes the same motion sensors as the ECF-MR50. The motion sensor mounts and wires identically as well. The ECF-APD-MRO utilizes the identical dimming profile as shown for the ECF-APD.

By combining the benefits of automatic profile dimming and motion response, the ECF-APD-MRO assures maximum energy savings, and insures that adequate light is present if motion is detected.

All motion sensors utilized consume 0.0 watts in the off state.

ECF EcoForm

Site & Area

Luminaire Configuration Information (Continued)

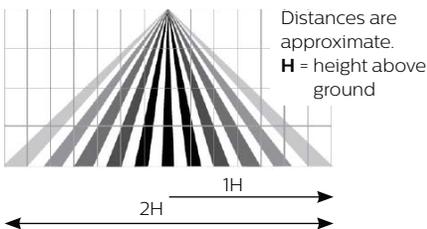
ECF-MRI

Luminaires with Motion Response include a LED driver and an integral programmable motion sensor. The motion sensor is set to a constant 50%. When motion is detected, the luminaire goes to 100%. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes. Available with 120V or 277V only.

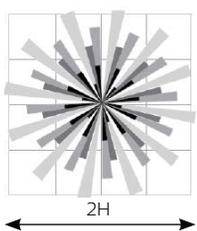
Luminaires include a passive infrared (PIR) motion sensor, WattStopper® FSP-211 equipped with an FSP-L3 lens, capable of detecting motion within 20 feet of the sensor, 180° around the luminaire, when placed at a 20 foot mounting height, or mounted on a wall. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts.

The approximate motion sensor coverage pattern is as shown below.

Side Coverage Pattern



Top Coverage Pattern



ECF-APD-MRI



Luminaires with Automatic Profile Dimming and Motion Response Override combine the benefits of both automatic profile dimming and motion response. APD-MRI luminaires utilize Philips DynaDimmer. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for APD luminaires (see page 4). If motion is detected during the time that the luminaire is operating at 50%, the luminaire goes to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes.

APD-MRI luminaires are available with 120V or 277V input voltages only.

APD-MRI luminaires use the identical motion sensor as MRI luminaires. See motion sensor details for ECF-MRI.

FS1R-100 Wireless Remote Programming Tool

The FS1R-100 Remote Programming Tool accessory permits adjustment of ECF-MRI and ECF-APD-MRI sensor settings, including duration and dimming level on low, without the need to connect any wires to the luminaire.

The FS1R-100 Wireless IR Programming Tool is a handheld tool for setup and testing of WattStopper FSP-211. It provides wireless access to the FSP-211 sensors for setup and parameter changes.

The FS1R-100 display shows menus and prompts to lead you through each process. The navigation pad provides a familiar way to navigate through the customization fields.

Within a certain mounting height of the sensor, the FS1R-100 allows modification of the system without requiring ladders or tools simply with a touch of a few buttons.

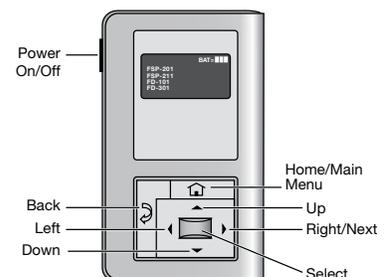
The FS1R-100 IR transceiver allows bi-directional communication between the FSP-211 and the FS1R-100 programming tool. Simple menu screens let you see the current status of the system and make changes. It can change FSP-211 sensor parameters such as high/low mode, sensitivity, time delay, cut off and more. With the FS1R-100 you can also establish and store FSP-211 parameter profiles.

The FS1R-100 operates on three standard 1.5V AAA Alkaline batteries or three rechargeable AAA NiMH batteries. The battery status displays in the upper right corner of the display. Three bars next to BAT= indicates a full battery charge. A warning appears on the display when the battery level falls below a minimum acceptable level. To conserve battery power, the FS1R-100 automatically shuts off 10 minutes after the last key press.



You navigate from one field to another using (up) or (down) arrow keys. The active field is indicated by flashing (alternates between yellow text on black background and black text on yellow background.)

Once active, use the Select button to move to a menu or function within the active field. Value fields are used to adjust parameter settings. They are shown in "less-than/greater-than" symbols: <value>. Once active, change them using (left) and (right) arrow keys. In general the up key increments and the down key decrements a value. Selections wrap-around if you continue to press the key beyond maximum or minimum values. Moving away from the value field overwrites the original value. The Home button takes you to the main menu. The Back button can be thought of as an undo function. It takes you back one screen. Changes that were in process prior to pressing the key are lost. More information on the FS1R-100 Remote Programming Tool is available at wattstopper.com.



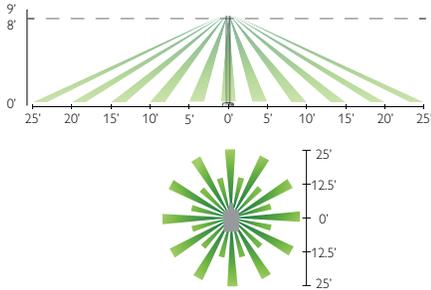
ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with Limelight

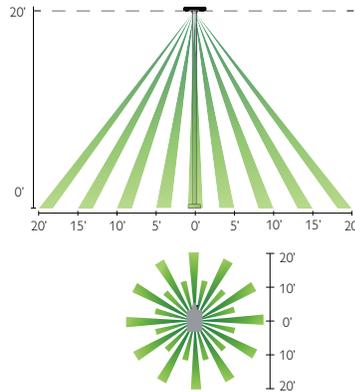
ECF-LLC2

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #2 lens for 8-15' mounting heights.



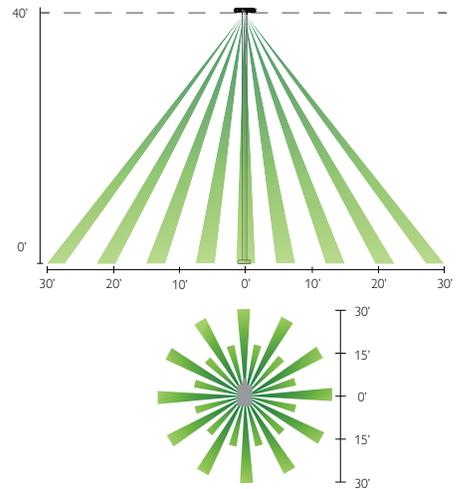
ECF-LLC3

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #3 lens for 15-25' mounting heights.



ECF-LLC4

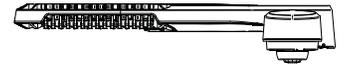
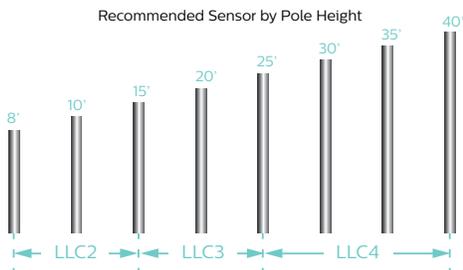
EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #4 lens for 25-40' mounting heights.



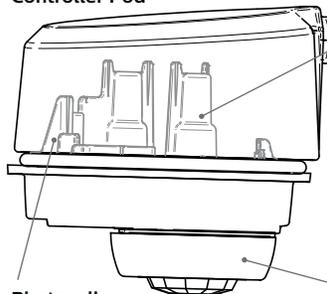
Luminaire Configuration Information – EcoForm with Limelight

ECF-LLC(#)

With this configuration, the controller pod is mounted to the luminaire arm. One controller is required per luminaire. There are three different motion sensor configurations available. Each one corresponds to the desired mounting height that for your specific application. See motion response detection ranges below.



Controller Pod



Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 102-277V RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from gateway
- Reports internal PCB temperature
- Transmission Systems Operating within the band 2400-2483.5Mhz. IEEE 802.15.4
- ROHS Compliant

Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

Motion Response

- Three different lens configurations
- Detects motion through passive InfraRed sensing technology
- Connects directly to radio through modular jack
- Three different mounting heights and detection ranges available

ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with LimeLight (Continued)

Gateway

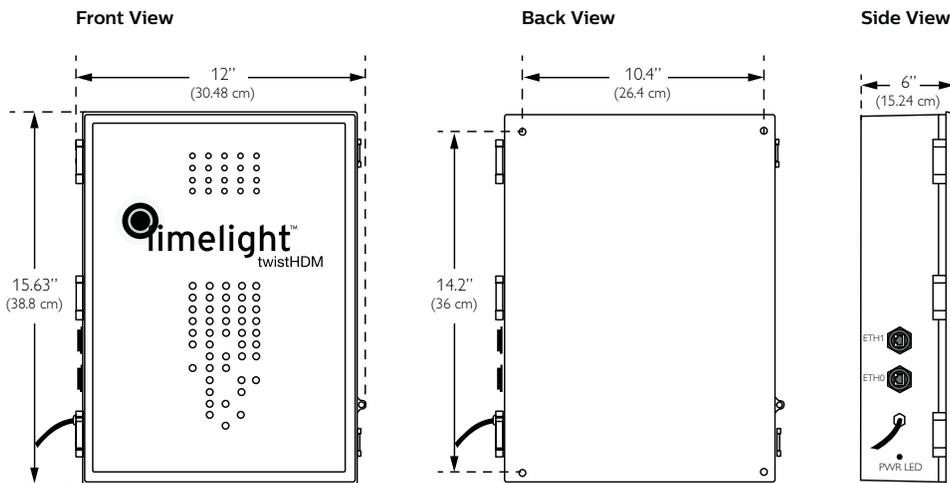
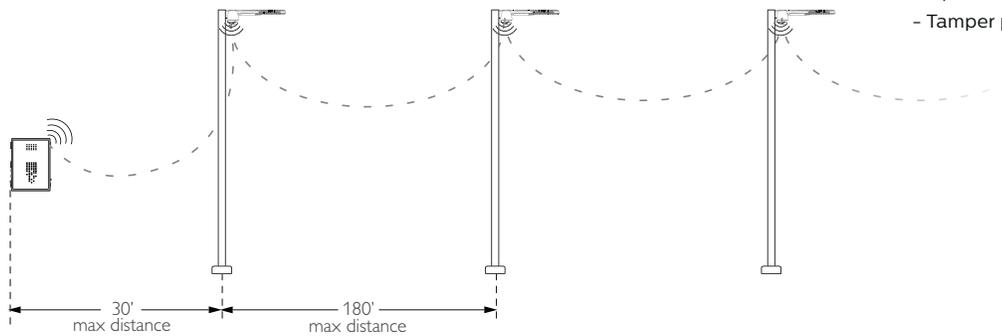
Overview: One gateway is included with the wireless controls system. The gateway opens up communication with the wireless radios installed with the EcoForm luminaires (or pole), allowing you to control your fixtures straight from the web. One LimeLight gateway can communicate with up to 800 fixtures. Typically one unit is required per parking lot.

Installation: Gateway has 4 blind threaded holes on the back side that accept 10-32 screws. Mount spacing is 10.41" across and 14.19" vertical.

Requirements: The gateway must be mounted in a secure on-site location. The gateway requires 120V. Distance of gateway to the first radio varies upon application; contact factory. Strong internet connection required.

Specifications:

- High density RF Mesh coordinator
- Ethernet or wireless internet connection to LimeLight server
- Proprietor of software "rules of operation"
- Watertight Ethernet connections
- Highly protected, long life ac/dc power supply
- Single board, ARM compliant 520Mhz Intel computer.
- Operating Temperature -20°C to 55°C
- Tamper proof housing



Specifications

Housing

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

IP Rating

LED light engine rated IP66.

Vibration Resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

Electrical

Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

LED Board and Array

32, 48, or 64 LEDs. Color temperatures: 3000K, 4000K, 5700K +/- 250K. Minimum CRI of 70. Aluminum metal clad board. RoHS compliant.

LED Thermal Management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

Energy Saving Benefits

System efficacy up to 95 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

LED Performance

Predicted Lumen Depreciation Data¹

Ambient Temperature °C	Driver (mA)	Calculated L ₇₀ Hours ^{1,2}	L ₇₀ Per TM-21 ^{2,3}	Lumen Maintenance % @ 60,000 hours
Up to 40 °C	Up to 1050 mA	> 350,000 hours	> 60,000 hours	97%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours.

Wireless Controls

The LimeLight wireless Controls System includes: gateway, controller pod (with wireless radio, motion response, and photocell), and commissioning/training. LimeLight is an intelligent web-based system that operates through a high density mesh (HDM) wireless technology. Wireless radios with motion response and photocell sensors are integrated with PureForm luminaires, and enable the fixtures to communicate via the ZigBee protocol. The gateway is a mini computer that connects to the internet, and is located in a secure location. The central LimeLight database channels communication to and from the gateway, allowing data to be viewed or managed through the web-based graphical user interface (GUI). See LimeLight pages for details and technical information.

