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P2016-028 - Consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a master plan/ open space plan for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

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P2016-029 - Consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a preliminary plat for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

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Consider approval of the North Water Improvements Project and authorize the City Manager to execute a contract with Reytech Services, LLC. in an amount of \$746,704.61 to be funded by 2016 Water & Sewer Bonds, and take any action necessary.

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Z2016-017 - Hold a public hearing to discuss and consider a City initiated zoning request for the approval of an ordinance for a text amendment to Section 1, Land Use Schedule, and Section 2.1.8, Auto and Marine-Related Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for the purpose of changing the requirements for Used Motor Vehicle Dealerships, and take any action necessary [1st Reading].

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Z2016-018 - Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of an ordinance for a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary [1st Reading].

Z2016-018 116
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Discuss and consider a request from Melanie Hancock with the Hancock Sign Company representing Fenton Nissan for an approval of a sign plan located at 1700 IH 30, and take any action necessary.

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MIS2016-008 - Discuss and consider a request by Theresa and Ronald Briones for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.248-acre parcel of land identified as part of Lot 7, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 905 N. Alamo Street/906 N. West Street, and take any action necessary.

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Discuss and consider a request from Rod Holland with KW-Rockwall for the approval of a variance to Section 3.5, Alcoholic Beverage Sales, of Article IV, Permissible Uses, of the Unified Development Code to allow a restaurant establishment (Texas Road House) that does not meet the minimum distance requirements for alcoholic beverage sales on a 1.90-acre tract of land identified as a portion of Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the north side of IH-30 east of Greencrest Boulevard, and take any action necessary.

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SP2016-012 - Discuss and consider a request by Chet Leugers, PE of Pacheco Koch on behalf of Michael Hampton of the Rockwall Economic Development Corporation for the approval of variances and an exception to the material, parking, articulation screening and landscaping requirements stipulated by the Unified Development Code in conjunction with an approved site plan for a warehouse/manufacturing facility on a 30.6-acre portion of a larger 86.806-acre tract of land identified as Tract 1 of the H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northwest corner of Discovery Boulevard and Data Drive, and take any action necessary.

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SP2016-013 - Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of the owner Tom R. Briscoe of Briscoe Oil, Inc. for the approval of a variance to the natural stone requirements stipulated by Section 6.6, IH-30 Overlay (IH-30 OV) District, of the Unified Development Code in conjunction with an approved PD Site Plan for an urgent care facility on a 1.042-acre tract of land identified as Lots 1 & 2, Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Summit Office Subdistrict and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of Horizon Road [FM3097] and the IH-30 frontage road, and take any action necessary.

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SP2015-018 - Discuss and consider a request by Brad Williams of Winstead PC on behalf of RaceTrac for the approval of a variance to the secondary material requirements as stipulated by Section 6.8, Scenic Overlay (SOV) District, of the Unified Development Code in conjunction with an approved site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1R & 2R of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

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Discuss and consider a proposal from Primary Media regarding a billboard generally located just east of the intersection of Horizon Road and Ridge Road, and take any action necessary.

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Discuss and consider improvements to Chandlers Marina and possible lease extension with Suntex Marina Investors LLC, and take any action necessary.

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Discuss and consider a median cut plan associated with improvements to FM-3549 (generally between IH-30 and just past SH-66), and take any action necessary.	
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Discuss and consider improving the reliability of Oncor within the city, and take any action necessary.	
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AGENDA
ROCKWALL CITY COUNCIL
Monday, June 20, 2016
4:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

I. CALL PUBLIC MEETING TO ORDER

II. WORK SESSIONS

- p.11** 1. Hold a work session to discuss and consider the minimum square footage required for residential dwelling units in various zoning districts as stipulated by Article V, "District Development Standards" of the Unified Development Code
- p.14** 2. Hold a work session to hear a project status on the engineering design for the East Boydston Avenue (South Goliad to Clark Street) and Throckmorton Street (East Boydston Avenue to East Bourn Street) Paving Improvement Projects
- p.23** 3. Hold a work session to hear update regarding the South Lakeshore Drive/Summit Ridge Reconstruction Project

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

- 1. Discussion regarding proposed renegotiation of City v. Primary Media settlement agreement pursuant to Section §551.071 (Consultation with Attorney)
- 2. Discussion regarding contract with Holmes Murphy & Associates and HIPPA Information pursuant to Section §551.071 (Consultation with Attorney)
- 3. Discussion regarding purchase or lease of real property / land acquisition in the vicinity of FM-3549 and SH-66 pursuant to Section § 551.072 (Real Property).

IV. ADJOURN EXECUTIVE SESSION

AGENDA
ROCKWALL CITY COUNCIL
Monday, June 20, 2016
6:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

V. RECONVENE PUBLIC MEETING

VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER LEWIS

VIII. OPEN FORUM

IX. CONSENT AGENDA

- p.25** 1. Consider approval of the minutes from the June 6, 2016 regular city council meeting, and take any action necessary.
- p.38** 2. **Z2016-013** - Consider a request by Garrett Lust of Pointe Land & Development, LLC on behalf of Marven Wu of West Union Investment, Co. for the approval of an **ordinance** for a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 81.49-acre parcel of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on Rochell Road south of the intersection of Rochell Road the SH-276, and take any action necessary. **(2nd Reading)**
- p.51** 3. **P2016-020** - Consider a request by Cameron Slown of FC Cuny Corporation on behalf of Randal Currington of Fontanna Ranch Phase II, LP for the approval of a final plat for Phase II of the Fontanna Ranch Subdivision containing 49 single-family residential lots on a 19.167-acre tract of land identified as Tract 5 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 64 (PD-64) for Single Family 16 (SF-16) land uses, generally located east of FM-549 and south of SH-276, and take any action necessary.
- p.60** 4. **P2016-028** - Consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a master plan/ open space plan for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

- p.67** 5. **P2016-029** - Consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a preliminary plat for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.
- p.74** 6. Consider approval of the North Water Improvements Project and authorize the City Manager to execute a contract with Reytech Services, LLC. in an amount of \$746,704.61 to be funded by 2016 Water & Sewer Bonds, and take any action necessary.

X. APPOINTMENTS

- 1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.

XI. PUBLIC HEARING ITEMS

- p.109** 1. **Z2016-017** - Hold a public hearing to discuss and consider a City initiated zoning request for the approval of an **ordinance** for a text amendment to Section 1, Land Use Schedule, and Section 2.1.8, Auto and Marine-Related Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for the purpose of changing the requirements for Used Motor Vehicle Dealerships, and take any action necessary **[1st Reading]**.
- p.116** 2. **Z2016-018** - Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of an **ordinance** for a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary **[1st Reading]**.

XII. ACTION ITEMS

- p.183** 1. Discuss and consider a request from Melanie Hancock with the Hancock Sign Company representing Fenton Nissan for an approval of a sign plan located at 1700 IH 30, and take any action necessary.

- p.189** 2. **MIS2016-008** - Discuss and consider a request by Theresa and Ronald Briones for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.248-acre parcel of land identified as part of Lot 7, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 905 N. Alamo Street/906 N. West Street, and take any action necessary.
- p.197** 3. Discuss and consider a request from Rod Holland with KW-Rockwall for the approval of a variance to Section 3.5, Alcoholic Beverage Sales, of Article IV, Permissible Uses, of the Unified Development Code to allow a restaurant establishment (Texas Road House) that does not meet the minimum distance requirements for alcoholic beverage sales on a 1.90-acre tract of land identified as a portion of Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located on the north side of IH-30 east of Greencrest Boulevard, and take any action necessary.
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- p.226** 5. **SP2016-013** - Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of the owner Tom R. Briscoe of Briscoe Oil, Inc. for the approval of a variance to the natural stone requirements stipulated by Section 6.6, IH-30 Overlay (IH-30 OV) District, of the Unified Development Code in conjunction with an approved PD Site Plan for an urgent care facility on a 1.042-acre tract of land identified as Lots 1 & 2, Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Summit Office Subdistrict and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of Horizon Road [FM3097] and the IH-30 frontage road, and take any action necessary.
- p.237** 6. **SP2015-018** - Discuss and consider a request by Brad Williams of Winstead PC on behalf of RaceTrac for the approval of a variance to the secondary material requirements as stipulated by Section 6.8, Scenic Overlay (SOV) District, of the Unified Development Code in conjunction with an approved site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1R & 2R of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

- p.249** 7. Discuss and consider a proposal from Primary Media regarding a billboard generally located just east of the intersection of Horizon Road and Ridge Road, and take any action necessary.
- p.255** 8. Discuss and consider improvements to Chandlers Marina and possible lease extension with Suntex Marina Investors LLC, and take any action necessary.
- p.274** 9. Discuss and consider a median cut plan associated with improvements to FM-3549 (generally between IH-30 and just past SH-66), and take any action necessary.
- p.278** 10. Discuss and consider improving the reliability of Oncor within the city, and take any action necessary.

XIII. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

- 1. Discussion regarding proposed renegotiation of City v. Primary Media settlement agreement pursuant to Section §551.071 (Consultation with Attorney)
- 2. Discussion regarding contract with Holmes Murphy & Associates and HIPPA Information pursuant to Section §551.071 (Consultation with Attorney)
- 3. Discussion regarding purchase or lease of real property / land acquisition in the vicinity of FM-3549 and SH-66 pursuant to Section § 551.072 (Real Property).

XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

XV. ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.086 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 17th day of June, 2016 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary

Date Removed



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: June 20, 2016

SUBJECT: Single Family District Square Footage Requirements

At the meeting on May 16, 2016, the City Council approved two (2) cases proposing single-family residential subdivisions in various locations in the City. During the discussion of these cases, the City Council had questions concerning the required minimum square footage for a dwelling units in a Single Family 10 (SF-10) District. As a result, staff has performed a survey of comparable city's residential zoning districts, and compared them to the City of Rockwall's residential zoning districts by lot size to compare the required minimum square footage for dwelling units. Attached to this memorandum is a copy of this analysis for the City Council's review. Based on the analysis there is some evidence indicating that the Single Family 10 (SF-10) and Single Family 16 (SF-16) Districts minimum square footage for dwelling units could be increased. If the City Council chooses to direct staff to make changes to this section of the code staff would suggest that the City Council also consider setting a minimum square footage for dwelling units in an Agricultural (AG) District. Currently, no minimum exists.

		Minimum SF of Dwelling Units for Comparable Cities																			
Comparable Cities Zoning Districts Rockwall Zoning Districts		Minimum Lot Size (SF)	Rockwall	Allen	Burleson	Cedar Hill	Coppell	Frisco	Grapevine	Keller	Lancaster	Mesquite	Pflugerville	Plano	Rowlett	Southlake	Sunnyvale	Wylie	Average	Median (Middle #)	Mode (Most Reoccurring #)
Zoning District	Townhouse (TH) [Allen]	2,160		1,200															1,200	1,200	
	Single Family Attached (SF-A) [Plano]	2,250												800					800	800	
	Single Family Attached (SF-A) [Burleson]	2,500			1,000			800					900						900	900	
	Townhouse District (TH) [Frisco]	2,500						650											650	650	
	Townhouse District (TH)-w/o side yard [Wylie]	3,000																1,200	1,200	1,200	
	Townhouse District (TH)-w/ side yard [Wylie]	3,500																1,000	1,000	1,000	
	Patio Home District (PH) [Plano]	4,000												800					800	800	
	Original Town Residential District (OTR) [Frisco]	4,500						800											800	800	
	Urban Residential (UR) [Plano]	5,000												800					800	800	
	Zero Lot Line (ZLL-5) District	5,000	1,000		1,000								1,100		1,500				1,150	1,050	1,000
	Single Family Residential (R-6) [Allen]	6,000			1,200									800					1,000	1,000	
	Single Family Residential (SF-R) [Pflugerville]	6,250											1,400						1,400	1,400	
	Two-Family (2F) District	7,000	800																800	800	
	Single Family 7 (SF-7) District	7,000	1,100		1,100	1,500	1,200	800						800	1,500				1,143	1,100	1,100
	Single Family Residential (R-2A) [Mesquite]	7,200										1,700							1,700	1,700	
	Single Family Residential (R-3) [Mesquite]	7,200										1,500							1,500	1,500	
	Single Family Residential (R-5) [Allen]	7,500		1,600					1,200				1,400						1,400	1,400	
	Single Family Residential (R-1A) [Mesquite]	8,250										2,000							2,000	2,000	
	Single Family Residential (R-2) [Mesquite]	8,250										1,700							1,700	1,700	
	Single Family Residential 10 (SF-10) [Rowlett]	8,000													1,800				1,800	1,800	
	Single Family 8.4 (SF-8.4) District	8,400	1,500							1,400									1,450	1,450	
	Single Family 1 (SF-1) District	8,400	2,500																2,500	2,500	
	Single Family Residential (SF-8.5) [Cedar Hill]	8,500				1,700		800											1,250	1,250	
	Single Family Residential (R-4) [Allen]	9,000		1,600			1,600						1,400	800	1,800				1,440	1,600	1,600
	Single Family 10 (SF-10) District	10,000	1,500		1,500	1,900		800		1,600					2,100			2,400	1,686	1,600	1,500
	Single Family Residential (R-1) [Mesquite]	11,000										2,000							2,000	2,000	
	Single Family Residential (R-3) [Allen]	12,000		1,800			1,800			1,800									1,800	1,800	1,800
	Single Family Residential 12.5 (SF-12.5) [Frisco]	12,500						800	1,400										1,100	1,100	
	Single Family Residential (SF-15) [Cedar Hill]	15,000				2,000				2,000					2,100				2,033	2,000	2,000
	Single Family 16 (SF-16) District	16,000	1,800		1,800			800											1,467	1,800	1,800
	Single Family Residential (R-2) [Allen]	18,000		2,000			2,000												2,000	2,000	2,000
	Single Family District (R-20) [Grapevine]	20,000							1,600	2,200				800	2,400	1,800			1,760	1,800	
	Single Family District (SF-20B) [Southlake]	20,000														1,500		2,600	2,050	2,050	
	Single Family Estate (SFE) [Pflugerville]	21,780											1,400						1,400	1,400	
	Single Family Residential (SF-22) [Cedar Hill]	22,000				2,200													2,200	2,200	
	Single Family Residential 4 (SF-4) [Sunnyvale]	24,000															2,000		2,000	2,000	
	Single Family Residential 25 (SF-25) [Keller]	25,000								2,400									2,400	2,400	
	Single Family Residential (R-1.5) [Allen]	30,000		2,400						2,400						1,800			2,200	2,400	2,400
	Single Family Residential (SF-36) [Keller]	36,000								2,400									2,400	2,400	
	Single Family Residential (R-1) [Allen]	40,000		2,400											2,400				2,400	2,400	2,400
	Agricultural (AG) District	43,560	N/A									2,500							2,500	2,500	
	Single Family Estate (SF-E) [Cedar Hill]	43,560			1,800	2,500	2,400	800						800		2,000			1,717	1,900	800
	Single Family Residential District (SF1-B) [Southlake]	43,560														1,500	2,200	1,900	1,867	1,900	
	Single Family Estate 1.5 (SFE 1.5) District	65,340	2,000																2,000	2,000	
	Agricultural (A) District [Plano]	85,000												800					800	800	
	Single Family Estate 2.0 (SFE 2.0) District	87,120	2,200					800									2,200	3,000	2,050	2,200	2,200
	Agricultural (A) District [Pflugerville]	130,680											1,400						1,400	1,400	
	Single Family Estate 4.0 (SFE 4.0) District	174,240	2,500																2,500	2,500	

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager

FROM: Timothy M. Tumulty, P.E., Director of Public Works/City Engineer

DATE: June 14, 2016

SUBJECT: East Boydston Avenue and Throckmorton Street Reconstruction Projects Update

East Boydston Avenue is currently an existing 37 foot wide curb and gutter roadway approximately 1,800 linear feet from South Goliad to Clark Street. Throckmorton Street is currently an existing two lane asphalt roadway from East Boydston Avenue to East Bourn Street. Both East Boydston Avenue and Throckmorton Street are two of four Roadway Capital Improvement Projects passed in the 2012 Bond Election.

East Boydston Avenue will be reconstructed to a 41 foot concrete curb and gutter roadway with a 5-foot concrete sidewalk on each side. The reconstruction will also include re-configuring of the South Goliad/East Boydston Avenue intersection to enhance the northbound South Goliad to eastbound East Boydston Avenue turning movement. Additional improvements for the project will include improved storm sewer capacity along with the replacement of the existing sanitary sewer and water lines. The City hired EJES, Inc. to provide the engineering design and specifications for the East Boydston Avenue project.

Throckmorton Street will be reconstructed to a two lane, 29 foot concrete curb and gutter roadway with a 5-foot concrete sidewalk on each side. These improvements will be placed within the existing 50' right of way. Additional improvements for the project will include improved storm sewer capacity along with the replacement of the existing sanitary sewer and water lines. The City hired Cobb, Fendley & Associates, Inc. to provide the engineering design and specifications for the Throckmorton Street project.

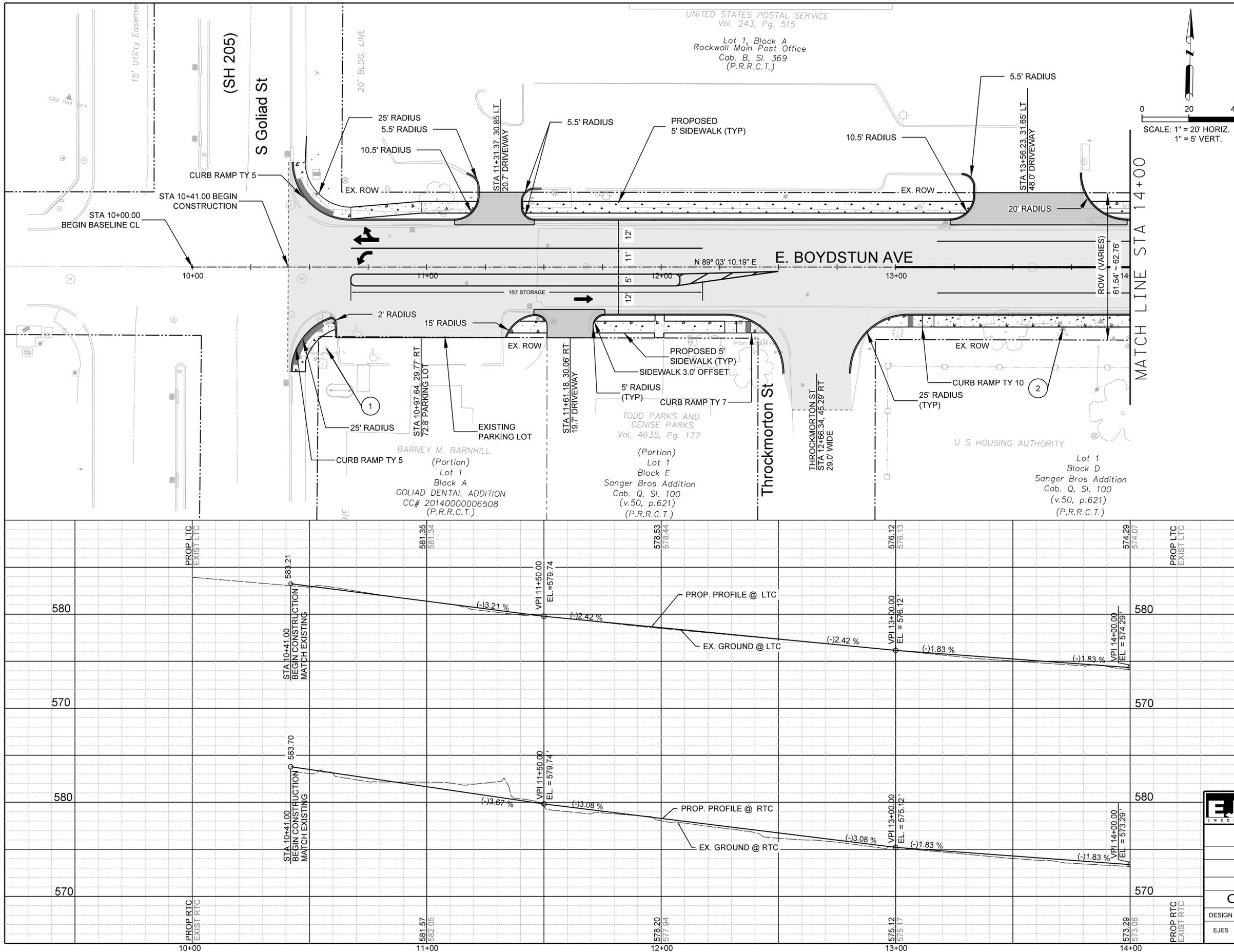
Both projects are currently at the 60% engineering design stage. City Staff and the engineering design consultants plan to hold a public meeting on June 29, 2016 at 6:00pm at City Hall Council Chambers for the residents and businesses along and adjacent to East Boydston Avenue and Throckmorton Street. Public input will be received at this meeting and taken into consideration as the engineering design is completed.

If you have any questions, please advise.

TMT:jw

Attachments

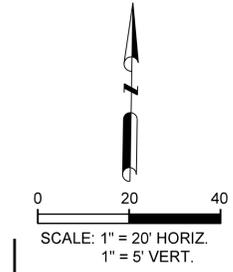
Cc: Amy Williams, P.E., Assistant City Engineer
Jeremy White, P.E., CFM, Civil Engineer
File



UNITED STATES POSTAL SERVICE
Vol. 243, Pg. 515
Lot 1, Block A
Rockwall Main Post Office
Cab. B, Sl. 369
(P.R.R.C.T.)

LEGEND

- STREET PAVEMENT
- DRIVEWAY PAVEMENT
- SIDEWALK PAVEMENT
- ASPHALT PAVEMENT
- FULL DEPTH SAWCUT LINE



CALL BEFORE YOU DIG!
TEXAS ONE CALL PARTICIPANTS REQUEST
48 HOURS NOTICE BEFORE YOU DIG, DRILL,
OR BLAST - STOP CALL

Texas One Call System
1-800-DIG-TESS

UTILITY LOCATION NOTE:
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- BENCHMARKS**
- N 7026291.357 E 2594699.299 ELEV= 583.650 MON
 - N 7026304.738 E 2594701.100 ELEV= 583.119 CIRST

**PRELIMINARY PLAN
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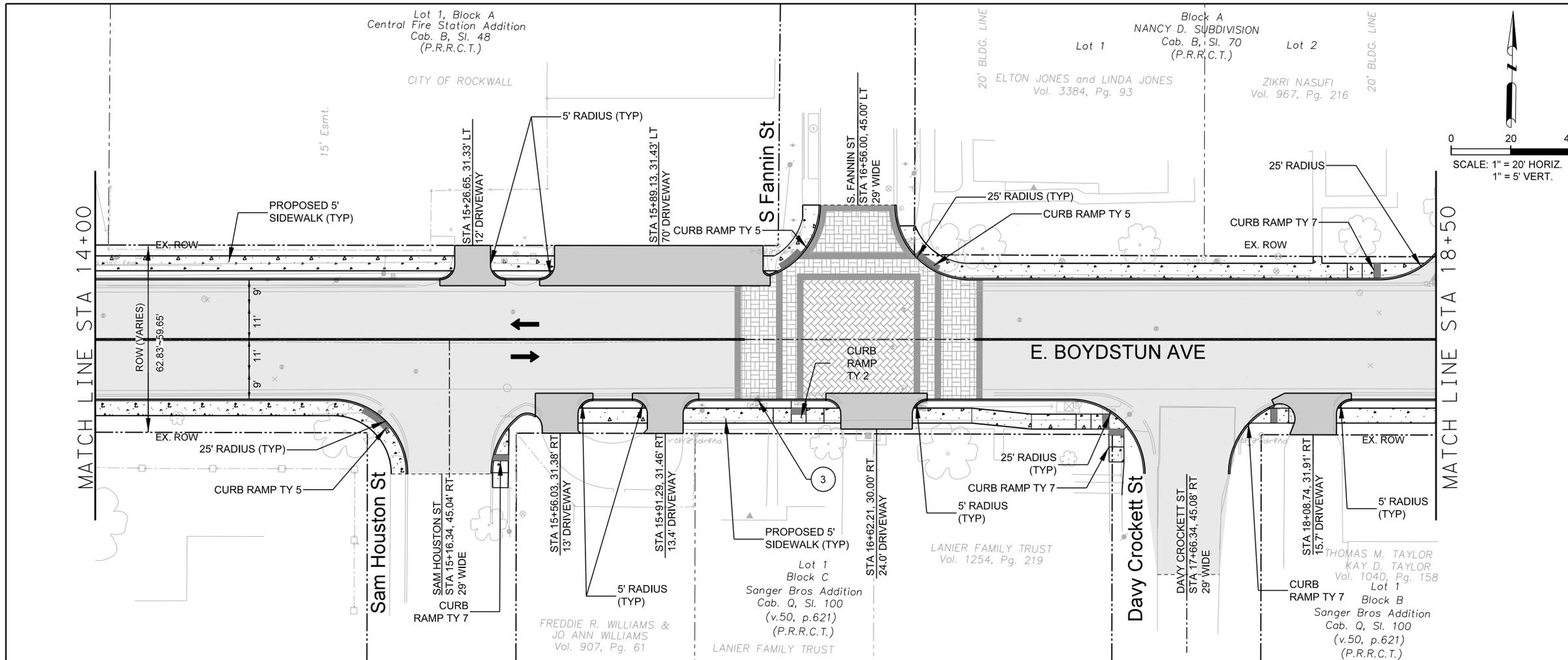
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EJES
INCORPORATED
12655 N Central Expy, Suite # 500, Dallas, Texas 75243.
Tel # 214-343-1210, Fax # 214-343-3885
FIRM REGISTRATION No: F-2488

PAVING PLAN & PROFILE
E. BOYDSTUN AVE.
FROM S. GOLIAD ST TO S. CLARK ST
PUBLIC WORKS DEPARTMENT
CITY OF ROCKWALL, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EJES	EJES	APRIL 2016	1"=20' H 1"= 5' V	xx/xx	XXXX	XXXX



LEGEND

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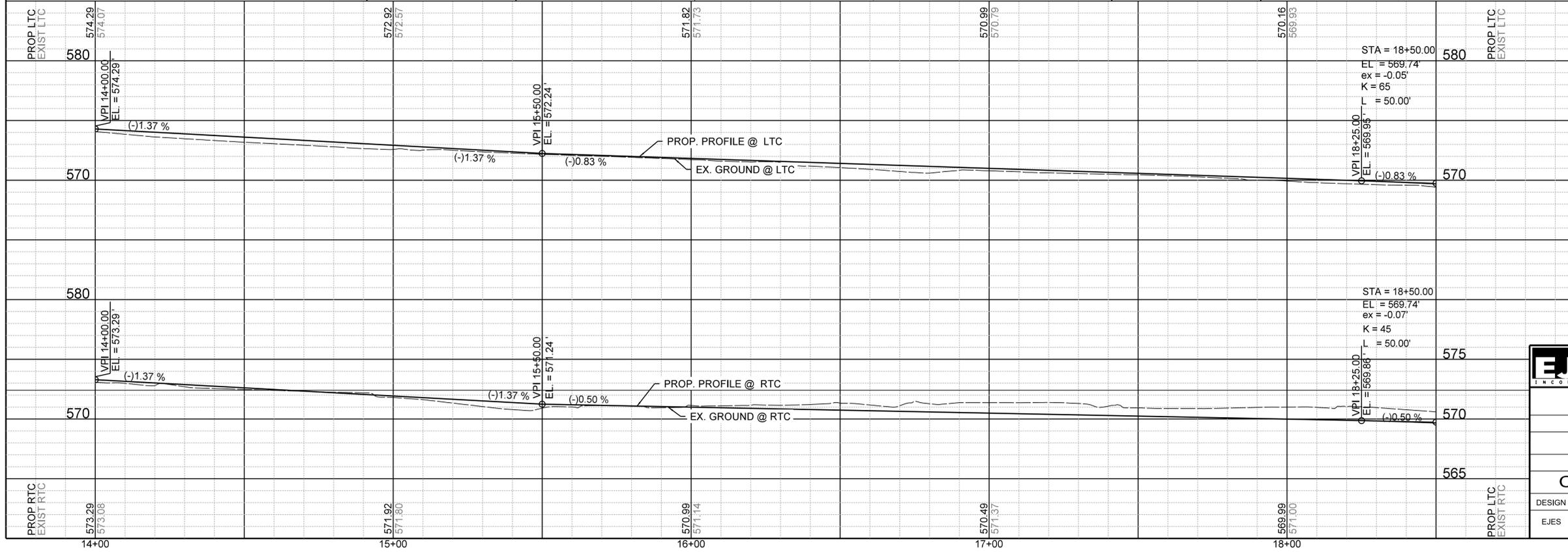
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2. N 7026304.738 E 2594701.100 ELEV= 583.119 CIRST
3. N 7026315.130 E 2595264.068 ELEV= 571.525 CIRST

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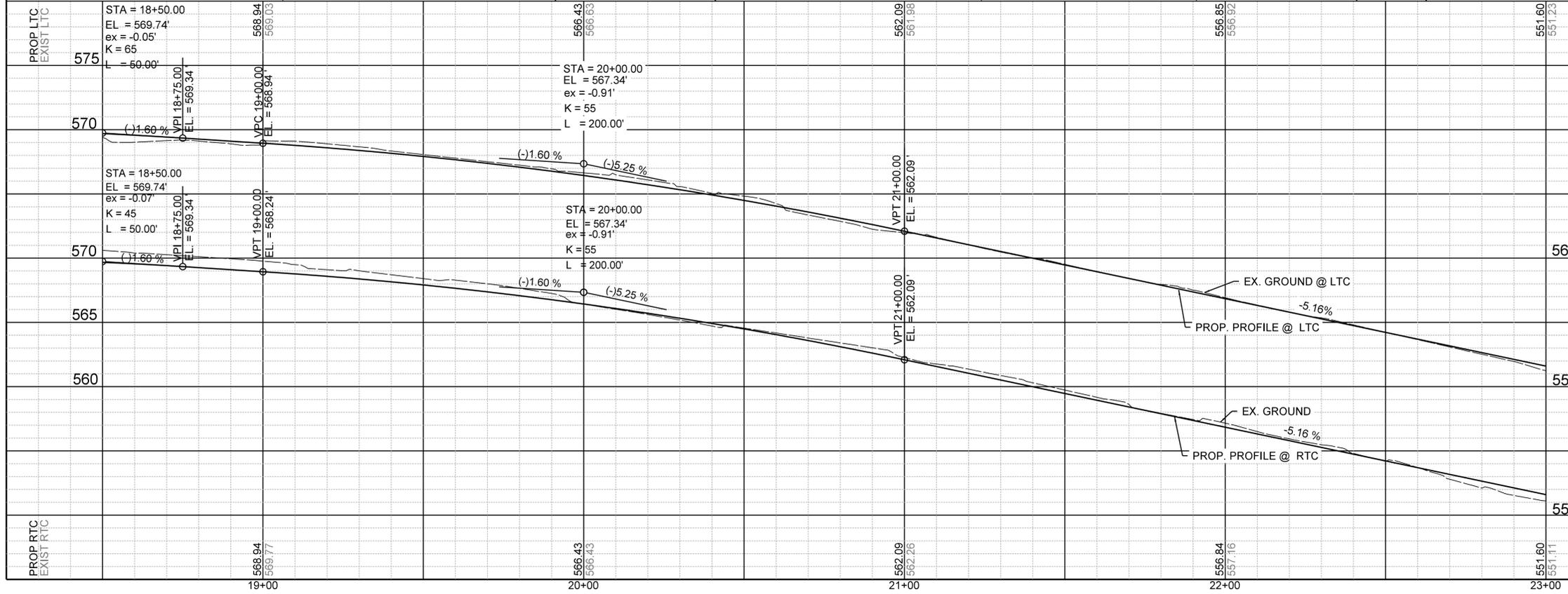
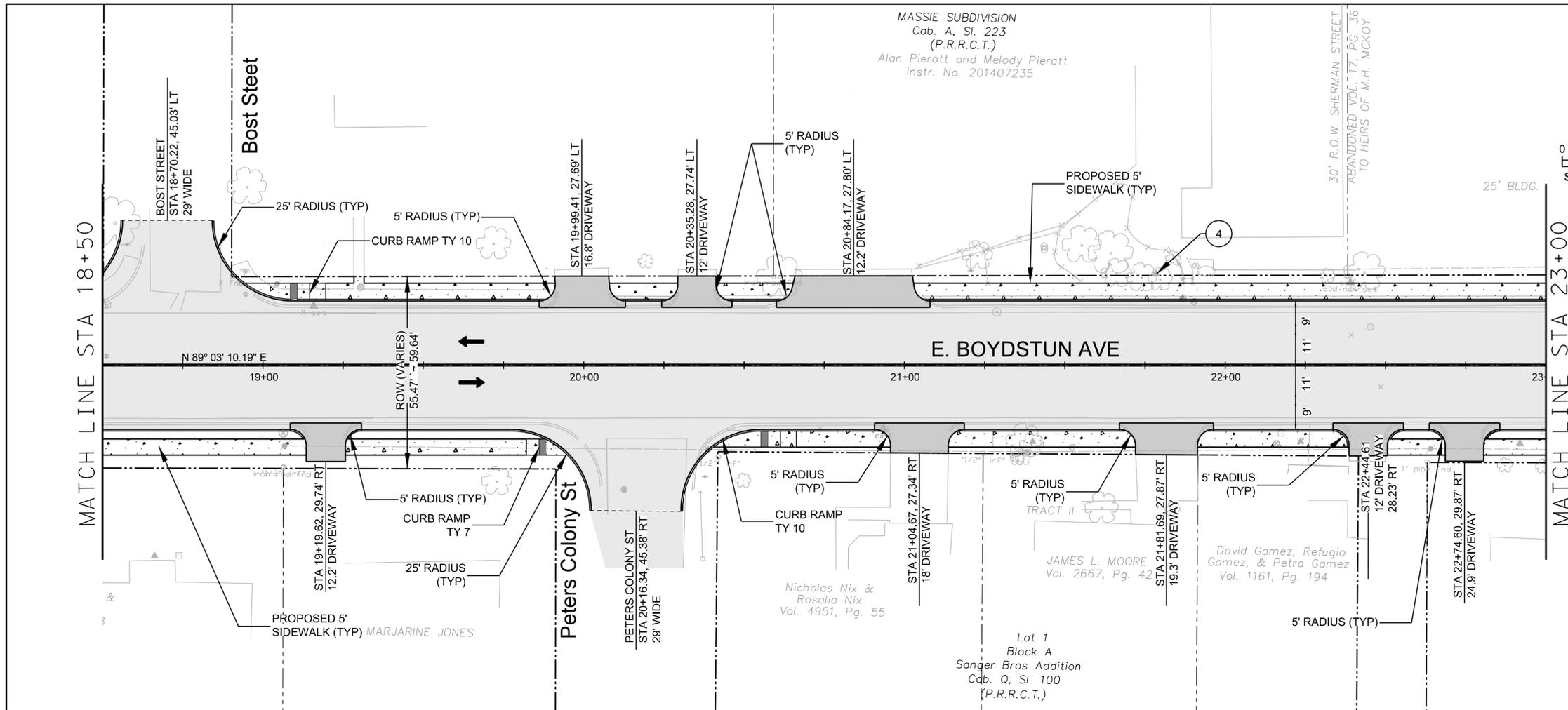
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BENCHMARKS

3.	N 7026315.130	E 2595264.068	ELEV= 571.525	CIRST
4.	N 7026371.130	E 2595879.811	ELEV= 555.166	60DST

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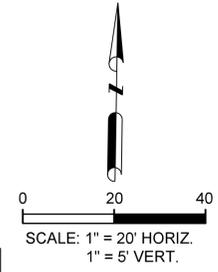
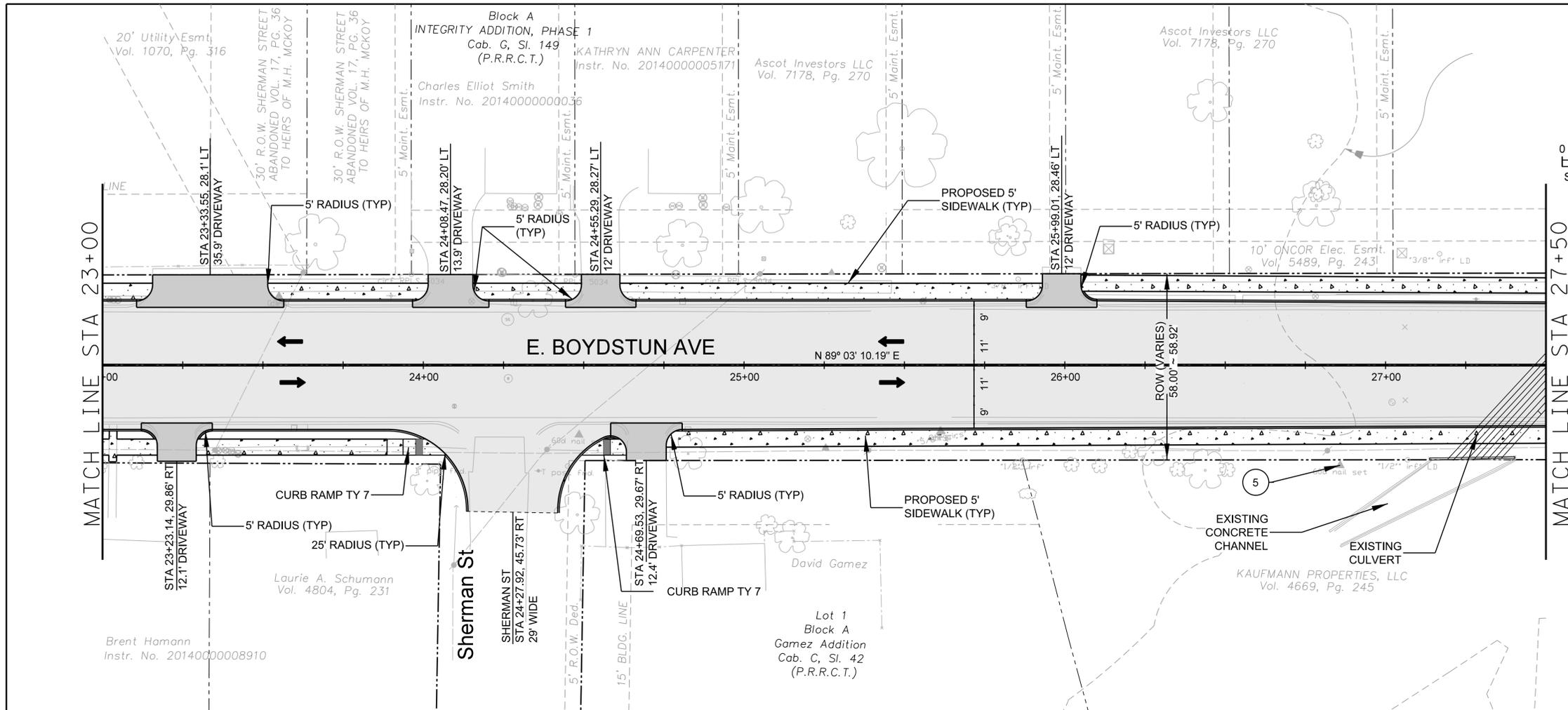
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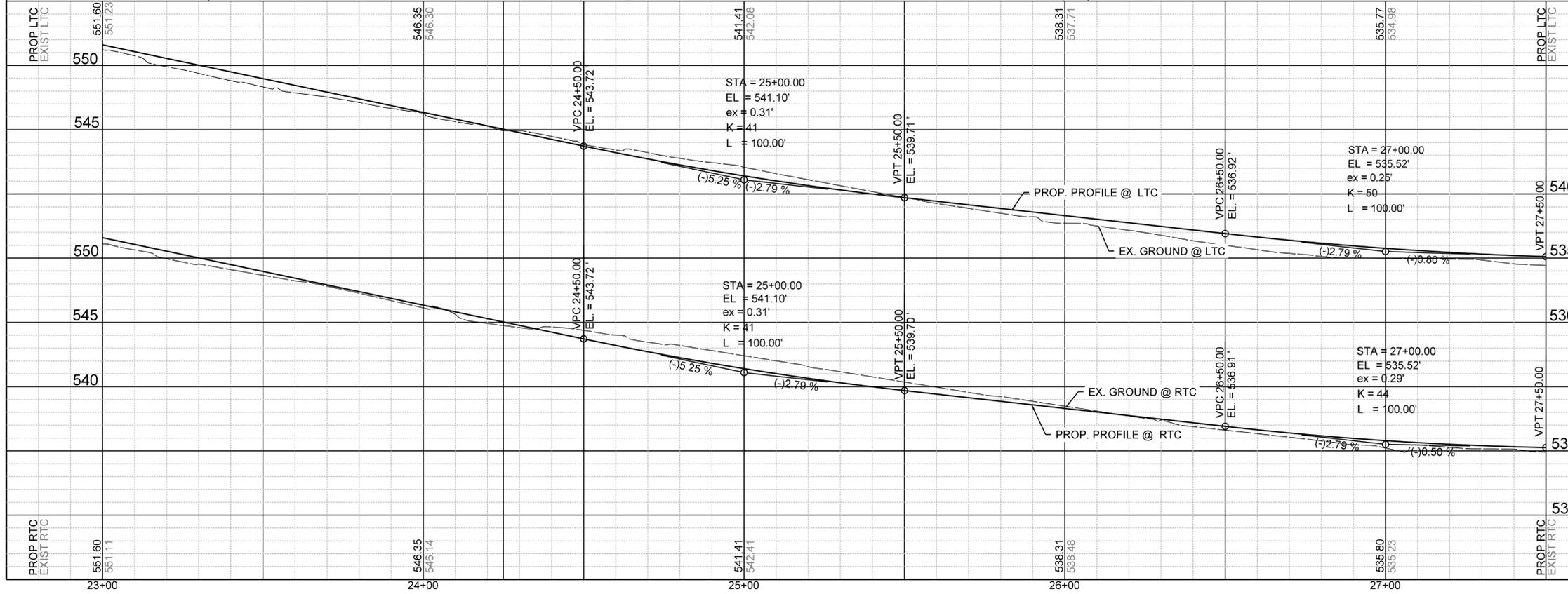
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- BENCHMARKS**
- 4. N 7026371.130 E 2595879.811 ELEV= 555.166 60DST
 - 5. N 7026321.620 E 2596327.520 ELEV= 534.835 60DST

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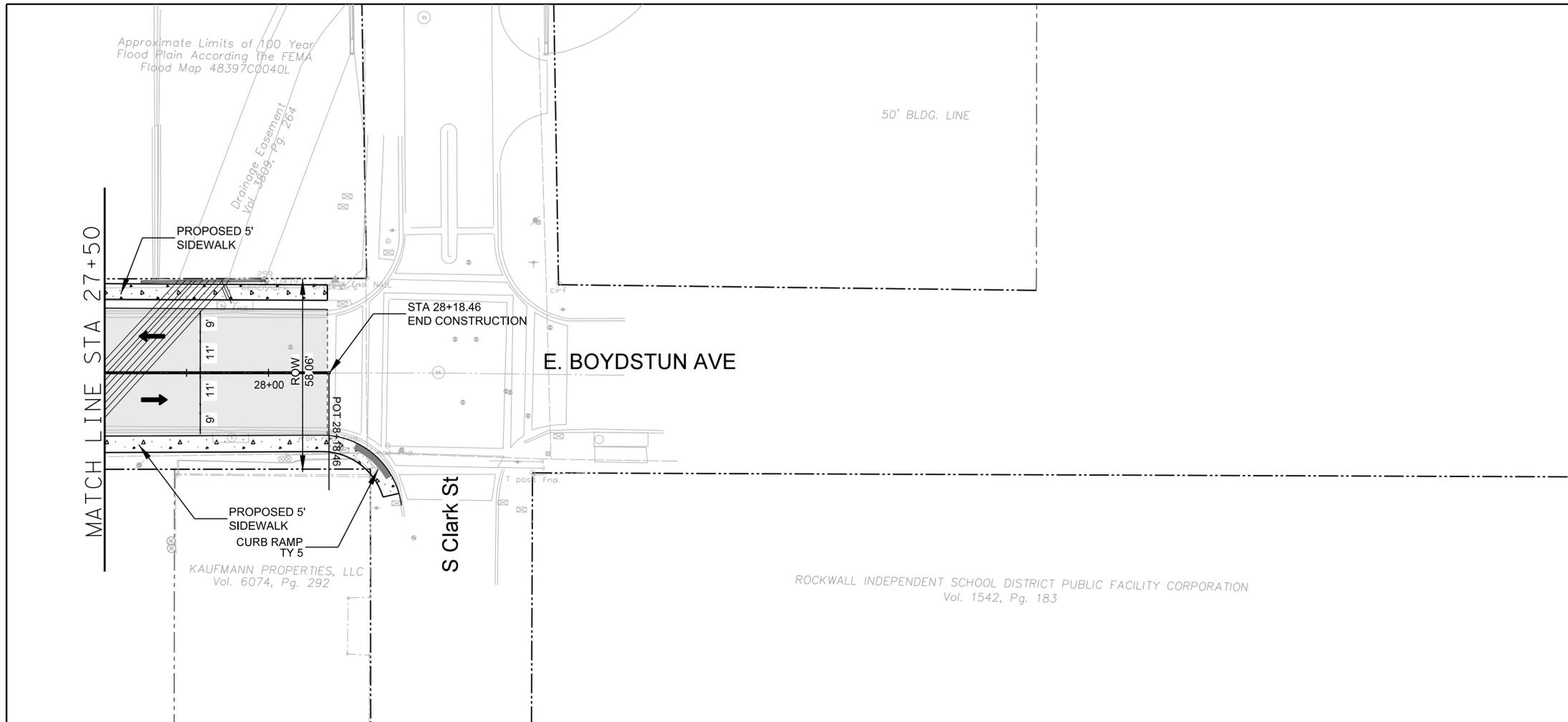
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Approximate Limits of 100 Year Flood Plain According to the FEMA Flood Map 48397C0040L

Drainage Easement Vol. 3869, Pg. 264

50' BLDG. LINE

LEGEND

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- DRIVEWAY PAVEMENT
- SIDEWALK PAVEMENT
- ASPHALT PAVEMENT
- FULL DEPTH SAWCUT LINE

0 20 40

SCALE: 1" = 20' HORIZ.
1" = 5' VERT.

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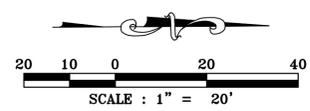
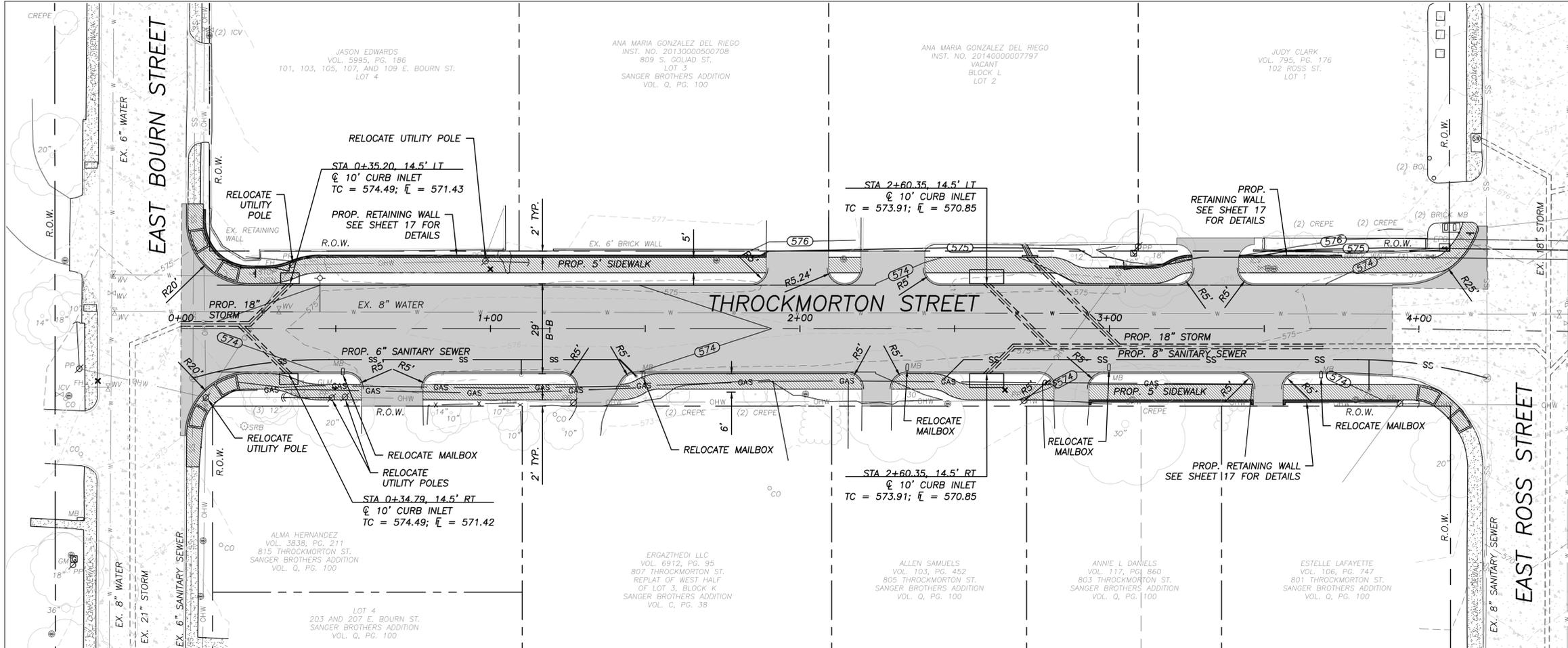
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- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL ADJACENT AND/OR CONFLICTING UTILITIES PRIOR TO CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES IF REQUIRED. CONTRACTOR SHALL VERIFY THE DEPTH OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS EXPENSE.
 - THE ENGINEER AND OWNER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADE CONFLICTS WITH EXISTING UTILITIES.

LEGEND

	PROP. CONCRETE
	PROP. SIDEWALK
	PROP. CENTERLINE
	R.O.W.
	PROP. SAWCUT
	EX. WATER
	PROP. WATER
	EX. STORM
	PROP. STORM
	EX. SANITARY
	PROP. SANITARY
	EX. GAS
	EX. OVERHEAD ELECTRIC

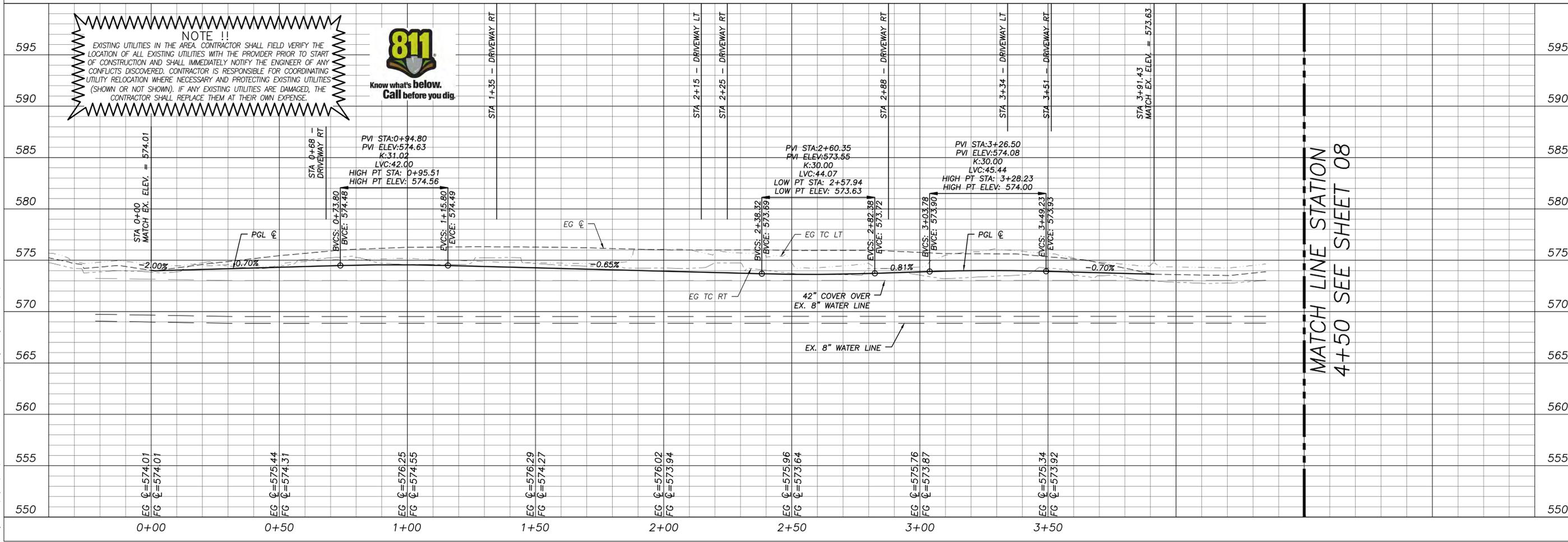
NO.	DATE	REVISIONS	COMMENT

CobbFendley
 TBPE Firm Registration No. 274
 TBPLS Firm Registration No. 100467
 6801 Gaylord Parkway, Suite 302
 Frisco, Texas 75034
 972.335.3214 | fax 972.335.3202 | www.cobbhendley.com

CITY OF ROCKWALL, TEXAS
 THROCKMORTON STREET RECONSTRUCTION
 (BOYDSTUN AVENUE TO BOURN STREET)

PAVING PLAN & PROFILE
 STA. 0+00 TO STA. 4+50

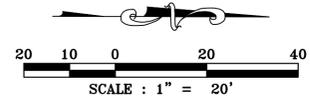
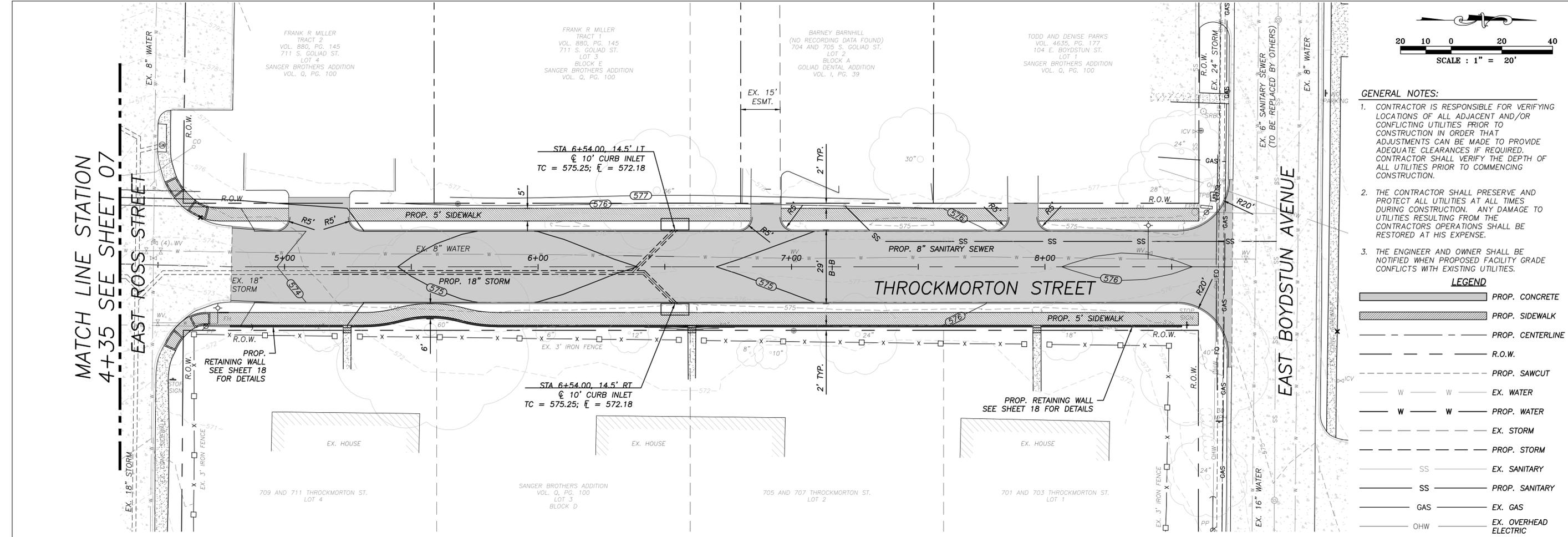
DATE: APRIL 2016
 DESIGN BY: MEA
 SHEET NO.: 07 OF 26
 SCALE: H: 1"=20'
 V: 1"=5'
 DRAWN BY: MEA
 JOB NUMBERS: 1512-039-01
 SHEET ID: Paving P&P.dwg
 © 2016 CobbFendley & Associates, Inc.



