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Z2016-017 - Discuss and consider a City initiated zoning request for the approval of an ordinance for a text amendment to Section 1, Land Use Schedule, and Section 2.1.8, Auto and Marine-Related Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for the purpose of changing the requirements for Used Motor Vehicle Dealerships, and take any action necessary [2nd Reading].

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Discuss and consider a request from Ms. Julia Dowdy for a special permit on a front yard fence to be located at 1200 Bayshore Dr., and take any action necessary.

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Discuss and consider a request from Ms. Debbie Coffey for a special permit on a front yard fence to be located at 319 Portview Place, and take any action necessary.

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Discuss and consider a proposal from Primary Media regarding a billboard generally located just east of the intersection of Horizon Road and Ridge Road, and take any action necessary.

 PM Proposal 90

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SP2016-014 - Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of variances to the four (4) sided architecture and secondary materials requirements stipulated by Article V, District Development Standards of the Unified Development Code in conjunction with an approved site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary.

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Discuss and consider the minimum square footage required for residential dwelling units in various zoning districts as stipulated by Article V, "District Development Standards" of the Unified Development Code, and take any action necessary.

 Min Square Footages 112

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Discuss and consider approval of a resolution regarding the median openings/left turn lane locations for the FM-3549 (IH-30 to SH-66) Project, and take any action necessary.

 Memo (FM3549 medians). 117

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Discuss and consider a resolution requesting financial assistance from the Texas Department of Transportation related to drainage and asphalt repairs at the Ralph M. Hall / Rockwall Municipal Airport and naming the Texas Department of Transportation Aviation Division as its agent for the purposes of applying for, receiving and disbursing all funds for these improvements and for the administration of contracts necessary for the implementation of these improvements, and take any action necessary.	
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AGENDA
ROCKWALL CITY COUNCIL
Tuesday, July 05, 2016
4:00 p.m. Regular City Council Meeting
City Hall - 385 S. Goliad, Rockwall, Texas 75087

I. CALL PUBLIC MEETING TO ORDER

II. WORK SESSION

- p.8 1.** Hold a work session to hear presentation from TxDOT's engineer (Halff Associates, Inc.) regarding the various TxDOT alternate alignments for SH-205 through the City of Rockwall and provide an opportunity for City Council to give input and direction prior to the Public Meetings scheduled for July 7, 2016 and July 12, 2016
- p.10 2.** Hold a work session to hear proposed strategic plan for the Internal Operations Department.

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

- 1. Discussion regarding Economic Development incentives, procedures and possible projects pursuant to Section 551.087 (Economic Development)
- 2. Discussion regarding proposed renegotiation of City v. Primary Media settlement agreement pursuant to Section §551.071 (Consultation with Attorney)
- 3. Discussion regarding the lease of land in the vicinity of the downtown area pursuant to Section §551.072 (Real Property).
- 4. Discussion regarding the status of negotiations for an ambulance services contract pursuant to Section §551.071 (Consultation with Attorney)
- 5. Discussion regarding lawsuit: Jason Manley and the Manley Grandchildren's Trust FBO Jason Manley v. the City of Rockwall, Texas and Board of Adjustments of the City of Rockwall, Texas (Cause No. 1-16-0580, 382nd District Court) pursuant to Section §551.071 (Consultation with Attorney)
- 6. Discussion regarding legal options available to the City pertaining to possible violations of drainage and detention development standards pursuant to Section §551.071 (Consultation with Attorney)

IV. ADJOURN EXECUTIVE SESSION

AGENDA
ROCKWALL CITY COUNCIL
Tuesday, July 05, 2016
6:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

V. RECONVENE PUBLIC MEETING

VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER WHITE

VIII. PROCLAMATIONS / AWARDS

- p.21** 1. Parks and Recreation Month

IX. OPEN FORUM

X. CONSENT AGENDA

- p.23** 1. Consider approval of the minutes from the June 20, 2016 regular city council meeting, and take any action necessary.

- p.42** 2. **Z2016-018** - Consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of an **ordinance** for a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary **[2nd Reading]**.

XI. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.
- p.69** 2. Appointment with Rockwall County Emergency Management Coordinator, Joe DeLane, to hear overview of the countywide draft Hazard Mitigation Plan and associated process, and take any action necessary.

XII. ACTION ITEMS

- p.71** 1. **Z2016-017** - Discuss and consider a City initiated zoning request for the approval of an **ordinance** for a text amendment to Section 1, Land Use Schedule, and Section 2.1.8, Auto and Marine-Related Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for the purpose of changing the requirements for Used Motor Vehicle Dealerships, and take any action necessary **[2nd Reading]**.

- p.77** 2. Discuss and consider a request from Ms. Julia Dowdy for a special permit on a front yard fence to be located at 1200 Bayshore Dr., and take any action necessary.
- p.84** 3. Discuss and consider a request from Ms. Debbie Coffey for a special permit on a front yard fence to be located at 319 Portview Place, and take any action necessary.
- p.90** 4. Discuss and consider a proposal from Primary Media regarding a billboard generally located just east of the intersection of Horizon Road and Ridge Road, and take any action necessary.
- p.96** 5. **SP2016-014** - Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of variances to the four (4) sided architecture and secondary materials requirements stipulated by Article V, District Development Standards of the Unified Development Code in conjunction with an approved site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary.
- p.112** 6. Discuss and consider the minimum square footage required for residential dwelling units in various zoning districts as stipulated by Article V, "District Development Standards" of the Unified Development Code, and take any action necessary.
- p.117** 7. Discuss and consider approval of a resolution regarding the median openings/left turn lane locations for the FM-3549 (IH-30 to SH-66) Project, and take any action necessary.
- p.120** 8. Discuss and consider a resolution requesting financial assistance from the Texas Department of Transportation related to drainage and asphalt repairs at the Ralph M. Hall / Rockwall Municipal Airport and naming the Texas Department of Transportation Aviation Division as its agent for the purposes of applying for, receiving and disbursing all funds for these improvements and for the administration of contracts necessary for the implementation of these improvements, and take any action necessary.

XIII. CITY MANAGER'S REPORT TO DISCUSS CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

- 1. Departmental Reports
 - p.128** Building Inspections Monthly Report - May 2016
 - Fire Dept. Monthly Reports - May 2016 **p.140**
 - p.152** Harbor PD Monthly Report - May 2016
 - Fire Marshal's Division Monthly Report - May 2016 **p.154**
 - p.156** GIS Department Monthly Report - May 2016
 - Internal Operations Department Monthly Report - May 2016 **p.158**
 - p.162** Meals on Wheels Senior Services Quarterly Report
 - Police Department Monthly Report - May 2016 **p.164**
 - p.167** Recreation Monthly Report - May 2016
 - Rockwall Animal Adoption Center Monthly Report - May 2016 **p.169**

2. City Manager's Report

XIV. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding Economic Development incentives, procedures and possible projects pursuant to Section 551.087 (Economic Development)
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4. Discussion regarding the status of negotiations for an ambulance services contract pursuant to Section §551.071 (Consultation with Attorney)
5. Discussion regarding lawsuit: Jason Manley and the Manley Grandchildren's Trust FBO Jason Manley v. the City of Rockwall, Texas and Board of Adjustments of the City of Rockwall, Texas (Cause No. 1-16-0580, 382nd District Court) pursuant to Section §551.071 (Consultation with Attorney)
6. Discussion regarding legal options available to the City pertaining to possible violations of drainage and detention development standards pursuant to Section §551.071 (Consultation with Attorney)

XV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

XVI. ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.086 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 1st day of July, 2016 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary

Date Removed



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager
FROM: Timothy M. Tumulty, Director of Public Works/City Engineer
DATE: June 30, 2016
SUBJECT: SH 205 (SH 78 to US 80)

The Texas Department of Transportation (TxDOT) is currently evaluating possible roadway sections for improving SH 205 from SH 78 in Lavon, Texas to U.S. 80 in Terrell, Texas. From the onset of the evaluation process, Staff has worked with TxDOT staff and their consultant to incorporate John King Boulevard as an alternate alignment through the City of Rockwall. The City Staff has been very clear from the very beginning that John King Boulevard be considered the City's "preferred" route rather than an alternate route.

TxDOT will host two Public Meetings (one in the City of Rockwall on July 7, 2016 and the other in the City of Terrell on July 12, 2016) to seek public input on these alternate alignments. Once this feedback has been reviewed by the agency staff/consultants, a recommendation will be made for the roadway schematic and included in the Environmental Assessment. Upon approval of that process, plan/specifications/estimate will be the next action to occur.

Staff has requested TxDOT's engineer (Halff Associates, Inc.) to present the various TxDOT alternate alignments for SH 205 through the City of Rockwall to City Council for their input and direction prior to the Public Meetings.

TMT:em

Cc:
Mary Smith, Assistant City Manager
Amy Williams, P.E., Assistant City Engineer
Jeremy White, Civil Engineer
File

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2016 Internal Operations Department Strategic Plan

The Internal Operations Department Strategic Plan identifies short-term and long-term goals for the following roles and responsibilities: City Facilities, Information Technology, Public Safety Radio System, Public Information / Marketing, and the Ralph M. Hall / Rockwall Municipal Airport.

1. City Facilities Initiatives

Develop Comprehensive Facilities Evaluation & Maintenance Plan - The Department has conducted an initial evaluation of current facility capacity levels, HVAC, flooring, and roof systems.

- Develop a comprehensive program to replace costly items such as HVAC systems, lighting, energy management, flooring, and furniture. The result will be a short-term and long-term plan to replace aging systems. **Comprehensive Assessment Completion: June, 2017** (A budget request in the amount of \$414,000 has been submitted in the proposed FY 2017 budget to address day-to-day operational issues with roof leaks.)

Implement Facilities Maintenance work order / work flow system that allows the department to better track what maintenance issues more significantly impact the staff and the budget.

- The department will evaluate the need for separate contracts for items such as HVAC maintenance / repair allowing more time for staff to focus on other maintenance requests. **Implementation Date: FY 2017.**

2. Information Technology Initiatives

Review the current configuration, sizing, capabilities, tools, and support structure of the IT Department.

- The initiative will assess the IT Department's optimal organizational structure, existing infrastructure, and establish a 1-3 year plan regarding modifications and improvements.
- The study will further evaluate support to end users, hardware, software, network connectivity, disaster recovery, and network security. **Completion Date: April, 2017** (An Information Technology Plan Update budgeted in FY 2016 was placed on hold due to a staff vacancy.)

3. Public Safety Radio System Initiatives

Prepare for and acquire equipment and services necessary for transition to the new County-wide system.

- Interlocal Agreement with Rockwall County to Rockwall City Council: **July, 2016**
- Present budget to City Management for Consideration: **July, 2016**
- New System Cutover and Acceptance Testing: **October, 2017**

4. Public Information / Marketing Initiatives

Increase Citizen Interaction Through Multiple Media Opportunities: press releases, social media, partnerships with local media, electronic and print marketing, and live streaming of meetings. **FY 2017**

- Develop ways to drive people to the City website and social media sites.

- Make Rockwall informational sites the “go to” resource for information.
- Coordinate marketing and promotion of the City across all departments.
- Develop plan to promote and market all destinations in Rockwall.

Develop plan to provide video streaming of public meeting upon reaching 50,000 in population

- Assess the technical / production requirements necessary to provide streaming video of public meetings and how streamed broadcasts may change the public perception of the city. There have been several suggestions that this be implemented prior to that requirement. A budget request has been submitted to the City Manager for consideration. **FY 2017**

Support leadership team in defining City’s role in retail recruitment **FY 2017**

- Assist with implementation of strategies to maintain high per capita sales tax rate
- Market the city to attract unique businesses that will strengthen the residential vs non-residential tax base

5. Ralph M. Hall / Rockwall Municipal Airport Initiatives

Implement the adopted Airport Development Plan by working with the Airport Advisory Board to recommend a plan for land acquisition, expansion, and funding in 3 Phases:

- Phase I – (0 –5 Years) Property acquisition, hangars, apron, terminal building, FBO hangar, auto access, fuel facility, runway and taxiway improvements.
Cost: \$11,385,000
- Phase II – (6–10 Years) Taxiway extension, apron expansion, hangar development, airfield/runway electrical/lighting, AWOS relocation
Cost: \$2,850,000
- Phase III – (11 –20 Years) Future Hangar development – box hangar construction
Cost: \$1,855,000
- **Total Development Costs:**

Local Match	\$2,022,000
State / Federal Funding	\$14,068,000
Total:	\$16,090,000
- Submit Budget Request for Land Purchase to City Manager - **FY 2017**

Identify and Implement Best Practices related to airport operations - **FY 2017**

- Airport Rules & Regulations
- Hangar Use Policy
- Airworthiness of Aircraft

Develop plan to address future operational challenges - **FY 2017**

- FBO Management Agreement
- Funding of Operations
- Strengthen Stakeholder Relationships

**CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
FACILITY INFORMATION**

FACILITY	YEAR BUILT	SQUARE FEET	% of Space Used	HVAC SYSTEM	Flooring	ROOF	Strategic Initiative
Animal Shelter	2008	7,122	100%	Good condition, coils replaced in 2015	Good condition	Good condition	
City Hall	2002	20,700	95%	Good condition, 9 units replaced in 2011 through grant	Good condition	Fair condition	Budget for roof repair FY 2017
Harry Myers Community Building	1958 Remodeled - 2005	3,000	379 Rentals in 2015, 204 were free for non-profit organizations. Rentals: 75% resident, 25% non-resident	Good condition	Good condition	Good condition	
Fire Station 1	1984 Remodeled - 2003	8,600	Office area 50%, bedrooms are 100 % occupied, bays are 100% used	Good condition	Good condition	Good condition	The Fire Marshal's Office will relocate to Fire Station 3 in August 2016
Fire Station 2	2002	9,400	Bedrooms are 25% occupied, bays are 80% used	Good condition	Good condition	Good condition	
Fire Station 3	2009	10,949	Bedrooms will be 50% occupied, bays are 66% used	Good condition	Good condition	Fair condition	Budget for roof repair FY 2017, Move Fire Marshal's Office in August 2016
Fire Station 4	2009	12,081	Bedrooms are 12% occupied, bays are 83% used	Good condition	Good condition	Fair condition	Budget for roof repair FY 2017
Municipal Court	1999 Remodeled - 2013	7,000	Future space needs can be addressed within this facility	Good condition	Good condition	Good condition	
Police Department	1984 Remodeled - 2002 Remodeled - 2013	18,200	100%	Good condition, coils replaced in 2015	Good condition	Fair condition	Budget for roof repair FY 2017
Police Department Community Services	1989	5,600	90%	Good condition	Good condition	Good condition	
Service Center	1984	8,400	100%	Good condition	Good condition	Fair condition	Budget for roof repair FY 2017
The Center	Remodeled - 2002 New Addition - 2002	13,700	Staff - 100%, Public space is meeting the needs of community and current programs	Good condition, 3 units replaced in 2011 as part of grant	Good condition	Good condition	

CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
FACILITY MAINTENANCE REQUESTS FOR SERVICE
MAY 2014 - APRIL 2016

FACILITY	ADDRESS	TOTAL FMR REQUESTS	TYPE OF REQUESTS
Internal Operations		3028	<u>HVAC</u> - Troubleshoot issues; change filters; adjust temps; reconfigure vents / returns <u>Plumbing</u> - Most problems are taken care of inhouse but staff oversee contractors work when necessary <u>Electrical</u> - Retrofitting existing fixtures w/energy efficient ones; moving outlets <u>Roofing</u> - Troubleshoot leaks; oversee repairs <u>General Maintenance</u> - Covers a wide range of items, including: replacing lights and ballasts to include parking lot lights; moving furniture; troubleshooting / installation of phones; generators; flags; ensuring facility compliance with fire code; security systems; repair and paint all facilities; preventative maintenance of bay doors
Airport	1701 Airport Rd.	34	Hangar maintenance; general maintenance
Animal Shelter	1825 Airport Rd.	77	HVAC; water pressure issues; building structure issues to include cracks in exterior walls, doors that have shifted and need adjusting
City Hall	385 S. Goliad St.	445	HVAC; Pull / return archived records; general maintenance; plumbing; water leaks (non-roof)
Fire Stations	FS1 - 305 E. Boydston FS2 - 920 Rockwall Parkway FS3 - 191 E. Quail Run FS4 - 2915 S. Goliad St.	806	Roof / leak issues; general maintenance; repairs to bay doors; ice maker maintenance and repair
Municipal Court	2860 SH 66	229	HVAC; general maintenance; security system; fire alarm system
Police Department	PD - 205 W. Rusk St. Comm. Services - 1113 Ridge Rd. Gun Range - 1815 Airport Rd.	696	HVAC; general maintenance; pull / return archived records; roof / leak issues
Service Center	1600 Airport Rd.	166	HVAC; roof / leak issues; general maintenance
The Center / HMCC	The Center - 108 E. Washington St. HMCC - 815 E. Washington St.	508	HVAC; general maintenance; repairs to both buildings due to rentals / renter damage; building structure issues that cause doors to stick / not close (HMCC only)
TOTAL		5989	

CITY OF ROCKWALL
2011-16 ROOF REPAIRS

DATE	VENDOR	FACILITY	JOB DESCRIPTION	COST
3/26/12	360 Innovations	Fire Stations 3 & 4	Leak repairs on both the TPO and shingle roofs.	1,425.00
9/26/12	Christian Brothers	Fire Station 2	New roof	27,476.34
9/26/12	Christian Brothers	Fire Station 4	Removed 24 lf. Of valleys, installed ice & water shield as underlayment, installed laminate shingles.	350.00
1/28/13	Christian Brothers	Fire Station 3	Removed shingles in leak area above low pitch area. Installed new felt shingles, reseal/seal all metal flashing elements, applied sealant to all exposed fasteners, resealed all roof penetrations.	850.00
1/28/13	Christian Brothers	Fire Station 4	Removed shingles in leak area above low pitch area. Installed new felt shingles, reseal/seal all metal flashing elements, applied sealant to all exposed fasteners, resealed all roof penetrations.	1,300.00
2/22/13	Christian Brothers	Fire Station 4	Removed material around the curb of vent, cleaned area and dried, installed new flat Firestone material. Sealed anywhere there were seams.	545.00
6/20/13	Christian Brothers	Fire Station 4	Isolate/identify leak in broad area of roof. Seal all penetrations.	545.00
2/3/14	Christian Brothers	Fire Station 4	Remove/replace wind damaged shingles.	350.00
8/4/14	RoofTex	Police Department	No description listed on invoice.	2,000.00
8/13/14	RoofTex	Airport	Repairs to terminal hangar and maintenance shop. Repair visible holes in roof panels with a three course application. Repair rust holes in the same manner.	6,150.00
8/19/14	RoofTex	Airport	Repairs to first hangar.	7,480.00
8/19/14	RoofTex	Airport	Repairs to second hangar.	8,830.00
8/28/14	Sterling Roof Systems	Gun Range	Installed 20 ft. of flashing, sealed and flashed east scupper with mastic and membrane. Repaired all open laps and fish mouths with mastic and membrane.	461.89
3/3/15	Sterling Roof Systems	Fire Station 2	Repaired hood with sealant and the exposed nail heads with mastic.	750.00
3/3/15	Sterling Roof Systems	Fire Station 3	Installed mastic over exposed nail heads at the roof vents and sealant at the open metal flashing and coping cover plates.	750.00
3/3/15	Sterling Roof Systems	Fire Station 4	Applies sealant on the comp shingle roof by two exhaust fan hoods, exposed nail heads were also located at the two flashings on the shingles. The devising wall had open metal flashings that were repaired with sealant.	750.00
3/3/15	Sterling Roof Systems	Service Center	Sealant repairs to open flashings and deteriorated fasteners.	1,800.00
7/12/11	Tremco	Police Department	Water tested roof section over leak areas and found several issues. Found hole in side of 4" lead stack flashing weather stripping panels of HVAC unit, exposed wood on dog house curb where the counter flashing/base flashing meet. Also corners on base flashin for HVAC have voids and need to be repaired. Recommend that all listed items be addressed.	745.00
10/10/11	Tremco	Police Department	PR patch & repair services. Seal lead jacks; 3 course 3" to 4" of base flashing. Install new weather stripping on HVAC unit 3 course 40' of gravel stop.	1,450.00
1/10/12	Tremco	Fire Station 2	PR patch & repair services. Removed 3 air vent caps then resealed base of flange/shingle transition. Resealed exposed nails, curbs and sealed approx. 120' of counter flashing.	1,075.00

TOTAL

65,083.23

Information Technology Department Network Administration Statistics

The IT Department provides support and network management for the following:

157 Desktops

78 Laptops

40 iPads

45 Printers

15 Physical Servers

58 Virtual Machines

4 Network Attached Storage Units

18 Network Switches

196 VOIP Phones

303 Network Customers

11 Separate Sites

Public Information / Marketing Interviews & Responses

<u>Question</u>	A consensus leading to a strategic directive
1. Public Information / Marketing – in addition to what we are currently doing, what else would you like to see the PIO / Marketing position do?	
<u>Answers</u>	
Happy with what we have been doing.	
Likes that Lauri is out in the community.	
His initial push to get a PIO was based on promoting PARD programs.	
Lauri has done a great job since she's been here. Has allowed the city to be proactive and not just reactive. Likes that she's built good relationships with local media.	
Primary goal is to get information out about parks, Go Outside and Play	
No complaints so far. Thinks Lauri is doing a good job.	
Thinks we put out good information. Glad Lauri is here to coordinate information and the media.	
Continue doing what we're doing. Be proactive instead of reactive. Example: the marina proposal. But, realizes we will not know how subjects will go beforehand.	
Thinks interview requests should go through Lauri. Sometimes media only seeks one side and not the opposing view from other council members.	
Marketing – anything we can do to coordinate 1 common message.	Promote the city across all departments
Continue to promote GOAP.	
Consider sending Bethany and Lauri to go to retail conferences with Sheri.	
Department meetings with HOA's to give updates – thinks we should do more of these.	
Marketing – concerts, parks, press releases are good.	
How does the city take the PR function and promote the city without having to create a separate CVB? Can we keep the money internal to get more convention business?	
How are we preparing to keep the HOT money for CVB in house?	
Can the City do it competently?	
Thinks we should get interns to do video marketing for us as well.	
<u>Question</u>	
2. What are your ongoing expectations with regard to public information, public relations, and marketing, priorities, stories you want to see us work on, types of features, etc.? What types of news stories are important to you?	
<u>Answers</u>	

Ongoing Expectations: wants to do a Mayor's article every other month in the newsletter and for the newspapers on subjects such as streets and status of CIP projects, Parks & Recreation programs, upcoming events, etc.	
Continue to focus on marketing.	
With regard to public information and PR – wants more help preparing Councilmembers with a common message or base of information on a topic. Facts about certain issues to minimize blind sides if possible	
Develop a list of "What's Next". It's the #1 question regular basis – what's coming next (residential, commercial, restaurants, retail, etc.) Also, what went away? For example, Genuine Jake left the downtown square) other businesses that left, when and why? Wants to get a monthly update.	
Improve the way Rockwall is viewed by its citizens and outside the community – build good will.	
Continue to work with local media partners such as Blue Ribbon News to promote good news stories.	
Is there a way to delegalize the agenda language so it's more reader friendly? Embed an html link that takes you to an explanation of the item?	
Develop ways to drive people to our website and social media sites. Make City informational sites the "go to" resource for information. (Facebook, Twitter, Website, etc.)	Promote City sites and become the primary source of City information
Would like to see features (short and sweet) on subject people don't normally think about. (example: how fire codes helped a developer save \$300K)	
Some feature categories: Did you know...about City of Rockwall...where does a \$ go in the City (broken out by personnel, debt, overhead, equipment, etc.); stories focused on individual employees and send to blue ribbon news; human interest stories; says people want to peek behind the curtain. Wants a story about Rick Crowley	
Provide the public a debrief on council actions. Example: accepting the apartment complex pulling their case, etc. Why the Council does or doesn't do something, like sidewalks that lead to nowhere on state roadways.	
Would like to see some type of citizen survey (either phone or online) to gauge the general satisfaction of our citizens. Could even do an employee satisfaction survey. Does what we do reflect what citizens want?	
Wants to see if we can target a specific neighborhood for what's important to them. For example, LRE on how to protest their appraised value.	
Would like to see us help promote the airport to draw more traffic there.	
Says we are good at marketing the downtown, but poor job of promoting retail along the I-30 corridor and other areas of the city.	develop strategy to promote all destinations in Rockwall
Need a coordinated effort to market the city instead of individual departments.	
All press release should go through Lauri, exception might be a PD criminal case	
Work with Fire Department and Police Departments to release a better message.	
Work with REDC to promote city.	
Need to focus more marketing and promotion of other shopping destinations, spotlight businesses and what's going on in other areas of the city, not just DT	
Put out information on roadway projects to inform citizens about known traffic issues	
Work with Sheri and coordinate efforts to promote the City of Rockwall.	

	Branding the city – The New Horizon, Live Music Capitol – do we need to look at rebranding? What is Rockwall?	
	Spotlight unique individuals in Rockwall, do features on them. Spotlight charities.	
	Control over the message: try and figure out how we educate the citizens on the facts, example: property tax situation and defend ourselves? Wants to get in front of the agenda items, etc.	
Question		
3. Once the City reaches a population of 50K, it is required that the City broadcast its City Council and Board meetings. Until we reach 50K, are you in favor of broadcasting meetings live?		
Answers		
	Says we need to broadcast meetings.	City should consider streaming live video of its public meetings
	Doesn't have a problem with broadcasting meetings. Wonders what we think the potential audience would be.	
	On broadcasting, he's okay with it. Knows it's expensive. Wants to see the cost.	
	Broadcasting meetings – yes, if the price is reasonable.	
	Thinks we should broadcast meetings.	
	With regard to broadcasting meetings, he doesn't think the city should until the state law requires it.	
	Broadcasting meetings – yes.	
Question		
4. What do you feel are our strengths / weaknesses? What can we improve upon?		
Answers		
	Wants staff to do a better job of tracking social and civic events that are going on and let council know. Says events take place and he doesn't know about them. Send out weekly or 2-week schedule.	Give citizens multiple ways to receive information from the City
	Be consistent in sharing information and make it available in multiple ways.	
Question		
5. The City was recognized for its level of transparency by the Dallas Morning News in 2015. What more would you like to see with regard to transparency?		
Answers		
	Transparency – thinks city does a good job. Doesn't know how we could be more transparent.	City does a good job with transparency
	Says the city already does a good job with transparency. Doesn't know what else we could do.	
	Thinks the city does a good job with transparency.	
	Transparency – we do a good job.	
	Transparency – doing a good job.	

Interaction Statistics for Social Media Sites:		
Total # of Households: 15,476		Need to drive more citizens to our sites
Facebook Followers: 3,784		
Twitter Followers: 1,183		
Enews Recipients: 2,578		
Rockwall.com News Page Hits: 25 per day (average)		

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Rockwall, Texas Proclamation

Whereas, parks and recreation are vitally important to establishing and maintaining a high quality of life in our city, ensuring health of citizens, and contributing to the economic and environmental well-being of our community and our region; and

Whereas, parks and rec programs build healthy, active communities that aid in preventing chronic disease, provide therapeutic recreation for those who are mentally or physically disabled, and improve the mental and emotional health of citizens; and

Whereas, parks and rec programs increase a community's economic prosperity through increased property values, expansion of the local tax base, increased tourism, the attraction and retention of businesses, and crime reduction; and

Whereas, parks and natural recreation areas improve water quality, protect groundwater, prevent flooding, improve the quality of the air we breathe, provide vegetative buffers to development, and produce habitat for wildlife; and

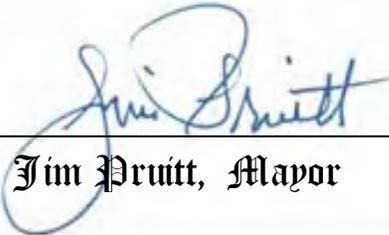
Whereas, our parks and natural recreation areas ensure the ecological beauty of our community while providing a place for children and adults to connect with nature and the outdoors.

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall, Texas, do hereby proclaim the month of **July** as

PARKS AND RECREATION MONTH

in the City of Rockwall and encourage all citizens to visit Playrockwall.com to find out about parks and rec-related news, events, facilities, and other information that promotes healthy life styles right here in the City of Rockwall.

In Witness Whereof, I hereunto set my hand and official seal this 5th day of July, 2016.



Jim Pruitt, Mayor

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MINUTES
ROCKWALL CITY COUNCIL
Monday, June 20, 2016
4:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

7
8

I. CALL PUBLIC MEETING TO ORDER

9
10
11
12
13
14

Mayor Pro Tem Townsend called the meeting to order at 4:00 p.m. Present were Mayor Pro Tem Mike Townsend and Council Members David White, Scott Milder, Kevin Fowler and Dennis Lewis. Also present were City Manager Rick Crowley, Assistant City Managers Mary Smith and Brad Griggs, and City Attorney Frank Garza. Councilmember John Hohenshelt and Mayor Jim Pruitt were absent from the meeting.

15
16

II. WORK SESSIONS

- 17
18
19
1. Hold a work session to discuss and consider the minimum square footage required for residential dwelling units in various zoning districts as stipulated by Article V, "District Development Standards" of the Unified Development Code

20
21
22
23
24
25
26
27
28
29
30
31
32

Planning Director Ryan Miller provided information concerning this item, indicating that at the May 16 meeting, Council expressed interest in looking at square footage associated with, for example, SF-10 zoning districts. As a result, staff has performed a survey of comparable cities regarding their residential zoning districts. This information has been compared to the City of Rockwall's residential zoning districts by lot size to assess the required minimum square footage for dwelling units. A copy of this analysis has been included in the meeting packet for the City Council's review. Based on the analysis there is some evidence indicating that the Single Family 10 (SF- 10) and Single Family 16 (SF-16) Districts minimum square footage for dwelling units could be increased. If the City Council chooses to direct staff to make changes to this section of the code, staff would suggest that the City Council also consider setting a minimum square footage for dwelling units in an Agricultural (AG) District. Currently, no minimum exists.

33
34
35
36

It was clarified that the smallest that is currently allowable is a zero lot line property, which would essentially have a 5,000 square foot lot with a minimum 1,000 square foot home. General discussion took place regarding the standards that other cities have in place. Price points and property values were discussed as well.

37
38
39

Councilmember Milder suggested that there should perhaps be a minimum square footage of 1,800 for homes within Rockwall; however, he is open to further discussion regarding what other cities do in this regard (if they do at all).

40
41
42
43

Based on the discussions, staff clarified that it will return to the council with proposed modifications to the city's current development standards, specifically regarding minimum square footage (including within AG zoning) for further discussion and consideration.

- 44
45
46
2. Hold a work session to hear a project status on the engineering design for the East Boydston Avenue (South Goliad to Clark Street) and Throckmorton Street (East Boydston Avenue to East Bourn Street) Paving Improvement Projects

47 City Engineer Tim Tumulty came forth and indicated that Jeremy White, one of the city's
48 engineers, has been serving as the project manager on these projects, so he will be
49 speaking to the Council this afternoon. Mr. White then came forth and provided an
50 update concerning details associated with these projects.

51 East Boydston Avenue is currently an existing 37 foot wide curb and gutter roadway
52 approximately 1,800 linear feet from South Goliad to Clark Street. Throckmorton Street is
53 currently an existing two lane asphalt roadway from East Boydston Avenue to East
54 Bourn Street. Both East Boydston Avenue and Throckmorton Street are two of four
55 Roadway Capital Improvement Projects passed in the 2012 Bond Election.

56
57 East Boydston Avenue will be reconstructed to a 41 foot concrete curb and gutter
58 roadway with a 5-foot concrete sidewalk on each side. The reconstruction will also
59 include re-configuring of the South Goliad/East Boydston Avenue intersection to
60 enhance the northbound South Goliad to eastbound East Boydston Avenue turning
61 movement. Additional improvements for the project will include improved storm sewer
62 capacity along with the replacement of the existing sanitary sewer and water lines. The
63 City hired EJES, Inc. to provide the engineering design and specifications for the East
64 Boydston Avenue project.

65
66 Throckmorton Street will be reconstructed to a two lane, 29 foot concrete curb and gutter
67 roadway with a 5-foot concrete sidewalk on each side. These improvements will be
68 placed within the existing 50' right of way. Additional improvements for the project will
69 include improved storm sewer capacity along with the replacement of the existing
70 sanitary sewer and water lines. The City hired Cobb, Fendley & Associates, Inc. to
71 provide the engineering design and specifications for the Throckmorton Street project.

72
73 Both projects are currently at the 60% engineering design stage. City Staff and the
74 engineering design consultants plan to hold a public meeting on June 29, 2016 at 6:00pm
75 at City Hall Council Chambers for the residents and businesses along and adjacent to
76 East Boydston Avenue and Throckmorton Street. Public input will be received at this
77 meeting and taken into consideration as the engineering design is completed.

78
79 The Council took no action following this work session item.
80

81 3. Hold a work session to hear update regarding the South Lakeshore Drive/Summit
82 Ridge Reconstruction Project

83 Mr. White came forth and briefed the Council on this project as well.
84

85 It was explained that staff is working with the engineering consultant (Kimley Horne) on
86 the design for the reconstruction of South Lakeshore Drive/Summit Ridge from SH 66 to
87 FM 740 (Ridge Road). The existing concrete pavement section along South Lakeshore
88 (SH 66 to Summit Ridge) is wider than the section along Summit Ridge from South
89 Lakeshore to FM 740. Both sections of roadway do not provide a walkway for pedestrian
90 other than in the street.

91
92 Staff hosted a neighborhood meeting on December 9, 2015 with the residents living
93 along both roadways allowing residents to express their concerns regarding the existing
94 roadway and the proposed improvements. About thirty residents / property owners were
95 in attendance. The main concerns expressed by the public at that time were speeding

96 and 'cut through' traffic. Staff and the consultant have utilized that information to move
97 forward on the design of the reconstructed roadway.
98

99 Staff intends to host a second meeting with these residents along with residents living
100 within four blocks of South Lakeshore Drive/Summit Ridge. The meeting is scheduled for
101 July 20, 2016.
102

103 The Council took no action following discussion of this work session item.
104

105 Mayor Pro Tem Townsend read the below listed discussion items into the public record
106 before recessing the meeting into Executive Session at 4:43 p.m.
107

108 **III. EXECUTIVE SESSION.**
109

110 THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS
111 THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT
112 CODE:
113

- 114 1. Discussion regarding proposed renegotiation of City v. Primary Media
115 settlement agreement pursuant to Section §551.071 (Consultation with
116 Attorney)
- 117 2. Discussion regarding contract with Holmes Murphy & Associates and
118 HIPPA Information pursuant to Section §551.071 (Consultation with
119 Attorney)
- 120 3. Discussion regarding purchase or lease of real property / land acquisition
121 in the vicinity of FM-3549 and SH-66 pursuant to Section § 551.072 (Real
122 Property).