Motion Sensors

ECF-MR50, ECF-APD-MRO, ECF-MRI, ECF-APD-MRI luminaires may be specified for additional energy savings during unoccupied periods. See pages 4-6 for complete details.

Optical Systems

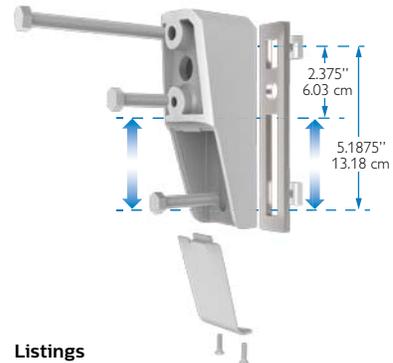
Type 2, 3, 4, and 5 distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, and 4 distributions to control backlight.

Mounting

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles.

Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.



Listings

ETL/cETL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. All EcoForm luminaires equipped with NW and CW are DesignLights Consortium® qualified.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

Warranty

EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer.





Project: PANERA BREAD
 Location: ROCKWELL
 Cat.No: ECF-5-215LA-641A-NW
 Type: S2
 Qty: 1 (DUAL HEAD)
 Notes:



EcoForm combines economy with performance in an LED area luminaire. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion response and wireless controls are available for further energy savings during off peak hours.

Ordering guide

example: ECF-APD-MRO-1-4-75LA-NW-120-NP-LF

Prefix	Controls	Mounting	Optics	LED Wattage	Color Temp	Voltage	Finish	Options
ECF								
ECF EcoForm	<p>— Standard luminaire (leave blank)</p> <p>DIM 0-10V Dimming</p> <p>APD¹ Auto Profile Dimming</p> <p>APD-MRO² Auto Profile Dimming and Motion Response Override pole mounted motion sensor</p> <p>APD-MRI^{2,3} APD with Motion Response Override luminaire sensor</p> <p>MRI^{2,3} Motion Response at 50% low luminaire sensor</p> <p>MR50² Motion Response at 50% low, pole mounted sensor</p> <p>LimeLight Wireless Controls</p> <p>LLC2^{1,5} #2 lens for 8-15' mounted heights</p> <p>LLC3^{1,5} #3 lens for 15-25' mounted heights</p> <p>LLC4^{1,5} #4 lens for 25-40' mounted heights</p>	<p>1 Standard</p> <p>2 2@180</p> <p>2@90 2@90</p> <p>3 3@90</p> <p>3@120 3@120</p> <p>4 4@90</p> <p>WS Wall mount including surface conduit rear entry permitted</p> <p>MA Mast Arm Fitter (requires 2-3/8" O.D. Mast Arm)</p>	<p>2 Type 2</p> <p>3 Type 3</p> <p>4 Type 4</p> <p>5 Type 5</p>	<p>530 mA</p> <p>55LA-3253¹</p> <p>75LA-4853</p> <p>100LA-6453</p> <p>700mA</p> <p>70LA-3270</p> <p>105LA-4870</p> <p>135LA-6470</p> <p>1050mA</p> <p>105LA-321A¹</p> <p>160LA-481A</p> <p>215LA-641A</p>	<p>CW Cool White 5,700K 70 CRI (nominal)</p> <p>NW Neutral White 4,000K 70 CRI (nominal)</p> <p>WW⁴ Warm White 3,000K 70 CRI (nominal)</p>	<p>120 120V</p> <p>208 208V</p> <p>240 240V</p> <p>277 277V</p> <p>347 347V</p> <p>480 480V</p> <p>UNV 120-277V 50hz/60hz</p> <p>HVU 347-480V 50hz/60hz</p>	<p>BRP Bronze Paint</p> <p>BLP Black Paint</p> <p>WP White Paint</p> <p>NP Natural Paint</p> <p>OC Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024)</p> <p>SC Special color Specify, must supply color chip. Requires factory quote.</p>	<p>TL Tool-Less entry and driver removal hardware</p> <p>TB³ Terminal Block</p> <p>IS⁶ Internal Shield</p> <p>LF⁷ Line Fusing</p> <p>LFC⁷ Line Fusing for Canada</p> <p>PC^{5,7,8} Receptacle with Photocell (Includes PCR5)</p> <p>PCB^{5,7,8} Photocell Button</p> <p>PCRS^{5,11,13} Photocell Receptacle only with 2 dimming connections</p> <p>PCR7^{5,12,13} Photocell Receptacle only with 2 dimming and 2 auxiliary connections</p> <p>RAM Retrofit Arm Mount kit</p> <p>PTF2⁹ Pole Top Fitter for 2 3/8"- 3" Tenon</p> <p>PTF3⁹ Pole Top Fitter for 3"- 3 1/2" Tenon</p> <p>PTF4⁹ Pole Top Fitter for 3 1/2"- 4" Tenon</p> <p>RPA¹⁰ Round Pole Adapter for 3"- 3.9" O.D.</p> <p>BD Bird Deterrent (field installed only)</p>

- Available in 120V-277V Voltages only (UNV, 120, 208, 240 & 277).
- MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See page 2 for Accessories. Available in 120V or 277V only.
- ECF-MRI requires outboarded sensor when used with Terminal Block (TB) Option.
- Contact factory for lead times on warm white.
- LLC2/LLC3/LLC4 Wireless Controls are not configurable with PC/PCB/PCR5/PCR7 Options. See page 7-8 for more info.
- Not configurable with Type 5 (5) Optics.
- Not configurable with 120-277V (UNV) Voltage. Voltage must be specified.
- Not configurable with 480V (480) Voltage.
- Not configurable with 3@120 (3@120) Mounting.
- No adaptor required for 4" round poles. RPAs provided with Black Paint standard.
- Works with 3-pin or 5-pin NEMA photocell/dimming device.
- Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
- If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.

ECF EcoForm

Site & Area

EcoForm Accessories (order separately)

FS1R-100

MR hand held programmer

For use with 'MRI' motion response when field programming is required. If desired, only one is needed per job.

MS-A-120V

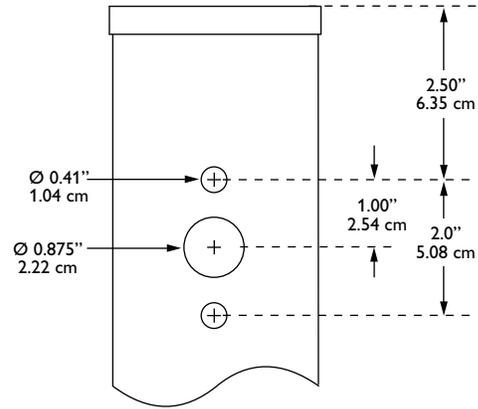
120V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

MS-A-277V

277V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

Note: Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

EcoForm Drill Template (standard arm mount)



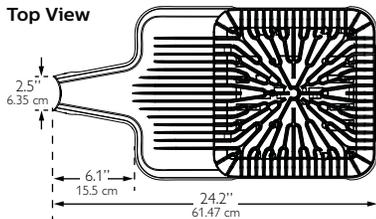
LED Wattage and Lumen Values (standard EcoForm luminaire)

Order Code (standard units)	Array Quantity	Total LEDs	LED Current (mA)	Average System Watts ¹	LED Selection	Initial Lumens ²			
						2 Type 2	3 Type 3	4 Type 4	5 Type 5
55LA-3253	2	32	530	52	NW	5,994 (s)	5,895 (s)	5,823 (s)	5,588 (s)
75LA-4853	3	48	530	77	NW	8,899 (s)	8,753 (s)	8,646 (s)	8,297 (s)
100LA-6453	4	64	530	103	NW	11,896 (s)	11,700	11,558	11,091
70LA-3270	2	32	700	69	NW	7,385 (s)	7,576 (s)	7,293 (s)	7,068 (s)
105LA-4870	3	48	700	104	NW	10,965 (s)	11,249 (s)	10,828 (s)	10,494 (s)
135LA-6470	4	64	700	139	NW	14,657 (s)	15,037	14,475 (s)	14,028
105LA-321A	2	32	1050	107	NW	10,199 (s)	10,458	10,072 (s)	9,767
160LA-481A	3	48	1050	158	NW	15,144 (s)	15,565	14,955 (s)	14,465
215LA-641A	4	64	1050	211	NW	20,243	20,252	19,991	19,880

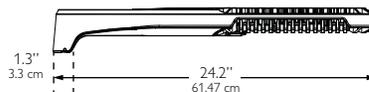
- System input wattage may vary based on input voltage, by up to +/- 10% , and based on manufacturer forward voltage, by up to +/- 8%.
 - Lumen values based on photometric tests performed in compliance with IESNA LM-79.
- (s). Data is scaled based on tests of similar, but not identical, luminaires.

Dimensions – Standard EcoForm luminaire

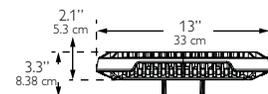
Top View



Side View



End View



EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.2 / 0.019	0.5 / 0.046	0.5 / 0.046

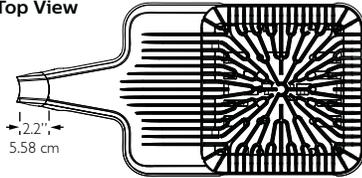
Approximate Luminaire Weight:
20 Lbs (9.07 Kg)

ECF EcoForm

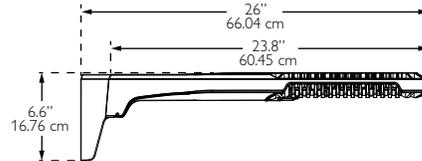
Site & Area

Dimensions – EcoForm with Retrofit Arm Mount (RAM)

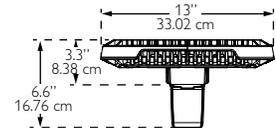
Top View



Side View



End View



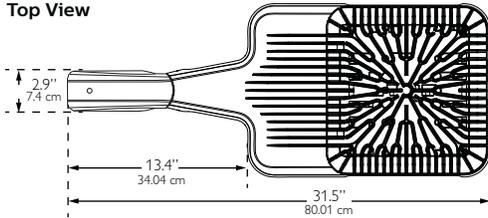
EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.3 / 0.028	0.6 / 0.056	0.7 / 0.065

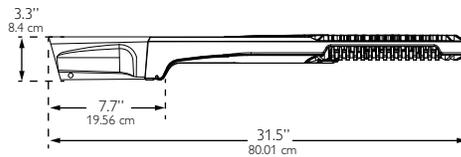
Approximate Luminaire Weight:
21 Lbs (9.53 Kg)

Dimensions – EcoForm with Mast Arm Fitter (MA)

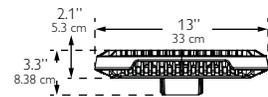
Top View



Side View



End View



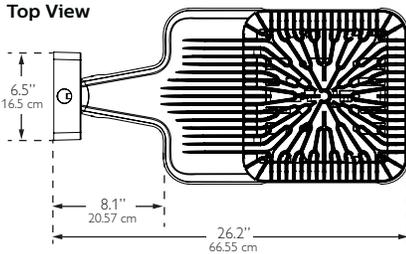
EPA (ft²/m²)

Single
0.51 / 0.047

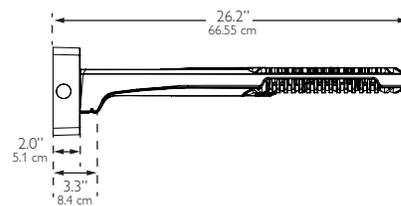
Approximate Luminaire Weight:
21.5 Lbs (9.77 Kg)

Dimensions – EcoForm with Wall Mount (WS)

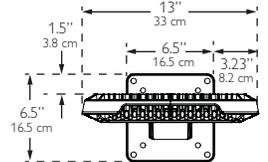
Top View



Side View



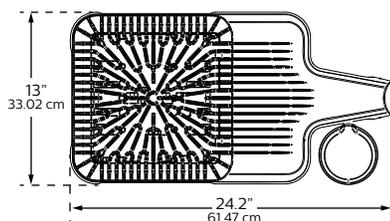
End View



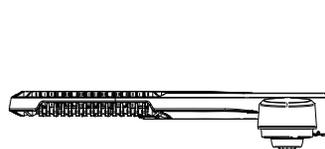
Approximate Luminaire Weight:
23.36 Lbs (10.6 Kg)

Dimensions – EcoForm with LimeLight Luminaire mounted controller

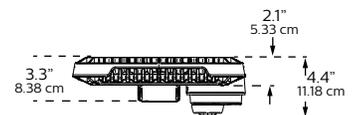
Top View



Side View



End View



ECF EcoForm

Site & Area

Luminaire Configuration Information

ECF

Philips Gardco EcoForm LED standard luminaire providing constant wattage and constant light output when power to the luminaire is energized.