MATCH LINE STATION 4+50 SEE SHEET 08

MATCH LINE STATION 0+00 SEE SHEET 07

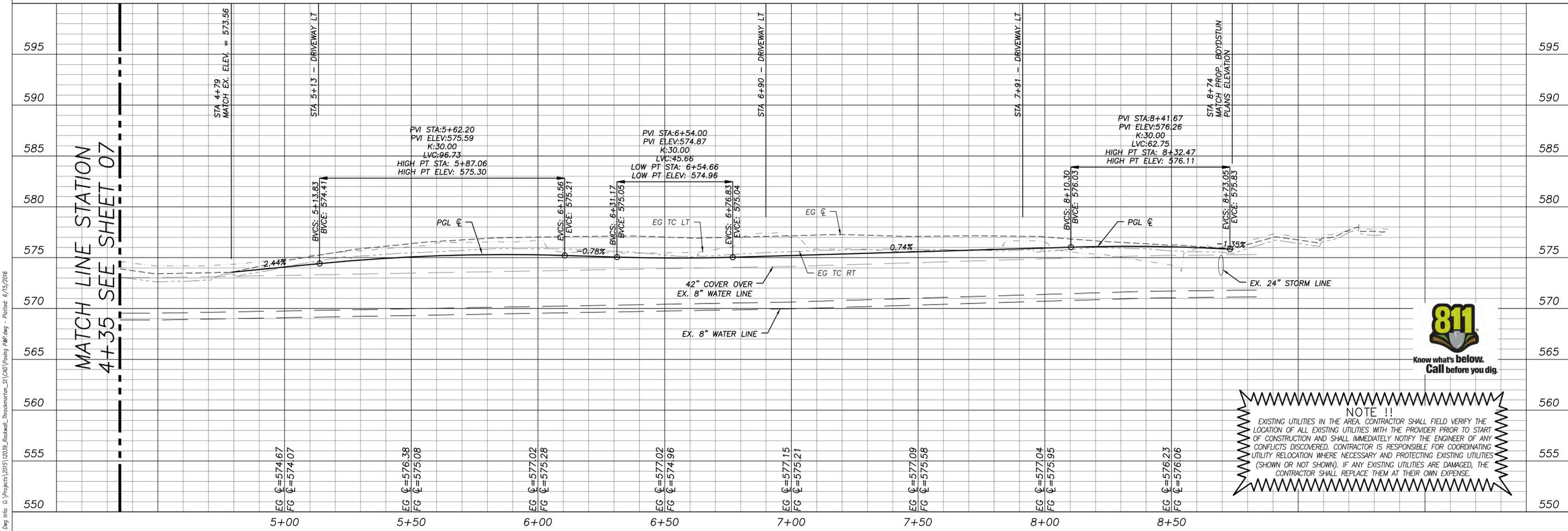
Dwg Info: C:\Projects\2015\2039_Rockwall_Throckmorton_ST\CAD\ paving P&P.dwg - Plotted: 6/15/2016



- GENERAL NOTES:**
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 3. THE ENGINEER AND OWNER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADE CONFLICTS WITH EXISTING UTILITIES.

LEGEND

	PROP. CONCRETE
	PROP. SIDEWALK
	PROP. CENTERLINE
	R.O.W.
	PROP. SAWCUT
	EX. WATER
	PROP. WATER
	EX. STORM
	PROP. STORM
	EX. SANITARY
	PROP. SANITARY
	EX. GAS
	EX. OVERHEAD ELECTRIC



NOTE !!
 EXISTING UTILITIES IN THE AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE PROVIDER PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.

 TBPE Firm Registration No. 274 TBPLS Firm Registration No. 100467 6801 Gaylord Parkway, Suite 302 Frisco, Texas 75034 972.335.3214 fax 972.335.3202 www.cobbfendley.com	
CITY OF ROCKWALL, TEXAS THROCKMORTON STREET RECONSTRUCTION (BOYDSTUN AVENUE TO BOURN STREET)	
PAVING PLAN & PROFILE STA. 4+35 TO END	
DATE: APRIL 2016 DESIGN BY: MEA SHEET NO. 1512-039-01 SHEET ID: Paving P&P.dwg	SCALE: H: 1"=20' V: 1"=5' DRAWN BY: JOB NUMBERS: SHEET # OF: 26
REVISIONS NO. DATE COMMENT	

Dwg info: C:\Projects\2015\2039_Rockwall_Throckmorton_ST\CAD\ paving P&P.dwg - Plotted: 6/15/2016

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager
FROM: Timothy M. Tumulty, P.E., Director of Public Works/City Engineer
DATE: June 17, 2016
SUBJECT: South Lakeshore Drive/Summit Ridge Reconstruction Project

Staff and the Engineering Consultant are developing the design for the reconstruction of South Lakeshore Drive/Summit Ridge from SH 66 to FM 740 (Ridge Road). The existing concrete pavement section along South Lakeshore (SH 66 to Summit Ridge) is wider than the section along Summit Ridge from South Lakeshore to FM 740. Both sections of roadway do not provide a walkway for pedestrian other than in the street.

Staff hosted a neighborhood meeting on December 9, 2015 with the residents living along both roadways allowing residents to express their concerns regarding the existing roadway and the proposed improvements. Staff and the consultant have utilized that information to move forward on the design of the reconstructed roadway.

Staff intends to host a second meeting with these residents along with those residents living within four blocks of South Lakeshore Drive/Summit Ridge. The meeting is scheduled for July 20, 2016.

Staff will brief City Council at the June 20, 2016 Work Section on the status of the project. If you have any questions, please advise.

TMT:em

Cc:

Mary Smith, Assistant City Manager
Brad Griggs, Assistant City Manager
Amy Williams, P.E., Assistant City Engineer
Jeremy White, P.E., CFM, Civil Engineer
Billy Chaffin, Superintendent of Streets & Drainage
Rick Sherer, Water/Wastewater Manager
File

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MINUTES
ROCKWALL CITY COUNCIL
Monday, June 06, 2016
4:00 p.m. Regular City Council Meeting
City Hall - 385 S. Goliad, Rockwall, Texas 75087

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I. **CALL PUBLIC MEETING TO ORDER**

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Mayor Pruitt called the meeting to order at 4:00 p.m. Present were Mayor Jim Pruitt and Councilmembers David White, John Hohenshelt, Scott Milder, Kevin Fowler and Dennis Lewis. Also present were City Manager Rick Crowley, Assistant City Managers Mary Smith and Brad Griggs and the city's legal counsel, Patrick Lindner (filling in for City Attorney Frank Garza who was absent). Councilmember Mike Townsend was absent from the meeting.

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II. **WORK SESSION**

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1. Hold work session to hear strategic plans for the following city departments:

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a) Animal Services

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Andy Hesser, manager of Animal Services, came forth and briefed the Council on the Animal Services strategic plan. Specifically, he spoke about the following, identified initiatives:

- Increase public safety through increasing resident pet rabies vaccination and City pet registrations by 20%.
- Reduce the number of pets dropped off at the shelter by 10% through a Return to Owner Initiative
- Implement educational and recreation based programs to educate residents on how to minimize negative wildlife interactions.
- Develop a policy for providing animal trap services on private property.
- Amend ordinances pertaining to vicious and dangerous dog designations.

Brief dialogue took place related to requiring residents to register their pets. It was noted that pet registrations, overall, are quite low; however, Brad Griggs, Assistant City Manager, pointed out that requiring pet registrations does allow the city to have record of those pets within the city who have been vaccinated. In addition, Mr. Hesser, pointed out that pet registrations allow for a better chance for reuniting pets with their owner should they become lost and end up in the animal shelter.

After brief dialogue, the Council took no action.

b) Neighborhood Improvement Services & Building Inspections

Jeffrey Widmer, Manager over NIS and Building Inspections briefed the Council on the following items with regards to the proposed strategic plan for Neighborhood Improvement Services:

- **Strategic Initiative 1: Public Education and Awareness**
 - **Goal: Increase voluntary compliance throughout the city**

- 48 • **Strategic Initiative 2: Maintain a greater workload focus in areas with a higher**
49 **level of violations**
- 50 ○ **Goal: Focus efforts on specific neighborhood/area issues**
- 51 • **Strategic Initiative 3: Reduce number of complaints received**
- 52 ○ **Goal: Focus efforts on case types that show a greater number of**
53 **complaints received**
- 54 • **Strategic Initiative 4: Implement New Program**
- 55 ○ **Goal: Build a productive and helpful resident assistance program**
56

57 **Regarding the Building Inspections Department, Mr. Widmer touched on the following**
58 **strategic initiatives and goals:**

- 59 • **Strategic Initiative 1: Improve Public safety**
- 60 ○ **Adopt the most advanced and current edition of construction codes**
61 **(will increase design flexibility)**
- 62 ○ **Refine the Building Inspection Department post disaster**
63 **response/inspection program**
- 64 • **Strategic Initiative 2: Enhance Customer Satisfaction Experience**
- 65 ○ **Improve plan review process**
- 66 ○ **Offer a more convenient permit payment process**
- 67 ○ **Reduce time and project costs for our residential customers**
- 68 ○ **Offer express permit process to all of our customers**
69

70 **Council took no action following Mr. Widmer's presentations.**
71

72 **Mayor Pruitt then read the following discussion items into the public record before**
73 **recessing the public meeting to go into Executive Session at 4:44 p.m.**

74
75 **III. EXECUTIVE SESSION.**
76

77 **THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS**
78 **THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT**
79 **CODE:**
80

- 81 1. Discussion regarding the lease of land in the vicinity of the downtown area
82 pursuant to Section §551.072 (Real Property).
- 83 2. Discussion regarding potential land acquisition and right-of-way along Ridge
84 Road pursuant to Section §551.072 (Real Property).

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86 **IV. ADJOURN EXECUTIVE SESSION**
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88 **Council adjourned from Executive Session at 5:25 p.m.**
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V. RECONVENE PUBLIC MEETING (6:00 P.M.)

Mayor Pruitt reconvened the public meeting at 6:00 p.m.

VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

Indication was given that no action was needed as a result of Executive Session.

VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER LEWIS

Councilman Lewis delivered the invocation and led the Pledge of Allegiance.

VIII. PROCLAMATIONS / AWARDS

- 1. 25th Anniversary of NCTCOG's 9-1-1 Program

Mayor Pruitt invited Fire Chief Mark Poindexter forward, explaining that 9-1-1 has now been in existence for 25 years. He then read the proclamation in recognition of this noteworthy anniversary. Chief Poindexter mentioned that there will be a celebration at the NCTCOG in Arlington on June 30th to commemorate this milestone.

- 2. Asian Pacific Islander American Heritage Month

Mayor Pruitt did not read this proclamation, as no one representing the organization that requested the proclamation was present in the audience.

Mayor Pruitt then called Mary Carter forth, explaining that he is presenting a proclamation as a surprise, in recognition of Mrs. Carter's upcoming birthday as well as her recent assistance to the city concerning its Monarch Butterfly initiatives (to help preserve this near endangered species). He then read and presented a proclamation to Mrs. Carter declaring it Monarch Butterfly Day and wishing her a very happy birthday.

IX. OPEN FORUM

Mayor Pruitt explained how Open Forum is conducted and asked if anyone would like to address Council at this time. There being no one wishing to come forth and speak, Mayor Pruitt then closed Open Forum.

X. CONSENT AGENDA

- 1. Consider approval of the minutes from the May 16, 2016 regular City Council meeting, and take any action necessary.
- 2. Consider approval of the Traffic Signal Intersection Improvements at N. Lake Shore Drive and Masters Drive and authorize the City Manager to execute a contract with Durable Solutions in the Amount of \$180,000 with funding in the FY 2015-16 Street Department operating budget, and take any action necessary.
- 3. Consider approval of an **ordinance** establishing the speed limit along FM 552 at 45 mph between SH 205 and John King Boulevard and 50 mph

- 141 between John King Boulevard to MP 002.709 (west of FM 1141) and take
142 any action necessary. **(2nd reading)**
- 143 4. Consider approval of an **ordinance** establishing the speed limits along the
144 eastbound and westbound frontage roads of IH 30 from the west City Limits
145 to SH 205 at 45 mph, and take any action necessary. **(2nd reading)**
- 146 5. Consider approval of an **ordinance** establishing the speed limit along FM
147 1141 to 50 mph between SH 66 and MP 2.980 (John King Boulevard), and
148 take any action necessary. **(2nd reading)**
- 149 6. **Z2016-012** - Consider a request by Jim Evans of CEI Engineering
150 Associates, inc. on behalf of Bob Hubbard of EZ Mart Stores, Inc. for the
151 approval of an **ordinance** for a Specific Use Permit (SUP) to allow a retail
152 store with more than two (2) gasoline dispensers on a 0.918-acre parcel of
153 land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall
154 County, Texas, zoned Planned Development District 9 (PD-9) for General
155 Retail (GR) District land uses, addressed as 2901 Ridge Road and take any
156 action necessary. **(2nd Reading)**
- 157 7. **Z2016-014** - Consider a request by Noah Flabiano of the Skorburg Company
158 on behalf of the owner Lakeside Church of Christ of Rockwall for the
159 approval of an **ordinance** for a zoning change from an Agricultural (AG)
160 District to a Planned Development District for Single Family 10 (SF-10)
161 District land uses on a 29.541-acre parcel of land being a portion of Lot 1
162 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City
163 of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and
164 located on the north side of Airport Road, west of the intersection of Airport
165 Road and FM3549, and take any action necessary. **(2nd reading)**
- 166 8. **Z2016-015** - Consider a request by Pat Atkins of the Saddle Star Land
167 Development, LLC on behalf of the owners Gwen Reed and Randa Hance
168 (R. & R. Hance Investments, LP) for the approval of an **ordinance** for a
169 zoning amendment to Planned Development District 79 (PD-79) [Ordinance
170 No. 16-07] for the purpose of amending the concept plan and incorporating
171 11.121-acres of land into the existing 44.292-acre development creating a
172 55.413-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B.
173 Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas,
174 zoned Agricultural (AG) District and Planned Development District 79 (PD-
175 79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-
176 205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of
177 John King Boulevard south of Featherstone Drive, and take any action
178 necessary. **(2nd reading)**
- 179 9. **Z2016-016** - Consider a City initiated zoning request for the approval of an
180 **ordinance** for a text amendment to Section 4, Southside Residential
181 Neighborhood Overlay (SRO) District, of Article V, District Development
182 Standards, of the Unified Development Code, and take any action necessary
183 **(2nd Reading)**.
- 184 10. Consider a recommendation of the Park Board concerning approval of an
185 **ordinance** amending Chapter 30. Parks & Recreation; Article V. Park Use &
186 Rental Fee Guidelines; Section 30-131. Fees for Facilities, and take any
187 action necessary. **(2nd reading)**

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11. Consider approval of a resolution allowing a temporary partial closure of FM 740 from Summer Lee Drive to the south City limits to facilitate the U.S. Open Triathlon on Sunday, October 16, 2016 from 6:00 AM to 1:00 PM, and take any action necessary.
 12. **P2016-026** - Consider a request by Debra Cox of JDJR Engineers & Consultants, Inc. on behalf of Don French of the First Baptist Church of Rockwall for the approval of a replat for Lot 6, Block M, Sanger Brothers Addition being a 1.8046-acre tract of land identified as Lots 1-5, Block M, Sanger Brothers Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, located at the southwest corner of the intersection of W. Ross Street and S. Goliad Street [SH-205], and take any action necessary.
 13. **P2016-021** - Consider a request by Robert A. Howman of Glenn Engineering on behalf of James Watson of the Rockwall Independent School District for the approval of a preliminary plat for Lot 1, Block A, Rockwall – CCA Addition being a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By Pass Corridor (SH-205 BY OV) District, situated south of the intersection of SH-276 and John King Boulevard, and take any action necessary.
 14. **P2016-022** - Consider a request by Rick Bates of RLK Engineering, Inc. on behalf of James Watson of the Rockwall Independent School District for the approval of a preliminary plat for Lot 1, Block 1, Dobbs Elementary Addition being a 17.464-acre tract of land identified as a portion of Rockwall School Addition No. 1, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated at the northeast corner of the intersection of E. Washington Street and S. Clark Street, and take any action necessary.

215 **Mayor Pruitt pulled item #1 for discussion. Councilmember Lewis made a motion to**
 216 **approve the remaining Consent Agenda items (#2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, and 14).**
 217 **Councilmember Hohenshelt seconded the motion. The ordinances were read as follows:**

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**CITY OF ROCKWALL, TEXAS
ORDINANCE NO. 16-35**

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AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER THE PROVISIONS OF TRANSPORTATION CODE, SECTION 545.356 UPON FARM-TO-MARKET ROAD NO. 552 OR PARTS THEREOF, WITHIN THE CORPORATE LIMITS OF THE CITY OF ROCKWALL, TEXAS, AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF \$200.00 FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

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**CITY OF ROCKWALL, TEXAS
ORDINANCE NO. 16-36**

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AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER THE PROVISIONS OF TRANSPORTATION CODE, SECTION 545.356 UPON INTERSTATE HIGHWAY 30 OR PARTS THEREOF, WITHIN THE CORPORATE LIMITS OF THE CITY OF ROCKWALL, TEXAS, AS SET FORTH IN THIS

239 ORDINANCE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM
240 OF \$200.00 EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE;
241 PROVIDING FOR AN EFFECTIVE DATE

242
243 CITY OF ROCKWALL, TEXAS
244 ORDINANCE NO. 16-37

245
246 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS
247 ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES
248 UNDER THE PROVISIONS OF TRANSPORTATION CODE, SECTION 545.356 UPON
249 FARM-TO-MARKET ROAD 1141 OR PARTS THEREOF, WITHIN THE CORPORATE
250 LIMITS OF THE CITY OF ROCKWALL, TEXAS, AS SET FORTH IN THIS
251 ORDINANCE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE
252 SUME OF \$200.00 FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY
253 CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

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255 CITY OF ROCKWALL
256 ORDINANCE NO. 16-38
257 SPECIFIC USE PERMIT NO. S-153

258
259 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
260 AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL,
261 TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT
262 (SUP) TO ALLOW FOR A RETAIL STORE WITH MORE THAN TWO (2) GASOLINE
263 DISPENSERS AS SPECIFIED IN ARTICLE IV, PERMISSIBLE USES, OF THE
264 UNIFIED DEVELOPMENT CODE, FOR A 0.918 - ACRE TRACT OF LAND ZONED
265 PLANNED DEVELOPMENT DISTRICT 9 (PD-9) FOR GENERAL RETAIL (GR)
266 DISTRICT LAND USES, AND IDENTIFIED AS LOT 1, BLOCK A, MR. M ADDITION,
267 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL
268 CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM
269 OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR
270 A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING
271 FOR AN EFFECTIVE DATE.

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273 CITY OF ROCKWALL
274 ORDINANCE NO. 16-42

275
276 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
277 AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE
278 CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE
279 ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT
280 DISTRICT 81 (PD-81) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON
281 THE SUBJECT PROPERTY, BEING A 29.541-ACRE TRACT OF LAND IDENTIFIED
282 AS A PORTION OF LOT 1 AND ALL OF LOT 2, BLOCK A, ROCKWALL LAKESIDE
283 CHURCH OF CHRIST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY,
284 TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR
285 SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED
286 THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE;
287 PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER
288 CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

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CITY OF ROCKWALL
ORDINANCE NO. 16-39

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND PLANNED DEVELOPMENT DISTRICT 79 (PD-79) [ORDINANCE NO. 16-07] FOR THE PURPOSE OF AMENDING THE CONCEPT PLAN AND INCORPORATING 11.121-ACRES OF LAND INTO THE EXISTING 44.292-ACRE DEVELOPMENT FOR A 55.413-ACRE TRACT OF LAND, ZONED AGRICULTURAL (AG) DISTRICT AND PLANNED DEVELOPMENT DISTRICT 79 (PD-79) FOR SINGLE FAMILY 8.4 (SF-8.4) DISTRICT LAND USES, BEING IDENTIFIED AS TRACTS 1, 1-5 & 2-03 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 16-40

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 6.4, SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT, OF ARTICLE V, DISTRICT DEVELOPMENT STANDARDS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL, TEXAS
ORDINANCE NO. 16-41

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS AMENDING CHAPTER 30. PARKS AND RECREATION OF THE CITY'S CODE OF ORDINANCES IN ARTICLE V. PARK USE AND RENTAL FEES; SECTION 30-131. FEES FOR FACILITIES; PROVIDING FOR REPEALING, SAVINGS AND SEVERABILITY CLAUSES; PROVIDING FOR PUBLICATION; AND PROVIDING FOR AN EFFECTIVE DATE

The motion passed by a vote of 6 in favor with 1 absent (Townsend).

Mayor Pruitt clarified that a particular vote reflected within the draft minutes needed to be modified (related to the Public Hearing concerning used/pre-owned car dealerships). He stated that he had actually voted "no" on that particular item. He then moved to approve the minutes as amended. Councilmember Lewis seconded the motion, which passed by a vote of 6 in favor with 1 absent (Townsend).

XI. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.

348 Chairman of the Planning & Zoning Commission, Craig Renfro, came forth and briefed the
349 city council on recommendations of the Commission relative to items on tonight's council
350 meeting agenda. After brief comments, the Council took no action pertaining to this item.
351

352 **XII. PUBLIC HEARING ITEMS**

- 353
- 354 1. **Z2016-013** - Hold a public hearing to discuss and consider a request by
355 Garrett Lust of Pointe Land & Development, LLC on behalf of Marven Wu of
356 West Union Investment, Co. for the approval of an **ordinance** for a zoning
357 change from an Agricultural (AG) District to a Planned Development District
358 for Single-Family 10 (SF-10) District land uses on a 81.49-acre parcel of land
359 identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of
360 Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located
361 on Rochelle Road south of the intersection of Rochelle Road the SH-276,
362 and take any action necessary (**1st Reading**).

363 **Planning Director Ryan Miller provided background information related to this agenda item,**
364 **explaining that this property is located south of the intersection of Rochelle Road and SH-**
365 **276, adjacent to Timber Creek Estates Subdivision. He explained that according to the**
366 **concept plan, it is the intent of the development to provide 204 single-family residential lots**
367 **that are to be a minimum of 8,125 sq. ft. (i.e. 65' x 125' lots) in area. In addition, the**
368 **development will provide an approximately nine (9)-acre public park located at the southern**
369 **portion of the development. Furthermore, the *Concept Plan* shows the inclusion of 18.97-**
370 **acres of net open space (or 23.3%) exceeding the minimum 20% requirement.**

371

372 **In addition, the applicant has also indicated that a minimum of a 15-foot landscape buffer**
373 **will be provided along Rochelle Road. A minimum 10-ft landscape buffer along the**
374 **proposed minor collector street (Street H) is required, with large canopy trees planted along**
375 **the perimeter of each roadway at 50-ft intervals. However, the applicant is seeking a waiver**
376 **to this requirement for Street H due to the amenities provided for in the 9-acre public park**
377 **(reflected on Park Concept Plan). The applicant will also include a minimum of a five (5) foot**
378 **sidewalk that will be constructed within the rights-of-way.**

379

380 **Mr. Miller then briefed the Council on several development standards contained within the**
381 **draft PD Ordinance which deviate from the requirements of the Engineering Department's**
382 **Standards of Design and Construction Manual and the Unified Development Code (UDC).**

383

384 **He indicated that staff sent out notifications to all property owners located within 500'. Two**
385 **notices were received back in opposition to the request. In addition, the Timber Creek and**
386 **Fontanna Ranch Homeowners Associations were also notified. The Planning & Zoning**
387 **Commission voted to unanimously recommend approval of this item, with one**
388 **commissioner being absent.**

389

390 **Mayor Pruitt opened the public hearing and invited the applicant forth. The applicant came**
391 **forth and indicated that Mr. Miller has provided an ample briefing, so he is just here to**
392 **answer questions of Council. Brief dialogue took place related to improvements to**
393 **Rochelle Road and the traffic on SH-276. There being no one else wishing to come forth**
394 **and speak, Mayor Pruitt then closed the public hearing.**

395

396 **Councilman Lewis made a motion to approve the request (ordinance), including all of the**
397 **requested variances. Councilman Milder seconded the motion. The ordinance was read as**
398 **follows:**

CITY OF ROCKWALL
ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING AN 81.49-ACRE TRACT OF LAND IDENTIFIED AS TRACT 16 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 6 in favor with 1 absent (Townsend).

XIII. ACTION ITEMS

- 1. SP2016-006** - Discuss and consider a request by Matt Moore of Claymoore Engineering, Inc. on behalf of Michael James of U. V. Real Estate, LP for the approval of variances to Article V, District Development Standards, of the Unified Development Code in conjunction with an approved site plan for an Auto Body Shop (i.e. Service King Collision Repair) on a 3.2039-acre tract of land described as Tract 7-01 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, located at 1780 E IH-30, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action necessary.

Mr. Miller provided background information related to this agenda item. He explained that the applicant is requesting that the City Council approve variances to the screening standards, building material and four (4) sided architecture requirements stipulated for properties within the IH-30 Overlay (IH-30 OV) District. He explained that the approved *major automotive repair facility (i.e. Service King: Automotive Collision Repair Center)* will be situated within an 18,475 SF building that will be accessible via an access drive located off of the IH-30 Frontage Road. The requested land use (i.e. *Auto Repair Garage, Major -- Sec. 1.1; Art. IV; UDC*) is permitted *by-right* within the Light Industrial (LI) District, and -- *after the approval of S-148 for outside storage on March 7, 2016* -- does not require any additional approvals by the Planning and Zoning Commission or City Council. Mr. Miller went on to explain several variances which will be required for the approval of the proposed building. Indication was given that on April 26, 2016, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. The ARB requested that the applicant provide a mansard roof structure extending from the mid-point of the building (denoted by a tower element on the East and West Building Elevations) to the front canopies adjacent to IH-30. The purpose of this request was to provide balance to the building while breaking up the monotony of the roofline. The applicant has stated that due to the cost of the requested improvements, they will not be able to accommodate the ARB's recommendation. On May 31, 2016, the ARB presented a recommendation to the Planning and Zoning Commission and stated that they did not support approval of the requested variances.

452 **Jeff Carroll**
453 **Carroll Architects**
454 **750 E. IH-30**
455 **Rockwall, TX**
456

457 **Mr. Carroll came forth (on behalf of the applicant) and explained the building elevations,**
458 **including proposed materials and the proposed plan for how each side of the building will**
459 **visually look. He generally explained that this location poses some challenges related to**
460 **grading, so the proposed facility is actually smaller than that which might otherwise be**
461 **proposed.**
462

463 **After brief dialogue, Councilmember Milder made a motion to approve SP2016-006,**
464 **including granting of all requested variances. Councilmember White seconded the motion.**
465 **The motion passed by a vote of 6 in favor with 1 absent (Townsend).**
466

467 **2. Discuss and consider a request from Mr. Jeff Gibbens with The Sign Doc**
468 **representing Goliad Dental for a height and setback variance for a**
469 **monument sign located at 703 S. Goliad, and take any action necessary.**

470 **Jeffrey Widmer, Building Official, came forth and briefed the Council on this agenda item.**
471 **After brief dialogue, Councilmember Lewis made a motion to approve the height and**
472 **setback related variances being requested. Mayor Pruitt seconded the motion, which**
473 **passed by a vote of 6 ayes with 1 absent (Townsend).**

474 **3. Discuss and consider a request for supplemental hotel occupancy tax (HOT)**
475 **funding for the Colbert Project, and take any action necessary.**

476 **Councilmember Scott Milder indicated that he will be recusing himself from this agenda**
477 **item because his wife serves on the board for the Colbert Project.**

478 **Assistant City Manager, Mary Smith, provided background information regarding this**
479 **agenda item. She explained that the City received a supplemental funding request for hotel**
480 **occupancy tax revenues from The Colbert Project. She shared that the request totals**
481 **\$49,564 and, according to the applicant, would be used for promotion of their annual**
482 **Firefighters Ball to be held at the Hilton on August 27th. She indicated that the City Council**
483 **Subcommittee has reviewed the application and request and is recommending funding in**
484 **the amount of \$12,500 for the event.**

485 **Mayor Pruitt provided comments, indicating that the future of the city's HOT funding may**
486 **very well be changed over the next couple of years since some of the concessions the city**
487 **has had in place will soon be expiring, and those funds will be coming back into the city. At**
488 **that time, the city will need to decide if it wants to move forward with establishing a**
489 **Convention Visitors Bureau (CVB), either in house or perhaps through the Chamber. So, he**
490 **encouraged all requesting organizations to begin weaning themselves off of city-provided**
491 **HOT funding because it may very likely go away within the next couple of years.**

492 **Mayor Pruitt made a motion to approve the supplemental funding request (as recommended**
493 **by the Council Subcommittee - an allocation of \$12,500). Councilmember Lewis seconded**
494 **the motion, which passed by a vote of 5 in favor, 1 recusal (Milder), and 1 absent**
495 **(Townsend).**

496 **4. Discuss and consider authorizing the City Manager to negotiate a contract**
497 **with Terracare Associates LP for municipal landscape maintenance services**
498 **in an amount not to exceed \$104,000 to be funded from the FY16 Parks &**
499 **Rec Operating Budget, and take any action necessary.**

500 **Assistant City Manager, Brad Griggs, provided background information concerning this**
501 **agenda item. He generally explained that the city had experienced some difficulties with**
502 **the low bidder who had previously been awarded the contract and had been performing**
503 **landscape maintenance services on behalf of the city. As a result, the city terminated the**
504 **contract, essentially for non-performance, and an interim contractor was brought in. Now,**
505 **the Council is being asked to consider authorizing the City Manager to negotiate a contract**
506 **with Terracare Associates LP for provision of these services.**

507 **Councilmember Lewis made a motion to authorize the City Manager to negotiate a contract**
508 **with Terracare Associates LP for municipal landscape maintenance services in an amount**
509 **not to exceed \$104,000. Councilmember Hohenshelt seconded the motion, which passed**
510 **unanimously of those present (6 ayes with 1 absent (Townsend)).**

511
512 **XIV. CITY MANAGER'S REPORT TO DISCUSS CURRENT CITY ACTIVITIES, UPCOMING MEETINGS,**
513 **FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.**
514

- 515 **1. Departmental Reports**
516 **Building Inspections Monthly Report - April 2016**
517 **Fire Dept. Monthly Reports - April 2016**
518 **Fire Marshal Division Monthly Report - April 2016**
519 **GIS Division Monthly Report - April 2016**
520 **Harbor PD Report - April 2016**
521 **Internal Operations Department Monthly Report - April 2016**
522 **Police Department Monthly Report - April 2016**
523 **Recreation Monthly Report - April 2016**
524 **Rockwall Animal Adoption Center Monthly Report - April 2016**

525 **2. City Manager's Report**

526 **City Manager Rick Crowley pointed out that work continues on improvements to FM-3549.**
527 **On the next meeting agenda, an item will be included for the Council to consider the curb**
528 **and median cut plan for this roadway. Between now and then, staff will be visiting with the**
529 **property owners along the roadway. He pointed out that a portion of this roadway is shared**
530 **by the City of Fate. Also, discussions will be taking place regarding whether or not the two**
531 **cities (Rockwall and Fate) might want to partner on some landscape enhancements along**
532 **FM-3549, similar to those on FM-740 and SH-205. He indicated that some state funding is**
533 **available to assist with this.**

534 **Mayor Pruitt briefly indicated that the Rockwall County Emergency Services Corporation**
535 **(ESC) is still negotiating an ambulance service contract. He shared that if negotiations do**
536 **not result in agreed upon terms, the ES Corp. may begin discussing going out for bid.**

537 **Mayor Pruitt announced that on July 7 at 7:00 p.m. at Utley Middle School, TXDOT will hold**
538 **a public meeting to give a presentation concerning the various route options for SH-205 all**
539 **the way from Terrell to Lavon. He shared that another meeting will be held on July 12 in**
540 **Terrell. He shared that no public input will be accepted, as it is an opportunity to provide**
541 **public information only.**

542 **Mayor Pruitt then congratulated the Parks Department, thanking them for all of their hard**
543 **work on recent events, such as Founders Day and the Butterfly Garden dedication. He**
544 **pointed out that the Butterfly Garden is located at Harry Myers Park, and a local Eagle Scout**
545 **took the lead on its construction. He thanked Tropical Johns for helping with donated**
546 **supplies for the garden project.**

547 He thanked the Soroptimist Group for its recent Country Fair event, which he indicated was
548 a success. He also thanked staff member, Joey Boyd, for a recent luncheon that was
549 hosted over the weekend at the Ralph M. Hall Municipal Airport.

550 There being no further items to discuss, Mayor Pruitt adjourned the meeting at 7:01 p.m.

551
552 **XV. EXECUTIVE SESSION**

553
554 **THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS**
555 **THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT**
556 **CODE:**

- 557
558 1. Discussion regarding the lease of land in the vicinity of the downtown area
559 pursuant to Section §551.072 (Real Property).
560 2. Discussion regarding potential land acquisition and right-of-way along Ridge
561 Road pursuant to Section §551.072 (Real Property).

562 **XVI. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

563
564 **XVII. ADJOURNMENT**

565
566 The Council did not reconvene in Executive Session at the close of the public meeting
567 agenda. The meeting was adjourned at 7:01 p.m.

568
569
570 **PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
571 **THIS 20th day of June, 2016.**

572
573
574
575 **ATTEST:** _____
576 **Jim Pruitt, Mayor**

577
578 _____
Kristy Cole, City Secretary

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CITY OF ROCKWALL

ORDINANCE NO. 16-43

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 82 (PD-82) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING AN 81.49-ACRE TRACT OF LAND IDENTIFIED AS TRACT 16 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Garrett Lust of Pointe Land & Development, LLC on behalf of Marvin Wu of West Union Investment, Co. for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on an 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the *Subject Property* shall be developed and/or used only in the manner and for the purposes described within this *Planned Development District Ordinance*, and unless specifically modified within this ordinance the *Subject Property* shall adhere to all development standards stipulated by the Single Family 10 (SF-10) District as specified in Section 3.4, *Single Family Residential (SF-10) District, of Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as hereto amended, as herein by granting of this zoning change, and as may be amended in the future;

Section 2. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 6(b) through 6(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Site Plan
 - (4) Preliminary Plat
 - (5) Final Plat
- (c) *Open Space Master Plan*. An *Open Space Master Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, (*Open Space Master Plan*) shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* application covering all of the *Subject Property* shall be submitted and shall identify each phase of the development. The *Master Plat* application shall not be approved until the *Open Space Master Plan* may be processed by the City concurrently with the *Master Plat Application*.
- (e) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features as depicted in *Exhibit 'C'* (*Park Concept Plan and Amenity Package*). A *PD Site Plan* application, including a plan for improvements for the parkland and/or trails, may be processed by the City concurrently with a *Preliminary Plat Application* for the development.
- (f) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application, including a plan for improvements for the parkland and/or trails as identified in Section 5 (d) above, may be processed by the City concurrently with a *PD Site Plan Application* for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

Section 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 20TH DAY OF JUNE, 2016.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: 06-06-2016

2nd Reading: 06-20-2016

Exhibit 'A':
Legal Description

FIELD NOTES

BEING an 81.49 acre tract of land situated in the J. RAMSEY SURVEY A-186 of Rockwall County, Texas and being a part of a once called 405 acre tract described in a deed recorded in Volume D Page 73 and being the same land as described in deed to James F. Wood, Trustee as recorded in Volume 122 Page 783 of the Rockwall County, Deed Records, said 81.49 acre tract being further described as follows;

BEGINNING at a nail set in the center of an existing public road on the East line of the Ramsey Survey and being about South 2874 feet from the Northeast corner of said Ramsey Survey and being the Southeast corner of that certain tract described in deed to Joe Smart as recorded in Volume 59 Page 509 of the Rockwall County, Deed Records from said nail a fence corner bears S 89 deg 39 min 28 sec W 40 feet;

THENCE S 00 deg 37 min 46 sec W along the center of said road and along the East line of the Ramsey Survey 1678.46 feet to the Southeast corner of said 405 acre tract and being the Northeast corner of the Ridge Haven Estates, subdivision as per plat recorded in Glide A 213 of the Rockwall County, Plat Records, from which a 3/8 inch iron rod was found to bear N 89 deg 19 min 38 sec W 29.58 feet;

THENCE N 89 deg 19 min 38 sec W along the North line of said Ridge Haven Estates and along an old fence 2133.00 feet to a fence corner found at the Southeast corner of a called 80.42 acre tract described in a deed to B.R. McClendon as recorded in Volume 91 Page 523 of the Rockwall County, Deed Records;

THENCE N 00 deg 12 min 45 sec East along the East line of said McClendon tract and along an old fence 1640.51 feet to a 1/2 inch iron rod found at a fence corner at an ell corner of that certain tract described in deed to Joe Smart as recorded in Volume 59 Page 511 of the Rockwall County, Deed Records;

THENCE N 89 deg 39 min 28 sec E along the South line of the Smart tracts 2145.25 feet to the point of beginning and containing 81.49 acres of land.

I do hereby certify this plat to be true and correct and to represent a ground survey completed November 17, 1987.

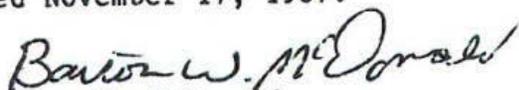
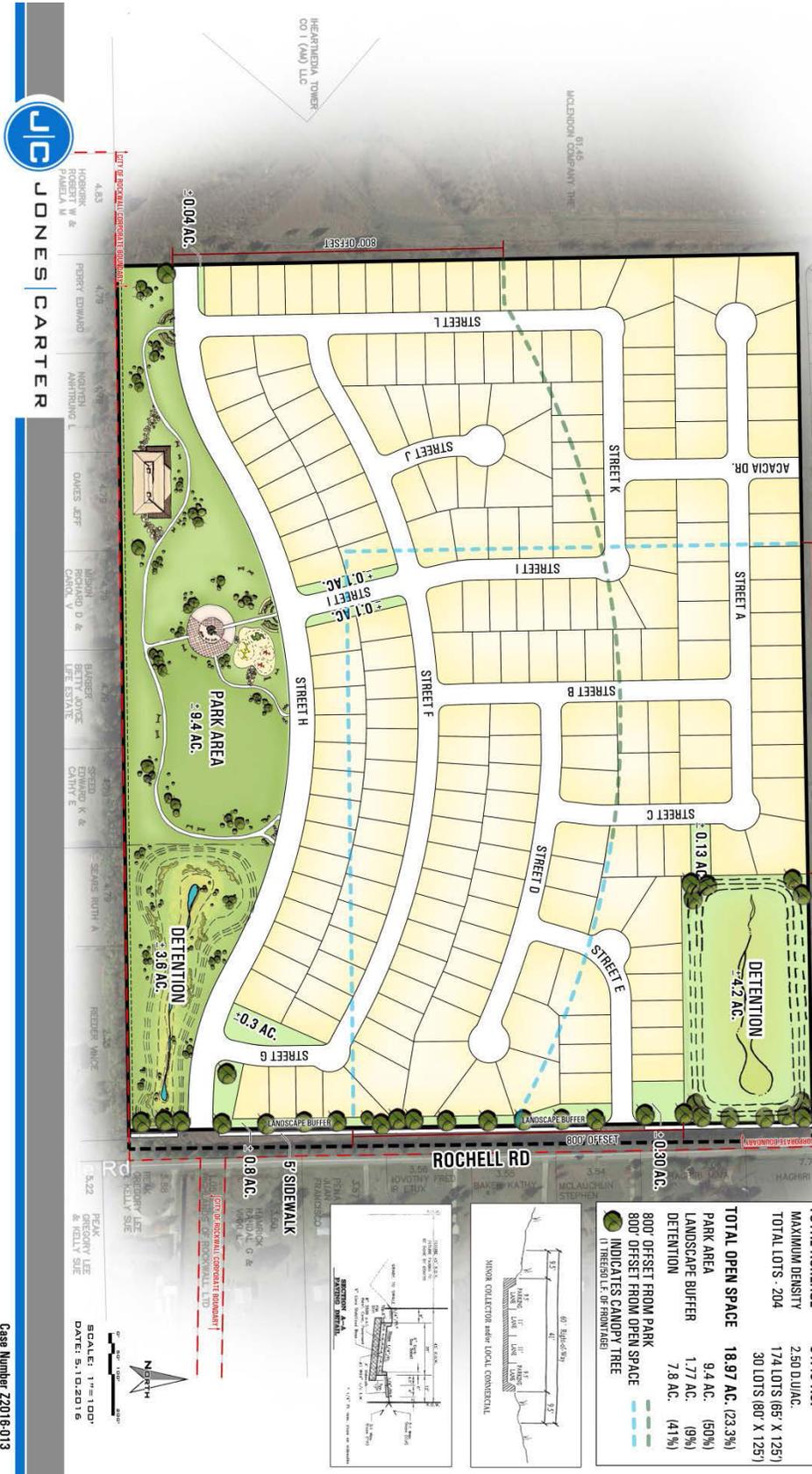

Barton W. McDonald
Registered Public Surveyor No. 4219

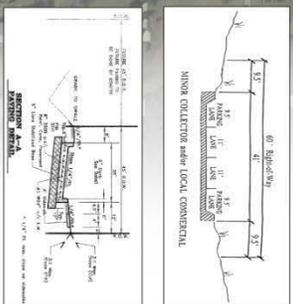
Exhibit 'B':
Concept Plan

TERRACINA ESTATES
A CONCEPT PLAN



LAND USE SUMMARY

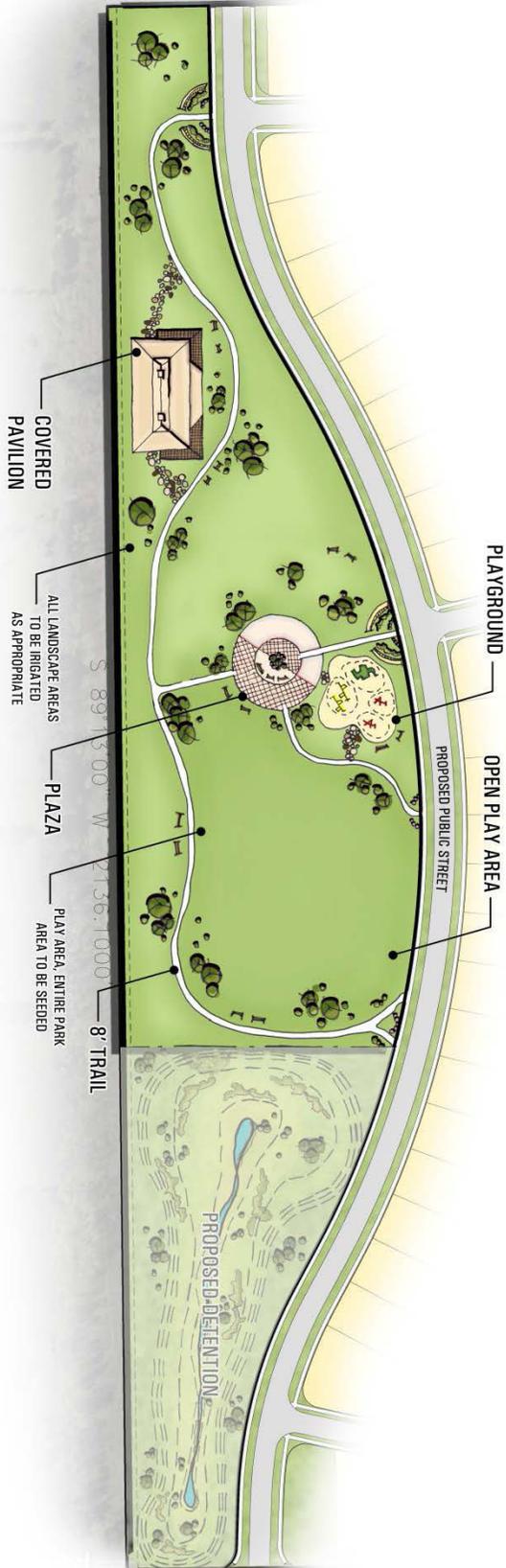
TOTAL ACREAGE	81.49 AC.
MAXIMUM DENSITY	2.50 D./U./AC.
TOTAL LOTS - 204	174 LOTS (85' X 125')
	30 LOTS (80' X 125')
TOTAL OPEN SPACE	18.97 AC. (23.3%)
PARK AREA	9.4 AC. (50%)
LANDSCAPE BUFFER	1.77 AC. (9%)
DETENTION	7.8 AC. (41%)
800' OFFSET FROM PARK	
800' OFFSET FROM OPEN SPACE	
INDICATES CANOPY TREE	
INDICATES CANOPY TREE	
INDICATES CANOPY TREE	



Case Number Z2016-013

Exhibit 'C':
Park Concept Plan

Terracina Estates
Park Concept Plan ± 9.0 AC



THIS PLAN HAS BEEN PREPARED USING SCHEMATIC DESIGN & ENGINEERING AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CLIENT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

DATE: 5.10.2016
SCALE: 1"=50'



Exhibit 'D':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Maximum Dwelling Units (#)	Dwelling Units (%)
A	65' x 125'	8,125 SF	174	85.29%
B	80' x 125'	10,000 SF	30	14.71%
<i>Maximum Permitted Units:</i>			204	100%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 204 dwelling units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

	<i>Lot Type (see Concept Plan) ►</i>	
	A	B
<i>Minimum Lot Width</i> ^{(1) & (5)}	65'	80'
<i>Minimum Lot Depth</i>	125'	125'
<i>Minimum Lot Area</i>	8,125 SF	10,000 SF
<i>Minimum Front Yard Setback</i> ⁽²⁾	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ⁽²⁾	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'
<i>Maximum Height</i> ⁽³⁾	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i>	1,800 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- ⁴: As measured from the rear yard property line.
- ⁵: Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

4. *Building Standards.* All development shall adhere to the following building standards:
 - (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone.

Exhibit 'D':
Development Standards

Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only.

(b) *Roof Pitch.* A minimum of a 6:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

(c) *Garage Orientation.* Garages maybe oriented toward the street in a front entry configuration; however, the front façade of the garage must be situated equal to or behind the front building façade of the primary structure. All garage configurations that are not front entry shall meet the requirements of Article IV, Parking and Loading, of the Unified Development Code. A minimum of 30% lots must incorporate a Swing, Traditional Swing, or J-Swing garage configuration. Swing, traditional Swing, or J-Swing garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the Swing configuration. All garage doors are required to be of cedar construction.

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	65' x 125'	(1), (2), (3), (4)
B	80' x 125'	(1), (2), (3), (4)

(1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and three (3) intervening homes of differing materials on the opposite side of the street.

(2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and three (3) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on Rochell Road shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (a) Number of Stories
- (b) Porch and/or Sunroom Type and Layout
- (c) Roof Type and Layout
- (d) Articulation of the Front Façade

(3) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Exhibit 'D':
Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.

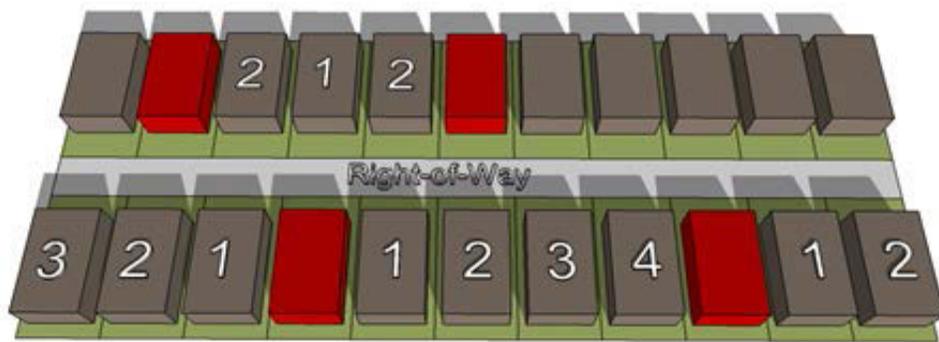
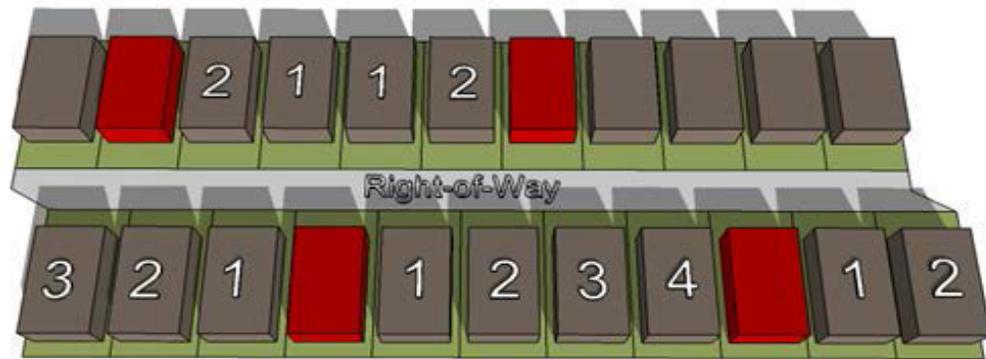


Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (c) **Corner Lots.** Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.

Exhibit 'D':
Development Standards

(d) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

(1) *Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this subdivision:

(a) *Canopy/Shade Trees*. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.

(b) *Accent/Ornamental/Under-Story Trees*. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.

(2) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

(a) *Landscape Buffer and Sidewalks (Rochell Road)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least one canopy tree shall be planted per 50 linear feet of frontage. A minimum of a five (5) foot sidewalk shall be required along Rochell Road.

(3) *Street Trees*. Street trees shall generally be planted in conformance with the *Planned Development Concept Plan* as depicted in *Exhibits 'B'* of this ordinance. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of a 14-foot vertical clearance height for all trees. All street trees shall be planted a minimum of five (5) feet from all water, sanitary sewer and storm lines.

(4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.

(5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.

8. *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

9. *Public Park Improvements*. The development shall incorporate a nine (9) acre, fully established natural turf (e.g. *seeding process*) and irrigated public park as generally

Exhibit 'D':
Development Standards

depicted in the *Planned Development Park Concept Plan of Exhibit 'C'* of this ordinance. This area shall also incorporate the following improvements:

- (a) 8-ft. concrete Hike & Bike trail
 - (b) Playground
 - (c) Plaza
 - (d) Covered Pavilion
 - (e) Picnic Area
 - (f) Benches
 - (g) Landscape features including trees and other vegetation
10. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
11. *Sidewalks.* At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3-phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
13. *Open Space.* The development shall consist of a minimum of 23.3% open space (*or 18.97-acres*), and generally conform to the *Planned Development Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).
14. *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
15. *Drainage Standards.* The development shall comply with existing drainage standards including the permissible spread of water in the streets and permissible gutter flow through intersections as outlined in the City of Rockwall's *Standards of Design and Construction (approved in August 2003 and updated in October 2007)*. The proposed drainage areas, flow patterns (*not lot to lot drainage*), and storm drain system that will be constructed shall be based on the City's drainage criteria and be identified on a *Conceptual Drainage Plan*, which shall be submitted with the *Civil Plans* at the time of *Engineering* submittal. The *Conceptual Drainage Plan* shall be reviewed and approved by the Engineering Department in compliance with engineering standards.