123 **IV. ADJOURN EXECUTIVE SESSION**
124

125 Council adjourned Executive Session at 5:25 p.m.
126

127 **V. RECONVENE PUBLIC MEETING (6:00 P.M.)**
128

129 Mayor Pro Tem Townsend reconvened the public meeting at 6:00 p.m. with five of the
130 seven council members being present (Hohenshelt and Pruitt were absent).
131

132 **VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION**
133

134 Councilmember Milder made a motion to accept the offer from TXDOT associated with
135 Parcels 48 and 49 on the FM-3549 (roadway improvements) project. Councilmember
136 White seconded the motion, which passed by a vote of 5 in favor with 2 absent
137 (Hohenshelt and Pruitt).
138

139 **VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER LEWIS**
140

141 Mayor Pro Tem Lewis delivered the invocation and led the Pledge of Allegiance.
142
143
144

145 **VIII. OPEN FORUM**

146
147 **Mayor Pro Tem Townsend explained how Open Forum is conducted and asked if anyone**
148 **would like to speak. There being no one indicating such, he then closed Open Forum.**

149
150 **IX. CONSENT AGENDA**

- 151
152 1. Consider approval of the minutes from the June 6, 2016 regular city
153 council meeting, and take any action necessary.
- 154 2. **Z2016-013** - Consider a request by Garrett Lust of Pointe Land &
155 Development, LLC on behalf of Marven Wu of West Union Investment,
156 Co. for the approval of an **ordinance** for a zoning change from an
157 Agricultural (AG) District to a Planned Development District for Single-
158 Family 10 (SF-10) District land uses on a 81.49-acre parcel of land
159 identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City
160 of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
161 located on Rochell Road south of the intersection of Rochell Road the
162 SH-276, and take any action necessary. **(2nd Reading)**
- 163 3. **P2016-020** - Consider a request by Cameron Slown of FC Cuny
164 Corporation on behalf of Randal Currington of Fontanna Ranch Phase II,
165 LP for the approval of a final plat for Phase II of the Fontanna Ranch
166 Subdivision containing 49 single-family residential lots on a 19.167-acre
167 tract of land identified as Tract 5 of the J. A. Ramsey Survey, Abstract No.
168 186, City of Rockwall, Rockwall County, Texas, zoned Planned
169 Development District 64 (PD-64) for Single Family 16 (SF-16) land uses,
170 generally located east of FM-549 and south of SH-276, and take any
171 action necessary.
- 172 4. **P2016-028** - Consider a request by Noah Flabiano of the Skorburg
173 Company on behalf of the owner Lakeside Church of Christ of Rockwall
174 for the approval of a master plan/ open space plan for the Ridgecrest
175 Subdivision containing 45 single-family residential lots on a 29.541-acre
176 parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall
177 Lakeside Church of Christ Addition, City of Rockwall, Rockwall County,
178 Texas, zoned Planned Development District 81 (PD-81), located on the
179 north side of Airport Road, west of the intersection of Airport Road and
180 FM-3549, and take any action necessary.
- 181 5. **P2016-029** - Consider a request by Noah Flabiano of the Skorburg
182 Company on behalf of the owner Lakeside Church of Christ of Rockwall
183 for the approval of a preliminary plat for the Ridgecrest Subdivision
184 containing 45 single-family residential lots on a 29.541-acre parcel of land
185 being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside
186 Church of Christ Addition, City of Rockwall, Rockwall County, Texas,
187 zoned Planned Development District 81 (PD-81), located on the north
188 side of Airport Road, west of the intersection of Airport Road and FM-
189 3549, and take any action necessary.
- 190 6. Consider approval of the North Water Improvements Project and
191 authorize the City Manager to execute a contract with Reytech Services,

192 LLC. in an amount of \$746,704.61 to be funded by 2016 Water & Sewer
193 Bonds, and take any action necessary.

194 **Mayor Pro Tem Townsend pulled item #6 for further discussion.**

195
196 **Councilmember Milder made a motion to approve the remaining Consent Agenda Items**
197 **(#1, 2, 3, 4, and 5). Councilmember White seconded the motion. The ordinance was read**
198 **as follows:**

200 CITY OF ROCKWALL
201 ORDINANCE NO. 16-43

202
203 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
204 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE*
205 *NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED,
206 SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG)
207 DISTRICT TO PLANNED DEVELOPMENT DISTRICT 82 (PD-82) FOR
208 SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT
209 PROPERTY, BEING AN 81.49-ACRE TRACT OF LAND IDENTIFIED AS
210 TRACT 16 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF
211 ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY
212 DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL
213 CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED
214 THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH
215 OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR
216 A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

217
218 **The motion passed by a vote of 5 in favor with 2 absent (Pruitt and Hohenshelt).**

219
220 **Townsend asked for clarification as to what we are spending and what areas will be**
221 **included in this project. Mr. Tumulty indicated that this is a water main replacement**
222 **project, and some of the following streets will be included:**

- 223
- 224 • Jackson St. From Fannin to Nash
- 225 • Clark St. from SH-66 to Heath
- 226 • Lilian St. from Fannin to Clark
- 227 • Kernoodle from Margaret to Heath
- 228

229 **He explained that some of these water lines have been in the ground since the 1960's or**
230 **before. So, this replacement project will bring the lines up to today's standards and cut**
231 **down on ongoing, needed repairs.**

232
233 **Mayor Pro Tem Townsend then made a motion to approve Consent Agenda item #6.**
234 **Councilman Milder seconded the motion, which passed unanimously of those present**
235 **(Pruitt and Hohenshelt absent).**

236
237 **X. APPOINTMENTS**

- 238
- 239 1. Appointment with the Planning and Zoning Chairman to discuss and
- 240 answer any questions regarding cases on the agenda and related issues
- 241 and take any action necessary.

242 Chairman Craig Renfro came forth and briefed the City Council on recommendations of
243 the Commission relative to items on tonight's meeting agenda. The Council took no
244 action following Mr. Renfro's briefing.

245
246 **XI. PUBLIC HEARING ITEMS**

247
248 1. **Z2016-017** - Hold a public hearing to discuss and consider a City initiated
249 zoning request for the approval of an **ordinance** for a text amendment to
250 Section 1, Land Use Schedule, and Section 2.1.8, Auto and Marine-
251 Related Use Conditions, of Article IV, Permissible Uses, of the Unified
252 Development Code for the purpose of changing the requirements for
253 Used Motor Vehicle Dealerships, and take any action necessary [**1st**
254 **Reading**].

255 **Planning Director Ryan Miller briefed the Council on this agenda item. On May 16, 2016,**
256 **staff brought forward an ordinance to the City Council proposing to allow the Motor**
257 **Vehicle Dealership, Used (Cars and Light Trucks) use by Specific Use Permit (SUP) in the**
258 **Light Industrial (LI) District and by-right in the Heavy Industrial (HI) District; however, the**
259 **ordinance also restricted the use in certain overlay districts within the City. This**
260 **ordinance was denied by the City Council by a vote of 6-1, with Mayor Pruitt dissenting.**
261 **As part of this motion, staff was directed to draft and bring back for consideration an**
262 **ordinance that conforms to the motion made by the City Council on March 21, 2016. This**
263 **motion was to allow a Motor Vehicle Dealership, Used (Cars and Light Trucks) in a Light**
264 **Industrial (LI) District by a Specific Use Permit (SUP).**

265
266 **Mayor Pro Tem Townsend opened the public hearing and asked if anyone would like to**
267 **come forward and speak at this time.**

268
269 **Maxwell Fisher**
270 **Echo Park**
271 **900 Jackson Street, Ste. 640**
272 **(No city or state provided with address)**

273
274 **Mr. Fisher came forth and indicated that he has previously come before the city council**
275 **on two, separate occasions had has made presentations regarding "Echo Park," which**
276 **he describes as a high-end, pre-owned car dealership. He generally expressed that he**
277 **believes the Council potentially allowing high end, used car dealerships on a case-by-**
278 **case basis is a good idea.**

279
280 **There being no one else wishing to come forth to speak, Townsend then closed the**
281 **public hearing.**

282
283 **Councilman Lewis moved to approve Z2016-017. Councilman White seconded the**
284 **motion. The ordinance was read as follows:**

285
286 **CITY OF ROCKWALL**
287 **ORDINANCE NO. 16-XX**

288
289 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,**
290 **TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE***
291 **NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED,**
292 **BY AMENDING SECTIONS 1.1 & 2.1.8 OF ARTICLE IV, *PERMISSIBLE***

293 **USES; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM**
294 **OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE;**
295 **PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A**
296 **REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**
297

298 **The motion passed by a vote of 3 in favor, 2 against (Milder and Fowler), and 2 absent**
299 **(Pruitt and Hohenshelt).**
300

- 301 **2. Z2016-018** - Hold a public hearing to discuss and consider a request by
302 Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for
303 the approval of an **ordinance** for a zoning amendment to Planned
304 Development District 74 (PD-74) to amend the concept plan to allow for
305 additional single-family residential lots and for the purpose of
306 incorporating changes to the development standards contained in Exhibit
307 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the
308 Breezy Hill Subdivision and situated within the J. Strickland Survey,
309 Abstract No. 187, Rockwall, Rockwall County, Texas, generally located
310 north of FM-552 and west of Breezy Hill Road, and take any action
311 necessary [**1st Reading**].

312 **Mr. Miller, Planning Director, provided background information concerning this agenda**
313 **item. He explained that the property was annexed in 2008 after three (3) years of**
314 **litigation that lead to the execution of a Chapter 212 Development Agreement. In**
315 **accordance with this agreement, the property was zoned to Planned Development**
316 **District 74 (PD-74) on April 20, 2009 with the intention of being a master planned,**
317 **residential community that offered tracts of land designated for retail/office, residential,**
318 **and institutional land uses. The approval of this zoning change altered the existing 212**
319 **Development Agreement -- which originally permitted 810 single-family residential lots**
320 **and did not contain any retail acreage -- to include 658 single-family residential lots and a**
321 **59-acre tract of land designated for general retail land uses. The retail tract of land is**
322 **located at the northeast corner of the intersection of FM-552 and John King Boulevard.**
323

324 **Mr. Miller explained that on October 1, 2012 the City Council approved an amendment to**
325 **Planned Development District 74 (PD-74) modifying the concept plan to remove the**
326 **school sites that were originally required by the Facilities Agreement and adjust the lot**
327 **mix accordingly [i.e. increasing the number of lots from 658 to 691]. The lot mix was**
328 **again increased on July 7, 2014 from 691 lots to 742 lots for the purpose of incorporating**
329 **two (2) additional phases (i.e. Phases IXA & IXB) and to reduce the land designated as**
330 **commercial/retail from 59.4-acres to 33.7-acres. On March 13, 2015, the applicant**
331 **submitted an alternate concept plan depicting a reduction in the number of acres**
332 **designated for retail land uses from 33.7-acres to 19.49-acres for the purpose of**
333 **amending Planned Development District 74 (PD-74) to include an additional residential**
334 **phase of 50' x 120' lots (i.e. minimum of 6,000 SF). In addition, this case proposed raising**
335 **the number of lots from 742 to 762, but maintain a density of 2.0-units/acre. This case**
336 **[Case No. Z2015-013] was denied by the City Council on May 4, 2015.**
337

338 **Mr. Miller explained that the applicant has now submitted an application requesting to**
339 **amend Planned Development District 74 (PD-74) [Ordinance No. 14-26] to approve an**
340 **alternate concept plan and development standards. Specifically, the applicant is**
341 **requesting to reduce the number of acres designated for retail land uses from 33.7-acres**
342 **to 19.49-acres for the purpose incorporating an additional residential phase that will be**
343 **composed of 50' x 120' lots (i.e. minimum of 6,000 SF).**

344
345 He shared that 364 notices were mailed out to property owners located within 500' of the
346 subject property. In addition, the Stoney Hollow and Breezy Hill Homeowners
347 Associations were also sent notifications. Initially, nineteen responses were received
348 back in opposition of this zoning change request; however, additional replies have
349 subsequently been received back, resulting in 31 total responses expressing opposition.

350
351 On June 14, 2016, the Planning and Zoning Commission approved a motion
352 recommending that the proposed residential phase -- *identified as Phase X on the*
353 *concept plan* -- consist of 60-foot lots (*i.e. Lot Type 'A'*) in lieu of the proposed 50-foot
354 lots (*i.e. Lot Type 'E'*). This motion passed by a vote of 6-0, with Commissioner
355 Trowbridge absent.

356
357 Adam Buczek
358 Skorburg Co.
359 8214 Westchester Drive, Suite 710
360 Dallas, TX 75225

361
362 Mr. Buczek came forth and briefed the city council on what his company is proposing
363 with regards to this request.

364
365 General discussion took place regarding how this particular proposal differs from the
366 previous proposal last year. Councilman Lewis expressed concern regarding the
367 additional decrease in the retail/commercial portion. He is also concerned about the
368 developer wanting to put in additional smaller lots, thus increasing the density. He
369 shared that he has received a lot of emails from homeowners who have expressed that
370 this current proposal may reduce their property values, and they are opposed to the
371 council approving this request.

372
373 Mayor Pro Tem Townsend opened the public hearing and asked if anyone would like to
374 come forth and speak at this time.

375
376 David Parks
377 3718 Drewsbury
378 Rockwall, TX

379
380 Mr. Parks expressed that he decided to build in this subdivision because of the larger
381 lots and larger homes. He acknowledged that the quality of the builders will likely be
382 good; however, the smaller lot sizes and the smaller square footages proposed to be
383 built will drive down the home values of other, existing homes. He is opposed to
384 approval of this request.

385
386 Mrs. Parks
387 3718 Drewsbury
388 Rockwall, TX

389
390 Mrs. Parks came forth and indicated that she and her husband moved here from New
391 York, and they have really enjoyed the community. She explained that she is a realtor.
392 She shared that she and her husband paid more to be in the Breezy Hill subdivision
393 because of things like the higher valued homes, the larger square footages, and the extra

394 amenities in the homes. She and her husband are generally opposed to the Council
395 approving this request.

396
397 **Amanda Warner**
398 **890 Pleasant View Drive**
399 **Rockwall, TX**

400
401 **Mrs. Warner came forth and generally expressed opposition to this request. She**
402 **explained that she and her husband intentionally chose to build in Breezy Hill instead of**
403 **Stone Creek because of the bigger lots. She explained that she and her husband paid**
404 **more for their larger lot. She moved from Dallas to get away from higher density area.**

405
406 **Lee Nori**
407 **4189 Lorion Drive**
408 **Rockwall, TX**

409
410 **Mr. Nori explained that he purchased a lot and built in this subdivision in particular**
411 **because of the larger lots and larger homes. He believes this proposal is in opposition of**
412 **what he was told when he was purchasing his home. He is not in favor of the Council**
413 **approving this request.**

414
415 **Mrs. Kelli Nori**
416 **4189 Lorion Drive**
417 **Rockwall, TX**

418
419 **Mrs. Nori expressed opposition to this current proposal, especially pertaining to**
420 **allowance of 50' lots. She explained her belief that it will lower property values for**
421 **homeowners that bought and built in this neighborhood based on neighborhood**
422 **minimum standards expressed at that time (which did not include 50' lots). She believes**
423 **allowing these would affect the aesthetics of the neighborhood too. She is against the**
424 **Council approving this item.**

425
426 **David Cavalli**
427 **721 Calmcrest Drive**
428 **Rockwall, TX**

429
430 **Mr. Cavalli expressed that he chose to build in Breezy Hill because of the larger lots. He**
431 **believes this proposal would significantly change the dynamics of his community, and**
432 **he is opposed to the Council approving this request. He also pointed out that the**
433 **developer is now proposing to not include what was originally planned to be included as**
434 **far as the commercial / retail area. He does not believe the developer's arguments for**
435 **wanting 50' lots are valid. He suggested that this and other developers should be**
436 **required to publicly post and commit to what a subdivision is proposed to be comprised**
437 **of and then stick with it to fruition. He understands that some minor changes may be**
438 **necessary, but he does not like a developer making major changes that are different than**
439 **what home buyers were first "sold on" when purchasing their homes. He strongly**
440 **encouraged the Council to vote in opposition of this request.**

441
442
443
444

445 **Kristy Dent (unsure of spelling)**
446 **601 Limmerhill Drive**
447

448 **Mrs. Dent explained that her home is not quite built yet; however, her and her husband**
449 **have been shopping around in Breezy Hill for more than two months now, and they have**
450 **contracted on a home. They used to live in Stoney Hollow, and they selected this**
451 **community because of the oversized lots. She believes these two subdivisions are**
452 **intended to be two, different products. She shared that the builders are ‘selling’ them as**
453 **such, and the consumers are buying them that way. She indicated that a lot of**
454 **homeowners and potential buyers are watching this discussion closely.**

455
456 **There being no one else wishing to come forth and speak, Mayor Pro Tem Townsend**
457 **then closed the public hearing.**
458

459 **Councilmember Fowler shared that he believes when a developer is telling homebuyers**
460 **that the future development with include larger lots and larger homes, and then they**
461 **change what they’ve told people, it is essentially morally and ethically questionable and**
462 **reprehensible.**
463

464 **Councilman Milder generally indicated that he does not believe the developer has really**
465 **been listening to the city council’s past comments or the desires of the residents. He is**
466 **generally not in favor of supporting this request.**
467

468 **Mr. Buczek came forth and indicated that he does wish to take into account the desires**
469 **and opinions of both the city council and the homeowners. His company is putting forth**
470 **a proposal in accordance with what it believes is the best use of the remaining land;**
471 **however, he knows that the city council ultimately has the decision making authority.**
472 **After additional commentary, Mr. Buczek expressed that he would like to now have the**
473 **City Council consider allowing him to withdraw the case. Some discussion took place**
474 **regarding ‘withdrawal’ versus ‘denial’ of this proposed case.**
475

476 **Councilman Milder and Councilman Fowler expressed appreciation to Skorburg Co. for**
477 **the good things it has done in our community within the existing subdivisions. Fowler**
478 **asked staff for clarification on the timeframes associated with allowing the applicant to**
479 **withdraw versus the Council denying the request. General indication was given that if**
480 **the applicant withdraws, he could come back next month, for example; however, if**
481 **Council denies the request, the applicant would have to wait at least one year before**
482 **coming back with a subsequent proposal unless he were to bring it back in a way that it**
483 **reflects a substantive change(s).**
484

485 **Councilman Fowler made a motion to deny Z2016-018. Councilman White seconded the**
486 **motion. Councilmember White then made a suggestion about approving this request by**
487 **generally following the recommendation of the Planning & Zoning Commission**
488 **(approving it but with 60’ lots, not 50’ ones). After some additional discussion,**
489 **Councilman Fowler amended his original motion to instead move to approve Z2016-018,**
490 **stipulating a requirement of 60’ lots as recommended by the Planning & Zoning**
491 **Commission (with no 50’ lots). Councilman White seconded the motion. The ordinance**
492 **was read as follows:**
493
494
495

CITY OF ROCKWALL
ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 74 (PD-74) [ORDINANCE NO. 14-26] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING THE PLANNED DEVELOPMENT CONCEPT PLAN AND THE DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 14-26, BEING A 405.184-ACRE TRACT OF LAND SITUATED IN THE J. STRICKLAND SURVEY, ABSTRACT NO. 187, T. R. BAILEY SURVEY, ABSTRACT NO. 30 AND THE J. SIMMONS SURVEY, ABSTRACT NO. 190, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE..

The motion passed by a vote of 4 in favor, 1 against (Lewis), and 2 absent (Pruitt and Hohenshelt).

XII. ACTION ITEMS

1. Discuss and consider a request from Melanie Hancock with the Hancock Sign Company representing Fenton Nissan for an approval of a sign plan located at 1700 IH 30, and take any action necessary.

Jeffrey Widmer, Building Official, came forth and briefed the Council on this agenda item. The applicant is requesting two pole signs, with one being 636 square feet in size and 42.5 feet in height and the other being 200 square feet in size and 50 feet in height. The applicant has indicated that the increased height is necessary to provide needed visibility on IH 30 due to the John King overpass being located directly in front of their property. He explained that the city's current sign ordinance allows a maximum height of 30 feet and a maximum size of 200 square feet for pole signage.

Melanie Hancock
Hancock Signs
745 109th Street
Arlington, TX 76011

Mrs. Hancock came forth and explained that when the applicant built the facility, they expected they would be able to come forth to seek approval of a sign variance request associated with signage. The intent is to allow their dealership signage to be visible to traffic headed both ways up and down IH-30. She explained that they believed that this sort of request would be granted since other signs along this same IH-30 corridor have been approved to be higher and larger in the past.

Councilmember Lewis made a motion to approve the sign plan as presented. Councilmember White seconded the motion. Councilmember White generally commented that when the existing sign ordinance height regulations were adopted, IH-30 was very different, as that was back in the late 80's or early 90's.

547 **At that time IH-30 was at a lower elevation, and the John King Boulevard did not**
548 **even exist. After brief, additional comments, the motion passed by a vote of 5 in**
549 **favor with 2 absent (Pruitt and Hohenshelt).**

550 **2. MIS2016-008 - Discuss and consider a request by Theresa and Ronald**
551 **Briones for the approval of an exception to the minimum masonry**
552 **requirements stipulated in Section 3.1, General Residential District**
553 **Standards, of Article V, District Development Standards, of the Unified**
554 **Development Code, for a 0.248-acre parcel of land identified as part of**
555 **Lot 7, Block 5, Garner Addition, City of Rockwall, Rockwall County,**
556 **Texas, zoned Single Family 10 (SF-10) District, addressed as 905 N.**
557 **Alamo Street/906 N. West Street, and take any action necessary.**

558 **Planning Director, Ryan Miller, provided brief comments related to this agenda item. The**
559 **applicant not wishing to come forth and speak, Councilmember White then made a**
560 **motion to approve MIS2016-008. Councilmember Lewis seconded the motion, which**
561 **passed by a vote of 5 in favor with 2 absent (Pruitt and Hohenshelt).**
562

563 **3. Discuss and consider a request from Rod Holland with KW-Rockwall for**
564 **the approval of a variance to Section 3.5, Alcoholic Beverage Sales, of**
565 **Article IV, Permissible Uses, of the Unified Development Code to allow a**
566 **restaurant establishment (Texas Road House) that does not meet the**
567 **minimum distance requirements for alcoholic beverage sales on a 1.90-**
568 **acre tract of land identified as a portion of Tract 4 of the J. D. McFarland**
569 **Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas,**
570 **zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30**
571 **OV) District, located on the north side of IH-30 east of Greencrest**
572 **Boulevard, and take any action necessary.**

573 **Ryan Miller, Planning Director, provided background information related to this agenda**
574 **item. He generally indicated that the applicant is seeking a variance to the proximity**
575 **requirements for the sale of alcoholic beverages for on-site consumption associated with**
576 **a restaurant (i.e. Texas Roadhouse). He explained that, in accordance with the Texas**
577 **Alcoholic Beverage Code, the City of Rockwall has adopted distance requirements that**
578 **stipulate a minimum separation between businesses that sell alcohol -- for on-site or off-**
579 **site consumption -- and schools, churches and hospitals. However, he explained, the**
580 **Council may grant a variance to these requirements in certain circumstances.**
581

582 **Mr. Crowley indicated that the school district has been notified that this item will be on**
583 **tonight's agenda and will be considered by Council. Also, the applicant has indicated**
584 **that they have spoken to the school district. He went on to indicate that it is his**
585 **understanding that the school district will not be submitting any commentary, either in**
586 **opposition or in favor, regarding this request.**
587

588 **Rod Holland**
589 **2701 Sunset Hill**
590 **Rockwall, TX**
591

592 **Mr. Holland came forth to answer any questions the Council may have.**
593

594 **Milder asked for more details regarding the topography of this location. Mr. Miller**
595 **indicated that there is a slope and some trees and vegetation behind this location.**

596
597 **Councilman White made a motion to approve the variance request. Councilmember**
598 **Lewis seconded the motion, which passed by a vote of 5 in favor with 2 absent (Pruitt**
599 **and Hohenshelt).**
600

601 **4. SP2016-012 - Discuss and consider a request by Chet Leugers, PE of**
602 **Pacheco Koch on behalf of Michael Hampton of the Rockwall Economic**
603 **Development Corporation for the approval of variances and an exception**
604 **to the material, parking, articulation screening and landscaping**
605 **requirements stipulated by the Unified Development Code in conjunction**
606 **with an approved site plan for a warehouse/manufacturing facility on a**
607 **30.6-acre portion of a larger 86.806-acre tract of land identified as Tract 1**
608 **of the H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall**
609 **County, Texas, zoned Light Industrial (LI) District, located at the**
610 **northwest corner of Discovery Boulevard and Data Drive, and take any**
611 **action necessary.**

612 **Councilman Lewis indicated that he will be recusing himself from this agenda item (he**
613 **filed an affidavit with the City Secretary, as required).**
614

615 **Mr. Miller provided background information concerning this agenda item. The applicant,**
616 **Pratt Industries, which is a Georgia-based packaging company, is requesting approval of**
617 **variances relating to the parking, building materials, articulation, screening, and**
618 **landscaping requirements in conjunction with an approved site plan for a 389,500 SF**
619 **warehouse/manufacturing facility. He indicated that the subject property is a 30.6-acre**
620 **tract of land, located in the REDC Technology Park, and is zoned Light Industrial (LI)**
621 **District.**
622

623 **He went on to brief the Council on the variance requests, which are related to parking, tilt**
624 **wall, building materials, articulation, screening requirements, and detention basin**
625 **landscaping. He explained that the Planning & Zoning Commission has recommended**
626 **approval of these variances by a vote of 6-0.**
627

628 **Michael Hampton**
629 **Rockwall Economic Development Corporation (REDC)**
630 **Rockwall, Texas**
631

632 **Mr. Hampton came forth and shared with the Council some more details related to this**
633 **company, sharing that there will be 140 jobs created on each of the three, separate shifts**
634 **(it will be a 24 hour operation). He then went on to go into a bit more detail concerning**
635 **each of the variances that the applicant is asking the Council to consider this evening.**
636

637 **Councilmember Milder welcomed Pratt Industries to Rockwall. He asked for some**
638 **clarification related to the tilt wall variance request and articulation variance request. Mr.**
639 **Miller indicated that many variances, especially in the Tech Park, have been previously**
640 **granted.**
641

642 **Councilmember White made a motion to approve SP2016-012, including all of the**
643 **requested variances. Mayor Pro Tem Townsend seconded the motion, which passed by**
644 **a vote of 4 in favor, 1 abstention (Lewis) and 2 absent (Pruitt and Hohenshelt).**
645

646 5. **SP2016-013** - Discuss and consider a request by Clay Cristy of
647 ClayMoore Engineering on behalf of the owner Tom R. Briscoe of Briscoe
648 Oil, Inc. for the approval of a variance to the natural stone requirements
649 stipulated by Section 6.6, IH-30 Overlay (IH-30 OV) District, of the Unified
650 Development Code in conjunction with an approved PD Site Plan for an
651 urgent care facility on a 1.042-acre tract of land identified as Lots 1 & 2,
652 Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey,
653 Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned
654 Planned Development District 32 (PD-32), situated within the Summit
655 Office Subdistrict and the IH-30 Overlay (IH-30 OV) District, located at the
656 southwest corner of Horizon Road [FM3097] and the IH-30 frontage road,
657 and take any action necessary.

658 **Planning Director, Ryan Miller, provided background information concerning this agenda**
659 **item. The applicant is requesting approval of a variance to the stone requirements in**
660 **conjunction with an approved *PD Site Plan* for a 6,235 SF urgent care facility (*CareNow*).**
661 **The 1.042-acre subject property is located directly east of Trend Tower -- *adjacent to the***
662 ***IH-30 Frontage Road and Horizon Road* --, and is zoned Planned Development District 32**
663 **(PD-32) [*Ordinance No. 10-21*]. It should be noted that a PD Development Plan [*Ordinance***
664 ***No. 16-28*] was approved in May of this year. The variance request is summarized as**
665 **follows:**
666

667 **Regarding the city's masonry requirements, according to Section 6.6, C. Architectural**
668 **Standards, of Article V, District Development Standards, of the UDC, each exterior wall is**
669 **required to be constructed of 90% masonry materials (i.e. brick, stone, etc.) on walls**
670 **visible from a public street or open space, including a minimum of 20% being natural or**
671 **quarried stone. In this case, the proposed building will be comprised of 100% masonry**
672 **materials with two (2) of the facades incorporating a minimum of 35% natural chopped**
673 **stone. The two (2) remaining facades (north and west elevations) do not meet the**
674 **minimum 20% standard for stone.**
675

676 **Gray Stogner**
677 **12720 Hillcrest, Suite 650**
678 **Dallas, TX**
679

680 **Mr. Miller indicated that the city's Architectural Review Board has recommended**
681 **approval of the elevations. On June 14, 2016, the Planning and Zoning Commission's**
682 **motion to approve the site plan with staff conditions passed by a vote of 6 to 0, with**
683 **Commissioner Trowbridge being absent. In the same motion, the Planning and Zoning**
684 **Commission's recommendation to approve the variance as requested also passed by a**
685 **vote of 6 to 0, with Commission Trowbridge being absent. He also pointed out that**
686 **approval of a variance request to the IH-30 OV requires passage of a 3/4 majority vote of**
687 **City Council.**
688

689 **Councilman Lewis made a motion to approve SP2016-013. Councilmember White**
690 **seconded the motion, which passed unanimously of those present (Pruitt and**
691 **Hohenshelt absent).**
692

693 6. **SP2015-018** - Discuss and consider a request by Brad Williams of
694 Winstead PC on behalf of RaceTrac for the approval of a variance to the
695 secondary material requirements as stipulated by Section 6.8, Scenic

696 Overlay (SOV) District, of the Unified Development Code in conjunction
697 with an approved site plan for a retail store with gasoline sales on a 2.46-
698 acre parcel of land identified as Lots 1R & 2R of the Woods at Rockwall
699 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial
700 (C) District, situated within the Scenic Overlay (SOV) District, located at
701 the southeast corner of the intersection of Ridge Road and Yellow Jacket
702 Lane, and take any action necessary.

703 **Planning Director, Ryan Miller, provided information on this item as follows:**

704
705 **On December 10, 2013, the Planning and Zoning Commission approved a site plan (Case**
706 **No. SP2013-002) for a RaceTrac Gas Station on the subject property at the southeast**
707 **corner of the intersection of Ridge Road and Yellow Jacket Lane. This site plan was**
708 **amended on December 21, 2015 by the City Council after the then applicant -- Dimension**
709 **Group -- requested that a variance to the secondary materials be approved allowing the**
710 **building to exceed the 10% secondary material requirement for the purpose of allowing**
711 **EIFS and TrexBoard®. At the time of approval, the applicant submitted elevations**
712 **showing approximately 14% secondary materials overall (18% as calculated by the**
713 **ordinance -- i.e. excluding doors and windows). Since this approval, RaceTrac has**
714 **amended their use of TrexBoard® in favor of a composite/compressed board (i.e.**
715 **Compact Wood) and altered their prototypical building elevations to incorporate an**
716 **enclosed dining area. Typically, these changes can be handled administratively;**
717 **however, in making the changes the applicant, Brad Williams of Winstead PC, is**
718 **requesting permission to increase the amount of secondary materials for the purpose of**
719 **accommodating the enclosed dining space (i.e. adding five [5] additional pillars --**
720 **indicated on the attached elevations). These changes increase the amount of secondary**
721 **materials from 18% to an average of 21% (i.e. 10.11% to 29.40% per façade -- see attached**
722 **spreadsheet), thus increasing the non-conformity of the variance. Due to this change and**
723 **since the applicant is proposing a new material (i.e. Compact Wood) staff has taken the**
724 **changes back to the Architectural Review Board (ARB) and the Planning and Zoning**
725 **Commission (P&Z). On June 14, 2016, the ARB reviewed the proposed changes and**
726 **approved a motion to recommend approval of the proposed building elevations**
727 **(including the change in materials) by a vote of 4 to 0, with Board Members Strohmeyer,**
728 **Neill, and Meyrat absent. In addition, on June 14, 2016, the P&Z approved the amended**
729 **site plan request and recommended approval of the variance request by a vote of 6 to 0,**
730 **with Commissioner Trowbridge absent. It should be noted that for council to approve**
731 **this variance it will require a ¾-majority vote as it is a requirement of the Scenic Overlay**
732 **(SOV) District.**

733
734 **Brad Williams**
735 **2728 North Harwood**

736
737 **Mr. Williams indicated he his representing the applicant. He shared that Mr. Miller has**
738 **explained the nature of this request quite well, and he pointed out that the ARB and P&Z**
739 **have both unanimously recommended its approval.**

740
741 **Councilmember Lewis asked how long it may be before this project actually gets started.**
742 **Mr. Williams indicated that the first or second quarter of 2017 is the projected start time,**
743 **and it is listed as a priority project at the corporate level.**

744

745 Councilmember Lewis made a motion to approve SP2015-018. Councilmember White
746 seconded the motion, which, after brief comments, passed by a vote of 5 in favor with 2
747 absent (Pruitt and Hohenshelt).
748

749 7. Discuss and consider a proposal from Primary Media regarding a
750 billboard generally located just east of the intersection of Horizon Road
751 and Ridge Road, and take any action necessary.

752 Mayor Pro Tem Townsend indicated that he has received a request for this item to be
753 pulled and delayed until the next meeting when a full city council is present to address it.
754 Mr. Garza, City Attorney, has advised that this is allowable. So, the Council did not
755 discuss this item during the meeting, and no action was taken at this time.

756 8. Discuss and consider improvements to Chandlers Marina and possible
757 lease extension with Suntex Marina Investors LLC, and take any action
758 necessary.

759 Assistant City Manager Brad Griggs provided background information concerning this
760 agenda item. Fire Chief Mark Poindexter provided various comments pertaining to the
761 existing fire boat that is located at the marina and is currently owned/maintained by
762 Suntex. He pointed out that the timeframe associated with this possible lease renewal is
763 much longer than the anticipated lifespan of the current fire boat.

764 Two representatives from Suntex (no names provided) then came forth and spoke to the
765 city council concerning this potential lease extension. The main speaker indicated that
766 his company has been working with lenders to try and finance a portion of the
767 improvements. His company has become self-proclaimed experts in dredging,
768 elsewhere and at Chandlers. They are seeking approval of a lease extension that would
769 add an additional nine-and-a-half years on to the current interlocal agreement. This
770 would result in a 25 year lease, which they have learned is the minimum timeframe that is
771 required in order for lenders to work with them on funding. He indicated a willingness to
772 work with staff, including anything related to the fire boat.

773 Chief Poindexter indicated that in 2012, the agreement that the city did with Suntex
774 included extending the cover on one of the docks in order to house a fire boat. He
775 explained that this was done so that Suntex did not have to put in a fire suppression
776 system. Also, the company agreed to purchase the boat and cover all of the
777 maintenance expenses and upkeep associated with the boat, including a certain amount
778 of fuel annually. He generally explained that the extension of this lease will likely
779 'outlive' the existing fire boat. So, the company will need to either agree to purchase a
780 new fire boat once the lifespan of the existing one has expired; or, they would need to
781 install a fire suppression system that meets the current code requirements. The speaker
782 from Suntex indicated that his company is willing to agree to purchase another fire boat
783 in the future once the lifespan of the current one is exhausted.

784 Mr. Griggs pointed out that extending this lease agreement until 2041 is the longest that
785 it could be extended at this time since that is the same year that the city's current lease
786 with the City of Dallas expires.

787 In summary, the discussions centered around strengthening language regarding fire
788 boat replacement, which is possibly a separate agreement that needs to be referenced.
789 This language needs to ensure that 1500 gallons-per-minute (GPM) is maintained and
790 that the fire boat will be replaced by Suntex at the end of its useful life if it is unable to be

791 repaired. Language to address any substantial dock additions that require fire coverage
792 via boat or sprinklers should also be included.
793

794 The city manager expressed a desire to include language regarding reasonable efforts on
795 the part of Suntex to control odor of dredge spoils. Also, spoils that are shipped off site
796 must be dewatered and not leak out in city roadways. Also, discussion took place
797 regarding including language associated with construction time frame - if not started and
798 completed with a certain time frame the extension becomes void and reverts back to
799 original date.
800

801 Councilmember Lewis made a motion to authorize the city manager to negotiate the
802 lease agreement extension with Suntex Marina, LLC for Chandlers Landing, taking into
803 consideration all of the comments collectively provided by Council and discussed
804 tonight. Councilmember White seconded the motion, which passed by a vote of 5 in
805 favor with 2 absent (Pruitt and Hohenshelt).

806 9. Discuss and consider a median cut plan associated with improvements to
807 FM-3549 (generally between IH-30 and just past SH-66), and take any
808 action necessary.

809 City Manager Rick Crowley provided brief comments to Council concerning this agenda
810 item. This will be upgraded to a four-lane, divided, concrete roadway in accordance with
811 TXDOT requirements. One median cut has been added at the north entrance of the
812 church, which is in our city's jurisdiction. Mr. Crowley indicated that between now and
813 the next council meeting, staff will proceed notifying property owners, having dialogue
814 with those owners, and will return to the Council for further discussion in two weeks.
815 The Council took no action concerning this agenda item at this time.

816 10. Discuss and consider improving the reliability of Oncor within the city, and
817 take any action necessary.

818 Councilmember Milder thanked Mrs. Tayem of Oncor for sitting through the meeting up
819 until this point. He reminded Council that several conversations have taken place in the
820 past related to concerns about the reliability of electric power and improvements to the
821 related infrastructure.
822

823 Cindy Tayem with Oncor came forth and indicated that there has been a lot of rain, and
824 the storm season, thus far, has been very interesting. She shared that a very intense
825 lightning storm occurred a couple of Sundays ago, and it knocked out two feeders. She
826 indicated that technicians are assigned to the various feeders, and they monitor them,
827 making recommendations concerning anything that may need to be addressed (either
828 upgraded, or addressed before or after a storm / loss of power). She shared that a lot of
829 things can cause power outages, not just storms (i.e. wildlife, including birds, squirrels,
830 rats and snakes). Also, vehicles can hit the power infrastructure and knock out power.
831 She shared that scheduled and regularly performed tree and vegetation trimming occurs.
832 Also, switch gears are regularly inspected, including using infrared technology to bring
833 to light any hot spot type problems. She also pointed out that Oncor has a Planning
834 Department, and all they do is plan for future growth, both residentially and
835 commercially. These plans are made five years in advance, taking into consideration
836 growth projections. So, she explained, Oncor is constantly planning and looking ahead.
837

838 Following discussion of this item, the Council took no action.
839

840 **XIII. EXECUTIVE SESSION**

841
842 **THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS**
843 **THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT**
844 **CODE:**

- 845
846 1. Discussion regarding proposed renegotiation of City v. Primary Media
847 settlement agreement pursuant to Section §551.071 (Consultation with
848 Attorney)
- 849 2. Discussion regarding contract with Holmes Murphy & Associates and
850 HIPPA Information pursuant to Section §551.071 (Consultation with
851 Attorney)
- 852 3. Discussion regarding purchase or lease of real property / land acquisition
853 in the vicinity of FM-3549 and SH-66 pursuant to Section § 551.072 (Real
854 Property).