ECF-DIM

Philips Gardco EcoForm LED luminaire provided with 0-10V dimming for connection to a control system provided by others.

ECF-APD

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming. Luminaire is provided with a Philips DynaDimmer module, programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously recalculated by the Philips DynaDimmer module based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point.

ECF-APD is available in 120V–277V input only.

ECF-APD Dimming Profile:

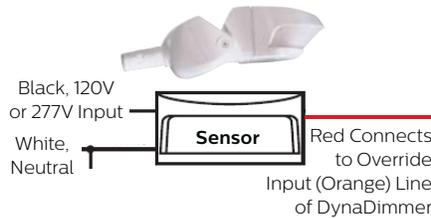
100%	2 hours 50%	6 hours 50%	100%
Power On	Mid Point	Power Off	

ECF-MR50

Philips Gardco EcoForm LED luminaire with motion response, providing a 50% power reduction on low and a commensurate reduction in light output. The power and light output reduction is accomplished utilizing the Philips DynaDimmer module, programmed for a constant 50% power. Power supplied by the motion sensor connected to the override line on the DynaDimmer takes the luminaire to high setting, 100% power and light output, when motion is detected. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

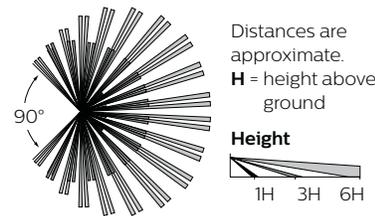
ECF-MR50 is available in 120V–277V input only to the luminaire. Motion sensors require single voltage 120V or 277V input.

The Area PIR motion sensor is the WattStopper EW-200-120-W (120V Input – MSA-120V) or the WattStopper EW-200-277-W (277V Input – MSA-277V.) One motion sensor per pole is required and is ordered separately. Area sensors require single voltage 120V or 277V input.



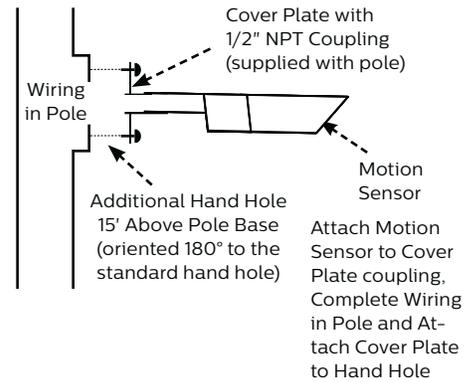
The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Area PIR Motion Sensor Coverage Pattern:



Motion response requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole.

Mounting to a Philips Gardco Pole:



ECF-APD-MRO

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming, with Motion Response Override. The ECF-APD-MRO combines the benefits of both automatic profile dimming and motion response, using the Philips DynaDimmer module. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for the ECF-APD. If motion is detected during the time that the luminaire is operating at 50%, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

Notes:

ECF-APD-MRO is available in 120V through 277V input only to luminaire. The motion sensor requires either 120V or 277V input to the motion sensor.

The ECF-APD-MRO has the same pole requirements and utilizes the same motion sensors as the ECF-MR50. The motion sensor mounts and wires identically as well. The ECF-APD-MRO utilizes the identical dimming profile as shown for the ECF-APD.

By combining the benefits of automatic profile dimming and motion response, the ECF-APD-MRO assures maximum energy savings, and insures that adequate light is present if motion is detected.

All motion sensors utilized consume 0.0 watts in the off state.

ECF EcoForm

Site & Area

Luminaire Configuration Information (Continued)

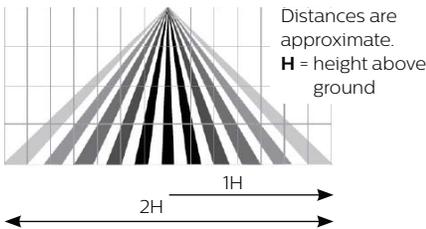
ECF-MRI

Luminaires with Motion Response include a LED driver and an integral programmable motion sensor. The motion sensor is set to a constant 50%. When motion is detected, the luminaire goes to 100%. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes. Available with 120V or 277V only.

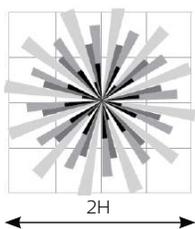
Luminaires include a passive infrared (PIR) motion sensor, WattStopper® FSP-211 equipped with an FSP-L3 lens, capable of detecting motion within 20 feet of the sensor, 180° around the luminaire, when placed at a 20 foot mounting height, or mounted on a wall. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts.

The approximate motion sensor coverage pattern is as shown below.

Side Coverage Pattern



Top Coverage Pattern



ECF-APD-MRI



Luminaires with Automatic Profile Dimming and Motion Response Override combine the benefits of both automatic profile dimming and motion response. APD-MRI luminaires utilize Philips DynaDimmer. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for APD luminaires (see page 4). If motion is detected during the time that the luminaire is operating at 50%, the luminaire goes to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes.

APD-MRI luminaires are available with 120V or 277V input voltages only.

APD-MRI luminaires use the identical motion sensor as MRI luminaires. See motion sensor details for ECF-MRI.

FS1R-100 Wireless Remote Programming Tool

The FS1R-100 Remote Programming Tool accessory permits adjustment of ECF-MRI and ECF-APD-MRI sensor settings, including duration and dimming level on low, without the need to connect any wires to the luminaire.

The FS1R-100 Wireless IR Programming Tool is a handheld tool for setup and testing of WattStopper FSP-211. It provides wireless access to the FSP-211 sensors for setup and parameter changes.

The FS1R-100 display shows menus and prompts to lead you through each process. The navigation pad provides a familiar way to navigate through the customization fields.

Within a certain mounting height of the sensor, the FS1R-100 allows modification of the system without requiring ladders or tools simply with a touch of a few buttons.

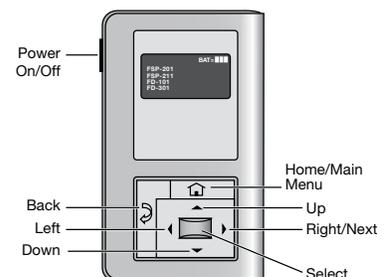
The FS1R-100 IR transceiver allows bi-directional communication between the FSP-211 and the FS1R-100 programming tool. Simple menu screens let you see the current status of the system and make changes. It can change FSP-211 sensor parameters such as high/low mode, sensitivity, time delay, cut off and more. With the FS1R-100 you can also establish and store FSP-211 parameter profiles.

The FS1R-100 operates on three standard 1.5V AAA Alkaline batteries or three rechargeable AAA NiMH batteries. The battery status displays in the upper right corner of the display. Three bars next to BAT= indicates a full battery charge. A warning appears on the display when the battery level falls below a minimum acceptable level. To conserve battery power, the FS1R-100 automatically shuts off 10 minutes after the last key press.



You navigate from one field to another using (up) or (down) arrow keys. The active field is indicated by flashing (alternates between yellow text on black background and black text on yellow background.)

Once active, use the Select button to move to a menu or function within the active field. Value fields are used to adjust parameter settings. They are shown in "less-than/greater-than" symbols: <value>. Once active, change them using (left) and (right) arrow keys. In general the up key increments and the down key decrements a value. Selections wrap-around if you continue to press the key beyond maximum or minimum values. Moving away from the value field overwrites the original value. The Home button takes you to the main menu. The Back button can be thought of as an undo function. It takes you back one screen. Changes that were in process prior to pressing the key are lost. More information on the FS1R-100 Remote Programming Tool is available at wattstopper.com.



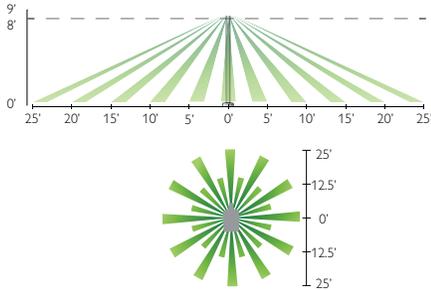
ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with Limelight

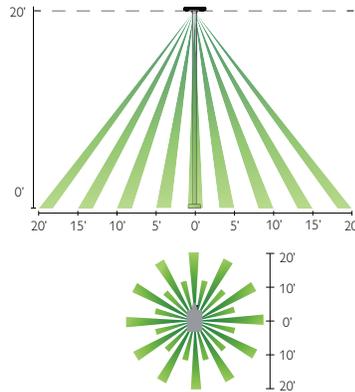
ECF-LLC2

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #2 lens for 8-15' mounting heights.



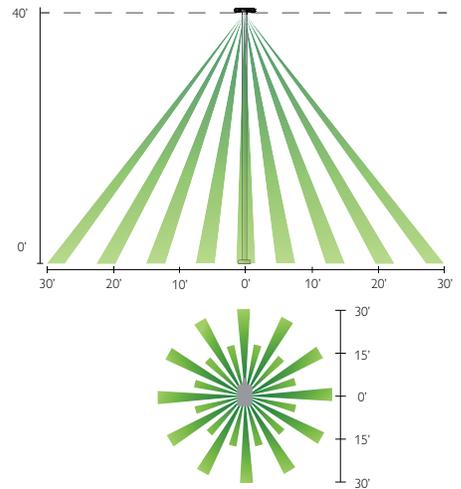
ECF-LLC3

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #3 lens for 15-25' mounting heights.



ECF-LLC4

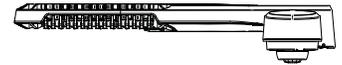
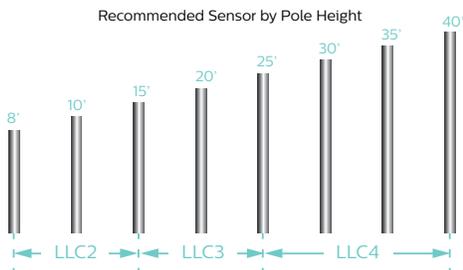
EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #4 lens for 25-40' mounting heights.



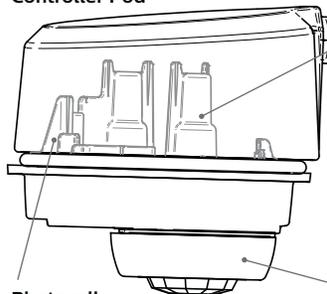
Luminaire Configuration Information – EcoForm with Limelight

ECF-LLC(#)

With this configuration, the controller pod is mounted to the luminaire arm. One controller is required per luminaire. There are three different motion sensor configurations available. Each one corresponds to the desired mounting height that for your specific application. See motion response detection ranges below.



Controller Pod



Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 102-277V RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from gateway
- Reports internal PCB temperature
- Transmission Systems Operating within the band 2400-2483.5Mhz. IEEE 802.15.4
- ROHS Compliant

Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

Motion Response

- Three different lens configurations
- Detects motion through passive InfraRed sensing technology
- Connects directly to radio through modular jack
- Three different mounting heights and detection ranges available

ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with LimeLight (Continued)

Gateway

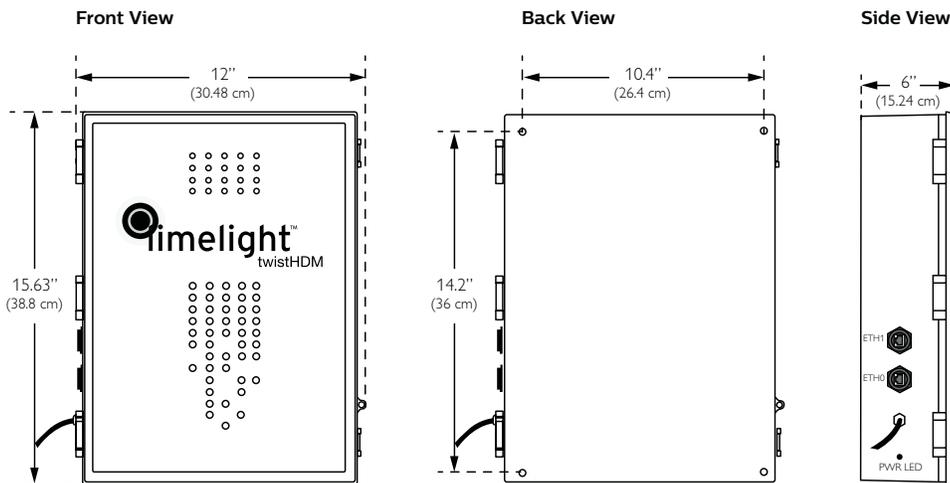
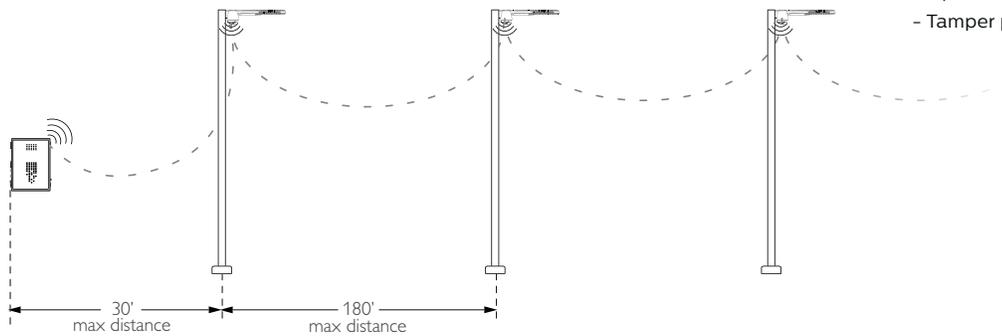
Overview: One gateway is included with the wireless controls system. The gateway opens up communication with the wireless radios installed with the EcoForm luminaires (or pole), allowing you to control your fixtures straight from the web. One LimeLight gateway can communicate with up to 800 fixtures. Typically one unit is required per parking lot.