Exhibit 'D':
Development Standards

16. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.
17. *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

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CITY OF ROCKWALL COUNCIL MEMO

AGENDA DATE: 06/20/2016

APPLICANT: Cameron Slown of FC Cuny Corporation

AGENDA ITEM: **P2016-020** Final Plat for *Fontanna Ranch Phase II*

SUMMARY:

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Randal Currington of Fontanna Ranch Phase II, LP for the approval of a final plat for Phase II of the Fontanna Ranch Subdivision containing 49 single-family residential lots on a 19.167-acre tract of land identified as Tract 5 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 64 (PD-64) for Single Family 16 (SF-16) land uses, generally located east of FM-549 and south of SH-276, and take any action necessary.

PLAT INFORMATION:

- ✓ The objective of this request is to establish 49 single-family residential lots for the Fontanna Ranch, Phase II Subdivision. The property is zoned Planned Development District No. 64 (PD-64) which has an underlying zoning of Single Family 10 (SF-10) District for residential land uses and is generally located east of FM-549 and south of SH-276.
- ✓ the Preliminary Plat for Fontanna Ranch was reinstated in January of this year for the purpose of constructing Phase II. The proposed development complies with the Master Thoroughfare Plan showing the extension of Guadalupe Drive in an eastward fashion, eventually connecting with the currently proposed Terracina Estates *Street H* [see case Z2016-013] that extends to Rochell Road.
- ✓ On June 7, 2016, the Parks Board reviewed the *Final Plat* and made a recommendation to approve the plat with the following conditions:
 - a) Payment of cash in lieu of land fees is due at final plat approval in the amount of \$318.00 per lot (or \$15,582.00).
 - b) Payment of pro-rata equipment fees is due at final plat approval in the amount of \$446.00 per lot (or \$21,854.00).

NOTE: This condition has been added to the conditions of approval below.

- ✓ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions listed in the *Recommendations* section below.
- ✓ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the request for final plat, staff would recommend the following conditions of approval:

- 1) All staff comments (*Project Plan Review*) provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- 2) Adherence to Parks Board and Parks Department requirements for Park District No. 22 and 49 single family residential lots for Fontanna Ranch, Phase II.
- 3) Any construction resulting from the approval of this final plat shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

On June 14, 2016, the Planning and Zoning Commission's motion to recommended approval of the final plat passed by a vote of 6 to 0 with Commissioner Trowbridge absent.

City of Rockwall Project Plan Review History



Project Number P2016-020	Owner FONTANNA, RANCH LTD	Applied 5/16/2016 LM
Project Name Fontanna Ranch Phase II	Applicant FC CUNY CORPORATION	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 5/16/2016 LM

Site Address FM549	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision FONTANNA RANCH PH 1	Tract 5	Block NULL	Lot No 5	Parcel No 0186-0000-0005-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 2:37 PM AW) Engineering Comments on plat. Tie at least 2 corners of the property to City of Rockwall monumentation (x and y coordinates) Need to add minimum finished floor for all lots touching the detention/drainage easement (minimum 2' above 100 year water surface) Label the detention easement as detention/drainage easement Add note on plat: The property owner(s) are responsible for maintance, repair, and replacement of all the detention/drainage systems. 4% engineering fees Impact fees at building permit	Amy Williams	5/16/2016	5/23/2016	5/24/2016	8	COMMENTS	See Comments
ENGINEERING (6/2/2016 11:09 AM AW) Page 2 #7 add the word "owner's/HOA" after "Property"	Amy Williams	6/2/2016	6/9/2016	6/2/2016		COMMENTS	See Comment
ENGINEERING	Amy Williams	6/9/2016	6/16/2016	6/9/2016		APPROVED	
FIRE	Ariana Hargrove	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
FIRE	Ariana Hargrove	6/3/2016	6/10/2016	6/3/2016		APPROVED	
GIS (6/1/2016 1:28 PM LS) 1. Tie at least 2 corners of the property to City of Rockwall monumentation (x and y coordinates) Tx State Plane NAD83 (4202) & closure report. 2. Submit CAD .dwg of lots and street centerlines to the Planning or GIS dept so addressing can begin.	Lance Singleton	5/16/2016	5/23/2016	6/1/2016	16	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	5/16/2016	5/23/2016	5/19/2016	3 COMMENTS	See comments

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Randal Currington of Fontanna Ranch Phase II, LP for the approval of a final plat for Phase II of the Fontanna Ranch Subdivision containing 49 single-family residential lots on a 19.167-acre tract of land identified as Tract 5 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 64 (PD-64) for Single Family 16 (SF-16) land uses, generally located east of FM-549 and south of SH-276, and take any action necessary

The following staff comments are to be addressed and resubmitted no later than Tuesday, June 7, 2016. Please provide three large copies [18" X 24" FOLDED] and one PDF version for a subsequent review by staff:

1. Adherence to all Engineering and Fire Department standards shall be required.
2. Provide a label indicating "Case No. P2016-020" on the lower right corner on all pages of the revised plat.
3. Tie at least 2 corners to city monumentation and label as such.
4. Minimum 80-ft frontage required per PD-64 standards. The following lots are identified as not meeting the minimum 80-ft frontage. Indicate and label where the front building line will meet the 80-ft frontage requirement for each of the following lots or adjust lot lines accordingly to meet the 80-ft frontage: Lot 11 of Blk F, & Lot 6 of Blk H.
5. Provide a label for visibility clips. Provide detail.
6. Relabel Lot 24, Block F Open Space as "Drainage & Detention Easement."
7. Surveyor's Certificate - Notary not necessary when stamped by surveyor.
8. Fontanna Ranch Ph II located within Park District No. 22 - Parks Board meeting to be held on June 7th at 6:00 p.m. in the City's Council Chambers. Adherence to Parks Board recommendations.

** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **

Meeting Dates to Attend: Although it is not mandatory, staff would recommend that someone be present for all meetings scheduled below in the event there are questions from either P&Z, Parks Board or City Council. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Planning - Work Session: May 31st, 2016 (6:00 p.m.)

Parks Board - Action: June 7, 2016 (6:00 p.m.)

Planning - Action: June 14, 2016 (6:00 p.m.)

City Council - Action: June 20, 2016 (6:00 p.m.)

PLANNING	David Gonzales	6/1/2016	6/8/2016	6/1/2016	COMMENTS	See comments
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The following staff comments for the revised plans are to be addressed and resubmitted no later than Tuesday, June 14, 2016. Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a Final/subsequent review by staff:

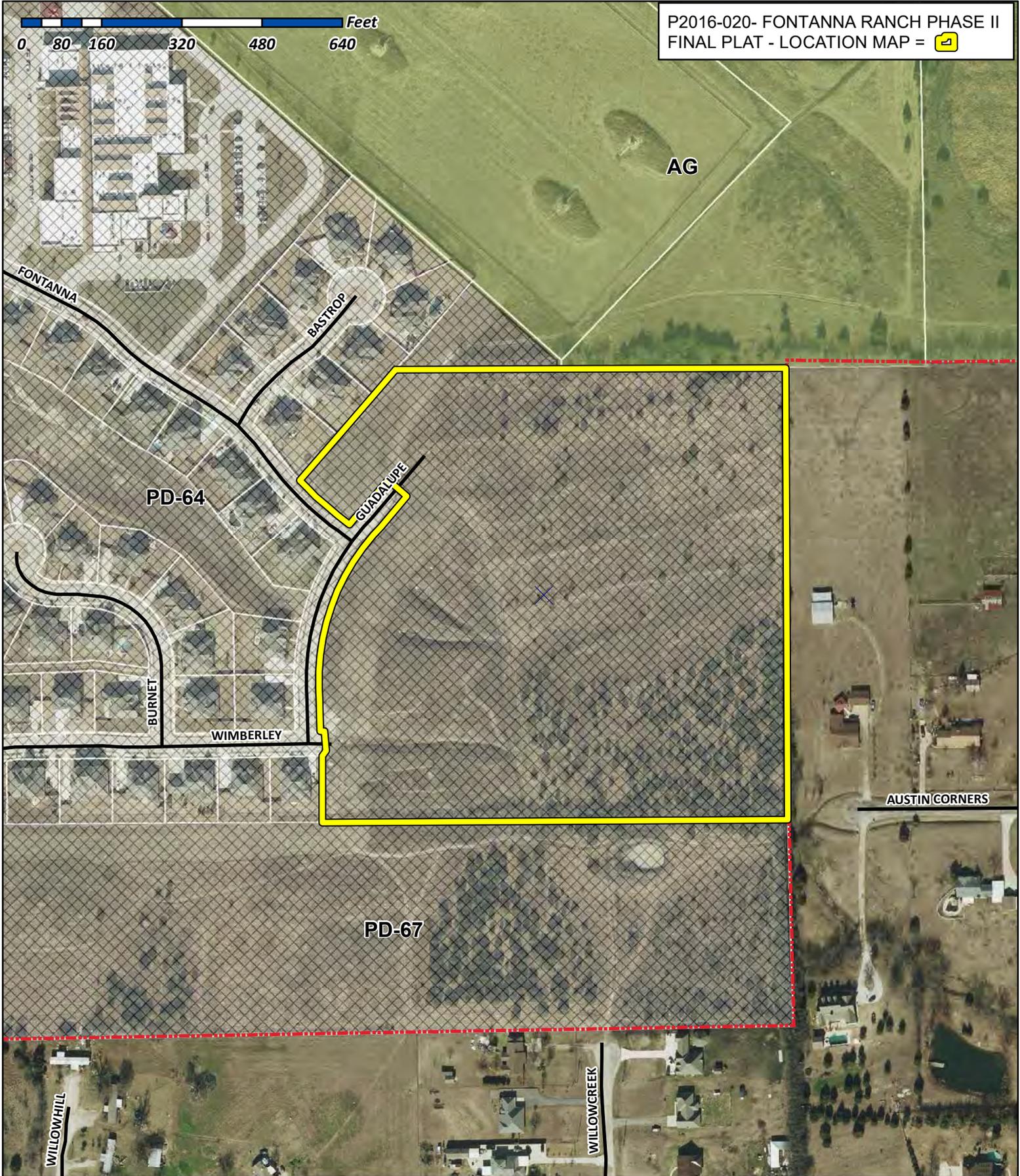
1. Adherence to all Engineering and Fire Department standards shall be required.
2. Provide the Surveyor's Certificate on page 2 - Notary not necessary when stamped by surveyor.

** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **						
Meeting Dates to Attend: Although it is not mandatory, staff would recommend that someone be present for all meetings scheduled below in the event there are questions from either P&Z, Parks Board or City Council. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Parks Board - Action: June 7, 2016 (6:00 p.m.)						
Planning - Action: June 14, 2016 (6:00 p.m.)						
City Council - Action: June 20, 2016 (6:00 p.m.)						
PLANNING	David Gonzales	6/9/2016	6/16/2016	6/9/2016	APPROVED	See Conditions
1. Adherence to all Engineering and Fire Department standards shall be required.						
** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **						
Meeting Dates to Attend: Although it is not mandatory, staff would recommend that someone be present for all meetings scheduled below in the event there are questions from either P&Z, or City Council. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Planning - Action: June 14, 2016 (6:00 p.m.)						
City Council - Action: June 20, 2016 (6:00 p.m.)						

0 80 160 320 480 640 Feet

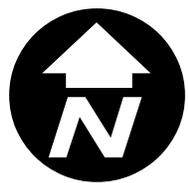
P2016-020- FONTANNA RANCH PHASE II
FINAL PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

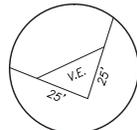
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

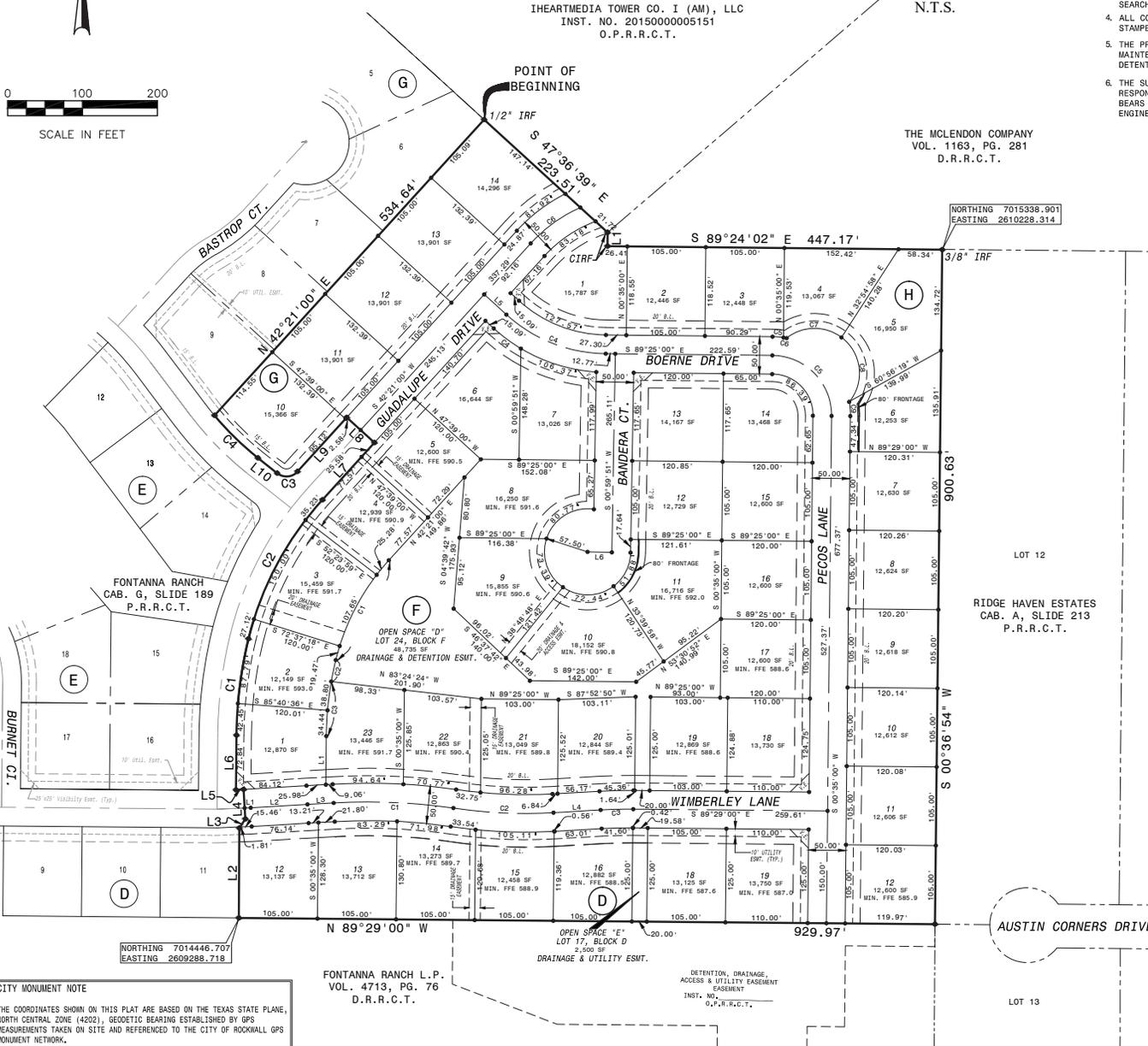
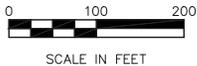
- IRF-IRON ROD FOUND
- CIRF-1/2" CAPPED IRON ROD WITH CAP STAMPED "POWELL" FOUND (TYP.)-TYPICAL
- VOL.-VOLUME
- PG.-PAGE
- CAB.-CABINET
- SF-SQUARE FEET
- V.E.-VISIBILITY EASEMENT
- ESMT.-EASEMENT
- D.R.R.C.T.-DEED RECORDS ROCKWALL COUNTY, TEXAS
- P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T.-OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



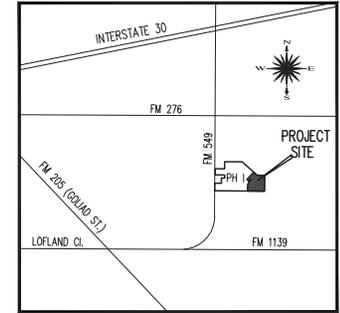
**VISIBILITY EASEMENT
DETAIL
N.T.S.**

IHEARTMEDIA TOWER CO. I (AM), LLC
INST. NO. 2015000005151
O.P.R.R.C.T.

THE MCLENDON COMPANY
VOL. 1163, PG. 281
D.R.R.C.T.



- NOTES:**
- FLOOD STATEMENT: ACCORDING TO MAP NO. 48397C0045 L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROPERTY IS IN ZONE "X1" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE SURVEYOR.
 - BASIS OF BEARING: THE BASIS OF BEARING FOR THIS SURVEY IS THE FINAL PLAT OF FONTANNA RANCH AS RECORDED IN CABINET G, SLIDE 189 P.R.R.C.T.
 - THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL CORNERS ARE A 5/8 INCH IRON ROD WITH CAP STAMPED "R.P.L.S. 5430" UNLESS OTHERWISE NOTED.
 - THE PROPERTY/LOT OWNER(S) ARE RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL THE DETENTION/DRAINAGE SYSTEMS.
 - THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.



**VICINITY MAP
N.T.S.**

LINE	BEARING	DISTANCE
L1	S 00°30'04" W	64.83'

LINE	BEARING	DISTANCE
L1	S 00°40'34" W	18.39'
L2	N 00°19'18" E	120.00'
L3	N 32°55'03" E	14.49'
L4	N 03°17'13" W	39.51'
L5	S 86°38'40" W	10.17'
L6	N 00°30'04" E	72.84'
L7	N 42°21'00" E	103.15'
L8	N 47°39'00" W	50.00'
L9	S 42°21'00" W	97.70'
L10	N 51°32'21" W	32.70'

LINE	BEARING	DISTANCE
L1	N 87°38'17" E	8.15'
L2	N 86°38'40" E	75.96'
L3	N 86°48'43" E	35.02'
L4	N 86°41'42" E	63.01'
L5	S 47°39'00" E	40.09'
L6	S 89°00'09" E	32.50'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	564.08'	13°13'44"	130.24'	N 07°06'56" E	129.95'
C2	425.00'	28°37'42"	212.35'	N 28°02'09" E	210.15'
C3	20.00'	86°06'39"	30.06'	S 85°24'20" W	27.31'
C4	400.00'	11°38'47"	81.31'	N 45°42'57" W	81.17'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	305.00'	28°37'42"	152.40'	S 28°02'09" W	150.82'
C2	444.08'	3°46'51"	29.30'	S 11°50'30" W	29.30'
C3	444.08'	9°27'01"	73.24'	S 05°13'34" W	73.16'
C4	225.00'	11°31'11"	45.24'	S 53°24'35" E	45.16'
C5	105.00'	8°03'05"	14.76'	N 85°23'27" W	14.74'
C6	105.00'	2°19'35"	4.26'	N 80°12'07" W	4.26'
C7	60.00'	75°11'04"	78.73'	S 89°18'17" W	73.20'
C8	60.00'	92°33'26"	96.93'	N 06°49'28" W	86.73'
C9	105.00'	10°22'40"	19.02'	N 04°36'20" W	18.99'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	800.00'	11°29'01"	160.34'	S 87°34'20" E	160.07'
C2	646.70'	11°52'59"	134.12'	S 87°21'21" E	133.88'
C3	655.00'	3°49'18"	43.69'	N 88°36'21" E	43.68'
C4	200.00'	41°46'00"	145.79'	S 68°32'00" E	142.59'
C5	80.00'	90°00'00"	125.66'	S 44°25'00" E	113.14'
C6	200.00'	23°36'34"	82.41'	S 54°09'17" W	81.83'

FINAL PLAT
FONTANNA RANCH PHASE II
 BLOCK D, LOTS 12-19, BLOCK F, LOTS 1-24,
 BLOCK G, LOTS 10-14, BLOCK H, LOTS 1-12
 BEING A 19.167 ACRE TRACT OF LAND SITUATED IN THE
 JOHN A. RAMSEY SURVEY, ABST. NO. 186
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SURVEYOR:
 MADDOX SURVEYING & MAPPING INC.
 P.O. BOX 2109
 FORNEY, TEXAS 75126
 (972) 564-4416
 CONTACT: JAY MADDOX
 Firm Registration No. 10013200

OWNER:
 FONTANNA RANCH PHASE II L.P.
 6750 Hillcrest Plaza Dr., Suite 325
 Dallas, Texas 75230
 (972) 386-3333

ENGINEER:
 F.C. CUNY CORP.
 #2 Horizon Court, Suite
 100 Heath, Texas 75032
 (469) 402-7700

CITY MONUMENT NOTE
 THE COORDINATES SHOWN ON THIS PLAT ARE BASED ON THE TEXAS STATE PLANE,
 NORTH CENTRAL ZONE (4202), GEODETIC BEARING ESTABLISHED BY GPS
 MEASUREMENTS TAKEN ON SITE AND REFERENCED TO THE CITY OF ROCKWALL GPS
 MONUMENT NETWORK.

FONTANNA RANCH L.P.
 VOL. 4713, PG. 76
 D.R.R.C.T.

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

I the undersigned owner of the land shown on this plat, and designated herein as the FONTANNA RANCH PHASE II to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the FONTANNA RANCH PHASE II addition have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall's West regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. The property owner(s)/HOA shall be responsible for maintenance, repair and replacement all of the detention/drainage systems.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My Commission Expires:

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS Fontanna Ranch Phase II, L.P. is the owner of a tract of land located in the John A. Ramsey Survey, Abstract No. 186, situated in Rockwall County, Texas, and embracing all of a tract of land to Fontanna Ranch Phase II, L.P. as recorded in Instrument Number 2015000018857 of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for the north corner of said Fontanna Ranch Phase II, L.P. tract and for the east corner of Lot 6, Block G, of Fontanna Ranch, an addition to The City of Rockwall as recorded in Cabinet G, Slide 169 of the Plat Records of Rockwall County, Texas, said point also lying on the southwest line of a tract of land to IHEARTMEDIA TOWER CO. I(AM), LLC as recorded in Instrument Number 20150000005151 Official Public Records Rockwall County, Texas;

THENCE South 47 degrees 36 minutes 39 seconds East along the common line of said Fontanna Ranch Phase II, L.P. tract and said IHEARTMEDIA tract a distance of 223.51 feet to a 1/2 inch iron rod with cap stamped "POWELL" found for the south corner of said IHEARTMEDIA tract and a west corner of a tract of land to McLendon Company as recorded in Volume 1183, Page 281 of the Deed Records of Rockwall County, Texas;

THENCE South 00 degrees 40 minutes 34 seconds West along the common line of said McLendon Company tract and said Fontanna Ranch Phase II, L.P. tract a distance of 18.39 feet to a 1/2 inch iron rod with cap stamped "POWELL" found for corner;

THENCE South 89 degrees 24 minutes 02 seconds East continuing along the common line of said McLendon Company tract and said Fontanna Ranch Phase II, L.P. tract a distance of 447.17 feet to a 3/8 inch iron rod found for the northeast corner of said Fontanna Ranch Phase II, L.P. tract;

THENCE South 00 degrees 36 minutes 54 seconds West along the east line of said Fontanna Ranch Phase II, L.P. tract a distance of 800.83 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the southeast corner of said Fontanna Ranch Phase II, L.P. tract same being the northeast corner of a tract of land to Fontanna Ranch L.P. as recorded in Volume 4713, Page 76 of the Deed Records of Rockwall County, Texas;

THENCE North 89 degrees 29 minutes 00 seconds West along the common line of said Fontanna Ranch Phase II, L.P. tract and said Fontanna Ranch L.P. tract a distance of 929.97 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for the southeast corner of Lot 11, Block D of said Fontanna Ranch Addition;

THENCE along the common line of said Fontanna Ranch Addition and said Fontanna Ranch Phase II, L.P. tract the following courses and distances;

North 00 degrees 19 minutes 18 seconds East a distance of 120.00 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 02 degrees 55 minutes 03 seconds East a distance of 14.49 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 03 degrees 17 minutes 13 seconds West a distance of 39.51 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

South 86 degrees 38 minutes 40 seconds West a distance of 10.17 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 00 degrees 30 minutes 04 seconds East a distance of 72.84 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 564.08 feet, a central angle of 13 degrees 13 minutes 44 seconds, an arc length of 130.24 feet, a chord bearing of North 07 degrees 06 minutes 56 seconds East a distance of 129.95 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner at the beginning of compound curve to the right;

With said compound curve continuing to the right having a radius of 425.00 feet, a central angle of 28 degrees 37 minutes 42 seconds, an arc length of 212.35 feet, a chord bearing of North 28 degrees 02 minutes 09 seconds East a distance of 210.15 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 42 degrees 21 minutes 00 seconds East a distance of 103.15 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 47 degrees 39 minutes 00 seconds West a distance of 50.00 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

South 42 degrees 21 minutes 00 seconds West a distance of 97.70 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 20.00 feet, a central angle of 86 degrees 06 minutes 39 seconds, an arc length of 30.06 feet, a chord bearing of South 85 degrees 24 minutes 20 seconds West a distance of 27.31 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 51 degrees 32 minutes 21 seconds West a distance of 32.70 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 400.00 feet, a central angle of 11 degrees 38 minutes 47 seconds, an arc length of 81.31 feet, a chord bearing of North 45 degrees 42 minutes 57 seconds West a distance of 81.17 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

North 42 degrees 21 minutes 00 seconds East a distance of 534.64 feet to the POINT OF BEGINNING containing 834,907 square feet, or 19,167 acres of land.

SURVEYORS CERTIFICATE

I, HEREBY CERTIFY, THAT I PREPARED THIS SURVEY PLAT SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND BY ME AND THAT ALL CORNERS ARE MARKED, AND THAT ALL DIMENSIONS SHOWN THEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND FURTHERMORE THERE ARE NO ENCROACHMENTS, PROTRUSIONS, IMPROVEMENTS, EASEMENTS, RIGHT-OF-WAY, OR 100 YEAR FLOOD PLAIN AFFECTING THE PROPERTY EXCEPT AS SHOWN THEREON.

WITNESS UNDER MY HAND THIS THE _____ DAY OF _____, 2016.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of FONTANNA RANCH PHASE II, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2016.

Mayor, City of Rockwall

City Secretary

City Engineer



FINAL PLAT
FONTANNA RANCH PHASE II

BLOCK D, LOTS 12-19, BLOCK F, LOTS 1-24,
BLOCK G, LOTS 10-14, BLOCK H, LOTS 1-12
BEING A 19.167 ACRE TRACT OF LAND SITUATED IN THE
JOHN A. RAMSEY SURVEY, ABST. NO. 186
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SURVEYOR: MADDOX SURVEYING & MAPPING INC.
OWNER: FONTANNA RANCH PHASE II, L.P.
ENGINEER: E.C. CUNY CORP.
P.O. BOX 2109, FORTNEY, TEXAS 75126
(972) 564-4416
CONTACT: JAY MADDOX
Firm Registration No. 10013200
May 31, 2016 1"=100'
CASE NO. (P2016-020)
Sheet 2 of 2

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/20/2016

APPLICANT: Noah Flabiano, *Skorburg Co.*

AGENDA ITEM: **P2016-028**; *Master Plat for the Ridgecrest Subdivision*

SUMMARY:

Discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a master plan/ open space plan for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

MASTER PLAT INFORMATION:

- The Ridgecrest Subdivision will consist of 45 single-family lots on 28.941-acres of land for an overall density of 1.55-units/acre. The development will incorporate a rural street cross section and larger front yard, building setback (*i.e. 40-foot*) to give the appearance of a bucolic or rural neighborhood setting. The development will also incorporate ~24.68% open space or 7.144-acres. A summary of the proposed density and dimensional requirements is as follows:

Table 2: Lot Dimensional Requirements

<i>Minimum Lot Width/Frontage</i>	<i>80'</i>
<i>Minimum Lot Depth</i>	<i>100'</i>
<i>Minimum Lot Area</i>	<i>15,000 SF</i>
<i>Minimum Front Yard Setback</i>	<i>40'</i>
<i>Minimum Side Yard Setback</i>	<i>5'</i>
<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	<i>10'</i>
<i>Minimum Length of Driveway Pavement</i>	<i>20'</i>
<i>Maximum Height</i>	<i>36'</i>
<i>Minimum Rear Yard Setback</i>	<i>10'</i>
<i>Minimum Area/Dwelling Unit (SF)</i>	<i>1,800 SF</i>
<i>Maximum Lot Coverage</i>	<i>65%</i>

- On June 8, 2016, the Parks Board reviewed the proposed master plat and open space plan and recommended the following:
 - 1) The City will accept dedication of Lot 14, Block A (*Open Space/Drainage Easement*) as a public parkland; and,
 - 2) The pro-rata equipment fees of \$54,225.00 (*i.e. 45 lots @ \$1,205.00*) maybe used to provide amenity in the proposed public parkland; and,
 - 3) The Parks Board will review a final amenity package at the time of final plat.

- ☑ The submitted master plat and open space plan conform to the concept plan and development standards contained in Planned Development District 81 (PD-81) [*Ordinance No. 16-42*], which was approved by the City Council on June 6, 2016 under *Case No. Z2016-014*. *In conjunction with the submittal of this master plat and open space plan, the applicant has submitted a preliminary plat (Case No. P2016-029).*
- ☑ The applicant has completed the majority of the technical revisions requested by staff, and this master plat, conforming to the requirements for *master plats* as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

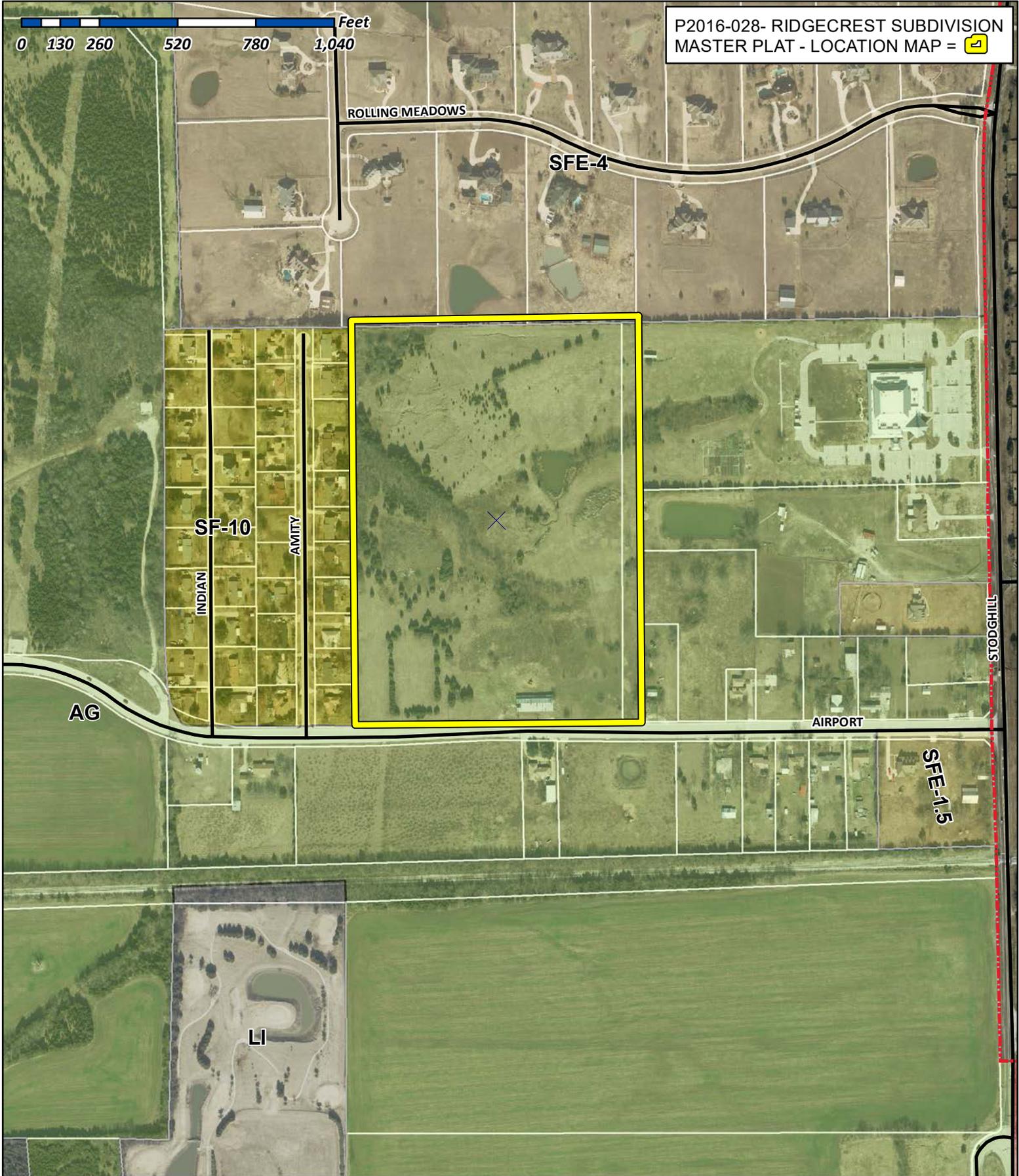
RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the master plat for the *Ridgecrest Subdivision* staff would recommend the following conditions:

- 1) The master plat shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) The applicant shall adhere to the recommendations made by the Parks Board (*stated above*);
- 3) Any construction resulting from the approval of this *master plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On June 14, 2016, the Planning and Zoning Commission approved a motion to recommend approval of the master plat and open space plan by a vote of 6-0, with Commissioner Trowbridge absent.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





June 9, 2016

Mr. Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Ridgecrest – Preliminary Plat (Phase Statement)

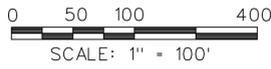
Mr. Miller,

Ridgecrest development located on Airport Rd will be developed in one single phase consisting of 45 single family units.

Best Regards,

A handwritten signature in blue ink, appearing to read "Noah Flabiano", with a long, sweeping horizontal line extending to the right.

Noah Flabiano



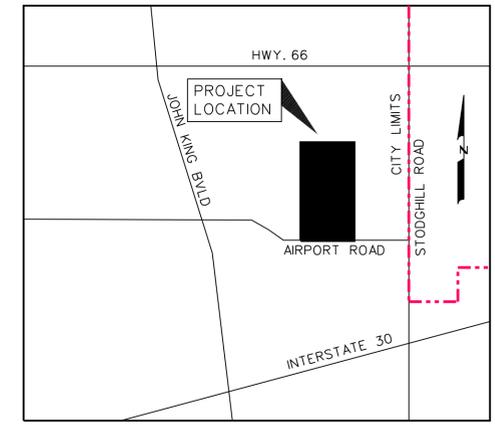
ROLLING MEADOWS ESTATES
CAB. D, SLIDE 59

NOTE:
EASTERN RED CEDARS TO
BE PLANTED EVERY 20' O.C.

LEGEND

TYPICAL LOT SIZES

- 90' X 180' - 45 LOTS
- OPEN SPACE/
LANDSCAPE BUFFER

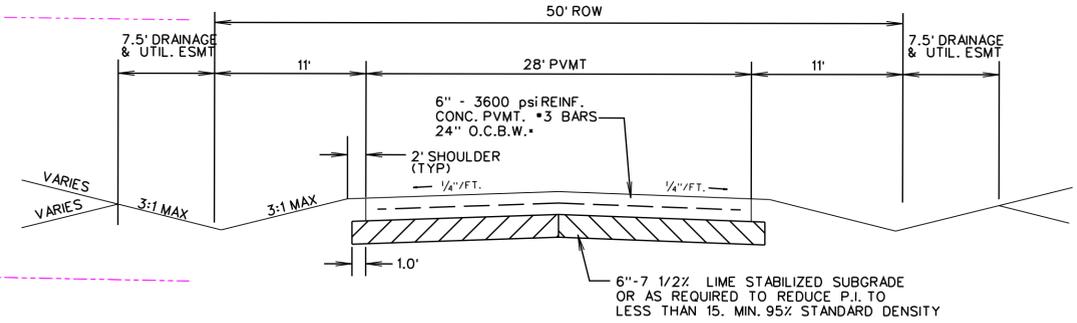


LOCATION MAP
N.T.S.

Infrastructure Statement

- Drainage Facilities:**
There are natural drainage ways within the project.
- Sanitary Sewer Facilities:**
There is an existing sanitary sewer line located on the north of the property.
- Water Facilities:**
There is an existing water main in Airport Road.
- Roadway Facilities:**
The south side is served by Airport Road.

LOT A BLOCK A
ROCKWALL LAKESIDE
CHURCH OF CHRIST ADDITION
CAB. F, PG. 72

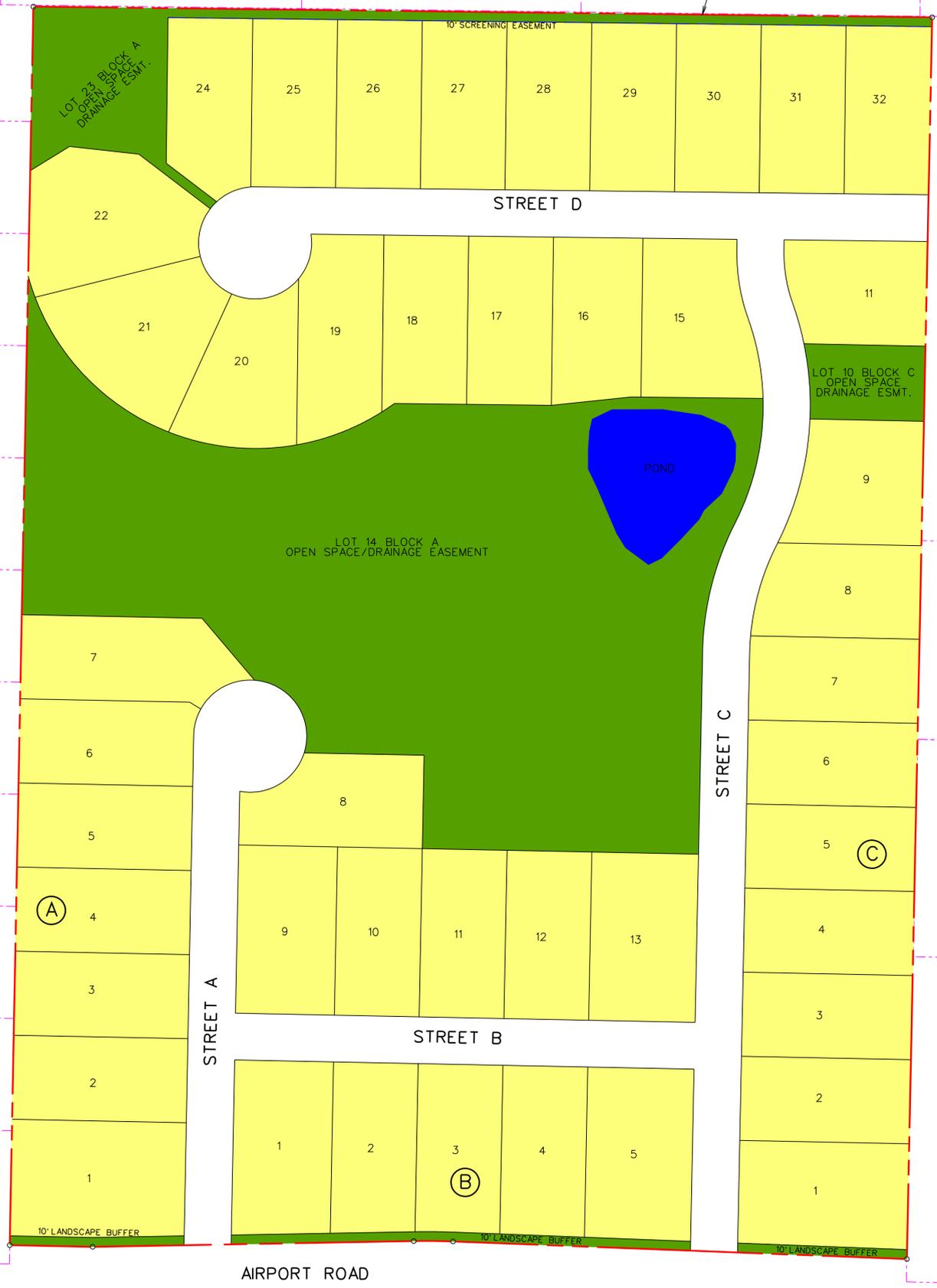


TYPICAL PAVEMENT SECTION
N.T.S.
*MIN. 6.5 SACK MIX IF HAND PLACED
6.0 SACK IF MACHINE PLACED

MARK E. PARKER
PROBATE CAUSE PR09-18

AMITY LANE
(60' R.O.W.)

GREENLEE ADDITION
CAB. A, SLIDE 151



TOTAL ACRES	<u>28.941</u>
TOTAL RESIDENTIAL LOTS	<u>45</u>
RESIDENTIAL DENSITY	<u>1.55</u>
ZONING: PD-81	

MASTER PLAT
OF
RIDGECREST
SITUATED IN THE
E.M. ELLIOTT SURVEY, ABSTRACT NO. 77
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APPLICANT
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225

MAY 2015 SCALE 1" = 100'

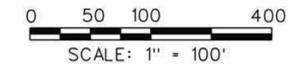
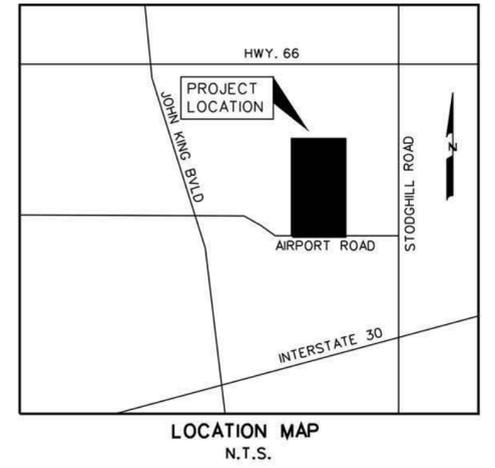
CASE #P2016-028

ROLLING MEADOWS ESTATES
CAB. D, SLIDE 59

NOTE:
EASTERN RED CEDARS TO
BE PLANTED EVERY 20' O.C.

Key

-  Trail
-  Park Bench
-  Waste Basket



TOTAL OPEN SPACE ACRES 7.144

OPEN SPACE PLAN
OF
RIDGECREST
SITUATED IN THE
E.M. ELLIOTT SURVEY, ABSTRACT NO. 77
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
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DALLAS, TEXAS 75225

MAY 2015 SCALE 1" = 100'

AMITY LANE
(60' R.O.W.)

GREENLEE ADDITION
CAB. A, SLIDE 151



LOT A BLOCK A
ROCKWALL LAKESIDE
CHURCH OF CHRIST ADDITION
CAB. F, PG. 72

MARK E. PARKER
PROBATE CAUSE PRO9-18

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/20/2016

APPLICANT: Noah Flabiano, *Skorburg Co.*

AGENDA ITEM: **P2016-029**; *Preliminary Plat for the Ridgecrest Subdivision*

SUMMARY:

Discuss and consider a request by Noah Flabiano of the Skorburg Company on behalf of the owner Lakeside Church of Christ of Rockwall for the approval of a preliminary plat for the Ridgecrest Subdivision containing 45 single-family residential lots on a 29.541-acre parcel of land being a portion of Lot 1 and all of Lot 2, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81), located on the north side of Airport Road, west of the intersection of Airport Road and FM-3549, and take any action necessary.

PRELIMINARY PLAT INFORMATION:

- The Ridgecrest Subdivision will consist of 45 single-family lots on 28.941-acres of land for an overall density of 1.55-units/acre. The development will incorporate a rural street cross section and larger front yard, building setback (*i.e. 40-foot*) to give the appearance of a bucolic or rural neighborhood setting. The development will also incorporate ~24.68% open space or 7.144-acres. A summary of the proposed density and dimensional requirements is as follows:

Table 2: Lot Dimensional Requirements

<i>Minimum Lot Width/Frontage</i>	<i>80'</i>
<i>Minimum Lot Depth</i>	<i>100'</i>
<i>Minimum Lot Area</i>	<i>15,000 SF</i>
<i>Minimum Front Yard Setback</i>	<i>40'</i>
<i>Minimum Side Yard Setback</i>	<i>5'</i>
<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	<i>10'</i>
<i>Minimum Length of Driveway Pavement</i>	<i>20'</i>
<i>Maximum Height</i>	<i>36'</i>
<i>Minimum Rear Yard Setback</i>	<i>10'</i>
<i>Minimum Area/Dwelling Unit (SF)</i>	<i>1,800 SF</i>
<i>Maximum Lot Coverage</i>	<i>65%</i>

- The purpose of the applicant's submittal is to preliminary plat all 45 single-family, residential lots and the 7.144-acres of private parkland and open space. In addition to the preliminary plat the applicant has also submitted a preliminary water, sanitary sewer and storm water plan establishing that the developer can provide adequate utilities to service the proposed development. *In conjunction with the submittal of this preliminary plat, the applicant has submitted a master plat and open space plan (Case No. P2016-028).*
- The submitted preliminary plat conforms to the concept plan and development standards contained in Planned Development District 81 (PD-81) [*Ordinance No. 16-42*], which was approved by the City Council on June 6, 2016 under *Case No. Z2016-014*.

- ☑ On June 8, 2016, the Parks Board reviewed the proposed preliminary plat and recommended the following:
 - 1) The City will accept dedication of Lot 14, Block A (*Open Space/Drainage Easement*) as a public parkland; and,
 - 2) The pro-rata equipment fees of \$54,225.00 (*i.e. 45 lots @ \$1,205.00*) maybe used to provide amenity in the proposed public parkland; and,
 - 3) The Parks Board will review a final amenity package at the time of final plat.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for *Preliminary Plats* as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the preliminary plat for the *Ridgecrest Subdivision* staff would recommend the following conditions of approval:

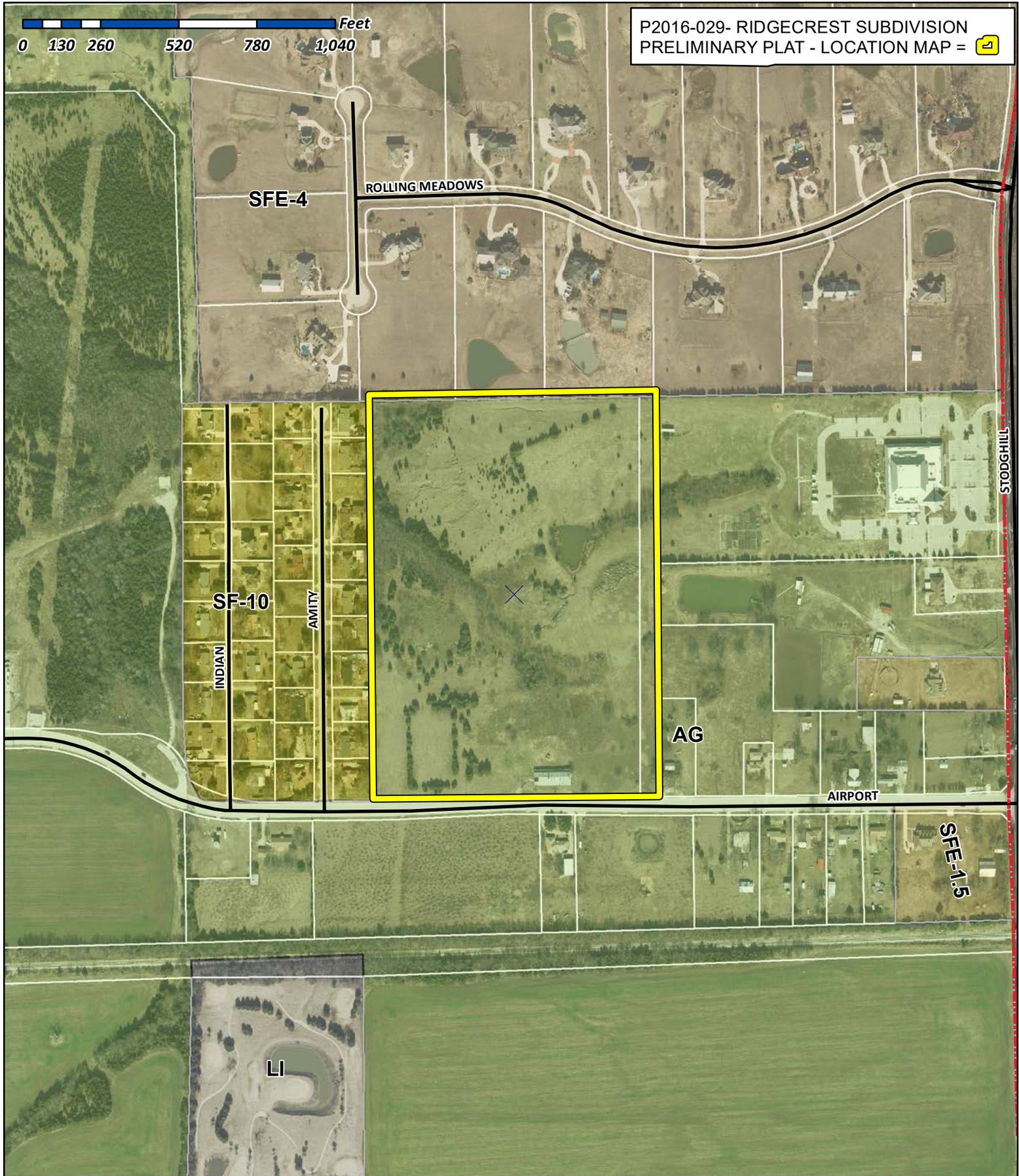
- 1) The preliminary plat shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) In conformance with Planned Development District 81 (PD-81) [*Ordinance No. 16-42*] a site plan shall be submitted and approved prior to the approval of a final plat;
- 3) A treescape plan for the entire development shall be submitted and approved prior to the issuance of any grading permits;
- 4) The preliminary plat shall conform to the recommendations made by the Parks Board; and,
- 5) Any construction resulting from the approval of this preliminary plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On June 14, 2016, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat by a vote of 6-0, with Commissioner Trowbridge absent.

0 130 260 520 780 1,040 Feet

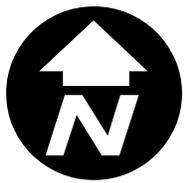
P2016-029- RIDGECREST SUBDIVISION
PRELIMINARY PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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June 9, 2016

Mr. Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Ridgecrest – Preliminary Plat (Subdivider’s Statement)

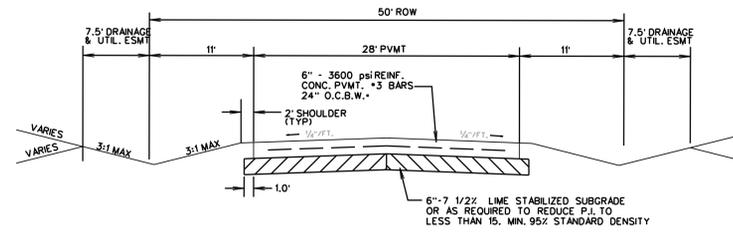
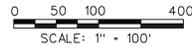
Mr. Miller,

In accordance with Section 38-8 (Preliminary Plat) of the City of Rockwall Code of Ordinances, the Breezy Hill Phase III development will comply with all the City ordinance requirements and conform to or exceed the standards for such improvements prescribed by the City.

Best Regards,

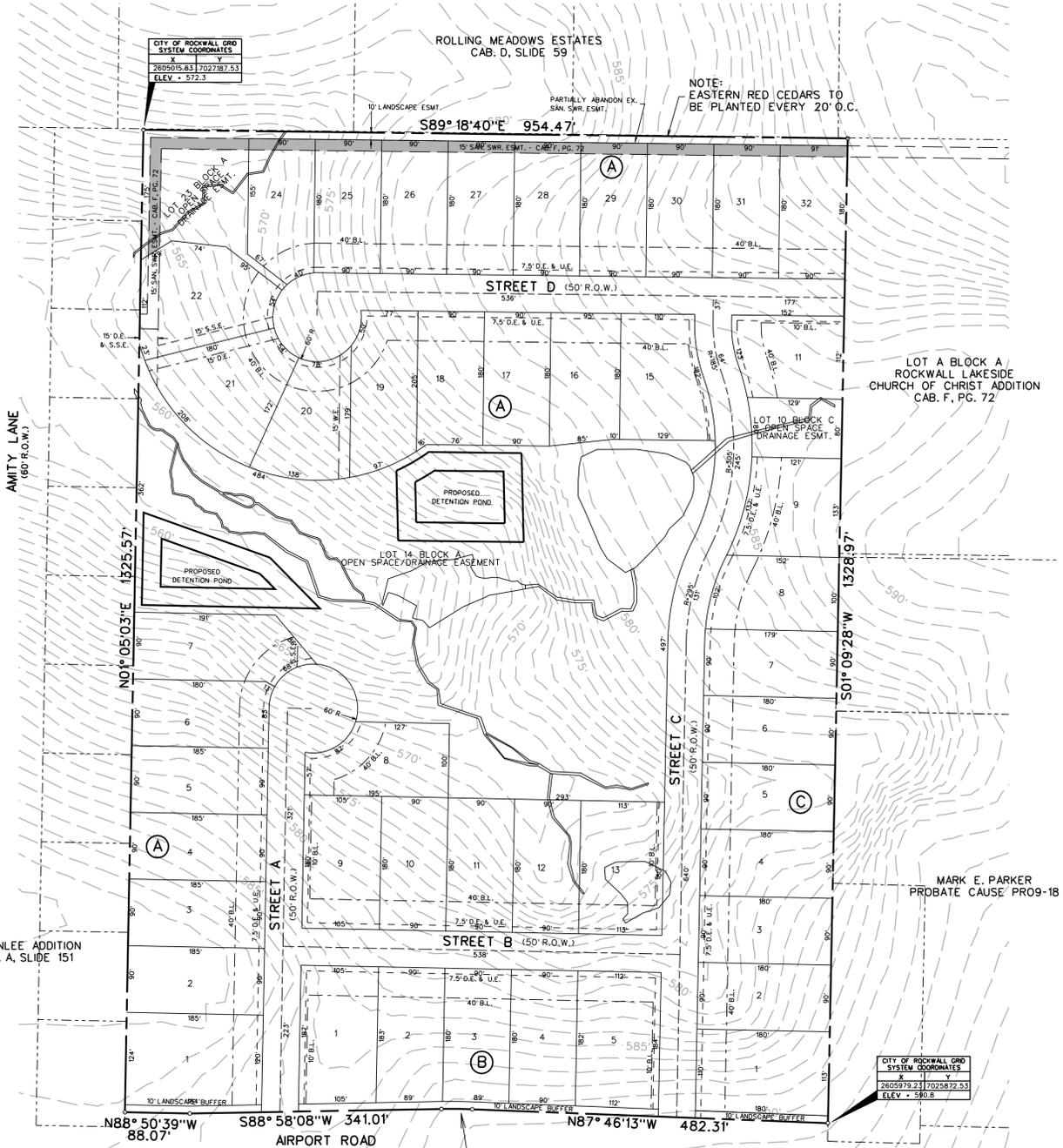
A handwritten signature in blue ink, appearing to read "Noah Flabiano", with a long horizontal flourish extending to the right.