855 **XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

856
857 **The Council did not convene in Executive Session following the close of the public**
858 **meeting agenda. (See start of public meeting (“VI” above) for action taken as a result of**
859 **the first Executive Session).**

860
861 **XV. ADJOURNMENT**

862
863 **The meeting was adjourned at 8:40 p.m.**

864
865
866
867 **PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
868 **THIS 5th day of July, 2016.**

869
870
871
872 **ATTEST:** _____
873 **Jim Pruitt, Mayor**

874 _____
875 **Kristy Cole, City Secretary**

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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: July 5, 2016

SUBJECT: Z2016-018; *Amendment to PD-74 (Breezy Hill Subdivision)*

On June 20, 2016, the City Council approved a motion adopting the amendments to PD-74 and stipulating that the proposed residential phase -- *identified as Phase X on the concept plan* -- consist of 60-foot lots (*i.e. Lot Type 'A'*) in lieu of the proposed 50-foot lots (*i.e. Lot Type 'E'*). This motion passed by a vote of 4-1, with Council Member Lewis dissenting and Mayor Pruitt and Council Member Hohenshelt absent. This was the first reading of the ordinance. Staff has updated the draft ordinance to reflect the changes implemented by the City Council's motion. In addition, the applicant has sent an amended concept plan showing the proposed phase with 60-foot lots. These changes will reduce the requested overall number of lots from 789 to 788, which will change the requested density from 2.07 to 2.067.

In addition to the amended concept plan, Adam Buczek with the Skorburg Co. has submitted a letter requesting to withdraw the case (*see Exhibit A*). It is at the discretion of the City Council to accept this request or to proceed with the second reading of the ordinance. Should the City Council have any questions concerning the request staff will be available at the meeting.

Exhibit 'A': Applicant's Letter

From: [Adam Buczek](#)
To: [Miller, Ryan](#)
Cc: [John Arnold](#); [Collier Bailey](#); [Jeff Parker](#); [Noah Flabiano](#)
Subject: Consent agenda withdrawal request for Breezy Hill ordinance Case No. Z2016-018
Date: Friday, July 01, 2016 10:46:12 AM
Importance: High

Ryan,

In follow to our discussion this morning and per your request, please accept this e-mail as our request of City Council to allow us to withdraw our zoning request for the Breezy Hill ordinance Case No. Z2016-018 (50-foot lots in the commercial area), which council approved at the 1st reading with 60' wide lots.

As explained / discussed during the last council meeting, we will not be able to obtain our lender's consent to be able to commit to the rezoning by this coming Tuesday night's council meeting. Please let us know if you our council need anything else from us in order to pull this item from the 7/5/16 City Council Consent Agenda. Thank you.

Best Regards,

Adam Buczek
Development Partner

Skorburg Company & Windsor Homes
8214 Westchester Drive, Suite 710
Dallas, Texas 75225
Work: (214) 888-8843
Cell: (817) 657-5548
Fax: (214) 888-8861
E-mail: abuczek@skorburgcompany.com

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 74 (PD-74) [ORDINANCE NO. 14-26] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING THE PLANNED DEVELOPMENT CONCEPT PLAN AND THE DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 14-26, BEING A 405.184-ACRE TRACT OF LAND SITUATED IN THE J. STRICKLAND SURVEY, ABSTRACT NO. 187, T. R. BAILEY SURVEY, ABSTRACT NO. 30 AND THE J. SIMMONS SURVEY, ABSTRACT NO. 190, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE..

WHEREAS, the City has received a request by the Jeff Parker of the Skorburg Company on behalf of Breezy Hill 405, LTD for an amendment to the Planned Development Concept Plan and Development Standards contained within Planned Development District 74 (PD-74) [specifically contained within *Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, for a 405.184-acre tract of land situated in the J. Strickland Survey, Abstract No. 187, T. R. Bailey Survey, Abstract No. 30 and the J. Simmons Survey, Abstract No. 190, Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 74 [*Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 09-19, 12-26 & 14-26*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated

herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That a master parks and open space plan for the Property, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan, (Open Space Master Plan)* shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

Section 6. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 1. Open Space Master Plan
 2. Master plat
 3. PD development plans (*required for retail areas only*)
 4. PD site plans
 5. Preliminary plats
 6. Final plats
- (c) A Master Plat application covering all of the *Subject Property*, other than the area designated on the *Planned Development Concept Plan* as *Retail*, shall be submitted and shall identify each phase of development. No master plat application shall be approved until the *Open Space Master Plan* for all of the Property has been approved; however, the *Open Space Master Plan* may be processed by the City concurrently with the master plat application.
- (d) A *PD Development Plan* must be approved for the area designated on the Concept Plan as *Retail* prior to submittal of a *PD Site Plan* application and/or a preliminary plat application. No master plat is required for the area designated on the Concept Plan as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for the retail tract.
- (e) A preliminary plat application shall be submitted for each phase of residential development. A *PD Site Plan* application, including a site plan application for improvements for parkland or trails, may be processed by the City concurrently with a preliminary plat application for that phase of the development.
- (f) A *Capital Facilities Agreement* in the form of *Exhibit 'D'*, attached hereto and incorporated herein by reference as *Exhibit 'D'*, shall be executed by Developer providing for delivery of adequate public facilities and services within the District.

Section 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged

invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5TH DAY OF JULY, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 20, 2016

2nd Reading: July 5, 2016

Exhibit 'A':
Legal Description

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN PARTS OF THE J. STRICKLAND SURVEY, ABSTRACT NUMBER 187, T. R. BAILEY SURVEY, ABSTRACT NUMBER 30 AND THE J. SIMMONS SURVEY, ABSTRACT NUMBER 190 OF ROCKWALL COUNTY, AND BEING THAT TRACT OF LAND CONVEYED TO W.W. CARUTH, JR. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 66, PAGE 493, DEED RECORDS OF ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) ALSO A PORTION OF THE J. STRICKLAND SURVEY, ABSTRACT 794•3 LYING IN COLLIN COUNTY, TEXAS, THAT TRACT OF LAND CONVEYED TO MABEL CARUTH ACCORDING TO THE FILE OF RECORD IN COUNTY CLERK FILE NUMBER 92-0054539 OF COLLIN COUNTY, TEXAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND AT THE BASE OF A CORNER POST, SAID IRON ROD BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO DONG WON KANG RECORDED IN VOLUME 4703, PAGE 1402, D.R.R.C.T., AND SAME (BEING THE SOUTHEAST CORNER OF SAID TRACT "ONE" AS SHOWN HEREON;

THENCE NORTH 89°21'28" EAST, A DISTANCE OF 2077.92 FEET TO A 1/2" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°01'37" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 1274.60 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°19'07" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 686.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°42'37" EAST, ALONG THE CENTER OF BREEZY HILLS ROAD, A DISTANCE OF 4777.93 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN THE NORTH LINE OF F.M. HIGHWAY 552, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 89°20'36" WEST, ALONG THE NORTH LINE OF SAID F.M. HIGHWAY, A DISTANCE OF 1887.13 FEET, TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN AN ENTRYWAY OF A RANCH ROAD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 00°31'43" WEST, GENERALLY ALONG THE CENTER OF SAID RANCH ROAD, PASSING AT A DISTANCE OF 10.00 FEET A 1/2" IRON ROD FOUND ON THE WEST LINE OF THIS TRACT AND CONTINUING A TOTAL DISTANCE OF 593.55 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°15'47" WEST, A DISTANCE OF 503.29 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 01°31'06" WEST, A DISTANCE OF 1189.10 FEET TO A 5/8" IRON ROD FOUND AT THE BASE OF A CORNER POST, FOR A CORNER OF THIS TRACT;

THENCE SOUTH 88°05'58" WEST, A DISTANCE OF 1546.66 FEET TO A 3/8" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°47'14" WEST, A DISTANCE OF 1067.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF

Exhibit 'A':
Legal Description

THIS TRACT;

THENCE NORTH 88°33'50" E, A DISTANCE OF 748.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°45'11" W, A DISTANCE OF 2243.67 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 89°21'28" E, A DISTANCE OF 754.93 FEET TO THE POINT OF BEGINNING, AND CONTAINING 405.184 ACRES OF LAND, MORE OR LESS.

Exhibit 'B':
Concept Plan



Exhibit 'C':
PD Development Standards

A. GENERAL REQUIREMENTS

1. *Uses Allowed.* The following uses are permitted for the Property.

- a. *Residential uses.* Uses permitted of right or by special use permit for the (SF-10) Single Family Residential District, as set forth in Article IV, Permissible Uses, of the City of Rockwall Unified Development Code, shall be allowed for areas designated as Single-Family on the Concept Plan, subject to approval of a Special Use Permit if required by the SF-10 District Regulations.
- b. *Non-residential uses.* Non-residential uses shall be allowed only within the area designated as Retail on the approved Concept Plan for the District, and are limited to those uses permitted of right or by special use permit for the (GR) General Retail District subject to approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations, Article X, Section 2 of the Unified Development Code, and subject to approval of a Special Use Permit if required by the GR District Regulations; provided, however, that the following uses are expressly prohibited:

- Animal Hospital, Clinic
- Convent or Monastery
- Hotel or Motel
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (Outside)
- Gun Club, Skeet or Target Range (indoor)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply/Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service*
- Service Station*
- Mining and Extraction (Sand, Gravel, Oil & other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

** Not including a convenience store with an accessory car wash use or more than four (4) gas pumps, which accessory uses are permitted by SUP.*

The following additional use shall be permitted of right in the PD District:

- Grocery Store with a maximum building area of one hundred and thirty thousand (130,000) square feet.

- c. *Design of non-residential uses.* The retail area shall be designed to be pedestrian-oriented and easily accessible to adjacent residential neighborhoods. Additionally, the retail area shall be designed and constructed to be integrated with adjacent uses, not separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from adjacent development into the retail area and through the use of landscaping buffers, building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

Exhibit 'C':
PD Development Standards

- d. *Density and lot composition.* If the retail develops in accordance with the attached Concept Plan, no more than 788 single-family residential dwelling units may be constructed within the Property. Except as provided in subsection (e), single-family residential units shall be allocated by product type in accordance with the following table:

Table 1: Lot Composition

Lot Type	Lot Size Minimum	Lot SF Minimum	Driveway Access	Total Units	Total Dwelling Units (%)
A	60' x 120'	7,200	Front	229	29.06%
B	70' x 120'	8,400	Front	126	15.99%
C	80' x 125'	10,000	Front	326	41.37%
D	100' x 200'	20,000	Front	107	13.57%
AVERAGE LOT SIZE:		10,000			
MAXIMUM ALLOWED TOTAL UNITS:				788	100%

- e. *Variation in lot composition.* The allocation of single-family dwellings among lot types may deviate from that in subsection (d), provided that the maximum allowed total dwelling units does not exceed 788 units, the average lot size for the development is not less than 10,000 sq. ft., and the following rules are met:

- (1) Lot types "A & B" may increase not more than 5% in aggregate number.
- (2) Lot type "C" shall not be decreased below 41.37% of the total 788 lots.
- (3) Lot Type "D" shall not be decreased below 98 of the total lots.

2. *Development Standards Applicable.* Except as may be modified by these Development Standards, residential uses shall be subject to the development standards for a (SF-10) Single Family Residential District, as set forth in Article V, District Development Standards for Section 3.4 of the City of Rockwall Unified Development Code; to the development standards in the 205 Bypass Overlay District; and to all supplemental standards contained in the Unified Development Code, including but not limited to the tree preservation regulations in the Unified Development Code.

Continued on Next Page ...

Exhibit 'C':
PD Development Standards

B. SPECIAL DEVELOPMENT STANDARDS

1. *Dimensional Standards for Residential Uses*

Table 2: Lot Type Matrix

Lot Types	A	B	C	D
Maximum Building Height	36'	36'	36'	36'
Minimum Air Conditioned Square Footage	2,200	2,400	2,600 ²	3,000
Minimum Front Yard Building Setback	20' ⁴	20'	20'	40' ³
Minimum Rear Yard Building Setback	10'	10'	15'	15'
Minimum Side Yard (<i>Interior</i>)	5'	5'	6'	7'
Minimum Side Yard Adjacent to a Street	15'	15'	15'	15'
Minimum Distance of Driveway (<i>from Property Line</i>)	20'	20'	20'	40'
Minimum Lot Area (<i>Square Feet</i>)	7,200	8,400	10,000	20,000
Minimum Lot Frontage ¹	60'	70'	80'	100'

Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by twenty percent (20%) in lot width measured at the front property line provided that the lot width will be met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10 percent (10%) but shall meet the minimum lot size for each lot type as referenced within *Table 1*.
- ²: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.
- ³: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.
- ⁴: Front porch may encroach to within 10-feet of the front property line.

2. *Development Standards for Residential Uses by Lot Product/Type*

a. *Detached Single Family Lot Type A*

Development Standards	
Minimum Lot Size	7,200 SF
Minimum Lot Width (@ Front Building Line)	60'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	65'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,200 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [<i>Brick, Stone, Cultured Stone, 3-Part Stucco</i>]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drive. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'A' lots shall have 3-car garages.

Exhibit 'C':
PD Development Standards

Maximum Lot Coverage	65%
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b. Detached Single Family Lot Type B

Development Standards

Minimum Lot Size	8,400 SF
Minimum Lot Width (@ Front Building Line)	70'
Minimum Lot Depth	120'
Minimum Lot Width (Corner Lot)	75'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,400 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drives. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'B' lots shall have 3 car garages.
Maximum Lot Coverage	65%

c. Detached Single Family Lot Type C

Development Standards

Minimum Lot Size	10,000 SF
Minimum Lot Width (@ Front Building Line)	80'
Minimum Lot Depth	125'
Minimum Lot Width (Corner Lot)	85'
Minimum Side Yard Setback	6'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	2,600 SF ¹
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 80% of Type 'C' lots shall have 3 car garages.
Maximum Lot Coverage	65%

Notes:

¹: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.

Exhibit 'C':
PD Development Standards

d. *Detached Single Family Lot Type D*

Development Standards	
Minimum Lot Size	20,000 SF
Minimum Lot Width (@ Front Building Line)	100'
Minimum Lot Depth	175'
Minimum Lot Width (Corner Lot)	100'
Minimum Side Yard Setback	7'
Minimum Front Yard Building Setback	40' ¹
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	3,000 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. 80% of Type D lots shall have a minimum of 3 car garages.
Maximum Lot Coverage	70%

Notes:

¹: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.

3. *Fencing.* All individual residential fencing for lots less than 20,000 square feet shall be cedar standard fencing material (minimum ½" thickness) or better (spruce fencing will not be allowed). All cedar pickets shall be placed on the "public side" facing the street, alley or neighboring property. Lots containing 20,000 sq. ft., lots located along perimeter roadways, and lots abutting open spaces, greenbelts and parks shall be required to install tubular steel fencing. Corner lot fencing (adjacent to the street) shall provide masonry columns at forty-five feet (45') off center spacing that begins at the rear property line corner and terminates ten feet (10') behind the front yard building setback line. A maximum six (6') foot solid board on board "panel" cedar fencing shall be allowed between the masonry columns along the side and/or rear yard lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five feet (5'). The property owner shall maintain that portion of the property outside the fence.
4. *Anti-Monotony Features.* Lot types shall incorporate the following elevation features.

Table 3 : Anti-Monotony Matrix

Lot Type	Lot Size (Approx.)	Elevation Features
A	60' x 120'	i., ii., iii.
B	70' x 120'	i., ii., iii.
C	80' x 125'	i., ii., iii.
D	100' x 200'	i., ii., iii.

- i. Exterior facade must be composed of eighty percent (80%) masonry (brick, stone, cultured stone, or three-part stucco). Identical brick blends may not occur to adjacent (side-by-side) properties. Elevations shall not repeat along the fronting or siding streetscape without at least four (4) intervening homes of sufficient dissimilarity (to be determined by the ARC) on

Exhibit 'C':
PD Development Standards

- the same side of the street and (2) intervening homes on the opposite side of the street). The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least two (2) intervening homes of sufficient dissimilarity (to be determined by the ARC). Masonry (brick, stone, cultured stone, or three-part stucco) chimneys shall be required on all homes.
- ii. Minimum of 8:12 roof pitch, except for 4:12 roof pitches on porches. For each phase, a maximum of four compatible roof colors may be used. Dimensional shingles shall be used. Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized. No Formica counters in kitchens and bathrooms, no blown acoustic ceilings. No vinyl flooring will be used in kitchens.
 - iii. For front entry driveway access a traditional “swing” or “J” drive will be used. Second single garage door facing street is permitted behind (width) of double garage door in “swing” or “J” configuration only.
5. *Streetscape Landscape*. Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy trees.
- (1) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (2) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - (3) For purposes of this section only, the term “front yard” includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.
6. *Master Design Guidelines*. Additional design guidelines specific to each phase of development that shall apply to all single-family dwellings units within that phase of development, shall be submitted to the City prior to issuance of any building permits for that portion of the development.

C. STANDARDS FOR DISTRICT DESIGN AND CONNECTIVITY

1. *Streetscape Standards for Collectors & Non-Fronting Thoroughfares*. All streets, excluding drives, fire lanes and private parking areas, shall be built according to City of Rockwall street standards. Sidewalks and Hike / Bike trails are to be placed according to city requirements and as set forth in the Open Space Master Plan for the District.
 - a. *Buffer-Strip and Sidewalks (John King Boulevard Overlay District)*. The landscape buffer strip along John King Blvd shall be as described in the City of Rockwall Unified Development Code, Article V (District Development Standards), Section 6.10 E (Landscape Standards) and be a minimum width of fifty (50) feet as shown on the Planned Development Concept Plan in Exhibit ‘B’. Additionally, the developer shall construct a minimum of a ten (10) foot sidewalk, on both sides of John King Boulevard, within the fifty (50) foot landscape buffer strip as recommended by the John King Boulevard Design Concept Plan located in the Comprehensive Plan of the City of Rockwall.
 - b. *Buffer-Strip (FM 552)*. A landscape buffer strip with a minimum width of fifteen (15) feet shall be provided along the frontage of FM 552, and shall be landscaped with at least one canopy tree per 30-ft and a combination of berms and shrubbery to be reviewed with the PD Site Plan(s) for the retail tract.
 - c. *Buffer-Strip (Breezy Hill) Retail*. The minimum buffer width between the proposed retail area and Breezy Hill Rd shall be fifty (50) feet, and shall include a berm with a minimum height of five (5) feet with at least three (3) canopy trees and four (4) accent trees per 100-ft of frontage. A detail of this landscape buffer shall be approved by the Planning and Zoning Commission and City Council at the time of PD Development Plan for the retail tract.

Exhibit 'C':
PD Development Standards

- d. *Buffer-Strip (Breezy Hill) Residential.* A landscape buffer strip with a minimum width of ten (10) feet shall be provided between any residential area and Breezy Hill Rd.
 - e. *Irrigation.* Any irrigation installed in landscape areas and public parks must be designed by a Texas licensed irrigator or landscape architect.
 - f. *Fencing.* The Association will maintain all common area and perimeter fencing surrounding the Property. Such perimeter fencing shall be composed of six foot (6') tall tubular steel fencing with masonry entry features or such other fencing as may be approved by the City at the time of platting. Perimeter screening may also be accomplished by earthen berms landscaped with living screening. Property owners will maintain all fences constructed on private property.
 - g. *Curvilinear Walks.* Walks are to be a minimum of five feet (5') wide to six feet (6') maximum width (hike and bike trail) consistent with the approved Open Space Master Plan. "Collector streets" with or without center medians may incorporate sidewalks six feet (6') in width adjacent to or within "front yard" landscape easements. Walks may meander within parkway and common area; however, edge of walk shall be no closer than four feet (4') from back-of-curb.
 - h. *Medians.* Any proposed median openings shall meet the City standards at the time of PD site plan approval.
- 2. *Lighting.* Light poles shall not exceed twenty feet (20') in height. All light fixtures shall direct light downward and be contained to the site.
 - 3. *Sidewalks.* At a minimum, sidewalks located on lay down curb section streets shall begin four feet (4') behind the back of curb and be five feet (5') in overall width. Sidewalks will not be required on rural street sections.
 - 4. *Curbing.* Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
 - 5. *Buried Utilities.* New distribution power-lines required to serve the Property shall be placed underground, whether such lines are located internally or along the perimeter of the Property, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3 phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the Property, except along the 205 Bypass. Additionally, if such above ground lines are installed along the perimeter of the property and adjacent to non-residential use, then the lines shall be installed behind the non-residential buildings where the installation is possible. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the Property. Temporary power-lines constructed across undeveloped portions of the Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered "existing lines" at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph.
 - 6. *Parks and Open Space.*
 - a. Residential and retail acreages (net of right-of-way dedication) shall contain no less than 20% open space and.
 - b. Allowable open space may include but is not limited to 50% of floodplain, amenity center, public or private parks, trails, natural areas, buffers, traffic circle medians, entry features, common areas (including any Association recreation center or similar facilities) and other features depicted on the Development Plan, as set forth in the Open Space Master Plan prepared in accordance with subparagraph (c) below. Street right of way will not be included as open space. At least 80% of the single-family dwellings within the development shall be located within eight hundred feet (800') of public or private open space. In order to qualify, such open space must be at least one (1) continuous acre in area, not including roadway buffers less than fifty (50') feet in width.

Exhibit 'C':
PD Development Standards

- c. The Developer shall prepare the Open Space Master Plan to be consistent with the approved Development Plan. The purpose of an Open Space Master Plan is to supplement the Development Plan by providing an additional level of detail for public and private open space areas. The Open Space Master Plan shall identify the locations of and improvements to public parks, and other public and private open space or common areas and shall illustrate an integral system of trail improvements that, together with intervening land held by other property owners or the City, is designed to connect residential areas, schools and retail areas within the District to parks and open space within the District and that provides for continuation and connection of the trail system to off-site parks and open space, in accordance with the City's Master Park and Recreation Plan. The Open Space Master Plan shall clearly differentiate public parks from private facilities and common lands to be maintained by the Association. The locations of public parks, school sites and other public and private open space or common areas shown on the Open Space Master Plan shall be in conformance with the Development Plan. The Open Space Master Plan shall include a phasing plan for construction of all trails, parks, common open space and facilities. The Open Space Master Plan shall be considered for approval if it complies with this section, the applicable City regulations, the Development Plan, and generally accepted park-planning practices.
 - d. The District shall contain not less than eleven (11) acres of land to be used as public or private parkland. A minimum of eleven (11) contiguous acres shall be dedicated to the City in accordance with the City's Neighborhood Parkland Dedication Ordinance on approval of the final plats for those phases adjacent to or abutting the proposed parkland dedication and will provide access to said parkland area. The remaining parkland area will be retained as a private park within the District. Park improvements shall be constructed in accordance with the approved Open Space Master Plan. The site plan incorporating the design of park improvements and hike/bike trail improvements shall be considered for approval with the final plat for the phase of the development containing such improvements. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding land dedication. At the time of recordation of final plats for each phase, the Developer shall pay park improvement fees to the City. These fees shall be held in an escrow account until the parkland is dedicated to the City, at which time the Developer shall inform the City if the Developer wishes to use the escrowed fees as well as future fees to construct park improvements. Prior to construction, said improvements shall be approved by Parks Director, approval not to be unreasonably withheld, and invoices for improvements shall be submitted to Parks Director for approval. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding park development fees, provided that park improvements are installed at a value equal or exceeding the value of park improvement fees for the entire District applicable at that time, or improvement fees are paid. Thereafter, the Developer shall not be responsible for additional parkland dedication or park development fees associated with the Property, except as otherwise may be provided in a capital facilities agreement approved by the City.
7. Developer shall provide a minimum of one (1) retention pond in the District with hard edges and fountain features. The exact configuration and location of the ponds will be determined at development. All retention pond hardedges shall be similar to the hardedge shown on Figure 1 (below).

Exhibit 'C':
PD Development Standards



Figure 1: Retention Pond with Hardedge.

8. *Signage.* Permanent subdivision identification signage shall be permitted at all major entry points, in general conformance to the signage shown in Figure 2 & 3 (below). Final design of entry features to be determined with the Planned Development Site Plan.

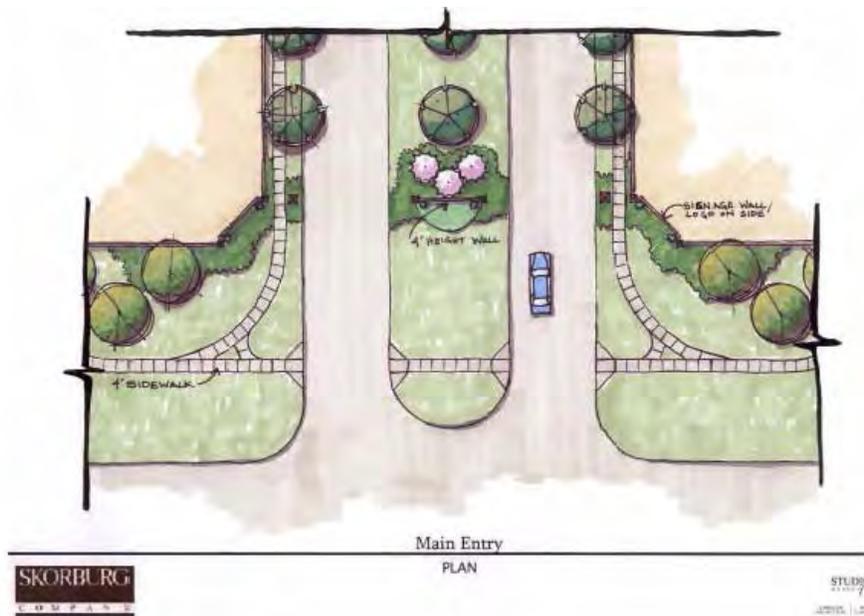


Figure 2: Example of Subdivision Signage Locations

Exhibit 'C':
PD Development Standards

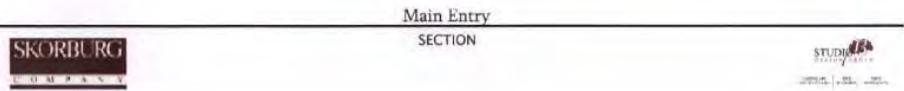
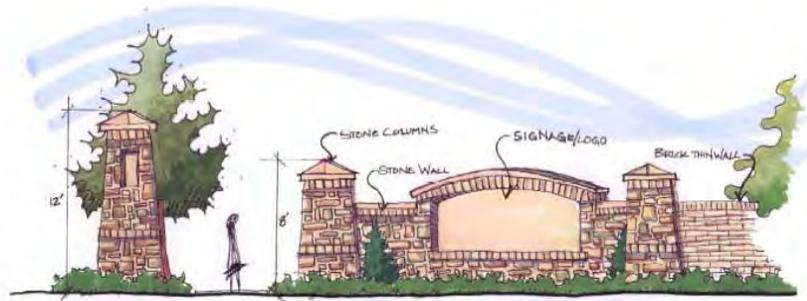


Figure 3: Example of Subdivision Signage Design Standard

9. *Variances.* The variance procedures and standards for approval set forth in the Unified Development Code shall apply to any application for variances to this ordinance.
10. *Amenity Center.* Site plan, landscape plan and building elevations for the Amenity Center shall be approved by the Planning and Zoning Commission prior to construction.
11. *Trees.* All trees planted within the District shall be a minimum three (3) inch caliper measured six (6) inches above the root ball.

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

THIS CAPITAL FACILITIES AGREEMENT (the "Agreement") is by and among the Breezy Hill 405, Ltd, ("Breezy" or "Developer") and the City of Rockwall, Texas ("City" or "Rockwall"),

I. RECITALS

1. Breezy seeks to rezone and subdivide the Property for single-family residential use and certain commercial uses. Breezy shall submit an application to rezone the 405 acres north of FM-552 (the "Property") as a planned development (PD) district for a development currently known as Breezy Hill (the "PD District"),

NOW, THEREFORE, in consideration of the foregoing recitals and mutual covenants contained herein, the Parties hereto agree as follows:

II. ADEQUATE PUBLIC FACILITIES

1. *General Provisions.*
 - a. *Adequacy Required.* Development of the Property shall be supported with adequate levels of public facilities and services. Adequate facilities and services are those that (i) comply with the applicable City regulations, including this Agreement, and (ii) are consistent with generally accepted engineering and planning practices for similar developments. The Parties agree that the dedication and construction of public improvements, or the contribution of proportionate development fees, required to support development of the Property shall precede or be concurrent with the construction of private improvements to the land, in accordance with the phasing provisions incorporated within this section, or as otherwise may be provided through approval of a master plat.
 - b. *Proportionality.* The Parties agree that the dedication or construction of public improvements, or the contributions of development fees, provided for in this Agreement are roughly proportional to the nature and extent of the proposed development of the Property on the City's public facilities systems. Breezy hereby covenants not to sue the City for any claim, or otherwise consent to participate in any action against the City arising from any claim by such party or by its affiliates, alleging that application of the adequate facilities requirements set forth in this Part II of the Agreement to the development of the Property, or the imposition of conditions to a plat application for a portion of the Property that are consistent with the requirements of this section, are not roughly proportional to the impacts of the development depicted in the Concept Plan, including but not limited to any action premised upon Tex. Loc. Gov't Code sec. 212.904 or successor statute. Such covenant not to sue touches and concerns the Property, and is a covenant running with the land such that it binds successors-in-interest and assigns of Breezy. Should any successor-in-interest or assign of Breezy other than an affiliate of Breezy assert any of the foregoing claims in a court of competent jurisdiction, in violation of this Subsection 1 (b), with respect to the development of any portion of the Property, the Parties agree that, with respect to such portion of the Property or all of the Property, at the City's option, this Agreement thereupon shall become null and void and any rights that may otherwise have

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

vested under then existing state law shall be waived upon such event. Breezy further agrees that the City may expressly rely upon the provisions of this paragraph in any certification under section 212.904 and that a court in determining rough proportionality may consider all of the Property. Should Breezy or an affiliate of Breezy violate the covenant not to sue contained in this paragraph, the City may either enforce the covenant or pursue the remedies provided for herein that are applicable to successors or assigns, other than affiliates. As used in this Agreement, the term "affiliate" means any person, corporation, partnership, or other entity controlled by, controlling, or under common control with Breezy.

- c. *No Waiver.* The requirements in this Part II shall be considered additional standards and conditions applicable to development within the PD District. Except in the event of a conflict between the standards in this Agreement and other standards applicable within the District, nothing in this Agreement shall be construed as superseding any requirement or standard in the City's subdivision or utility regulations relating to provision of adequate public facilities and services.

2. *Wastewater Services.*

- a. *City as Provider.* The City shall be the supplier of wastewater services to the Property.
- b. *Line Extensions.* The Developer shall extend wastewater mains sufficient to serve each phase of development within the PD District, sized in accordance with the City's master plan for wastewater facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall design and construct a lift station in order to serve the development within the PD District. The Developer shall be entitled to pro-rata fees for the costs of over-sizing the lift station from other future developments using the lift station, calculated on a per acreage basis. Developer also shall be eligible for credits against wastewater impact fees otherwise due for construction of improvements identified and included in the City's wastewater improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro-rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.
- c. *Payment of Impact Fees.* Wastewater impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.

3. *Water Services*

- a. *City as provider.* The City shall be the supplier of water services to the Property. The City represents that it has sufficient capacity to serve the Property.
- b. *Line Extensions.* The Developer shall extend water mains sufficient to serve each phase of development within the PD District, sized in accordance with

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

the City's master plan for water facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall be eligible for City participation in the costs of over-sizing water distribution mains or appurtenances that serve other land in addition to the Property, in accordance with the City's standard policies, or for collection of pro-rata fees for such facilities. Developer also shall be eligible for credits against, water impact fees otherwise due for construction of improvements identified and included in the City's water improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.

- c. *Payment of Impact Fees.* Water impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.
4. *Road Improvements.* The Developer shall make the following road improvements.
 - a. *John King Boulevard (Highway 205 Bypass).* The Developer shall have no obligation with respect to construction of John King Blvd. other than as outlined herein regarding payment of road impact fees.
 - b. *FM-552 Improvements.* The Developer shall dedicate rights-of-way for and construct turn lanes and acceleration/deceleration lanes concurrent with construction of any road on the Property that intersects FM 552, in accordance with City and TXDOT standards and specifications at the time of development of adjoining property.
 - c. *Breezy Hill Road Improvements.* The Developer shall dedicate a minimum of twenty-five feet (25') of right-of-way or such right-of-way as is needed to construct a twenty-four foot (24') concrete rural section of Breezy Hill Road and appurtenances adjacent to the Property, together with a two-foot (2') asphalt or concrete shoulder on either side of the concrete section, the total not to exceed twenty-eight feet (28') in width, from the northern point of Breezy Hill Road adjacent to the Property, to FM-552, as shown on the Development Plan. The Developer also shall dedicate and improve a minimum landscape buffer of ten feet (10') for the residential tract and fifty feet (50') for the retail tract, adjacent to the right-of-way for Breezy Hill Road, designed in accordance with the requirements of a PD District then in effect for a rural collector. The bar ditch that abuts the buffer strip, designed to a maximum slope of 3: 1, shall not encroach into the required ten-foot or fifty-foot buffer area, except to the extent that the buffers exceed ten feet (10') in width. The Developer shall dedicate right-of-way for Breezy Hill Road and the landscape buffer at the time of final plat approval for any lot abutting Breezy Hill Road. Developer shall construct Breezy Hill Road in conjunction with the retail tract that is final platted adjacent to Breezy Hill Road. Breezy Hill Road will be constructed from the northernmost intersection created by any portion of the retail tract being platted, south to FM-552. Developer shall install any

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**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

needed expansion of existing culverts created by such construction or the development, of such retail tract.

- d. *Payment of Roadway Impact Fees.* Roadway impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations. Construction costs incurred by Developer for roadway improvements in this Agreement that are included in the City's roadway improvements plan for impact fees shall be credited against roadway impact fees otherwise due, in accordance with the City's impact fee regulations.
5. *Drainage Improvements.* Dedication of rights-of-way for and construction of drainage improvements shall be provided as specified in conditions imposed with approval of the master plat for development within the PD District and in accordance with City standards and specifications.
6. *Parks and Open Space.*
 - a. The Developer or a property owners association shall maintain public parklands and improvements within the development for a period of three (3) months from the completion and acceptance of the improvements. Thereafter, the City shall assume responsibilities for maintenance. All open space and improvements which are not dedicated as parkland to the City shall be maintained as common areas in perpetuity by the property owners association for the PD District. Additionally, the property owners association shall maintain Developer-installed landscaping areas in public rights-of-way and public drainage ways internal to and adjacent to the Property.

III. GENERAL PROVISIONS

1. *Notice on Sale.* The Developer shall provide the City with notice of the sale of any tract or parcel within the District that has not been platted at the following address:

Rockwall City Manager
Rockwall City Hall
385 S. Goliad Street
Rockwall, TX 75087
2. *Recording.* This Agreement is intended to run with the land, and shall be recorded in the Real Property Records, Rockwall County, Texas.
3. *Term of Agreement.* This Agreement shall terminate two (2) years following the City's acceptance of the dedication and construction of the public improvements described herein serving the last phase of development within the PD District, after which the City agrees, upon the request of the Developer to execute a termination of this Agreement in recordable form. Any reimbursements for payment of impact fees shall not expire.
4. *Effective Date.* This Agreement shall take effect upon the date of its execution by the last of the Parties to the Agreement; provided, however, that Breezy shall execute this Agreement no later than five (5) business days following the

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

effective date of the PD zoning ordinance for the Property. If Breezy fails to execute this Agreement within such period, this Agreement shall become null and void, and unless a subsequent agreement, acceptable to the City and the Developer, is agreed to, the City may thereafter deny any PD site plan, master plat or other plat application on grounds that the application is not supported by adequate public facilities and services.

5. *Severability.* Invalidation of any provision of this Agreement by judgment or court order shall not invalidate any of the remaining provisions which shall remain in full force and effect, unless such remaining provisions are an integral part of the invalid provisions or the invalid provision is necessary to give effect to the remaining provisions.
6. *Enforcement.* This Agreement may be enforced by the Parties by any proceeding at law or in equity. Failure to do so shall not be deemed a waiver to enforce the provisions of this Agreement thereafter.
7. *Venue.* Venue for this Agreement shall be in Rockwall County, Texas.
8. *Execution.* This Agreement may be separately executed in individual counterparts, and upon execution, shall constitute one and the same instrument.
9. *Amendment.* This Agreement may only be amended in writing upon mutual consent of the City and the Developer.
10. *Joint preparation.* This Agreement shall be deemed to have been jointly prepared by all Parties hereto, and no ambiguity of this Agreement shall be construed against any party based upon the identity of the author of this Agreement or any portion thereof.
11. *Recitals Incorporated.* Statements and representations contained herein are to be considered contractual in nature and not merely recitations of fact. The Recitals contained in Part I of this Agreement hereby are expressly incorporated into this Agreement by reference.
12. *Construction.* All references herein in the singular shall be construed to include the plural where applicable, the masculine to include the feminine and neuter genders.
13. *Authority.* Each of the signatories to this Agreement represents and warrants that he is authorized to execute this Agreement and bind his principals to the terms and provisions hereof. Each Party warrants that any action required to be taken in order for this Agreement to be binding on it has been duly and properly taken prior to the execution of this Agreement.
14. *Conflicts.* In the event of a conflict between this Agreement and any provision of the Unified Development Code, the City Code, or any City ordinance, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this Agreement, the standards in this Agreement shall control.