Installation: Gateway has 4 blind threaded holes on the back side that accept 10-32 screws. Mount spacing is 10.41" across and 14.19" vertical.

Requirements: The gateway must be mounted in a secure on-site location. The gateway requires 120V. Distance of gateway to the first radio varies upon application; contact factory. Strong internet connection required.

Specifications:

- High density RF Mesh coordinator
- Ethernet or wireless internet connection to LimeLight server
- Proprietor of software "rules of operation"
- Watertight Ethernet connections
- Highly protected, long life ac/dc power supply
- Single board, ARM compliant 520Mhz Intel computer.
- Operating Temperature -20°C to 55°C
- Tamper proof housing



Specifications

Housing

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

IP Rating

LED light engine rated IP66.

Vibration Resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

Electrical

Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

LED Board and Array

32, 48, or 64 LEDs. Color temperatures: 3000K, 4000K, 5700K +/- 250K. Minimum CRI of 70. Aluminum metal clad board. RoHS compliant.

LED Thermal Management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

Energy Saving Benefits

System efficacy up to 95 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

LED Performance

Predicted Lumen Depreciation Data¹

Ambient Temperature °C	Driver (mA)	Calculated L ₇₀ Hours ^{1,2}	L ₇₀ Per TM-21 ^{2,3}	Lumen Maintenance % @ 60,000 hours
Up to 40 °C	Up to 1050 mA	> 350,000 hours	> 60,000 hours	97%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours.

Wireless Controls

The LimeLight wireless Controls System includes: gateway, controller pod (with wireless radio, motion response, and photocell), and commissioning/training. LimeLight is an intelligent web-based system that operates through a high density mesh (HDM) wireless technology. Wireless radios with motion response and photocell sensors are integrated with PureForm luminaires, and enable the fixtures to communicate via the ZigBee protocol. The gateway is a mini computer that connects to the internet, and is located in a secure location. The central LimeLight database channels communication to and from the gateway, allowing data to be viewed or managed through the web-based graphical user interface (GUI). See LimeLight pages for details and technical information.

Motion Sensors

ECF-MR50, ECF-APD-MRO, ECF-MRI, ECF-APD-MRI luminaires may be specified for additional energy savings during unoccupied periods. See pages 4-6 for complete details.

Optical Systems

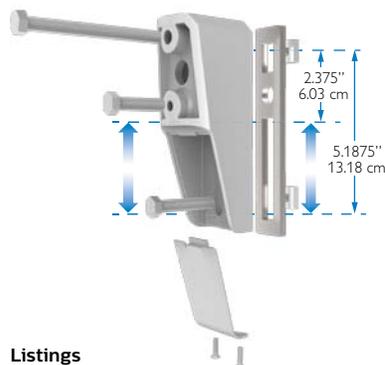
Type 2, 3, 4, and 5 distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, and 4 distributions to control backlight.

Mounting

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles.

Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.



Listings

ETL/cETL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. All EcoForm luminaires equipped with NW and CW are DesignLights Consortium® qualified.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

Warranty

EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer.





Project: PANERA BREAD
 Location: ROCKWELL
 Cat.No: ECF-2-215LA-641A-NW
 Type: S3
 Qty: 1
 Notes:



EcoForm combines economy with performance in an LED area luminaire. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion response and wireless controls are available for further energy savings during off peak hours.

Ordering guide

example: ECF-APD-MRO-1-4-75LA-NW-120-NP-LF

Prefix	Controls	Mounting	Optics	LED Wattage	Color Temp	Voltage	Finish	Options
ECF								
ECF EcoForm	<p>— Standard luminaire (leave blank)</p> <p>DIM 0-10V Dimming</p> <p>APD¹ Auto Profile Dimming</p> <p>APD-MRO² Auto Profile Dimming and Motion Response Override pole mounted motion sensor</p> <p>APD-MRI^{2,3} APD with Motion Response Override luminaire sensor</p> <p>MRI^{2,3} Motion Response at 50% low luminaire sensor</p> <p>MR50² Motion Response at 50% low, pole mounted sensor</p> <p>LimeLight Wireless Controls</p> <p>LLC2^{1,5} #2 lens for 8-15' mounted heights</p> <p>LLC3^{1,5} #3 lens for 15-25' mounted heights</p> <p>LLC4^{1,5} #4 lens for 25-40' mounted heights</p>	<p>1 Standard</p> <p>2 2@180</p> <p>2@90 2@90</p> <p>3 3@90</p> <p>3@120 3@120</p> <p>4 4@90</p> <p>WS Wall mount including surface conduit rear entry permitted</p> <p>MA Mast Arm Fitter (requires 2-3/8" O.D. Mast Arm)</p>	<p>2 Type 2</p> <p>3 Type 3</p> <p>4 Type 4</p> <p>5 Type 5</p>	<p>530 mA</p> <p>55LA-3253¹</p> <p>75LA-4853</p> <p>100LA-6453</p> <p>700mA</p> <p>70LA-3270</p> <p>105LA-4870</p> <p>135LA-6470</p> <p>1050mA</p> <p>105LA-321A¹</p> <p>160LA-481A</p> <p>215LA-641A</p>	<p>CW Cool White 5,700 K 70 CRI (nominal)</p> <p>NW Neutral White 4,000 K 70 CRI (nominal)</p> <p>WW⁴ Warm White 3,000 K 70 CRI (nominal)</p>	<p>120 120V</p> <p>208 208V</p> <p>240 240V</p> <p>277 277V</p> <p>347 347V</p> <p>480 480V</p> <p>UNV 120-277V 50hz/60hz</p> <p>HVU 347-480V 50hz/60hz</p>	<p>BRP Bronze Paint</p> <p>BLP Black Paint</p> <p>WP White Paint</p> <p>NP Natural Paint</p> <p>OC Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024)</p> <p>SC Special color Specify, must supply color chip. Requires factory quote.</p>	<p>TL Tool-Less entry and driver removal hardware</p> <p>TB³ Terminal Block</p> <p>IS⁶ Internal Shield</p> <p>LF⁷ Line Fusing</p> <p>LFC⁷ Line Fusing for Canada</p> <p>PC^{5,7,8} Receptacle with Photocell (Includes PCR5)</p> <p>PCB^{5,7,8} Photocell Button</p> <p>PCRS^{5,11,13} Photocell Receptacle only with 2 dimming connections</p> <p>PCR7^{5,12,13} Photocell Receptacle only with 2 dimming and 2 auxiliary connections</p> <p>RAM Retrofit Arm Mount kit</p> <p>PTF2⁹ Pole Top Fitter for 2 3/8"- 3" Tenon</p> <p>PTF3⁹ Pole Top Fitter for 3"- 3 1/2" Tenon</p> <p>PTF4⁹ Pole Top Fitter for 3 1/2"- 4" Tenon</p> <p>RPA¹⁰ Round Pole Adapter for 3"- 3.9" O.D.</p> <p>BD Bird Deterrent (field installed only)</p>

- Available in 120V-277V Voltages only (UNV, 120, 208, 240 & 277).
- MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See page 2 for Accessories. Available in 120V or 277V only.
- ECF-MRI requires outboarded sensor when used with Terminal Block (TB) Option.
- Contact factory for lead times on warm white.
- LLC2/LLC3/LLC4 Wireless Controls are not configurable with PC/PCB/PCR5/PCR7 Options. See page 7-8 for more info.
- Not configurable with Type 5 (5) Optics.
- Not configurable with 120-277V (UNV) Voltage. Voltage must be specified.
- Not configurable with 480V (480) Voltage.
- Not configurable with 3@120 (3@120) Mounting.
- No adaptor required for 4" round poles. RPAs provided with Black Paint standard.
- Works with 3-pin or 5-pin NEMA photocell/dimming device.
- Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
- If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.

ECF EcoForm

Site & Area

EcoForm Accessories (order separately)

FS1R-100

MR hand held programmer

For use with 'MRI' motion response when field programming is required. If desired, only one is needed per job.

MS-A-120V

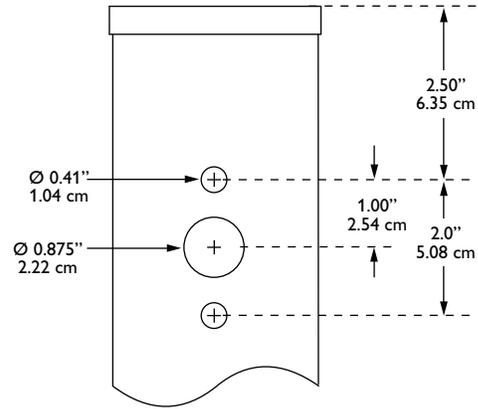
120V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

MS-A-277V

277V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

Note: Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

EcoForm Drill Template (standard arm mount)



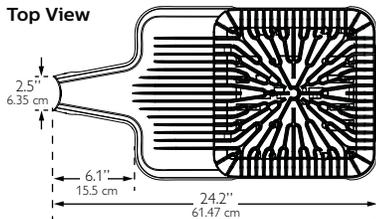
LED Wattage and Lumen Values (standard EcoForm luminaire)

Order Code (standard units)	Array Quantity	Total LEDs	LED Current (mA)	Average System Watts ¹	LED Selection	Initial Lumens ²			
						2 Type 2	3 Type 3	4 Type 4	5 Type 5
55LA-3253	2	32	530	52	NW	5,994 (s)	5,895 (s)	5,823 (s)	5,588 (s)
75LA-4853	3	48	530	77	NW	8,899 (s)	8,753 (s)	8,646 (s)	8,297 (s)
100LA-6453	4	64	530	103	NW	11,896 (s)	11,700	11,558	11,091
70LA-3270	2	32	700	69	NW	7,385 (s)	7,576 (s)	7,293 (s)	7,068 (s)
105LA-4870	3	48	700	104	NW	10,965 (s)	11,249 (s)	10,828 (s)	10,494 (s)
135LA-6470	4	64	700	139	NW	14,657 (s)	15,037	14,475 (s)	14,028
105LA-321A	2	32	1050	107	NW	10,199 (s)	10,458	10,072 (s)	9,767
160LA-481A	3	48	1050	158	NW	15,144 (s)	15,565	14,955 (s)	14,465
215LA-641A	4	64	1050	211	NW	20,243	20,252	19,991	19,880

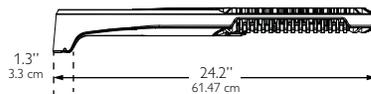
- System input wattage may vary based on input voltage, by up to +/- 10% , and based on manufacturer forward voltage, by up to +/- 8%.
 - Lumen values based on photometric tests performed in compliance with IESNA LM-79.
- (s). Data is scaled based on tests of similar, but not identical, luminaires.