Noah Flabiano



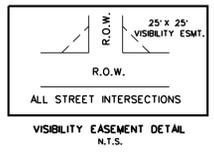
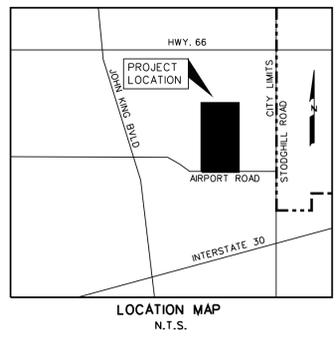
TYPICAL PAVEMENT SECTION
N.T.S.
*MIN. 6.5 SACK MIX IF HAND PLACED
6.0 SACK IF MACHINE PLACED

Reviewed for preliminary Approval: _____
Planning & Zoning Commission Chairman Date _____
Approved for Preparation of Final Plat: _____
Mayor, City of Rockwall Date _____



RIDGECREST							
Block A		Block A		Block B		Block C	
Lot	SF	Lot	SF	Lot	SF	Lot	SF
1	22888	23*	22502	1	19464	1	20105
2	16650	24	16224	2	16348	2	162020
3	16650	25	16200	3	16184	3	16202
4	16650	26	16200	4	16321	4	16202
5	16650	27	16200	5	20680	5	16202
6	16720	28	16200			6	16202
7	19622	29	16200			7	16198
8	17233	30	16200			8	16948
9	18900	31	16200			9	17580
10	16200	32	16307			10*	9913
11	16200					11	17553
12	16200						
13	20366						
14*	270057						
15	22111						
16	17100						
17	16200						
18	16685						
19	19216						
20	18594						
21	24428						
22	19245						

* Indicates Common Area



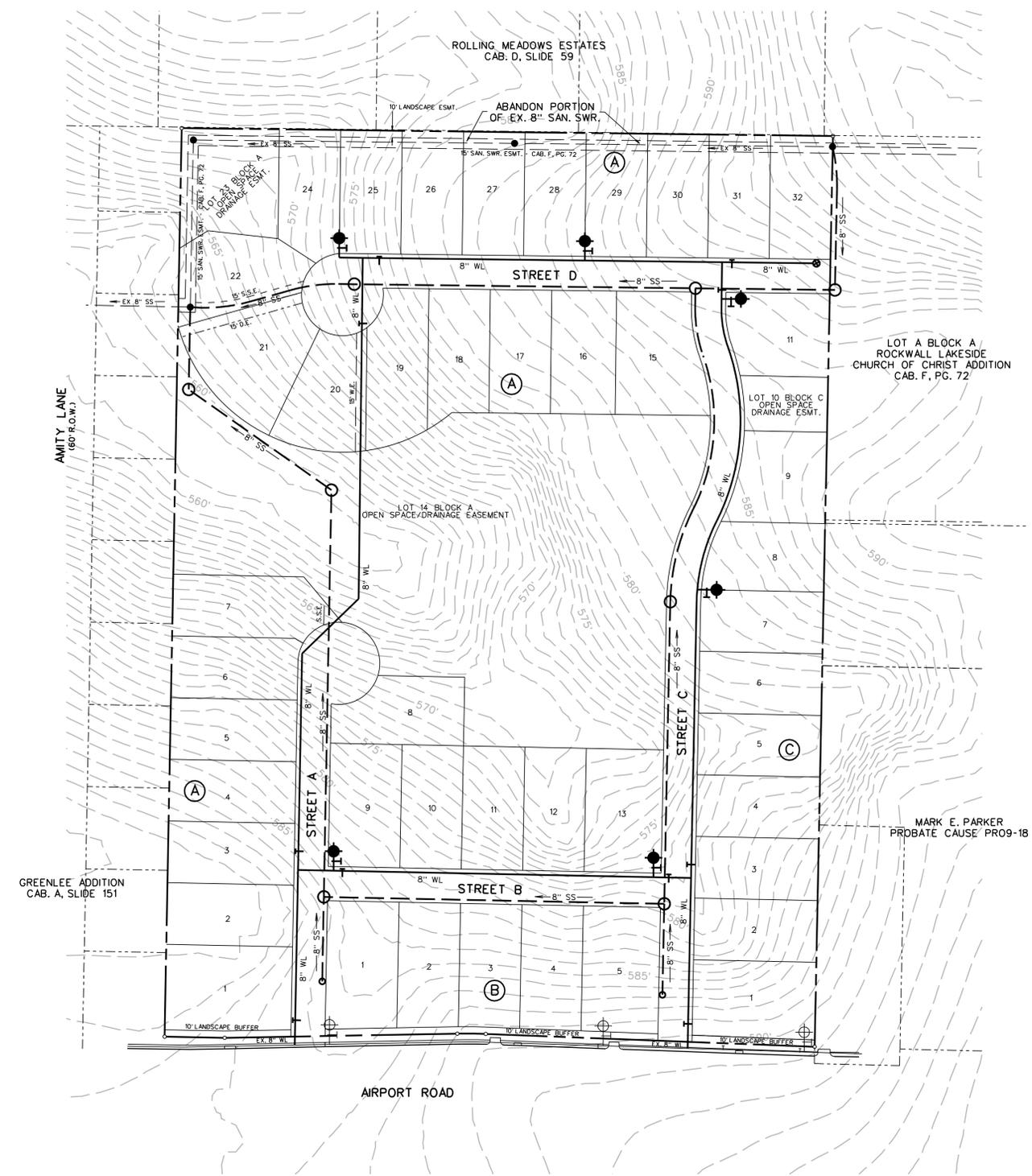
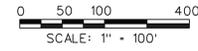
NOTE:
ALL OPEN SPACE AREAS WILL
BE MAINTAINED BY THE HOA.

PRELIMINARY PLAT
OF
RIDGECREST
SITUATED IN THE
E.M. ELLIOTT SURVEY, ABSTRACT NO. 77
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
APPLICANT
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
MAY 2015 SCALE 1" = 100'

TOTAL ACRES 28.941
TOTAL RESIDENTIAL LOTS 45
RESIDENTIAL DENSITY 1.55

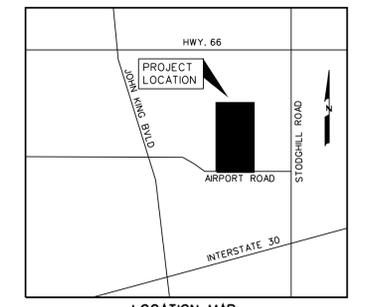
LEGEND
B.L. - BUILDING LINE
U.E. - UTILITY EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
D.E. - DRAINAGE EASEMENT
R.O.W. - RIGHT OF WAY
H.O.A. - HOMEOWNERS ASSOCIATION

Δ = 03° 15' 38"
R = 732.50'
T = 20.85'
L = 41.69'
C = 41.68'
B = N89° 24' 02" W



LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- EXIST. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL



PRELIMINARY
WATER & SANITARY SEWER PLAN
OF
RIDGECREST
SITUATED IN THE
E.M. ELLIOTT SURVEY, ABSTRACT NO. 77
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
APPLICANT
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
MAY 2015 SCALE 1" = 100'

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager

FROM: Timothy M. Tumulty, P.E., Director of Public Works/City Engineer

DATE: June 14, 2016

SUBJECT: North Water Line Improvements – CIP2013-003

This project consists of installation of approximately 4,400 linear feet of 8-inch PVC water line, miscellaneous pavement replacement, and culvert installation on Jackson Street, Kernodle Street, Parks Avenue and Lilian Street. These new 8-inch water line installations will replace existing 2-inch and 6-inch water lines that are past their service life.

The City hired Binkley & Barfield | C&P consulting engineers to provide the engineering design and specifications for this project. Five (5) bids were received and opened on June 2, 2016. The low bidder is Reytech Services, LLC with a Bid of \$746,704.61. The engineering consultant has verified the Reytech Services, LLC. references and provided a letter of recommendation. Funding will be provided through the 2015 Water & Sewer Bonds.

Staff requests City Council consider approval of the North Water Improvements Project and authorize the City Manager to execute a contract with Reytech Services, LLC. in an amount of \$746,704.61 and take any action necessary.

TMT:jw

Attachments

Cc: Mary Smith, Assistant City Manager
Amy Williams, P.E. Assistant City Engineer
Jeremy White, P.E., CFM, Civil Engineer
Rick Sherer, Manager Water/Wastewater
File

North Water Improvements CIP 2013-03

Bid Opening: 6/2/16

Item	Description	Units	Bid Quantity	Raytech Services		Canary Construction		Wilson Contractor		Barson Utilities		Dowager Utility Construction		Engineer's Estimate													
				Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total												
1	MOBILIZATION (NOT TO EXCEED 5%)	LS	1	\$37,100.00	\$37,100.00	\$32,000.00	\$32,000.00	\$36,000.00	\$36,000.00	\$25,000.00	\$25,000.00	\$40,000.00	\$40,000.00	\$50,000.00	\$50,000.00												
2	REMOVE CONCRETE STREET PAVEMENT	SY	304	\$9.34	\$2,839.36	\$22.00	\$6,688.00	\$25.00	\$7,600.00	\$22.00	\$6,688.00	\$20.00	\$6,080.00	\$12.00	\$3,648.00												
3	REMOVE CONCRETE DRIVEWAY	SY	670	\$8.87	\$5,942.90	\$22.00	\$14,740.00	\$25.00	\$16,750.00	\$23.00	\$15,410.00	\$20.00	\$13,400.00	\$12.00	\$8,040.00												
4	REMOVE ASPHALT DRIVEWAY	SY	64	\$8.26	\$528.64	\$22.00	\$1,408.00	\$30.00	\$1,920.00	\$18.00	\$1,152.00	\$20.00	\$1,280.00	\$15.00	\$960.00												
5	REMOVE CONCRETE SIDEWALK	SY	123	\$5.91	\$726.93	\$22.00	\$2,706.00	\$40.00	\$4,920.00	\$22.00	\$2,706.00	\$20.00	\$2,460.00	\$10.00	\$1,230.00												
6	REMOVE DRIVEWAY CULVERT (12" CMP, 12" RCP, 18" RCP)	LF	209	\$7.90	\$1,651.10	\$22.00	\$4,598.00	\$35.00	\$7,315.00	\$10.00	\$2,090.00	\$20.00	\$4,180.00	\$18.00	\$3,762.00												
7	REMOVE & SALVAGE EX. FIRE HYDRANT	EA	1	\$594.00	\$594.00	\$500.00	\$500.00	\$1,000.00	\$1,000.00	\$450.00	\$450.00	\$800.00	\$800.00	\$600.00	\$600.00												
8	REMOVE & RESET SIGN	EA	9	\$293.00	\$2,637.00	\$75.00	\$675.00	\$50.00	\$450.00	\$100.00	\$900.00	\$200.00	\$1,800.00	\$500.00	\$4,500.00												
9	REMOVE & RESET BRICK MAILBOX	EA	1	\$1,255.00	\$1,255.00	\$300.00	\$300.00	\$1,000.00	\$1,000.00	\$500.00	\$500.00	\$1,200.00	\$1,200.00	\$1,200.00	\$1,200.00												
10	REMOVE & RESET MAILBOX	EA	4	\$198.00	\$792.00	\$150.00	\$600.00	\$50.00	\$200.00	\$100.00	\$400.00	\$200.00	\$800.00	\$250.00	\$1,000.00												
11	REMOVE & REPLACE ASPHALT STREET PAVEMENT (FOR STREET CROSSINGS) (6")	SY	225	\$77.34	\$17,401.50	\$55.00	\$12,375.00	\$105.00	\$23,625.00	\$49.00	\$11,025.00	\$80.00	\$18,000.00	\$60.00	\$13,500.00												
12	REMOVE & REPLACE REINFORCED CONCRETE CURB & GUTTER	LF	110	\$22.68	\$2,494.80	\$55.00	\$6,050.00	\$47.00	\$5,170.00	\$40.00	\$4,400.00	\$40.00	\$4,400.00	\$35.00	\$3,850.00												
13	REMOVE & REPLACE GRAVEL DRIVEWAY (6")	SY	30	\$15.75	\$472.50	\$35.00	\$1,050.00	\$7.00	\$210.00	\$30.00	\$900.00	\$40.00	\$1,200.00	\$25.00	\$750.00												
14	REMOVE & REPLACE STONE SIDEWALK	SY	6	\$134.37	\$806.22	\$250.00	\$1,500.00	\$50.00	\$300.00	\$100.00	\$600.00	\$50.00	\$300.00	\$80.00	\$480.00												
15	CONSTRUCT 8" REINFORCED CONCRETE PAVEMENT (W/MONO CURB WHERE REQUIRED)	SY	246	\$63.57	\$15,638.22	\$40.00	\$9,840.00	\$70.00	\$17,220.00	\$77.00	\$18,942.00	\$80.00	\$19,680.00	\$55.00	\$13,530.00												
16	CONSTRUCT 10" REINFORCED CONCRETE PAVEMENT (W/MONO CURB WHERE REQUIRED)	SY	58	\$81.62	\$4,733.96	\$50.00	\$2,900.00	\$92.00	\$5,336.00	\$87.00	\$5,046.00	\$100.00	\$5,800.00	\$80.00	\$4,640.00												
17	CONSTRUCT 4" REINFORCED CONCRETE SIDEWALK	SY	127	\$41.64	\$5,288.28	\$20.00	\$2,540.00	\$39.00	\$4,953.00	\$45.00	\$5,715.00	\$50.00	\$6,350.00	\$54.00	\$6,858.00												
18	CONSTRUCT 6" REINFORCED CONCRETE DRIVEWAY	SY	735	\$55.93	\$41,108.55	\$32.00	\$23,520.00	\$75.00	\$55,125.00	\$70.00	\$51,450.00	\$60.00	\$44,100.00	\$50.00	\$36,750.00												
19	CONSTRUCT TxDOT CURB RAMP (TYPE 7)	EA	1	\$1,348.00	\$1,348.00	\$1,500.00	\$1,500.00	\$1,250.00	\$1,250.00	\$2,500.00	\$2,500.00	\$1,800.00	\$1,800.00	\$800.00	\$800.00												
20	CONSTRUCT TxDOT CURB RAMP (TYPE 5)	EA	1	\$1,348.00	\$1,348.00	\$1,600.00	\$1,600.00	\$1,250.00	\$1,250.00	\$2,500.00	\$2,500.00	\$1,500.00	\$1,500.00	\$1,300.00	\$1,300.00												
21	INSTALL 12" RCP CLASS IV CULVERTS	LF	348	\$45.52	\$15,840.96	\$55.00	\$19,140.00	\$45.00	\$15,660.00	\$110.00	\$38,280.00	\$40.00	\$13,920.00	\$40.00	\$13,920.00												
22	SAWCUT (FULL DEPTH)	LF	3,510	\$0.75	\$2,632.50	\$6.00	\$21,060.00	\$7.00	\$24,570.00	\$2.25	\$7,897.50	\$6.00	\$21,060.00	\$4.00	\$14,040.00												
23	8" C900 PVC CLASS 200 (DR 14) WATERLINE INCLUDING CONNECTIONS, FITTINGS, EMBEDMENT, BA	LF	4,599	\$40.68	\$187,087.32	\$50.00	\$229,950.00	\$59.50	\$273,640.50	\$63.00	\$289,737.00	\$67.00	\$308,133.00	\$45.00	\$206,955.00												
24	8" C900 PVC CLASS 200 (DR 14) WATERLINE (BY BORE) (TREE AREAS)	LF	120	\$197.00	\$23,640.00	\$150.00	\$18,000.00	\$86.00	\$10,320.00	\$96.00	\$11,520.00	\$200.00	\$24,000.00	\$90.00	\$10,800.00												
25	12" C900 PVC CLASS 200 (DR 14) WATERLINE INCLUDING CONNECTIONS, FITTINGS, EMBEDMENT, BA	LF	22	\$77.96	\$1,715.12	\$190.00	\$4,180.00	\$235.00	\$5,170.00	\$100.00	\$2,200.00	\$250.00	\$5,500.00	\$80.00	\$1,760.00												
26	8" WATER BY OTHER THAN OPEN CUT WITH 18" CASING PIPE (TxDOT CROSSING)	LF	40	\$135.00	\$5,400.00	\$200.00	\$8,000.00	\$280.00	\$11,200.00	\$375.00	\$15,000.00	\$260.00	\$10,400.00	\$100.00	\$4,000.00												
27	8" RESILIENT SEAT GATE VALVE	EA	24	\$1,724.00	\$41,376.00	\$1,500.00	\$36,000.00	\$1,625.00	\$39,000.00	\$2,100.00	\$50,400.00	\$1,400.00	\$33,600.00	\$2,000.00	\$48,000.00												
28	6" RESILIENT SEAT GATE VALVE	EA	12	\$1,168.00	\$14,016.00	\$1,000.00	\$12,000.00	\$1,140.00	\$13,680.00	\$1,700.00	\$20,400.00	\$1,200.00	\$14,400.00	\$1,000.00	\$12,000.00												
29	20" X 8" TAPPING SLEEVE & VALVE	EA	1	\$14,692.00	\$14,692.00	\$7,500.00	\$7,500.00	\$5,500.00	\$5,500.00	\$5,208.00	\$5,208.00	\$5,000.00	\$5,000.00	\$8,000.00	\$8,000.00												
30	16" X 12" TAPPING SLEEVE & VALVE	EA	1	\$8,360.00	\$8,360.00	\$5,500.00	\$5,500.00	\$4,610.00	\$4,610.00	\$5,985.00	\$5,985.00	\$5,000.00	\$5,000.00	\$6,500.00	\$6,500.00												
31	12" X "12" TAPPING SLEEVE & VALVE	EA	1	\$6,077.00	\$6,077.00	\$4,500.00	\$4,500.00	\$4,233.00	\$4,233.00	\$5,562.00	\$5,562.00	\$4,000.00	\$4,000.00	\$6,000.00	\$6,000.00												
32	8" X 8" TAPPING SLEEVE & VALVE	EA	6	\$4,208.00	\$25,248.00	\$3,800.00	\$22,800.00	\$2,495.00	\$14,970.00	\$4,244.00	\$25,464.00	\$3,000.00	\$18,000.00	\$4,500.00	\$27,000.00												
33	6" X 6" TAPPING SLEEVE & VALVE	EA	4	\$3,383.00	\$13,532.00	\$3,200.00	\$12,800.00	\$1,960.00	\$7,840.00	\$3,563.00	\$14,252.00	\$2,600.00	\$10,400.00	\$3,000.00	\$12,000.00												
34	FIRE HYDRANT w/ 6" LEAD	EA	12	\$4,285.00	\$51,420.00	\$4,500.00	\$54,000.00	\$3,102.00	\$37,224.00	\$4,726.00	\$56,712.00	\$4,000.00	\$48,000.00	\$3,200.00	\$38,400.00												
35	1" POLY WATER SERV. INCL FITTINGS & NEW METER BOX (SHORT SIDE)	EA	27	\$806.00	\$21,762.00	\$950.00	\$25,650.00	\$680.00	\$18,360.00	\$735.00	\$19,845.00	\$700.00	\$18,900.00	\$800.00	\$21,600.00												
36	1" POLY WATER SERV. INCL FITTINGS & NEW METER BOX BY OTHER THAN OPEN CUT (LONG SIDE)	EA	31	\$1,033.00	\$32,023.00	\$1,650.00	\$51,150.00	\$1,840.00	\$57,040.00	\$769.00	\$23,839.00	\$1,000.00	\$31,000.00	\$1,200.00	\$37,200.00												
37	CUT & PLUG EXISTING WATER (2"/6"/8")	EA	16	\$868.00	\$13,888.00	\$1,500.00	\$24,000.00	\$396.00	\$6,336.00	\$995.00	\$15,920.00	\$200.00	\$3,200.00	\$700.00	\$11,200.00												
38	CONNECT TO EXIST WATER MAIN (6"/8")	EA	10	\$841.00	\$8,410.00	\$1,650.00	\$16,500.00	\$550.00	\$5,500.00	\$482.00	\$4,820.00	\$2,000.00	\$20,000.00	\$800.00	\$8,000.00												
39	CONNECT TO EXIST 2" WATER MAIN	EA	1	\$485.00	\$485.00	\$800.00	\$800.00	\$310.00	\$310.00	\$337.00	\$337.00	\$300.00	\$300.00	\$500.00	\$500.00												
40	ABANDON EXISTING VALVES (6"/8")	EA	14	\$202.00	\$2,828.00	\$450.00	\$6,300.00	\$350.00	\$4,900.00	\$75.00	\$1,050.00	\$200.00	\$2,800.00	\$800.00	\$11,200.00												
41	TCEQ CROSSING - 20 LF 18" CASING PIPE	EA	2	\$2,688.00	\$5,376.00	\$3,000.00	\$6,000.00	\$3,840.00	\$7,680.00	\$2,631.00	\$5,262.00	\$2,000.00	\$4,000.00	\$1,800.00	\$3,600.00												
42	CONNECT TO EX. 20" WATER	EA	1	\$403.00	\$403.00	\$4,980.00	\$4,980.00	\$1,700.00	\$1,700.00	\$1,200.00	\$1,200.00	\$4,000.00	\$4,000.00	\$1,800.00	\$1,800.00												
43	CONNECT TO EX. 16" WATER	EA	2	\$403.00	\$806.00	\$3,560.00	\$7,120.00	\$1,400.00	\$2,800.00	\$1,200.00	\$2,400.00	\$3,000.00	\$6,000.00	\$1,200.00	\$2,400.00												
44	CONNECT TO EX. 12" WATER	EA	2	\$403.00	\$806.00	\$3,250.00	\$6,500.00	\$1,100.00	\$2,200.00	\$1,200.00	\$2,400.00	\$2,000.00	\$4,000.00	\$750.00	\$1,500.00												
45	ADJUST RESIDENTIAL WASTEWATER CLEAN OUT	EA	4	\$259.00	\$1,036.00	\$250.00	\$1,000.00	\$105.00	\$420.00	\$100.00	\$400.00	\$300.00	\$1,200.00	\$350.00	\$1,400.00												
46	SODDING OF DISTURBED AREAS (MATCH EXISTING TYPE)	SY	5,970	\$5.27	\$31,461.90	\$6.00	\$35,820.00	\$4.00	\$23,880.00	\$6.00	\$35,820.00	\$4.00	\$23,880.00	\$5.00	\$29,850.00												
47	TRENCH SAFETY DESIGN	LS	1	\$595.00	\$595.00	\$500.00	\$500.00	\$1,000.00	\$1,000.00	\$1,500.00	\$1,500.00	\$1,000.00	\$1,000.00	\$5,000.00	\$5,000.00												
48	TRENCH SAFETY	LF	4,599	\$1.15	\$5,288.85	\$1.00	\$4,599.00	\$2.00	\$9,198.00	\$0.10	\$459.90	\$0.10	\$459.90	\$1.25	\$5,748.75												
49	SWPPP PREPARATION IMPLEMENTATION & MAINTENANCE	LS	1	\$12,095.00	\$12,095.00	\$2,500.00	\$2,500.00	\$6,000.00	\$6,000.00	\$3,500.00	\$3,500.00	\$4,000.00	\$4,000.00	\$6,000.00	\$6,000.00												
50	BARRICADES, TRAFFIC CONTROL & WARNING SIGNS, TRAFFIC CONTROL PLAN	LS	1	\$18,801.00	\$18,801.00	\$1,500.00	\$1,500.00	\$24,000.00	\$24,000.00	\$5,500.00	\$5,500.00	\$12,000.00	\$12,000.00	\$10,000.00	\$10,000.00												
51	REMOVE AND REPLACE LANDSCAPE AREA (ALLOWANCE)	LS	1	\$8,756.00	\$8,756.00	\$6,000.00	\$6,000.00	\$12,000.00	\$12,000.00	\$10,000.00	\$10,000.00	\$3,000.00	\$3,000.00	\$5,000.00	\$5,000.00												
52	REMOVE/REPLACE CREPE MYRTLES	EA	2	\$2,015.00	\$4,030.00	\$600.00	\$1,200.00	\$650.00	\$1,300.00	\$450.00	\$900.00	\$800.00	\$1,600.00	\$500.00	\$1,000.00												
53	REGRADE DITCH	LF	1,020	\$6.50	\$6,630.00	\$10.00	\$10,200.00	\$6.00	\$6,120.00	\$4.50	\$4,590.00	\$12.00	\$12,240.00	\$10.00	\$10,200.00												
54	SET TxDOT P-CD HDWLS. ON 12" RCP (3:1)	EA	30	\$516.00	\$15,480.00	\$1,000.00	\$30,000.00	\$600.00	\$18,000.00	\$1,185.00	\$35,550.00	\$1,200.00	\$36,000.00	\$600.00	\$18,000.00												
				Total Bid =		\$746,704.61		Total Bid =		\$824,839.00		Total Bid =		\$867,955.50		Total Bid =		\$882,284.40		Total Bid =		\$886,122.90		Total Bid =		\$909,331.62	
														Contingency	\$151,359.87												

Indicates error in Contractor Bid Proposal



June 8, 2016

Jeremy White, P.E., CFM
City of Rockwall
385 S. Goliad
Rockwall, Texas 75087

RE: North Water Improvements – CIP 2013-003

Dear Mr. White:

On Thursday, June 2, 2016, the City of Rockwall received five (5) bids for the above mentioned project. The low bidder was Reytech Services, LLC with a tabulated low bid of **\$746,704.61** and the high bidder was Dowager Utility Construction, LTD with a bid of **\$886,122.90**.

Based on my review of the tabulated bid information, the Bidder's Qualification information, and phone interviews I have conducted with owners of other projects constructed by the contractor, it is my recommendation that the City of Rockwall award the contract to Reytech Services, LLC.

If you have any questions or concerns, please call me at 972-644-2800.

Sincerely,

Binkley & Barfield - C&P, Inc.
Consulting Engineers

Michael Cummings, P.E.
President

BIDDER'S QUALIFICATION INFORMATION

1. The **apparent low bidder** shall complete and deliver to the Engineering Department and City's Consulting Engineer **within 48-hours after the bid opening**, the following **Bidder's Qualification Information** documents:

- Qualification Statement of Bidder. If additional space is needed, please use attachments.
- Reference Statement of Bidder's Surety.
- Bidder's Release of Qualification Information.
- Bidder's List of Proposed Sub-contractors.
- Non-Exclusion Affidavit - System for Award Management (SAM)
- Financial Statement Reviewed or Audited by an Independent Certified Public Accountant (CPA) in accordance with Generally Accepted Accounting Principles (GAAP), prepared in the last 12-months for the bidder's company.
- IRS W9 Form – a pdf version of this form can be downloaded from IRS web site.
- Texas Ethics Commission – Form 1295

All seven (7) documents shall be delivered to the Engineering Department and City's Consulting Engineer as a single, complete package. No one form or statement will be accepted individually.

2. If the 48-hours deadline falls on a weekend or holiday, Bidder shall deliver the six (6) documents to the Engineering Department and City's Consulting Engineer the next workday after the 48-hours.
3. If a project is a "joint venture", all partners in the joint venture shall complete the pre-qualification forms.
4. The low bidder shall be required to submit evidence that they have a practical knowledge and experience of the particular work bid upon and that they have the financial resources to complete the proposed work.
5. In determining the contractor's qualifications, the following factors will be considered: Work previously completed by the contractor; adequate plant and equipment to do the work properly and expeditiously; financial resources to meet all obligations incidental to the work; technical expertise and safety record.

QUALIFICATION STATEMENT OF BIDDER

Engineering Department
City of Rockwall
385 S. Goliad
Rockwall, Texas 75087

Bidder: Reytech Services LLC

Circle One: Sole Proprietor Partnership Corporation Joint Venture

Name: Esmer Reyes Partner: _____

Address: P.O. Box 54052 Address: _____

City: Grand Prairie, TX 75052 City: _____

Phone: 817-829-0698 Phone: _____

Principal Place of Business:

Tarrant Co. / TX
County & State

Principal Place of Business:

County & State

If the Bidder is a corporation, fill out the following:

State and County of Incorporation: Tarrant Co, Texas

Location of Principal Office: 2804 N. Hampton Dr, GP TX 75052

Contact Person(s) at Office: Esmer Reyes Phone: 817-829-0698

List Officers of the Corporation and person(s) authorized to execute Contracts on Behalf of the Corporation:

Name: Esmer Reyes Title: Pres.

Name: Doug Patterson Title: VP

Name: _____ Title: _____

Name: _____ Title: _____

How many years has your organization been in business as a General Contractor? 5

Greatest number of contracts in excess of \$100,000 under construction at one time in company's history: 3

Greatest number of contracts in excess of \$500,000 under construction at one time in company's history: 2

Total approximate value of incomplete work outstanding: \$ 1,226,000

List major projects of the type of work qualifying for or similar work completed in the last three years, give the following information for each project:

Project: See attached

Owner/Engineer: _____

Contact Person: _____ Phone: _____

Date of Completion: _____ Contract Price: _____

Project: _____

Owner/Engineer: _____

Contact Person: _____ Phone: _____

Date of Completion: _____ Contract Price: _____

Project: _____

Owner/Engineer: _____

Contact Person: _____ Phone: _____

Date of Completion: _____ Contract Price: _____

Project: _____

Owner/Engineer: _____

Contact Person: _____ Phone: _____

Date of Completion: _____ Contract Price: _____

Reytech Services, LLC
P.O. Box 540252
Grand Prairie, TX 75054
817-829-0698 * Fax 888-533-5002

CURRENT PROJECTS

Name: 16" Water Main Improv/Harborview Dr SS Reloc Contract: \$572,871.55
Description: Water Main Improvements & S Sewer Relocation
Owner: City of Rockwall Jeremy White Phone: 972-771-7746
Engineer: Binkley & Bartfield Michael Cummings Phone: 972-644-2800

Name: Highland Village Rd & Highland Shores Blvd Contract: \$650,00.00
Description: Water Line & Sidewalk Improvements
Owner: City of Highland Village Tim Bruedigm Phone: 972-899-5131
Engineer: BW2 Engineers, Inc Mike Burge Phone: 972-864-8200

Name: Glade Street Contract: \$127,352.00
Description: Water Main Replacement
Owner: City of Sansom Park Ron Douglas Phone: 817-626-3791
GC: Pacheco Koch Christopher Cha Phone: 817-412-7155

Name: Lake Ridge Phase II Contract: \$258,713.00
Description: Site Development (Water, Sewer & Storm Drain)
GC: McFadden & Miller LTD Jon Jacobs Phone: 972-401-2356

COMPLETED PROJECTS

Name: Enclave at Alliance Completed: Pending
Description: Water, Sewer & Drainage Amount: \$680,000.00
GC: PC Contractors LLC Chase Patterson Phone: 817-343-4792

Name: Mercer 260 Completed: March 2016
Description: Site Development (Water, Sewer, Storm & Fire Line) Amount: \$556,232.85
Owner: Billingsley Co
GC: McFadden & Miller LTD Jon Jacobs Phone: 972-401-2356

Name: Frisco Commerce Center
Description: Site Development (Water, Sewer, Drain & Fire Line)
GC: McFadden & Miller LTD
Jon Jacobs
Completed: Dec 2015
Amount: \$446,650.10
Phone: 972-401-2356

Name: Mercer East & West
Description: Site Development (Water & Sewer)
Owner: Billingsley Development Corp
Engineer: Pritchard Associates
Todd Wildman
Completed: Dec 2015
Amount: \$410,791.00
Phone: 214-270-1001
Phone: 214-849-0011

Name: Dollar Tree – Pantego
Description: Site Development (Water, Sewer & Fire Line)
GC: Moore Construction Mgmt Inc
Stan Moore
Completed: Oct 2015
Amount: \$69,607.50
Phone: 817-861-1788

Name: Advance Auto Parts – NRH
Description: Sewer Tap
GC: Moore Construction Mgmt Inc
Stan Moore
Completed: May 2015
Amount: \$ 23,840.00
Phone: 817-861-1788

Name: Parkwood Granite Office Building
Description: Site Development (Water, Sewer, Drain & Fire Line)
GC: McFadden & Miller LTD
Jon Jacobs
Completed: Apr 2015
Amount: \$233,628.76
Phone: 972-401-2356

Name: Kimbo Juvenile Probation Center
Description: Drainage Improvements
Owner: Tarrant County
Danny Roberson
Completed: Mar 2010
Amount: \$ 24,617.50
Phone: 817-884-1414

Name: Mercer 340
Description: Site Development (Water, Sewer, Storm & Fire Line)
GC: McFadden & Miller LTD
Jon Jacobs
Completed: Feb 2015
Amount: \$552,504.57
Phone: 972-401-2356

Name: Cross Oak Ranch Phase 3, Tract 10A
Description: Water, San Sewer & Storm Drain
GC: PC Contractors LLC
Chase Patterson
Completed: Jan 2015
Amount: \$350,000.00
Phone: 817-343-4792

Name: Lakeside Office Building
Description: Site Development (Water, Sewer, Storm & Fire Line)
GC: McFadden & Miller LTD
Jon Jacobs
Completed: Dec 2014
Amount: \$340,897.76
Phone: 972-401-2356

LARGEST PROJECTS COMPLETED

Name: Mountain Creek Hilltop
Description: Site Dev (Water, Sewer, Storm Drain & Fire Line)
GC: McFadden & Miller LTD Jon Jacobs
Completed: Jan 2016
Amount\$ 1,003,082.84
Phone: 972-401-2356

Name: DWSRF Contact #62553
Description: Water Distribution System Improvements
Owner: City of De Leon
GC: PC Contractors LLC Chase Patterson
Completed: Feb 2015
Amount: \$1,066,000.00
Phone: 254-893-2065
Phone: 817-579-6791

Name: Comanche Utilities Improvements
Description: Water, Sewer & Storm Drain
Owner: City of Comanche
GC: PC Contractors LLC Chase Patterson
Completed: Apr 2014
Amount:\$1,026,763.53
Phone: 325-356-2616
Phone: 817-343-4792

Name: Fort Worth St Improvements
Description: Water, Sewer & Storm Drainage
Owner: City of Weatherford
GC: PC Contractors LLC Chase Patterson
Completed: Aug 2014
Amount: \$985,574.11
Phone: 817-598-4000
Phone: 817-343-4792

Name: Frac-Tech Manufacturing Buildings
Description: Site Work & Metal Building Setup
Owner: FTS International Services LLC
CG: PC Contractors LLC Chase Patterson
Completed: Oct 2012
Amount: \$905,211.25
Phone: 817-850-1008
Phone: 817-343-4792

If company is under new management, please list names of staff and qualification and/or experience of said persons. (Please use attachments).

Have you or any present partner(s) or officer(s) failed to complete a contract? NO
If so, name of owner and/or surety:

Contact Person: _____ Phone: _____

List any unsatisfied demands upon you as to your accounts payable, please use attachments.

Bank Reference:

Bank: Chase Bank City: Grand Prairie, TX
Address: 4146 S. Carrier Pkwy Phone: 972-227-7183
Suite 614

Contact Officer: Michael Bangel

Other Credit References:

Name: <u>Fortiline Waterworks</u>	Name: <u>HD Supply</u>
Address: <u>P.O. Box 538388</u>	Address: <u>P.O. Box 28330</u>
City: <u>Atlanta, GA 30353</u>	City: <u>St. Louis, MO 63146</u>
Phone: <u>704-288-9841</u>	Phone: <u>214-631-9410</u>

Municipal Reference:

City: City of Highland Village

Contact Person: Tim Bruechgen Title: Insp.

Address: 1000 Highland Village Rd Phone: 972-899-5131
Highland Village, TX 75077

REFERENCE STATEMENT OF BIDDER'S SURETY

Bidder: Reytech Services, LLC

Address: 2864 North Hampton Drive, Grand Prairie, TX 75052

1. For this Bidder, how many contracts that are now **complete** has this surety furnished contract bonds? 25
2. For this Bidder, how many **incomplete** contracts has this surety furnished contract bonds? 7
3. What is the maximum bonding capacity of this Bidder? \$ 3,000,000.00
4. Does the current financial information on this Bidder indicate solvency and a financial ability to complete this contract? Yes
5. Does the information available to this surety indicate that the contractor pays accounts when due? Yes If not, give details: _____
6. Is it the surety's opinion that the bidder has sufficient experience and financial resources to satisfactorily perform the contract? Yes
7. Provided this bidder does not assume other commitments or that this surety does not acquire further information that in your opinion will materially affect the bidder's capacity to perform this contract, will you furnish the bonds as specified: Yes

REMARKS:

We truly believe that Reytech Services, LLC is a top-notch Contractor in their industry as evidenced by their past performance on several major projects and their reputation in this industry.

Surety: Philadelphia Indemnity Insurance Company

Signed: Fred A. Thetford III

Title: Fred A. Thetford, III, Attorney-in-Fact

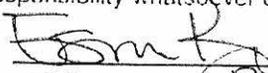
Address: One Bala Plaza, Suite 100,

Bala Cynwyd, PA 19004
City State Zip

Phone: 1-877-438-7459

BIDDER'S RELEASE OF QUALIFICATION INFORMATION

Pursuant to advertisement for bids and in conformance with Instructions to Bidders for types of work outlined in Bidder's Statement of Qualifications, the undersigned is submitting information as required with the understanding that the purpose is for the City's confidential use, only to assist in determining the qualifications of Bidder's organization to perform the type and magnitude of work designated, and further, Bidder guarantees the truth and accuracy of all statements made, and will accept the City's determination of qualifications without prejudice. The surety herein named, any other bonding company(s), bank(s), subcontractor(s), supplier(s), or any other person(s), firm(s) or corporation(s) with whom Bidder has done business, or who have extended any credit to Bidder is (are) hereby authorized to furnish the City with any information the City may request concerning performance on previous work and Bidder's credit standing with any of them; and Bidder hereby releases any and all such parties from any legal responsibility whatsoever on account of having furnished such information to the City:

Signed:  Title: Mrs.
Printed Name: Esmer Reyes Email: esmer@reytechservices.com
Bidder: Reytech Services, LLC Date: 06/09/2016

LOCATION OF LOCAL UNDERWRITING OFFICE OF PROPOSED SURETY

Name:  Phone: 469-221-7987
Printed Name: Glenn E. Ganci Email: glenn.ganci@phly.com
Address: 3939 Belt Line Road, Suite 650 City: Addison State: TX 75001

BIDDER'S LIST OF PROPOSED SUB-CONTRACTORS

1. **Sub-Contractor / Material Supplier:**

Company Name: P.C. Contractors LLC

Type of Work to Be Performed: concrete work

Contact Person: Chase Patterson Title: Pres.

Email: chase@pccontractorsllc.com Phone: 817-343-4792

2. **Sub-Contractor / Material Supplier:**

Company Name: Ferguson Waterworks

Type of Work to Be Performed: pipe

Contact Person: Casey Hill Title: Sales Rep.

Email: Casey.hill@ferguson.com Phone: 817-267-3900

3. **Sub-Contractor / Material Supplier:**

Company Name: Redi-mix

Type of Work to Be Performed: concrete

Contact Person: Craig Senecta Title: Sales Rep.

Email: _____ Phone: 817-835-4105

4. **Sub-Contractor / Material Supplier:**

Company Name: _____

Type of Work to Be Performed: _____

Contact Person: _____ Title: _____

Email: _____ Phone: _____

5. **Sub-Contractor / Material Supplier:**

Company Name: _____

Type of Work to Be Performed: _____

Contact Person: _____ Title: _____

Email: _____ Phone: _____

Non-Exclusion Affidavit - System for Award Management (SAM)

Federal, state, and local government agencies, not-profits, and other organizations that use federal money to fund all or part of any program or project are required to follow specific requirements regarding the use of such federal funds. One of these requirements is that no contract, subcontract, grant, financial assistance, or other forms of assistance provided using federal funds may be awarded to individuals or entities that have been suspended, debarred, or otherwise excluded from participation in federally funded programs.

The U.S. federal government maintains a Web site known as the "System for Award Management" (SAM) at www.sam.gov. One of the purposes of the SAM Web site is to provide a comprehensive list of all individuals, firms, and other entities that have been suspended, debarred, or otherwise excluded from participation in federally funded contracts, subcontracts, grants, etc. SAM provides a simple means of helping government, non-profit agencies, and other organizations ensure that they do not award federally-funded grants, contracts, subcontracts, or other financial or non-financial benefits to any individual, firm, or other entity that has been excluded by any agency from participation in such federally funded activities.

I, Doug Patterson (Contractor Representative), hereby certify that neither I nor Reyntech Services LLC (Name of the company or organization I represent) nor any subcontractors that I or said company may employ to work on any federally funded activity have been suspended, debarred, or otherwise excluded by any federal agency from participation in any federally funded activity. I further acknowledge my understanding that, before entering into a contract with me or with the company or organization I represent, City of Rockwall staff will perform a search on www.sam.gov to verify whether I, the organization I represent, or any subcontractors I may employ to work on any federally funded activity, have been excluded from participation in any federally funded activity.

[Signature]
Signature of Contractor Representative

6/21/16
Date

Notary

Sworn to and subscribed before me this 21st day of June, 2016

[Signature]

Notary Public in and for Tarrant County, Texas (Insert State Name)



REYTECH SERVICES LLC

FINANCIAL STATEMENTS

DECEMBER 31, 2014

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Milbern Ray and Company

L.L.P.

Certified Public Accountants

MILBERN D. RAY, C.P.A., 1933-2006
RONALD D. RAY, C.P.A.
KENT A. RAY, C.P.A.

4831 Merlot Avenue, Suite 320
Grapevine, Texas 76051

P.O. Box 849
Bedford, Texas 76095-0849
(817) 552-7661 Metro (817) 552-2895
FAX (817) 552-1391
www.milbernray.com

MEMBER:
AMERICAN INSTITUTE
OF CERTIFIED PUBLIC
ACCOUNTANTS

INDEPENDENT ACCOUNTANT'S COMPILATION REPORT

To the Members
Reytech Services, LLC
Grand Prairie, TX

We have compiled the accompanying balance sheet of Reytech Services, LLC as of December 31, 2014, and the related statement of income and members' equity for the year then ended. We have not audited or reviewed the accompanying financial statements and, accordingly, do not express an opinion or provide any assurance about whether the financial statements are in accordance with accounting principles generally accepted in the United States of America.

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America and for designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the financial statements.

Our responsibility is to conduct the compilation in accordance with Statements on Standards for Accounting and Review Services issued by the American Institute of Certified Public Accountants. The objective of a compilation is to assist management in presenting financial information in the form of financial statements without undertaking to obtain or provide any assurance that there are no material modifications that should be made to the financial statements.

Management has elected to omit the statement of cash flows required by accounting principles generally accepted in the United States of America. If the omitted statement was included in the financial statements, they might influence the user's conclusions about the company's financial position, results of operations and cash flows. Accordingly, the financial statements are not designed for those who are not informed about such matters.

Milbern Ray Co

June 22, 2015

Grapevine, Texas



REYTECH SERVICES LLC
BALANCE SHEET
DECEMBER 31, 2014

ASSETS

Current assets:

Cash and cash equivalents \$ 51,909

Receivables

Trade 835,482

Retainage 134,346

Costs and estimated earnings in excess
of billings on uncompleted contracts 133,809

Total current assets \$ 1,155,546

Machinery and equipment, net 260,992

\$ 1,416,538

LIABILITIES AND MEMBERS' EQUITY

Current liabilities:

Accounts payable - trade \$ 648,928

Other liabilities 13,143

Notes payable, current portion 77,916

Billings in excess of costs and estimated
earning on uncompleted contracts 136,082

Total current liabilities \$ 876,069

Long-term debt, net of current portion 262,299

Members' equity:

Members' equity 278,170

\$ 278,170

\$ 1,416,538

See independent accountant's compilation report and accompanying notes, which are an integral part of these financial statements.

REYTECH SERVICES LLC
STATEMENT OF INCOME AND MEMBERS' EQUITY
FOR THE YEAR ENDED DECEMBER 31, 2014

REVENUE	\$ 4,440,561
COST OF GOODS SOLD	<u>3,595,119</u>
Gross profit	845,442
OPERATING EXPENSES	<u>735,593</u>
Operating income	109,849
OTHER INCOME AND (EXPENSES)	
Interest expense	(15,086)
NET INCOME	<u>94,763</u>
BEGINNING MEMBERS' EQUITY	<u>183,407</u>
ENDING MEMBERS' EQUITY	<u><u>\$ 278,170</u></u>

See independent accountant's compilation report and accompanying notes, which are an integral part of these financial statements.

REYTECH SERVICES, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2014

NOTE 1 SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Business activity

Reytech Services, LLC (the "Company") is a commercial construction contractor operating as a limited liability company. The Company's work is performed primarily in Texas. These contracts are billed as work is performed.

Use of estimates

The preparation of financial statements in conformity with U.S. generally accepted accounting principles requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from those estimates.

Revenues and cost recognition

Revenues from construction contracts are recognized, net of sales tax, on the percentage-of-completion method measured on the basis of incurred costs to estimated total costs. This method is used because management considers expended costs to be the best available measure of progress on these contracts. Revenue recognized under the percentage-of-completion method is a significant estimate. It is reasonably possible that this estimate will change materially in the next year.

Contract costs include all direct material and labor costs and those indirect costs related to contract performance. Selling, general and administrative costs are charged to operations as incurred. Provisions for estimated losses on uncompleted contracts are made in the period in which such losses are determined. Changes in job performance, job conditions, and estimated profitability, including those arising from contract penalty provisions, and final contract settlements may result in revisions to costs and income, and are recognized in the period in which the revisions are determined. Profit incentives are included in revenues when their realization is reasonably assured. An amount equal to contract costs attributable to claims is included in revenues when realization is probable and the amount can be reliably estimated.

The asset, "Costs and estimated earnings in excess of billings on uncompleted contracts," represents revenues recognized in excess of amounts billed. The liability, "Billings in excess of costs and estimated earnings on uncompleted contracts," represents billings in excess of revenues recognized.

REYTECH SERVICES, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2014

NOTE 1 **SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES – (continued)**

Contract receivables

Contract receivables are recorded when the invoice is issued, and are due under the terms of the contract. They are uncollateralized. Contract receivables are written off when they are determined to be uncollectible. Management currently believes that all receivables are collectible. Accordingly, no provision has been made for uncollectible accounts.

Management periodically assesses receivables, considering the existing economic conditions in the construction industry and the financial stability of its customers.

Property and equipment

Property and equipment are carried at cost. Depreciation is computed primarily using the straight line method over the estimated useful lives of the assets, which range from 5 to 10 years. The Company uses the modified accelerated cost recovery system for tax purposes, which has recovery periods similar to useful lives used. Expenditures for repairs and maintenance are charged to expense as incurred. For assets sold or otherwise disposed of, the cost and related accumulated depreciation are removed from the accounts, and any related gain or loss is reflected in income for the period.

Deposits held in financial institutions

The Company maintains its cash in bank deposit accounts in several financial institutions. The balances, at times, may exceed federally insured limits. The Company has not experienced any losses in these accounts, and believes it is not exposed to any significant credit risk.

Advertising

The Company's policy is to expense all advertising costs in the period in which the advertising first takes place. Advertising expense was approximately \$120 for the year ended December 31, 2014.

NOTE 2 **RECEIVABLES AND PAYABLES ON CONSTRUCTION CONTRACTS**

At times, receivables on construction contracts include retainage withheld by the customer until completion of the contract. Similarly, the Company sometimes withholds a similar retainage from subcontractors until completion of the contract. Based on current estimated completion dates, retainage receivables and payables will become due within the next year.

REYTECH SERVICES, LLC
 NOTES TO FINANCIAL STATEMENTS
 DECEMBER 31, 2014

NOTE 3 PROPERTY, PLANT, AND EQUIPMENT, NET

Property, plant, and equipment consisted of the following at December 31, 2014:

Autos and trucks	\$	144,087
Furniture and office equipment		2,351
Machinery and equipment		264,803
		<u>411,241</u>
Less accumulated depreciation		(150,249)
	\$	<u>260,992</u>

NOTE 4 OTHER LIABILITIES

Other liabilities consisted of the following at December 31, 2014:

Payroll taxes	\$	13,143
	\$	<u>13,143</u>

NOTE 5 COSTS AND ESTIMATED EARNINGS ON UNCOMPLETED CONTRACTS

Costs and estimated earnings on uncompleted contracts were as follows:

Costs incurred on uncompleted contracts	\$	2,968,221
Estimated earnings		497,404
		<u>3,465,625</u>
Less billings to date		(3,467,898)
	\$	<u>(2,273)</u>

Included in the accompanying balance sheet under the following captions:

Costs and estimated earnings in excess of billings on uncompleted contracts	\$	133,809
Billings in excess of costs and estimated earnings on uncompleted contracts		(136,082)
	\$	<u>(2,273)</u>

REYTECH SERVICES, LLC
 NOTES TO FINANCIAL STATEMENTS
 DECEMBER 31, 2014

NOTE 6 LONG-TERM DEBT

Note payable to a financial institution, due \$5,759 per month, including interest at 3.3%, maturing September 2017, secured by equipment.	\$ 181,446
Notes payable to a financial institution, due between \$756 and \$830, including interest between 6.59% and 8.79%, maturing August 2019, secured by vehicles.	73,769
Note payable due to a member, interest at 6% due monthly, principal due December 31, 2016, unsecured	<u>85,000</u>
	340,215
Less: Current maturities	<u>(77,916)</u>
	<u>\$ 262,299</u>

Future maturities of long-term debt are as follows for the years ending December 31:

2015	\$ 77,916
2016	166,151
2017	67,220
2018	17,362
2019	<u>11,566</u>
	<u>\$ 340,215</u>

NOTE 7 BACKLOG

The following schedule shows a reconciliation of backlog representing the amount of revenue the Company expects to realize from work to be performed on uncompleted contracts in progress at December 31, 2014.

Balance: December 31, 2013	\$ 651,676
New contracts, 2014	<u>6,535,043</u>
	7,186,719
Less: Contract revenue earned, 2014	<u>(4,440,561)</u>
Balance: December 31, 2014	<u>\$ 2,746,158</u>

REYTECH SERVICES, LLC
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2014

NOTE 8 FEDERAL INCOME TAXES

With the consent of its members, Reytech Services, LLC elected to be taxed under the provisions of Subchapter S of the Internal Revenue Code. Under those provisions, Reytech Services, LLC does not pay federal corporate income taxes on its taxable income. Instead, the members are liable for individual federal income taxes on the LLC's taxable income. Accordingly, no provision has been made for federal income tax in the accompanying financial statements for Reytech Services, LLC.

The Company files gross margin tax returns in Texas. For state tax purposes, the Company uses accelerated depreciation methods for property and equipment. The Company is subject to examinations by tax authorities for all years after January 1, 2011.

U.S. generally accepted accounting principles require that deferred income taxes be provided for differences in the basis of assets and liabilities for financial reporting and tax purposes. The Company's temporary differences result mainly from differences in the methods used for state tax depreciation. These temporary differences did not result in material deferred tax assets or liabilities at December 31, 2014.

NOTE 9 SUBSEQUENT EVENTS

The Company has evaluated subsequent events through June 22, 2015 the date which the financial statements were available to be issued.

SUPPLEMENTARY INFORMATION

Milbern Ray and Company

L.L.P.

Certified Public Accountants

MILBERN D. RAY, C.P.A., 1933-2006
RONALD D. RAY, C.P.A.
KENT A. RAY, C.P.A.

4831 Merlot Avenue, Suite 320
Grapevine, Texas 76051

P.O. Box 849
Bedford, Texas 76095-0849
(817) 552-7681 Metro (817) 552-2895
FAX (817) 552-1391
www.milbernray.com

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ACCOUNTANTS

ACCOUNTANT'S REPORT ON SUPPLEMENTARY INFORMATION

To the Members
Reytech Services, LLC
Grand Prairie, TX

Our report on our compilation of the basic financial statements of Reytech Services, LLC for the year ended December 31, 2014 appears on page three. The information included in the accompanying supplementary schedules of job revenue and costs, construction in progress, completed jobs, and operating expenses contained in the following pages is presented only for purposes of additional analysis. Such information has been compiled from information that is the representation of management, without audit or review. Accordingly, we do not express an opinion or provide any assurance on the supplementary information.