RJ

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

15. *No Waiver.* Developer retains the right to challenge the application of any City impact fee regulations to the Property solely on the basis that such regulations fail to comply with Chapter 395 of the Texas Local Government Code, as amended. If Developer prevails in such a claim, impact fees shall be applied to the development of the Property and paid by the Developer, as applicable, in accordance with the court order.

ELJ

Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

CITY OF ROCKWALL



By: *[Signature]*

Name: DAVID SWEET

Title: MAYOR

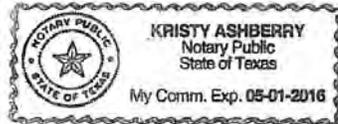
STATE OF TEXAS

COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said DAVID SWEET, who in their capacity as MAYOR for the City of Rockwall, acknowledges that he was authorized to execute the foregoing document this 2nd day of October 2012, certify witness my hand and seal of office.

Kristy Ashberry
Notary Public in and for the State of Texas



**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

BREEZY HILL 405, LTD, ^{AT TEXAS LIMITED PARTNERSHIP}
^{BREEZY HILL 405 GP CORPORATION, AT TEXAS CORPORATION,}
^{170 COUNCIL BLVD}

By: *[Signature]*

Name: RICHARD M. SCOBURG

Title: PRESIDENT

STATE OF TEXAS §
 §
COUNTY OF ROCKWALL §

SWORN AND SUBSCRIBED TO BEFORE ME, by said RICHARD M. SCOBURG, who in their capacity as PRESIDENT for the Breezy Hill 405, LTD, acknowledges that he was authorized to execute the foregoing document this 1st day of OCTOBER 2012, certify witness my hand and seal of office.

[Signature]
Notary Public in and for the State of Texas



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**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Honorable Mayor & City Council Members

FROM: Kristy Cole, City Secretary / Assistant to the City Manager

DATE: July 1, 2016

SUBJECT: Appointment with Joe DeLane, Rockwall Co. Emergency Mgmt.

Joe DeLane, Rockwall County Emergency Management Coordinator, will be present Tuesday evening to provide a brief update to the Council regarding the development of a countywide Hazard Mitigation Plan and associated process.

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CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Honorable Mayor & City Council Members

FROM: Kristy Cole, City Secretary / Assistant to the City Manager

DATE: June 29, 2016

SUBJECT: Z2016-017 – 2nd reading of ordinance

Regarding **Z2016-017**, at the June 20th council meeting, the motion to approve the case/ordinance passed by a vote of 3 in favor, 2 against (Milder and Fowler), and 2 absent (Pruitt and Hohenshelt).

As a result of the vote not being unanimous, this item has been placed under “Action Items” on the July 5th mtg. agenda for discussion and consideration by Council.

CITY OF ROCKWALL

ORDINANCE NO. 16-44

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTIONS 1.1 & 2.1.8 OF ARTICLE IV, PERMISSIBLE USES; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] has been initiated by the City Council of the City of Rockwall to amend Section 1.1, *Use of Land and Buildings*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for the purpose of establishing *Motor Vehicle Dealership, Used (Cars and Light Trucks)* as a standalone use permitted within the Light Industrial (LI) District by Specific Use Permit; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Section 1.1, *Use of Land and Buildings*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

Section 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF July, 2016.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: June 20, 2016

2nd Reading: July 5, 2016

Exhibit 'A'
Article IV, Permissible Uses,
of the Unified Development Code

Article IV, Permissible Uses, of the Unified Development Code
Section 1. Land Use Schedule
Section 1.1. Use of Land and Buildings

Residential										Permitted Uses	Mixed Use			Commercial			Industrial			
AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14	Auto and Marine	DT	R-O	N-S	GR	C	HC	RT	LI	HI	
										Auto repair garage, major +							P		P	P
										Auto repair garage, minor +	S				S	S	P		P	P
										Automobile rental						S	P		S	P
										Boat and trailer dealership (new and used) +						S	P		S	P
										Car wash/auto detail +				S	S	P	P		P	P
										Car wash, self-service					S	P	P		P	P
										Indoor motor vehicle dealership/showroom, new and/or used +						S	S		S	S
										Motor vehicle dealership, new (cars and light trucks) +						S	P		S	P
										Motor vehicle dealership, used (cars and light trucks) +						A	A		AS	A
										Parking, commercial	S					P	P		P	P
										Parking lot, noncommercial	A			S	P	P	P	P	P	P
										Recreational vehicle (RV) sales and service						S	P		S	P
										Service station +				S	P	P	P		P	P
										Towing and impound yard +							S		S	P
										Towing service, no storage +							P		P	P
										Truck rental							P		S	P
										Truck stop with fuel and accessory services +							S		S	P

Exhibit 'A'
*Article IV, Permissible Uses,
of the Unified Development Code*

Article IV, Permissible Uses, of the Unified Development Code
Section 2. Use Standards
Section 2.1.8 Auto and Marine-Related Use Conditions

Indoor Motor Vehicle Dealership/Showroom, (New and/or Used). The indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage.

1. The sales/storage facility must be a completely enclosed building.
2. Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures.
3. All activities shall remain inside the building (*i.e. no detailing, sales activities, et cetera shall be performed outside the building*).
4. Accessory uses may be allowed in compliance with the "Permissible Use Charts" located within *Section 1.1* of this article.

Motor Vehicle Dealerships (New and Used).

1. Used vehicles may only be sold as an ancillary use to new vehicle sales **in the Commercial (C), Heavy Industrial (HI) and Heavy Commercial (HC) Districts.**
2. All outside display of vehicles must be on an approved concrete, or enhanced concrete surface.
3. All vehicle display areas must meet the landscape standards for parking areas.

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and Council

FROM: Jeffrey Widmer, Building Official

DATE: July 5, 2016

SUBJECT: Special permit request for a front yard fence at 1200 Bayshore Dr.

Ms. Julia Dowdy has requested to appear before the Council to seek approval and a special permit for a front yard fence for her property located at 1200 Bayshore Dr.

Ms. Dowdy would like to build a 42" wood split rail fence within the front yard of the property and plant landscaping parallel to it, to act as a sound barrier to reduce the amount of traffic noise along Lakeshore Dr.

Any front yard fence in a residentially zoned area requires City Council approval. I am including a site plan of the surrounding area, as well as a site plan and photos of the subject property for your review.

June 17th 2016

RE: Permit to build Front Yard Fence

To Whom it May Concern:

My husband and I have just purchased a home in Rockwall and are requesting permission to build a 42" cedar split rail fence around our front yard. When we purchased the home we did not realize how loud and constant the traffic is on N. Shoreline Drive, which is the street our home faces. We would like to install this fence so that we can plant gardens along the fencing to create natural sound barriers between our home and the road to help buffer the constant traffic noise.

Thank You,

Julia Dowdy

Julia Dowdy
1200 Bayshore Drive
Rockwall, TX 75087
803-230-8407
mxtiger54@gmail.com

Julia Dowdy

Front yard Fence Permit

SPECIAL PERMIT REQUIRED TO PLACE FENCE WITHIN THE REAR FRONT YARD OF PROPERTY

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C1 Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie in flood plain.
 - 2) BEARING SOURCE: RECORDED PLAT.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the plat of the property surveyed for RANGER TITLE COMPANY, FIRST AMERICAN TITLE COMPANY, SFMC, LP, and JERRY BROOKINS & CAROLYN BROOKINS at 1200 BAYSHORE DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the facts to me and my opinion is based on the facts as found at the time of survey. This survey complies with the requirements of the Minimum Standards of Practice as approved and published by the State Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions. I surveyed under my supervision on the ground this the 14th day of December, 2011.

Harold D. Fetty III, R.P.L.S. No. 5034



BAYSHORE DRIVE
R.O.W. VARIES PER PLAT

L-77.918
R-80.00
UTILITY ESMT PER PLAT

L-376.46
R-50.00
ELEC BOX

S 67° 09' 15" E 165.29'

N 67° 08' 01" W 244.03'

N. LAKESHORE DRIVE
100' R.O.W. PER PLAT

ALLEY

42" High Split Rail Fence
16' Distance from curb

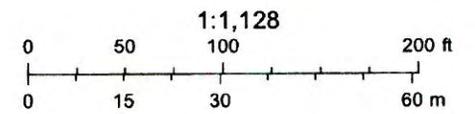
SURVEY ACCEPTED BY

Viewer Map

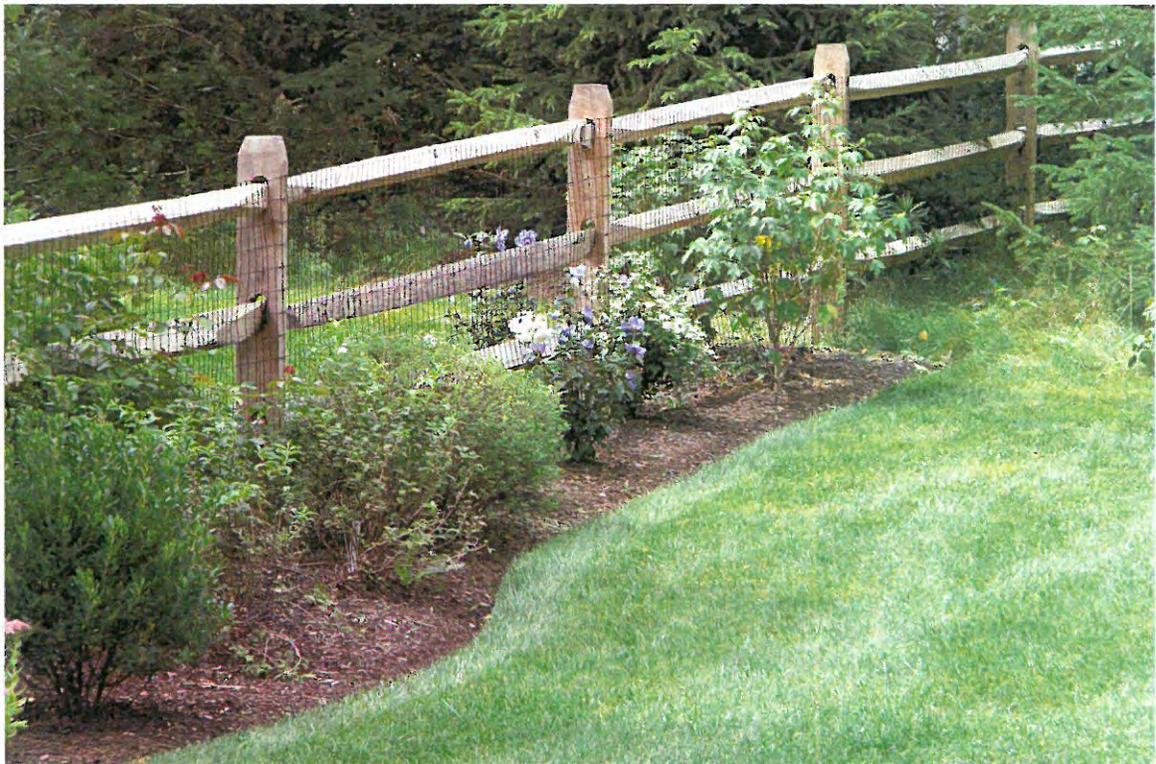


June 24, 2016

- Addresses
- ▭ Parcels
- ▭ City Limits







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City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and Council
FROM: Jeffrey Widmer, Building Official
DATE: July 5, 2016
SUBJECT: Special permit request for a front yard fence at 316 Portview Place

Ms. Debbie Coffey has requested to appear before the Council to seek approval and a special permit for a front yard fence for her property located at 316 Portview Place in Harbor Landing Phase 1.

Ms. Coffey would like to build a 42" wrought iron fence within the front yard of the property to enjoy the evenings in their front yard with their dogs.

Any front yard fence in a residentially zoned area requires City Council approval. I am including a site plan of the surrounding area, as well as a site plan and photos of the subject property for your review.

We like to sit on our front porch, in the evenings, and watch lake activity. Our dogs love it too! We love to have our babies out w/us and would enjoy it even more if they had the freedom to enter side yard from our front porch. Also, my nerves would be eased if I didn't have to worry about dogs coming into our area while our dogs are out w/us.

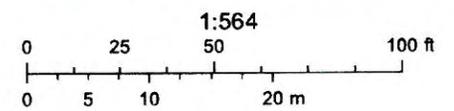
Debbie Coffey
June 29, 2016

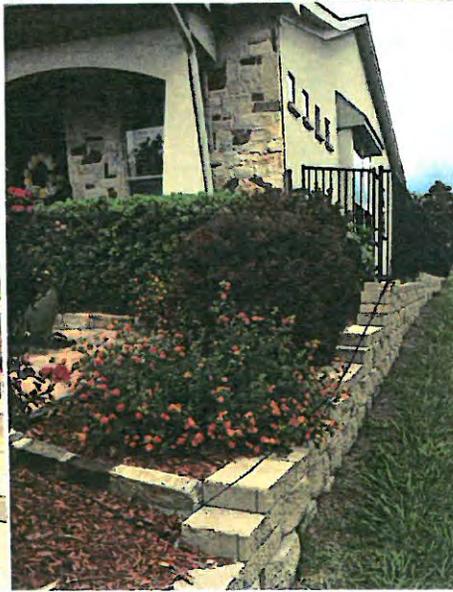
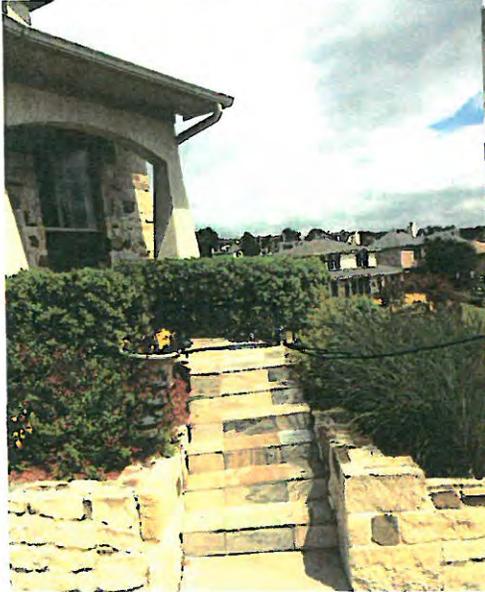
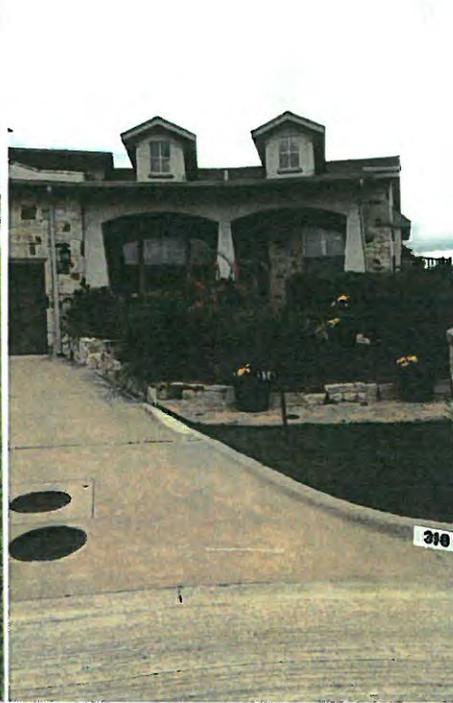
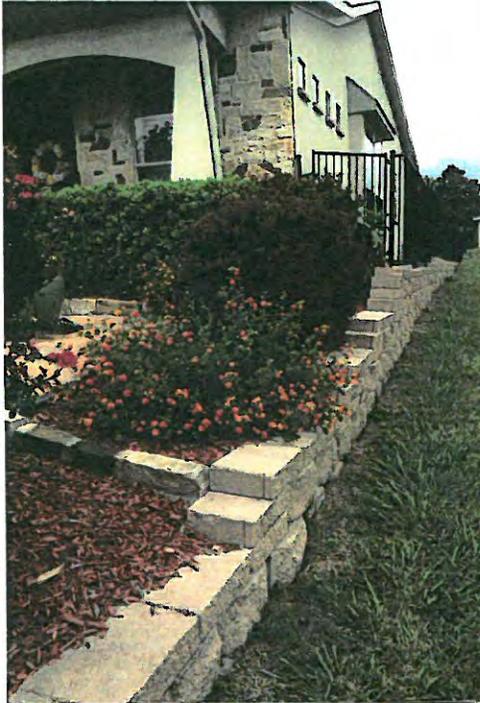
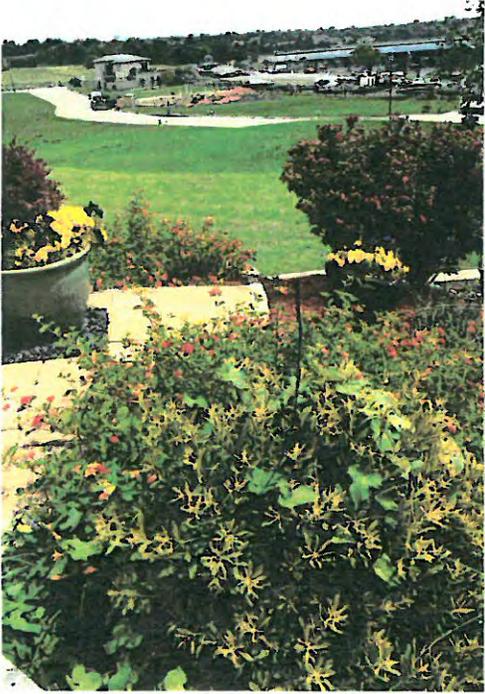
Viewer Map



June 29, 2016

- Addresses
- Parcels
- City Limits





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A Proposal for the City of Rockwall

Rockwall's Request

As we began planning to remove our sign at the city's request, we found a possible alternative that might be attractive to the city. This proposal addresses the city's concerns and offers a middle ground that will benefit everyone; the public, the city of Rockwall, and Primary Media.

The internet and social media have changed many industries, but very few as much or as drastically as billboards. The traditional boards of old have given way to changing modes of communication. Now, digital billboards provide a combination of public service announcements, emergency information, and valuable police and missing-person calls to action.

It is our proposal to place a portion of the displays on a new digital board. This would be a replacement for the old board, in the hands of the city of Rockwall, for the purpose of public announcements, city events, and vital emergency information. In addition, we propose to pay fees to the city, which will be negotiated as a part of our follow-up discussions.

The Value of Digital

Digital is at the forefront in advertising technology. With the use of advancing technology, digital boards can be networked to thousands of other boards, making them available for mass communication and responsive to the needs of the public. Amber Alerts, FBI's Most Wanted, FEMA warnings, and many other types of information can co-exist with business information. Think of a large Internet-connected computer screen, essentially an iPad the size of a small building, and you have an idea of the power of a digital board.

Many cities in the DFW area have expressed the same concerns as Rockwall. In each case, they weighed the pros and cons, debated the benefits, and decided that digital made the difference between a conventional sign and an attractive and valuable display that grabbed attention and gave valuable information.

McKinney, Frisco, and Lewisville have all accepted digital boards. In fact, the reception was so strong, that these cities had to change existing ordinances to allow them in. Today, people accept a digital screen as a part of their natural surroundings. For example, digital monitors can be seen in banks, airports, supermarkets and even car washes and gas stations (next to the pumps). Somehow, people feel more comfortable with a display screen nearby. They simply feel more connected.

Digital billboards are gaining in popularity because they are more powerful and capable than a traditional board. And digital boards are constantly changing with the times. In today's information age, this is becoming an important tool of instant communication. In fact, billboards are the most cost effective form of advertising, reaching over 93% of the population, usually as they travel the roads to and from work.

Businesses Benefit

Geared to the traveler with brief eight-second ads, digital billboards fill a need. Rather than being an eyesore, digital billboards are a bright and easy-to-read, a necessary asset for tourists and those looking for directions to food, lodging and essential facilities such as gas stations and restrooms.

If you remove billboards, you reduce the revenue for those businesses that rely on them. Imagine the difference in customer traffic to a business that advertises near a highway if people do not realize the business is even there. Travelling 35 to 65 MPH as they pass a business, do you think they will stop? Or, will they keep going, taking revenue away from local businesses.

A thriving business community needs to get the word out about products, services and events. If you take away the billboards, you take away one of the most effective tools small businesses have for marketing and promotion. Many of the businesses affected are local to the Rockwall area, such as the Texas Health Resources, Willis Jewelry, and the Rockwall Chamber of Commerce

With digital, the message can change many times a day. Digital designs can capture and maintain attention far better than a conventional board. With the many benefits and the ability to change with the technology, the digital billboard is "obviously the billboard of the future." This was the sentiment added by McKinney Councilman, Ray Ricchi, during an evaluation meeting for the city's first digital board.

The City Benefits

More fees for digital billboards make the difference. Each digital board brings in the revenue of multiple traditional boards. The increased profitability can provide the city of Rockwall with a stream of long-term revenue for as long as the board exists. Primary Media will be happy to share with you the type of arrangement we made with the city of Frisco for a similar digital board.

In the case of Frisco, in addition to the ongoing fees, Primary Media also gave them several slots on the board that they could use for their own purposes. These were provided at no cost to the city on a long-term basis.

The People Benefit

The city's citizens benefit in two ways. First by treating the digital board as an information dissemination tool; people stay informed of city events, concerns and causes. This is a new media that cities all over America are just learning to use to benefit it's citizens. How many times have Rockwall's leadership opined about low turnouts for city events, such as elections, city meetings, ballot initiatives and so forth? With the digital billboard, the word will get out to tens of thousands of people, and the message can change as quickly as needed.

Second, jobs in the city increase as businesses flourish due to the effectiveness of this new media. More businesses can participate in placing ads because of the additional ad space available with a digital board.

In addition, jobs are created due to the requirements of building, operating, selling and maintaining a digital billboard. This list includes design and production crews, along with those engaged in sales, marketing, and technical support. Eliminating the board eliminates these jobs.

Changing Modes of Communication

Technology improvements have enabled all of the capabilities we have discussed. As this trend continues, digital boards will keep developing unique solutions for both cities and citizens nationwide. Costs will no doubt continue to decline in the arena of digital advertising media as the trend in Internet friendly marketing continues. With digital advertising, who knows where this pattern leads both cities and citizens!

We began this proposal with the idea of taking down a billboard that some might consider an eyesore. We would like to present this alternative as a better solution, one that can benefit everyone involved. There will always be a vocal few who feel that advertising is crass and that billboards destroy the view of the countryside. This proposal takes exception with that view. Our billboards attract attention because they are attractive. Advertisers insist on presenting a message that attracts people.

Embracing the Technology

The changes in the Internet and digital advertising media over the last few years have been phenomenal! The one thing that has remained constant is the need to embrace the changes and make the technology work for you, for the city, and for its residents.

We at Primary Media wish to provide our expertise to help Rockwall adopt and effectively develop this site with an Internet-connected digital billboard, rather than tear it down.

Primary Media cannot wait to help Rockwall see the benefits of digital advertising in the future!



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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 07/05/2016

APPLICANT: Ron Valk; *Platinum Storage Rockwall, LLC*

AGENDA ITEM: **SP2016-014**; Platinum Storage

SUMMARY:

Discuss and consider a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of variances to the four (4) sided architecture and secondary materials requirements stipulated by Article V, District Development Standards of the Unified Development Code in conjunction with an approved site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30, and take any action necessary

BACKGROUND AND PURPOSE:

The applicant is requesting approval of a variance in conjunction with an approved site plan for the purpose of constructing two (2) office/warehouses (one ~ 9,180 sq. ft. and the other ~ 11,300 sq. ft.). The 2.692-acre parcel is zoned Commercial (C) District, is within the IH-30 Overlay (IH-30 OV) District, and is generally located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30. A summary of the density and dimensional requirements for the subject property and the approved site plan's conformance to these requirements is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>~117,000 SF; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>~60-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>~100-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>~15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Ft w/o SUP</i>	<i>25-Ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>17.46%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X>90%; In Conformance</i>
<i>Max Floor Area Ratio</i>	<i>4:1</i>	<i>X<4:1; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>30</i>	<i>33 Provided; In Conformance</i>
<i>Minimum Stone Requirement (IH-30 OV)</i>	<i>20% ea facade</i>	<i>X<20%; Exception Requested</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>33.91 %; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85%</i>	<i>64.5%; In Conformance</i>

VARIANCES:

The applicant is requesting the following variances:

- A) *Four (4) Sided Architecture*: According to Section 6.6, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the UDC, commercial buildings shall be architecturally finished on all four (4) sides (i.e. incorporating the same materials detailing, and features). The building elevations submitted by the applicant show that the south elevation will have loading doors located along the entire length of the façade to allow for loading and unloading of materials. The applicant is also requesting to utilize 2% natural or quarried stone on this elevation. The lack of stone and articulation do not meet the four (4) sided architecture requirements (see a., b., and c. below to see how the four (4) sided architecture requirements are evaluated).
- a. *Horizontal articulation*. According to Section 4.1, *General Commercial District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) no building wall shall extend for a distance equal to three times the wall's height without having an offset of 25 percent of the wall's height, and that new plane shall extend for a distance equal to at least 25 percent of the maximum length of the first plane.
 - b. *Vertical articulation*. According to Section 4.1, *General Commercial District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) no horizontal wall shall extend for a distance greater than three times the height of the wall without changing height by a minimum of 25 percent of the wall's height.
 - c. *Stone*. According to Section 6.6, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), each exterior wall shall consist of 90 percent masonry materials including a minimum of 20% natural or quarried stone.
- B) *Secondary Materials*. According to Section 6.6, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), (s)econdary materials used on the façade of a building are those that comprise less than ten (10) percent of an elevation area. On the South Elevation, the applicant is proposing to use 14% EIFS, however, this will not be visible from any major public streets.

All variances in this case pertain to the southern building façade of both buildings which the applicant has stated will incorporate loading docks and will not be visible from the street. Additionally the applicant feels that the articulation requirement would impact the location and usability of the building for the proposed uses. These variances will require a $\frac{3}{4}$ majority vote by the City Council to be approved since the property is situated in the IH-30 Overlay (IH-30 OV) District.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On May 31, 2016, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning the agenda item took place between the Board Members and city staff. The board expressed concern with the vertical articulation on the two buildings and requested that the applicant raise the height of some of the vertical structures to break up the monotony of the two (2) buildings. Additionally, the board suggested that the applicant flip the northern building so that the two buildings face each other. The board expressed how this would create a courtyard so that one building is not facing the back of another. Subsequently, the applicant made changes to the vertical structures by increasing the height of all the structures as well as providing some variation in some of the vertical structures to provide more depth to the building. The applicant decided not to make the suggested change of flipping the northern building so that it faces the southern building.

On June 28, 2016 the Architectural Review Board (ARB) reviewed the revised building elevations and approved the submitted elevations with the included variances by a vote of 4 to 0 with board members Adan Tovar, Kristi Mase, and Ashlei Neill absent.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On June 28, 2016, the Planning and Zoning Commission approved a motion to recommend approval of the *variances* to allow the four (4) sided architecture and secondary materials by a vote of 6-0 with Commissioner Fishman absent.

City of Rockwall
Project Plan Review History



Project Number	SP2016-014	Owner	GINGERCREST, INC	Applied	5/16/2016	LM
Project Name	Platinum Storage	Applicant	PLATINUM CONSTRUCTION	Approved		
Type	SITE PLAN			Closed		
Subtype				Expired		
Status	STAFF REVIEW			Status	5/16/2016	LM

Revised plans staff comments are highlighted in yellow

Site Address	1450 S TL Townsend Dr	City, State Zip	Rockwall, TX 75032	Zoning	
Subdivision		Tract		Block	Lot No
				Parcel No	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 9:24 AM AW) Paving to be 3,600 psi (minimum of 6.5 sack) not 3,500 psi Drive aisles without paving to be a minimum of 20' wide Need to show sanitary sewer easement (see markups) No walls are allowed in easements. Engineering Comments on plans. 4% engineering fees Impact fees	Amy Williams	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
ENGINEERING (6/22/2016 10:23 AM AW) Add the dimensions back to the parking spaces and drive aisle (see markup)	Amy Williams	6/22/2016	6/29/2016	6/22/2016		COMMENTS	See Comments
FIRE (5/17/2016 3:02 PM AA) Need Owner to request approval for alternate fire lane coverage in accordance with IFC 503.1.1 or provide additional fire lane.	Ariana Hargrove	5/16/2016	5/23/2016	5/24/2016	8	COMMENTS	see comment
FIRE (6/22/2016 2:19 PM AA) Need Owner to request approval for alternate fire lane coverage in accordance with IFC 503.1.1 or provide additional fire lane. (South Building)	Ariana Hargrove	6/22/2016	6/29/2016	6/22/2016		COMMENTS	see comment
GIS (5/17/2016 8:56 AM LS) Address Assignment: East Building: 1450 S TL TOWNSEND DR, ROCKWALL, TX 75032 West Building: 1460 S TL TOWNSEND DR, ROCKWALL, TX 75032	Lance Singleton	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	See Comment

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p><See attached map for suite numbers> *not all unit numbers will be used. This scheme allows for future demising wall changes. Contact Addressing@rockwall.com with any questions.</p>						

PLANNING	Korey Brooks	5/16/2016	5/23/2016	5/24/2016	8 COMMENTS	See Comments
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(5/24/2016 8:57 AM KB)

SP2016-014 (Platinum Storage Rockwall, LLC): Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Ron Valk of Platinum Storage Rockwall, LLC on behalf of Shawn Valk of Platinum Construction for the approval of site plan for a multi-tenant office/warehouse facility on a 2.692-acre parcel of land identified as Lot 3, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the west side of T. L. Townsend Drive, south of the intersection of T. L. Townsend Drive and IH-30.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (SP2016-014) in the lower right hand corner of all pages on future submittals.
- I.4 This property will be required to be plated prior to the issuance of a building permit.
- I.5 This property is located in the IH 30 Overlay (IH-30 OV) District and is subject to stricter architectural/site design standards. Each exterior wall shall consist of 90% masonry including a minimum 20% natural or quarried stone.
- M.6 Site Plan. Please provide Material Sample Board with samples of proposed materials.
- M.7 Site Plan. Please show entire lot to show frontage on Townsend Drive.
- M.8 Site Plan. Please show and label the 15-foot setback on Townsend Drive.
- M.9 Site Plan. Please show vicinity map.
- M.10 Site Plan. Please show distance from building to all property lines.
- M.11 Site Plan. Please indicate depth of paving material.
- M.12 Site Plan. All trash and recycling receptacles shall be four-sided with a gate and located outside buffer strips and to the rear of the primary building. The receptacles shall be screened by a minimum 8-foot solid masonry screen and shall utilize similar masonry materials to the primary structure. Please ensure that the screening wall is 8-feet and add a detail of the dumpster enclosure to show that it is 8-feet in height.
- M.13 Site Plan. Please indicate the distance between all buildings on site.
- M.14 Site Plan. Please indicate the street centerline for T.L. Towsend Drive.
- M.15 Site Plan. Please provide dimensions of all walls.
- M.16 Site Plan. Please indicate required accessible parking spaced in addition to showing the provided number of accessible spaces.
- M.17 Site Plan. Please indicate whether utility equipment will be pad/ground mounted roof mounted. Pad mounted utility equipment shall be screened from horizontal view from any adjacent public street and from any adjacent property. All buildings must be designed so that no roof mounted mechanical equipment shall be visible from any direction.
- M.18 Landscape Plan. Please provide the same site data information required in Sec 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.
- M.19 Landscape Plan. Please indicate the applicable zoning district percentage of landscaping required and provided in addition to the impervious areas vs. the amount of landscaping and open spaces required and provided.
- I.20 Landscape Plan. Please ensure that the Impervious Area is no greater than 85% and that the pervious area is at least 15%.
- M.21 Landscape Plan. Canopy trees must be at least 4" caliper. Currently the canopy trees are 1-inch below the requirement.
- M.22 Landscape Plan. A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan. Please indicate the 10' landscape buffer along Townsend Drive.
- M.23 Landscape Plan. Please provide a note indicating that the irrigation will meet requirements in of the UDC.
- M.24 Photometric. Please provide the same site data information required in Section 2.1 Site Plan; Miscellaneous and Density and Dimensional Requirements of the Development Application Checklist.

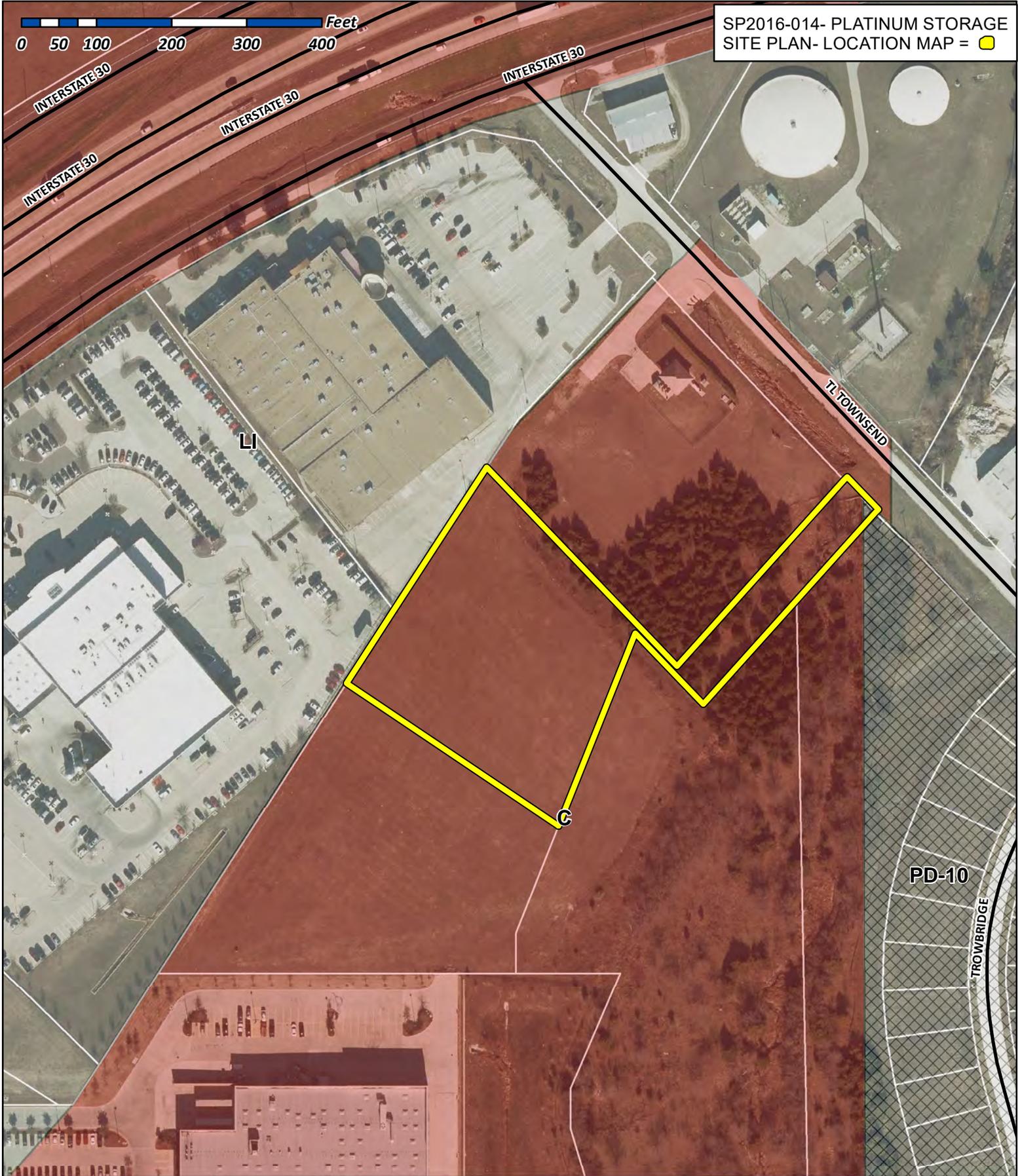
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.25 Photometric. Please darken the property lines on the Photometric Plan.						
M.26 Photometric. Please provide cut-sheets for all exterior lighting (e.g. wall packs, canister lighting, etc.).						
M.27 Building Elevations. Please label all roof mounted mechanical equipment and how these will be screened from view.						
M.28 Building Elevations. Each exterior wall shall consist of 90 percent masonry material including a minimum of 20 percent natural or quarried stone. Please ensure that the all elevations include 90% masonry, including 20% natural or quarried stone, or please apply for a variance from City Council.						
M.29 Building Elevations. Please indicate the parapet wall by dashing in the top of roof deck.						
M.30 Building Elevations. Please indicate the surface area (sq. ft.) of each façade and the percentage and square footage of each material used on that façade using a table.						
M.31 Building Elevations. Please provide specifications and descriptions of all proposed building materials on all proposed buildings.						
M.32 Building Elevations. The vertical articulations must be at least 5-feet in order to meet vertical articulation standards. Currently these articulations are 2-feet.						
M.33 Building Elevations. Please look at the South Elevation. It currently does not meet the vertical or horizontal articulation requirements. Additionally, it does not meet the minimum stone requirements. Also, all retail/commercial buildings shall be architecturally finished on all four sides with same materials, detailing, and features as the front.						
M.34. Please provide a letter outlining all variance requests.						
I.35 The Architectural Review Board (ARB) meeting for this case will be held on May 31, 2016.						
I.36 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 14, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on May 31, 2016.						
I.37 If necessary the projected City Council meeting date for this case will be June 20, 2016.						