Dimensions – Standard EcoForm luminaire

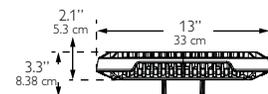
Top View



Side View



End View



EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.2 / 0.019	0.5 / 0.046	0.5 / 0.046

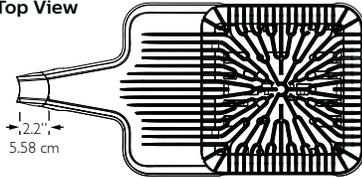
Approximate Luminaire Weight:
20 Lbs (9.07 Kg)

ECF EcoForm

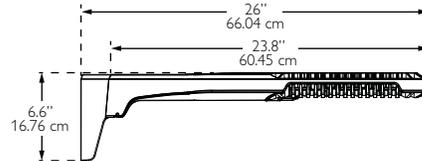
Site & Area

Dimensions – EcoForm with Retrofit Arm Mount (RAM)

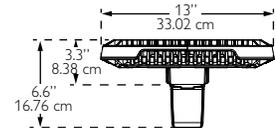
Top View



Side View



End View



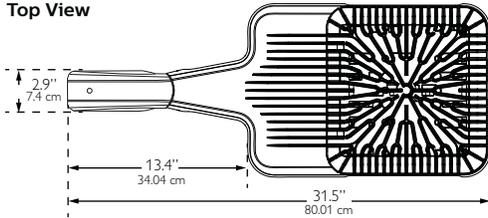
EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.3 / 0.028	0.6 / 0.056	0.7 / 0.065

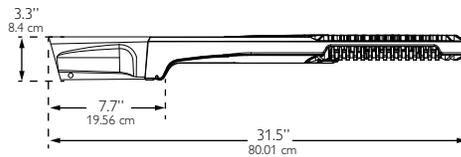
Approximate Luminaire Weight:
21 Lbs (9.53 Kg)

Dimensions – EcoForm with Mast Arm Fitter (MA)

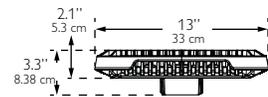
Top View



Side View



End View



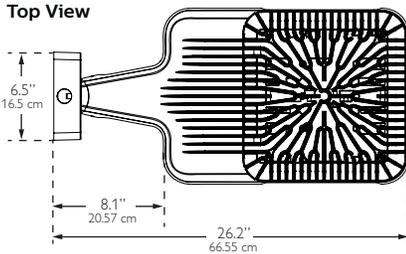
EPA (ft²/m²)

Single
0.51 / 0.047

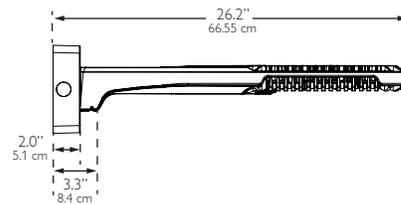
Approximate Luminaire Weight:
21.5 Lbs (9.77 Kg)

Dimensions – EcoForm with Wall Mount (WS)

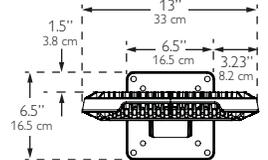
Top View



Side View



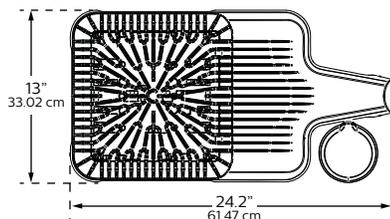
End View



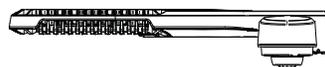
Approximate Luminaire Weight:
23.36 Lbs (10.6 Kg)

Dimensions – EcoForm with LimeLight Luminaire mounted controller

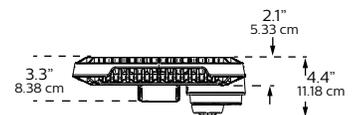
Top View



Side View



End View



ECF EcoForm

Site & Area

Luminaire Configuration Information

ECF

Philips Gardco EcoForm LED standard luminaire providing constant wattage and constant light output when power to the luminaire is energized.

ECF-DIM

Philips Gardco EcoForm LED luminaire provided with 0-10V dimming for connection to a control system provided by others.

ECF-APD

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming. Luminaire is provided with a Philips DynaDimmer module, programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously recalculated by the Philips DynaDimmer module based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point.

ECF-APD is available in 120V–277V input only.

ECF-APD Dimming Profile:

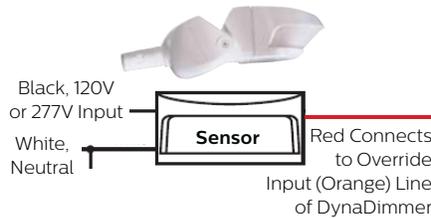
100%	2 hours 50%	6 hours 50%	100%
Power On	Mid Point	Power Off	

ECF-MR50

Philips Gardco EcoForm LED luminaire with motion response, providing a 50% power reduction on low and a commensurate reduction in light output. The power and light output reduction is accomplished utilizing the Philips DynaDimmer module, programmed for a constant 50% power. Power supplied by the motion sensor connected to the override line on the DynaDimmer takes the luminaire to high setting, 100% power and light output, when motion is detected. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

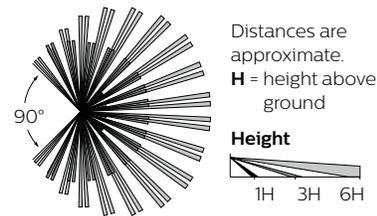
ECF-MR50 is available in 120V–277V input only to the luminaire. Motion sensors require single voltage 120V or 277V input.

The Area PIR motion sensor is the WattStopper EW-200-120-W (120V Input – MSA-120V) or the WattStopper EW-200-277-W (277V Input – MSA-277V.) One motion sensor per pole is required and is ordered separately. Area sensors require single voltage 120V or 277V input.



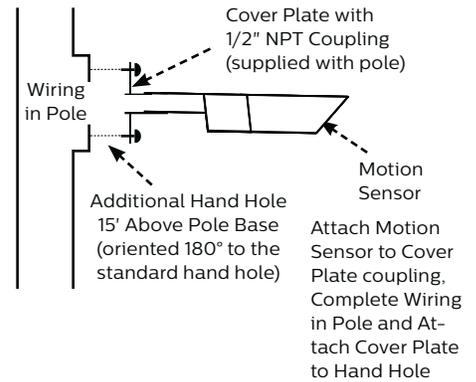
The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Area PIR Motion Sensor Coverage Pattern:



Motion response requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole.

Mounting to a Philips Gardco Pole:



ECF-APD-MRO

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming, with Motion Response Override. The ECF-APD-MRO combines the benefits of both automatic profile dimming and motion response, using the Philips DynaDimmer module. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for the ECF-APD. If motion is detected during the time that the luminaire is operating at 50%, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

Notes:

ECF-APD-MRO is available in 120V through 277V input only to luminaire. The motion sensor requires either 120V or 277V input to the motion sensor.

The ECF-APD-MRO has the same pole requirements and utilizes the same motion sensors as the ECF-MR50. The motion sensor mounts and wires identically as well. The ECF-APD-MRO utilizes the identical dimming profile as shown for the ECF-APD.

By combining the benefits of automatic profile dimming and motion response, the ECF-APD-MRO assures maximum energy savings, and insures that adequate light is present if motion is detected.

All motion sensors utilized consume 0.0 watts in the off state.

ECF EcoForm

Site & Area

Luminaire Configuration Information (Continued)

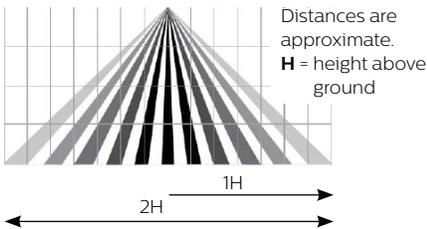
ECF-MRI

Luminaires with Motion Response include a LED driver and an integral programmable motion sensor. The motion sensor is set to a constant 50%. When motion is detected, the luminaire goes to 100%. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes. Available with 120V or 277V only.

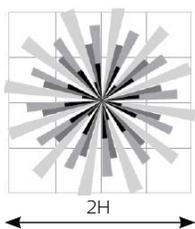
Luminaires include a passive infrared (PIR) motion sensor, WattStopper® FSP-211 equipped with an FSP-L3 lens, capable of detecting motion within 20 feet of the sensor, 180° around the luminaire, when placed at a 20 foot mounting height, or mounted on a wall. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts.

The approximate motion sensor coverage pattern is as shown below.

Side Coverage Pattern



Top Coverage Pattern



ECF-APD-MRI



Luminaires with Automatic Profile Dimming and Motion Response Override combine the benefits of both automatic profile dimming and motion response. APD-MRI luminaires utilize Philips DynaDimmer. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for APD luminaires (see page 4). If motion is detected during the time that the luminaire is operating at 50%, the luminaire goes to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes.

APD-MRI luminaires are available with 120V or 277V input voltages only.

APD-MRI luminaires use the identical motion sensor as MRI luminaires. See motion sensor details for ECF-MRI.

FS1R-100 Wireless Remote Programming Tool

The FS1R-100 Remote Programming Tool accessory permits adjustment of ECF-MRI and ECF-APD-MRI sensor settings, including duration and dimming level on low, without the need to connect any wires to the luminaire.

The FS1R-100 Wireless IR Programming Tool is a handheld tool for setup and testing of WattStopper FSP-211. It provides wireless access to the FSP-211 sensors for setup and parameter changes.

The FS1R-100 display shows menus and prompts to lead you through each process. The navigation pad provides a familiar way to navigate through the customization fields.

Within a certain mounting height of the sensor, the FS1R-100 allows modification of the system without requiring ladders or tools simply with a touch of a few buttons.

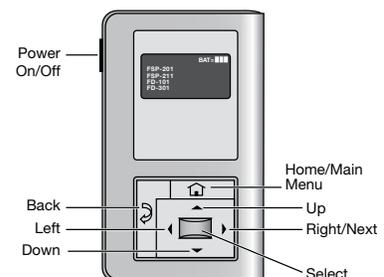
The FS1R-100 IR transceiver allows bi-directional communication between the FSP-211 and the FS1R-100 programming tool. Simple menu screens let you see the current status of the system and make changes. It can change FSP-211 sensor parameters such as high/low mode, sensitivity, time delay, cut off and more. With the FS1R-100 you can also establish and store FSP-211 parameter profiles.

The FS1R-100 operates on three standard 1.5V AAA Alkaline batteries or three rechargeable AAA NiMH batteries. The battery status displays in the upper right corner of the display. Three bars next to BAT= indicates a full battery charge. A warning appears on the display when the battery level falls below a minimum acceptable level. To conserve battery power, the FS1R-100 automatically shuts off 10 minutes after the last key press.



You navigate from one field to another using (up) or (down) arrow keys. The active field is indicated by flashing (alternates between yellow text on black background and black text on yellow background.)

Once active, use the Select button to move to a menu or function within the active field. Value fields are used to adjust parameter settings. They are shown in "less-than/greater-than" symbols: <value>. Once active, change them using (left) and (right) arrow keys. In general the up key increments and the down key decrements a value. Selections wrap-around if you continue to press the key beyond maximum or minimum values. Moving away from the value field overwrites the original value. The Home button takes you to the main menu. The Back button can be thought of as an undo function. It takes you back one screen. Changes that were in process prior to pressing the key are lost. More information on the FS1R-100 Remote Programming Tool is available at wattstopper.com.



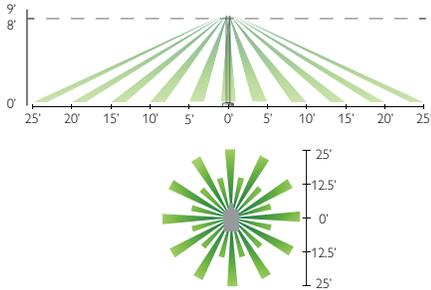
ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with Limelight

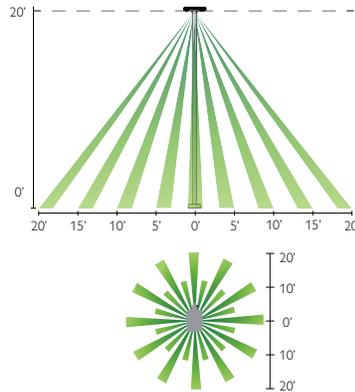
ECF-LLC2

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #2 lens for 8-15' mounting heights.



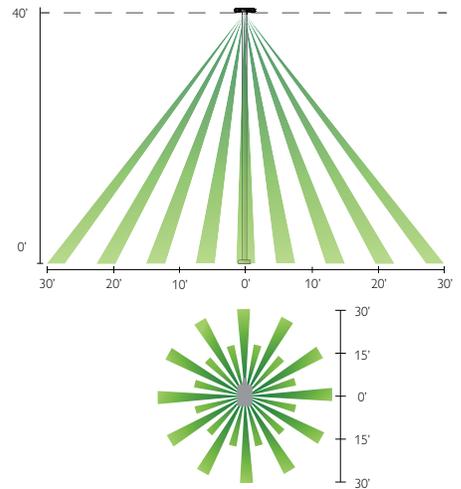
ECF-LLC3

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #3 lens for 15-25' mounting heights.