Milbern Ray Co

June 22, 2015

Grapevine, Texas



REYTECH SERVICES LLC
SCHEDULE OF JOB REVENUE AND COSTS
FOR THE YEAR ENDED DECEMBER 31, 2014

	<u>REVENUE</u>	<u>COST</u>	<u>GROSS PROFIT</u>
Construction in progress	\$ 3,127,429	\$ 2,671,558	\$ 455,871
Completed jobs	<u>1,313,132</u>	<u>923,561</u>	<u>389,571</u>
	<u>\$ 4,440,561</u>	<u>\$ 3,595,119</u>	<u>\$ 845,442</u>

See independent accountant's report on supplementary information.

REYTECH SERVICES LLC
SCHEDULE OF CONSTRUCTION IN PROGRESS
FOR THE YEAR ENDED DECEMBER 31, 2014

PROJECT	REVENUE	ESTIMATED FINAL GROSS PROFIT	FROM INCEPTION TO DECEMBER 31, 2014	
			REVENUE EARNED	COST OF REVENUES
Advocare Utility	\$ 487,314	64,917	487,314	422,397
Mercer East & West	410,791	40,791	165,105	148,710
Frisco Commerce Center	446,650	56,650	10,612	9,266
Lakeside Off Bldg Lewisville	338,786	58,286	314,166	260,116
Mercer 260k	451,142	56,142	7,109	6,224
Mercer 340-Water Improv	552,505	57,005	517,355	463,977
Mountain Creek Hilltop	986,692	148,092	2,974	2,528
Parkwood Granite Off Building	237,329	47,329	212,952	170,484
Cisco Infastructure	225,000	29,512	217,801	189,233
Cross Oak Ranch	390,000	29,500	379,030	350,360
Enclave at Westport/Alliance	700,000	80,000	174,902	154,913
Fort Worth St-Weatherford	985,574	188,061	976,305	790,013
	<u>\$ 6,211,783</u>	<u>\$ 856,285</u>	<u>\$ 3,465,625</u>	<u>\$ 2,968,221</u>

See independent accountant's report on supplementary information.

<u>GROSS PROFIT</u>	<u>BILLED TO DATE</u>	<u>ESTIMATED COST TO COMPLETE</u>	<u>COSTS AND ESTIMATED EARNINGS IN EXCESS OF BILLINGS</u>	<u>BILLINGS IN EXCESS OF COSTS AND ESTIMATED EARNINGS</u>
\$ 64,917	\$ 472,861	\$ -	\$ 14,453	\$ -
16,395	219,938	221,290	-	54,833
1,346	-	380,734	10,612	-
54,050	334,923	20,384	-	20,757
885	5,271	388,776	1,838	-
53,378	552,505	31,523	-	35,150
446	-	836,072	2,974	-
42,468	221,826	19,516	-	8,874
28,568	225,000	6,255	-	7,199
28,670	350,000	10,140	29,030	-
19,989	100,000	465,087	74,902	-
186,292	985,574	7,500	-	9,269
<u>\$ 497,404</u>	<u>\$ 3,467,898</u>	<u>\$ 2,387,277</u>	<u>\$ 133,809</u>	<u>\$ 136,082</u>

See independent accountant's report on supplementary information.

**FOR THE YEAR ENDED
DECEMBER 31, 2014**

<u>REVENUE EARNED</u>	<u>COST OF REVENUE</u>	<u>GROSS PROFIT</u>
\$ 149,118	\$ 125,734	\$ 23,384
165,105	148,710	16,395
10,612	9,266	1,346
314,166	260,116	54,050
7,109	6,224	885
517,355	463,977	53,378
2,974	2,528	446
212,952	170,484	42,468
217,801	189,233	28,568
379,030	350,360	28,670
174,902	154,913	19,989
976,305	790,013	186,292
<hr/>	<hr/>	<hr/>
\$ <u>3,127,429</u>	\$ <u>2,671,558</u>	\$ <u>455,871</u>

See independent accountant's report on supplementary information.

REYTECH SERVICES LLC
SCHEDULE OF COMPLETED JOBS
FOR THE YEAR ENDED DECEMBER 31, 2014

	CONTRACT TOTALS		
	<u>REVENUE</u> <u>EARNED</u>	<u>COST OF</u> <u>REVENUE</u>	<u>GROSS</u> <u>PROFIT</u>
Hunter Ferrell	\$ 69,800	\$ 58,797	\$ 11,003
Dominion Office Building	239,333	207,583	31,750
Comanche	1,026,763	694,263	332,500
Cheddars Corp Office-Irving	124,260	91,302	32,958
Haslett-FM156 12" Waterline	165,715	146,018	19,697
Westworth Village	69,698	35,318	34,380
Small & misc under \$50,000	407,453	268,972	138,481
	<u>\$ 2,103,022</u>	<u>\$ 1,502,253</u>	<u>\$ 600,769</u>

See independent accountant's report on supplementary information.

PRIOR YEARS			FOR THE YEAR ENDED DECEMBER 31, 2014		
REVENUE EARNED	COST OF REVENUE	GROSS PROFIT	REVENUE EARNED	COST OF REVENUE	GROSS PROFIT
\$ 64,512	\$ 52,353	\$ 52,353	\$ 5,288	\$ 6,444	\$ (1,156)
200,053	135,718	135,718	39,280	71,865	(32,585)
525,325	390,621	390,621	501,438	303,642	197,796
-	-	-	124,260	91,302	32,958
-	-	-	165,715	146,018	19,697
-	-	-	69,698	35,318	34,380
-	-	-	407,453	268,972	138,481
<u>\$ 789,890</u>	<u>\$ 578,692</u>	<u>\$ 578,692</u>	<u>\$ 1,313,132</u>	<u>\$ 923,561</u>	<u>\$ 389,571</u>

See independent accountant's report on supplementary information.

Request for Taxpayer Identification Number and Certification

**Give Form to the
 requester. Do not
 send to the IRS.**

Print or type See Specific Instructions on page 2.	1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank. REYTECH SERVICES LLC	
	2 Business name/disregarded entity name, if different from above	
	3 Check appropriate box for federal tax classification; check only one of the following seven boxes: <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ C Note. For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner. <input type="checkbox"/> Other (see instructions) ▶	
	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <i>(Applies to accounts maintained outside the U.S.)</i>	
	5 Address (number, street, and apt. or suite no.) PO BOX 540252	Requester's name and address (optional) City of Rockwall
	6 City, state, and ZIP code GRAND PRAIRIE, TX 75054	
	7 List account number(s) here (optional)	

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

Note. If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

Social security number	
or	
Employer identification number	
2	7
-	3
9	0
2	3
0	7

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification Instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

Sign Here	Signature of U.S. person ▶	Date ▶ 6/7/14
------------------	----------------------------	----------------------

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at www.irs.gov/fw9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding? on page 2.

By signing the filled-out form, you:

- Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
- Certify that you are not subject to backup withholding, or
- Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
- Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

CERTIFICATE OF INTERESTED PARTIES

FORM 1295

1 of 1

Complete Nos. 1 - 4 and 6 if there are interested parties.
Complete Nos. 1, 2, 3, 5, and 6 if there are no interested parties.

OFFICE USE ONLY CERTIFICATION OF FILING

1 Name of business entity filing form, and the city, state and country of the business entity's place of business.
Reytech Services LLC
Grand Prairie, TX United States

Certificate Number:
2016-67225

Date Filed:
06/07/2016

Date Acknowledged:

2 Name of governmental entity or state agency that is a party to the contract for which the form is being filed.
City of Rockwall

3 Provide the identification number used by the governmental entity or state agency to track or identify the contract, and provide a description of the services, goods, or other property to be provided under the contract.

CIP 2013-003
North Water Improvements

4	Name of Interested Party	City, State, Country (place of business)	Nature of Interest (check applicable)	
			Controlling	Intermediary

5 Check only if there is NO Interested Party.

6 AFFIDAVIT

I swear, or affirm, under penalty of perjury, that the above disclosure is true and correct.



[Signature]
Signature of authorized agent of contracting business entity

AFFIX NOTARY STAMP / SEAL

Sworn to and subscribed before me, by the said Doug Patterson, this the 7th day of June, 2016, to certify which, witness my hand and seal of office.

[Signature]
Signature of officer administering oath

Esmeralda Reyes
Printed name of officer administering oath

President
Title of officer administering oath

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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

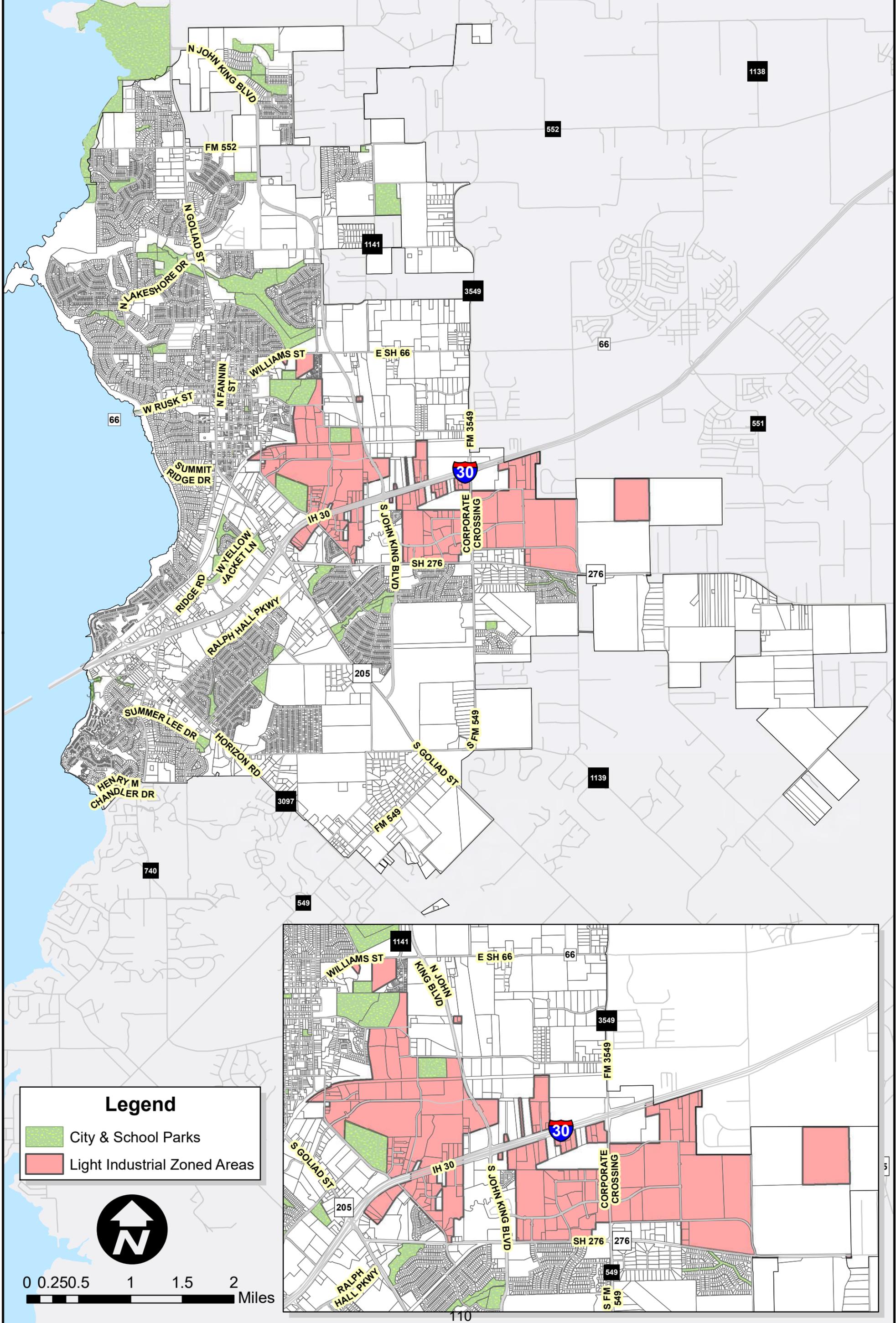
DATE: June 20, 2016

SUBJECT: *Used Automotive Dealerships*

On May 16, 2016, staff brought forward an ordinance to the City Council proposing to allow the *Motor Vehicle Dealership, Used (Cars and Light Trucks)* use by SUP in the Light Industrial (LI) District and *by-right* in the Heavy Industrial (HI) District; however, the ordinance also restricted the use in certain overlay districts within the City. This ordinance was denied by the City Council by a vote of 6-1, with Mayor Pruitt dissenting. As part of this motion staff was directed to draft an ordinance that conformed to the motion made by the City Council on March 21, 2016. This motion was to allow a *Motor Vehicle Dealership, Used (Cars and Light Trucks)* in a Light Industrial (LI) District by a Specific Use Permit (SUP). Attached to this memorandum is an ordinance that if approved would make this change to the Unified Development Code (UDC).

In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the UDC staff brought the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. On June 14, 2016, the Planning and Zoning Commission made a motion to recommend denial of the proposed text amendment in favor of leaving the current ordinance in place. The motion passed by a vote of 6-0, with Commissioner Trowbridge absent. In addition, staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC. Attached to this case memo is a copy of the draft ordinance and a map showing the location of all existing land zoned Light Industrial (LI) District. This map was requested by the Planning and Zoning Commission at their work session on May 31, 2016.

Light Industrial Zoned Parcels



CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTIONS 1.1 & 2.1.8 OF ARTICLE IV, *PERMISSIBLE USES*; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] has been initiated by the City Council of the City of Rockwall to amend Section 1.1, *Use of Land and Buildings*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for the purpose of establishing *Motor Vehicle Dealership, Used (Cars and Light Trucks)* as a standalone use permitted within the Light Industrial (LI) District by Specific Use Permit; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Section 1.1, *Use of Land and Buildings*, and Section 2.1.8, *Auto and Marine-Related Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

Section 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JUNE, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 20, 2016

2nd Reading: July 5, 2016

Exhibit 'A'
Article IV, Permissible Uses,
of the Unified Development Code

Article IV, Permissible Uses, of the Unified Development Code
Section 1. Land Use Schedule
Section 1.1. Use of Land and Buildings

Residential										Permitted Uses	Mixed Use			Commercial			Industrial			
AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2-F	MF-14	Auto and Marine	DT	R-O	N-S	GR	C	HC	RT	LI	HI	
										Auto repair garage, major +						P			P	P
										Auto repair garage, minor +	S				S	S	P		P	P
										Automobile rental						S	P		S	P
										Boat and trailer dealership (new and used) +						S	P		S	P
										Car wash/auto detail +				S	S	P	P		P	P
										Car wash, self-service					S	P	P		P	P
										Indoor motor vehicle dealership/showroom, new and/or used +						S	S		S	S
										Motor vehicle dealership, new (cars and light trucks) +						S	P		S	P
										Motor vehicle dealership, used (cars and light trucks) +						A	A		AS	A
										Parking, commercial	S					P	P		P	P
										Parking lot, noncommercial	A			S	P	P	P	P	P	P
										Recreational vehicle (RV) sales and service						S	P		S	P
										Service station +				S	P	P	P		P	P
										Towing and impound yard +							S		S	P
										Towing service, no storage +							P		P	P
										Truck rental							P		S	P
										Truck stop with fuel and accessory services +							S		S	P

Exhibit 'A'
*Article IV, Permissible Uses,
of the Unified Development Code*

Article IV, Permissible Uses, of the Unified Development Code
Section 2. Use Standards
Section 2.1.8 Auto and Marine-Related Use Conditions

Indoor Motor Vehicle Dealership/Showroom, (New and/or Used). The indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage.

1. The sales/storage facility must be a completely enclosed building.
2. Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures.
3. All activities shall remain inside the building (*i.e. no detailing, sales activities, et cetera shall be performed outside the building*).
4. Accessory uses may be allowed in compliance with the "Permissible Use Charts" located within *Section 1.1* of this article.

Motor Vehicle Dealerships (New and Used).

1. Used vehicles may only be sold as an ancillary use to new vehicle sales **in the Commercial (C), Heavy Industrial (HI) and Heavy Commercial (HC) Districts.**
2. All outside display of vehicles must be on an approved concrete, or enhanced concrete surface.
3. All vehicle display areas must meet the landscape standards for parking areas.

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/20/2016

APPLICANT: Jeff Parker, *Skorburg Company*

AGENDA ITEM: **Z2016-018**; *Breezy Hill Amendments (PD-74)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in *Exhibit 'C' of Ordinance 14-26* for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.

BACKGROUND:

The property was annexed in 2008 after three (3) years of litigation that lead to the execution of a Chapter 212 Development Agreement. In accordance with this agreement, the property was zoned to Planned Development District 74 (PD-74) on April 20, 2009 with the intention of being a master planned residential community that offered tracts of land designated for retail/office, residential, and institutional land uses. The approval of this zoning change altered the existing 212 Development Agreement -- *which originally permitted 810 single-family residential lots and did not contain any retail acreage* -- to include 658 single-family residential lots and a 59-acre tract of land designated for general retail land uses. The retail tract of land is located at the northeast corner of the intersection of FM-552 and John King Boulevard.

On October 1, 2012 the City Council approved an amendment to Planned Development District 74 (PD-74) modifying the concept plan to remove the school sites that were originally required by the *Facilities Agreement* and adjust the lot mix accordingly [*i.e. increasing the number of lots from 658 to 691*]. The lot mix was again increased on July 7, 2014 from 691 lots to 742 lots for the purpose of incorporating two (2) additional phases (*i.e. Phases IXA & IXB*) and to reduce the land designated as commercial/retail from 59.4-acres to 33.7-acres (see *Figure 1* for the adjusted lot mix).

Figure 1: Current Lot Mix

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>
<i>Typical Lot Frontage (Feet)</i>	60	70	80	100
<i>Typical Lot Depth (Feet)</i>	120	120	125	200
<i>Minimum Lot Size (Sq. Ft.)</i>	7,200	8,400	10,000	20,000
<i>Number of Units</i>	206	112	326	98
<i>Dwelling Unit %</i>	27.80%	15.10%	43.90%	13.20%

On March 13, 2015, the applicant submitted an alternate concept plan depicting a reduction in the number of acres designated for retail land uses from 33.7-acres to 19.49-acres for the purpose of amending Planned Development District 74 (PD-74) to include an additional residential phase of 50' x 120' lots (*i.e. minimum of 6,000 SF*). In addition, this case proposed

raising the number of lots from 742 to 762, but maintain a density of 2.0-units/acre. This case [Case No. Z2015-013] was denied by the City Council on May 4, 2015.

PURPOSE:

In accordance with Section 8.3 of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) -- *which restricts a similar application for the period of one (1) year from the denial date* -- the applicant has submitted an application requesting to amend Planned Development District 74 (PD-74) [Ordinance No. 14-26] to approve an alternate concept plan and development standards. Specifically, the applicant is requesting to reduce the number of acres designated for retail land uses from 33.7-acres to 19.49-acres for the purpose incorporating an additional residential phase that will be composed of 50' x 120' lots (*i.e. minimum of 6,000 SF*).

CHARACTERISTICS OF THE REQUEST:

The 14.21-acres of land that the applicant is proposing to remove from the retail acreage will establish a new phase of the Breezy Hill Subdivision that will contain 47 single-family homes. The new phase will be located north of the remaining retail acreage, adjacent to Phase IIA. These new homes will be constructed on 50' x 120' lots that will be a minimum of 6,000 square feet in size. The development standards for this new lot type (identified below in *Figure 2* as *Lot Type 'E'*) are taken directly from the zoning ordinance that regulates the Stone Creek Subdivision (*i.e. Planned Development District 70 [PD-70]*) and are similar to the remaining lot types in Planned Development District 74 (PD-74) with respect to the development standards. The only major difference in this lot type will incorporate forward facing garages. This is primarily due to the difficulty of incorporating a '*J*' *Swing* or *Traditional Swing* driveway on a 50-foot lot.

Figure 2: Proposed Lot Mix

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>	<i>E</i>
<i>Typical Lot Frontage (Feet)</i>	60	70	80	100	50
<i>Typical Lot Depth (Feet)</i>	120	120	125	200	120
<i>Minimum Lot Size (Sq. Ft.)</i>	7,200	8,400	10,000	20,000	6,000
<i>Number of Units</i>	206	112	326	98	47
<i>Dwelling Unit %</i>	26.11%	14.20%	42.32%	12.42%	5.96%

Considering the proposed new lot type and the proposed changes to the lot mix, the total number of single-family lots will be increased from 742 to 789. This proposed change increases the density from ~2.0-units/acre to ~2.07-units/acre (*i.e. currently the subdivision has 742 lots on ~379-acres, and the applicant is proposing 789 lots on ~381-acres*). With the exception of the proposed changes to the concept plan and lot mix tables, and subsequent changes to accommodate the new lot type, the applicant is not requesting any additional changes to Planned Development District 74 (PD-74).

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Map contained within the Comprehensive Plan designates the subject property for *Commercial* land uses. Should the City Council approve the applicant's request, the Future Land Use Map will be amended to reflect the proposed changes in land use from a *Commercial* designation to a *Low Density Residential* designation. *This has been added to the conditions of approval contained in the Recommendations section of this case memo.*

NOTIFICATION:

On May 27, 2016, staff mailed 364 notices to property owners and residents within 500-feet of the subject property. Staff also emailed a notice to the Stoney Hollow and Breezy Hill Homeowner's Associations (HOA's), which are the only HOA's located within 1,500 feet of the subject property. Additionally, staff posted a sign at the corner of FM-552 and John King Boulevard, and advertised the public hearings in the Rockwall Harold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had received 19 responses in opposition to the zoning change.

RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request to amend Planned Development District 74 (PD-74) then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- 2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a Commercial designation to a Low Density Residential designation;
- 3) Prior to accepting a final plat for the proposed phase (*i.e. depicted in purple of the PD Concept Plan*) the applicant shall be required to administratively amend the PD site plan in order to show all necessary entry features/signage, landscaping and hardscaping proposed for the new phase;
- 4) Prior to accepting a preliminary plat for the proposed phase (*i.e. depicted in purple of the PD Concept Plan*) the applicant shall be required to administratively amend the preliminary plat for Phases IXA & IXB to show the new street layout; and,
- 5) Any construction resulting from the approval of this *zoning amendment* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

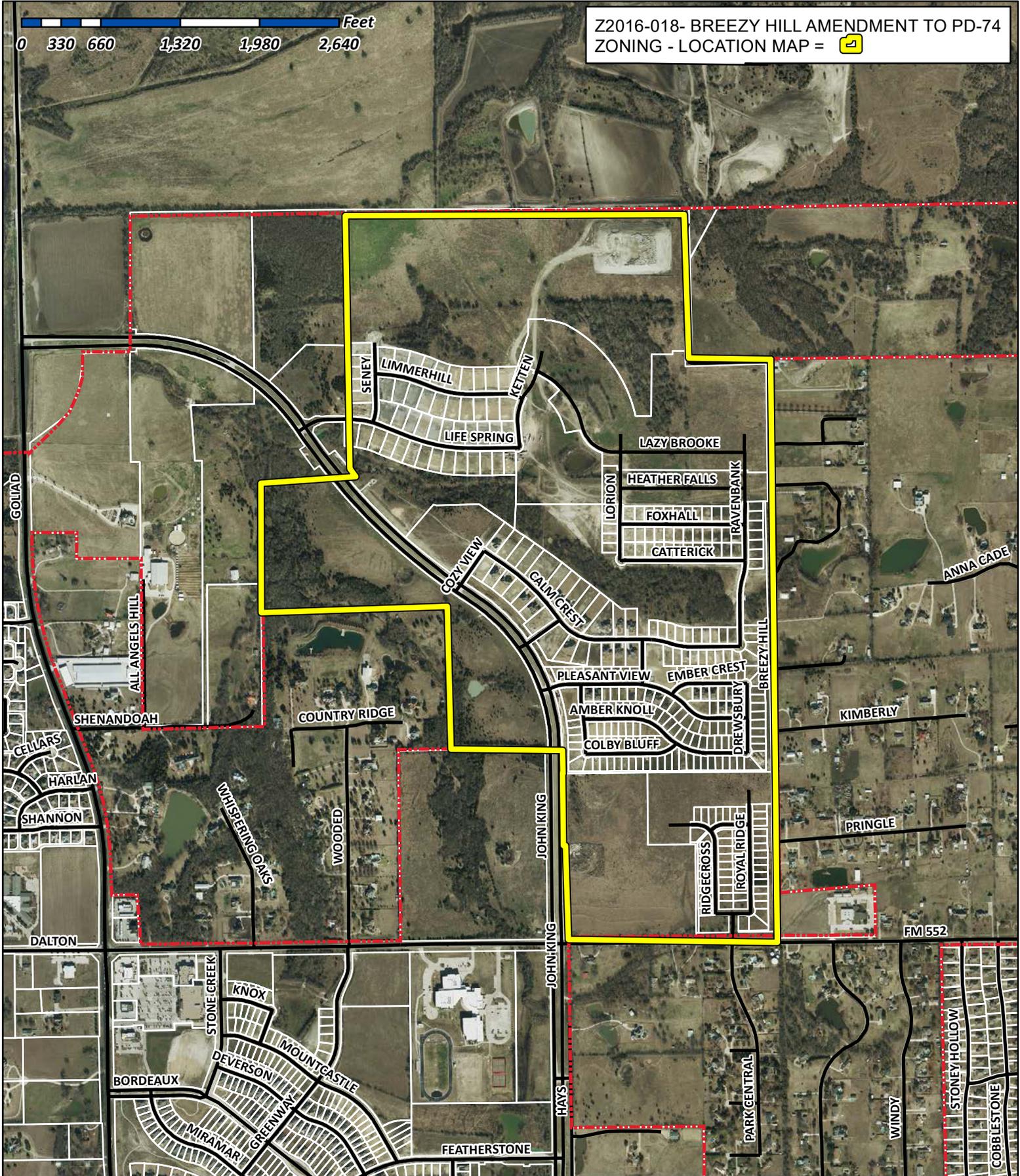
PLANNING AND ZONING COMMISSION:

On June 14, 2016, the Planning and Zoning Commission approved a motion recommending that the proposed residential phase -- *identified as Phase X on the concept plan* -- consist of 60-foot lots (*i.e. Lot Type 'A'*) in lieu of the proposed 50-foot lots (*i.e. Lot Type 'E'*). This motion passed by a vote of 6-0, with Commissioner Trowbridge absent.

It should be noted that the attached draft ordinance does not include this recommendation, and in order to incorporate the Planning and Zoning Commission's recommendation the City Council will need to make a motion specifying this change. If such action is taken, staff will amend the ordinance between the first and second reading.

0 330 660 1,320 1,980 2,640 Feet

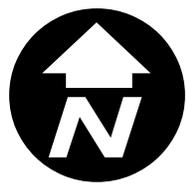
Z2016-018- BREEZY HILL AMENDMENT TO PD-74
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

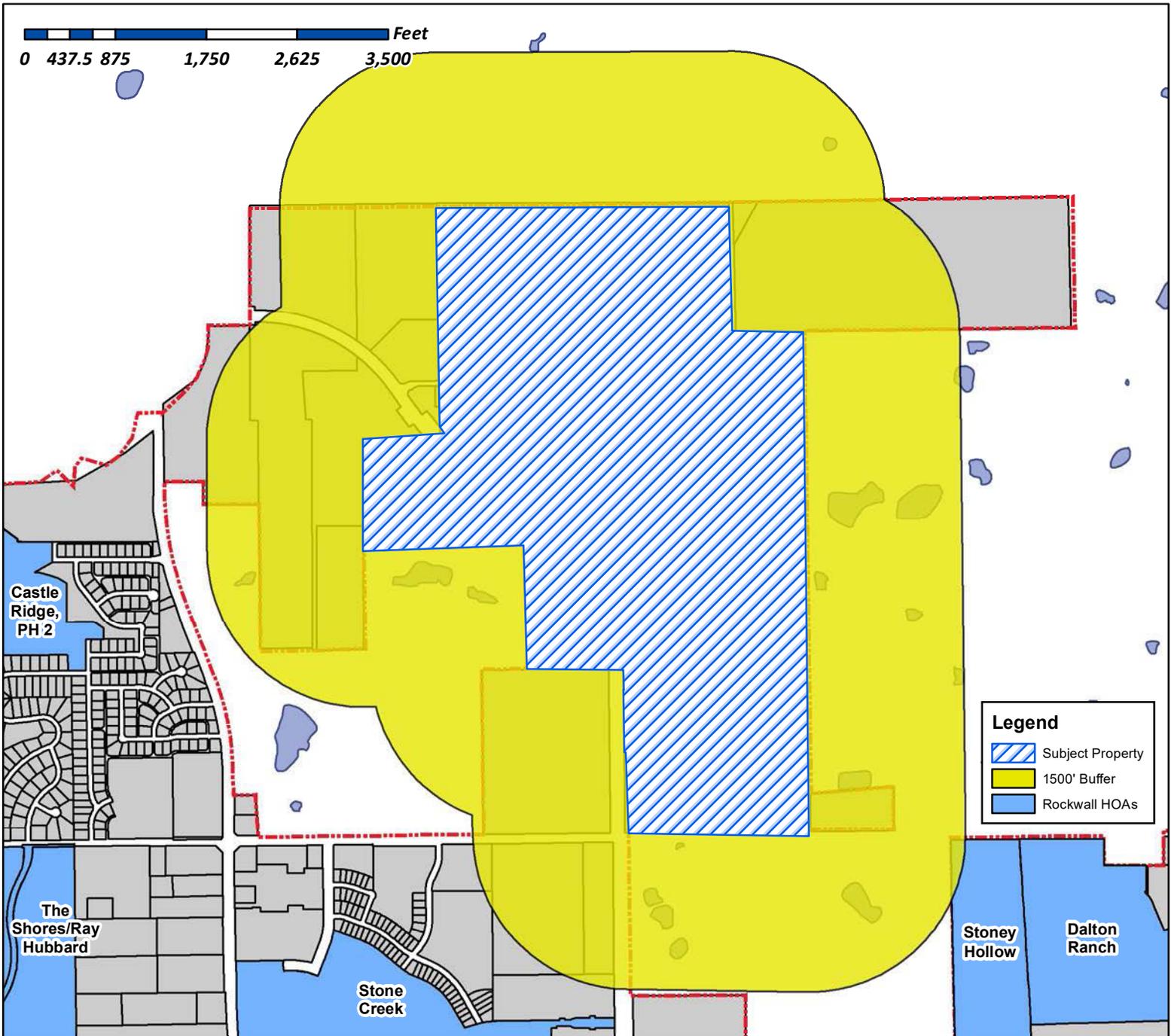




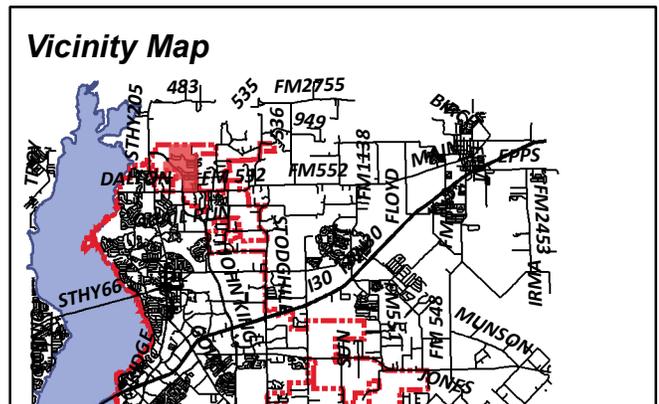
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2016-018
Case Name: Breezy Hill Amendment to PD-74
Case Type: Zoning
Zoning: Planned Development District 74
Case Address: North of FM-552 and west of Breezy Hill Road



Date Created: 05/17/2016

For Questions on this Case Call (972) 771-7745

From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Thursday, May 26, 2016 5:02:02 PM

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner on June 3, 2016. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2016-018 Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2016-018: Breezy Hill Amendment to PD-74

Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/14/2016 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/20/2016 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **6/20/2016** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2016-018: Breezy Hill Amendment to PD-74

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT RESIDENT
1001 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1001 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 CATTERICK DR
ROCKWALL, TX 75087

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1002 EMBER CREST DR
ROCKWALL, TX 75087

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1005 CALM CREST DR
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1005 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1005 PLEASANT VIEW DR
ROCKWALL, TX 75087

GOODWIN ALLAN AND JULIE
1005 EMBER CREST DR
ROCKWALL, TX 0

CURRENT RESIDENT
1006 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1006 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 AMBER KNOLL DR
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CURRENT RESIDENT
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1018 CATTERICK DR
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1018 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1018 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1020 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 AMER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1022 PLEASANT VIEW DR
ROCKWALL, TX 75087

BIANCO DIEGO L
1022 PLEASANT VIEW DR
ROCKWALL, TX 0

CURRENT RESIDENT
1024 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1025 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1028 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1029 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1029 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1030 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1030 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1032 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 AMER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1033 FAWN TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
1036 WINDY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1037 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1037 FAWN TRL
ROCKWALL, TX 75087

RIGGS WILLIAM AUDY SR ESTATE
105 E KAUFMAN ST
ROCKWALL, TX 0

CURRENT RESIDENT
1313 FM552
ROCKWALL, TX 75087

RIDGEVIEW CHURCH
1362 E FM 522
ROCKWALL, TX 0

PAUL TAYLOR HOMES LTD
17950 PRESTON RD 0
DALLAS, TX 0

CURRENT RESIDENT
200 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
205 ROCKHOUSE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
313 SHENNENDOAH
ROCKWALL, TX 75087

CURRENT RESIDENT
3302 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3303 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3306 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3306 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3307 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3307 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3310 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3310 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3311 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3311 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3314 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3314 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3315 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3315 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3318 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3318 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3319 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3319 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3322 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3322 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3323 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3323 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3326 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
339 ALL ANGELS HILL
ROCKWALL, TX 75087

CURRENT RESIDENT
3401 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3401 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3402 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3402 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3405 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3405 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3406 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3406 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3409 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3409 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3410 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3410 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3413 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3413 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3414 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3414 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3418 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3418 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3422 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3423 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3425 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3426 RIDGECROSS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3502 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3506 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3510 ROYAL RIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3602 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3605 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3606 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3609 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3610 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3613 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3614 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3617 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3618 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3621 NOAH CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3702 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3706 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3710 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3714 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3718 DREWSBURY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3902 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3906 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
3910 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4186 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4189 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4190 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4193 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4194 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4197 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4198 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4201 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4202 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4205 LORION DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4206 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4210 RAVENBANK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4401 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4405 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4409 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4413 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4501 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
4505 SENEY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
493 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
497 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
501 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
502 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
502 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
505 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
505 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
506 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
506 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
509 LIFE SPRING DR
ROCKWALL, TX 75087

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509 LIMMERHILL DR
ROCKWALL, TX 75087

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510 LIFE SPRING DR
ROCKWALL, TX 75087

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514 LIMMERHILL DR
ROCKWALL, TX 75087

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517 LIFE SPRING DR
ROCKWALL, TX 75087

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517 LIMMERHILL DR
ROCKWALL, TX 75087

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518 LIFE SPRING DR
ROCKWALL, TX 75087

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518 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
521 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
521 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
522 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
522 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
525 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
526 LIFE SPRING DR
ROCKWALL, TX 75087

MEGATEL HOMES INC
5512 W PLANO PARKWAY 0
PLANO, TX 0

SINKS CHARLES WILLIAM II & SANDRA LYNN
555 SINKS ROAD
ROCKWALL, TX 0

CURRENT RESIDENT
601 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
601 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
602 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
602 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
605 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
605 LIMMERHILL DR
ROCKWALL, TX 75087

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606 LIFE SPRING DR
ROCKWALL, TX 75087

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606 LIMMERHILL DR
ROCKWALL, TX 75087

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609 LIFE SPRING DR
ROCKWALL, TX 75087

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609 LIMMERHILL DR
ROCKWALL, TX 75087

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610 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
610 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
613 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
613 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
614 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
614 LIMMERHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
617 LIFE SPRING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
617 LIMMERHILL DR
ROCKWALL, TX 75087

DREES CUSTOM HOMES LP
6225 N STATE HIGHWAY 161 0
IRVING, TX

CURRENT RESIDENT
625 FM552
ROCKWALL, TX 75087

HANCE LARRY
6306 GLENHOLLOW CT
DALLAS, TX

GILBERT ADAM AND AMANDA
700 CALM CREST DR
ROCKWALL, TX0

CURRENT RESIDENT
701 CALM CREST DR
ROCKWALL, TX 75087

LONES STEVEN M JR AND KELLY SUSAN
702 CALM CREST DR
ROCKWALL, TX

JONES ELOISE AND
705 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
706 CALM CREST DR
ROCKWALL, TX 75087

EVANS JEFFREY WILLIAM AND JULIE BONDS
709 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
710 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
713 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
714 CALM CREST DR
ROCKWALL, TX 75087

WILLIAMS TOMMY EUGENE AND PEGGIE J
717 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
718 CALM CREST DR
ROCKWALL, TX 75087

CAVALLI DAVID MICHAEL AND JULIE HARRISON
721 CALM CREST DR
ROCKWALL, TX

ROGERS DAMIAN W AND JESSICA L
722 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
725 CALM CREST DR
ROCKWALL, TX 75087

BLOCHER AYERS H III AND KAREN L
726 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
801 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
802 CALM CREST DR
ROCKWALL, TX 75087

YAO CHAN-HWA AND ESTHER KUO-LIN
805 CLAM CREST DR
ROCKWALL, TX

COLLINS HOPE AND GUY JR
806 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
809 CALM CREST DR
ROCKWALL, TX 75087

ETLEY MICHAEL EUGENE
812 CALM CREST DR
ROCKWALL, TX 0

CURRENT RESIDENT
813 CALM CREST DR
ROCKWALL, TX 75087

LOWDERMILK SHANE AND CHERYL
817 CALM CREST
ROCKWALL, TX

CARIKER KEVIN L AND LESLIE J
818 CALM CREST DR
ROCKWALL, TX

CAMP JOSEPH RICHARD AND
821 CALM CREST DR
ROCKWALL, TX 0

WINDSOR HOMES CUMBERLAND LLC
8214 WESTCHESTER
DALLAS, TX

BH PHASE III SF, LTD. / BH AMC, LTD.
8214 WESTCHESTER DR
DALLAS, TX

BH PHASE V 80'S POD LTD
8214 WESTCHESTER DR 0
DALLAS, TX

BH 60'S POD LTD
8214 WESTCHESTER DR
DALLAS, TX

BH PHASE IV SF, LTD.
8214 WESTCHESTER DR
DALLAS, TX

BH BALANCE III LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX

BH PHASE I SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH PHASE IIB SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH PHASE IIA SF LTD
8214 WESTCHESTER DRIVE
DALLAS, TX

BH BALANCE I LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH PHASE III SF LTD
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH BALANCE IV LLC
8214 WESTCHESTER DRIVE 0
DALLAS, TX 0

BH BALANCE II LLC
8214 WESTCHESTER DRIVE
DALLAS, TX

BRADLEY ERIK DOUGLAS
822 CALM CREST DR
ROCKWALL, TX

WEBB JOHN DAVID AND CAROLYN PARKER
825 CALM CREST DR
ROCKWALL, TX

CURRENT RESIDENT
890 PLEASANT VIEW DR
ROCKWALL, TX 75087

RICE JAMES RANDOLPH JR AND CANDACE
ELAINE
893 COLBY BLUFF DR
ROCKWALL, TX

CURRENT RESIDENT
894 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
898 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
901 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
902 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
905 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
906 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
906 PLEASANT VIEW DR
ROCKWALL, TX 75087

SICILIANO LAURA EDITH AND
906 AMBER KNOLL DR
ROCKWALL, TX 0

CURRENT RESIDENT
909 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
909 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
909 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
910 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
913 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
914 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
917 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
918 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
921 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
922 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
925 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
926 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
926 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
929 COLBY BLUFF DR
ROCKWALL, TX 75087

MASSEY REBECCA LYNNE ALAMAT AND DARRIN
TODD
929 PLEASANT VIEW DR
ROCKWALL, TX 0

CURRENT RESIDENT
930 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
930 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
933 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
934 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
934 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
937 COLBY BLUFF DR
ROCKWALL, TX 75087

ROBSON SCOTT WAYNE
937 PLEASANT VIEW DR
ROCKWALL, TX

CURRENT RESIDENT
938 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
938 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
941 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
941 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
942 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
945 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
945 PLEASANT VIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
946 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
949 COLBY BLUFF DR
ROCKWALL, TX 75087

CURRENT RESIDENT
950 AMBER KNOLL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
978 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
981 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
982 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
982 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
985 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
986 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
986 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
989 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
990 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
993 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
994 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
997 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
997 FOXHALL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 CALM CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 CATTERICK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 EMBER CREST DR
ROCKWALL, TX 75087

CURRENT RESIDENT
998 FOXHALL DR
ROCKWALL, TX 75087

LIFE SPRING CHURCH
P O BOX 886
ROCKWALL, TX

CLARK BRUCE A
PO BOX 1473
ROCKWALL, TX 0

SHENNENDOAH REAL ESTATE PARTNERS
PO BOX 941428
PLANO, TX

Case No. Z2016-018: Breezy Hill Amendment to PD-74

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- Purchased home with the understanding that the smallest lots would be 60' per Email with Drees Builders.
- Have already invested significant dollars in property improvements and believe 50' lots would drive down property values across Breezy Hill.

Name: Darrin + Becky Massey

Address: 929 Pleasant View Drive, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-018: Breezy Hill Amendment to PD-74

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am opposed to increasing the number of 50' lots. The area needs to retain green spaces. I am not opposed to the standards or the original planned approval. I would just like to see more green space.

Name: Michael Agostini

Address: 1010 CPLM CREST Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-018: Breezy Hill Amendment to PD-74

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

This will drop our property value and was not in the original proposal when we agreed to build here. Too small of lots and houses. Thanks!

Name: Natalie & Ryan Roberts

Address: 909 Calm Crest Dr. Breezy Hill

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Zoning Changes
Date: Monday, June 06, 2016 8:36:21 AM

Fyi, I double checked to make sure 522 Limmerhill Drive was sent a notice, and one was sent.

From: Chris Moore [REDACTED]
Sent: Friday, June 03, 2016 8:55 AM
To: Planning
Subject: Zoning Changes

To Whom It May Concern:

This email is in regards to the proposed changes regarding the Breezy Hill plans to include a section of smaller homes on smaller lots. I understand this will be discussed with the city council on 6/20.

We just recently closed on a home in Breezy Hill and did not receive the form that was mailed to homeowners. We are writing our objections/concerns here in lieu of the form.

We have been residents of the north part of Rockwall since 2008 and my wife has been a teacher with RISD since 2002. When the plans for Breezy Hill were announced with larger lots and more space we sold our home in the Castle Ridge subdivision to jump on the opportunity. The driver to build in Breezy Hill was to have the opportunity to have more space.

The north part of Rockwall has plenty of subdivisions with smaller homes and smaller lots already including the new phase for Castle Ridge, Stone Creek, and Caruth Lakes. More smaller lots and smaller homes is not needed.

The demand is there for larger homes and larger lots. If you look at the phase of Breezy Hill that has the 100'X200' lots it is already almost completely sold out. The phases of Breezy Hill with larger lots have been moving well. Stone Creek slowed down when the larger lots of Breezy Hill opened up. These are factual observations not opinions.

I would argue that Rockwall would continue to benefit by having some balance and leaving the Breezy Hilly plan alone to exclude smaller lots and smaller homes like is now being proposed.

I am happy to discuss further and be involved in any way.

Regards,
Chris Moore
522 Limmerhill Dr
214-695-0401

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case Number 22016-018 BreezyHill
Date: Thursday, June 09, 2016 8:13:55 AM

From: [REDACTED]
Sent: Wednesday, June 08, 2016 11:37 PM
To: Planning
Cc: nancyfontaine@yahoo.com
Subject: Case Number 22016-018 BreezyHill

To all members of the planning department, city council and Mayor of Rockwall,

My husband and I purchased our home in Breezy Hill last October, relocating from the state of Michigan. One of the reasons we chose the area and sub division was due to the larger lot sizes in Breezy Hill in relation to the size of lots elsewhere.

Needless to say we are opposed to the request of the developer to decrease lot sizes in the upcoming phases of the sub division to 50' lots. We and others paid a premium price for our homes based on the planned density of homes. A reduction in lot size would alter the density and reduce property values.

We understand the developer requested smaller lots previously and was denied. We and the neighbors of Breezy Hill are requesting the same outcome this time- a denial of the request.

Thank you,

Nancy and Norman Fontaine
805 Calm Crest Drive
Rockwall
TX

[Sent from Yahoo Mail on Android](#)

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case # Z2016-018 Breezy Hill Amendment to PD-74
Date: Wednesday, June 08, 2016 8:29:20 AM

-----Original Message-----

From: Nancy Parkes [REDACTED]
Sent: Tuesday, June 07, 2016 9:17 PM
To: Planning
Subject: Case # Z2016-018 Breezy Hill Amendment to PD-74

Please let this serve as my opposition to the above proposed zoning change.

Changing the zoning to allow smaller homes on smaller lots will decrease the value of neighborhood. This neighborhood was built to be higher level and we have all paid a premium to have larger lots and many of the homes have higher standard of fixtures and additions that were not given to homes on smaller lots. One cannot compare the homes starting at 1700 square foot to the majority of homes in this neighborhood. Please do to allow the zoning to change to include the smaller homes on the smaller lots. Allow this neighborhood to keep its premium quality as we have all paid for it.

Nancy Parkes
214-945-4343
[REDACTED]

From: [Richard Jones](#)
To: [Miller, Ryan](#)
Subject: Proposed Zoning Change
Date: Tuesday, June 14, 2016 4:23:24 PM

Ryan,

I am a bit late to the game on this one. I just moved to Breezy Hill on June 2, 2016. I live at 3714 Drewsbury Dr. I am going on record that I am apposed the zoning change that would allow single family lots and homes that do not currently represent the homes both in lot size and square footage of the homes in the surrounding subdivisions.

Z2016-018: Hold a public hearing to discuss and consider a request by Jeff Parker of the Skorburg Company on behalf of BH Balance IV, LLC for the approval of a zoning amendment to Planned Development District 74 (PD-74) to amend the concept plan to allow for additional single-family residential lots and for the purpose of incorporating changes to the development standards contained in Exhibit 'C' of Ordinance 14-26 for a 405.184-acre tract of land identified as the Breezy Hill Subdivision and situated within the J. Strickland Survey, Abstract No. 187, Rockwall, Rockwall County, Texas, generally located north of FM-552 and west of Breezy Hill Road, and take any action necessary.

Case Manager
Ryan Miller, AICP

Meeting Dates
Planning & Zoning Commission Work Session: May 31, 2016
Planning & Zoning Commission: June 14, 2016
City Council [1st Reading]: June 20, 2016
City Council [2nd Reading]: July 5, 2016

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: z2016-18
Date: Wednesday, June 15, 2016 8:36:39 AM

-----Original Message-----

From: julie@teamsftomorrow.com [<mailto:julie@teamsftomorrow.com>]
Sent: Tuesday, June 14, 2016 9:47 PM
To: Planning
Subject: z2016-18

Hello,

I am a homeowner of Breezy Hill. It has been brought to our attention that there is a potential for 50' lots in this subdivision. I am writing you to let you know that I am against this being developed in our neighborhood. Having this lot size will bring down the value of the homes. When we decided to build in Breezy Hill we were told lots would be no less than 60'. I expect for things to not change as this would be misleading to all residents.

Thank you for your time,

Julie Bryan

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case Z2016-018
Date: Wednesday, June 15, 2016 8:35:30 AM

From: Julie Cavalli [mailto:Julie@juliecavallistudios.com]
Sent: Tuesday, June 14, 2016 10:28 PM
To: Planning
Cc: Julie Cavalli
Subject: Case Z2016-018

To Whom it May Concern:

I am writing to you after attending the City Council meeting this evening where I voiced my opposition to changes being made to Breezy Hill phase/section X which would make these lots into 50' by 120' lots. I feel this would greatly change the look and feel of my neighborhood. When I moved into Breezy Hill they sold me on the large lots and the openness of the development over that of its sister neighborhood Stone Creek saying Breezy Hill is where you want to be if you want to get away from 0 lot lines and that cramped, track home feel. Breezy Hill was sold to my husband and I as a custom build/ custom home neighborhood. Allowing the developer to up and change the build parameters now after so many of us have bought in to the open land, big lot "picture" is wrong, it is not what we were sold. I feel like having this section of 50' lots, with possibly greater smaller homes as low as 1800 sqft, with front facing garages at what amounts to the front of the neighborhood, directly visible as you drive by from John King Blvd., would greatly cheapen the rest of our properties. When the developer is out and done selling and we are left as a neighborhood, we will have to deal with those smaller homes everyday as viable comps in a real estate capacity driving the price of my home down because it is a mere 4 streets over. I do not like that the developer has not a care one for his original customer now that I am in. It seems to be he is only thinking about what his pocket book needs now, not what would be good for the neighborhood or the people in it. The lots should be no smaller that the original 60' type A from the current PD development standards. If truth be told, they really need to make larger lots and sell them at a premium. I have heard more people say that there were not enough of the large lots available when they were trying to buy and had to settle for a smaller one.

Julie
Julie Cavalli
721 Calm Crest Drive
Rockwall, TX 75087

www.juliecavallistudios.com
678-429-8321 mobile

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-18
Date: Wednesday, June 15, 2016 8:32:46 AM

From: Lynn Jones [mailto:lynnandjournee@gmail.com]
Sent: Tuesday, June 14, 2016 11:27 PM
To: Planning
Subject: Re: Z2016-18

On Jun 14, 2016 11:26 PM, "Lynn Jones" <lynnandjournee@gmail.com> wrote:

Lynn Jones
1021 Ember Crest
Rockwall, TX 75087

I oppose to the developer building 50' foot lots. Thanks

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-018
Date: Wednesday, June 15, 2016 8:33:04 AM

-----Original Message-----

From: Becky Ruddis [<mailto:beckyruddis@verizon.net>]
Sent: Tuesday, June 14, 2016 11:13 PM
To: Planning
Subject: Z2016-018

We are opposed to developers request for 50' lots

Mark & Becky Ruddis
1018 Pleasant View Dr
Rockwall, TX 75087

Sent from my iPad

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Subject: Z2016-018
Date: Wednesday, June 15, 2016 8:36:51 AM

-----Original Message-----

From: Tracy Riley [<mailto:tracydriley@gmail.com>]
Sent: Tuesday, June 14, 2016 9:32 PM
To: Planning
Subject: Subject: Z2016-018

Very opposed to small, 50' lots and small homes being built in Breezy Hill. This will bring our property values down and is not in accordance with the development guidelines that brought and sold us on building in Breezy Hill. This should NOT be approved.

Mike and Tracy Riley
4409 Seney Drive
Breezy Hill Phase 4

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-018 (Breezy Hill) Opposed vote 50" lots
Date: Wednesday, June 15, 2016 8:32:31 AM

-----Original Message-----

From: Ebony J. [<mailto:tsm2521@yahoo.com>]
Sent: Tuesday, June 14, 2016 11:53 PM
To: Planning
Subject: Z2016-018 (Breezy Hill) Opposed vote 50' lots

Hello,

I'm writing this email as a letter to oppose the development of 50' lots concerning the new zoning proposal in my community.

Best Regards,

Terrence&Ebony Myers

610 Limmerhill Dr.
Rockwall, Texas 75087
Breezy Hill

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-018
Date: Wednesday, June 15, 2016 8:36:08 AM

From: Wendeline Ortiz [mailto:wendelineortiz@gmail.com]
Sent: Tuesday, June 14, 2016 9:57 PM
To: Planning
Subject: Z2016-018

To Whom It May Concern

I am a resident of the Breezy Hill community, and I am OPPOSED to the proposal of introducing smaller 50' lots.

When thinking of how fast Rockwall is growing, there needs to be effort in keeping certain regions and the land value. Having been one of the first ~10 neighbors in this subdivision, it was a big risk that we were given "promises" on the standard of neighborhood that we were moving into.

Please, consider these letters and petitions to keep our neighborhood with the larger lots (minimum 60' but would prefer larger). For people looking into smaller more affordable lots, there are other development locations that can address new Rockwall neighbors' needs versus a developer that will leave Rockwall when all is done and we cannot change what they leave behind. These include the ones from D. R. Horton, Stoney Creek and others.

Thank you for your kind consideration.

Wendeline Ortiz
Breezy Hill Resident
821 Calm Crest Dr.

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW:
Date: Wednesday, June 15, 2016 10:06:59 AM

From: Ronna Johnson [mailto:princes1975@hotmail.com]
Sent: Wednesday, June 15, 2016 9:13 AM
To: Planning
Subject:

I am emailing to say we are opposed to the request of 50" lots. (subject Z2016-018)
This will cause too many of us to loose value in our current homes.

Thanks,
Geoff Chinn & Ronna Johnson-Chinn
1009 Ember Crest Dr
Rockwall, Tx 75087

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Subject: Z2016-018
Date: Wednesday, June 15, 2016 2:10:54 PM

-----Original Message-----

From: Greg Williams [mailto:greg_willi@yahoo.com]
Sent: Wednesday, June 15, 2016 11:47 AM
To: Planning
Subject: Subject: Z2016-018

Hello my name is Greg Williams and I live at 3602 Drewsbury Dr. in the Breezy Hill community. I travel a lot and I am unable to attend the 6/20 meeting to discuss the proposal of the developer for the requested 50' lots. I strongly oppose this request due to the promise I was given that the minimum lot size for this neighborhood would be 60'. When purchasing a home you do everything you can to ensure your home value will remain the same or increase, including paying very high HOA fees. To allow the developer/builders to build smaller home will only bring values down. Please deny this request by the developer/builder.