PLANNING	Korey Brooks	6/22/2016	6/29/2016	6/22/2016	COMMENTS	See Comments
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(6/22/2016 10:40 AM KB)
 SP2016-014 (Platinum Storage Rockwall, LLC): Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- M.1 Landscape Plan. Please provide the same site data information required in Sec 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.
- M.2 Landscape Plan. Please indicate the applicable zoning percentage of landscaping required and provided in addition to the impervious areas vs. the amount of landscaping and open spaces required and provided.
- I.3 Landscape Plan. Please ensure that the Impervious Area is no greater than 85% and that the pervious area is at least 15%.
- M.4 Landscape Plan. Canopy trees must be at least 4" caliper. Currently the canopy trees are 1-inch below the requirement.
- M.5 Landscape Plan. A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan. Please indicate the 10' landscape buffer along Townsend Drive.
- M.6 Landscape Plan. Please provide a note indicating that the irrigation will meet requirements in of the UDC.
- M.7 Landscape Plan. Please show the entire site to show frontage on T.L. Townsend Drive.
- M.8 Landscape Plan. Please show 10' landscape buffer adjacent to T.L. Townsend Drive.
- M.9 Building Elevations. Please indicate the parapet wall by dashing in the top of roof deck on the North and South Elevations.
- M.10 Building Elevations. No smooth-face CMU is allowed. Please indicate the type of CMU you will be using.
- M.11 Building Elevations. No more than 10% of secondary materials are allowed on any elevation so a variance will be required for the 14% EIFS being used on the South Elevation.
- M.12 Building Elevations. Please provide a Materials Sample Board.
- M.13 Building Elevations. Please ensure that stucco must be 3-part stucco.
- I.14 The Architectural Review Board (ARB) meeting for this case will be held on June 28, 2016.
- I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
additional information that is requested as soon as possible.						
I.16 The Planning and Zoning Meeting for this case will be June 28, 2016 Planning & Zoning Meeting.						
I.1 The City Council meeting date for this case will be July 5, 2016.						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

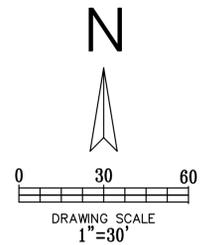
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



FOR REVIEW, NOT FOR CONSTRUCTION
THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/15/16.

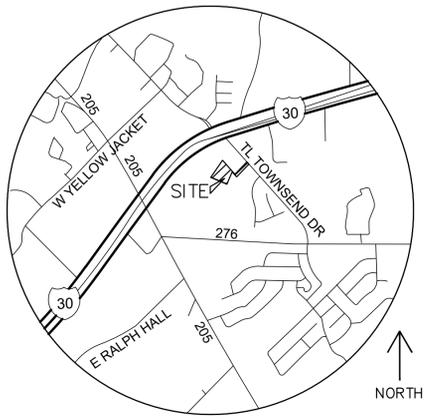
SITE PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLOT DATE
06/15/16
DRAWING SCALE
1" = 30'
PROJECT NUMBER
CD15034
SHEET NUMBER
SP



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - BFR — PROPOSED BARRIER FREE RAMP
 - Ⓢ — PARKING SPACES IN A ROW
 - LS — PROPOSED LANDSCAPING
 - ▨ 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX)
 - ▩ 6"-8" PROPOSED PAVEMENT 4,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX) FIRELANES SHALL BE A MINIMUM OF 7" THICK.
 - — PROPOSED FIRE LANE

- SITE NOTES:**
1. THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 4. THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 5. DETENTION HAS BEEN PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
 6. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 7. THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.



VICINITY MAP
NTS

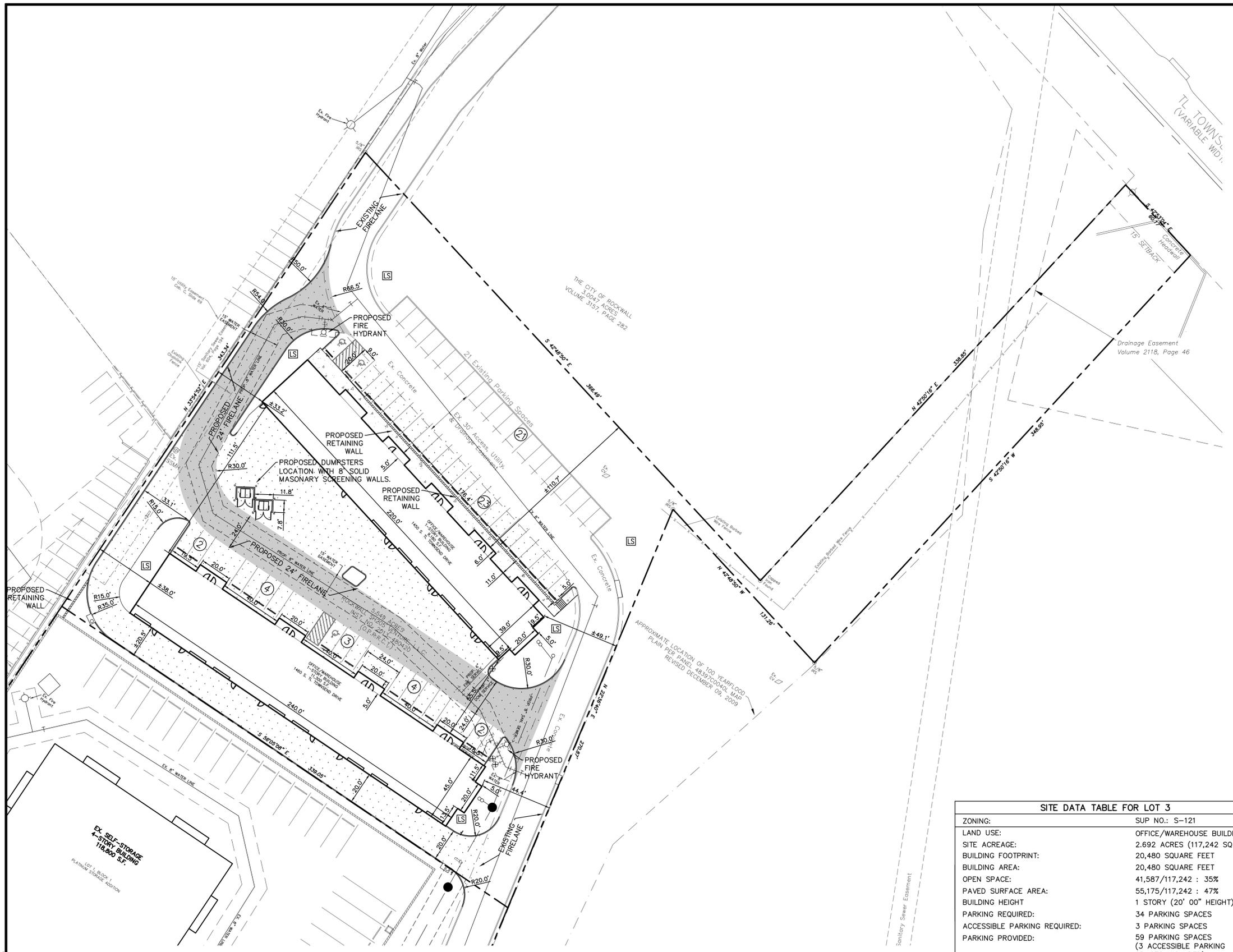
BENCHMARK
NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
ELEVATION= 539.71
NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE I30 EB SERVICE ROAD AND TOWNSEND ROAD.
ELEVATION= 537.64
CITY OF ROCKWALL CONTROL MONUMENT #19
ELEVATION= 600.68

SITE DATA TABLE FOR LOT 3

ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
OPEN SPACE:	41,587/117,242 : 35%
PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)

REVISIONS

REV NO.	DATE	DESCRIPTION



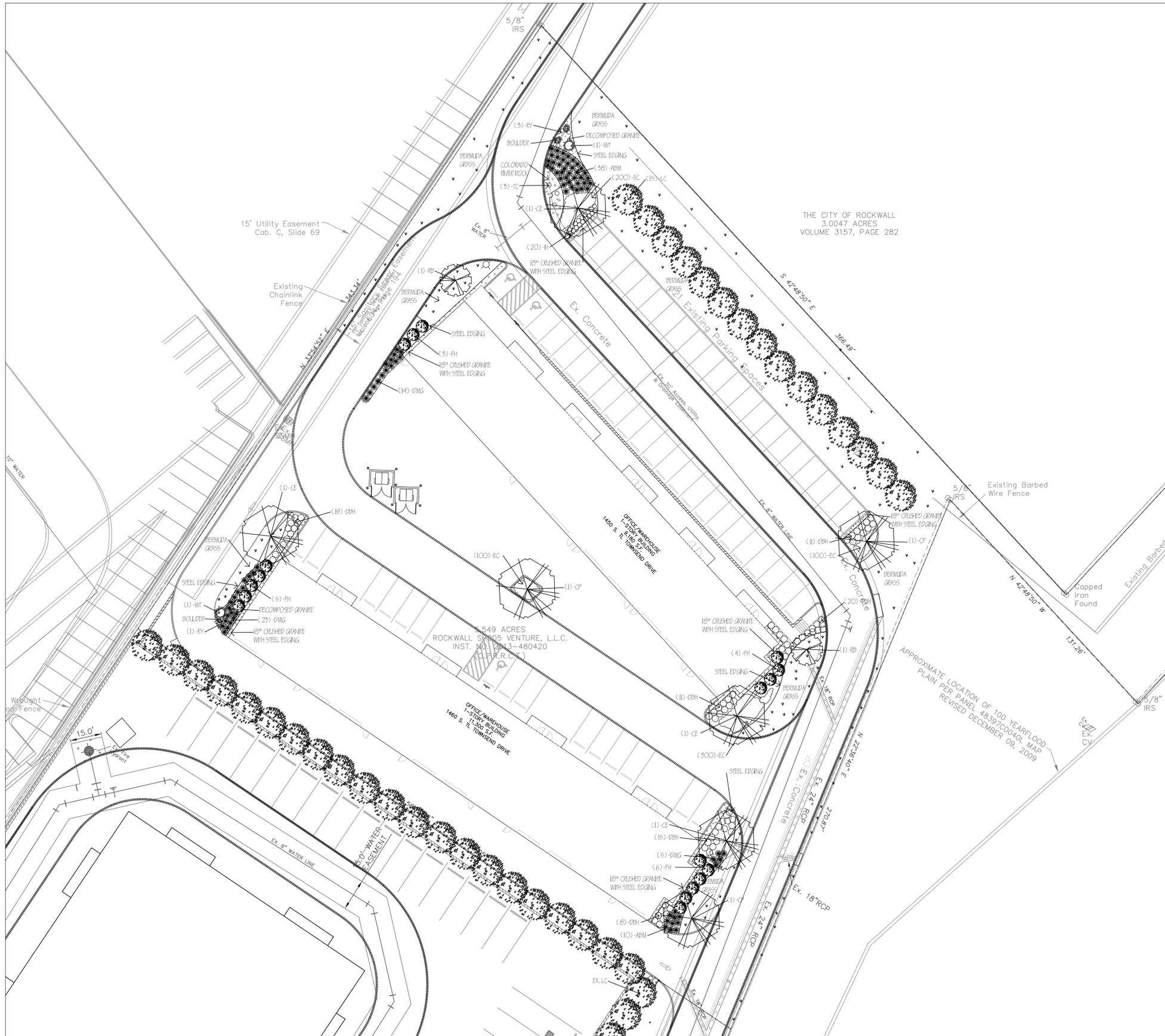
!!! CAUTION !!!
UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

ENGINEER:
CUMULUS DESIGN, INC.
P.O. BOX 2119
EULESS, TEXAS 76039
PH: 214-235-0367
CONTACT: PAUL CRAGUN
EMAIL: PAUL@CUMULUSDESIGN.NET

OWNER:
RON WALK
1834 S FM 551
FATE, TX 75189

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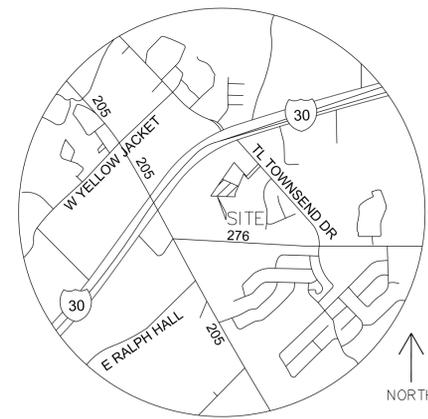


PLANT MATERIAL LIST

TREES			
KEY	QUANTITY	DESCRIPTION	SIZE
CE	4	ULMUS CRASSIFOLIA	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
CP	3	PISTACHIA CHINENSE	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
LC	15	CUPRESSOCYPARIS LEYLANDII	30 GAL., 5 FT. HT., 3 FT. SPREAD
RB	2	CERCIS CANADENSIS VAR. TEXENSIS	2" CAL., 8 FT., 3' SPREAD
RB	2	TEXAS REDBUD	3' SPREAD
SHRUBS			SIZE
DBH	84	ILEX BURFORDII 'NANA'	5 GAL., MIN. 24" HT., 24" O.C.
DBH	84	DF. BURFORDII HOLLY	5 GAL., MIN. 24" HT., 24" O.C.
IH	20	RAPHIOPHLEPS INDIANA 'PINK LADY'	5 GAL., MIN. 24" HT., 24" O.C.
IH	20	INDIAN HAWTHORN	5 GAL., MIN. 24" HT., 24" O.C.
FH	18	ILEX X ATTENUATA 'FOSTERI'	30 GAL., MIN. 5' HT., 3' SPREAD, FULL TO GD.
FH	18	FOSTER HOLLY	30 GAL., MIN. 5' HT., 3' SPREAD, FULL TO GD.
WT	2	AGAVE OVATIFOLIA	5 GAL., MIN. 15" HT., 15" O.C.
WT	2	WHALES TONGUE	5 GAL., MIN. 15" HT., 15" O.C.
RY	4	HESPERALOE PARVIFOLIA	5 GAL., MIN. 15" HT., 15" O.C.
RY	4	RED YUCCA	5 GAL., MIN. 15" HT., 15" O.C.
GROUND COVER			SIZE
EC	700	EUONYMUS COLORATUS FORTUNEI	4" POT, FULL PLANT 10" O.C.
EC	700	PURPLE WINTERCRESPER	4" POT, FULL PLANT 10" O.C.
BLOOMING COLOR			SIZE
TC	3	MALVAEUS ARBOREUS V. DRUMMONDII	1 GAL., FULL PLANT 16" O.C.
TC	3	TURKS CAP	1 GAL., FULL PLANT 16" O.C.
ORNAMENTAL GRASSES			SIZE
ABM	48	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GAL., FULL PLANT 15" O.C.
ABM	48	AUTUMN BLUSH MUHLY	1 GAL., FULL PLANT 15" O.C.
DMS	42	MISCANTHUS SINENSIS 'ADAGIO'	1 GAL., FULL PLANT 16" O.C.
DMS	42	DF. MAIDEN GRASS	1 GAL., FULL PLANT 16" O.C.

LANDSCAPE ORDINANCE FOR CITY OF ROCKWALL

REQUIREMENTS	PROVIDED
MINIMUM SQUARE FOOTAGE REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MINIMUM IN THE ZONING ORDINANCES SET FORTH AS FOLLOWS: COMMERCIAL = 15% @ 107,242 SF. = 17,586 SF. REQUIRED	59,758 SF. LANDSCAPE AREA PROVIDED
ANY PARKING LOT WITH MORE THAN 2 ROWS SHALL HAVE A MINIMUM OF 5% OR 200 SF., WHICHEVER IS GREATER IN THE INTERIOR OF THE PARKING LOT IN LANDSCAPING, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL LANDSCAPING. = 17,586 SF. @ 5% = 879 SF.	1,644 SF. LANDSCAPE AREA PROVIDED
PARKING AND MANEUVERING SPACE EXCEEDS 20,000 SF., ONE TREE FOR EVERY 10 PARKING SPACES. 95,179 SF. @ 59 SPACES = 6 TREES	(6) TREES PROVIDED
NO PARKING SPACE SHALL BE FURTHER THAN 80 FEET FROM AT LEAST ONE TREE.	ALL PARKING SPACES ARE WITHIN 80 FT. OF AT LEAST ONE TREE.
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.	TREES ARE LOCATED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.
NO LESS THAN 50% OF THE TOTAL LANDSCAPE REQUIREMENT SHALL BE LOCATED IN FRONT OF THE BUILDING LANDSCAPE REQUIREMENTS = 17,586 SF. @ 50% = 8,793 SF.	LANDSCAPE PROVIDED = 12,250 SF.
ONE ROW OF LEYLAND CYPRESS TO BE INSTALLED ALONG NORTHERN PROPERTY LINE IN ACCORDANCE WITH SUP #5-121	(15) LEYLAND CYPRESS PROVIDED
IRREGATION TO BE AN UNDERGROUND AUTOMATIC SYSTEM	AUTOMATIC SYSTEM PROVIDED



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"
TRUE NORTH

Cumulus Design
Firm #14810
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

LANDSCAPE PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JCL
J. CAMILLE LA FOY
LANDSCAPE ARCHITECTURE CONSULTING
1010 NORTH GREENVILLE AVENUE, SUITE 200
ALEXANDRIA, TEXAS 76010

PLOT DATE	06/20/16
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CD15034
SHEET NUMBER	L1.01

SUP2014-033

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- NOTES:
1. OUTDOOR LIGHTING CIRCUITS SHALL BE PROVIDED WITH PROGRAMMABLE TIME CLOCK AND PHOTOCELL CONTROLLERS PER INTERNATIONAL ENERGY CONSERVATION CODE.
 2. NUMBERS AND CONTOURS SHOWN ON PLAN ARE FOOT-CANDLE UNITS.
 3. ELECTRICAL CONTRACTOR SHALL VERIFY ILLUMINATION LEVELS AFTER INSTALLATION AND SHALL ADJUST LUMINAIRES AS NECESSARY.

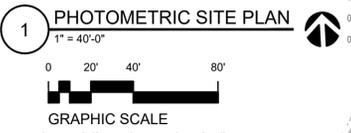
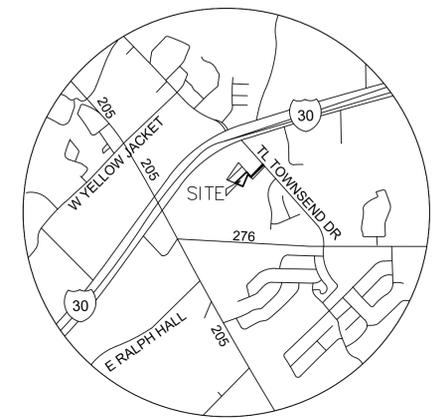
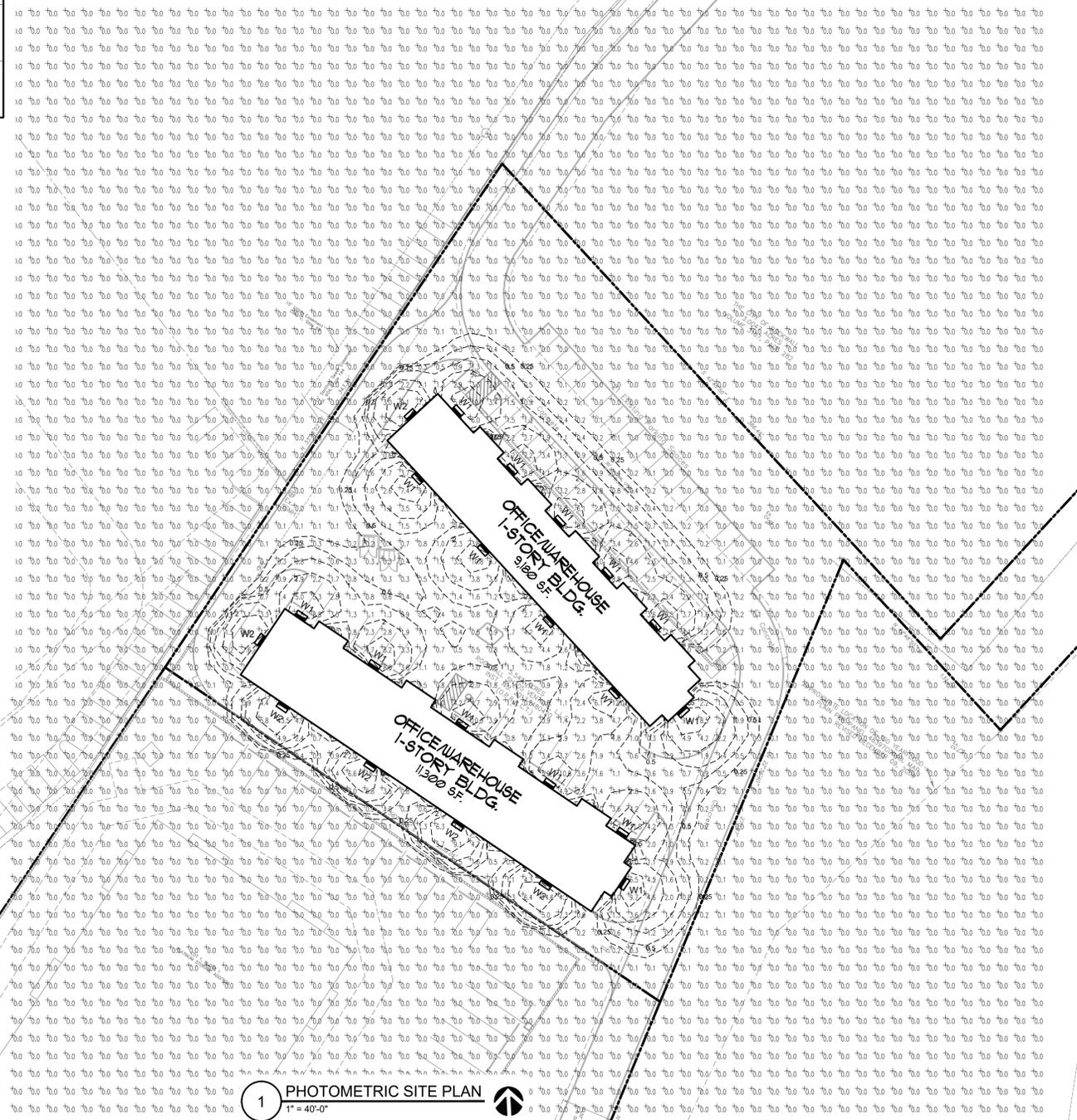
OUTDOOR LIGHTING SCHEDULE						
SYMBOL	LABEL	QTY	MANUF. CAT #	DESCRIPTION	LAMP	HEIGHT
	W1	16	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	HORZ. 12'-0"
	W2	6	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	15' DOWN 12'-0"

OUTDOOR ILLUMINATION SUMMARY	
TOTAL LUMINAIRES	22
TOTAL KW LOAD	1.1
# POINTS	2,703
AVERAGE F.C.	0.4
MAXIMUM F.C.	12.3



LUMINAIRE TYPE 'W1'

SITE DATA TABLE FOR LOT 3	
ZONING:	SUP NO.: S-121
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SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
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PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)



1 PHOTOMETRIC SITE PLAN
1" = 40'-0"

LOT 1, BLOCK 1
TOYOTA OF ROCKWALL
CABINET & SLIDE 153-155
(P.R.R.C.T.)

NO.	REVISION

PROPOSED NEW FACILITY:
OFFICE/WAREHOUSE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087

4700Kemble St.
Ft. Worth, TX 76103
TEL: 817-386-5365
FAX: 817-386-5365
WWW.JLEBDYSYS.COM



PHOTOMETRIC SITE PLAN

Date	06-20-2016
Scale	As Noted
Drawn	JLL
Job	15037
Sheet	

PS1

CASE #SP2016-014

ALED4T50




Specification grade area lights available in IES Type IV distributions. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Mounts to 4" square steel poles at 20-35°. Patent pending management system. 5 Year Warranty.

Color: Bronze Weight: 32.0 lbs

Project: PLATINUM CONSTRUCTION	Type: OFFICE/WAREHOUSE
Prepared By: JL BUILDING SYSTEMS, LLC	Date: 06-20-2016

Driver Info	LED Info
Type: Constant Current	Watts: 50W
120V: 0.46A	Color Temp: 5000K
208V: 0.27A	Color Accuracy: 67 CRI
240V: 0.23A	L70 Lifespan: 100000
277V: 0.20A	Lumens: 5,196
Input Watts: 52W	Efficiency: 100 LPW
Efficiency: 96%	

Technical Specifications

Listings
UL Listing:
Suitable for wet locations as a downlight.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P0000178Y

LED Characteristics

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:
Multi-chip, high-output, long-life LEDs

Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Construction
IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Effective Projected Area:
ERA = 0.75

IP Rating:
Ingress Protection rating of IP66 for dust and water.

Ambient Temperature:
Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.

Thermal Management:
Superior patent pending thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.

Housing:
Die cast aluminum housing, lens frame and mounting arm.

Mounting:
Heavy-duty mounting arm with "O" ring seal & stainless steel screws.

Reflector:
Specular vacuum-metallized polycarbonate

Gaskets:
High temperature silicone gaskets

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Electrical

Driver:
Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

THD:
6.9% at 120V, 7.8% at 277V

Surge Protection:
OV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

Other

Equivalency:
ALED™ 50W replaces 200W metal halide

California Title 24:
See ALED4T50/PC, ALED3T50/PCS or ALED3T50/PCT for a 2013 California Title 24 compliant model.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com
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Page 1 of 2

ALED4T50



Technical Specifications (continued)

Other
The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Patents:
The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.

Country of Origin:
Designed by RAB in New Jersey and assembled in the USA by RAB's (BEW Local 3) workers.

Buy American Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

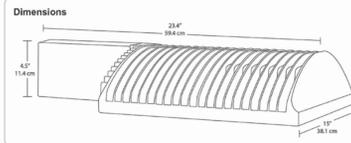
Recovery Act (ARRA) Compliant:
This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods—Buy American Act—Construction Materials (October 2010).

Trade Agreements Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule:
Suitable in accordance with FAR Subpart 25.4.

Optical
BUG Rating:
80 U0 G2

Dimensions



Features
66% energy cost savings vs. HID
100,000-hour LED lifespan
Type IV distribution
5-year warranty

Ordering Matrix

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Sensor	Bi-Level
ALED	4T	50		5000K		PC2				
	2T = Type II	50 =	= Arm	= 5000K	=	= 120V	= No Photocell	= No	/WS2 = Multi-Level Motion Sensor (Only available for	= No Bi-
	3T = Type III	50W	SF =	(Cool)	Bronze	277V	IPC = 120V	Dimming	120-277V with ID10 for 50W)	Level
	4T = Type IV		Skipfltr	Y = 3000K	W = 4800	Button	ID16 =	Dimmable		Bi-
				(Warm)	White	480V	IPC2 = 277V	Button		Level
				N = 4000K	RG =		IPC5 = 120V	Swivel		
				(Neutral)	Gray		IPC2 = 277V	Swivel		
							IPC3 = 120-277V	Twistlock		
							IPC4 = 480V	Swivel		
							IPC4 = 480V	Twistlock		

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com
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Page 2 of 2

NO.	REVISION

PROPOSED NEW FACILITY:
OFFICE/WAREHOUSE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087

4700Kemble St.
Fort Worth, TX 76103
817-386-5265
FAX: 817-386-5265
WWW.JLBUILDINGS.COM



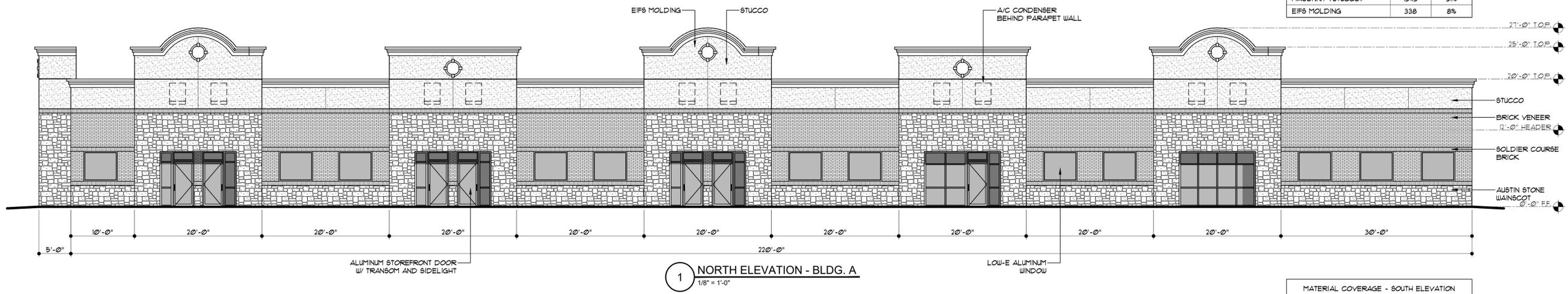
OUTDOOR LIGHTING SPECIFICATIONS

Date: 06-20-2016
Scale: As Noted
Drawn: JLL
Job: 15037
Sheet

PS2

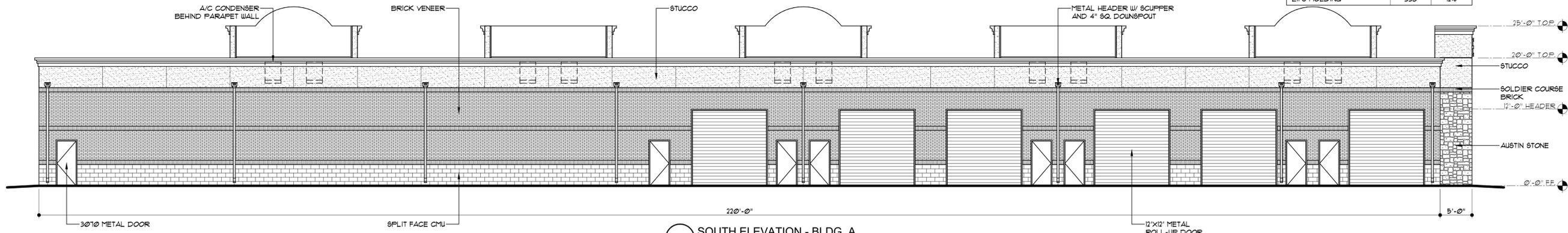
CASE #SP2016-014

MATERIAL COVERAGE - NORTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	5105	
DOORS & WINDOWS (DED.)	784	
ACCOUNTABLE AREA	4321	100%
MASONRY (STONE)	1455	34%
MASONRY (BRICK)	1185	27%
MASONRY (STUCCO)	1343	31%
EIFS MOLDING	338	8%

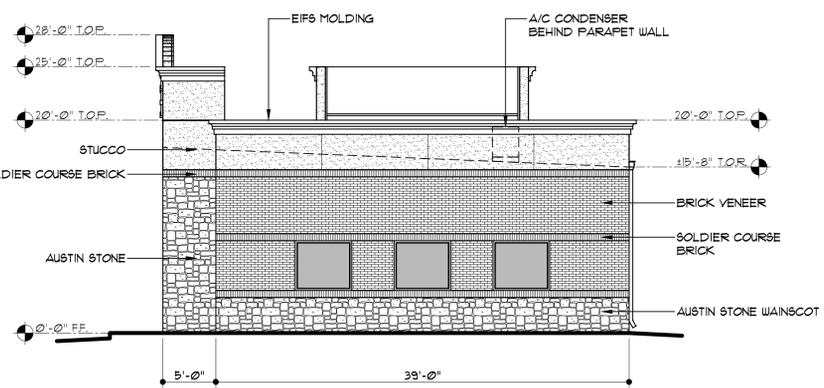


1 NORTH ELEVATION - BLDG. A
1/8" = 1'-0"

MATERIAL COVERAGE - SOUTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	4530	
DOORS & WINDOWS (DED.)	1055	
ACCOUNTABLE AREA	3475	100%
MASONRY (STONE)	73	2%
MASONRY (CMU)	404	12%
MASONRY (BRICK)	1878	54%
MASONRY (STUCCO)	782	23%
EIFS MOLDING	338	12%



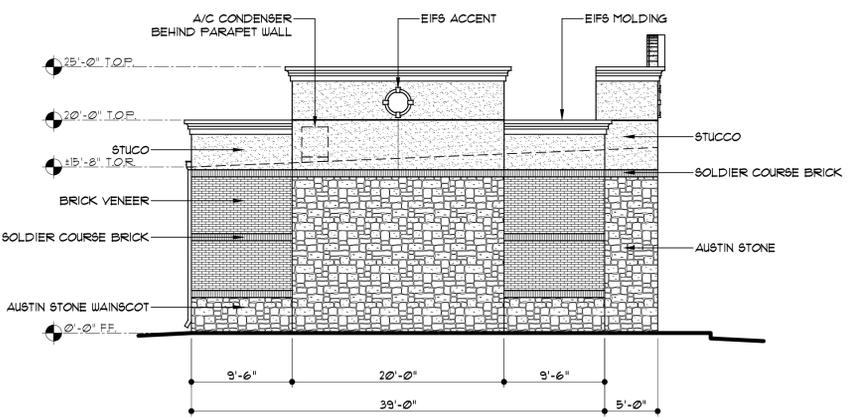
2 SOUTH ELEVATION - BLDG. A
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. A
1/8" = 1'-0"

MATERIAL COVERAGE - WEST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	910	
DOORS & WINDOWS (DED.)	15	
ACCOUNTABLE AREA	895	100%
MASONRY (STONE)	203	24%
MASONRY (BRICK)	388	46%
MASONRY (STUCCO)	178	21%
EIFS MOLDING	66	8%

MATERIAL COVERAGE - EAST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1009	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1009	100%
MASONRY (STONE)	430	43%
MASONRY (BRICK)	235	23%
MASONRY (STUCCO)	278	28%
EIFS MOLDING	66	7%



4 EAST ELEVATION - BLDG. A
1/8" = 1'-0"

NO.	REVISION	NO.	REVISION



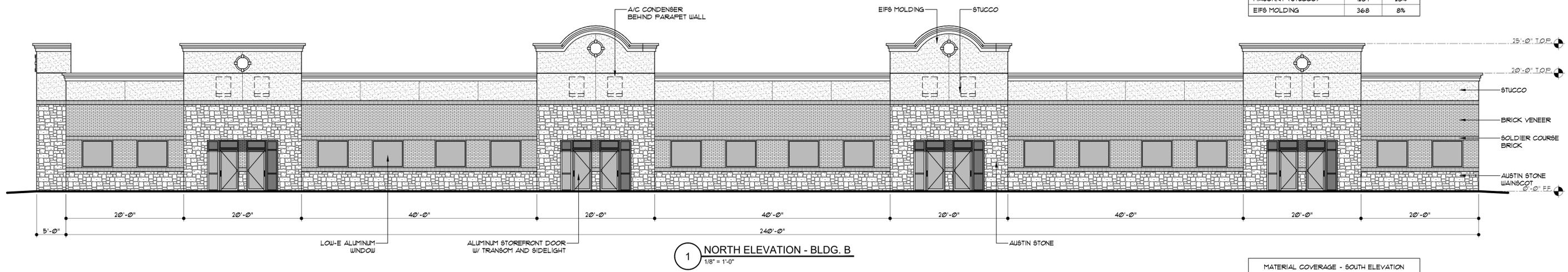
4700Kemble St.
Fort Worth, TX 76103
Ph: 817-534-6579
FAX: 817-386-5365
WWW.JLBUILDSYS.COM

PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
1450 S TL TOWNSEND DR.
ROCKWALL, TEXAS

Date	06-20-2016	ELEVATIONS BUILDING A
Scale	As Noted	
Drawn	JLL	
Job	15037	
Sheet:		A2.1