ECF-LLC4

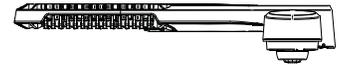
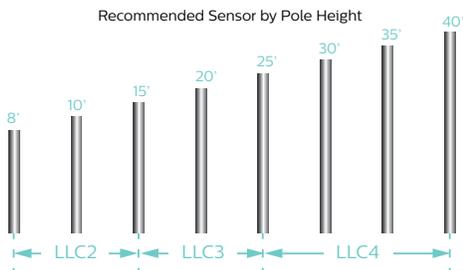
EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #4 lens for 25-40' mounting heights.



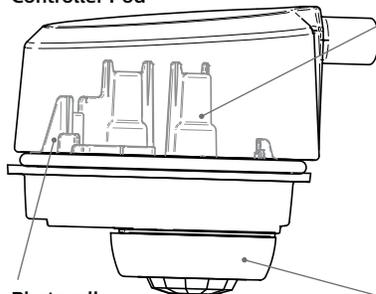
Luminaire Configuration Information – EcoForm with Limelight

ECF-LLC(#)

With this configuration, the controller pod is mounted to the luminaire arm. One controller is required per luminaire. There are three different motion sensor configurations available. Each one corresponds to the desired mounting height that for your specific application. See motion response detection ranges below.



Controller Pod



Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 102-277V RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from gateway
- Reports internal PCB temperature
- Transmission Systems Operating within the band 2400-2483.5Mhz. IEEE 802.15.4
- ROHS Compliant

Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

Motion Response

- Three different lens configurations
- Detects motion through passive InfraRed sensing technology
- Connects directly to radio through modular jack
- Three different mounting heights and detection ranges available

ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with LimeLight (Continued)

Gateway

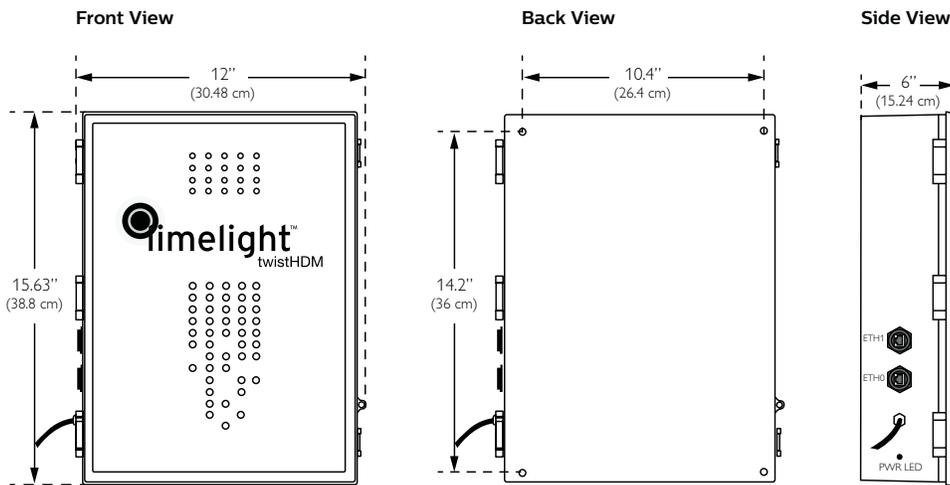
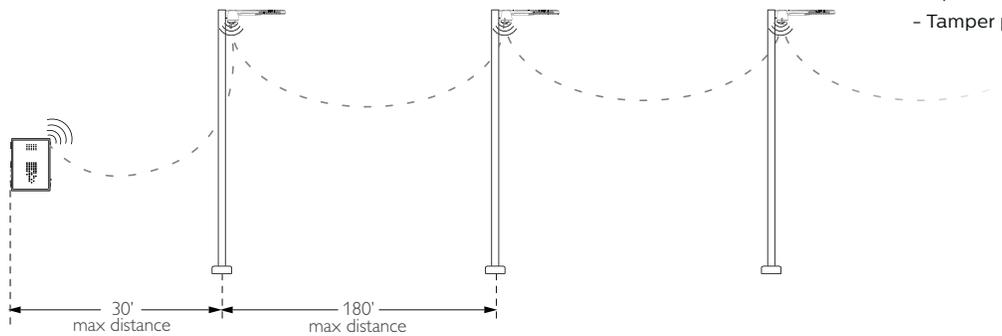
Overview: One gateway is included with the wireless controls system. The gateway opens up communication with the wireless radios installed with the EcoForm luminaires (or pole), allowing you to control your fixtures straight from the web. One LimeLight gateway can communicate with up to 800 fixtures. Typically one unit is required per parking lot.

Installation: Gateway has 4 blind threaded holes on the back side that accept 10-32 screws. Mount spacing is 10.41" across and 14.19" vertical.

Requirements: The gateway must be mounted in a secure on-site location. The gateway requires 120V. Distance of gateway to the first radio varies upon application; contact factory. Strong internet connection required.

Specifications:

- High density RF Mesh coordinator
- Ethernet or wireless internet connection to LimeLight server
- Proprietor of software "rules of operation"
- Watertight Ethernet connections
- Highly protected, long life ac/dc power supply
- Single board, ARM compliant 520Mhz Intel computer.
- Operating Temperature -20°C to 55°C
- Tamper proof housing



Specifications

Housing

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

IP Rating

LED light engine rated IP66.

Vibration Resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

Electrical

Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

LED Board and Array

32, 48, or 64 LEDs. Color temperatures: 3000K, 4000K, 5700K +/- 250K. Minimum CRI of 70. Aluminum metal clad board. RoHS compliant.

LED Thermal Management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

Energy Saving Benefits

System efficacy up to 95 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

LED Performance

Predicted Lumen Depreciation Data¹

Ambient Temperature °C	Driver (mA)	Calculated L ₇₀ Hours ^{1,2}	L ₇₀ Per TM-21 ^{2,3}	Lumen Maintenance % @ 60,000 hours
Up to 40 °C	Up to 1050 mA	> 350,000 hours	> 60,000 hours	97%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L70 hours limited to 6 times actual LED test hours.

Wireless Controls

The LimeLight wireless Controls System includes: gateway, controller pod (with wireless radio, motion response, and photocell), and commissioning/training. LimeLight is an intelligent web-based system that operates through a high density mesh (HDM) wireless technology. Wireless radios with motion response and photocell sensors are integrated with PureForm luminaires, and enable the fixtures to communicate via the ZigBee protocol. The gateway is a mini computer that connects to the internet, and is located in a secure location. The central LimeLight database channels communication to and from the gateway, allowing data to be viewed or managed through the web-based graphical user interface (GUI). See LimeLight pages for details and technical information.

Motion Sensors

ECF-MR50, ECF-APD-MRO, ECF-MRI, ECF-APD-MRI luminaires may be specified for additional energy savings during unoccupied periods. See pages 4-6 for complete details.

Optical Systems

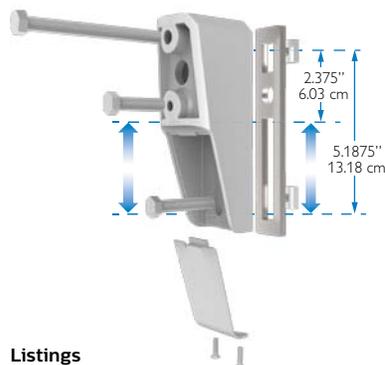
Type 2, 3, 4, and 5 distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, and 4 distributions to control backlight.

Mounting

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles.

Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.



Listings

ETL/cETL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. All EcoForm luminaires equipped with NW and CW are DesignLights Consortium® qualified.

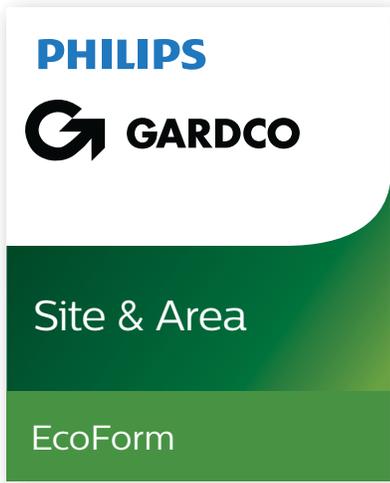
Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

Warranty

EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer.





Project: PANERA BREAD
 Location: ROCKWELL
 Cat.No: ECF-5-215LA-641A-NW
 Type: S5
 Qty: 2
 Notes:



EcoForm combines economy with performance in an LED area luminaire. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion response and wireless controls are available for further energy savings during off peak hours.

Ordering guide

example: ECF-APD-MRO-1-4-75LA-NW-120-NP-LF

Prefix	Controls	Mounting	Optics	LED Wattage	Color Temp	Voltage	Finish	Options
ECF								
ECF EcoForm	<p>— Standard luminaire (leave blank)</p> <p>DIM 0-10V Dimming</p> <p>APD¹ Auto Profile Dimming</p> <p>APD-MRO² Auto Profile Dimming and Motion Response Override pole mounted motion sensor</p> <p>APD-MRI^{2,3} APD with Motion Response Override luminaire sensor</p> <p>MRI^{2,3} Motion Response at 50% low luminaire sensor</p> <p>MR50² Motion Response at 50% low, pole mounted sensor</p> <p>LimeLight Wireless Controls</p> <p>LLC2^{1,5} #2 lens for 8-15' mounted heights</p> <p>LLC3^{1,5} #3 lens for 15-25' mounted heights</p> <p>LLC4^{1,5} #4 lens for 25-40' mounted heights</p>	<p>1 Standard</p> <p>2 2@180</p> <p>2@90 2@90</p> <p>3 3@90</p> <p>3@120 3@120</p> <p>4 4@90</p> <p>WS Wall mount including surface conduit rear entry permitted</p> <p>MA Mast Arm Fitter (requires 2-3/8" O.D. Mast Arm)</p>	<p>2 Type 2</p> <p>3 Type 3</p> <p>4 Type 4</p> <p>5 Type 5</p>	<p>530 mA</p> <p>55LA-3253¹</p> <p>75LA-4853</p> <p>100LA-6453</p> <p>700mA</p> <p>70LA-3270</p> <p>105LA-4870</p> <p>135LA-6470</p> <p>1050mA</p> <p>105LA-321A¹</p> <p>160LA-481A</p> <p>215LA-641A</p>	<p>CW Cool White 5,700K 70 CRI (nominal)</p> <p>NW Neutral White 4,000K 70 CRI (nominal)</p> <p>WW⁴ Warm White 3,000K 70 CRI (nominal)</p>	<p>120 120V</p> <p>208 208V</p> <p>240 240V</p> <p>277 277V</p> <p>347 347V</p> <p>480 480V</p> <p>UNV 120-277V 50hz/60hz</p> <p>HVU 347-480V 50hz/60hz</p>	<p>BRP Bronze Paint</p> <p>BLP Black Paint</p> <p>WP White Paint</p> <p>NP Natural Paint</p> <p>OC Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024)</p> <p>SC Special color Specify, must supply color chip. Requires factory quote.</p>	<p>TL Tool-Less entry and driver removal hardware</p> <p>TB³ Terminal Block</p> <p>IS⁶ Internal Shield</p> <p>LF⁷ Line Fusing</p> <p>LFC⁷ Line Fusing for Canada</p> <p>PC^{5,7,8} Receptacle with Photocell (Includes PCR5)</p> <p>PCB^{5,7,8} Photocell Button</p> <p>PCRS^{5,11,13} Photocell Receptacle only with 2 dimming connections</p> <p>PCR7^{5,12,13} Photocell Receptacle only with 2 dimming and 2 auxiliary connections</p> <p>RAM Retrofit Arm Mount kit</p> <p>PTF2⁹ Pole Top Fitter for 2 3/8"- 3" Tenon</p> <p>PTF3⁹ Pole Top Fitter for 3"- 3 1/2" Tenon</p> <p>PTF4⁹ Pole Top Fitter for 3 1/2"- 4" Tenon</p> <p>RPA¹⁰ Round Pole Adapter for 3"- 3.9" O.D.</p> <p>BD Bird Deterrent (field installed only)</p>

1. Available in 120V-277V Voltages only (UNV, 120, 208, 240 & 277).
 2. MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See page 2 for Accessories. Available in 120V or 277V only.
 3. ECF-MRI requires outboarded sensor when used with Terminal Block (TB) Option.
 4. Contact factory for lead times on warm white.
 5. LLC2/LLC3/LLC4 Wireless Controls are not configurable with PC/PCB/PCR5/PCR7 Options. See page 7-8 for more info.
 6. Not configurable with Type 5 (5) Optics.
 7. Not configurable with 120-277V (UNV) Voltage. Voltage must be specified.
 8. Not configurable with 480V (480) Voltage.
 9. Not configurable with 3@120 (3@120) Mounting.
 10. No adaptor required for 4" round poles. RPAs provided with Black Paint standard.
 11. Works with 3-pin or 5-pin NEMA photocell/dimming device.
 12. Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
 13. If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.