Thank you,
Greg Williams
512-775-0420

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-018
Date: Wednesday, June 15, 2016 3:24:01 PM

From: Shannon Robson [mailto:mrsrobson@yahoo.com]
Sent: Wednesday, June 15, 2016 3:16 PM
To: Planning
Subject: Z2016-018

I am opposed to 50' lot lines in the Breezy Hill Subdivision.

Shannon Robson
937 Pleasant View Drive
Rockwall, TX 75087

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-018
Date: Wednesday, June 15, 2016 2:11:01 PM

-----Original Message-----

From: Yoshika Rankin [<mailto:ydrankin@gmail.com>]
Sent: Wednesday, June 15, 2016 11:09 AM
To: Planning
Subject: Z2016-018

To whom it may concern,

I oppose the developers request to add 50' lots to the Breezy Hill community as I feel it will impact values for the homeowners within the community who purchased larger lots. Additionally this information was not disclosed to the home buyers at any time during the sales process.

Sincerely,

Yoshika Rankin
713 Calm Crest Drive
Breezy Hill

Sent from my iPhone

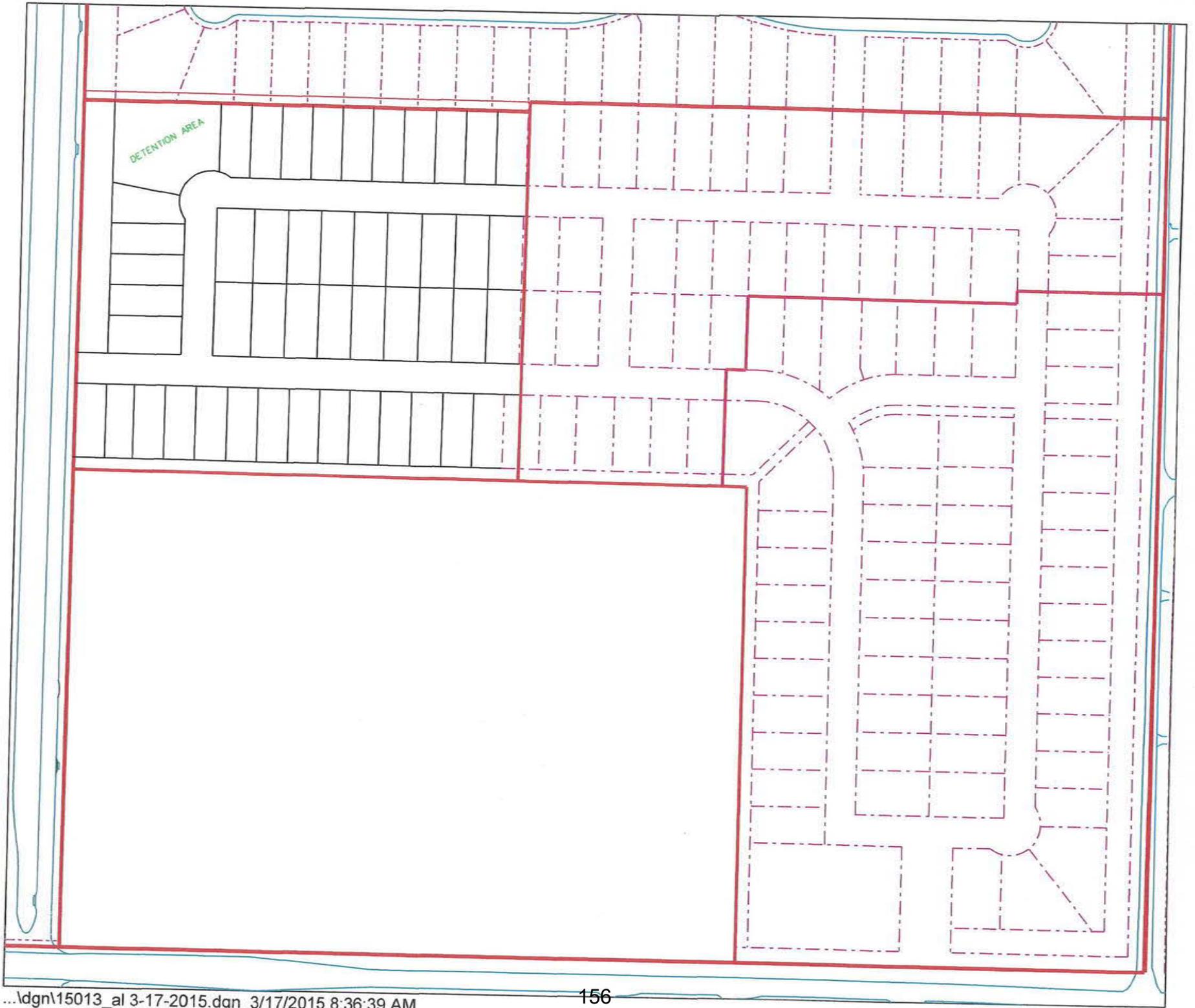
From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2016-018
Date: Thursday, June 16, 2016 10:51:13 AM

-----Original Message-----

From: Jesse Griffith [<mailto:agribankbiz@yahoo.com>]
Sent: Thursday, June 16, 2016 10:32 AM
To: Planning
Subject: Z2016-018

My name is Jesse Griffith, I live at 910 Pleasant View Dr. and I am opposed to the request for 50 foot lots.

Sent from my iPhone



DONG WON KANG
VOL. 4703, PG. 1402

HELEN JOY RIGGS
VOL. 54, PG. 456

BRUCE CLARK
VOL. 102, PG. 1010

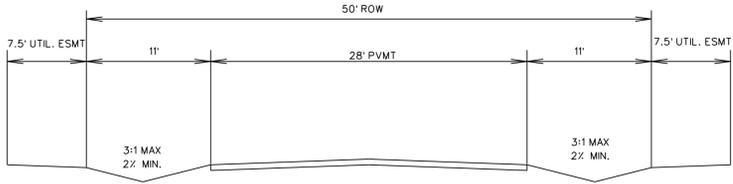
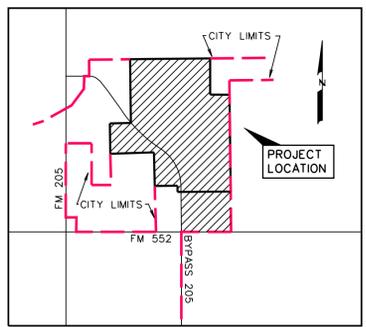
HIDDEN VALLEY ESTATES NO. 2
VOL. A, PG. 379

LARRY HANCE
VOL. 769, PG. 168

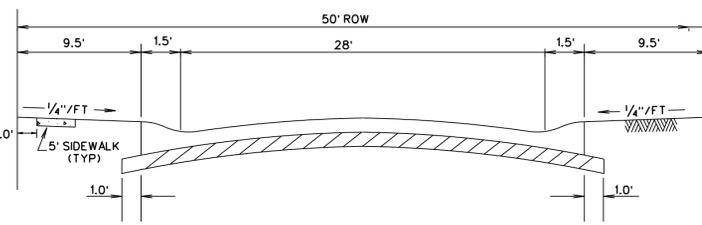
SKYVIEW COUNTRY ESTATES
VOL. A, PG. 261



0 200 400 800
SCALE: 1" = 400'



RURAL STREET SECTION
N.T.S.
100'x200' LOTS



TYPICAL PAVEMENT SECTION - LAYDOWN CURB
N.T.S.

LEGEND

TYPICAL LOT SIZES

- TYPE A - [Orange] - 206 LOTS (60's)
- TYPE B - [Yellow] - 112 LOTS (70's)
- TYPE C - [Purple] - 326 LOTS (80's)
- TYPE D - [Blue] - 98 LOTS (100's)
- TYPE E - [Dark Blue] - 47 LOTS (50's)
- [Green] - PUBLIC OPEN SPACE/ LANDSCAPE BUFFER

RESIDENTIAL OPEN SPACE

Number	Acres	OPEN SPACE CREDITS	Comments
1	11.5	11.5	Open Space
2	1.3	1.3	Open Space
3	7.5	7.5	Open Space
4	0.8	0.8	Open Space
5	1.6	1.6	Open Space
6	5.4	5.4	Open Space
7	7.1	7.1	Open Space
8	32.5	32.5	Open Space
9	9.7	9.7	Open Space
10	0.7	0.7	Open Space
11	6.6	6.6	Floodplain
12	11.9	5.9*	Floodplain
13	1.4	0.7*	Floodplain
14	0.2	0.2	Open Space
15	1.6	1.6	Amenity Center
16	1.2	1.2	Open Space
17	0.8	0.8	Open Space
18	0.09	0.09	Open Space
19	3.56	1.78*	Floodplain
TOTAL	105.4 AC.	97.0 AC.	

* indicates 50% Credit for Flood Plain
 TOTAL RESIDENTIAL ACRES - 381.20 AC.
 JOHN KING R.O.W. - 8.1 AC.
 NET ACRES - 373.10 AC.
 20% required Open Space - 74.62 AC.
 per PD

TOTAL RETAIL - 19.5 AC.
 JOHN KING R.O.W. - 4.45 AC.
 NET RETAIL ACRES - 16.2 AC.
 20% required Open Space - 3.2 AC
 per PD

NOTE:
 BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PLACED AS NEEDED TO ACCOMMODATE FIRE PROTECTION.
 FEMA FLOODPLAIN PANEL NO. 48397C0030L
 THE 19.5 ACRE TRACT DESIGNATED AS "RETAIL TRACT" WILL REQUIRE A SEPARATE PD DEVELOPMENT PLAN AND IS INCLUDED IN THE AREA COVERED BY THIS MASTER PLAT.

RETAIL TRACT 19.5 ac.
 RESIDENTIAL TRACT 381.20 ac.

TOTAL ACRES 405.15
 TOTAL RESIDENTIAL LOTS 789
 RESIDENTIAL DENSITY 2.07

MASTER PLAT
 OF
BREEZY HILL
 OUT OF THE
 J. STRICKLAND SURVEY, ABSTRACT NO. 187
 T.R. BAILEY SURVEY, ABSTRACT NO. 30
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNERS
BREEZY HILL 405, LTD.
 8214 WESTCHESTER, SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 MARCH 2015 SCALE 1" = 400'

Infrastructure Statement
Drainage Facilities:
 There are natural drainage ways within the project and detention will be required.
Sanitary Sewer Facilities:
 This site will utilize lift stations and force mains to send the sewer flows to the existing sewer trunk line located at the intersection of FM 552 and Highway 205
Water Facilities:
 There is an existing water line located in FM 552. A new 16" water line will be constructed along John King Boulevard north of FM 552 to service this tract.
Roadway Facilities:
 The west side of the project is bounded by John King Boulevard, the south side is bounded by FM 552, the east side is bounded by Breezy Hill Road.

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 74 (PD-74) [ORDINANCE NO. 14-26] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING THE PLANNED DEVELOPMENT CONCEPT PLAN AND THE DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 14-26, BEING A 405.184-ACRE TRACT OF LAND SITUATED IN THE J. STRICKLAND SURVEY, ABSTRACT NO. 187, T. R. BAILEY SURVEY, ABSTRACT NO. 30 AND THE J. SIMMONS SURVEY, ABSTRACT NO. 190, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE..

WHEREAS, the City has received a request by the Jeff Parker of the Skorburg Company on behalf of Breezy Hill 405, LTD for an amendment to the Planned Development Concept Plan and Development Standards contained within Planned Development District 74 (PD-74) [specifically contained within *Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, for a 405.184-acre tract of land situated in the J. Strickland Survey, Abstract No. 187, T. R. Bailey Survey, Abstract No. 30 and the J. Simmons Survey, Abstract No. 190, Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 74 [*Ordinance No. 14-26*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 09-19, 12-26 & 14-26*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That a master parks and open space plan for the Property, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan, (Open Space Master Plan)* shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

Section 6. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
 1. Open Space Master Plan
 2. Master plat
 3. PD development plans (*required for retail areas only*)
 4. PD site plans
 5. Preliminary plats
 6. Final plats
- (c) A Master Plat application covering all of the *Subject Property*, other than the area designated on the *Planned Development Concept Plan* as *Retail*, shall be submitted and shall identify each phase of development. No master plat application shall be approved until the *Open Space Master Plan* for all of the Property has been approved; however, the *Open Space Master Plan* may be processed by the City concurrently with the master plat application.
- (d) A *PD Development Plan* must be approved for the area designated on the Concept Plan as *Retail* prior to submittal of a *PD Site Plan* application and/or a preliminary plat application. No master plat is required for the area designated on the Concept Plan as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for the retail tract.
- (e) A preliminary plat application shall be submitted for each phase of residential development. A *PD Site Plan* application, including a site plan application for improvements for parkland or trails, may be processed by the City concurrently with a preliminary plat application for that phase of the development.
- (f) A *Capital Facilities Agreement* in the form of *Exhibit 'D'*, attached hereto and incorporated herein by reference as *Exhibit 'D'*, shall be executed by Developer providing for delivery of adequate public facilities and services within the District.

Section 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine

not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5TH DAY OF JULY, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 20, 2016

2nd Reading: July 5, 2016

Exhibit 'A':
Legal Description

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN PARTS OF THE J. STRICKLAND SURVEY, ABSTRACT NUMBER 187, T. R. BAILEY SURVEY, ABSTRACT NUMBER 30 AND THE J. SIMMONS SURVEY, ABSTRACT NUMBER 190 OF ROCKWALL COUNTY, AND BEING THAT TRACT OF LAND CONVEYED TO W.W. CARUTH, JR. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 66, PAGE 493, DEED RECORDS OF ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) ALSO A PORTION OF THE J. STRICKLAND SURVEY, ABSTRACT 794•3 LYING IN COLLIN COUNTY, TEXAS, THAT TRACT OF LAND CONVEYED TO MABEL CARUTH ACCORDING TO THE FILE OF RECORD IN COUNTY CLERK FILE NUMBER 92-0054539 OF COLLIN COUNTY, TEXAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND AT THE BASE OF A CORNER POST, SAID IRON ROD BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO DONG WON KANG RECORDED IN VOLUME 4703, PAGE 1402, D.R.R.C.T., AND SAME (BEING THE SOUTHEAST CORNER OF SAID TRACT "ONE" AS SHOWN HEREON;

THENCE NORTH 89°21'28" EAST, A DISTANCE OF 2077.92 FEET TO A 1/2" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°01'37" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 1274.60 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°19'07" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 686.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°42'37" EAST, ALONG THE CENTER OF BREEZY HILLS ROAD, A DISTANCE OF 4777.93 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN THE NORTH LINE OF F.M. HIGHWAY 552, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 89°20'36" WEST, ALONG THE NORTH LINE OF SAID F.M. HIGHWAY, A DISTANCE OF 1887.13 FEET, TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN AN ENTRYWAY OF A RANCH ROAD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 00°31'43" WEST, GENERALLY ALONG THE CENTER OF SAID RANCH ROAD, PASSING AT A DISTANCE OF 10.00 FEET A 1/2" IRON ROD FOUND ON THE WEST LINE OF THIS TRACT AND CONTINUING A TOTAL DISTANCE OF 593.55 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°15'47" WEST, A DISTANCE OF 503.29 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 01°31'06" WEST, A DISTANCE OF 1189.10 FEET TO A 5/8" IRON ROD FOUND AT THE BASE OF A CORNER POST, FOR A CORNER OF THIS TRACT;

THENCE SOUTH 88°05'58" WEST, A DISTANCE OF 1546.66 FEET TO A 3/8" IRON ROD

Exhibit 'A':
Legal Description

FOUND FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°47'14" WEST, A DISTANCE OF 1067.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 88°33'50" E, A DISTANCE OF 748.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°45'11" W, A DISTANCE OF 2243.67 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE NORTH 89°21'28" E, A DISTANCE OF 754.93 FEET TO THE POINT OF BEGINNING, AND CONTAINING 405.184 ACRES OF LAND, MORE OR LESS.

Exhibit 'B': Concept Plan

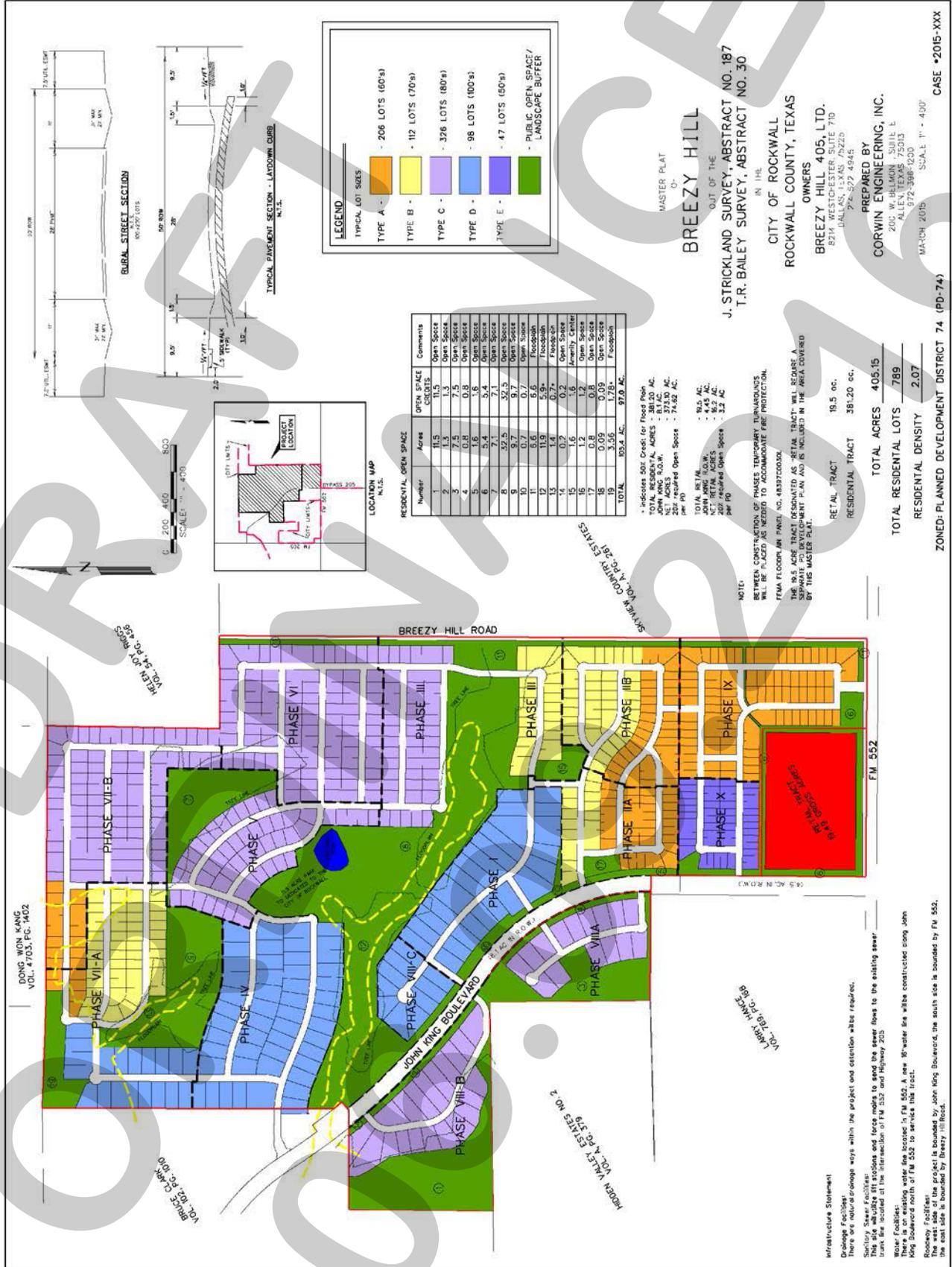


Exhibit 'C':
PD Development Standards

TEXT TO BE ADDED TO THE ORDINANCE
TEXT TO BE REMOVED FROM THE ORDINANCE

A. GENERAL REQUIREMENTS

1. *Uses Allowed.* The following uses are permitted for the Property.

- a. *Residential uses.* Uses permitted of right or by special use permit for the (SF-10) Single Family Residential District, as set forth in Article IV, Permissible Uses, of the City of Rockwall Unified Development Code, shall be allowed for areas designated as Single-Family on the Concept Plan, subject to approval of a Special Use Permit if required by the SF-10 District Regulations.
- b. *Non-residential uses.* Non-residential uses shall be allowed only within the area designated as Retail on the approved Concept Plan for the District, and are limited to those uses permitted of right or by special use permit for the (GR) General Retail District subject to approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations, Article X, Section 2 of the Unified Development Code, and subject to approval of a Special Use Permit if required by the GR District Regulations; provided, however, that the following uses are expressly prohibited:

- Animal Hospital, Clinic
- Convent or Monastery
- Hotel or Motel
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (Outside)
- Gun Club, Skeet or Target Range (indoor)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply/Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service*
- Service Station*
- Mining and Extraction (Sand, Gravel, Oil & other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

* Not including a convenience store with an accessory car wash use or more than four (4) gas pumps, which accessory uses are permitted by SUP.

The following additional use shall be permitted of right in the PD District:

- Grocery Store with a maximum building area of one hundred and thirty thousand (130,000) square feet.

- c. *Design of non-residential uses.* The retail area shall be designed to be pedestrian-oriented and easily accessible to adjacent residential neighborhoods. Additionally, the retail area shall be designed and constructed to be integrated with adjacent uses, not separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from adjacent development into the retail area and

Exhibit 'C':
PD Development Standards

through the use of landscaping buffers, building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

- d. *Density and lot composition.* If the retail develops in accordance with the attached Concept Plan, no more than **742 789** single-family residential dwelling units may be constructed within the Property. Except as provided in subsection (e), single-family residential units shall be allocated by product type in accordance with the following table:

Table 1: Lot Composition

Lot Type	Lot Size Minimum	Lot SF Minimum	Driveway Access	Total Units	Total Dwelling Units (%)
A	60' x 120'	7,200	Front	206	27.80 26.11%
B	70' x 120'	8,400	Front	112	15.10 14.20%
C	80' x 125'	10,000	Front	326	43.90 41.32%
D	100' x 200'	20,000	Front	98	13.20 12.42%
E	50' x 120'	6,000	Front	47	5.96%
AVERAGE LOT SIZE:		10,000			
MAXIMUM ALLOWED TOTAL UNITS:				742 789	100%

- e. *Variation in lot composition.* The allocation of single-family dwellings among lot types may deviate from that in subsection (d), provided that the maximum allowed total dwelling units does not exceed **742 789** units, the average lot size for the development is not less than 10,000 sq. ft., and the following rules are met:

- (1) Lot types "A & B" may increase not more than 5% in aggregate number.
- (2) Lot type "C" shall not be decreased below **42% 41.32%** of the total **742 789** lots.
- (3) Lot Type "D" shall not be decreased below 98 of the total lots.
- (4) Lot Type "E" shall not increase above 47 of the total lots.**

2. *Development Standards Applicable.* Except as may be modified by these Development Standards, residential uses shall be subject to the development standards for a (SF-10) Single Family Residential District, as set forth in Article V, District Development Standards for Section 3.4 of the City of Rockwall Unified Development Code; to the development standards in the 205 Bypass Overlay District; and to all supplemental standards contained in the Unified Development Code, including but not limited to the tree preservation regulations in the Unified Development Code.

Exhibit 'C':
PD Development Standards

B. SPECIAL DEVELOPMENT STANDARDS

1. *Dimensional Standards for Residential Uses*

Table 2: Lot Type Matrix

Lot Types	A	B	C	D	E
Maximum Building Height	36'	36'	36'	36'	36'
Minimum Air Conditioned Square Footage	2,200	2,400	2,600 ²	3,000	1,800
Minimum Front Yard Building Setback	20' ⁴	20'	20'	40' ³	15' ⁴
Minimum Rear Yard Building Setback	10'	10'	15'	15'	10'
Minimum Side Yard (<i>Interior</i>)	5'	5'	6'	7'	5'
Minimum Side Yard Adjacent to a Street	15'	15'	15'	15'	15'
Minimum Distance of Driveway (<i>from Property Line</i>)	20'	20'	20'	40'	20'
Minimum Lot Area (<i>Square Feet</i>)	7,200	8,400	10,000	20,000	6,000
Minimum Lot Frontage ¹	60'	70'	80'	100'	50'

Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by twenty percent (20%) in lot width measured at the front property line provided that the lot width will be met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10 percent (10%) but shall meet the minimum lot size for each lot type as referenced within *Table 1*.
- ²: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.
- ³: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.
- ⁴: Front porch may encroach to within 10-feet of the front property line.

2. *Development Standards for Residential Uses by Lot Product/Type*

a. *Detached Single Family Lot Type A*

Development Standards

Minimum Lot Size	7,200 SF
Minimum Lot Width (@ Front Building Line)	60'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	65'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,200 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drive. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'A' lots shall have 3-car garages.
Maximum Lot Coverage	65%

Exhibit 'C':
PD Development Standards

b. Detached Single Family Lot Type B

Development Standards	
Minimum Lot Size	8,400 SF
Minimum Lot Width (@ Front Building Line)	70'
Minimum Lot Depth	120'
Minimum Lot Width (Corner Lot)	75'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	2,400 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to have the garage accessed from the street using traditional "swing" or "J" drives. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 33% of Type 'B' lots shall have 3 car garages.
Maximum Lot Coverage	65%

c. Detached Single Family Lot Type C

Development Standards	
Minimum Lot Size	10,000 SF
Minimum Lot Width (@ Front Building Line)	80'
Minimum Lot Depth	125'
Minimum Lot Width (Corner Lot)	85'
Minimum Side Yard Setback	6'
Minimum Front Yard Building Setback	20'
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	2,600 SF ¹
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Second single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. A minimum of 80% of Type 'C' lots shall have 3 car garages.
Maximum Lot Coverage	65%

Notes:

¹: A maximum of 20% of the lots may have homes not less than 2,500 sq. ft.

Exhibit 'C':
PD Development Standards

d. Detached Single Family Lot Type D

Development Standards

Minimum Lot Size	20,000 SF
Minimum Lot Width (@ Front Building Line)	100'
Minimum Lot Depth	175'
Minimum Lot Width (Corner Lot)	100'
Minimum Side Yard Setback	7'
Minimum Front Yard Building Setback	40' ¹
Minimum Rear Yard Building Setback	15'
Minimum Air Conditioned Square Footage	3,000 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Traditional "swing" or "J" drive required. Single garage door facing street is permitted behind (width) of double garage door in "swing" or "J" configuration only. 80% of Type D lots shall have a minimum of 3 car garages.
Maximum Lot Coverage	70%

Notes:

¹: The Director of Planning or his designee may grant a reduction in the required 40-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 40-foot front yard building setback would create an undue hardship on the property.

e. Detached Single Family Lot Type E

Development Standards

Minimum Lot Size	6,000 SF
Minimum Lot Width (@ Front Building Line)	50'
Minimum Lot Depth	110'
Minimum Lot Width (Corner Lot)	55'
Minimum Side Yard Setback	5'
Minimum Front Yard Building Setback	15'
Minimum Rear Yard Building Setback	10'
Minimum Air Conditioned Square Footage	1,800 SF
Minimum Roof Pitch	8:12 Except for 4:12 on Porch Roofs
Minimum Masonry Requirement [Brick, Stone, Cultured Stone, 3-Part Stucco]	80%
Garage Orientation	Garages will be allowed to be accessed from the street; however a minimum driveway length of 20-ft must be provided
Maximum Lot Coverage	75%

Exhibit 'C':
PD Development Standards

3. *Fencing.* All individual residential fencing for lots less than 20,000 square feet shall be cedar standard fencing material (minimum ½” thickness) or better (spruce fencing will not be allowed). All cedar pickets shall be placed on the “public side” facing the street, alley or neighboring property. Lots containing 20,000 sq. ft., lots located along perimeter roadways, and lots abutting open spaces, greenbelts and parks shall be required to install tubular steel fencing. Corner lot fencing (adjacent to the street) shall provide masonry columns at forty-five feet (45’) off center spacing that begins at the rear property line corner and terminates ten feet (10’) behind the front yard building setback line. A maximum six (6’) foot solid board on board “panel” cedar fencing shall be allowed between the masonry columns along the side and/or rear yard lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five feet (5’). The property owner shall maintain that portion of the property outside the fence.
4. *Anti-Monotony Features.* Lot types shall incorporate the following elevation features.

Table 3 : Anti-Monotony Matrix

Lot Type	Lot Size (Approx.)	Elevation Features
A	60' x 120'	i., ii., iii.
B	70' x 120'	i., ii., iii.
C	80' x 125'	i., ii., iii.
D	100' x 200'	i., ii., iii.
E	50' 120'	i., ii.

- i. Exterior facade must be composed of eighty percent (80%) masonry (brick, stone, cultured stone, or three-part stucco). Identical brick blends may not occur to adjacent (side-by-side) properties. Elevations shall not repeat along the fronting or siding streetscape without at least four (4) intervening homes of sufficient dissimilarity (to be determined by the ARC) on the same side of the street and (2) intervening homes on the opposite side of the street). The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least two (2) intervening homes of sufficient dissimilarity (to be determined by the ARC). Masonry (brick, stone, cultured stone, or three-part stucco) chimneys shall be required on all homes.
 - ii. Minimum of 8:12 roof pitch, except for 4:12 roof pitches on porches. For each phase, a maximum of four compatible roof colors may be used. Dimensional shingles shall be used. Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized. No Formica counters in kitchens and bathrooms, no blown acoustic ceilings. No vinyl flooring will be used in kitchens.
 - iii. For front entry driveway access a traditional “swing” or “J” drive will be used. Second single garage door facing street is permitted behind (width) of double garage door in “swing” or “J” configuration only.
5. *Streetscape Landscape.* Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy trees.
 - (1) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (2) Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - (3) For purposes of this section only, the term “front yard” includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit 'C':
PD Development Standards

6. *Master Design Guidelines.* Additional design guidelines specific to each phase of development that shall apply to all single-family dwellings units within that phase of development, shall be submitted to the City prior to issuance of any building permits for that portion of the development.

C. STANDARDS FOR DISTRICT DESIGN AND CONNECTIVITY

1. *Streetscape Standards for Collectors & Non-Fronting Thoroughfares.* All streets, excluding drives, fire lanes and private parking areas, shall be built according to City of Rockwall street standards. Sidewalks and Hike / Bike trails are to be placed according to city requirements and as set forth in the Open Space Master Plan for the District.
 - a. *Buffer-Strip and Sidewalks (John King Boulevard Overlay District).* The landscape buffer strip along John King Blvd shall be as described in the City of Rockwall Unified Development Code, Article V (District Development Standards), Section 6.10 E (Landscape Standards) and be a minimum width of fifty (50) feet as shown on the Planned Development Concept Plan in Exhibit 'B'. Additionally, the developer shall construct a minimum of a ten (10) foot sidewalk, on both sides of John King Boulevard, within the fifty (50) foot landscape buffer strip as recommended by the John King Boulevard Design Concept Plan located in the Comprehensive Plan of the City of Rockwall.
 - b. *Buffer-Strip (FM 552).* A landscape buffer strip with a minimum width of fifteen (15) feet shall be provided along the frontage of FM 552, and shall be landscaped with at least one canopy tree per 30-ft and a combination of berms and shrubbery to be reviewed with the PD Site Plan(s) for the retail tract.
 - c. *Buffer-Strip (Breezy Hill) Retail.* The minimum buffer width between the proposed retail area and Breezy Hill Rd shall be fifty (50) feet, and shall include a berm with a minimum height of five (5) feet with at least three (3) canopy trees and four (4) accent trees per 100-ft of frontage. A detail of this landscape buffer shall be approved by the Planning and Zoning Commission and City Council at the time of PD Development Plan for the retail tract.
 - d. *Buffer-Strip (Breezy Hill) Residential.* A landscape buffer strip with a minimum width of ten (10) feet shall be provided between any residential area and Breezy Hill Rd.
 - e. *Irrigation.* Any irrigation installed in landscape areas and public parks must be designed by a Texas licensed irrigator or landscape architect.
 - f. *Fencing.* The Association will maintain all common area and perimeter fencing surrounding the Property. Such perimeter fencing shall be composed of six foot (6') tall tubular steel fencing with masonry entry features or such other fencing as may be approved by the City at the time of platting. Perimeter screening may also be accomplished by earthen berms landscaped with living screening. Property owners will maintain all fences constructed on private property.
 - g. *Curvilinear Walks.* Walks are to be a minimum of five feet (5') wide to six feet (6') maximum width (hike and bike trail) consistent with the approved Open Space Master Plan. "Collector streets" with or without center medians may incorporate sidewalks six feet (6') in width adjacent to or within "front yard" landscape easements. Walks may meander within parkway and common area; however, edge of walk shall be no closer than four feet (4') from back-of-curb.
 - h. *Medians.* Any proposed median openings shall meet the City standards at the time of PD site plan approval.
2. *Lighting.* Light poles shall not exceed twenty feet (20') in height. All light fixtures shall direct light downward and be contained to the site.

Exhibit 'C':
PD Development Standards

3. *Sidewalks.* At a minimum, sidewalks located on lay down curb section streets shall begin four feet (4') behind the back of curb and be five feet (5') in overall width. Sidewalks will not be required on rural street sections.
4. *Curbing.* Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
5. *Buried Utilities.* New distribution power-lines required to serve the Property shall be placed underground, whether such lines are located internally or along the perimeter of the Property, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3 phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the Property, except along the 205 Bypass. Additionally, if such above ground lines are installed along the perimeter of the property and adjacent to non-residential use, then the lines shall be installed behind the non-residential buildings where the installation is possible. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the Property. Temporary power-lines constructed across undeveloped portions of the Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered "existing lines" at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph.
6. *Parks and Open Space.*
 - a. Residential and retail acreages (net of right-of-way dedication) shall contain no less than 20% open space and.
 - b. Allowable open space may include but is not limited to 50% of floodplain, amenity center, public or private parks, trails, natural areas, buffers, traffic circle medians, entry features, common areas (including any Association recreation center or similar facilities) and other features depicted on the Development Plan, as set forth in the Open Space Master Plan prepared in accordance with subparagraph (c) below. Street right of way will not be included as open space. At least 80% of the single-family dwellings within the development shall be located within eight hundred feet (800') of public or private open space. In order to qualify, such open space must be at least one (1) continuous acre in area, not including roadway buffers less than fifty (50') feet in width.
 - c. The Developer shall prepare the Open Space Master Plan to be consistent with the approved Development Plan. The purpose of an Open Space Master Plan is to supplement the Development Plan by providing an additional level of detail for public and private open space areas. The Open Space Master Plan shall identify the locations of and improvements to public parks, and other public and private open space or common areas and shall illustrate an integral system of trail improvements that, together with intervening land held by other property owners or the City, is designed to connect residential areas, schools and retail areas within the District to parks and open space within the District and that provides for continuation and connection of the trail system to off-site parks and open space, in accordance with the City's Master Park and Recreation Plan. The Open Space Master Plan shall clearly differentiate public parks from private facilities and common lands to be maintained by the Association. The locations of public parks, school sites and other public and private open space or common areas shown on the Open Space Master Plan shall be in conformance with the Development Plan. The Open Space Master Plan shall include a phasing plan for construction of all trails, parks, common open space and facilities. The Open Space Master Plan shall be considered for approval if it complies with this section, the applicable City regulations, the Development Plan, and generally accepted park-planning practices.
 - d. The District shall contain not less than eleven (11) acres of land to be used as public or private parkland. A minimum of eleven (11) contiguous acres shall be dedicated to the

Exhibit 'C':
PD Development Standards

City in accordance with the City's Neighborhood Parkland Dedication Ordinance on approval of the final plats for those phases adjacent to or abutting the proposed parkland dedication and will provide access to said parkland area. The remaining parkland area will be retained as a private park within the District. Park improvements shall be constructed in accordance with the approved Open Space Master Plan. The site plan incorporating the design of park improvements and hike/bike trail improvements shall be considered for approval with the final plat for the phase of the development containing such improvements. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding land dedication. At the time of recordation of final plats for each phase, the Developer shall pay park improvement fees to the City. These fees shall be held in an escrow account until the parkland is dedicated to the City, at which time the Developer shall inform the City if the Developer wishes to use the escrowed fees as well as future fees to construct park improvements. Prior to construction, said improvements shall be approved by Parks Director, approval not to be unreasonably withheld, and invoices for improvements shall be submitted to Parks Director for approval. Performance of the obligations in this subparagraph shall be deemed to fully satisfy the City's Neighborhood Parkland Dedication Ordinance regarding park development fees, provided that park improvements are installed at a value equal or exceeding the value of park improvement fees for the entire District applicable at that time, or improvement fees are paid. Thereafter, the Developer shall not be responsible for additional parkland dedication or park development fees associated with the Property, except as otherwise may be provided in a capital facilities agreement approved by the City.

7. Developer shall provide a minimum of one (1) retention pond in the District with hard edges and fountain features. The exact configuration and location of the ponds will be determined at development. All retention pond hardedges shall be similar to the hardedge shown on Figure 1 (below).



Figure 1: *Retention Pond with Hardedge.*

8. **Signage.** Permanent subdivision identification signage shall be permitted at all major entry points, in general conformance to the signage shown in Figure 2 & 3 (below). Final design of entry features to be determined with the Planned Development Site Plan.

**Exhibit 'C':
PD Development Standards**



Figure 2: Example of Subdivision Signage Locations

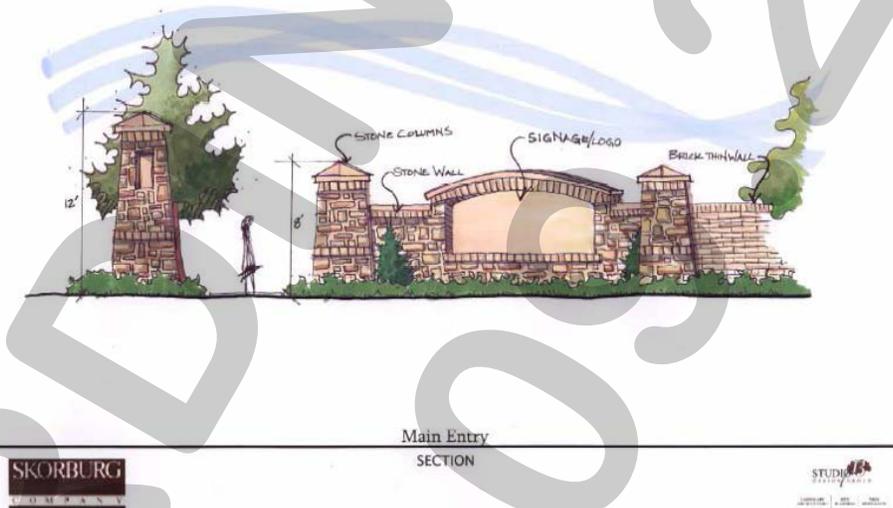


Figure 3: Example of Subdivision Signage Design Standard

9. **Variations.** The variance procedures and standards for approval set forth in the Unified Development Code shall apply to any application for variances to this ordinance.
10. **Amenity Center.** Site plan, landscape plan and building elevations for the Amenity Center shall be approved by the Planning and Zoning Commission prior to construction.
11. **Trees.** All trees planted within the District shall be a minimum three (3) inch caliper measured six (6) inches above the root ball.

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

THIS CAPITAL FACILITIES AGREEMENT (the "Agreement") is by and among the Breezy Hill 405, Ltd, ("Breezy" or "Developer") and the City of Rockwall, Texas ("City" or "Rockwall"),

I. RECITALS

1. Breezy seeks to rezone and subdivide the Property for single-family residential use and certain commercial uses. Breezy shall submit an application to rezone the 405 acres north of FM-552 (the "Property") as a planned development (PD) district for a development currently known as Breezy Hill (the "PD District"),

NOW, THEREFORE, in consideration of the foregoing recitals and mutual covenants contained herein, the Parties hereto agree as follows:

II. ADEQUATE PUBLIC FACILITIES

1. *General Provisions.*
 - a. *Adequacy Required.* Development of the Property shall be supported with adequate levels of public facilities and services, Adequate facilities and services are those that (i) comply with the applicable City regulations, including this Agreement, and (ii) are consistent with generally accepted engineering and planning practices for similar developments, The Parties agree that the dedication and construction of public improvements, or the contribution of proportionate development fees, required to support development of the Property shall precede or be concurrent with the construction of private improvements to the land, in accordance with the phasing provisions incorporated within this section, or as otherwise may be provided through approval of a master plat.
 - b. *Proportionality.* The Parties agree that the dedication or construction of public improvements, or the contributions of development fees, provided for in this Agreement are roughly proportional to the nature and extent of the proposed development of the Property on the City's public facilities systems. Breezy hereby covenants not to sue the City for any claim, or otherwise consent to participate in any action against the City arising from any claim by such party or by its affiliates, alleging that application of the adequate facilities requirements set forth in this Part II of the Agreement to the development of the Property, or the imposition of conditions to a plat application for a portion of the Property that are consistent with the requirements of this section, are not roughly proportional to the impacts of the development depicted in the Concept Plan, including but not limited to any action premised upon Tex. Loc. Gov't Code sec. 212.904 or successor statute. Such covenant not to sue touches and concerns the Property, and is a covenant running with the land such that it binds successors-in-interest and assigns of Breezy. Should any successor-in-interest or assign of Breezy other than an affiliate of Breezy assert any of the foregoing claims in a court of competent jurisdiction, in violation of this Subsection 1 (b), with respect to the development of any portion of the Property, the Parties agree that, with respect to such portion of the Property or all of the Property, at the City's option, this Agreement thereupon shall become null and void and any rights that may otherwise have

PLS

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

vested under then existing state law shall be waived upon such event. Breezy further agrees that the City may expressly rely upon the provisions of this paragraph in any certification under section 212.904 and that a court in determining rough proportionality may consider all of the Property. Should Breezy or an affiliate of Breezy violate the covenant not to sue contained in this paragraph, the City may either enforce the covenant or pursue the remedies provided for herein that are applicable to successors or assigns, other than affiliates. As used in this Agreement, the term "affiliate" means any person, corporation, partnership, or other entity controlled by, controlling, or under common control with Breezy.

- c. *No Waiver.* The requirements in this Part II shall be considered additional standards and conditions applicable to development within the PD District. Except in the event of a conflict between the standards in this Agreement and other standards applicable within the District, nothing in this Agreement shall be construed as superseding any requirement or standard in the City's subdivision or utility regulations relating to provision of adequate public facilities and services.

2. Wastewater Services.

- a. *City as Provider.* The City shall be the supplier of wastewater services to the Property.
- b. *Line Extensions.* The Developer shall extend wastewater mains sufficient to serve each phase of development within the PD District, sized in accordance with the City's master plan for wastewater facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall design and construct a lift station in order to serve the development within the PD District. The Developer shall be entitled to pro-rata fees for the costs of over-sizing the lift station from other future developments using the lift station, calculated on a per acreage basis. Developer also shall be eligible for credits against wastewater impact fees otherwise due for construction of improvements identified and included in the City's wastewater improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro-rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.
- c. *Payment of Impact Fees.* Wastewater impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.

3. Water Services

- a. *City as provider.* The City shall be the supplier of water services to the Property. The City represents that it has sufficient capacity to serve the Property.
- b. *Line Extensions.* The Developer shall extend water mains sufficient to serve each phase of development within the PD District, sized in accordance with

PLS

**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

the City's master plan for water facilities and constructed in accordance with the phasing schedule approved in conjunction with the Developer's master plat application. The Developer shall be eligible for City participation in the costs of over-sizing water distribution mains or appurtenances that serve other land in addition to the Property, in accordance with the City's standard policies, or for collection of pro-rata fees for such facilities. Developer also shall be eligible for credits against, water impact fees otherwise due for construction of improvements identified and included in the City's water improvements plan for impact fees, in accordance with the City's then existing impact fee regulations. Provisions for City participation in oversize costs, rebate of pro rata fees or provision of impact fee credits shall be set forth in a facilities and reimbursement agreement between the Developer and the City.

- c. *Payment of Impact Fees.* Water impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations.
4. *Road Improvements.* The Developer shall make the following road improvements.
 - a. *John King Boulevard (Highway 205 Bypass).* The Developer shall have no obligation with respect to construction of John King Blvd. other than as outlined herein regarding payment of road impact fees.
 - b. *FM-552 Improvements.* The Developer shall dedicate rights-of-way for and construct turn lanes and acceleration/deceleration lanes concurrent with construction of any road on the Property that intersects FM 552, in accordance with City and TXDOT standards and specifications at the time of development of adjoining property.
 - c. *Breezy Hill Road Improvements.* The Developer shall dedicate a minimum of twenty-five feet (25') of right-of-way or such right-of-way as is needed to construct a twenty-four foot (24') concrete rural section of Breezy Hill Road and appurtenances adjacent to the Property, together with a two-foot (2') asphalt or concrete shoulder on either side of the concrete section, the total not to exceed twenty-eight feet (28') in width, from the northern point of Breezy Hill Road adjacent to the Property, to FM-552, as shown on the Development Plan. The Developer also shall dedicate and improve a minimum landscape buffer of ten feet (10') for the residential tract and fifty feet (50') for the retail tract, adjacent to the right-of-way for Breezy Hill Road, designed in accordance with the requirements of a PD District then in effect for a rural collector. The bar ditch that abuts the buffer strip, designed to a maximum slope of 3: 1, shall not encroach into the required ten-foot or fifty-foot buffer area, except to the extent that the buffers exceed ten feet (10') in width. The Developer shall dedicate right-of-way for Breezy Hill Road and the landscape buffer at the time of final plat approval for any lot abutting Breezy Hill Road. Developer shall construct Breezy Hill Road in conjunction with the retail tract that is final platted adjacent to Breezy Hill Road. Breezy Hill Road will be constructed from the northernmost intersection created by any portion of the retail tract being platted, south to FM-552. Developer shall install any

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**Exhibit 'D':
Capital Facilities Agreement**

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

needed expansion of existing culverts created by such construction or the development, of such retail tract.

- d. *Payment of Roadway Impact Fees.* Roadway impact fees shall be paid at rates and at the times provided for in the City's then existing impact fee regulations. Construction costs incurred by Developer for roadway improvements in this Agreement that are included in the City's roadway improvements plan for impact fees shall be credited against roadway impact fees otherwise due, in accordance with the City's impact fee regulations.
5. *Drainage Improvements.* Dedication of rights-of-way for and construction of drainage improvements shall be provided as specified in conditions imposed with approval of the master plat for development within the PD District and in accordance with City standards and specifications.
6. *Parks and Open Space.*
 - a. The Developer or a property owners association shall maintain public parklands and improvements within the development for a period of three (3) months from the completion and acceptance of the improvements. Thereafter, the City shall assume responsibilities for maintenance. All open space and improvements which are not dedicated as parkland to the City shall be maintained as common areas in perpetuity by the property owners association for the PD District. Additionally, the property owners association shall maintain Developer-installed landscaping areas in public rights-of-way and public drainage ways internal to and adjacent to the Property.

III. GENERAL PROVISIONS

1. *Notice on Sale.* The Developer shall provide the City with notice of the sale of any tract or parcel within the District that has not been platted at the following address:

Rockwall City Manager
Rockwall City Hall
385 S. Goliad Street
Rockwall, TX 75087

2. *Recording.* This Agreement is intended to run with the land, and shall be recorded in the Real Property Records, Rockwall County, Texas.
3. *Term of Agreement.* This Agreement shall terminate two (2) years following the City's acceptance of the dedication and construction of the public improvements described herein serving the last phase of development within the PD District, after which the City agrees, upon the request of the Developer to execute a termination of this Agreement in recordable form. Any reimbursements for payment of impact fees shall not expire.
4. *Effective Date.* This Agreement shall take effect upon the date of its execution by the last of the Parties to the Agreement; provided, however, that Breezy shall execute this Agreement no later than five (5) business days following the

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

effective date of the PD zoning ordinance for the Property. If Breezy fails to execute this Agreement within such period, this Agreement shall become null and void, and unless a subsequent agreement, acceptable to the City and the Developer, is agreed to, the City may thereafter deny any PD site plan, master plat or other plat application on grounds that the application is not supported by adequate public facilities and services.

5. *Severability.* Invalidation of any provision of this Agreement by judgment or court order shall not invalidate any of the remaining provisions which shall remain in full force and effect, unless such remaining provisions are an integral part of the invalid provisions or the invalid provision is necessary to give effect to the remaining provisions.
6. *Enforcement.* This Agreement may be enforced by the Parties by any proceeding at law or in equity. Failure to do so shall not be deemed a waiver to enforce the provisions of this Agreement thereafter.
7. *Venue.* Venue for this Agreement shall be in Rockwall County, Texas.
8. *Execution.* This Agreement may be separately executed in individual counterparts, and upon execution, shall constitute one and the same instrument.
9. *Amendment.* This Agreement may only be amended in writing upon mutual consent of the City and the Developer.
10. *Joint preparation.* This Agreement shall be deemed to have been jointly prepared by all Parties hereto, and no ambiguity of this Agreement shall be construed against any party based upon the identity of the author of this Agreement or any portion thereof.
11. *Recitals Incorporated.* Statements and representations contained herein are to be considered contractual in nature and not merely recitations of fact. The Recitals contained in Part I of this Agreement hereby are expressly incorporated into this Agreement by reference.
12. *Construction.* All references herein in the singular shall be construed to include the plural where applicable, the masculine to include the feminine and neuter genders.
13. *Authority.* Each of the signatories to this Agreement represents and warrants that he is authorized to execute this Agreement and bind his principals to the terms and provisions hereof. Each Party warrants that any action required to be taken in order for this Agreement to be binding on it has been duly and properly taken prior to the execution of this Agreement.
14. *Conflicts.* In the event of a conflict between this Agreement and any provision of the Unified Development Code, the City Code, or any City ordinance, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this Agreement, the standards in this Agreement shall control.

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

15. *No Waiver.* Developer retains the right to challenge the application of any City impact fee regulations to the Property solely on the basis that such regulations fail to comply with Chapter 395 of the Texas Local Government Code, as amended. If Developer prevails in such a claim, impact fees shall be applied to the development of the Property and paid by the Developer, as applicable, in accordance with the court order.

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Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

CITY OF ROCKWALL



By: [Signature]

Name: DAVID SWEET

Title: MAYOR

STATE OF TEXAS

COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said DAVID SWEET, who in their capacity as MAYOR for the City of Rockwall, acknowledges that he was authorized to execute the foregoing document this 2nd day of October, 2012, certify witness my hand and seal of office.

[Signature]
Notary Public in and for the State of Texas

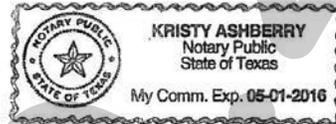


Exhibit 'D':
Capital Facilities Agreement

EXHIBIT 'D': CAPITAL FACILITIES AGREEMENT FOR BREEZY HILL

PARTIES TO THE AGREEMENT

BREEZY HILL 405, LTD, ^{ATXAS LIMITED PARTNERSHIP}
^{BREEZY HILL 405 GP CORPORATION, ATXAS CORPORATION,}
^{17 CENTRE PARKWAY}

By: [Signature]

Name: RICHARD M. SKOBYEL

Title: PRESIDENT

STATE OF TEXAS
COUNTY OF ROCKWALL

§
§
§

SWORN AND SUBSCRIBED TO BEFORE ME, by said RICHARD M. SKOBYEL, who in their capacity as PRESIDENT for the Breezy Hill 405, LTD, acknowledges that he was authorized to execute the foregoing document this 1st day of OCTOBER 2012, certify witness my hand and seal of office.

[Signature]
Notary Public in and for the State of Texas



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City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and City Council
FROM: Jeffrey Widmer, Building Official
DATE: 6-20-2016
SUBJECT: Sign Plan for Fenton Nissan to be located at 1700 IH 30

Ms. Melanie Hancock of Hancock Signs representing Fenton Nissan has asked to appear before the City Council to request approval of a sign plan.

The applicant is requesting two pole signs, with one being 636 square feet in size and 42.5 feet in height and the other being 200 square feet in size and 50 feet in height. The applicant states that the increased height is necessary to provide needed visibility on IH 30 due to the John King overpass being located directly in front of their property.

Our sign ordinance allows a maximum height of 30 feet and a maximum size of 200 square feet for pole signage.

Nissan has received approval from the FAA for the proposed height of their signs and the proposed signs meet all other requirements within our sign ordinance.

June 9, 2016

John Ankrum
City of Rockwall
Building Inspection
385 S. Goliad
Rockwall 75087

Re: Sign variance
Fenton Nissan pylon signs

Dear Mr. Ankrum:

We are requesting a height variance for two pylon signs at Fenton Nissan at 1700 E. I-30. The increased height of the signs is due to the I-30 being elevated in front of this property. The additional height is necessary for the signs to be visible. In addition, a square footage variance is required for one of the signs. The actual size of the cabinet with copy is 162 sq ft.. The proposed 636 square feet we are requesting is due to the pole covers being used in the calculation for square footage. Please find the attached artwork and site plans.

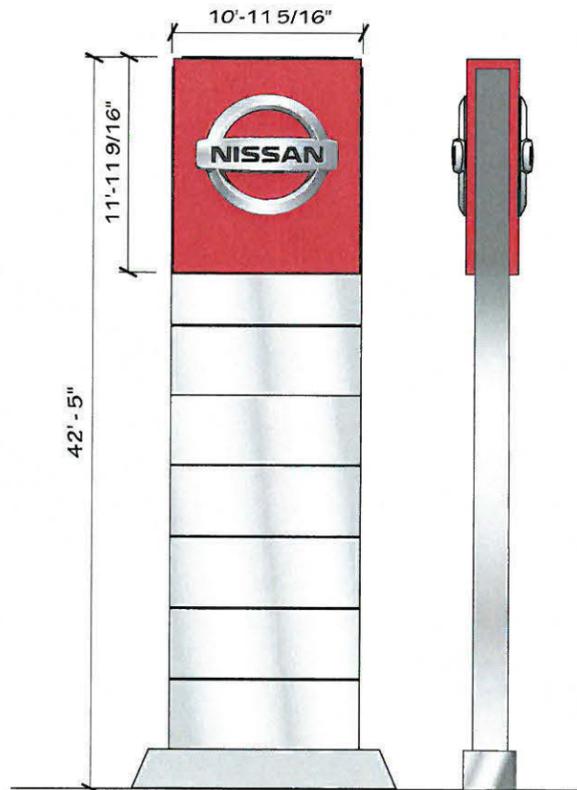
If you need any additional information please feel free to contact me.