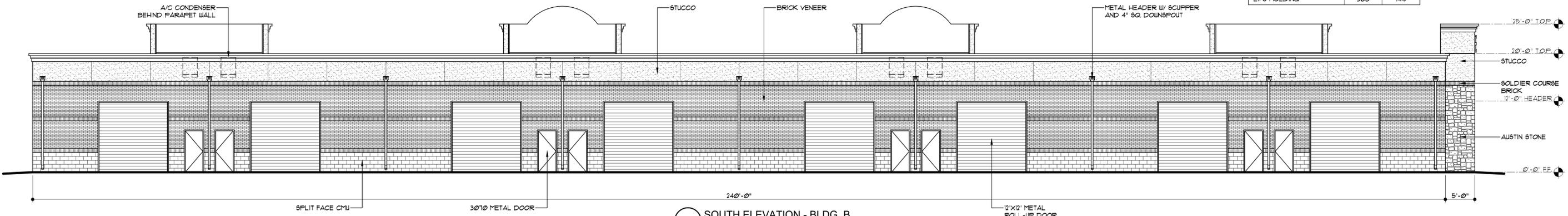
CASE #SP2016-014

MATERIAL COVERAGE - NORTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	5379	
DOORS & WINDOWS (DED.)	768	
ACCOUNTABLE AREA	4611	100%
MASONRY (STONE)	1410	31%
MASONRY (BRICK)	1546	34%
MASONRY (STUCCO)	1281	28%
EIFS MOLDING	368	8%

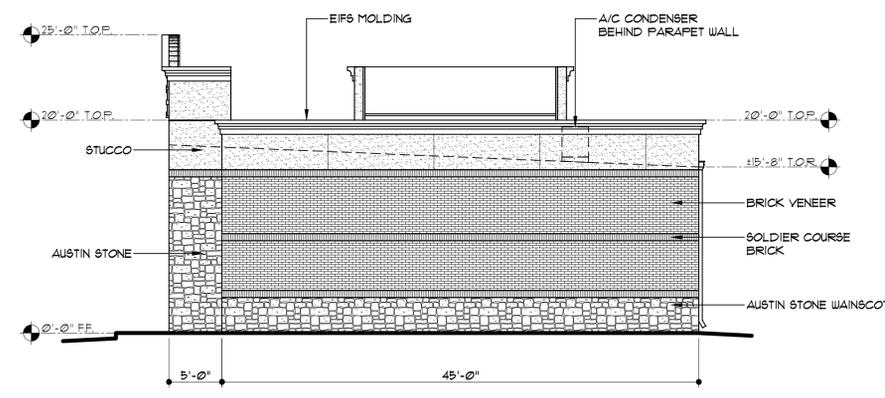


1 NORTH ELEVATION - BLDG. B
1/8" = 1'-0"

MATERIAL COVERAGE - SOUTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	4530	
DOORS & WINDOWS (DED.)	1343	
ACCOUNTABLE AREA	3187	100%
MASONRY (STONE)	73	2%
MASONRY (CMU)	391	12%
MASONRY (BRICK)	1507	47%
MASONRY (STUCCO)	848	27%
EIFS MOLDING	368	14%



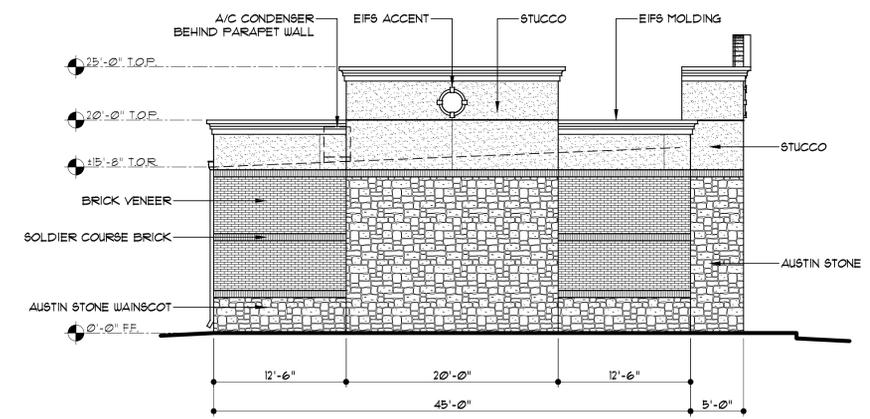
2 SOUTH ELEVATION - BLDG. B
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. B
1/8" = 1'-0"

MATERIAL COVERAGE - WEST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1025	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1025	100%
MASONRY (STONE)	223	22%
MASONRY (BRICK)	523	52%
MASONRY (STUCCO)	198	19%
EIFS MOLDING	75	7%

MATERIAL COVERAGE - EAST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1125	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1125	100%
MASONRY (STONE)	557	50%
MASONRY (BRICK)	195	17%
MASONRY (STUCCO)	298	26%
EIFS MOLDING	75	7%



4 EAST ELEVATION - BLDG. B
1/8" = 1'-0"

NO.	REVISION	NO.	REVISION



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PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
1450 S TL TOWNSEND DR.
ROCKWALL, TEXAS

Date	06-20-2016	ELEVATIONS BUILDING B
Scale	As Noted	
Drawn	JLL	Sheet: A2.2
Job	15037	



1 NE PERSPECTIVE VIEW
NOT TO SCALE



2 NORTH ELEVATION - BLDG. B
NOT TO SCALE (BLDG. A SIMILAR)



3 SOUTH ELEVATION - BLDG. B
NOT TO SCALE (BLDG. A SIMILAR)

BUILDING EXTERIOR MATERIALS				
MARK	MATERIAL	BRAND	COLOR/MOD.	REMARKS
(A)	3-STAGE STUCCO	'OMEGA'	BISON BEIGE MOD. 412	COLOR-INTRINSIC
(B)	SOLDIER BRICK	'ACME'	MOCHA IRONSPOT	HARD-FIRED, INTEGRALLY-COLORED
(C)	BRICK	'ACME'	QUORUM	HARD-FIRED, INTEGRALLY-COLORED
(D)	SPLIT FACE CMU	'OLD CASTLE'	LIGHT GRAY MOD. PREMIUM SD-33	INTEGRALLY-COLORED, SAME ASTM AS CLAY BRICK
(E)	AUSTIN STONE	'AGUADO STONE'	AUSTIN TEXAS CREAM MOD. NO. 28	NATURAL STONE
(F)	EIJS	'DRYVIT'	SUI86 MOCHA MOD. NO. 305	COLOR-INTRINSIC

CASE #SP2016-014

NO.	REVISION	NO.	REVISION



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Fort Worth, TX 76103
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PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:
PLANTINUM CONSTRUCTION
1450 S TL TOWNSEND DR.
ROCKWALL, TEXAS

Date	06-20-2016	PERSPECTIVE VIEW & MATERIALS
Scale	As Noted	
Drawn	JLL	
Job	15037	
Sheet:		A2.3

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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: July 5, 2016

SUBJECT: Single Family District Square Footage Requirements

At the work session meeting on June 20, 2016, the City Council directed staff to return with proposed modifications to the minimum square footage requirements for dwelling units in the Single Family 10 (SF-10), Single Family 16 (SF-16) and Agricultural (AG) Districts. In accordance with this direction staff proposes the following minimum square footage requirements:

- Single Family 16 (SF-16) District: 2,000 SF
- Single Family 10 (SF-10) District: 1,800 SF
- Agricultural (AG) District: 1,600 SF

These square footages were derived from a comparison of comparable city's square footage requirements in similar zoning districts. With this being said, staff is open to any further direction or clarification by the City Council. Attached to this packet is the memorandum from the June 20, 2016 work session meeting, a comparable cities analysis, and a simplified chart of the current density and dimensional requirements for the City's residential zoning districts.



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: June 20, 2016

SUBJECT: Single Family District Square Footage Requirements

At the meeting on May 16, 2016, the City Council approved two (2) cases proposing single-family residential subdivisions in various locations in the City. During the discussion of these cases, the City Council had questions concerning the required minimum square footage for a dwelling units in a Single Family 10 (SF-10) District. As a result, staff has performed a survey of comparable city's residential zoning districts, and compared them to the City of Rockwall's residential zoning districts by lot size to compare the required minimum square footage for dwelling units. Attached to this memorandum is a copy of this analysis for the City Council's review. Based on the analysis there is some evidence indicating that the Single Family 10 (SF-10) and Single Family 16 (SF-16) Districts minimum square footage for dwelling units could be increased. If the City Council chooses to direct staff to make changes to this section of the code staff would suggest that the City Council also consider setting a minimum square footage for dwelling units in an Agricultural (AG) District. Currently, no minimum exists.

		Minimum SF of Dwelling Units for Comparable Cities																			
Comparable Cities Zoning Districts Rockwall Zoning Districts		Minimum Lot Size (SF)	Rockwall	Allen	Burleson	Cedar Hill	Coppell	Frisco	Grapevine	Keller	Lancaster	Mesquite	Pflugerville	Plano	Rowlett	Southlake	Sunnyvale	Wylie	Average	Median (Middle #)	Mode (Most Reoccurring #)
Zoning District	Townhouse (TH) [Allen]	2,160		1,200															1,200	1,200	
	Single Family Attached (SF-A) [Plano]	2,250												800					800	800	
	Single Family Attached (SF-A) [Burleson]	2,500			1,000			800					900						900	900	
	Townhouse District (TH) [Frisco]	2,500						650											650	650	
	Townhouse District (TH)-w/o side yard [Wylie]	3,000																1,200	1,200	1,200	
	Townhouse District (TH)-w/ side yard [Wylie]	3,500																1,000	1,000	1,000	
	Patio Home District (PH) [Plano]	4,000												800					800	800	
	Original Town Residential District (OTR) [Frisco]	4,500						800											800	800	
	Urban Residential (UR) [Plano]	5,000												800					800	800	
	Zero Lot Line (ZLL-5) District	5,000	1,000		1,000								1,100		1,500				1,150	1,050	1,000
	Single Family Residential (R-6) [Allen]	6,000			1,200									800					1,000	1,000	
	Single Family Residential (SF-R) [Pflugerville]	6,250											1,400						1,400	1,400	
	Two-Family (2F) District	7,000	800																800	800	
	Single Family 7 (SF-7) District	7,000	1,100		1,100	1,500	1,200	800						800	1,500				1,143	1,100	1,100
	Single Family Residential (R-2A) [Mesquite]	7,200										1,700							1,700	1,700	
	Single Family Residential (R-3) [Mesquite]	7,200										1,500							1,500	1,500	
	Single Family Residential (R-5) [Allen]	7,500		1,600					1,200				1,400						1,400	1,400	
	Single Family Residential (R-1A) [Mesquite]	8,250										2,000							2,000	2,000	
	Single Family Residential (R-2) [Mesquite]	8,250										1,700							1,700	1,700	
	Single Family Residential 10 (SF-10) [Rowlett]	8,000													1,800				1,800	1,800	
	Single Family 8.4 (SF-8.4) District	8,400	1,500							1,400									1,450	1,450	
	Single Family 1 (SF-1) District	8,400	2,500																2,500	2,500	
	Single Family Residential (SF-8.5) [Cedar Hill]	8,500				1,700		800											1,250	1,250	
	Single Family Residential (R-4) [Allen]	9,000		1,600			1,600						1,400	800	1,800				1,440	1,600	1,600
	Single Family 10 (SF-10) District	10,000	1,500		1,500	1,900		800		1,600					2,100			2,400	1,686	1,600	1,500
	Single Family Residential (R-1) [Mesquite]	11,000										2,000							2,000	2,000	
	Single Family Residential (R-3) [Allen]	12,000		1,800			1,800			1,800									1,800	1,800	1,800
	Single Family Residential 12.5 (SF-12.5) [Frisco]	12,500						800	1,400										1,100	1,100	
	Single Family Residential (SF-15) [Cedar Hill]	15,000				2,000				2,000					2,100				2,033	2,000	2,000
	Single Family 16 (SF-16) District	16,000	1,800		1,800			800											1,467	1,800	1,800
	Single Family Residential (R-2) [Allen]	18,000		2,000			2,000												2,000	2,000	2,000
	Single Family District (R-20) [Grapevine]	20,000							1,600	2,200				800	2,400	1,800			1,760	1,800	
	Single Family District (SF-20B) [Southlake]	20,000														1,500		2,600	2,050	2,050	
	Single Family Estate (SFE) [Pflugerville]	21,780											1,400						1,400	1,400	
	Single Family Residential (SF-22) [Cedar Hill]	22,000				2,200													2,200	2,200	
	Single Family Residential 4 (SF-4) [Sunnyvale]	24,000															2,000		2,000	2,000	
	Single Family Residential 25 (SF-25) [Keller]	25,000								2,400									2,400	2,400	
	Single Family Residential (R-1.5) [Allen]	30,000		2,400						2,400						1,800			2,200	2,400	2,400
	Single Family Residential (SF-36) [Keller]	36,000								2,400									2,400	2,400	
	Single Family Residential (R-1) [Allen]	40,000		2,400											2,400				2,400	2,400	2,400
	Agricultural (AG) District	43,560	N/A									2,500							2,500	2,500	
	Single Family Estate (SF-E) [Cedar Hill]	43,560			1,800	2,500	2,400	800						800		2,000		1,900	1,717	1,900	800
	Single Family Residential District (SF1-B) [Southlake]	43,560														1,500	2,200	1,900	1,867	1,900	
	Single Family Estate 1.5 (SFE 1.5) District	65,340	2,000																2,000	2,000	
	Agricultural (A) District [Plano]	85,000												800					800	800	
	Single Family Estate 2.0 (SFE 2.0) District	87,120	2,200					800									2,200	3,000	2,050	2,200	2,200
	Agricultural (A) District [Pflugerville]	130,680											1,400						1,400	1,400	
	Single Family Estate 4.0 (SFE 4.0) District	174,240	2,500																2,500	2,500	



City of Rockwall
The New Horizon

**Residential and Agricultural
Zoning Districts Development
Standards**

		Single-Family Estate			Single-Family One	Single-Family Residential (16)	Single-Family Residential (10)	Single-Family Residential (8.4)	Single-Family Residential (7)	Zero Lot Line Residential	Duplex (Two-Family) Residential	Agricultural District
Abbreviation		SF-E/1.5	SF-E/2.0	SF-E/4.0	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	AG
Dwelling Units/Lot		1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	2.0	N/A
Dwelling Units/Acre		0.67	0.5	0.25	1.0 ¹	2.7	4.4	5.2	6.2	8.7	12.4	1.0
Minimum Dwelling Unit (Square Feet)		2,000	2,200	2,500	2,500	1,800	1,500	1,500	1,100	1,000	800	N/A
Minimum Lot Requirements	Area (Square Feet)	65,340	87,120	174,240	8,400	16,000	10,000	8,400	7,000	5,000	7,000	43,560
	Width (Feet)²	150	150	200	70	90	80	70	60	50	60	100
	Depth (Feet)	250	250	250	100	100	100	100	100	90	100	200
Minimum Setbacks	Front (Feet)	50	50	50	20	25	20	20	20	20	20	40
	Rear (Feet)	10	10	10	10	10	10	10	10	10	10	10
	Side (Feet)³	25	25	25	6	8	6	6	6	0/10 ⁴	0 ⁵ /6 ⁶	6
Between Buildings (Feet)		10	10	10	10	10	10	10	10	10	10	12
Building Height (Feet)		36	36	36	36	36	36	36	32	30	32	36
Minimum Masonry Content (%)		80	80	80	80	80	80	80	80	80	80	80
Maximum Lot Coverage (%)		35	35	35	45	45	45	45	45	50	45	N/A
Required Parking Spaces⁷		2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁹	2 ¹⁰	2 ⁸

- Notes:**
- ¹: Public and private open space. Unless otherwise provided by the UDC, a minimum of 20 percent of the gross land area within the entire SF-1 District over five acres shall be devoted to open space, except where floodplain shall count for up to 50% of the 20% open space requirement and shall be consistent with the open space requirements of the city's parks and open space plan. Open space requirements for SF-1 District may be satisfied by public open space shall be dedicated to the city, and shall be approved by the parks board and city council during the platting process. The open space requirement is in addition to the landscaping and buffering requirements.
 - ²: Frontage on a Public Street.
 - ³: Side on street is treated the same as a front yard building setback.
 - ⁴: Minimum maintenance easement is ten feet. Minimum maintenance easement on the non-zero lot line side, when adjacent to another lot in the same zoning district: five feet (this easement shall be maintained as an open space except upon a finding by the building official that the proposed improvements do not impede the use of said easement for maintenance of the adjoining structure).
 - ⁵: Abutting structures separated by fire retardant walls.
 - ⁶: Townhouses separated by firewall meeting the requirements of the building code may build to the property line where such structures abut.
 - ⁷: Minimum length of driveway pavement from public right-of-way for rear and side yard is 20 feet. Carports and garages are required to be an additional 20 feet behind the front façade of the primary structure.
 - ⁸: An enclosed garage shall not be considered in meeting the off-street parking requirements. For all other uses see Article VI, Parking and Loading, of the UDC.
 - ⁹: Plus a two car garage.
 - ¹⁰: Two off-street parking spaces plus one garage parking space for each dwelling unit.

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager

FROM: Timothy M. Tumulty, Director of Public Works/City Engineer

DATE: June 30, 2016

SUBJECT: FM 3549 (IH 30 to SH 66)

Rockwall County and the Texas Department of Transportation (TxDOT) are currently performing the engineering design to improve FM 3549 from IH 30 to SH 66 from a two-lane asphalt roadway to a four-lane divided concrete roadway. The City of Rockwall's responsibilities within the project are related to cost of relocation of City utilities to avoid any conflicts with the proposed construction. Over the past year, TxDOT provided a Public Meeting and a Public Hearing to obtain public input from the adjacent property owners. During the engineering design, median openings/left turn lanes must be established along the entire limits of the roadway. TxDOT's first priority is to provide median breaks for public roads and streets. Then where space allows, median breaks that serve multiple developments or residential areas will be allowed. The costs to provide median breaks/left turn lanes to commercial developments cannot be funded by TxDOT.

Attached is the proposed layout of the median openings/left turn lanes for FM 3549 Roadway and Drainage Improvements. The median opening/left turn lane to the Lakeside Church of Christ has been established and will be constructed as part of the project. There are two remaining locations that will accommodate potential median openings/left turn lanes. Staff would like to discuss the possible locations of these two median opening/left turn lanes.

TMT:em

Attachment

Cc:

Mary Smith, Assistant City Manager
Brad Griggs, Assistant City Manager
Amy Williams, P.E., Assistant City Engineer
Billy Chaffin, Superintendent of Streets and Drainage
File

FM 3549 POTENTIAL MEDIAN OPENINGS EXHIBIT



LEGEND

	PERMANENT PAVEMENT		DISPLACED BUILDINGS
	PROPOSED DRIVEWAY		EXISTING WATERLINE EASEMENT
	EXISTING ROW		WORK UNDER DESIGN BY OTHERS
	PROPOSED ROW		
	PROPERTY LINE		
	PROPOSED DRAINAGE EASEMENT		
	5' SIDEWALK		
	PROPOSED DRAINAGE STRUCTURE		

MINIMUM LEFT TURN LANE LENGTH @45 MPH = 445'
(345' FOR DECEL AND TAPER + 100' STORAGE)
PER TXDOT RDM TABLE 3-3



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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rockwall City Council

FROM: Joey Boyd, Director of Internal Operations

DATE: June 27, 2016

SUBJECT: Resolution for Ralph M. Hall / Rockwall Municipal Airport

TXDOT Aviation has informed the City that funding is available for drainage and asphalt improvements for this fiscal year at a 90/10 cost share using Non-Primary Entitlement Funds, which are federal funds allocated to each general aviation airport by Congress. The airport entrance road needs to be repaired as well and is eligible for a 50/50 cost share.

TXDOT engineers have developed a preliminary scope of the project and are proposing additional drainage on the southeast portion of the airport as part of this improvement. The scope of the project does not include a full overlay of the airport, but rather asphalt repair and replacement as needed with a seal coat, and new asphalt in the worst areas such as the fuel island and parking area. Attached is the current scope of work and exhibit showing what is proposed with TXDOT's cost estimates. The City of Rockwall has federal grant funds allocated for fiscal years 2013-2016 in the amount of \$600,000 and TXDOT will fund the remainder of the grant. The design is estimated to take 7 months, followed by bidding, selection of a contractor, contract negotiations, and awarding of bids.

Attached is a resolution for consideration by the City Council to formally request financial assistance for this project and for TXDOT Aviation to act as the City's agent in requesting, receiving, and disbursing all funds for this project, and for the administration of contracts for the grant.

The City of Rockwall will use TXDOT Aviation's procedure for selecting a consultant to complete the engineering design and for selection of a contractor to perform the work at the Airport. Once the selection process is complete, the Council will approve the engineering firm before design begins and the contractor before the drainage and asphalt repairs begin.

TXDOT's estimate for the entire project is \$670,000. The estimate for the entrance road is \$20,000 at a 50/50 cost share, leaving the City's responsibility at \$10,000. The remainder of the project (\$650,000) is funded at a 90/10 cost share, leaving the City's financial responsibility at \$65,000 for a total of \$75,000 in local grant match.

The City Council authorized \$75,000 in this fiscal year's budget in grant matching related to asphalt repair at the airport. If approved by the City Council, the project is scheduled to go to the Texas Transportation Commission in August 2016 for approval.

The City Council is asked to approve the resolution and authorize the use of funds included in the FY 2016 Airport Operation Budget for the City's local match.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AUTHORIZING THE CITY MANAGER TO EXECUTE ANY CONTRACTS AND AGREEMENTS ASSOCIATED WITH DRAINAGE AND ASPHALT REPAIRS AND IMPROVEMENTS AT THE RALPH M. HALL / ROCKWALL MUNICIPAL AIRPORT; NAMING TXDOT AS ITS AGENT; PROVIDING FOR A LOCAL MATCH; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall, Texas intends to make certain improvements to the Ralph M. Hall / Rockwall Municipal Airport; and

WHEREAS, the general description of the project is described as: drainage and asphalt repair and improvements; and

WHEREAS, the City of Rockwall intends to request financial assistance from the Texas Department of Transportation for these improvements; and

WHEREAS, the City of Rockwall will be responsible for a total of \$75,000, which consists of 50% of the entrance road (\$10,000) and 10% (\$65,000) of the remainder of the total project costs currently estimated to be \$670,000; and

WHEREAS, the City of Rockwall names the Texas Department of Transportation as its agent for the purposes of applying for, receiving and disbursing all funds for these improvements and for the administration of contracts necessary for the implementation of these improvements;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the City Council of the City of Rockwall hereby directs Rick Crowley, City Manager to execute on behalf of the City of Rockwall, at the appropriate time, and with the appropriate authorizations of this governing body, all contracts and agreements with the State of Texas, represented by the Texas Department of Transportation, and such other parties as shall be necessary and appropriate for the implementation of the improvements to the Ralph M. Hall / Rockwall Municipal Airport.

Section 2. That this resolution shall be in full force and effect from and after its passage and it is accordingly so resolved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 5th day of July, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

TxDOT Aviation Division
SUMMARY OF ESTIMATED COSTS

Airport
By
Estimate

ROCKWALL
EO
LOI

Revision No.
APR 2016

	Item Description		Construction
1	Rehab Runway 17-35	3,375' x 45'	\$ 125,000
2	Mark Runway 17-35	11,000 SF	\$ 20,000
3	Rehab Taxiways	11,000 SY	\$ 85,000
4	Rehab Apron	4,600 SY	\$ 50,000
5	Rehab Entrance Road	1,400 SY	\$ 20,000
6	Construct ditches & Install culverts	2,000 LF	\$ 105,000
7	Rehab South H-A-T	2,200 SY	\$ 25,000
8	Pavement Repairs	LS	\$ 75,000

TOTAL ESTIMATED PROJECT ENGINEERING AND DESIGN COST
 TOTAL ESTIMATED PROJECT CONSTRUCTION COST
 TOTAL MOBILIZATION, CONTINGENCY, TESTING, RPR & ADMIN. COST
 TOTAL ESTIMATED PROJECT COST

ENGINEERING	\$	80,000
CONSTRUCTION	\$	505,000
CONTINGENCY	\$	85,000
TOTAL	\$	670,000



AVIATION CAPITAL IMPROVEMENT PROGRAM

Locations, Projects, and Costs

Texas Department of Transportation -- Aviation Division

June 27, 2016

FEDERAL & STATE FY 2017

Federal FY 2017 (October 2016 - September 2017)/State FY 2017 (September 2016 - August 2017)

City & Airport	Project Status & Description	Project Costs			
		Total	Federal	State	Local
ROCKWALL	<u>Project Status:</u>				
<u>RALPH M HALL/ROCKWALL MUNI</u>	PENDING				
	Engineering/Design (Pavement Rehabilitation-Drainage)	80,000	72,000	0	8,000
	Project Totals:	\$ 80,000	\$ 72,000	\$ 0	\$ 8,000

125

AVIATION CAPITAL IMPROVEMENT PROGRAM

Texas Department of Transportation -- Aviation Division

Locations, Projects, and Costs

June 29, 2016

FEDERAL & STATE FY 2018

Federal FY 2018 (October 2017 - September 2018)/State FY 2018 (September 2017 - August 2018)

City & Airport	Project Status & Description	Project Costs			
		Total	Federal	State	Local
ROCKWALL	<i>Project Status:</i>				
<i>RALPH M HALL/ROCKWALL MUNI</i>	<i>PENDING</i>				
	Rehabilitate apron (4,600 SY)	50,000	45,000	0	5,000
	Rehabilitate airport entrance road (1,400 SY)	20,000	10,000	0	10,000
	Rehabilitate taxiways (11,000 SY)	85,000	76,500	0	8,500
	Rehabilitate RW 17-35 (3,375 x 45)	125,000	112,500	0	12,500
	Construct ditches & install culverts	105,000	94,500	0	10,500
	Rehabilitate T-hangar access TWs (2,200 SY)	25,000	22,500	0	2,500
	Construction contingency	85,000	76,500	0	8,500
	Mark RW 17-35 (11,000 sf)	20,000	18,000	0	2,000
	Pavement Repairs (LS)	75,000	67,500	0	7,500
Project Totals:		\$ 590,000	\$ 523,000	\$ 0	\$ 67,000

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City of Rockwall
The New Horizon

Building Inspections Department Monthly Report

May 2016

Permits

Total Permits Issued: 322

Building Permits: 52

Contractor Permits: 270

Total Permit Values: \$ 11,135,469.89

Building Permits: \$ 9,539,667.10 Contractor Permits: \$ 1,595,802.79

Total Fees Collected: \$ 192,518.96

Building Permits: \$ 165,567.07 Contractor Permits: \$ 26,951.89

Board of Adjustment

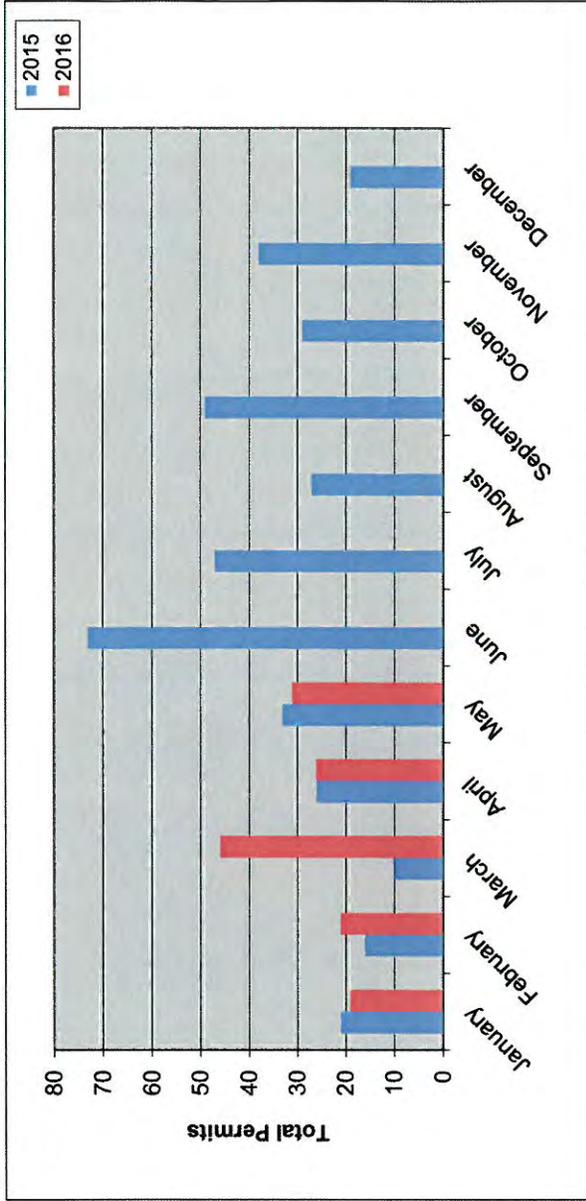
Board of Adjustment Cases 0

PERMITS ISSUED - Summary by Type and Subtype
For the Period 5/1/2016 thru 5/31/2016

Type / SubType	# of Permits Issued	Valuation of Work	Fees Charged
BANNER	4	\$0.00	\$229.50
30 DAY BANNER	3	\$0.00	\$178.00
GRAND OPENING	1	\$0.00	\$51.50
CLEAN SHOW	2	\$0.00	\$150.00
	2	\$0.00	\$150.00
CO	7	\$0.00	\$526.50
BUSINESS	7	\$0.00	\$526.50
COMM	25	\$2,334,535.00	\$14,016.58
ACC BLDG	1	\$0.00	\$0.00
CONCRETE	2	\$14,200.00	\$318.80
DEMO	3	\$104,582.00	\$150.00
ELECTRICAL	1	\$40,000.00	\$554.25
FENCE	1	\$0.00	\$36.50
IRRIGATION	4	\$33,200.00	\$8,509.52
MECHANICAL	5	\$39,123.00	\$683.10
PLUMBING	4	\$17,100.00	\$425.50
REMODEL	3	\$2,022,500.00	\$3,303.21
WINDOWS	1	\$63,830.00	\$35.70
NONPROFIT SIGN PERMI	3	\$0.00	\$0.00
	3	\$0.00	\$0.00
SIGNAGE	8	\$0.00	\$676.50
MONUMENT	2	\$0.00	\$225.00
WALL	6	\$0.00	\$451.50
SINGLE FAMILY	240	\$8,800,934.89	\$175,314.38
ACC BLDG	4	\$9,168.10	\$329.68
ADDITION	5	\$54,500.00	\$1,014.50
CONCRETE	5	\$11,950.00	\$401.96
DECK	2	\$6,700.00	\$185.75
ELECTRICAL	8	\$86,261.57	\$1,585.80
FENCE	36	\$127,070.00	\$1,306.91
IRRIGATION	36	\$72,600.00	\$1,263.70
MECHANICAL	22	\$144,124.65	\$3,264.79
MISCELLANEOUS	1	\$1,500.00	\$35.00
NEW	31	\$7,359,536.00	\$159,170.50
PATIO COVER	8	\$93,963.00	\$1,749.18
PLUMBING	37	\$56,055.50	\$2,232.41
RETAINING WALL	2	\$5,250.00	\$70.70
ROOF	31	\$365,791.52	\$1,103.50
SEAWALL	1	\$7,800.00	\$50.00
SWIM POOL	10	\$396,500.00	\$1,515.00
WINDOWS	1	\$2,164.55	\$35.00
SPECIAL EVENT	31	\$0.00	\$1,230.50
	31	\$0.00	\$1,230.50
TCO	2	\$0.00	\$375.00
	2	\$0.00	\$375.00
Totals:	322	\$11,135,469.89	\$192,518.96

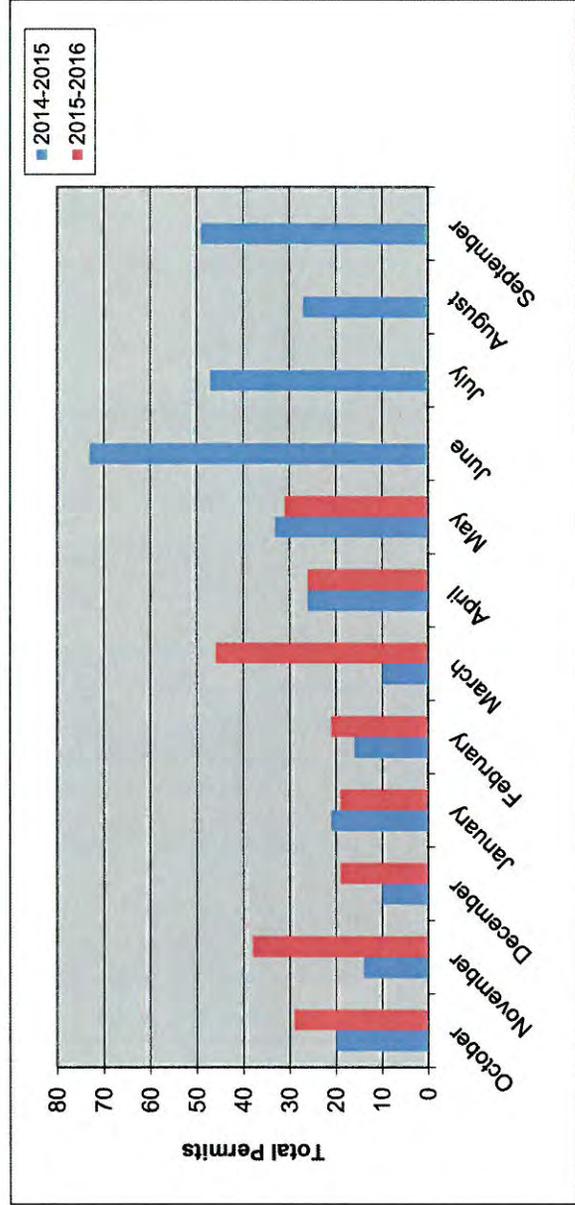
New Residential Permits Calendar Year

	Year	
	2015	2016
January	21	19
February	16	21
March	10	46
April	26	26
May	33	31
June	73	
July	47	
August	27	
September	49	
October	29	
November	38	
December	19	
Totals	388	143



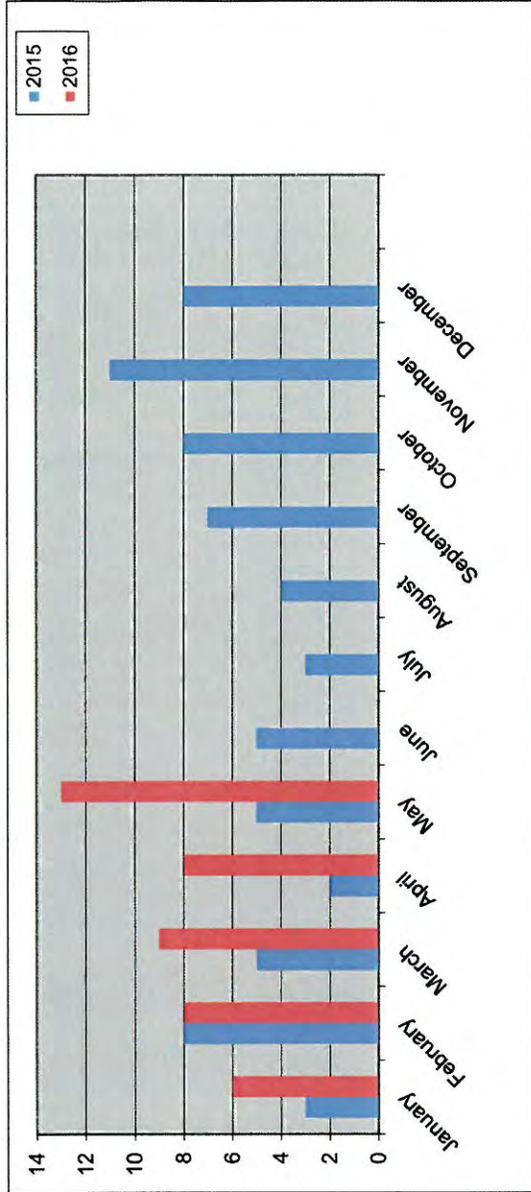
New Residential Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	20	29
November	14	38
December	10	19
January	21	19
February	16	21
March	10	46
April	26	26
May	33	31
June	73	
July	47	
August	27	
September	49	
Totals	346	229