ECF EcoForm

Site & Area

EcoForm Accessories (order separately)

FS1R-100

MR hand held programmer

For use with 'MRI' motion response when field programming is required. If desired, only one is needed per job.

MS-A-120V

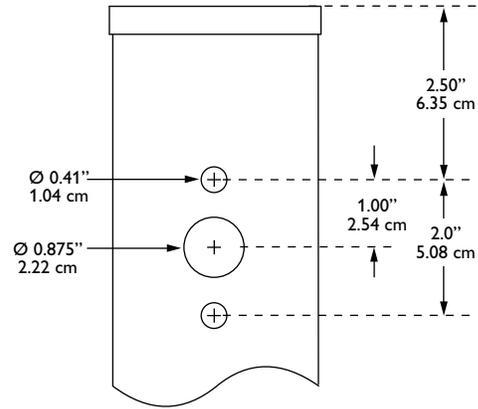
120V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

MS-A-277V

277V Input Area Motion Sensor
For MR50 (Motion Response) or APD-MRO (Automatic Profile Dimming with Motion Response Override)

Note: Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for MR50 or APD-MRO luminaires. See Luminaire Configuration Information on page 5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

EcoForm Drill Template (standard arm mount)



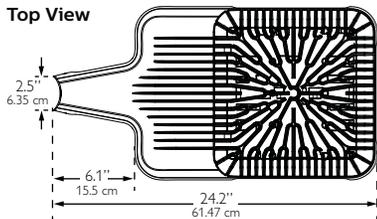
LED Wattage and Lumen Values (standard EcoForm luminaire)

Order Code (standard units)	Array Quantity	Total LEDs	LED Current (mA)	Average System Watts ¹	LED Selection	Initial Lumens ²			
						2 Type 2	3 Type 3	4 Type 4	5 Type 5
55LA-3253	2	32	530	52	NW	5,994 (s)	5,895 (s)	5,823 (s)	5,588 (s)
75LA-4853	3	48	530	77	NW	8,899 (s)	8,753 (s)	8,646 (s)	8,297 (s)
100LA-6453	4	64	530	103	NW	11,896 (s)	11,700	11,558	11,091
70LA-3270	2	32	700	69	NW	7,385 (s)	7,576 (s)	7,293 (s)	7,068 (s)
105LA-4870	3	48	700	104	NW	10,965 (s)	11,249 (s)	10,828 (s)	10,494 (s)
135LA-6470	4	64	700	139	NW	14,657 (s)	15,037	14,475 (s)	14,028
105LA-321A	2	32	1050	107	NW	10,199 (s)	10,458	10,072 (s)	9,767
160LA-481A	3	48	1050	158	NW	15,144 (s)	15,565	14,955 (s)	14,465
215LA-641A	4	64	1050	211	NW	20,243	20,252	19,991	19,880

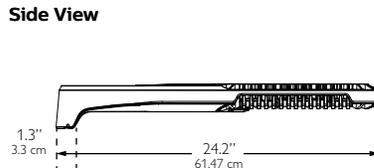
- System input wattage may vary based on input voltage, by up to +/- 10% , and based on manufacturer forward voltage, by up to +/- 8%.
 - Lumen values based on photometric tests performed in compliance with IESNA LM-79.
- (s). Data is scaled based on tests of similar, but not identical, luminaires.

Dimensions – Standard EcoForm luminaire

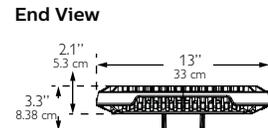
Top View



Side View



End View



EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.2 / 0.019	0.5 / 0.046	0.5 / 0.046

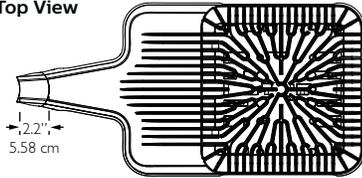
Approximate Luminaire Weight:
20 Lbs (9.07 Kg)

ECF EcoForm

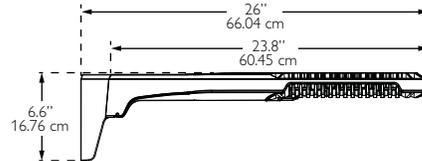
Site & Area

Dimensions – EcoForm with Retrofit Arm Mount (RAM)

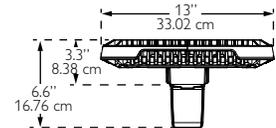
Top View



Side View



End View



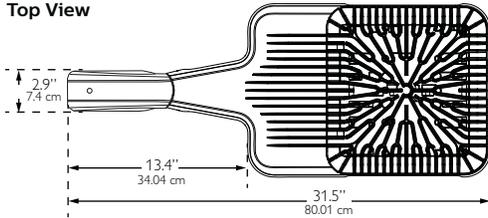
EPA (ft²/m²)

Single	Twin (2@180)	3/4@90
0.3 / 0.028	0.6 / 0.056	0.7 / 0.065

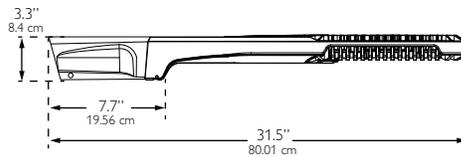
Approximate Luminaire Weight:
21 Lbs (9.53 Kg)

Dimensions – EcoForm with Mast Arm Fitter (MA)

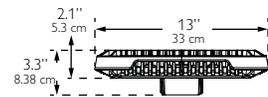
Top View



Side View



End View



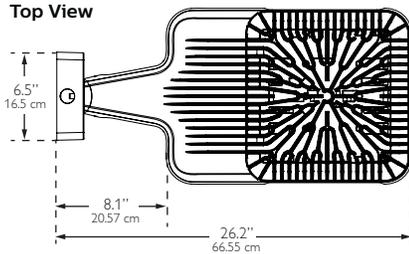
EPA (ft²/m²)

Single
0.51 / 0.047

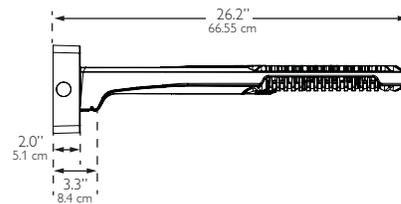
Approximate Luminaire Weight:
21.5 Lbs (9.77 Kg)

Dimensions – EcoForm with Wall Mount (WS)

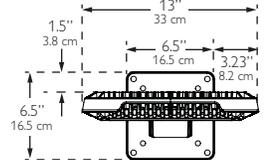
Top View



Side View



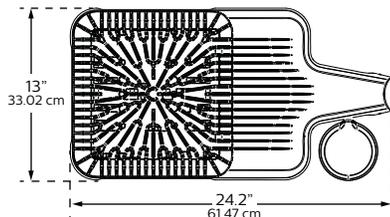
End View



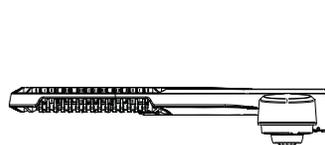
Approximate Luminaire Weight:
23.36 Lbs (10.6 Kg)

Dimensions – EcoForm with LimeLight Luminaire mounted controller

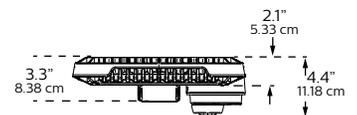
Top View



Side View



End View



ECF EcoForm

Site & Area

Luminaire Configuration Information

ECF

Philips Gardco EcoForm LED standard luminaire providing constant wattage and constant light output when power to the luminaire is energized.

ECF-DIM

Philips Gardco EcoForm LED luminaire provided with 0-10V dimming for connection to a control system provided by others.

ECF-APD

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming. Luminaire is provided with a Philips DynaDimmer module, programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously recalculated by the Philips DynaDimmer module based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point.

ECF-APD is available in 120V–277V input only.

ECF-APD Dimming Profile:

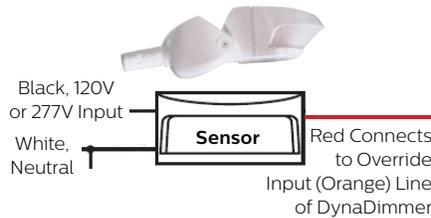
100%	2 hours 50%	6 hours 50%	100%
Power On	Mid Point	Power Off	

ECF-MR50

Philips Gardco EcoForm LED luminaire with motion response, providing a 50% power reduction on low and a commensurate reduction in light output. The power and light output reduction is accomplished utilizing the Philips DynaDimmer module, programmed for a constant 50% power. Power supplied by the motion sensor connected to the override line on the DynaDimmer takes the luminaire to high setting, 100% power and light output, when motion is detected. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

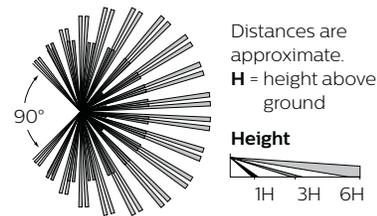
ECF-MR50 is available in 120V–277V input only to the luminaire. Motion sensors require single voltage 120V or 277V input.

The Area PIR motion sensor is the WattStopper EW-200-120-W (120V Input – MSA-120V) or the WattStopper EW-200-277-W (277V Input – MSA-277V.) One motion sensor per pole is required and is ordered separately. Area sensors require single voltage 120V or 277V input.



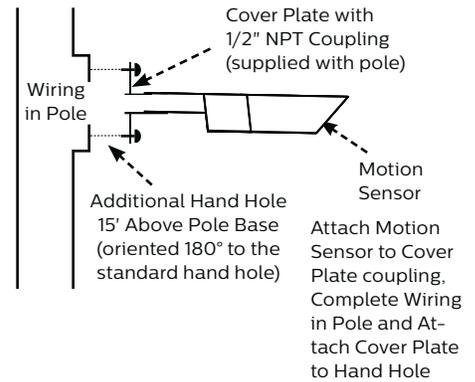
The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Area PIR Motion Sensor Coverage Pattern:



Motion response requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole.

Mounting to a Philips Gardco Pole:



ECF-APD-MRO

Philips Gardco EcoForm LED luminaire with Automatic Profile Dimming, with Motion Response Override. The ECF-APD-MRO combines the benefits of both automatic profile dimming and motion response, using the Philips DynaDimmer module. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for the ECF-APD. If motion is detected during the time that the luminaire is operating at 50%, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

Notes:

ECF-APD-MRO is available in 120V through 277V input only to luminaire. The motion sensor requires either 120V or 277V input to the motion sensor.

The ECF-APD-MRO has the same pole requirements and utilizes the same motion sensors as the ECF-MR50. The motion sensor mounts and wires identically as well. The ECF-APD-MRO utilizes the identical dimming profile as shown for the ECF-APD.

By combining the benefits of automatic profile dimming and motion response, the ECF-APD-MRO assures maximum energy savings, and insures that adequate light is present if motion is detected.

All motion sensors utilized consume 0.0 watts in the off state.

ECF EcoForm

Site & Area

Luminaire Configuration Information (Continued)

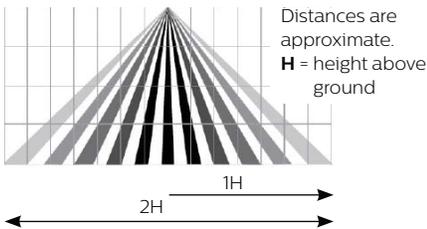
ECF-MRI

Luminaires with Motion Response include a LED driver and an integral programmable motion sensor. The motion sensor is set to a constant 50%. When motion is detected, the luminaire goes to 100%. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes. Available with 120V or 277V only.

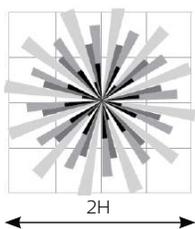
Luminaires include a passive infrared (PIR) motion sensor, WattStopper® FSP-211 equipped with an FSP-L3 lens, capable of detecting motion within 20 feet of the sensor, 180° around the luminaire, when placed at a 20 foot mounting height, or mounted on a wall. Available in 120V or 277V input only. Motion sensor off state power is 0.0 watts.