Thank you for your assistance.

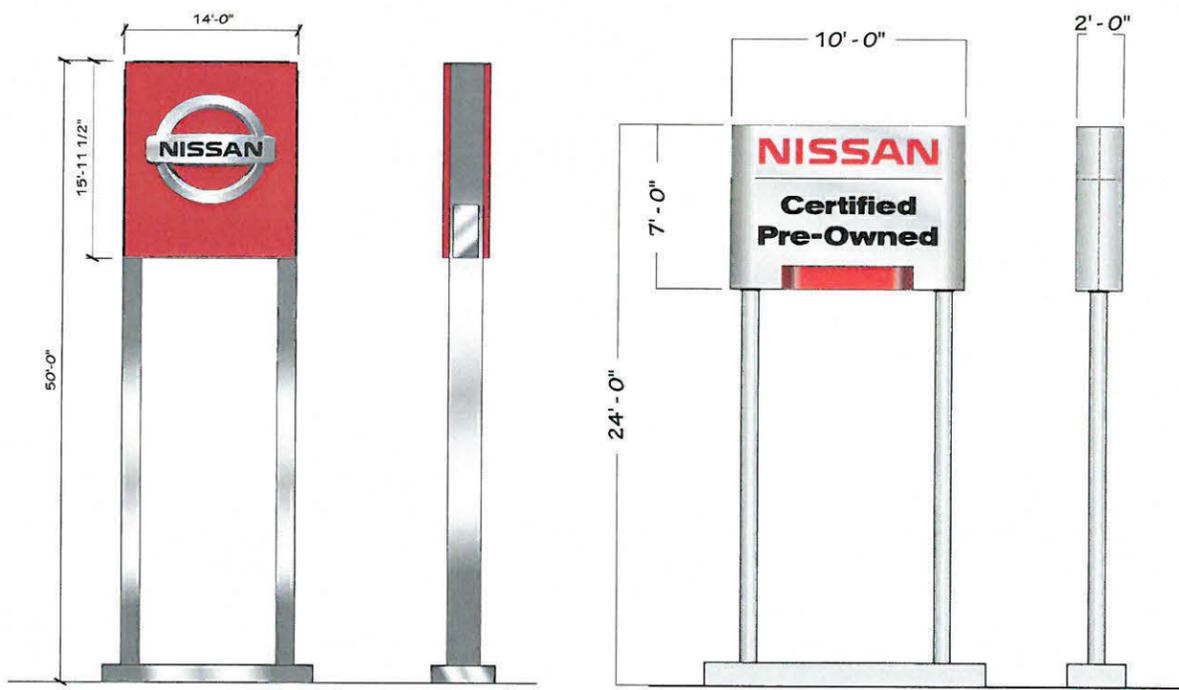
Melanie Hancock
Hancock Sign Company



III. SCHEDULE OF SIGNS CONTINUED



A MBS-Custom
 636.25 Sq. Ft. Main Brand Sign (Total of 2) 42'-5" OAH
 NEW



B 200-FWY Freeway
 200 Sq. Ft. Main Brand Sign (Total of 1) 50' OAH
 NEW

C POV-70 Pylon
 70 Sq. Ft. Pre-Owned Vehicle Sign (Total of 1) 24' OAH
 NEW

NISSAN NORTH AMERICA, INC.

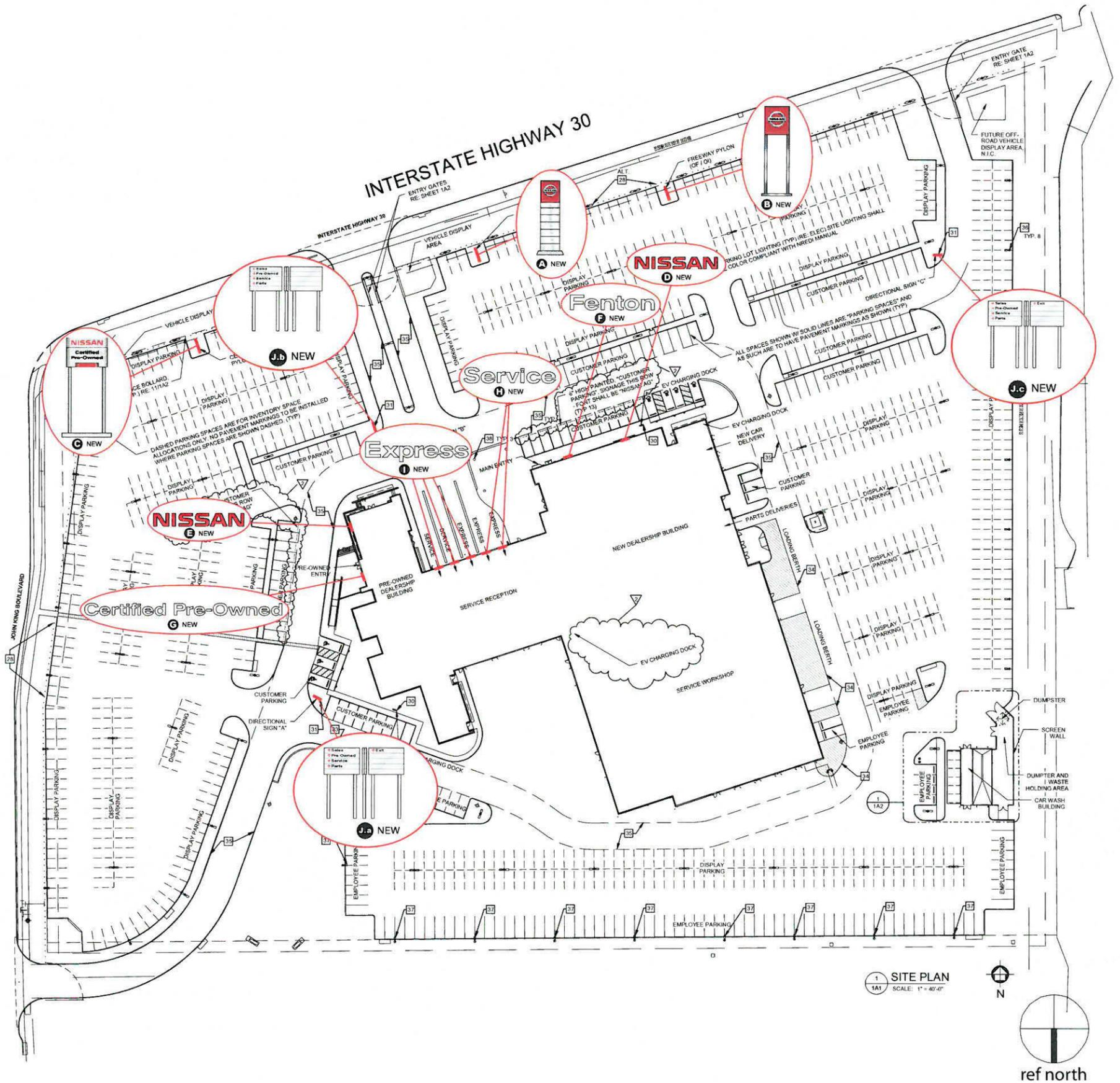
Nissan Retail Environment Design Initiative

Sign Program

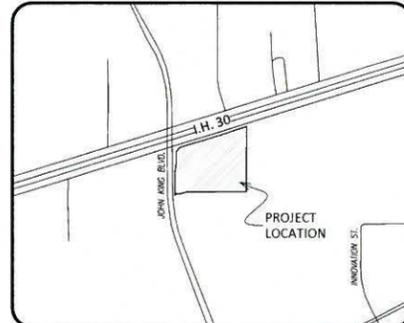
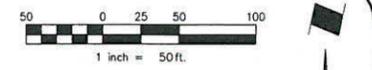


II. SITE PLAN AND COLOR RENDERINGS

The following provide a visual representation of the prepared solution.



Fenton Nissan of Rockwall
 Rockwall, TX
 02/09/2016
 Rev. #3-060916



Note:
All work to be done within TxDOT Right-Of-Way shall conform to TxDOT Standards and Specifications.

Sign "A" in accompanying drawing

Sign "B" in accompanying drawing

Sign "C" in accompanying drawing

Notes:
1. Handicap Parking is Provided in Accordance w/ ADA Standards.
2. No Floodplain Exists On The Site.
3. Site Plan is For Informational Purposes Only. It is Not A Construction Document.

INTERSTATE HIGHWAY 30
Variable width R.O.W.

Vicinity Map
N.T.S.

JOHN KING BOULEVARD

Lot 1, Block A
Fenton Nissan Addition
14,751 Ac./642,538 Sq. Ft.
Prop. Use: New Car Dealership
80,233 Sq. Ft. Bldg.

SYNOPSIS	
Zoning	Commercial (C) & Light Industrial (LI) w/SUP
Use	Car Dealership
Lot Area	14,751 Ac. (642,538 S.F.)
Building Area	80,233 Sq. Ft. Building 2,272 Sq. Ft. Car Wash 82,505 Sq. Ft. Total
Building Height	36'-0" Max.
Lot Coverage	12.84% Of Site
Parking Required:	21,636 s.f. Retail Sales & Service @ 1 sp./250 s.f. = 87 Sp. 2,625 s.f. Office @ 1 sp./250 s.f. = 11 Sp. 44 Service Bays @ 2 sp./Bay = 88 Sp.
Total Parking Required:	186 Sp. Req'd (Incl. 7 HC)
Total Parking Provided:	214 Sp. (Incl. 7 HC) 783 Inventory Sp. Total 997 Sp. (Incl. 7 HC)

Pervious Area: 153,143 s.f.
Impervious Area: 489,395 s.f.

LEGEND

	FIRELANE, ACCESS, DRAINAGE & UTILITY ESMT.
	EXISTING CONTOUR
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	PROP. TYPE 7 BARRIER FREE RAMP
	INVENTORY PARKING
	REQUIRED PARKING

SITE PLAN
FENTON NISSAN OF ROCKWALL
LOT 1, BLOCK A
IN THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
14,751 Acres
Zoned: LI/C
Case No: SP2014-029

OWNER Fenton Motor Group 2601 Network Blvd., Suite 202 Frisco, TX 75034 Telephone: (469) 535-2200 Contact: Brad Fenton	ARCHITECT Boynton Williams & Associates 3010 LBJ Freeway, Suite 110 Dallas, TX 75234 Telephone: (972) 661-5461 Contact: Jeff Ball
ENGINEER/SURVEYOR Spiars Engineering, Inc. TFPE No. F-2121 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 Contact: John Spiars	LANDSCAPE ARCHITECT Szafranski-Pugh & Associates 42 East 16th Street Tulsa, OK 74119 Telephone: (918) 382-9081 Contact: Jeff Pugh

Variance Requests for Special Consideration

- Request alternative masonry percentages on exterior walls.
- Request alternative horizontal articulation of facades.
- Request alternative vertical articulation of facades.
- Request variance to slightly increase the maximum footcandle (fc) of the north and west property lines only from 0.2 fc to 0.5 fc.
- Request variance to provide a living screen adjacent to the residential lots along the south property line.
- Request variance to utilize 21' fire lane widths and the one-way entry and exit drives of the north side of the property.

Scale: 1"=50' November 20, 2014 SEI Job No. 14-077

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/20/2016

APPLICANT: Theresa and Ronald Briones

AGENDA ITEM: MIS2016-008; *Masonry Exception (905 N. Alamo Street)*

SUMMARY:

Discuss and consider a request by Theresa and Ronald Briones for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.248-acre parcel of land identified as part of Lot 7, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 905 N. Alamo Street/906 N. West Street, and take any action necessary.

CHARACTERISTICS OF REQUEST:

The applicant is requesting to construct a new home on the vacant lot at 905 N. Alamo Street utilizing 100% Hardy Plank® or a similar siding material. The subject property is located just north of the intersection of Heath Street and N. Alamo Street and is zoned Single Family 10 (SF-10) District. According to Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code the minimum masonry (*i.e. brick, stone -- natural, cast or cultured -- glass block, tile and/or CMU*) requirement for exterior walls on structures that are 120 square feet or greater is 80%; with a maximum of 50% of this masonry requirement being permitted to be Hardy Plank®, stucco or a similar cementaceous material. Additionally, the code states that, “(e)xceptions to these requirements ... may be permitted on a case-by-case basis by the City Council upon submission and approval of elevation drawings of the subject structure, and materials samples.” The applicant has submitted building elevations and photos of other homes in the neighborhood that have Hardy Board or similar siding. Additionally, the applicant has stated in a letter submitted to staff that the purpose of requesting the masonry exception is to match the materials and architectural style of the adjacent properties. Staff should note that the majority of the structures on the adjacent properties utilize 100% vinyl/wood siding or a similar cementaceous lap siding material.

RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request staff would recommend the following conditions:

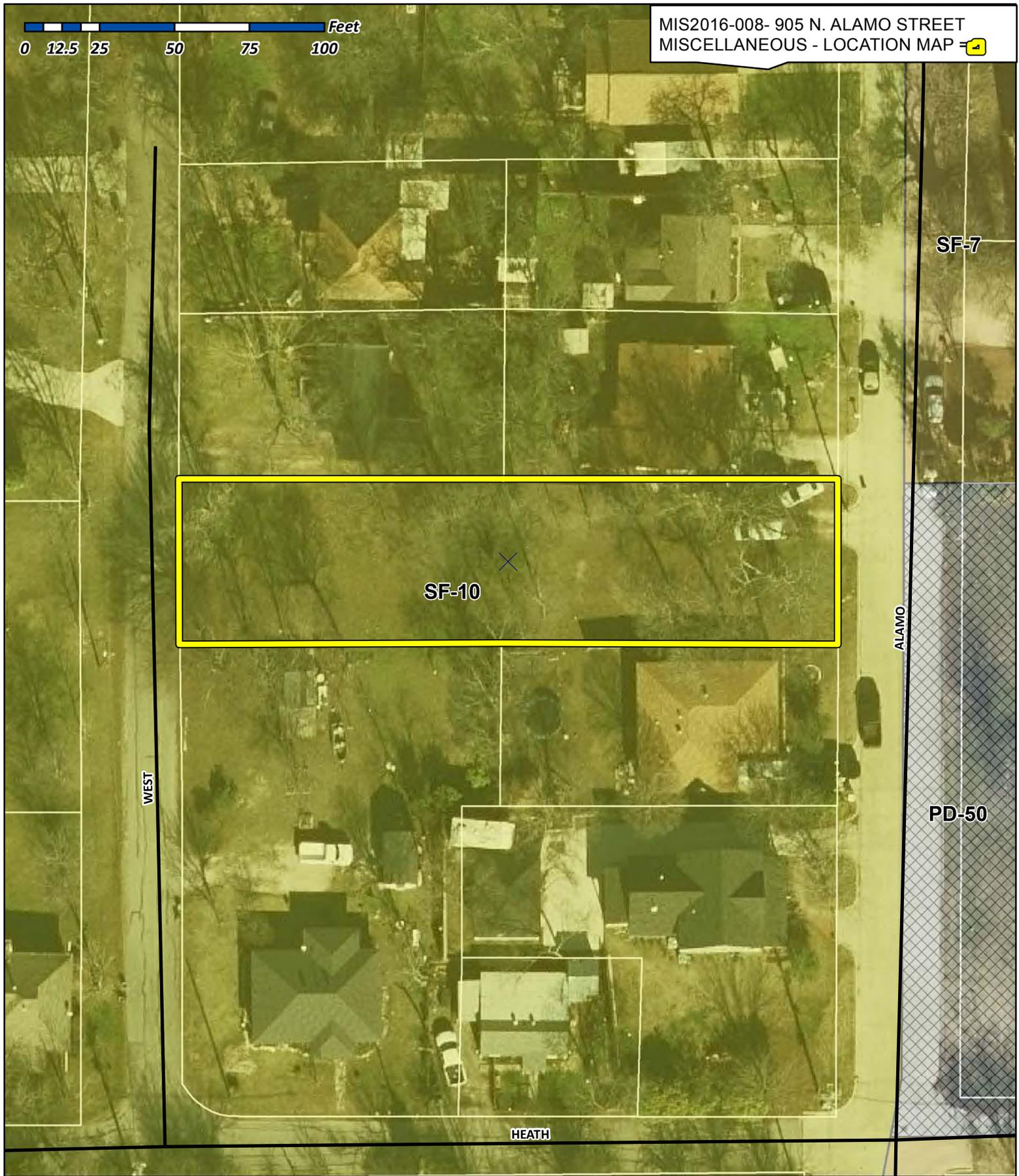
- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On June 14, 2016, the Planning and Zoning Commission's motion to recommend approval of the special request to allow for a new home to be clad in 100% Hardy Plank® or similar siding passed by a vote of 6 to 0 with Commissioner Trowbridge absent.

0 12.5 25 50 75 100 Feet

MIS2016-008- 905 N. ALAMO STREET
MISCELLANEOUS - LOCATION MAP



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



June 1, 2016

Planning Division
City of Rockwall
Rockwall, TX

To Whom It May Concern:

We are planning to build on an empty lot with the following address: 905 N. Alamo, Rockwall, TX 75087. Our builder, Mr. Greg Dean, has informed us that in that block new construction are required to have at least 60% brick for the exterior walls/facade.

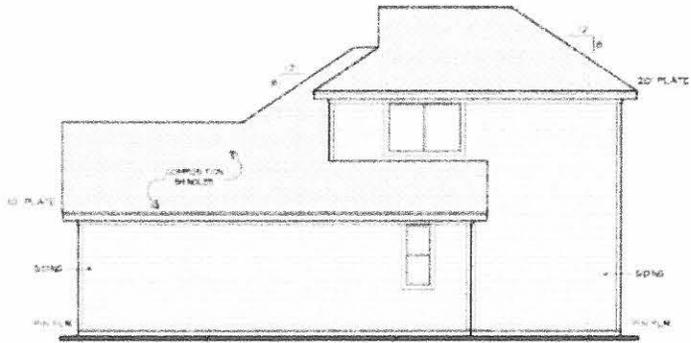
We respectfully request if we can be given a variance on that requirement considering that houses in that neighborhood has siding and we really would like to blend in with the neighborhood.

Attached is a copy of the house plan (elevations) and also photos of houses in the said neighborhood for your perusal.

Hoping for a favorable action on this matter.

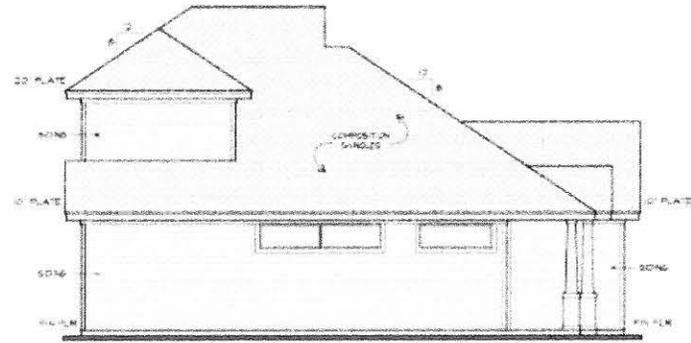
Sincerely,

Theresa and Ronald Briones
tabriones@gmail.com
214 862 2131



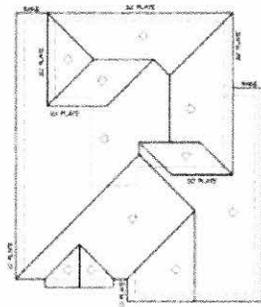
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



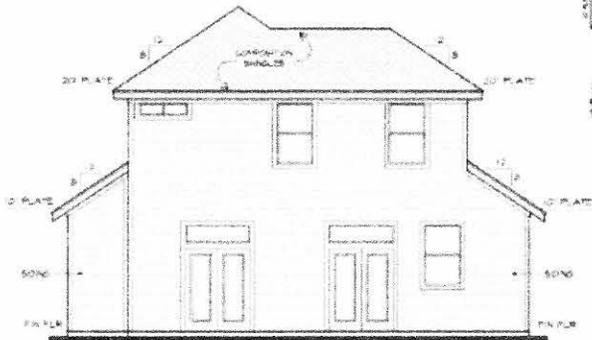
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

UNION COUNTY TEXAS

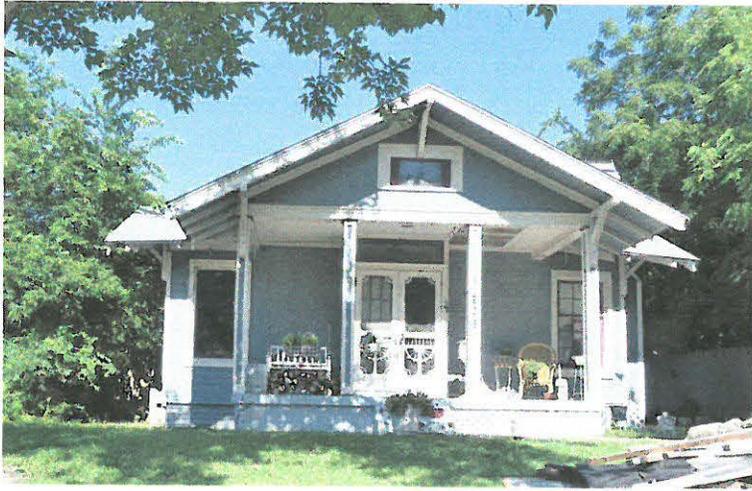
MOORE ARCHITECTS



DATE:	
BY:	
CHECKED BY:	
DATE:	
SCALE:	







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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: June 20, 2016

SUBJECT: Variance to the Distance Requirements for Alcoholic Beverage Sales for On-Site Consumption in Conjunction with a Restaurant

The owner of the *Subject Property* (i.e. a 1.90-acre tract of land identified as a portion of Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas) has authorized Rod Holland of KW-Rockwall to request a variance to the proximity requirements for the sale of alcoholic beverages for on-site consumption associated with a restaurant (i.e. Texas Roadhouse). In accordance with the *Texas Alcoholic Beverage Code*, the City of Rockwall has adopted distance requirements that stipulate a minimum separation between businesses that sell alcohol -- for on-site or off-site consumption -- and schools, churches and hospitals. Section 3.5, *Alcoholic Beverage Sales*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) states the following (with pertinent information underlined):

(A) *Restaurants with alcoholic beverage sales.*

- (1) *Restaurants may serve alcoholic beverages for on-premises consumption by right if they are located on property that was within the city limits as of November 14, 2007, and are located in a zoning district allowing such use. For restaurants located on property that was annexed after November 14, 2007, a private club permit must be obtained for the ability to serve alcohol and must be located in an appropriate zoning district that allows such use.*
- (2) *Restaurants that sell alcoholic beverages for on-premises consumption shall be subject to compliance with the Texas Alcoholic Beverage Code, as it exists or may be amended and must be located not less than 300 feet from a church, public school, private school (as defined by the Texas Alcoholic Beverage Code) or public hospital. For a church or public hospital, the 300 feet shall be measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections. For public schools or private schools, the measurement of distance shall be in direct line from the property line of the public school or private school to the property line of the restaurant and in a direct line across intersections. If the permit or license holder is located on or above the fifth story of a multistory building, in a direct line from the property line of the public or private school to the property line of the place of business, in a direct line across intersections, and vertically up the building at the property line to the base of the floor on which the permit or license holder is located.*

The city council may grant a variance to the distance regulations if the city council determines that enforcement of those regulations in a particular instance is not in the best interest of the public, constitutes waste of inefficient use of land or other resources, creates an undue hardship on an applicant for a license or permit, does not serve its intended purpose, is not effective or necessary, or for any other reason the city council, after consideration of the health, safety, and welfare of the public and the equities of the situation, determines is in the best interest of the community.

Under the proposed site plan the restaurant's rear property line would be situated ~15-feet from rear property line of Rockwall High School; however, it should be pointed out that the proposed restaurant will only have access off the IH-30 Frontage Road, and the High School has no direct access to this roadway. The High School receives its primary access from Yellow Jacket Road, Greencrest Boulevard and Kyle Drive. In addition, staff estimates that the distance between the school's closest access drives and the proposed restaurant's access drive is ~1,627-feet to ~1,853-feet. *Attached to this memorandum is a copy of the applicant's request, the proposed site plan and an exhibit provided by staff showing the aforementioned distances.*

The approval of the requested variance is a discretionary decision for the City Council. Staff will be available should the City Council have any questions.

From: [Rod Holland Real Estate](#)
To: [Miller, Ryan](#); [Steve Ewing](#); [Adela Craddock](#)
Subject: Texas Road House-Rockwall,
Date: Monday, June 13, 2016 4:55:33 PM
Attachments: [Site Plan TXRH.pdf](#)

Mr. Miller

I would like to request an appointment with the City Council to discuss a variance for Liquor, Beer & Wine sales for Texas Road House next to the proposed Rooms to Go on I-30 Attached please see a purposed plat for Texas Road House.

Please reply to all when responding. Thanks Rod

--

Rod Holland

*Broker-Associate, KW-Rockwall
Founding Partner, KW-Rockwall*

[972.772.7070](tel:972.772.7070)

www.RodHolland.com

Rod@RodHolland.com



****The Broker's statements in this email do not create an agreement for the Broker's Clients.***



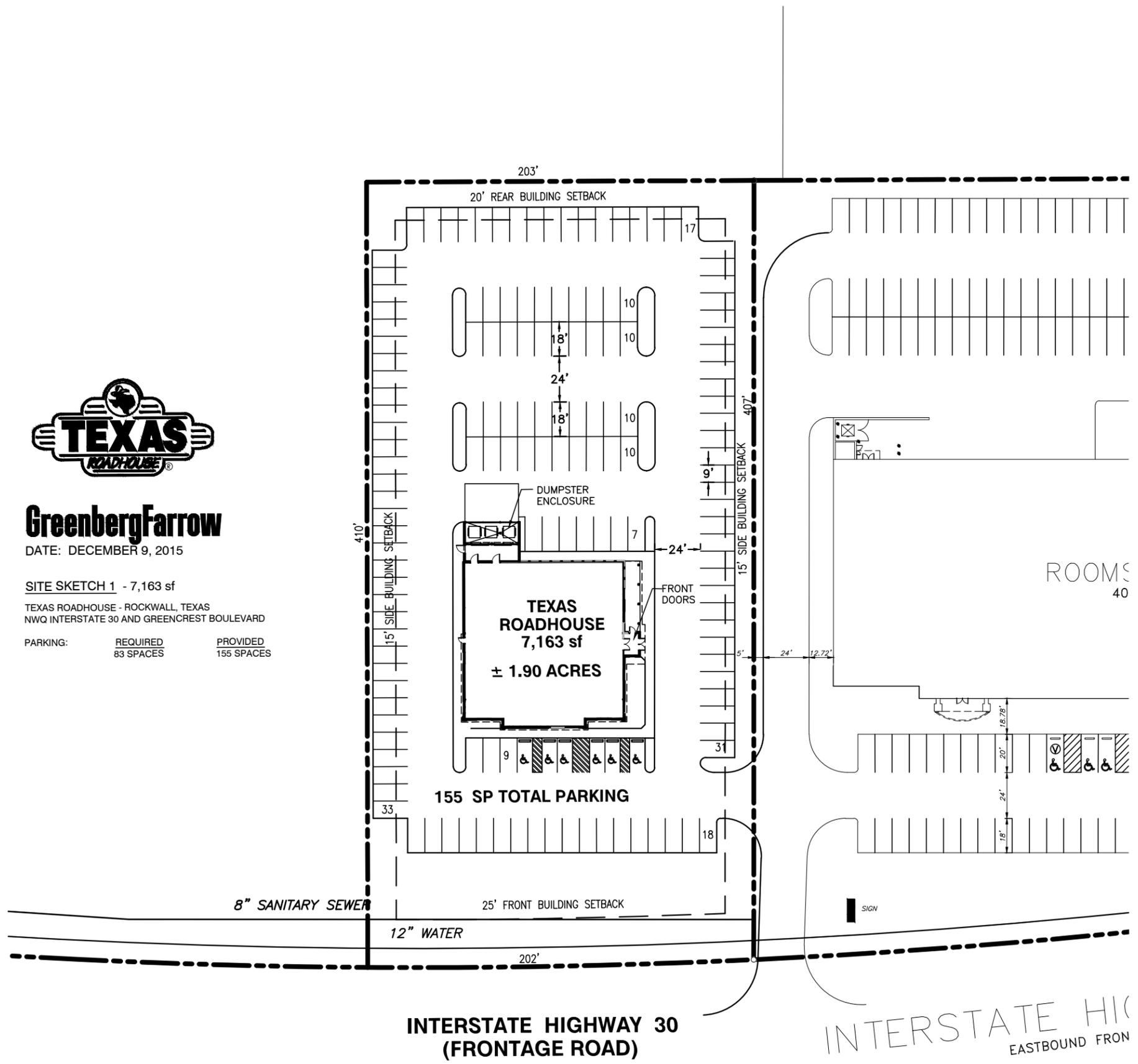
GreenbergFarrow

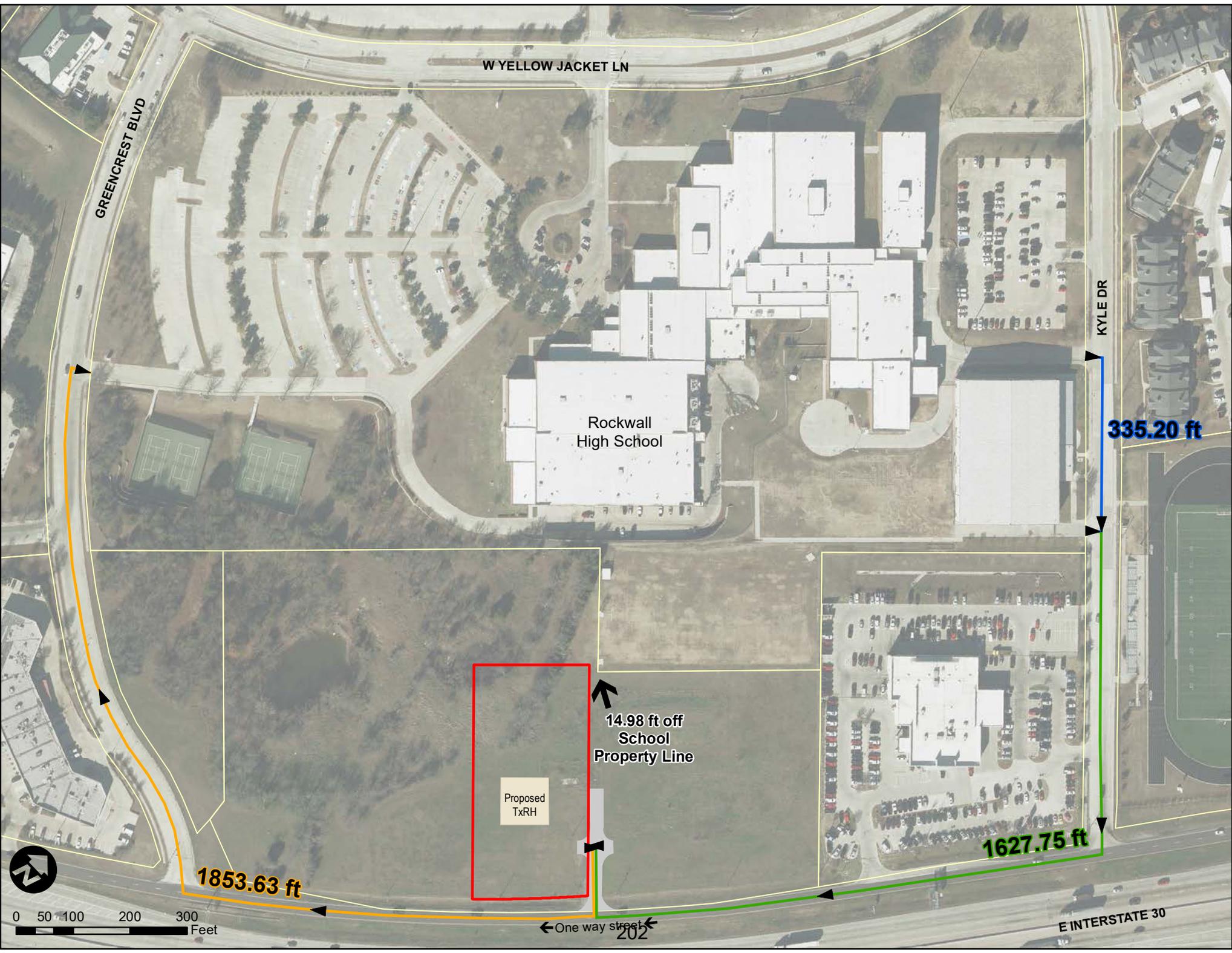
DATE: DECEMBER 9, 2015

SITE SKETCH 1 - 7,163 sf

TEXAS ROADHOUSE - ROCKWALL, TEXAS
 NWQ INTERSTATE 30 AND GREENCREST BOULEVARD

PARKING: REQUIRED PROVIDED
 83 SPACES 155 SPACES





W YELLOW JACKET LN

GREENCREST BLVD

Rockwall High School

KYLE DR

335.20 ft

Proposed TxRH

14.98 ft off School Property Line

1627.75 ft

1853.63 ft

0 50 100 200 300 Feet

← One way street →

E INTERSTATE 30

202

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/20/2016

APPLICANT: Chet Leugers, PE of Pacheco Koch

AGENDA ITEM: **SP2016-012;** Warehouse/Manufacturing Facility (*Pratt Industries*)

SUMMARY:

Discuss and consider a request by Chet Leugers, PE of Pacheco Koch on behalf of Michael Hampton of the Rockwall Economic Development Corporation for the approval of variances and an exception to the material, parking, articulation screening and landscaping requirements stipulated by the Unified Development Code in conjunction with an approved site plan for a warehouse/manufacturing facility on a 30.6-acre portion of a larger 86.806-acre tract of land identified as Tract 1 of the H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northwest corner of Discovery Boulevard and Data Drive, and take any action necessary.

BACKGROUND & PURPOSE:

The applicant, Pratt Industries a Georgia-based packaging company, is requesting approval of variances relating to the parking, building materials, articulation, screening, and landscaping requirements in conjunction with an approved site plan for a 389,500 SF warehouse/manufacturing facility. The subject property is a 30.6-acre tract of land, located in the REDC Technology Park, and is zoned Light Industrial (LI) District. The following is a summary of the Light Industrial (LI) District's density and dimensional requirements and the approved site plans conformance to these standards:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	30.03-Acres; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	100-Feet	x>100-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	125-Feet	x>125-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	x>25-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	0-Feet + ½ H ¹	x>20-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	0-Feet + ½ H ¹	x>20-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	120-Ft ²	40' 0"; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	~10.5%; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	90%	>90%; <i>In Conformance</i>
<i>Floor Area Ratio</i>	2:1	x<4:1; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	390	132 Provided; Variance
<i>Minimum Stone Requirement</i>	20% Each Facade	X=0%; Variance
<i>Minimum Landscaping Percentage</i>	10% v	x>10%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85 to 90%	<57.36%; <i>In Conformance</i>

NOTES:
¹: With fire retardant wall: zero feet plus ½ of the buildings height over 36-ft.
²: Any structure over 60-ft will require a specific use permit.

VARIANCES AND EXCEPTIONS REQUESTS:

The applicant is requesting variances to the *Unified Development Code* (UDC) for the sections outlined below. As a note, approval of a variance(s) and/or an exception request to the UDC requires passage of a simple majority vote of City Council. With this being said, the approval of

an exception(s) or variance to the UDC is a discretionary decision for the City Council. The requests are as follows:

- 1) *Parking.* According to Section 6.5, *Table 3*, of Article VI, *Parking and Loading Standards* of the UDC and based on the proposed site plan the development of a 389,500 SF warehouse facility has a total parking requirement of 390 parking spaces (*i.e. 1/1,000 SF of warehouse area*). Currently, the site plan indicates 132 parking spaces to be provided; however, the applicant has stated that the facility will use less parking than is required based on the maximum number of employees that will be on site. It should be noted that the applicant can provide an exhibit indicating potential on-site parking spaces for future use should this be needed. *A variance to the parking requirements will require a simple majority vote by the City Council for approval.*
- 2) *Tilt Wall.* According to Section 5.1, *General Industrial District Requirements*, of Article V, *District Development Standards*, of the UDC all buildings located within an industrial district are required to have an exterior that is a minimum of 90% masonry (*i.e. brick, stone or a cementaceous material [x≤50%]*); however, exceptions to this requirement for the purpose of allowing concrete tilt wall may be permitted on a case-by-case basis by the City Council. The applicant is requesting a variance for the purpose of utilizing 100% concrete tile wall construction. *An exception to allow for tilt wall will construction requires a simple majority vote by the City Council for approval.*
- 3) *Building Materials.* According to Section 5.1, *General Industrial District Requirements*, of Article V, *District Development Standards*, of the UDC buildings are required to be constructed of 90% masonry materials (*i.e. brick, stone, etc.*) of which *a minimum of 20% shall include natural or quarried stone on walls visible from a public street or open space*. In this case, the proposed building will be 100% tilt wall construction, which currently is not an approved masonry building material and is only permitted on a case-by-case basis by the City Council. *A variance to allow for not meeting the minimum masonry/stone requirements requires a simple majority vote by the City Council for approval.*
- 4) *Articulation.* According to Section 5.1, *General Industrial District Requirements*, of Article V, *District Development Requirements*, of the UDC all buildings located within an industrial district are required to incorporate horizontal and vertical offsets in wall planes on façades adjacent to public streets for the purpose of breaking up flat wall planes and creating visual interest in a building's façade. The articulation requirements are based on formulas contained within the UDC. The applicant is requesting variances to both the horizontal and vertical articulation requirements. *A variance to the articulation requirements will require a simple majority vote by the City Council for approval.*
- 5) *Screening Requirement.* According to Section 6.4, of Article VI, *Off-Street Loading Requirements*, of the UDC, loading spaces are required to be a minimum of 12' x 65' with a 14' height [wall] for screening purposes. In this case, the applicant is proposing to use approximately 100 eastern red cedars and a berm for screening purposes. The 3-inch caliper trees will be planted along the parking area's adjacent to the northern and eastern [Data Drive] property lines. *A variance to allow for live screening as proposed on the landscape plan rather than a 14-ft screening wall will require a simple majority vote by the City Council for approval.*
- 6) *Detention Basin Landscaping.* According to Section 5.12, *Required Landscaping*, C. *Detention Basins*, of Article VIII, *Landscape Standards*, of the UDC requires the detention basin be landscaped in a natural manner using ground cover, grasses, and shrubs including a minimum of one (1) tree per 750 SF of dry land area. The applicant is requesting to not landscape the detention area since its purpose is to be used on a temporary basis. It should be noted that the REDC is proposing a regional detention pond that will eliminate the need

for this on-site detention basin. *A variance to the landscaping requirements for the detention basin will require a simple majority vote by the City Council for approval.*

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On June 14, 2016, the Planning and Zoning Commission's motion to approve the site plan with staff conditions passed by a vote of 6 to 0, with Commission Trowbridge absent. In the same motion, the Planning and Zoning Commission's recommendation to approve the variances as requested also passed by a vote of 6 to 0, with Commission Trowbridge absent.

City of Rockwall Project Plan Review History



Project Number SP2016-012	Owner ROCKWALL, ECONOMIC DEVELOPMENT CORP	Applied 5/16/2016 LM
Project Name Rockwall Technology Park Ph IV	Applicant PACHECO KOCH	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status STAFF REVIEW		Status 5/16/2016 LM

Site Address 3400 DISCOVERY BLVD	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision DISCOVERY BLVD & DATA DR (ROW)	Tract 1	Block NULL	Lot No 1	Parcel No 0125-0000-0001-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 2:42 PM AW) Need a letter from the Soil Conservation allowing detention in their existing lake Show fire line 10' from all other utilities including other water lines Show dimensions (20'x9') for the head to head parking Make sure all fire hydrants have 5' clear around them (including parking spaces and landscaping) Show barrier free ramp at the corner of Data and Discovery Show distance from Data Drive to the first driveway to the west along Discovery (minimum of 150' from edge of paving to edge of paving Impact fees 4% engineering fees. Add a note to the landscape plans: "No trees to be planted within 5' of any utility and shrub/light poles must be placed 4' behind the curb of 18' parking spaces."	Amy Williams	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
ENGINEERING	Amy Williams	6/9/2016	6/16/2016	6/9/2016		APPROVED	
FIRE	Ariana Hargrove	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
GIS (6/2/2016 9:29 AM LS) Address will be: 3400 Discovery Blvd, Rockwall, TX 75032	Lance Singleton	5/16/2016	5/23/2016	6/2/2016	17	APPROVED	See Comments
PLANNING Discuss and consider a request by Chet Leugers, PE of Pacheco Koch on behalf of Michael Hampton of the Rockwall Economic Development Corporation for the approval of a site plan for a warehouse/manufacturing facility on a 30.6-acre portion of a larger 86.806-acre tract of land identified as Tract 1 of the H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northwest corner of Discovery Boulevard and Data Drive, and take any action necessary.	David Gonzales	5/16/2016	5/23/2016	5/18/2016	2	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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The following staff comments are to be addressed and resubmitted no later than Tuesday, June 7, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label site plan documents with "Case No. SP2016-012" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

Variances and/or Exceptions per submittal:

1. To allow for not meeting the Horizontal & Vertical articulation standards for the facades facing the street(s) as outlined in the Unified Development Code.
2. To allow for not meeting the required parking spaces (parking reduction) for the development.
3. To allow for not meeting the landscaping of the detention area (1 - three caliper inch tree per 750 sq. ft. of dry detention area).
4. To allow for not meeting the 14-ft screening wall standard to screen the parking of the tractor/trailers by using eastern red cedars along the eastern and northern property lines as depicted on the landscape plan.
5. To allow for tilt-up wall construction.
6. To allow for not meeting the 20% stone requirement on wall visible from a public street or open space.

** Variances and/or exceptions as requested requires approval of a simple majority vote by the City Council.

Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Re-label all firelanes as "XX-ft Firelane & Public Access Easement."
2. Is there a trash dumpster? If so, where is it located? Dumpster enclosure walls are to be a minimum of 6-ft in height with materials to match the primary structure; including the use of an opaque gate and a self latching mechanism. Provide detail and label as such.
3. Where are the loading docks? Article VI, Sec. 6.5 requires a minimum of 6 loading docks - 12-ft x 65-ft with a minimum 14-ft screening wall. Provide detail.
4. Under Site Plan Notes: A) No. 3 - Remove "and street frontages" Lighting levels are not to exceed 0.20-FC at the property line(s). B) No. 4 - Under Zone X, No. 2 Gross Building Area: remove "Car Wash" and relabel use.
5. What is the 60-ft tall silo being used for? What type of material is being used & what color will the silo be?
6. Based on the buildings' footprint, an exception to the horizontal articulation standards is required.
7. Based on the parking provided, an exception will be required in order to reduce the minimum amount required. Also, will need to the total square footage for the office area and recalculate the parking based on 1 space per 300 sq. ft. for office and 1 space per 1000 sq. ft. for the remainder of the building.

Landscape Plan:

1. Article VII, Sec. 5.12.C. - requires a minimum of 1 tree per 750 sq. ft. of dry area within the detention pond. Will there be trees planted in this area?
2. The eastern red cedars being proposed as screening for the parking area of the tractor/trailers along the eastern and northern property lines require a variance to allow for not meeting the 14-ft screening wall standard.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Treescape Plan:

1. The 576 inches being removed are accounted for in the landscape plan provided leaving a zero balance; therefore, the tree mitigation is considered to be satisfied for this submittal.
2. Removal of the two (2) elm trees requires approval of the Planning and Zoning Commission prior to removal.

Photometric Plan:

1. The lighting pole standards are not to exceed a maximum overall height of 30-ft (includes pole, base, fixtures, etc.) per the UDC standards. Provide detail.
2. The lighting levels along property lines are not to exceed 0.2-FC in order to reduce glare. The lighting levels are not represented/extended to all property line(s) and appear to be excessive. Resubmit photometric plan in compliance with the City's standard and indicate lighting levels to all property lines.

Building Elevations:

1. All roof-top mechanical equipment requires screening from rights-of-way and adjacent properties. Provide a roof plan indicating location of units and dash-in RTU's on elevations. Provide detail of screening mechanism to be used. Based on the elevations submitted, a line of sight study may need to be provided in order to determine visibility of RTU's from property lines.
2. Provide exterior material calculations for each elevation.
3. Plans are not scaled as labeled (30 scale). Provide proper scale for elevations (enr or architect).
4. Are there any other detailing of the elevations to be used; accents, articulated elements, reveals, stamped concrete walls, etc?
5. Requires approval of a variance by City Council for not meeting the vertical articulation standards for the walls facing a public street (i.e. southern & eastern facing elevations).
6. Requires approval of an exception to the masonry standards by the City Council for:
 - A) to allow for the use of concrete tilt-up wall construction, and
 - B) to allow for not meeting the 20% stone requirement for walls facing a public street or open space (i.e. southern & eastern facing facades).
7. Are the elevations submitted considered "color elevations?" If not, can you provide color elevations.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Planning - Discussion: May 31, 2016 (6:00 p.m.)

Planning - Action: June 14, 2016 (6:00 p.m.)

City Council - Action: June 20, 2016 (6:00 p.m.) [VARIANCE AND/OR EXCEPTION REQUESTS ONLY]

PLANNING	David Gonzales	6/8/2016	6/15/2016	6/9/2016	1	APPROVED	See conditions of approval
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Planning Department General Comments as Acknowledged:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and filing of Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

Based on the revised plans submitted, please address/acknowledge the following Planning Department Comments for each plan indicated:

Site Plan:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
1. Variance requests as acknowledged in response letter and staff's report.						
Landscape Plan:						
1. Variance requests as acknowledged in response letter and staff's report.						
Building Elevations:						
1. Variance requests as acknowledged in response letter and staff's report.						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Planning - Action: June 14, 2016 (6:00 p.m.)						
City Council - Action: June 20, 2016 (6:00 p.m.) [VARIANCE AND/OR EXCEPTION REQUESTS ONLY]						

0 105 210 420 630 840 Feet

SP2016-012- ROCKWALL TECHNOLOGY PARK PH IV
SITE PLAN - LOCATION MAP = 

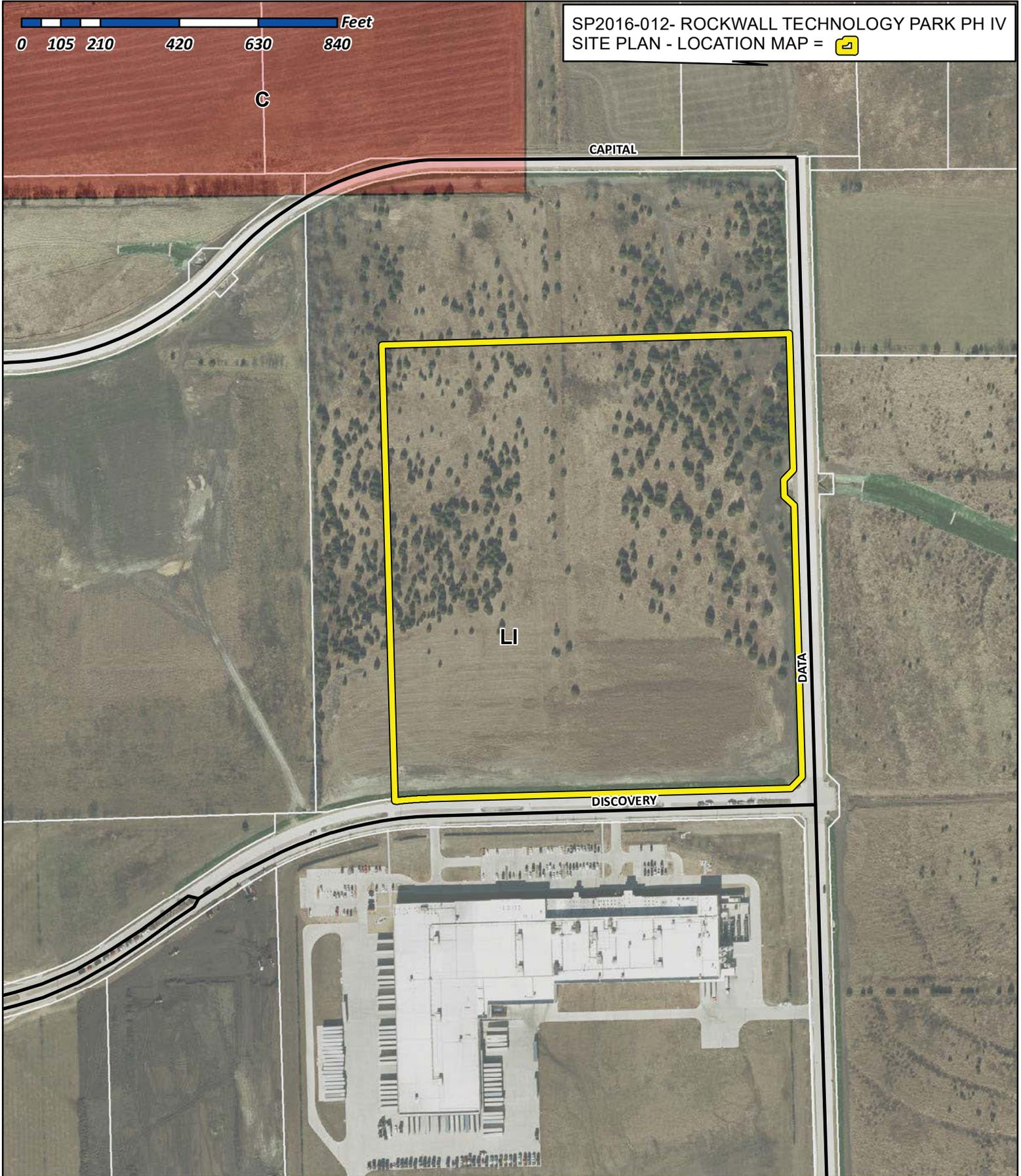
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DISCOVERY

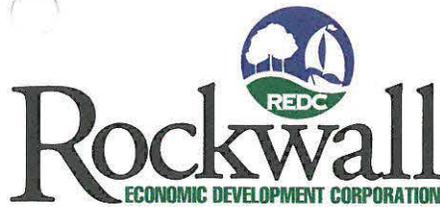


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





May 12, 2016

Ryan Miller, AICP
Director of Planning
City of Rockwall
385 South Goliad
Rockwall, Texas 75087

RE: 30.035-acre Manufacturing Facility, Rockwall Technology Park Phase IV

Mr. Miller:

Please accept this letter as authorization by the Rockwall Economic Development Corporation (REDC) to allow for Pacheco Koch to submit a site plan review application for the above-referenced project, which is located at the northwest corner of Discovery Blvd and Data Dr in the Rockwall Technology Park. As noted on Pacheco Koch's application, the REDC is the current owner of the subject property, but has an approved contract with a developer that intends to acquire the property and develop it for manufacturing use.

We appreciate your assistance with this project, and look forward to working closely with you and the rest of the City staff during the entitlement, permitting and construction process to bring forward another high quality corporate citizen to the Rockwall community.

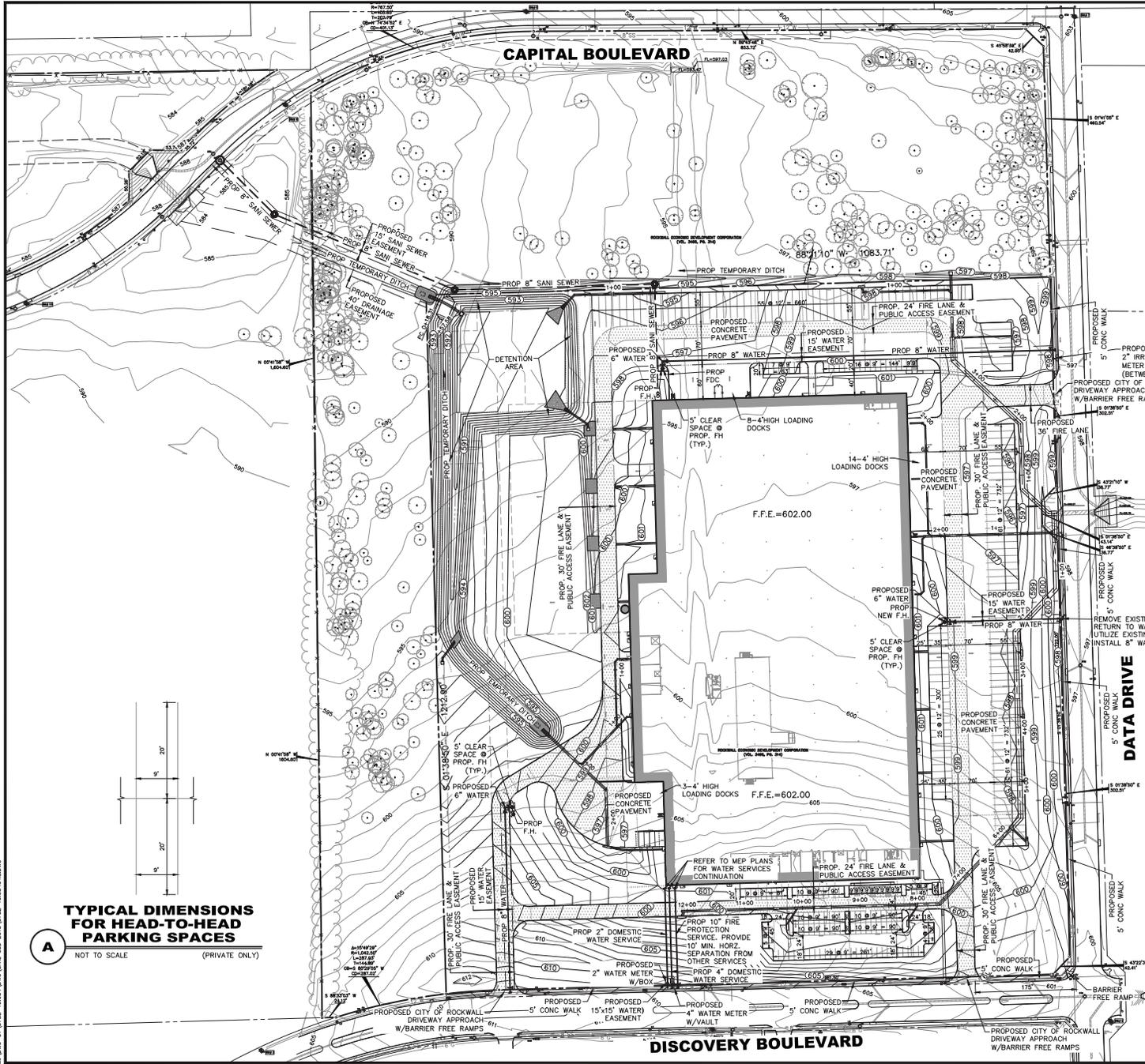
Sincerely,

A handwritten signature in black ink, appearing to read "Michael Hampton", is written over a light blue background.