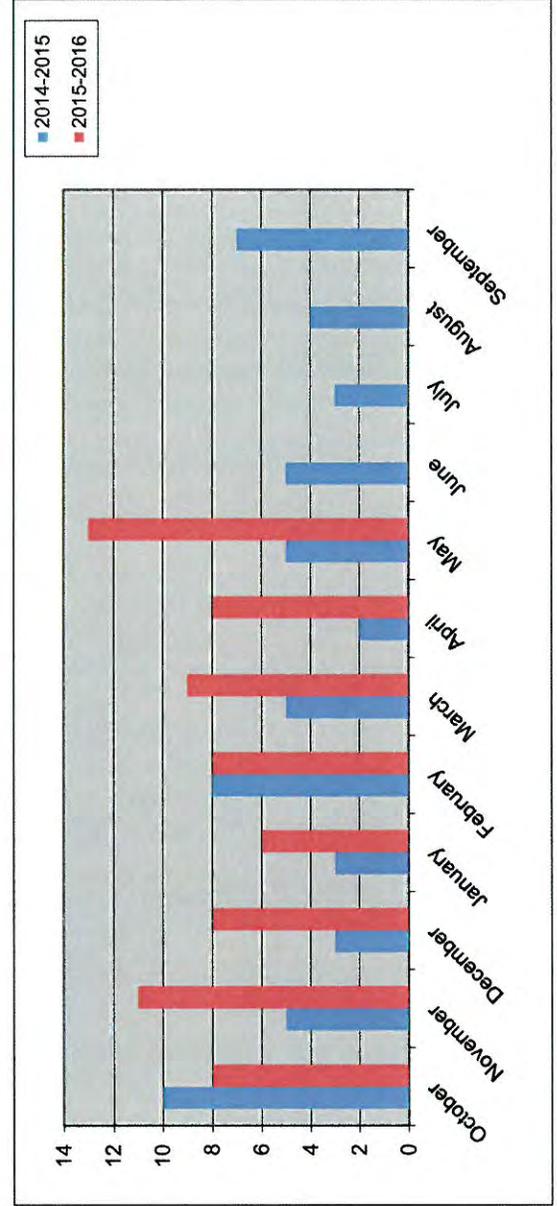
Residential Remodel Permits Calendar Year

	Year	
	2015	2016
January	3	6
February	8	8
March	5	9
April	2	8
May	5	13
June	5	
July	3	
August	4	
September	7	
October	8	
November	11	
December	8	
Totals	69	44



Residential Remodel Permits Fiscal Year

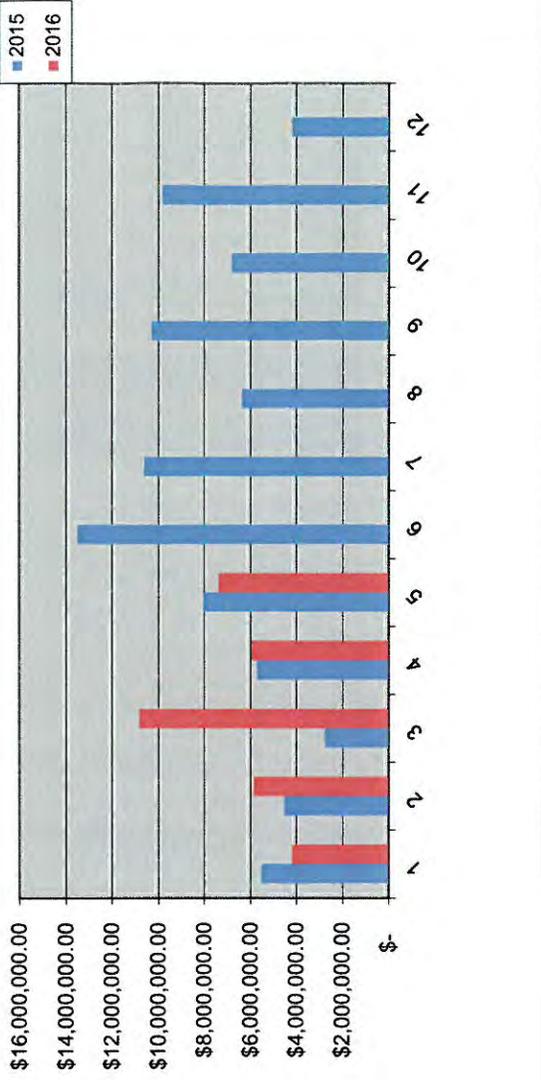
	Year	
	2014-2015	2015-2016
October	10	8
November	5	11
December	3	8
January	3	6
February	8	8
March	5	9
April	2	8
May	5	13
June	5	
July	3	
August	4	
September	7	
Totals	60	71



New Residential Value

Calendar Year

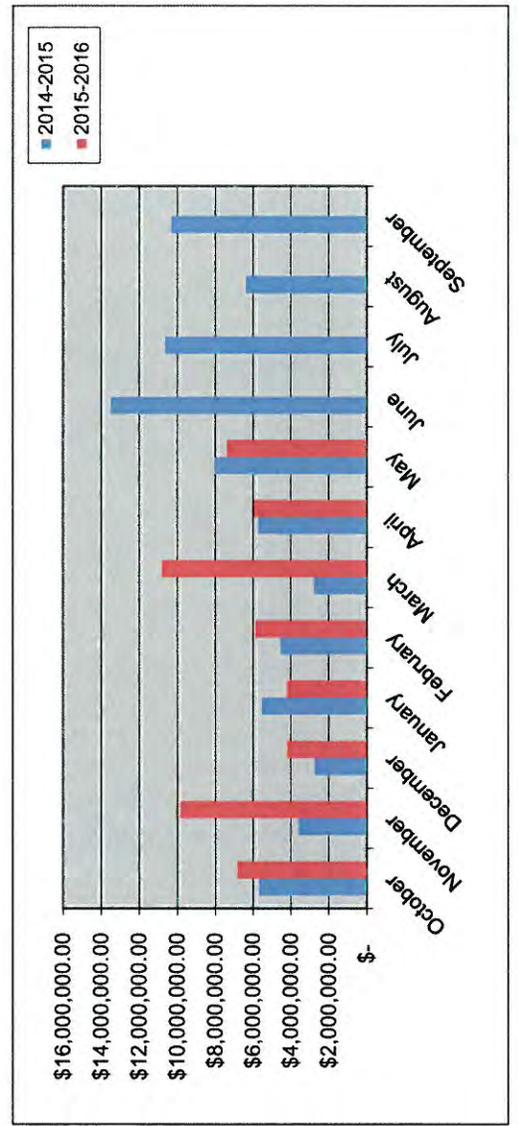
	Year	
	2015	2016
January	\$ 5,509,932.00	\$ 4,176,581.00
February	\$ 4,518,552.00	\$ 5,843,786.00
March	\$ 2,742,324.00	\$ 10,809,133.49
April	\$ 5,703,968.00	\$ 5,943,030.52
May	\$ 8,039,718.52	\$ 7,359,536.00
June	\$ 13,489,179.50	
July	\$ 10,619,616.00	
August	\$ 6,369,414.00	
September	\$ 10,314,177.00	
October	\$ 6,812,889.57	
November	\$ 9,823,135.00	
December	\$ 4,185,128.00	
Totals	\$ 88,128,033.59	\$ 34,134,083.01



New Residential Value

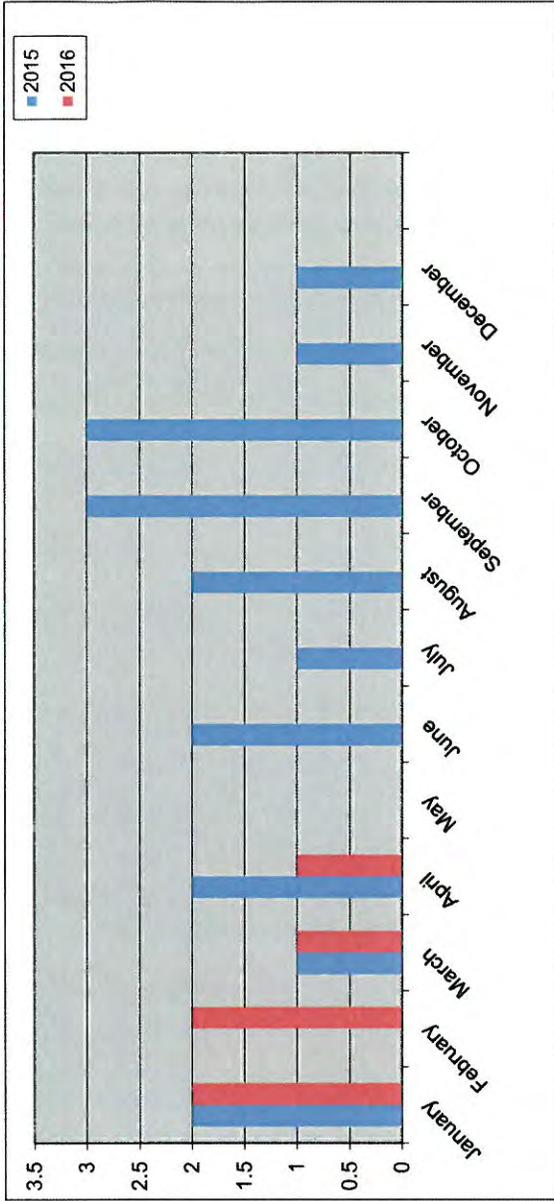
Fiscal Year

	Year	
	2014-2015	2015-2016
October	\$ 5,661,792.00	\$ 6,812,889.57
November	\$ 3,581,756.00	\$ 9,823,135.00
December	\$ 2,712,503.00	\$ 4,185,128.00
January	\$ 5,509,932.00	\$ 4,176,581.00
February	\$ 4,518,552.00	\$ 5,843,786.00
March	\$ 2,742,324.00	\$ 10,809,133.49
April	\$ 5,703,968.00	\$ 5,943,030.52
May	\$ 8,039,718.52	\$ 7,359,536.00
June	\$ 13,489,179.50	
July	\$ 10,619,616.00	
August	\$ 6,369,414.00	
September	\$ 10,314,177.00	
Totals	\$79,262,932.02	\$ 54,953,219.58



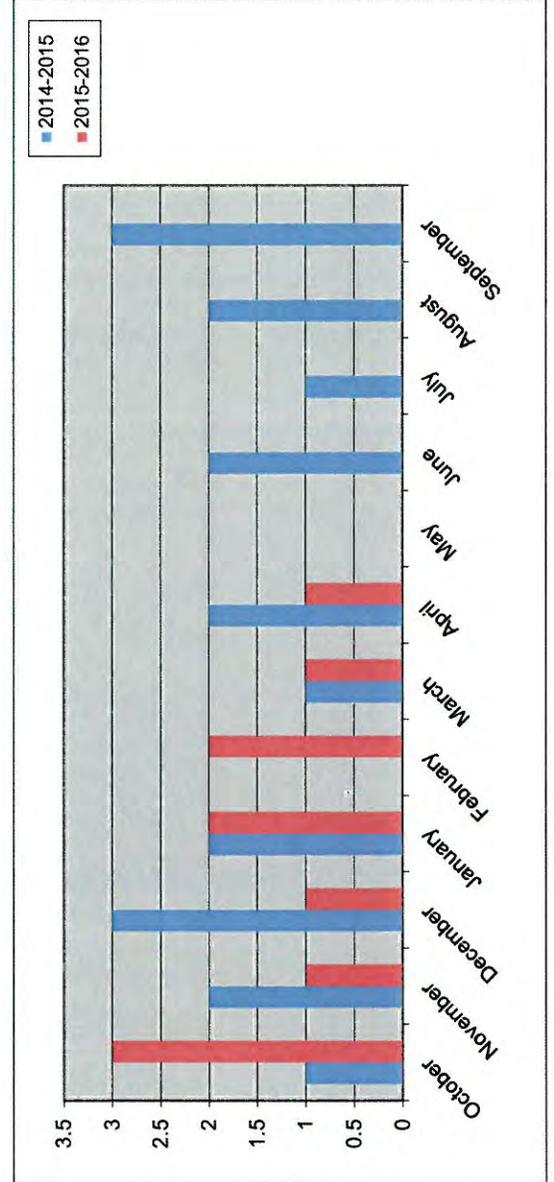
New Commercial Permits Calendar Year

	Year	
	2015	2016
January	2	2
February	0	2
March	1	1
April	2	1
May	0	0
June	2	
July	1	
August	2	
September	3	
October	3	
November	1	
December	1	
Totals	18	6



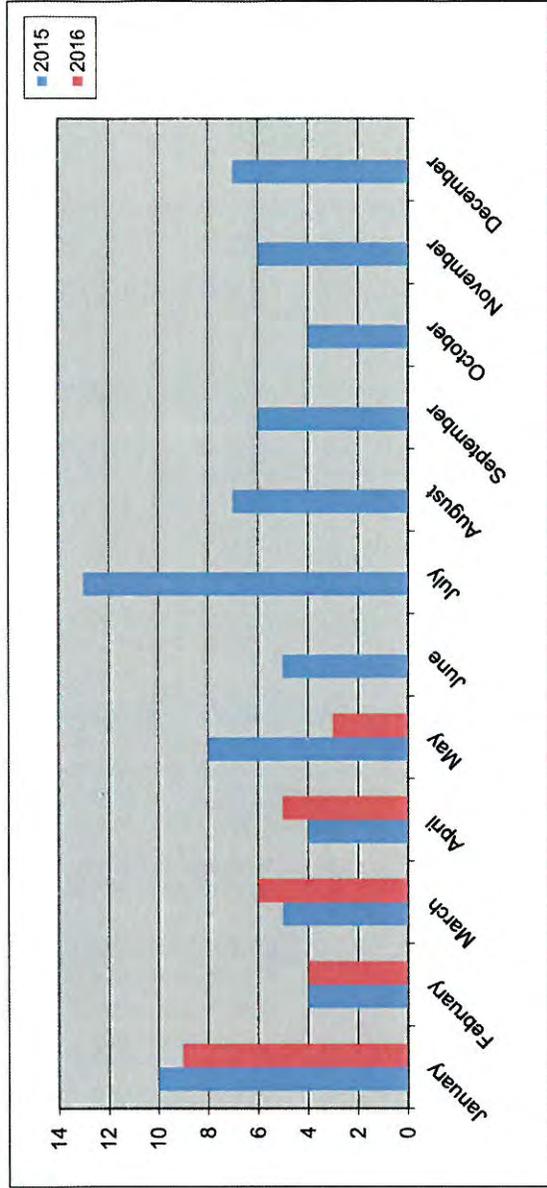
New Commercial Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	1	3
November	2	1
December	3	1
January	2	2
February	0	2
March	1	1
April	2	1
May	0	0
June	2	
July	1	
August	2	
September	3	
Totals	19	11



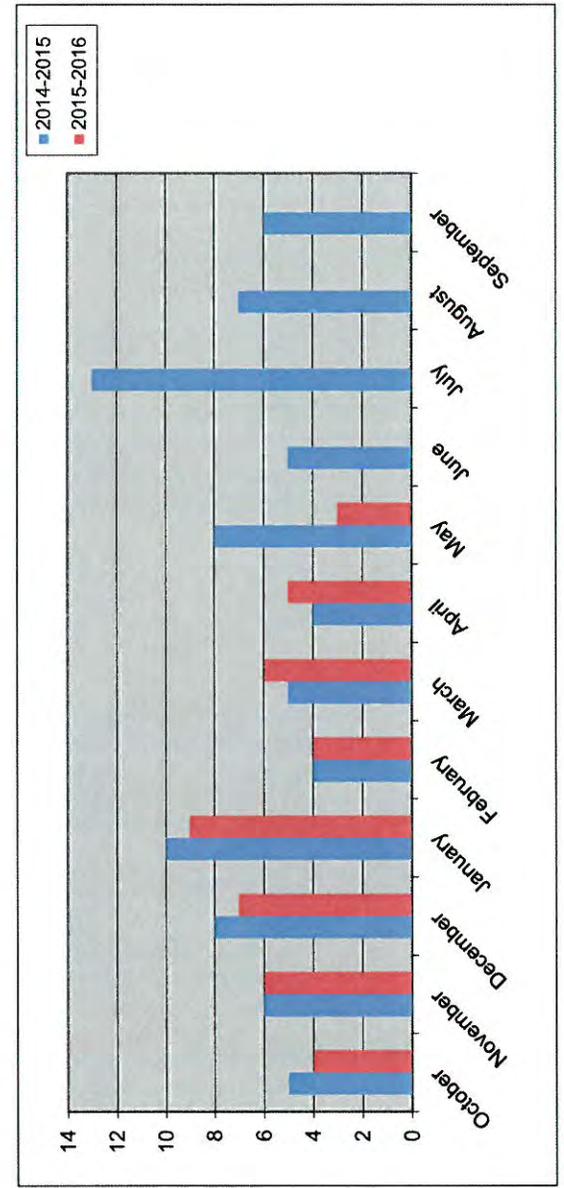
Commercial Remodel Permits Calendar Year

	Year	
	2015	2016
January	10	9
February	4	4
March	5	6
April	4	5
May	8	3
June	5	
July	13	
August	7	
September	6	
October	4	
November	6	
December	7	
Totals	79	27



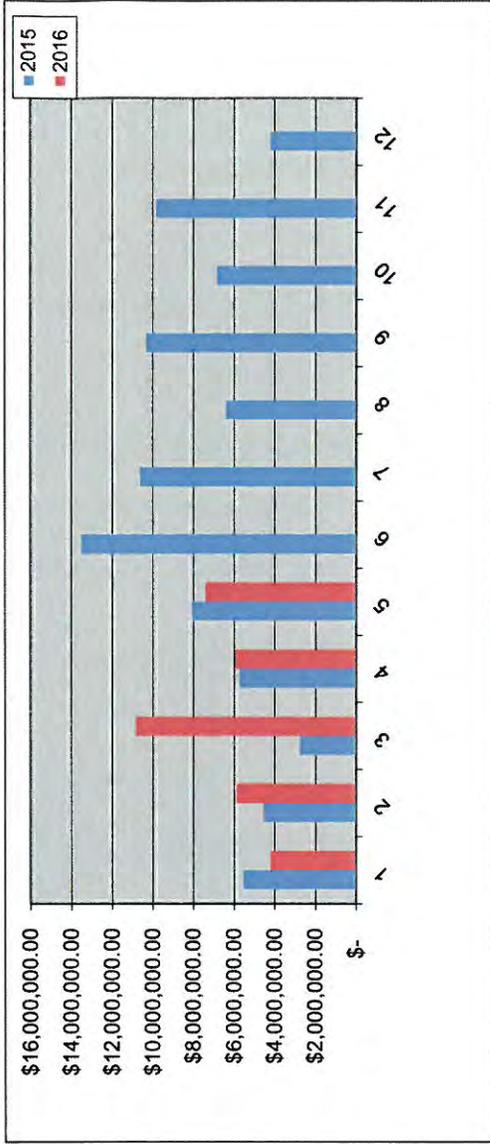
Commercial Remodel Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	5	4
November	6	6
December	8	7
January	10	9
February	4	4
March	5	6
April	4	5
May	8	3
June	5	
July	13	
August	7	
September	6	
Totals	81	44



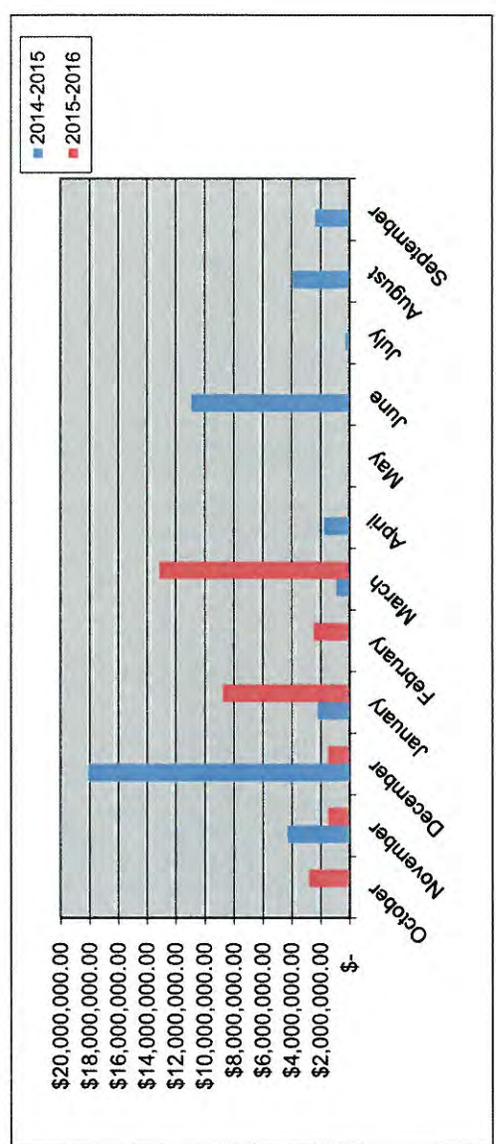
New Commercial Value Calendar Year

	Year	
	2015	2016
January	\$ 2,200,000.00	\$ 8,750,000.00
February	\$ -	\$ 2,501,566.00
March	\$ 930,000.00	\$ 13,115,616.00
April	\$ 1,780,000.00	\$ 45,000.00
May	\$ -	\$ -
June	\$ 10,900,000.00	
July	\$ 282,279.31	
August	\$ 3,903,000.00	
September	\$ 2,370,000.00	
October	\$ 2,830,000.00	
November	\$ 1,500,000.00	
December	\$ 1,500,000.00	
Totals	\$ 28,195,279.31	\$ 24,412,182.00



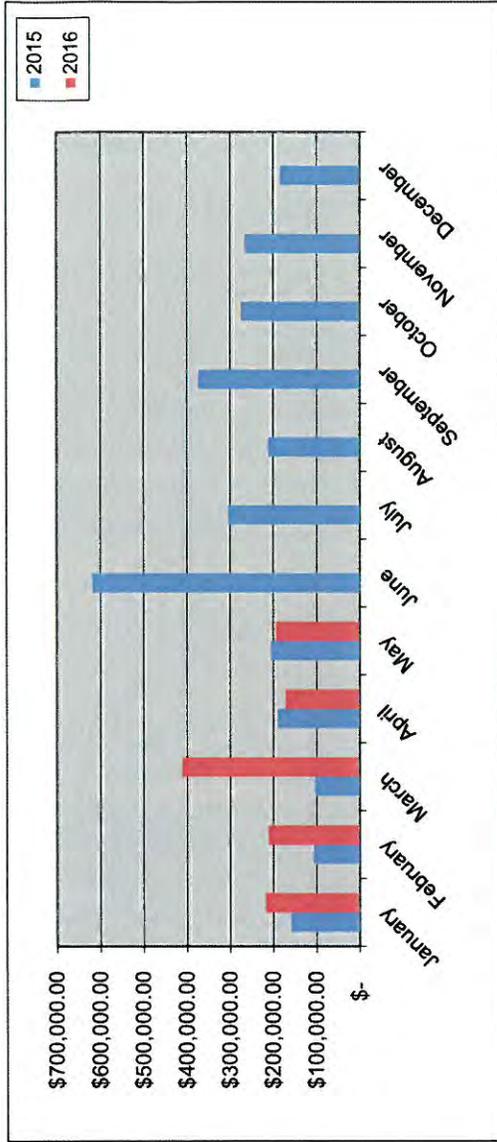
New Commercial Value Fiscal Year

	Year	
	2014-2015	2015-2016
October	\$ 49,000.00	\$ 2,830,000.00
November	\$ 4,300,000.00	\$ 1,500,000.00
December	\$ 18,050,000.00	\$ 1,500,000.00
January	\$ 2,200,000.00	\$ 8,750,000.00
February	\$ -	\$ 2,501,566.00
March	\$ 930,000.00	\$ 13,115,616.00
April	\$ 1,780,000.00	\$ 45,000.00
May	\$ -	\$ -
June	\$ 10,900,000.00	
July	\$ 282,279.31	
August	\$ 3,903,000.00	
September	\$ 2,370,000.00	
Totals	\$ 44,764,279.31	\$ 30,242,182.00



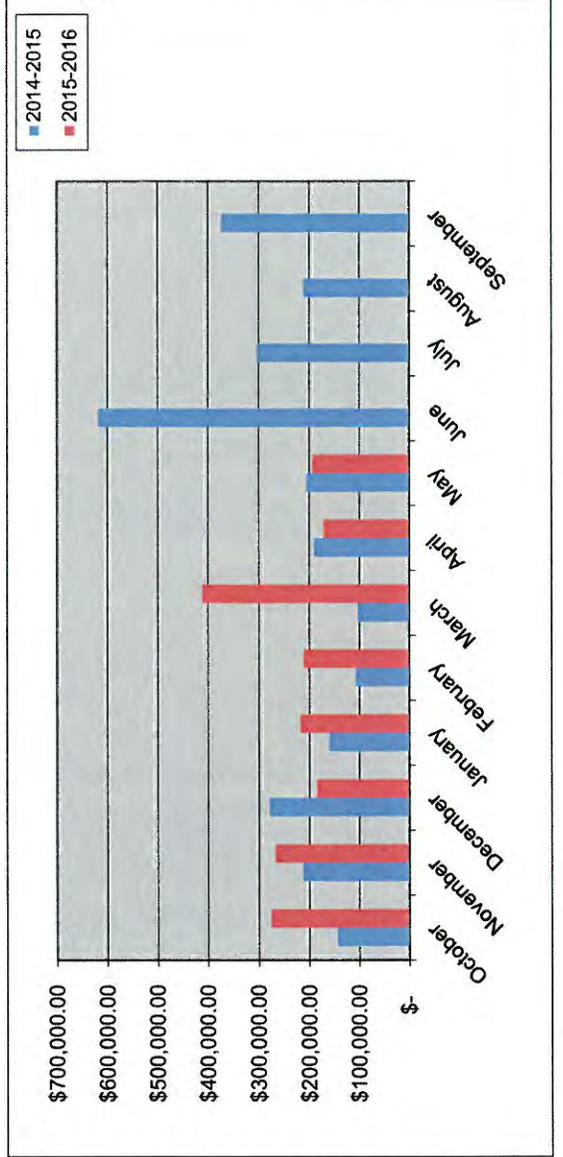
Total Fees Collected Calendar Year

	Year	
	2015	2016
January	\$ 159,026.65	\$ 216,152.71
February	\$ 106,693.21	\$ 209,371.39
March	\$ 103,029.95	\$ 410,013.11
April	\$ 189,684.37	\$ 170,009.88
May	\$ 204,062.18	\$ 192,518.96
June	\$ 618,061.51	
July	\$ 303,359.40	
August	\$ 210,598.47	
September	\$ 373,210.63	
October	\$ 274,380.31	
November	\$ 265,948.80	
December	\$ 183,099.73	
Totals	\$ 2,991,155.21	\$ 1,198,066.05



Total Fees Collected Fiscal Year

	Year	
	2014-2015	2015-2016
October	\$ 143,153.00	\$ 274,380.31
November	\$ 212,222.54	\$ 265,948.80
December	\$ 277,864.58	\$ 183,099.73
January	\$ 159,026.65	\$ 216,152.71
February	\$ 106,693.21	\$ 209,371.39
March	\$ 103,029.95	\$ 410,013.11
April	\$ 189,684.37	\$ 170,009.88
May	\$ 204,062.18	\$ 192,518.96
June	\$ 618,061.51	
July	\$ 303,359.40	
August	\$ 210,598.47	
September	\$ 373,210.63	
Totals	\$ 2,900,966.49	\$ 1,921,494.89



City of Rockwall
PERMITS ISSUED

For the Period 5/1/2016 thru 5/31/2016

Permit Number	Permit Type	Site Address	Parcel Number	Total Fees		
Application Date	Subtype	Subdivision Name	Plan Number	Valuation	Total SQFT	Fees Paid
Issue Date	Status of Permit					
CO2016-0014	CO	6525 Horizon Rd. 110		0.00	\$ 75.00	\$ 75.00
2/3/2016	BUSINESS	3039-0002-0010-00-0R				
5/2/2016	ACTIVE	ALLIANCE ADDITION PH 2			0	
		Epstein & Kolacz Financial Advisors				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	ROCKWALL, RENTAL PROPEF		TERRELL	TX	75160	
APPLICANT	MIKE WHITTLE	6525 FM 3097	ROCKWALL	TX	75087	(972) 771-5253
INSP RPT EMAIL	Caruth Lake Developement	P.O. Box 369	Heath	TX	75032	(972) 771-5253
CONTRACTOR	Caruth Lake Developement	P.O. Box 369	Heath	TX	75032	(972) 771-5253
MECH CONTR	Airtron, Inc.	10440 Olympic Dr.	Dallas,	TX	75220	(972) 272-9633
PLB CONTR	BACON PLUMBING	370 RANCH TRAIL	ROCKWALL	TX	75087	(972) 722-4006
ELEC CONTR	Darden Electric	2326 Executive Dr.	Garland	TX	75041	(972) 271-5542
BUS OWNER	Brad Epstein	7 Eastshore Rd.	Rockwall	TX	75032	(972) 771-9411
CO2016-0035	CO	2850 RIDGE RD 118		0.00	\$ 75.00	\$ 75.00
3/29/2016	BUSINESS	3245-0000-0005-00-0R				
5/5/2016	ACTIVE	CARLISLE PLAZA ADDN			0	
		DFW HighTech Signs				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	BENT, TREE REALTY CO		ADDISON	TX	75001	
APPLICANT	Arif Bangash	10660 Plano Rd #118	Dallas	TX	75238	(972) 302-3236
BUS OWNER	Arif Bangash	2850 Ridge Rd.# 118	Rockwall	TX	75087	(972) 302-3236
CO2016-0044	CO	955 Ralph Hall Pkwy W 103		0.00	\$ 76.50	\$ 76.50
4/18/2016	BUSINESS	4009-000B-0006-09-0R				
5/2/2016	ACTIVE	HORIZON RIDGE ADDITION			0	
		Texas Select Staffing				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	MILLER, ROLAND MORRIS III		ROCKWALL	TX	75087	
BUS OWNER	Kyle Cavender	955 Ralph Hall Pkwy W #103	Rockwall	TX	75032	(214) 389-5601
CO2016-0047	CO	2065 Summer Lee Dr 107		0.00	\$ 75.00	\$ 75.00
4/21/2016	BUSINESS	3809-000A-0002-00-0R				
5/17/2016	ACTIVE	HARBOR - ROCKWALL THE			0	
		Holly wood Nails				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	MARIAH, BAY DEVELOPMEN		ROCKWALL	TX	75087-036	
APPLICANT	Minh Duc Huynh	531 Weeping Willow Dr.	Rockwall	TX	75032	(214) 771-0101
INSP RPT EMAIL	Minh Duc Huynh	531 Weeping Willow Dr.	Rockwall	TX	75032	(214) 771-0101
BUS OWNER	Minh Duc Huynh	2065 Summer Lee Dr. #107	Rockwall	TX	75032	(214) 771-0101

City of Rockwall
PERMITS ISSUED

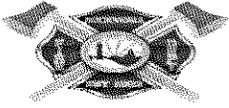
For the Period 5/1/2016 thru 5/31/2016

Permit Number	Permit Type	Site Address	Parcel Number	Subdivision Name	Plan Number	Valuation	Total Fees	Total SQFT	Fees Paid
Application Date	Subtype								
Issue Date	Status of Permit								
CO2016-0048	CO	2845 Ridge Rd. 217				0.00	\$ 75.00		\$ 75.00
4/27/2016	BUSINESS	5067-000B-0001-00-0R							
5/6/2016	ACTIVE	STEGER RETAIL ADDITION						0	
		CryoZone							
Contact Type	Contact Name	Contact Address							Phone Number
APPLICANT	Patrick Kelley	5926 Sandhurst Ln, #121	Dallas						(972) 771-2796
BUS OWNER	Patrick Kelley	2845 Ridge Rd, #217	Rockwall						(972) 771-2796
OWNER	STEGER, TOWNE CROSSING II		IRVING						TX 75062
CO2016-0049	CO	2927 Ridge Rd 105				0.00	\$ 75.00		\$ 75.00
5/6/2016	BUSINESS	4009-000A-0019-00-0R							
5/24/2016	ACTIVE	RDI RETAIL ADDITION						0	
		Green Basil Cafe, Inc.							
Contact Type	Contact Name	Contact Address							Phone Number
OWNER	REGENCY, CENTERS LP		CINCINNATI						OH 45202
APPLICANT	Xuzhong Fu	215 River Fern Ave. # 2459	Garland						(972) 722-2888
BUS OWNER	Xuzhong Fu	2927 Ridge Rd.# 105	Rockwall						(972) 722-2888
CO2016-0050	CO	305 N Fannin St				0.00	\$ 75.00		\$ 75.00
5/9/2016	BUSINESS	4820-000D-0004-00-0R							
5/23/2016	ACTIVE	ROCKWALL ORIGINAL TOWN						0	
		Soundly Speaking							
Contact Type	Contact Name	Contact Address							Phone Number
OWNER	FERGUSSON, PROPERTIES LL	305 N FANNIN ST	ROCKWALL						(214) 289-7466
APPLICANT	Michele Davis	22 Hillside Dr.	Rockwall						(214) 934-8721
BUS OWNER	Michele Davis	305 Fannin St N	Rockwall						(214) 934-8721

7 Permits Issued from: 5/1/2016 Thru: 5/31/2016

Total Valuation: \$ 0.00
Total Fees: \$ 526.50
Total Fees Paid: \$ 526.50

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CALLS BY TYPE - MAY 2016

CITY CALLS

COUNTY AND MUTUAL AID

Situation Type	#	Situation Type	#
111 Building fire	3	556 Public service - Non paged	1
131 Passenger vehicle fire (cars, pickups, SUV's)	1	600 Good intent call, other	1
300 Rescue, EMS incident, other	1	744 Detector activation, no fire - unintentional	1
311 Medical assist, assist EMS crew	4	Totals:	3
322 Motor vehicle accident with injuries	8		
324 Motor vehicle accident with no injuries	7		
356 High-angle rescue	1		
365 Watercraft rescue	1		
400 Hazardous condition, other	1		
412 Gas leak (natural gas or L.P.G)	4		
440 Electrical wiring/equipment problem, other	1		
444 Power line down	6		
445 Arcing, shorted electrical equipment	2		
531 Smoke or odor removal	1		
550 Public service assistance, other	1		
551 Assist police or other governmental agency	7		
552 Police matter	1		
553 Public service	7		
556 Public service - Non paged	7		
561 Unauthorized burning	1		
611 Dispatched & canceled en route	4		
651 Smoke scare, odor of smoke	6		
671 HazMat release investigation w/no HazMat	2		
711 Municipal alarm system, malicious false alarm	2		
714 Central station, malicious false alarm	1		
730 System malfunction, other	1		
733 Smoke detector activation due to malfunction	2		
735 Alarm system sounded due to malfunction	4		
736 CO detector activation due to malfunction	3		
740 Unintentional transmission of alarm, other	3		
743 Smoke detector activation, no fire - unintentional	2		
745 Alarm system activation, no fire - unintentional	4		
814 Lightning strike (no fire)	1		
Totals:	100		

OTHER CITIES' CITY LIMITS

Situation Type	May
	#
111 Building fire	1
611 Dispatched & canceled en route	1
Unknown	1
Totals:	3

CITY RESPONSE
MAY 2016

ENROUTE TIMES			
CITY CALLS	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0-1 1/2 Minutes		0- 1 1/2 MINUTES	
CRITERIA MET %	21 OF 21	CRITERIA MET %	3 OF 3
CRITERIA -ACHIEVE RESPONSE TIME	100.00%	CRITERIA -ACHIEVE RESPONSE TIME	100%
90% OF TIME IN BOXES WITH	CRITERIA MET	60% OF TIME IN BOXES WITH	CRITERIA MET
STATIONS		STATIONS	
ARRIVAL TIMES	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0 - 6 MINUTES		0-6 MINUTES	
CRITERIA MET %	20 OF 21	CRITERIA MET %	3 OF 3
CRITERIA -ACHIEVE RESPONSE TIME	95.00%	CRITERIA -ACHIEVE RESPONSE TIME	100.00%
90% OF TIME IN BOXES WITH	CRITERIA MET	60% OF TIME IN BOXES WITH	CRITERIA MET
STATIONS		STATIONS	
RESPONSE TIMES	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
CITY CALLS			
0-7 1/2 MINUTES	20 OF 21	0-7 1/2 MINUTES	3 OF 3
CRITERIA MET%	95.00%	CRITERIA MET%	100%
CRITERIA -ACHIEVE RESPONSE TIME	CRITERIA MET	CRITERIA -ACHIEVE RESPONSE TIME	CRITERIA MET
90% OF TIME IN BOXES WITH		60% OF TIME IN BOXES WITH	
STATIONS		STATIONS	

RESPONSE OVERAGES
CITY CALLS, MAY 2016

<u>Venue</u>	<u>Alarm Date</u>	<u>Alarm Time</u>	<u>Arrival Time</u>	<u>response</u>	<u>Apparatus</u>	<u>Inc. Number</u>	<u>Station</u>	<u>Lights and Sirens</u>	<u>REASON FOR OVERAGES</u>
Rockwall	05/29/2016	19:49:11	19:58:04	0:08:53	E1	2016-00000515	Rockwall 1	Code 3	Engine was on another call

ARRIVAL OVERAGES
CITY CALLS, MAY 2016

<u>Venue</u>	<u>Alarm Date</u>	<u>Enroute Time</u>	<u>Arrival Time</u>	<u>enroute to arrival</u>	<u>Apparatus</u>	<u>Inc. Number</u>	<u>Station</u>	<u>Lights and Sirens</u>	<u>REASON FOR OVERAGES</u>
Rockwall	05/29/2016	19:50:04	19:58:04	0:08:00	E1	2016-00000515	Rockwall 1	Code 3	Engine was on another call

COUNTY AND MUTUAL AID
RESPONSE
MAY 2016

COUNTY/MUTUAL	
ENROUTE	STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0- 1 1/2 MINUTES	
CRITERIA MET %	2 OF 2
CRITERIA -ACHIEVE RESPONSE TIME	100.00%
60% OF TIME IN BOXES WITH STATIONS	CRITERIA MET
ARRIVAL	STATIONS 1,2,3 and 4 TO BOXES WITHOUT STATIONS
0 - 10 MINUTES	
CRITERIA MET %	0 OF 2
CRITERIA -ACHIEVE RESPONSE TIME	0%
60% OF TIME IN BOXES WITH STATIONS	CRITERIA NOT MET
RESPONSE	STATIONS 1,2,3 and 4 TO BOXES WITHOUT STATIONS
0-11 1/2 MINUTES	
CRITERIA MET%	0 OF 2
CRITERIA -ACHIEVE RESPONSE TIME	0%
60% OF TIME IN BOXES WITH STATIONS	CRITERIA NOT MET

COUNTY COVERAGES
MAY 2016

ENROUTE COVERAGES

<u>Venue</u>	<u>Alarm Date</u>	<u>Alarm Time</u>	<u>Enroute Time</u>	<u>Enroute to enroute</u>	<u>Apparatus</u>	<u>Inc. Number</u>	<u>Station</u>	<u>Lights and Sirens</u>	<u>REASON FOR COVERAGES</u>
Rockwall County	05/22/2016	16:38:56	16:40:17	0:01:21	TNK1	2016-00000491	Rockwall 3	Code 3	CAD times do not match

arrival coverages

<u>Venue</u>	<u>Alarm Date</u>	<u>Enroute Time</u>	<u>Arrival Time</u>	<u>Enroute to Arrival</u>	<u>Apparatus</u>	<u>Inc. Number</u>	<u>Station</u>	<u>Lights and Sirens</u>	<u>REASON FOR COVERAGES</u>
Rockwall County	05/22/2016	16:40:17	16:50:28	0:10:11	TNK1	2016-00000491	Rockwall 3	Code 3	Drive time to County
Heath	05/31/2016	18:04:33	18:15:18	0:10:45	E2	2016-00000524	Rockwall 2	Code 3	Drive time to Heath

response

coverages

<u>Venue</u>	<u>Alarm Date</u>	<u>Alarm Time</u>	<u>Arrival Time</u>	<u>Response</u>	<u>Apparatus</u>	<u>Inc. Number</u>	<u>Station</u>	<u>Lights and Sirens</u>	<u>REASON FOR COVERAGES</u>
Rockwall County	05/22/2016	16:38:56	16:50:28	0:11:32	TNK1	2016-00000491	Rockwall 3	Code 3	Drive time to County
Heath	05/31/2016	18:02:08	18:15:18	0:13:10	E2	2016-00000524	Rockwall 2	Code 3	Drive time to Heath

To: Chief Poindexter
From: BC Merritt
Re: May 16 Structure Fire Report
Date: June 27, 2016

200 E. Rusk

We responded to a report of a building fire May 04, 2016 at 200 E. Rusk. Upon arrival firefighters discovered that a transformer had blown and caused the awning on the front of the building to catch fire. Firefighters extinguished the awning and notified the electric company to have them come take care of the transformer. There was minimal damage done to the building as a result of the fire or water. There were no firefighter injuries on this incident.