The approximate motion sensor coverage pattern is as shown below.

Side Coverage Pattern



Top Coverage Pattern



ECF-APD-MRI



Luminaires with Automatic Profile Dimming and Motion Response Override combine the benefits of both automatic profile dimming and motion response. APD-MRI luminaires utilize Philips DynaDimmer. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for APD luminaires (see page 4). If motion is detected during the time that the luminaire is operating at 50%, the luminaire goes to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 5 minutes.

APD-MRI luminaires are available with 120V or 277V input voltages only.

APD-MRI luminaires use the identical motion sensor as MRI luminaires. See motion sensor details for ECF-MRI.

FS1R-100 Wireless Remote Programming Tool

The FS1R-100 Remote Programming Tool accessory permits adjustment of ECF-MRI and ECF-APD-MRI sensor settings, including duration and dimming level on low, without the need to connect any wires to the luminaire.

The FS1R-100 Wireless IR Programming Tool is a handheld tool for setup and testing of WattStopper FSP-211. It provides wireless access to the FSP-211 sensors for setup and parameter changes.

The FS1R-100 display shows menus and prompts to lead you through each process. The navigation pad provides a familiar way to navigate through the customization fields.

Within a certain mounting height of the sensor, the FS1R-100 allows modification of the system without requiring ladders or tools simply with a touch of a few buttons.

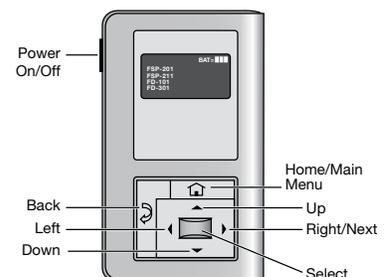
The FS1R-100 IR transceiver allows bi-directional communication between the FSP-211 and the FS1R-100 programming tool. Simple menu screens let you see the current status of the system and make changes. It can change FSP-211 sensor parameters such as high/low mode, sensitivity, time delay, cut off and more. With the FS1R-100 you can also establish and store FSP-211 parameter profiles.

The FS1R-100 operates on three standard 1.5V AAA Alkaline batteries or three rechargeable AAA NiMH batteries. The battery status displays in the upper right corner of the display. Three bars next to BAT= indicates a full battery charge. A warning appears on the display when the battery level falls below a minimum acceptable level. To conserve battery power, the FS1R-100 automatically shuts off 10 minutes after the last key press.



You navigate from one field to another using (up) or (down) arrow keys. The active field is indicated by flashing (alternates between yellow text on black background and black text on yellow background.)

Once active, use the Select button to move to a menu or function within the active field. Value fields are used to adjust parameter settings. They are shown in "less-than/greater-than" symbols: <value>. Once active, change them using (left) and (right) arrow keys. In general the up key increments and the down key decrements a value. Selections wrap-around if you continue to press the key beyond maximum or minimum values. Moving away from the value field overwrites the original value. The Home button takes you to the main menu. The Back button can be thought of as an undo function. It takes you back one screen. Changes that were in process prior to pressing the key are lost. More information on the FS1R-100 Remote Programming Tool is available at wattstopper.com.



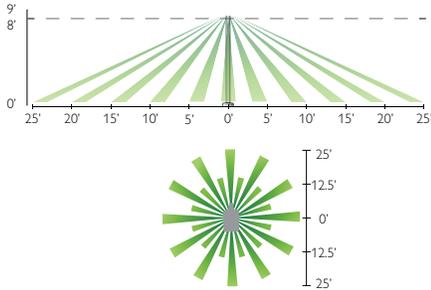
ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with Limelight

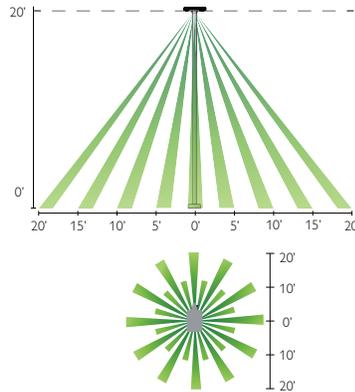
ECF-LLC2

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #2 lens for 8-15' mounting heights.



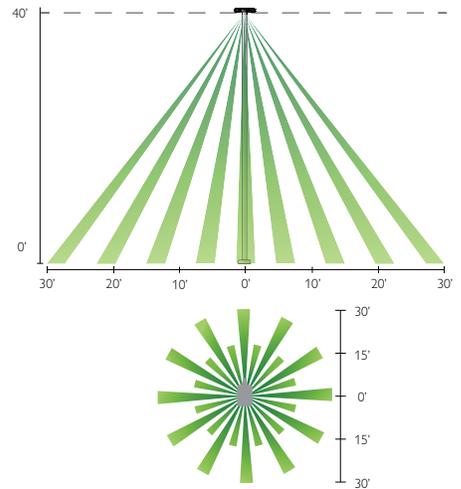
ECF-LLC3

EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #3 lens for 15-25' mounting heights.



ECF-LLC4

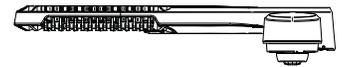
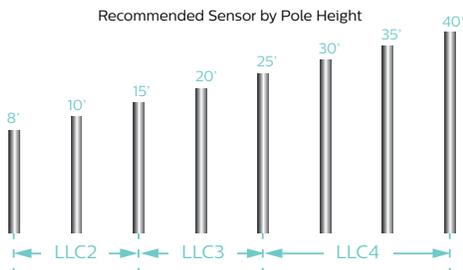
EcoForm with Limelight wireless technology
Controller pod attached to luminaire arm and includes radio, photocell and motion sensor with #4 lens for 25-40' mounting heights.



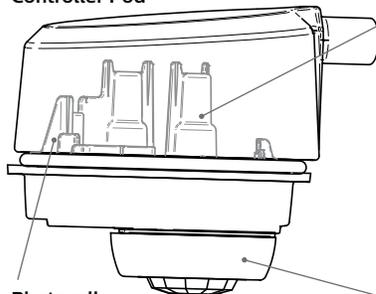
Luminaire Configuration Information – EcoForm with Limelight

ECF-LLC(#)

With this configuration, the controller pod is mounted to the luminaire arm. One controller is required per luminaire. There are three different motion sensor configurations available. Each one corresponds to the desired mounting height that for your specific application. See motion response detection ranges below.



Controller Pod



Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 102-277V RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from gateway
- Reports internal PCB temperature
- Transmission Systems Operating within the band 2400-2483.5Mhz. IEEE 802.15.4
- ROHS Compliant

Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

Motion Response

- Three different lens configurations
- Detects motion through passive InfraRed sensing technology
- Connects directly to radio through modular jack
- Three different mounting heights and detection ranges available

ECF EcoForm

Site & Area

Luminaire Configuration Information – EcoForm with LimeLight (Continued)

Gateway

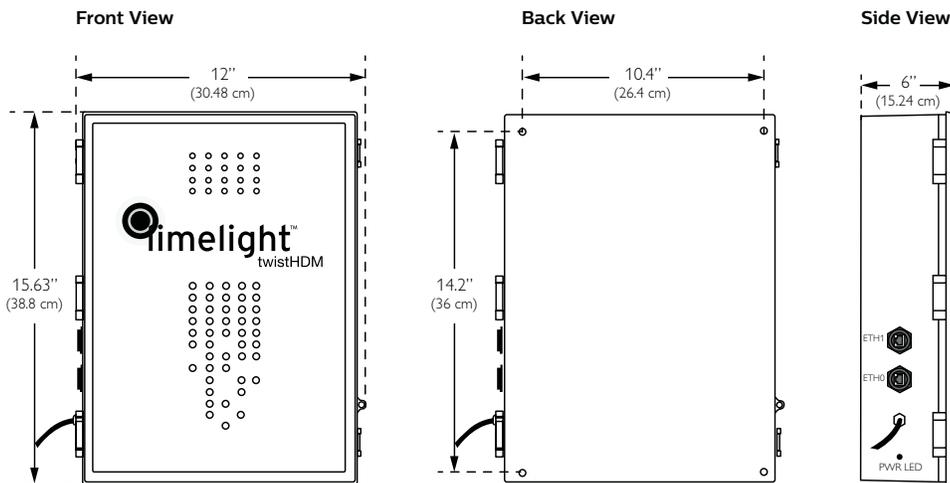
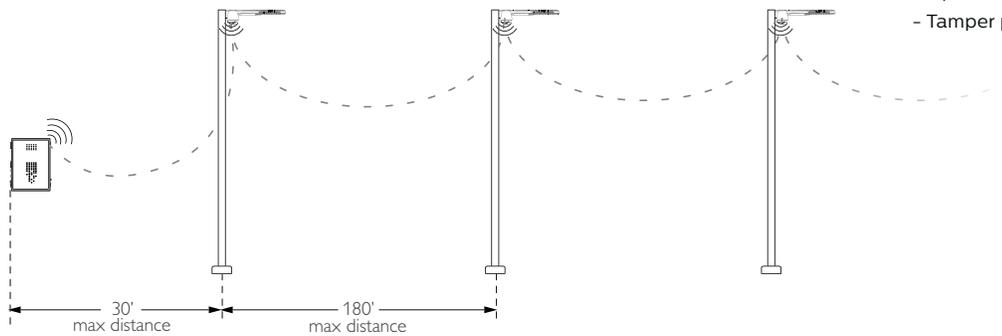
Overview: One gateway is included with the wireless controls system. The gateway opens up communication with the wireless radios installed with the EcoForm luminaires (or pole), allowing you to control your fixtures straight from the web. One LimeLight gateway can communicate with up to 800 fixtures. Typically one unit is required per parking lot.

Installation: Gateway has 4 blind threaded holes on the back side that accept 10-32 screws. Mount spacing is 10.41" across and 14.19" vertical.

Requirements: The gateway must be mounted in a secure on-site location. The gateway requires 120V. Distance of gateway to the first radio varies upon application; contact factory. Strong internet connection required.

Specifications:

- High density RF Mesh coordinator
- Ethernet or wireless internet connection to LimeLight server
- Proprietor of software "rules of operation"
- Watertight Ethernet connections
- Highly protected, long life ac/dc power supply
- Single board, ARM compliant 520Mhz Intel computer.
- Operating Temperature -20°C to 55°C
- Tamper proof housing



Specifications

Housing

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

IP Rating

LED light engine rated IP66.

Vibration Resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

Electrical

Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

LED Board and Array

32, 48, or 64 LEDs. Color temperatures: 3000K, 4000K, 5700K +/- 250K. Minimum CRI of 70. Aluminum metal clad board. RoHS compliant.

LED Thermal Management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

Energy Saving Benefits

System efficacy up to 95 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

LED Performance

Predicted Lumen Depreciation Data¹

Ambient Temperature °C	Driver (mA)	Calculated L ₇₀ Hours ^{1,2}	L ₇₀ Per TM-21 ^{2,3}	Lumen Maintenance % @ 60,000 hours
Up to 40 °C	Up to 1050 mA	> 350,000 hours	> 60,000 hours	97%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM21-11. Published L70 hours limited to 6 times actual LED test hours.

Wireless Controls

The LimeLight wireless Controls System includes: gateway, controller pod (with wireless radio, motion response, and photocell), and commissioning/training. LimeLight is an intelligent web-based system that operates through a high density mesh (HDM) wireless technology. Wireless radios with motion response and photocell sensors are integrated with PureForm luminaires, and enable the fixtures to communicate via the ZigBee protocol. The gateway is a mini computer that connects to the internet, and is located in a secure location. The central LimeLight database channels communication to and from the gateway, allowing data to be viewed or managed through the web-based graphical user interface (GUI). See LimeLight pages for details and technical information.

Motion Sensors

ECF-MR50, ECF-APD-MRO, ECF-MRI, ECF-APD-MRI luminaires may be specified for additional energy savings during unoccupied periods. See pages 4-6 for complete details.

Optical Systems

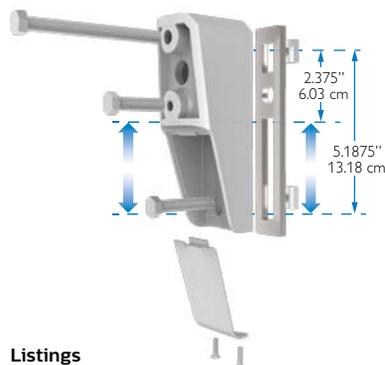
Type 2, 3, 4, and 5 distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, and 4 distributions to control backlight.

Mounting

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles.

Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.



Listings

ETL/cETL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. All EcoForm luminaires equipped with NW and CW are DesignLights Consortium® qualified.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

Warranty

EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer.