Dispatch Time: 07:24.08
Enroute Time: 07:25.26
On Scene Time: 07:28.25
Clear Time: 09:15.36

4 men on scene time 10:54.51

No crew times were reported on this incident.

Total personnel on scene: 2 Chiefs, 5 on duty personnel, 10 Volunteers, 1 Fire Investigator.

1770 Plummer

We responded to a report of a fire at 1770 Plummer on May 17, 2016. The first unit arrived on scene with nothing showing from the outside. Upon entry firefighters reported light smoke present in the house, they discovered a small fire in the kitchen that was mostly extinguished. Firefighters were able to quickly extinguish the remaining fire. The residence sustained significant damage in the kitchen area and some smoke damage to the remainder. No firefighters were injured on this incident

Dispatch Time: 17:49.30
Enroute Time: 17:50.43
On Scene Time: 17:55.55
Clear Time: 18:59.16

4 men on scene 17:58.49
8 men on scene 18:02.28
12 men on scene 18:04.37

Total personnel on scene: 1 Chief, 5 on duty, 6 Volunteers and 1 Investigator.

1290 E. I H 30 Shenanigans

We responded to a report of a structure fire at 1290 E. I.H. 30 on May 20, 2016. The first engine on scene arrived and reported the light smoke coming from the roof of the building. Upon investigation it was discovered that a sign attached to the top of the building was on fire. The fire was extinguished. There was some damage to the roof of the building as a result of the sign being on fire but the damage was contained to that area. There were no firefighter injuries on this incident.

Dispatch Time: 02:26.28

Enroute Time: 02:27.22

On Scene Time: 02:31.09

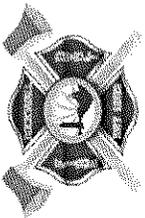
Clear Time: 03:30.59

4 men on scene: 23:03.04

8 men on scene: 23:05.42

12 men on scene 23:07.32

Total Personnel on scene: 7 on duty personnel, 9 volunteers and 1 investigator.



City of Rockwell
Life's Worth Living

Total Dollar Losses

May 2016

	Current Month	Last Month	Same Month Last Year	Year To Date	Last Year To Date
Total Property Loss:	\$17,000.00	\$0.00	\$4,500.00	\$26,500.00	\$245,288.00
Total Content Loss:	\$1,000.00	\$0.00	\$0.00	\$4,000.00	\$179,292.80
Total Property Pre-Incident Value:	\$1,458,000.00	\$0.00	\$168,975.00	\$2,140,455.00	\$951,590.00
Total Contents Pre-Incident Value	\$135,000.00	\$0.00	\$101,385.00	\$475,497.00	\$705,682.00
Total Losses:	\$18,000.00	\$0.00	\$4,500.00	\$30,500.00	\$18,000.00
Total Value:	\$1,593,000.00	\$0.00	\$270,360.00	\$2,615,952.00	\$1,657,272.00



CALLS BY TYPE - May 2016



City of Rockwall
Shepherd. Preserve.

Alarm Calls	# of Calls
733 Smoke detector activation due to malfunction	2
736 Carbon monoxide detector activation due to malfunction	3
743 Smoke detector activation, no fire - unintentional	0
732 Extinguishing System Activated Due to Malfunction	0
734 Heat Detector Activation Due to Malfunction	0
735 Alarm system sounded due to malfunction	4
740 Unintentional transmission of alarm, other	0
744 Detector activation, no fire - unintentional	0
745 Alarm system activation, no fire - unintentional	4
714 Central station, malfunction - false alarm	1

Total for Month: 14



**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Chief Poindexter

FROM: Brett Merritt

DATE: June 03, 2016

SUBJECT: 16 in 16 Recruiting Campaign

As of June 03, 2016 we have added 15 new volunteer recruits. We currently have 2 applicants that has completed all fire department minimum requirements and are awaiting results of medical physical and drug screen. We have 13 active applicants that are in various stages of the application process. Some have already passed the physical agility test or presented exemption paperwork for the PAT and are working on the background packet, some are obtaining paperwork for exemption to the PAT and some are waiting to take the PAT.

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Rockwall Police Department
Harbor District Call For Service
May 2016

<u>Incident Number</u>	<u>Date</u>	<u>Time</u>	<u>Common Name</u>	<u>Incident Type</u>	<u>Incident CFS Disposition</u>
2016-00018657	5/19/2016	7:25:38	Glorias Restaurant	Alarm-BUSN	False Alarm
2016-00016997	5/7/2016	7:07:45	Glorias Restaurant	Alarm-BUSN	False Alarm
2016-00016139	5/1/2016	18:13:31	The Harbor	BMV	No Report
2016-00016109	5/1/2016	14:45:47	The Harbor	Disturbance	No Report
2016-00018110	5/15/2016	0:33:00	Hilton	Disturbance	No Report
2016-00019832	5/27/2016	22:32:42	Three Sheets	Disturbance	Arrest
2016-00019951	5/28/2016	22:06:35	Hilton	Disturbance	No Report
2016-00018220	5/15/2016	21:26:02	Cinemark Movies 12	Intoxicated	Arrest
2016-00018689	5/19/2016	12:32:01	The Harbor	Intoxicated	Arrest
2016-00019955	5/28/2016	22:17:18	The Harbor	Intoxicated	No Report
2016-00017138	5/7/2016	23:25:08	The Harbor	Investigation	No Report
2016-00016964	5/6/2016	22:41:58	Cinemark Movies 12	Investigation	Arrest
2016-00017666	5/11/2016	17:00:51	Hilton	Investigation	Unable To Locate
2016-00018090	5/14/2016	22:24:44	Three Sheets	Investigation	No Report
2016-00017933	5/13/2016	20:28:20	The Harbor	Investigation	No Report
2016-00018890	5/20/2016	21:51:44	The Harbor	Investigation	Arrest
2016-00018905	5/20/2016	23:45:28	Glorias Restaurant	Investigation	Citation
2016-00019025	5/21/2016	23:28:57	Cinemark Movies 12	Investigation	No Report
2016-00019316	5/23/2016	23:31:45	The Harbor	Investigation	No Report
2016-00019930	5/28/2016	20:09:27	Hilton	Investigation	No Report
2016-00019925	5/28/2016	19:03:37	Campisi's	Investigation	No Report
2016-00020233	5/31/2016	1:40:26	Hilton	Investigation	Arrest
2016-00020196	5/30/2016	20:25:12	Cinemark Movies 12	Investigation	Arrest
2016-00019958	5/28/2016	22:37:27	The Harbor	Investigation	Unable To Locate
2016-00016193	5/1/2016	22:54:35	Cinemark Movies 12	Investigation	No Report
2016-00016823	5/5/2016	21:34:08	The Harbor	Investigation	No Report
2016-00016828	5/5/2016	22:49:53	The Harbor	Investigation	No Report
2016-00017809	5/12/2016	20:17:32	The Harbor	Missing Person	No Report
2016-00020041	5/29/2016	16:28:38	Cinemark Movies 12	Motor Vehicle Theft	Report
2016-00019701	5/26/2016	16:29:34	Cinemark Movies 12	Motor Vehicle Theft	Report
2016-00020081	5/29/2016	21:58:17	Glorias Restaurant	Narcotics	No Report
2016-00020363	5/31/2016	23:17:00	Hilton	Suspicious Activity	No Report
2016-00016607	5/4/2016	13:59:52	Cinemark Movies 12	Suspicious Activity	No Report
			<u>Common Name</u>		
			Campisi's	1	
			Cinemark Movies 12	8	
			Gloria's	4	
			Hilton	6	
			The Harbor	12	
			Three Sheets	2	
			Total	33	

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Fire Marshal's Division Monthly Reports

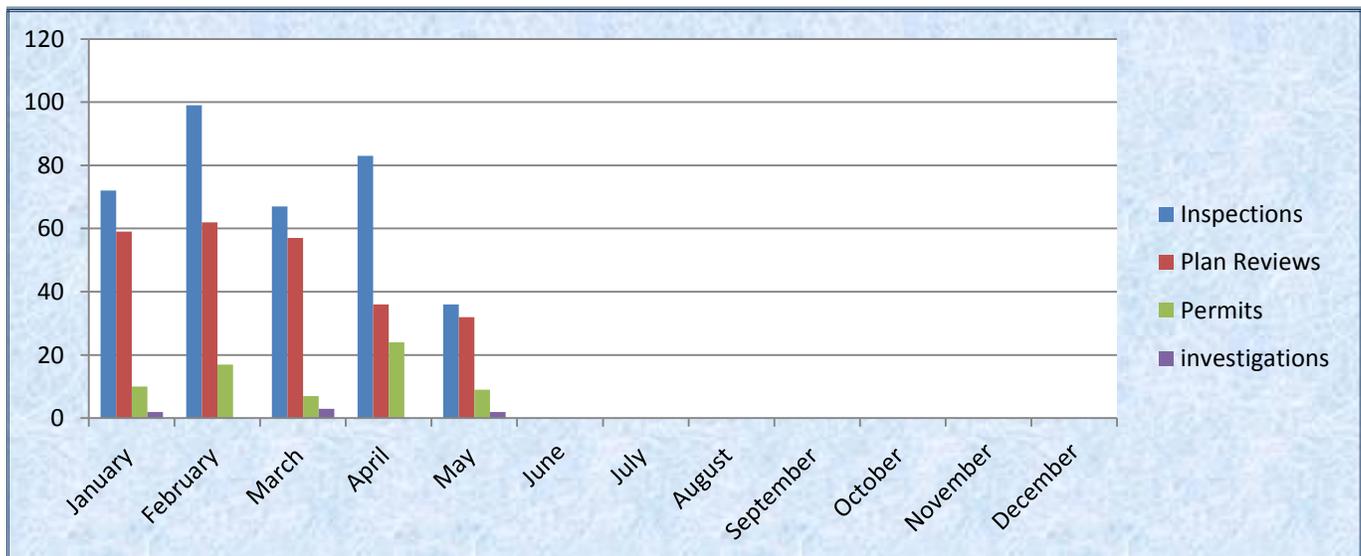
May 2016

Inspection Status Report	
Finalized Inspections	19
Pending Inspections	17
Total for the Month	36

Fire Investigations Status Report	
Active Investigations	0
Closed Investigations	2
Total for the Month	2

Project Routing Report	
COMM	0
TCO	0
CO	0
Capital Improvements	1
Engineering	3
Plat	12
Site Plan	7
Special Event	0
Zoning	3
Total for the Month	26

Fire Permit Listing	
Fire Alarm	0
Fire Sprinkler	4
High-Rack / Pile	1
Doors-Access Control	0
Kitchen Suppression	2
Temp Aboveground Tank	1
Traffic Calming Device	0
Open Burn	1
Underground Tank	0
Total for the Month	9



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City of Rockwall
GIS Department Report
May 2016

GIS Project Request:

Month	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	% Change from 2015	2016 Mo. Trend
January	5	14	19	24	31	21	26	28	38	38	0%	-
February	13	16	26	28	28	25	26	27	33	49	48.48%	↑
March	4	6	32	23	36	22	23	28	30	38	26.67%	↑
April	9	25	17	22	29	37	23	30	35	30	-14.29%	↓
May	16	25	18	30	32	33	38	24	31	31	0%	-
June	11	9	27	22	38	35	28	15	34			
July	15	24	15	32	23	27	21	31	41			
August	15	7	23	24	38	35	36	34	27			
September	9	7	28	31	37	27	20	39	50			
October	10	33	32	39	40	39	27	44	38			
November	35	6	15	27	22	13	29	34	46			
December	10	13	13	28	22	17	28	19	42			
Total:	152	185	265	330	376	331	325	353	445	(186)	11.38 %↑	

Key Projects:

Monthly Project Request by Department:

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|---------------------------|---|----------------------|---|-----------------|---|--------------|---|-----------------------|---|-----------------------------------|---|----------------------------|---|---------------------|---|-----------------|---|-------------------------|---|----|---|---------------------|---|------------------|---|----------------------|---|----------|---|-------------------|---|------|---|--------------|-----------|
| <p>(1) Asset Management Software. Researching available work order, asset management system software that is GIS compatible. Developing RFP - <i>Ongoing</i></p> <p>(2) Outside Request. Assisted with GIS Data for Freese & Nichols, USPS, Rockwall County, and City of Fate.</p> <p>(3) GPS Intern Projects. ADA Curb Ramp condition project, Utility and Driveway digitization.</p> <p>(4) Engineering Department. 1 foot contours for Lakeside Village,</p> <p>(5) Neighborhood Improvement Services. Strategic Planning - mapped 5 years' worth of violations and identified cluster / hot spot areas per violation type.</p> <p>(6) Next Generation 911 GIS. Completed contract's for data and system upgrade. Project start dates pending. Began internal clean-up of NG911 addressing data. - <i>Ongoing</i></p> <p>(7) Parks Department. Founders Day celebration planning / event maps, Baseball Infield Calculations, Squabble Creek Mtn. Bike Trail Maps</p> <p>(8) Planning / GIS Department. Harbor Concept Plans, IH30 Corridor Calculations, 2016-17 budgeting, Strategic planning project, ETJ Maps, Breezy Hill public land drainage maps, Population verifications, and Cross Access studies. GIS upgraded all software to latest version, Planimetrics updates.</p> <p>(9) Main Street. Asphasians Event Layout</p> | <table border="0"> <tbody> <tr> <td>Admin / HR / Internal Ops</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Building Inspections</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Citizen Request</td> <td style="text-align: right;">0</td> </tr> <tr> <td>City Council</td> <td style="text-align: right;">0</td> </tr> <tr> <td>City Manager's Office</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Neighborhood Improvement Services</td> <td style="text-align: right;">1</td> </tr> <tr> <td>Engineering / Public Works</td> <td style="text-align: right;">1</td> </tr> <tr> <td>Finance / Utilities</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Fire Department</td> <td style="text-align: right;">1</td> </tr> <tr> <td>GIS (Citywide Projects)</td> <td style="text-align: right;">9</td> </tr> <tr> <td>IT</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Main Street Program</td> <td style="text-align: right;">1</td> </tr> <tr> <td>Outside Agencies</td> <td style="text-align: right;">5</td> </tr> <tr> <td>Parks and Recreation</td> <td style="text-align: right;">6</td> </tr> <tr> <td>Planning</td> <td style="text-align: right;">7</td> </tr> <tr> <td>Police Department</td> <td style="text-align: right;">0</td> </tr> <tr> <td>REDC</td> <td style="text-align: right;">0</td> </tr> <tr> <td style="border-top: 1px solid black; text-align: right;">Total</td> <td style="border-top: 1px solid black; text-align: right;">31</td> </tr> </tbody> </table> | Admin / HR / Internal Ops | 0 | Building Inspections | 0 | Citizen Request | 0 | City Council | 0 | City Manager's Office | 0 | Neighborhood Improvement Services | 1 | Engineering / Public Works | 1 | Finance / Utilities | 0 | Fire Department | 1 | GIS (Citywide Projects) | 9 | IT | 0 | Main Street Program | 1 | Outside Agencies | 5 | Parks and Recreation | 6 | Planning | 7 | Police Department | 0 | REDC | 0 | Total | 31 |
| Admin / HR / Internal Ops | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Building Inspections | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Citizen Request | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| City Council | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| City Manager's Office | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Neighborhood Improvement Services | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Engineering / Public Works | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Finance / Utilities | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Fire Department | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GIS (Citywide Projects) | 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| IT | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Main Street Program | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Outside Agencies | 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Parks and Recreation | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Planning | 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Police Department | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REDC | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total | 31 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

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CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
FACILITY MAINTENANCE REQUESTS FOR SERVICE
MAY 2016

DEPARTMENT	# FMR REQUESTS	# FMR REQUESTS RESPONDED TO W / IN 24 HOURS	# FMR REQUESTS NOT RESPONDED TO W / IN 24 HOURS	% ON TIME
ADMINISTRATION	10	10	0	100%
ADMINISTRATIVE SERVICES	3	3	0	100%
AIRPORT	0	0	0	0%
ANIMAL SERVICES	3	3	0	100%
BUILDING INSPECTIONS / NEIGHBORHOOD IMPROVEMENT	1	1	0	100%
ENGINEERING	3	3	0	100%
FINANCE	1	1	0	100%
FIRE DEPARTMENT	32	32	0	100%
INTERNAL OPERATIONS	109	109	0	100%
MUNICIPAL COURT	7	7	0	100%
PARKS & RECREATION	24	24	0	100%
PLANNING & ZONING	1	1	0	100%
POLICE DEPARTMENT	17	17	0	100%
PUBLIC WORKS	23	23	0	100%
UTILITY BILLING	2	2	0	100%
TOTAL	236	236	0	100%

CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
RADIO SYSTEM
REQUESTS FOR SERVICE
MAY 2016

DEPARTMENT	# OF REQUESTS	# OF REQUESTS RESPONDED TO W / IN 24 HOURS	# OF REQUESTS NOT RESPONDED TO W / IN 24 HOURS	% ON TIME
ANIMAL SERVICES	1	1	0	100%
CODE ENFORCEMENT	0	0	0	100%
FIRE DEPARTMENT	0	0	0	100%
EMS	0	0	0	100%
INTERNAL OPERATIONS	0	0	0	100%
PARKS & RECREATION	0	0	0	100%
POLICE DEPARTMENT	15	15	0	100%
PUBLIC WORKS	1	1	0	100%
UTILITY BILLING	0	0	0	100%
HEATH DEPT. PUBLIC SAFETY	1	1	0	100%
HOSPITAL CONTROL STATIONS	0	0	0	100%
SYSTEM ISSUES	1	1	0	100%
TOTAL	19	19	0	100%

Airport Operations Report

For Month of May 2016

FUEL SALES

	GALLONS SOLD	GROSS SALES
Jet - A Sales	449.00	\$1,279.65
Av-Gas Sales	1,284.10	\$4,741.79
TOTAL FUEL SALES	1,733.10	\$6,021.44

HANGAR RENTAL REVENUE

Open T Hangar Rental Revenue	\$2,193.55
Transient Covered Hgr - Nightly	\$50.00
Enclosed Hangar Rental Revenue	\$120.00
Nightly Tiedown Fees	\$35.00
North Community Hangar Rental Revenue	\$650.00
TOTAL HANGAR RENTALS	\$3,048.55

HANGAR OCCUPANCY RATES

	TOTAL HANGARS	QTY RENTABLE	QUANTITY LEASED	OCCUPANCY RATE
Open T Hangars	45	40	27	67.50%
Closed Hangar Rentals	2	2	2	100%
Open Hangar Cap Rentals	2	1	1	100%
TOTAL HANGAR OCCUPANCY	49	43	30	70%

Of the forty five hangars only forty can actually be rented. Most of these forty should be considered substandard and not easily marketed due to pad slope and width, electrical, and drainage issues.

CITY FEES DUE	FEE RATE	FRANCHISE FEE DUE	FUEL FLOWAGE FEES DUE	TOTAL FEES DUE
Fuel Sales (Gallons Sold)	\$0.10	\$0.00	\$173.31	\$173.31
City Owned Hangar Rentals	5.00%	\$177.46	\$0.00	\$0.00
TOTAL FEES DUE		\$177.46	\$173.31	\$350.77

I certify the information and amounts submitted on this form are true and correct.



Todd Parks
Managing Director - Texas Air Center, LLC

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**FY2016 City of Rockwall In kind values /Meals 3rdQuarter
Meals on Wheels Senior Services**

Apr-16 21 Days served			May-16 21 Days served			Jun-16 22 Days served		
ROUTES	MILES	\$	ROUTES	MILES	\$	ROUTES	MILES	\$
A	105	\$58.80	A	105	\$58.80	A	100	\$172.48
B	210	\$117.00	B	210	\$117.00	B	220	\$123.20
C	680	\$380.80	C	680	\$380.80	C	748	\$418.88
E	620	\$347.20	E	620	\$347.20	E	682	\$381.92
F & K	400	\$224.00	F & K	400	\$224.00	F & K	440	\$246.40
H	250	\$140.00	H	250	\$140.00	H	276	\$154.56
I&J	1200	\$672.00	I&J	1200	\$672.00	I&J	1320	\$739.20
RM & R	301	\$168.56	RM & R	301	\$168.56	RM & R	332	\$185.92
	3766	\$2,108.36		3766	\$2,108.36		4326	\$2,422.56
HOURS			HOURS			HOURS		
		\$			\$			\$
A	21	\$294.00	A	21	\$294.00	A	22	\$323.40
B	30	\$441.00	B	30	\$441.00	B	32	\$470.40
C	21	\$294.00	C	21	\$294.00	C	22	\$323.40
E	21	\$294.00	E	21	\$294.00	E	22	\$323.40
F & K	42	\$617.40	F & K	42	\$617.40	F & K	40	\$588.00
H	21	\$294.00	H	21	\$294.00	H	22	\$323.40
I&J	25	\$367.50	I&J	25	\$367.50	I&J	32	\$470.40
RM & R	30	\$441.00	RM & R	30	\$441.00	RM & R	32	\$470.40
	211	\$3,042.90		211	\$3,042.90		224	\$3,292.80
\$ Value in kind volunteer services		\$5,151.26	\$ Value in kind volunteer services		\$5,151.26	\$ Value in kind volunteer services		\$5,715.36

Total April inkind value	\$5,151.93	Memorial Day Holiday Meal Broadmoor Medical Lodge, Housewarmers, Royse City and Rehab, and Arbor House Volunteer Miles & Hours	Total May inkind value	\$6,076.26	Total June inkind value
		\$700.00 \$225.00			

ROCKWALL PROGRAM MEALS 1,993 Home Delivered and Disabled 331 Congregate Centers	ROCKWALL PROGRAM MEALS 2,195 Home Delivered and Disabled 345 Congregate Centers 175 Holiday Meals	ROCKWALL PROGRAM MEALS 2,269 Home Delivered and Disabled 334 Congregate Centers
Total purchased Meals	Total purchased Meals	Total Purchased Meals
2,324	2,715	2,603

<p>THANK YOU FOR YOUR SUPPORT</p> <p>Sincerely, Margie VerHagen E.D.</p>		<p>Total meals</p> <p>7,642</p>	<p>In-kind VALUE Donated 3rd Quarter 2016</p> <p>\$5,151.26 April Total \$ 16,942.88</p>
			<p>\$6,076.26 May</p>
			<p>\$5,715.36 June</p>

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Rockwall Police Department

Monthly Activity Report

May-2016

ACTIVITY	CURRENT MONTH MAY	PREVIOUS MONTH APRIL	YTD 2016	YTD 2015	YTD % CHANGE
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PART 1 OFFENSES

Homicide / Manslaughter	0	0	0	0	0.00%
Sexual Assault	1	1	6	5	20.00%
Robbery	0	0	1	5	-80.00%
Aggravated Assault	1	3	13	17	-23.53%
Burglary	5	4	27	15	80.00%
Larceny	61	87	311	226	37.61%
Motor Vehicle Theft	8	5	23	19	21.05%
TOTAL PART I	76	100	381	287	32.75%
TOTAL PART II	204	173	807	745	8.32%
TOTAL OFFENSES	280	273	1188	1032	15.12%

ADDITIONAL STATISTICS

FAMILY VIOLENCE	14	18	71	69	2.90%
D.W.I.	12	14	77	63	22.22%
TEEN CURFEW	3	0	8	2	300.00%

ARRESTS

FELONY	43	32	145	89	62.92%
MISDEMEANOR	82	79	410	336	22.02%
WARRANT ARREST	33	27	202	151	33.77%
JUVENILE	4	3	11	4	175.00%
TOTAL ARRESTS	162	141	768	580	32.41%

DISPATCH

CALLS FOR SERVICE	1491	1399	6991	7251	-3.59%
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ACCIDENTS

INJURY	16	13	66	43	53.49%
(INJURIES)	24	20	94	65	44.62%
NON-INJURY	53	56	267	265	0.75%
FATALITY	1	0	1	1	0.00%
(FATALITIES)	1	0	1	1	0.00%
TOTAL	70	69	334	309	8.09%

FALSE ALARMS

RESIDENT ALARMS	83	94	354	304	16.45%
BUSINESS ALARMS	108	67	487	569	-14.41%
TOTAL FALSE ALARMS	191	161	841	873	-3.67%
Estimated Lost Hours	126.06	106.26	555.06	576.18	-3.67%
Estimated Cost	\$2,998.70	\$2,527.70	\$13,203.70	\$13,706.10	-3.67%

ROCKWALL NARCOTICS UNIT

Number of Cases	6
Arrests	11
Arrest Warrants	9
Search Warrants	2
Seized	
Marijuana	2.5 ounces
Methamphetamine	1.5 kilograms
Heroin	112 grams
Hash Oil	212 grams
Weapons	3
Money	\$10,000.00

Rockwall Police Department Dispatch and Response Times

May-2016

Police Department

Average Response Time

Priority 1		Number of Calls 141
Call to Dispatch	0:00:51	
Call to Arrival	0:05:45	
% over 7 minutes	26%	

Average Response Time

Priority 2		Number of Calls 266
Call to Dispatch	0:00:54	
Call to Arrival	0:06:55	
% over 7 minutes	36%	

Average Response Time

Priority 3		Number of Calls 7
Call to Dispatch	0:00:19	
Call to Arrival	0:05:46	
% over 7 minutes	0%	

*Priority 4	0:09:41	Number of Calls 1073
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**Priority 5	0:15:04	Number of Calls 4
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*Priority 4 call averages are not given because they are calls that do not require an immediate response by police.

**Priority 5 calls are incidents that officers initiate themselves therefore response times are not calculated.

Average dispatch response time goals are as follows:

Priority 1: 30 Seconds

Priority 2: 45 Seconds

Priority 3: 1 Minute

Fire Department

Average Response Time

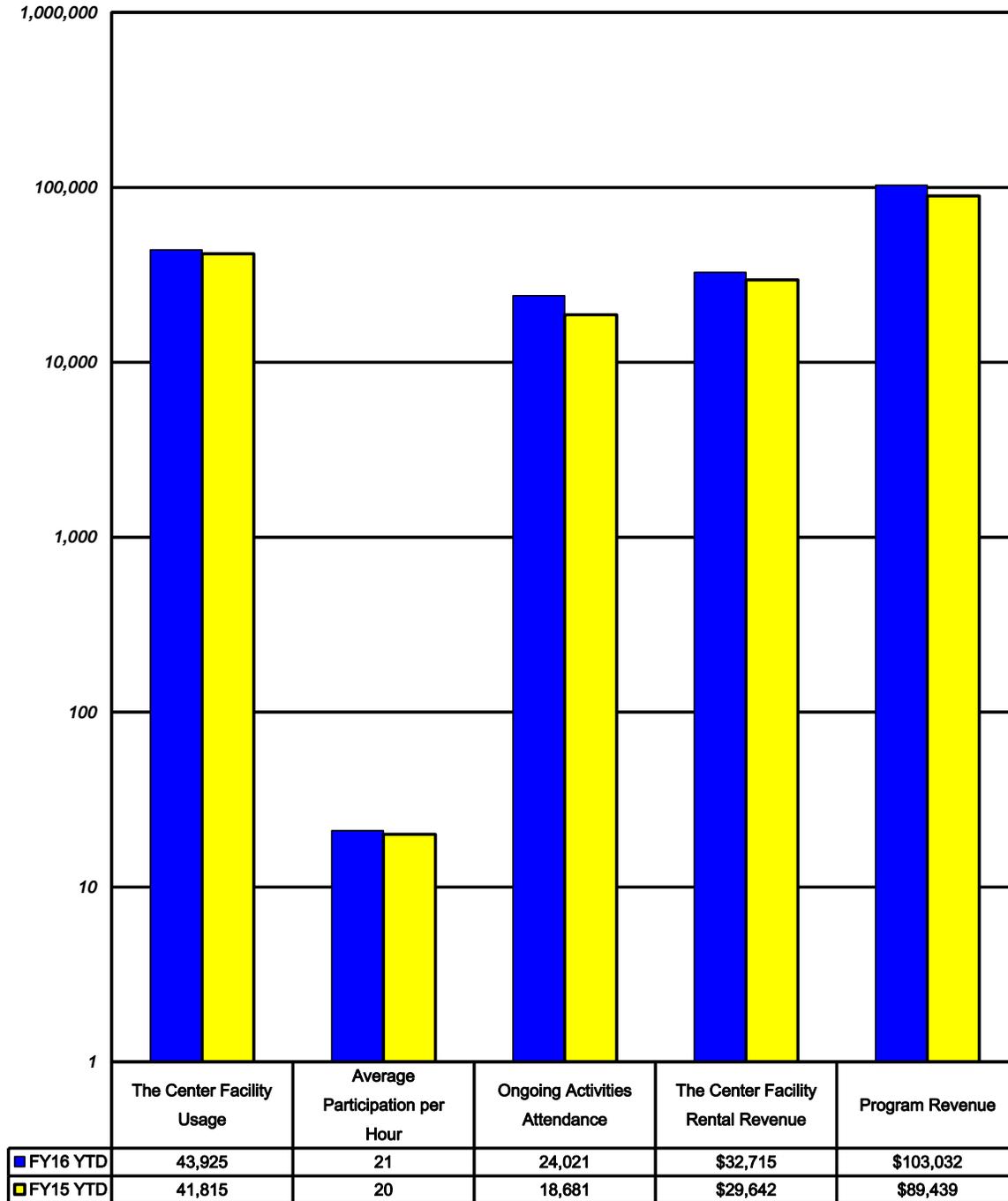
Call to Dispatch	0:00:20	Number of Calls 82
Call to Arrival	0:06:36	

Overages

Incident No.	Date	Time Rec'd	Call Type	Time Disp	Resp Time	Reason
2016-00000456	5/14/2016	13:12:24	Trash/Brush Fire	13:13:29	13:20:21	Unknown
2016-00000458	5/14/2016	15:15:42	Traffic Blocking	15:19:26	15:30:15	Police Call
2016-00000462	5/15/2016	12:45:31	Water Rescue	12:51:39	12:51:43	Rowlett call / CAD would not verify
2016-00000463	5/15/2016	18:20:30	Natural Gas Leak	18:22:02	18:25:29	Unknown
2016-00000475	5/18/2016	14:25:50	Wire Down/Arc Trnsfrmrs	14:27:10	14:35:38	Unknown

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City of Rockwall Parks and Recreation Department FY16 May Report



The Center Facility Usage - Total number of visitors and participants that come thru The Center - includes Ongoing Activities.

Average Participation per Hour - The Center Facility Usage divided by the number of hours the facility is open.

Ongoing Activities Attendance - Non fee based activities conducted on a routine basis (Bingo, Exercise with Anita, etc).

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Rockwall Animal Adoption Center
Profit & Loss Budget vs. Actual
May 2016

	May 16	Budget	\$ Over Budget
Ordinary Income/Expense			
Income			
4000 - City of Rockwall	0.00	95,951.21	-95,951.21
4100 - Adoption Fee	7,628.00	6,450.00	1,178.00
4200 - Impound Fee	1,007.00	1,015.00	-8.00
4300 - Owner Surrender	1,263.00	899.00	364.00
4350 - Quarantine Fee	250.00	200.00	50.00
4650 - Medical	540.00	505.00	35.00
4700 - General Donations	1,546.00	2,187.59	-641.59
Direct Public Support			
Corporate Contributions	150.27		
Total Direct Public Support	150.27		
Total Income	12,384.27	107,207.80	-94,823.53
Gross Profit	12,384.27	107,207.80	-94,823.53
Expense			
5000 - Administrative Expense			
5001 - Supplies	287.79	605.40	-317.61
5002 - Website	0.00	148.96	-148.96
5004 - Paypal/Intuit fee	393.13	310.05	83.08
5005 - Postage	32.78		
5006 - Bank Fees	42.54	41.47	1.07
5040 - Retirement s rvs - 401K	235.00	240.00	-5.00
5050 - Payroll	20,574.85	28,469.00	-7,894.15
5055 - Payroll Tax	1,497.80	2,725.00	-1,227.20
5056 - 401K Employer/Healthcare	817.93	2,743.00	-1,925.07
Total 5000 - Administrative Expense	23,881.82	35,282.88	-11,401.06
5200 - Shelter Expense			
5202 - Micro Chip	999.00	999.00	0.00
5203 - Medication	2,444.53	4,010.26	-1,565.73
5209 - Shelter Supplies	1,311.83	702.88	608.95
5210 - Cleaning	560.00	707.00	-147.00
5211 - Repair & Maint.	0.00	278.00	-278.00
5220 - Truck Maintenance	247.26	315.16	-67.90
5230 - Misc	0.00	86.00	-86.00
Total 5200 - Shelter Expense	5,562.62	7,098.30	-1,535.68
5215 - Insurance	846.40		
5300 - Veterinary Expense	2,595.06	3,712.00	-1,116.94
Contract Services			
Outside Contract Services	220.00		
Total Contract Services	220.00		

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Accrual Basis

Rockwall Animal Adoption Center
Profit & Loss Budget vs. Actual
May 2016

	<u>May 16</u>	<u>Budget</u>	<u>\$ Over Budget</u>
Other Types of Expenses			
Other Costs	<u>-54.07</u>		
Total Other Types of Expenses	<u>-54.07</u>		
Total Expense	<u>33,051.83</u>	<u>46,093.18</u>	<u>-13,041.35</u>
Net Ordinary Income	<u>-20,667.56</u>	<u>61,114.62</u>	<u>-81,782.18</u>
Net Income	<u><u>-20,667.56</u></u>	<u><u>61,114.62</u></u>	<u><u>-81,782.18</u></u>

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