Michael Hampton, AICP
Director of Project Development
Rockwall Economic Development Corporation

cc: Sheri Franza, President and CEO
Rockwall Economic Development Corporation

Chet Leugers, Pacheco Koch (applicant)



LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- IC IRRIGATION CONTROL VALVE
- FM FIRE HYDRANT
- MC CLEANOUT MANHOLE
- TRC TRAFFIC SIGNAL CONTROL
- TRF TRAFFIC SIGNAL POLE
- TLB TELEPHONE BOX
- FL FLOOD LIGHT
- FP FLAG POLE
- TS TRAFFIC SIGN
- IR 1/2-INCH IRON ROD
- WPK W/PACHECO KOCH* CAP SET
- CS CONTROLLING MONUMENT
- PL PROPERTY LINE
- FC FENCE
- OU OVERHEAD UTILITY LINE
- UE UNDERGROUND ELECTRIC LINE
- UT UNDERGROUND TELEPHONE LINE
- UC UNDERGROUND CABLE LINE
- UW UNDERGROUND WATER LINE
- UCB UNDERGROUND CABLE LINE
- 6-55 EXIST CONTOUR
- 6-13 EXIST CONTOUR
- 6-13 PROPOSED FIRE LANE

- SITE PLAN NOTES**
- A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ALL SIGNS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE CONCEPTUAL DRAINAGE DESIGN FOR THE PROPOSED FACILITY. THIS IS THE SITE PLAN APPROVAL PROCESS ONLY AND SHALL NOT BE CONSIDERED AS A FINAL DESIGN.
 - LIGHTING LEVELS ARE NOT TO EXCEED 0.20-FC AT THE PROPERTY LINE(S).
 - SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 483972045L, COMMUNITY-PANEL NO. 48483004 L, EFFECTIVE DATE: SEPTEMBER 26, 2009. ALL OF THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" ON SAID MAP. THE LOCATION OF THE SAID FLOODZONES BASED ON SAID MAP IS APPROXIMATE AND IS NOT LOCATED ON THE GROUND. RELEVANT ZONES ARE DETERMINED ON SAID MAP AS FOLLOWS:
 UNDER ZONE X - OTHER AREAS: AREAS DETERMINED TO BE OUTSIDE 100-YEAR FLOOD PLAN.
- PROPOSED USE: INDUSTRIAL FACILITY
 - GROSS BUILDING AREA: INDUSTRIAL BUILDING: 389,500 SF
NUMBER OF STORES: 1
 - BUILDING HEIGHT: MAX BUILDING HEIGHT=40'-4"
 - PARKING REQUIRED: PARKING RATIO = 1 SPACE PER 1,000 SF OF BUILDING
TOTAL REQUIRED = 390 SPACES
 - PARKING PROVIDED: PROPOSED REGULAR PARKING = 6 SPACES
PROPOSED H.C. PARKING = 6 SPACES
TOTAL PROVIDED = 12 SPACES
 - SITE COVERAGE:
 TOTAL SITE: 1,208,325 SF (30.035 AC)
 BUILDING: 389,500 SF (8.64 AC)
 PAVEMENT: 360,422 SF (8.27 AC)
 LANDSCAPE: 558,403 SF (12.62 AC)
 BUILDING COVERAGE: 29.8% < 60.0% MAX
 PAVEMENT COVERAGE: 27.5%
 LANDSCAPE COVERAGE: 46.7%
 PERCENT IMPERVIOUS: 57.3% < 85.0%-90.0% MAX
 - ZONING: LIGHT INDUSTRIAL

TYPICAL DIMENSIONS FOR HEAD-TO-HEAD PARKING SPACES
 (PRIVATE ONLY)

PRELIMINARY NOT FOR CONSTRUCTION
 THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.
 PLANS PREPARED UNDER THE DIRECT SUPERVISION OF DIET T. LEUSERS, P.E.
 TEXAS REGISTRATION NO. 122042
 DATE: 06/07/2016

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY (SUBJECT TO REVISION PRIOR TO CONSTRUCTION)
 THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER ATTRIBUTES THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

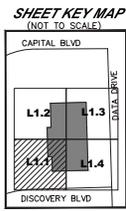
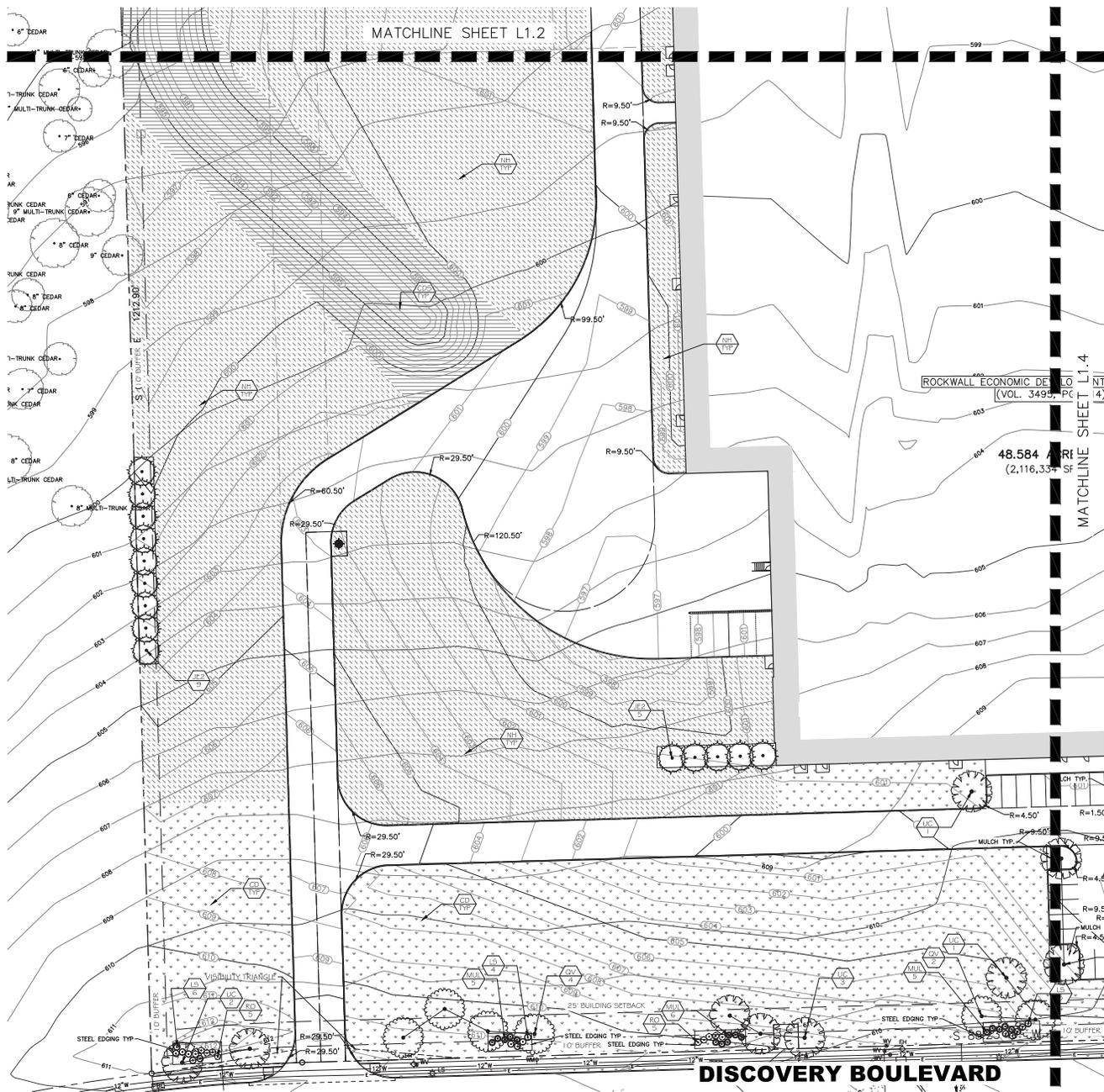
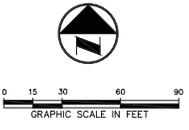
NO.	DATE	REVISION

Pacheco Koch
 7575 RAMBLER ROAD, SUITE 1400
 DALLAS, TX 75231 972.235.3031
 TX REG. ENGINEERING FIRM F-14439
 TX REG. SURVEYING FIRM LS-10193805

SITE PLAN
ROCKWALL MANUFACTURING FACILITY
NORTHWEST CORNER OF DISCOVERY
BOULEVARD & DATA DRIVE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CTL	RHB	JUN 2016	1"=80'			SP-1

Case Number: SP2016-12



LANDSCAPE TABLE						
LARGE TREES	CODE	QTY	BOTANICAL NAME	CONT	GAL	SIZE
	JE2	118	JUNIPERUS VIRGINIANA Eastern Red Cedar SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10'-12" H X 5'-6" W
	QV	39	QUERCUS VIRGINIANA Southern Live Oak SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10'-12" H X 5'-6" W
	UC	29	ULMUS CRASSIFOLIA Cedar Elm SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10'-12" H X 5'-6" W
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	CONT	GAL	SIZE
	ILD	6	ILEX DECIDUA Possumhaw Holly MULTILEADER, FULL, MATCHING	CONTAINER	3' GAL	8" H X 4" W
SHRUBS	CODE	QTY	BOTANICAL NAME	SIZE		SPACING
	LS	151	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' Texas Sage	3 GAL		48" o.c.
	RO	60	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' Tuscan Blue Rosemary	3 GAL		48" o.c.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	SIZE		SPACING
	MUL	60	MULLENBERGIA LINDEIMERI Lindheimer's Mully	3 GAL		48" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	CONT		SPACING
	NH	231,749 SF	NATIVE SEED MIX-HYDROSEED	HYDROSEED		
SOD/SEED	CODE	QTY	BOTANICAL NAME	CONT		SPACING
	CDG	1,08,564 SF	CYNODON DACTYLON Bermuda Grass SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE	SOD		
	CD	225,362 SF	CYNODON DACTYLON-HYDROSEED Bermuda Grass	HYDROSEED		
HARDSCAPE	MATERIAL					
	STEEL EDGING					

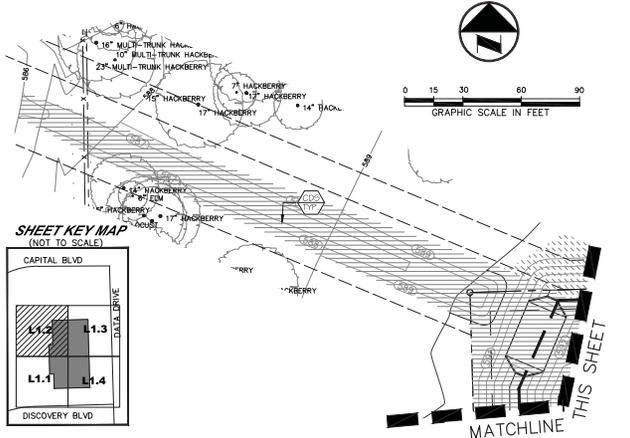
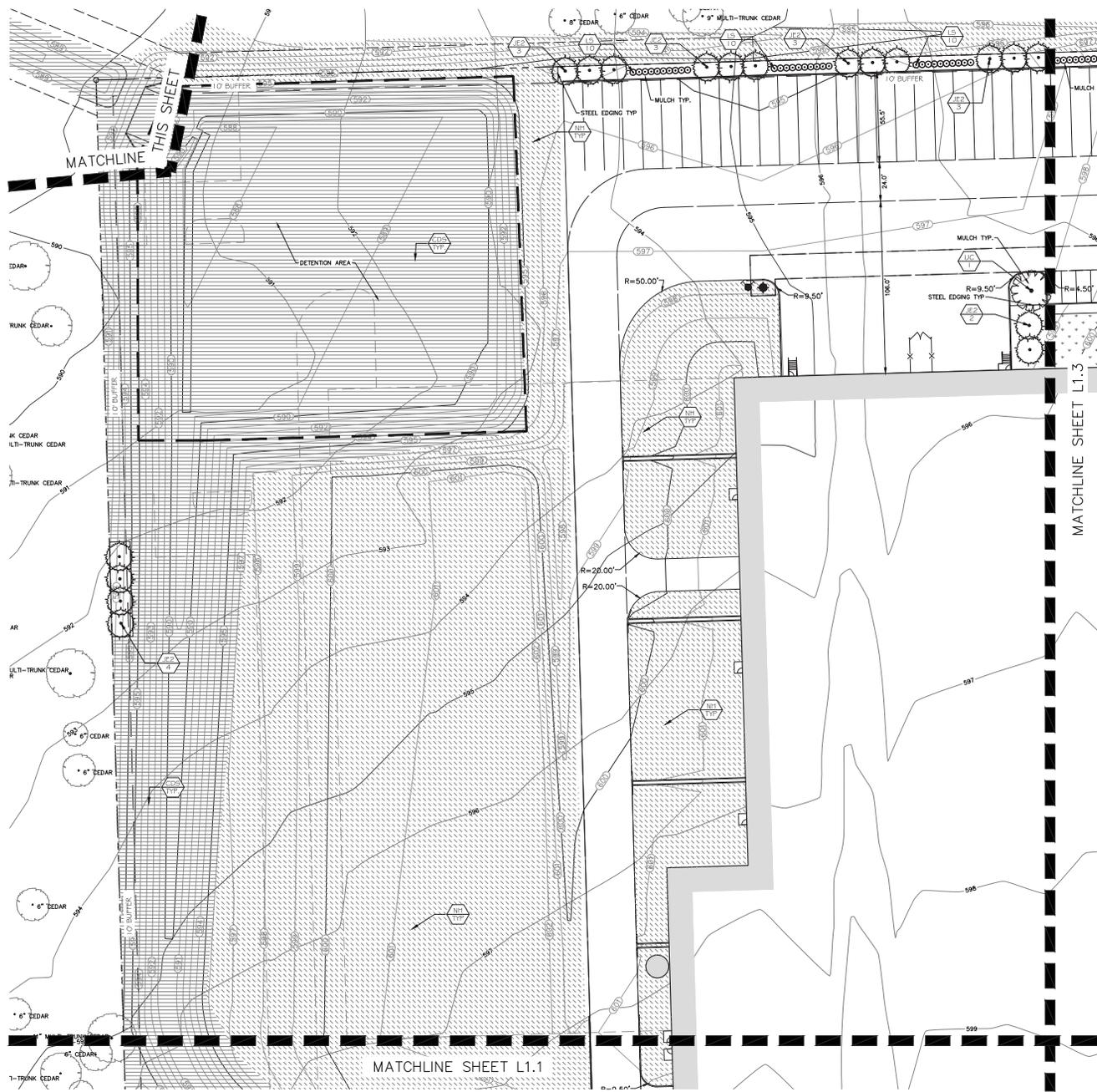
INTERIM REVIEW
 THESE DOCUMENTS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE DOCUMENTS MUST BE APPROVED BY THE DESIGNER.

NO.	DATE	REVISION
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Pacheco Koch		
LANDSCAPE PLAN		
ROCKWALL MANUFACTURING FACILITY		
NORTHWEST CORNER OF DISCOVERY		
BOULEVARD & DATA DRIVE		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DRAWN	DATE
CJT	CRR	MAY 2016
SCALE	NOTES	FILE
1"=30'		
		NO.
		L1.1

ROCKWALL MANUFACTURING FACILITY

DATE: 05/07/2016 11:11 AM
 FILE: SP2016-012-001-LANDSCAPE.CAD 2016 (TYPE: 16,004 - L2.DWG)

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 05/07/2016 11:24AM
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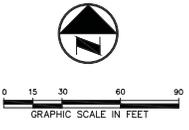
LANDSCAPE TABLE						
LARGE TREES	CODE	QTY	BOTANICAL NAME	CONT	GAL	SIZE
	JE2	118	JUNIPERUS VIRGINIANA Eastern Red Cedar SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10' - 12" H X 5' - 6" W
	QV	39	QUERCUS VIRGINIANA Southern Live Oak SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10' - 12" H X 5' - 6" W
	UC	28	UNUS CRASSIFOLIA Cedar Elm SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10' - 12" H X 5' - 6" W
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	CONT	GAL	SIZE
	ILD	6	ILEX DECIDUA Forsythia Holly MULTI-LEADER, FULL, MATCHING	CONTAINER	3' GAL	8" H X 4" W
SHRUBS	CODE	QTY	BOTANICAL NAME	SIZE		SPACING
	LS	151	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' Texas Sage	3 GAL		48" o.c.
	RO	60	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' Tuscan Blue Rosemary	3 GAL		48" o.c.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	SIZE		SPACING
	MUL	60	MULLENDERGIA LINDEHEIMERI Lindeheimer's Muly FULL, MATCHING	3 GAL		48" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	CONT		
	NH	231,749 SF	NATIVE SEED MIX-HYDROSEED	HYDROSEED		
SOD/SEED	CODE	QTY	BOTANICAL NAME	CONT		SPACING
	CD3	108,564 SF	CYNODON DACTYLON Bermuda Grass SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE	SOD		
	CD	225,362 SF	CYNODON DACTYLON-HYDROSEED Bermuda Grass	HYDROSEED		
HARDSCAPE	MATERIAL					
	STEEL EDGING					

INTERIM REVIEW
 THESE DOCUMENTS ARE INTERIM AND
 SUBJECT TO THE FINAL PLANS AND
 CONSTRUCTION
 REGIONAL LANDSCAPE ARCHITECT
 STATE REGISTRATION NUMBER 2869

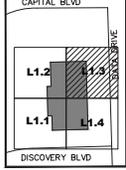
NO.	DATE	REVISION		
LANDSCAPE PLAN ROCKWALL MANUFACTURING FACILITY NORTHWEST CORNER OF DISCOVERY BOULEVARD & DATA DRIVE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
DESIGN	DRAWN	DATE	SCALE	NOTES
CJT	CRR	MAY 2016	1"=30'	FILE
				NO.
				L1.02

ROCKWALL MANUFACTURING FACILITY

Case Number: SP2016-012



SHEET KEY MAP
(NOT TO SCALE)



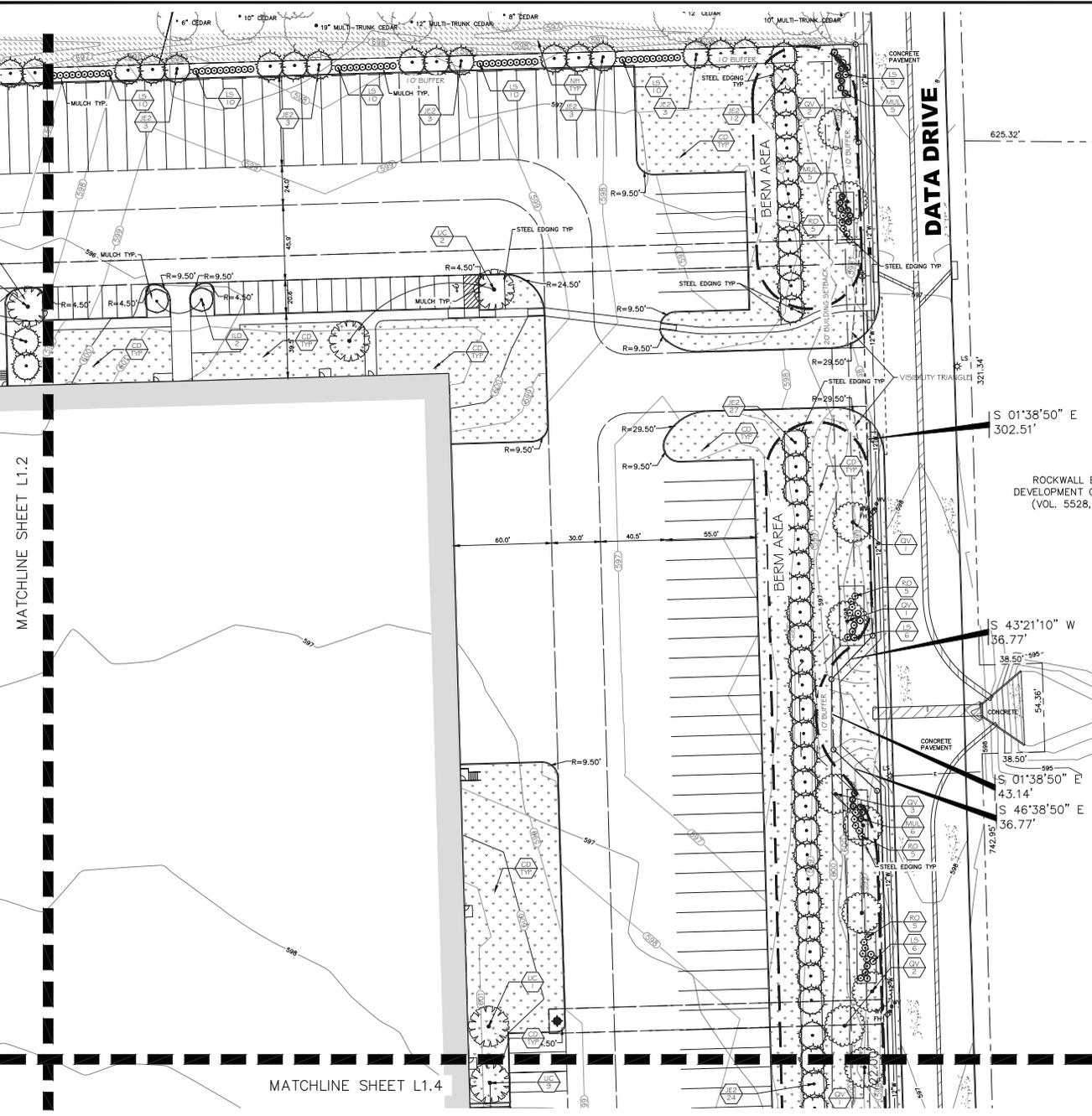
LANDSCAPE TABLE

LARGE TREES	CODE	QTY	BOTANICAL NAME	CONT	CAL	SIZE	
	JE2	11 B	JUNIPERUS VIRGINIANA Eastern Red Cedar SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3'CAL	10'-12" H X 5'-6" W	
	QV	39	QUERCUS VIRGINIANA Southern Live Oak SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3'CAL	10'-12" H X 5'-6" W	
	UC	29	ULMUS CRASSIFOLIA Cedar Elm SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3'CAL	10'-12" H X 5'-6" W	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	CONT	CAL	SIZE	
	ILD	6	ILEX DECIDUA Possumhaw Holly MULTILEADER, FULL, MATCHING	CONTAINER	3'CAL	8' H X 4' W	
SHRUBS	CODE	QTY	BOTANICAL NAME	SIZE		SPACING	
	LS	15 T	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' Texas Sage	3 GAL		48" o.c.	
	RO	60	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' Tuscan Blue Rosemary	3 GAL		48" o.c.	
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	SIZE		SPACING	
	MUL	60	MULLENBERGIA LINDEHEIMERI Lindheimer's Muhly FULL, MATCHING	3 GAL		48" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	CONT		SPACING	
	NH	231,749 SF	NATIVE SEED MIX-HYDROSEED	HYDROSEED			
SOD/SEED	CODE	QTY	BOTANICAL NAME	CONT		SPACING	
	CDG	1,08,564 SF	CYNODON DACTYLON Bermuda Grass SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 1,00% WEED, PEST AND DISEASE FREE	SOD			
	CD	225,362 SF	CYNODON DACTYLON-HYDROSEED Bermuda Grass	HYDROSEED			
HARDSCAPE	MATERIAL						
	STEEL EDGING						

INTERIM REVIEW
THIS DOCUMENT IS SUBJECT TO
REVISIONS. ANY CHANGES SHALL BE
INDICATED BY A REVISION NUMBER.
REVISIONS: APPROVE, REVISION
DATE: 08/14/2016

NO.	DATE	REVISION				
LANDSCAPE PLAN ROCKWALL MANUFACTURING FACILITY NORTHWEST CORNER OF DISCOVERY BOULEVARD & DATA DRIVE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJT	CRR	MAY 2016	1"=30'			L1.3

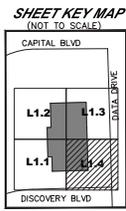
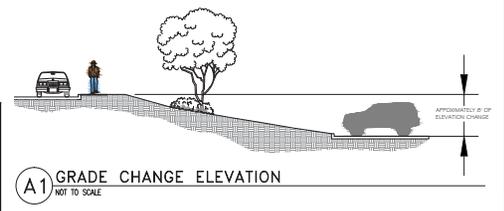
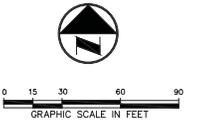
Case Number: SP2016-012



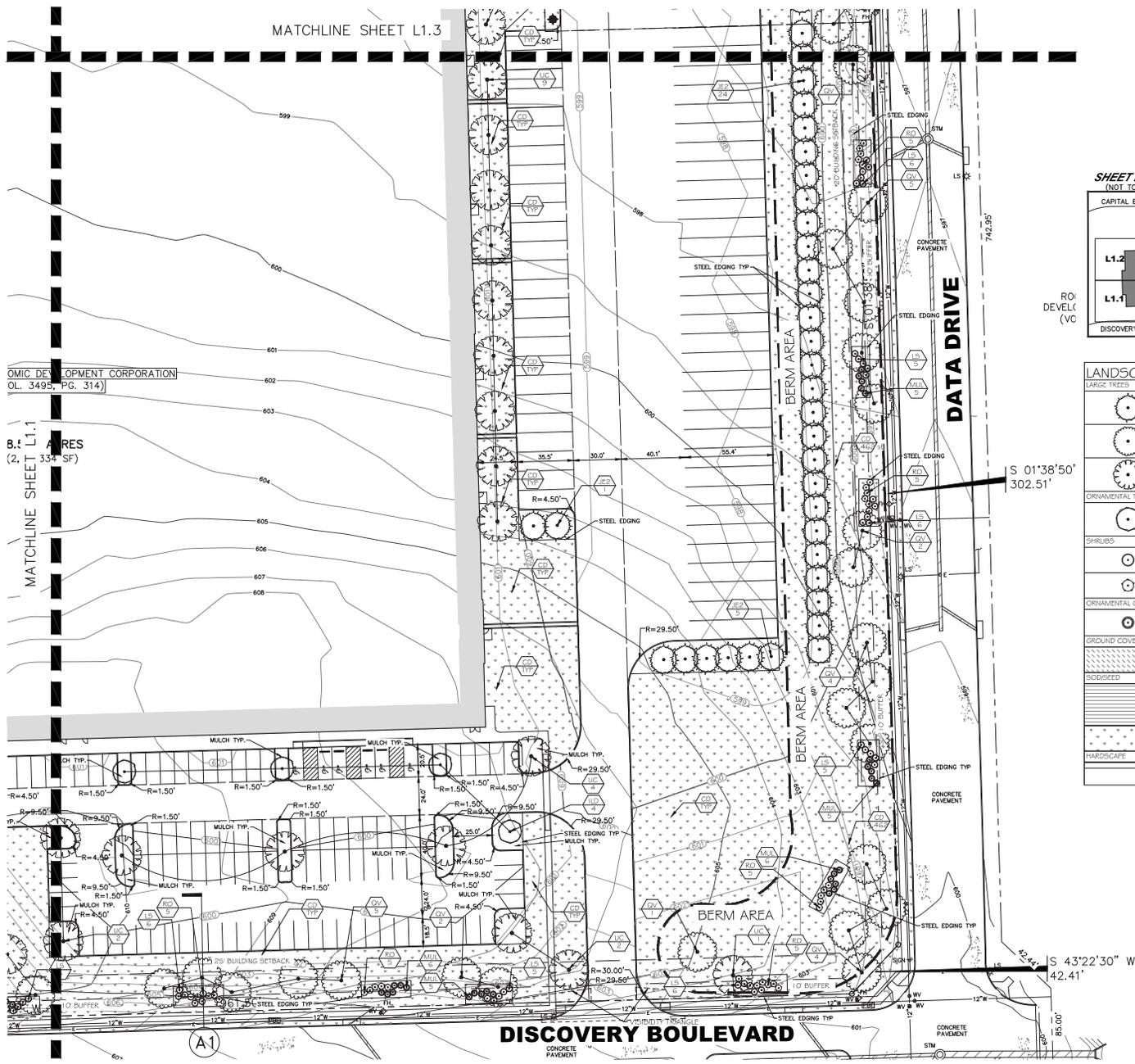
USING: 08/07/2016 11:50AM
 PL: 1000-2016-0001-0001-LANDSCAPE.CAD 2016 (178-16.04-10.DWG)

ROCKWALL MANUFACTURING FACILITY

MATCHLINE SHEET L1.3



ROI DEVELOPMENT (VC)



OMIC DEVELOPMENT CORPORATION
OL 3495, PG. 314)

8.4 AREAS
(2, 334 SF)

LANDSCAPE TABLE						
LARGE TREES	JEZ	11B	JUNIPERUS VIRGINIANA Eastern Red Cedar SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10'-12" H X 5'-6" W
	GV	39	QUERCUS VIRGINIANA Southern Live Oak SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10'-12" H X 5'-6" W
	UC	29	ULMUS CRASSIFOLIA Cedar Elm SINGLE, STRAIGHT LEADER, MATCHING	CONTAINER	3' GAL	10'-12" H X 5'-6" W
ORNAMENTAL TREES	ILD	G	ILEX DECIDUA Possumhaw Holly MULTILEADER, FULL, MATCHING	CONTAINER	3' GAL	8" H X 4" W
SHRUBS	LS	15T	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' Texas Sage	SIZE	3 GAL	48" o.c.
	RO	60	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' Tuscan Blue Rosemary	SIZE	3 GAL	48" o.c.
ORNAMENTAL GRASSES	MUL	60	MULRENBURGIA LINDHEIMERI Lindheimer's Muly FULL, MATCHING	SIZE	3 GAL	48" o.c.
	CD	225,362 SF	CYNODON DACTYLON Bermuda Grass SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 1,000% WEED, PEST AND DISEASE FREE	HYDROSEED		
GROUND COVERS	NH	231,749 SF	NATIVE SEED MIX-HYDROSEED	HYDROSEED		
	CD	108,564 SF	CYNODON DACTYLON Bermuda Grass	HYDROSEED		
HARDSCAPE	MATERIAL					
	STEEL EDGING					

INTERIM REVIEW
THIS DOCUMENT IS PRELIMINARY AND NOT FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT.

NO.	DATE	REVISION
Pacheco Koch		
8100 WESTERN PLACE, SUITE 1001 FORT WORTH, TX 76107 817.412.7155 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-10193824		
LANDSCAPE PLAN		
ROCKWALL MANUFACTURING FACILITY		
NORTHWEST CORNER OF DISCOVERY		
BOULEVARD & DATA DRIVE		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DRAWN	DATE
CJT	CRR	MAY 2016
SCALE	NOTES	FILE
1"=30'		
		L1.4

ROCKWALL MANUFACTURING FACILITY

Case Number: SP2016-012



MANUFACTURING SITE T2









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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/20/2016
APPLICANT: Clay Cristy of ClayMoore Engineering
AGENDA ITEM: **SP2016-013**; Urgent Care Facility (*CareNow*)

SUMMARY:

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of the owner Tom R. Briscoe of Briscoe Oil, Inc. for the approval of a variance to the natural stone requirements stipulated by Section 6.6, IH-30 Overlay (IH-30 OV) District, of the Unified Development Code in conjunction with an approved PD Site Plan for an urgent care facility on a 1.042-acre tract of land identified as Lots 1 & 2, Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Summit Office Subdistrict and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of Horizon Road [FM3097] and the IH-30 frontage road, and take any action necessary.

BACKGROUND & PURPOSE:

The applicant is requesting approval of a variance to the stone requirements in conjunction of an approved *PD Site Plan* for a 6,235 SF urgent care facility (*CareNow*). The 1.042-acre subject property is located directly east of Trend Tower -- *adjacent to the IH-30 Frontage Road and Horizon Road* --, and is zoned Planned Development District 32 (PD-32) [*Ordinance No. 10-21*]. It should be noted that a PD Development Plan [*Ordinance No. 16-28*] was approved in May of this year. A summary of the density and dimensional requirements for the subject property and the approved site plan's conformance to these requirements is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	0.92-Acres; <i>In Conformance</i>
<i>Minimum Lot Width</i>	60-Feet	x>60-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	x>100-Feet; <i>In Conformance</i>
<i>Minimum Build-to-Line (Horizon Road)</i>	10-Feet	10-Feet; <i>In Conformance</i>
<i>Minimum Setback (Horizon Road)</i>	5-Feet	5-Feet; <i>In Conformance</i>
<i>Maximum Permitted Encroachment</i>	5-Feet	0-Feet; <i>In Conformance</i>
<i>Maximum Height</i>	8 Stories or 120-Feet	28-Feet; <i>In Conformance</i>
<i>Maximum Mechanical Screen Height</i>	20-Feet	10-Feet; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	90%	100%; <i>In Conformance</i>
<i>Minimum Stone Requirement</i>	20% Natural or Quarried	x<20%; <i>Variance</i>
<i>Minimum Parking Spaces Required</i>	31	46; <i>In Conformance</i>
<i>Maximum Lot Coverage</i>	60%	11.5%; <i>In Conformance</i>

VARIANCES REQUEST:

The applicant is requesting a variance to the *IH-30 Overlay (IH-30 OV) District* standards of the *Unified Development Code (UDC)* as outlined below. As a note, approval of a variance request to the IH-30 OV requires passage of a 3/4 majority vote of City Council. With this being said, the approval of a variance to the IH-30 OV is a discretionary decision for the City Council. The request is as follows:

- 1) *Masonry requirements.* According to Section 6.6, C. *Architectural Standards*, of Article V, *District Development Standards*, of the UDC, each exterior wall is required to be constructed of 90% masonry materials (*i.e. brick, stone, etc.*) on walls visible from a public street or open space, including a *minimum of 20% being natural or quarried stone*. In this case, the proposed building will be comprised of 100% masonry materials with two (2) of the facades incorporating a minimum of 35% natural chopped stone. The two (2) remaining facades (north and west elevations) do not meet the minimum 20% standard for stone. *A variance to allow for not meeting the minimum stone standard requires a ¾ majority vote by the City Council for approval.*

ARCHITECTURAL REVIEW BOARD (ARB):

On May 31, 2016, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. Through internal discussion with the applicant, the ARB recommended removing the stone from the tower element adjacent to IH-30 (*i.e. northern façade*) and placing it on the southern elevation for the purpose of *wrapping* the chopped stone around the building from the southern elevation to eastern elevation. This will also have the effect of increasing the stone that faces onto Pinnacle Way Drive. In lieu of stone on the tower element the ARB recommended that the applicant utilize one (1) of the two (2) proposed brick materials. In addition, the ARB agreed with the applicant that the western elevation did not need to incorporate stone since it will face Trend Tower and not be visible from a public right-of-way. Finally, the ARB recommended that the applicant consider incorporating more adornments (*i.e. cast stone medallions*) in the banding elements and trim the windows out in an opposing materials (*e.g. if the wall is stone then use brick to frame the windows and vice-versa*). The applicant agreed with the ARB's assessment and provided elevations demonstrating conformance to these recommendations.

On June 14, 2016, after reviewing the changes made to the buildings elevations, the Architectural Review Board made a motion to approve the elevations as submitted. The motion passed by a vote of 4 to 0, with Board Members Strohmeyer, Neill, and Meyrat absent.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On June 14, 2016, the Planning and Zoning Commission's motion to approve the site plan with staff conditions passed by a vote of 6 to 0, with Commissioner Trowbridge absent. In the same motion, the Planning and Zoning Commission's recommendation to approve the variance as requested also passed by a vote of 6 to 0, with Commission Trowbridge absent.

City of Rockwall Project Plan Review History



Project Number SP2016-013	Owner BRISCOE, OIL INC	Applied 5/16/2016	LM
Project Name Care Now	Applicant CLAYMOORE ENGINEERING	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status STAFF REVIEW		Status 5/16/2016	LM
 Site Address I30		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision BRISCOE/HILLCREST ADDITION	Tract 1	Block A	Lot No 1
			Parcel No 3152-000A-0001-00-OR
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	5/16/2016	5/23/2016	5/17/2016	1	APPROVED	
ENGINEERING (5/19/2016 9:41 AM AW) Engineering Comments on plans. 4% engineering fees Impact fees Stormwater Pro-Rata due \$7,226.59/acre Tie an 8" water from Horizon to existing 8" in Pinnacle Drive Move water out from under the paving (to the eastern right-of-way) Fire line to have 10' separation from all other utilities Need to label road width Add a note: Dimensions are to face of curb or edge of paving Remove all wheel stops on parking spaces less than 20' The relocated power to go underground On the landscaping: Make sure the fire hydrant has 5' clear around it...no shrubs.	Amy Williams	5/16/2016	5/23/2016	5/19/2016	3	COMMENTS	See Comments
ENGINEERING (6/9/2016 1:36 PM AW) No walls in easements or right-of-ways	Amy Williams	6/9/2016	6/16/2016	6/9/2016		COMMENTS	See Comment
FIRE (5/17/2016 2:59 PM AA) Will off-site access drive be Fire Lane? Confirm that it is not needed for future expansion on parking garage.	Ariana Hargrove	5/16/2016	5/23/2016	5/17/2016	1	COMMENTS	See Comments
FIRE (6/9/2016 12:19 PM AA) Will off-site access drive be Fire Lane? Confirm that it is not needed for future expansion on parking garage.	Ariana Hargrove	6/9/2016	6/16/2016	6/9/2016		COMMENTS	see comment

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
GIS	Lance Singleton	5/16/2016	5/23/2016			

PLANNING	David Gonzales	5/16/2016	5/23/2016	5/18/2016	2 COMMENTS	See comments
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Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of the owner Tom R. Briscoe of Briscoe Oil, Inc. for the approval of a PD Site Plan for an urgent care facility on a 1.042-acre tract of land identified as Lots 1 & 2, Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Summit Office Subdistrict and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of Horizon Road [FM3097] and the IH-30 frontage road, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, June 7, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label site plan documents with "Case No. SP2016-013" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.
5. Is there a Streetscape Plan? PD-32 (Ord. 10-21) Exhibit C-4 has streetscape elements regarding the following that must be adhered to:
 - a) Street Furnishings (i.e. benches, trash receptacles, bike racks, etc.).
 - b) Lighting (i.e. pedestrian scale street lights, parking lot light fixture, tree uplighting)
 - c) Landscape (i.e. tree leave-outs, decorative pots, etc.)
- ** You may also refer to the resolution establishing Design Guidelines for the district. See Ord. 10-40.
6. Refer to PD-32 (Ord. 10-21) Exhibit F-2 for retaining wall requirements for all retaining walls associated with the development. Provide detail.

The Following is/are Variances to the IH-30 Overlay (IH-30 OV) District Requirements (per submittal). Please provide a letter specifically requesting each variance, and providing a rationale for the approval of these variances.

1. Variance request to allow for a roof design that does not meet the required pitched roof standard of the IH-30 OV District for buildings less than 6,000 sq. ft. and allowing for a flat roof design (with parapet walls).
2. Variance request to allow for not meeting the 20% stone requirement for all four sides of the building (as depicted on the submitted elevations).
3. The Architectural Standards of the IH-30 OV requires buildings to be architecturally finished on all four side with the same materials, detailing, and features. A variance to allow for not meeting the four sided articulation standards as established in the IH-30 OV will be required.

** Variances to the IH-30 OV requires approval of a 3/4 majority vote of council **

Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Re-label Firelane as "24-ft Firelane & Public Access Easement."
2. Dumpster enclosure walls are to be a minimum of 8-ft in height with materials to match the primary structure with an opaque gate and a self latching mechanism. Provide detail and label as such.
3. Buildings footprint is less than 6,000 sq. ft. - requires a pitched roof system per the IH-30 OV. Variance required.
4. Provide a label for the roadway width of Pinnacle Way Drive (indicated as 12' + 12' to center line).

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
5. 7' to 8' retaining wall with guard rail cannot be located within the right-of-way. Relocate.						
6. Use a lighter gray scale for TOPO or turn off layer and provide a separate topographic exhibit.						
7. Provide Vol. Pg. for 35-ft ROW Dedication.						
8. There is an additional distance marker connected to the 35-ft ROW arrow within the property that is not identified. Provide label or remove.						
9. Along Horizon Rd, at the bend of the property line, there is an incomplete label with an arrow/distance of 2' - What is this representing?						
10. Verify parking count - 46 spaces counted. If correct, change the parking count in the legend.						
11. Hatch the area to be abandoned of the 22-ft access easement that runs north and south (generally).						

Landscape Plan:

1. With the exception of the streetscape element requirements of PD-32, the landscape plan as submitted meets or exceeds the intent of the UDC and the IH-30 OV.

Treescape Plan:

1. Any oak, pecan, or elm four caliper inches or greater requires P&Z approval prior to removal (Tree No. 16, 17, 18, 22, 25, & 26).
2. Mitigation balance of 57 inches to be paid to the City's Tree Fund (\$7,125) as indicated on the plan.

Photometric Plan:

1. Please provide a detail of the lighting poles for the parking lot and pedestrian area(s) meeting the streetscape elements standards as established in Exhibit C-4 of PD-32 (Ord. 10-21).
2. All lighting sources are to be directed down and shielded with a full cut-off or partial cut-off source and a maximum 1 inch reveal in order to control glare. Provide cut sheets for all exterior lighting sources.
3. The lighting levels along all property lines are not to exceed 0.2-FC in order to reduce glare. The lighting levels along the northwest property boundary exceed the standard and require an adjustment to reduce the intensity.

Building Elevations:

1. The Architectural Standards of the IH-30 OV require all structures with a building footprint less than 6,000 SF to be constructed with a pitched roof design. A variance to allow for a flat roof design rather than the pitched roof standard will be required.
2. The Architectural Standards of the IH-30 OV requires a minimum of 20% natural or quarried stone for each exterior wall. A variance to allow for not meeting the 20% stone requirement (as depicted on the submitted elevations) will be required.
3. The Architectural Standards of the IH-30 OV requires buildings to be architecturally finished on all four sides with the same materials, detailing, and features. A variance to allow for not meeting the four-sided articulation standards as established in the IH-30 OV will be required.
4. The building elevations are required to be reviewed by the Architectural Review Board per PD-32.

The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Architectural Review Board - Discussion/Recommendation to P&Z: May 31, 2016 (5:00 p.m.)

Planning - Discussion: May 31, 2016 (6:00 p.m.)

Planning - Action: June 14, 2016 (6:00 p.m.)

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
City Council - Action: June 20, 2016 (6:00 p.m.) [FOR VARIANCE REQUESTS ONLY]						
PLANNING	David Gonzales	6/9/2016	6/16/2016	6/9/2016	COMMENTS	See comments
The following staff comments for the revised plans are to be addressed and resubmitted no later than Tuesday, June 28, 2016. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a final review by staff:						
Planning Department General Comments and Conditions:						
<ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required. 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO). 3. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department. 4. Provide a letter indicating compliance with a Streetscape Plan listing elements to be used. PD-32 (Ord. 10-21) Exhibit C-4 has streetscape elements regarding the following that must be adhered to: <ol style="list-style-type: none"> a) Street Furnishings (i.e. benches, trash receptacles, bike racks, etc.). b) Lighting (i.e. pedestrian scale street lights, parking lot light fixture, tree uplighting) c) Landscape (i.e. tree leave-outs, decorative pots, etc.) ** You may also refer to the resolution establishing Design Guidelines for the district. See Ord. 10-40. 5. Refer to PD-32 (Ord. 10-21) Exhibit F-2 for retaining wall requirements for all retaining walls associated with the development. Provide detail. 						
The following variance to the IH-30 Overlay (IH-30 OV) District requirements. A variance to the IH-30 OV requires approval of a 3/4 majority vote of council.						
<ol style="list-style-type: none"> 1. Variance request to allow for not meeting the 20% stone requirement on all four sides of the building (as depicted on the submitted elevations). 						
Please address the following outstanding Planning Comments for the following revised plans:						
Site Plan:						
<ol style="list-style-type: none"> 1. The 7' to 8' retaining wall with guard rail cannot be located within the right-of-way. This will need to be addressed with the Engineering Department. 						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the Site Plan. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Architectural Review Board - Discussion/Recommendation to P&Z: June 14, 2016 (5:00 p.m.)						
Planning - Action: June 14, 2016 (6:00 p.m.)						
City Council - Action: June 20, 2016 (6:00 p.m.) [FOR VARIANCE REQUESTS ONLY]						



SP2016-013- CARE NOW
 SITE PLAN - LOCATION MAP =



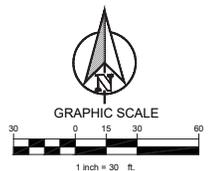
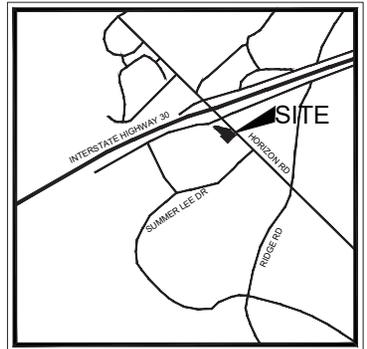
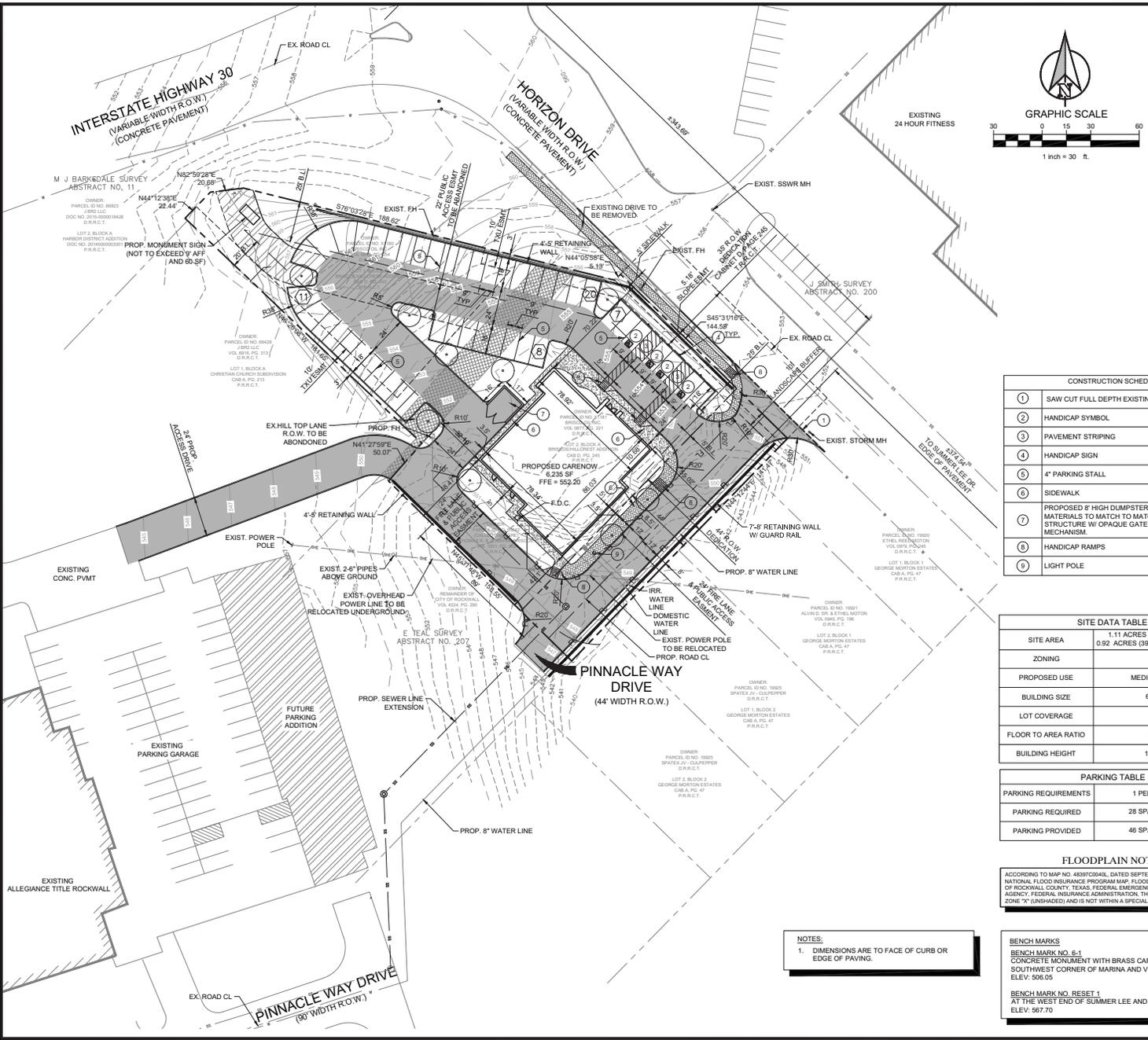
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PLOTTED BY: JVA/DEZ
 PLOT DATE: 6/9/2016 8:00 AM
 LOCATION: C:\LENTY\SHARED\PROJECTS\2016-029_CRESTVIEW ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 6/9/2016 7:59 AM



CONSTRUCTION SCHEDULE	
1	SAW CUT FULL DEPTH EXISTING PAVEMENT
2	HANDICAP SYMBOL
3	PAVEMENT STRIPING
4	HANDICAP SIGN
5	4' PARKING STALL
6	SIDEWALK
7	PROPOSED 8' HIGH DUMPSTER AREA ENCLOSURE. MATERIALS TO MATCH TO MATCH PRIMARY STRUCTURE W/ OPAQUE GATE AND SELF LATCHING MECHANISM.
8	HANDICAP RAMPS
9	LIGHT POLE

LEGEND	
	PROPOSED 5' LIGHT DUTY CONCRETE PAVEMENT
	PROPOSED 6' HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	PROPOSED FIRE LANE
	HILL TOP LANE R.O.W. TO BE ABANDONED
	PUBLIC SIDEWALK
	3-INCH CALIPER 65 GALLON CANOPY TREE

SITE DATA TABLE	
SITE AREA	1.11 ACRES (48,281 SF) GROSS 0.92 ACRES (39,856 SF) AFTER R.O.W.
ZONING	PD-32
PROPOSED USE	MEDICAL OFFICE
BUILDING SIZE	6,235 SF
LOT COVERAGE	11.5%
FLOOR TO AREA RATIO	0.11:1
BUILDING HEIGHT	1 STORY

PARKING TABLE	
PARKING REQUIREMENTS	1 PER 200 SQ FT
PARKING REQUIRED	28 SPACES (2 ADA)
PARKING PROVIDED	46 SPACES (4 ADA)

FLOODPLAIN NOTE
 ACCORDING TO MAP NO. 48397034A, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

BENCH MARKS
 BENCH MARK NO. 6-1
 CONCRETE MONUMENT WITH BRASS CAP AT THE SOUTHWEST CORNER OF MARINA AND VILLAGE ROAD ELEV: 506.05
 BENCH MARK NO. RESET 1
 AT THE WEST END OF SUMMER LEE AND WEST OF FM 740. ELEV: 567.70

NOTES:
 1. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVING.

CASE NO. SP2016-013

CARENOW I-30 & HILLTOP DRIVE
 LEGAL DESCRIPTION:
 LOT 1, LOT 2 & LOT 3, BLOCK A
 BRISCOE / HILLCREST ADDITION
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
 TOM R BRISCOE AND BRISCOE OIL, INC.
 2323 STEVENS ROAD,
 HEALTH, TX, 75032
 CONTACT: DAVID ENGLISH
 PH: 972.961.8532

DEVELOPER:
 CRESTVIEW REAL ESTATE, LLC
 12720 HILLCREST RD., SUITE #050
 DALLAS, TX 75230
 CONTACT: GRAY STOGNER
 PH: 214.343.4477

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DR., SUITE #408
 BEFORD, TX 76021
 PH: 817.281.0572

CITY CASE #:

CLAYMOORE ENGINEERING

PRELIMINARY

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION PURPOSES.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 Engineer: CLAY CRISTY
 P.E. No. 039800 Date: 06/08/2016

CARENOW
 LOT 1 & 2, BLOCK A
 BRISCOE/HILLCREST ADDITION
 ROCKWALL, TX

CITY SITE PLAN

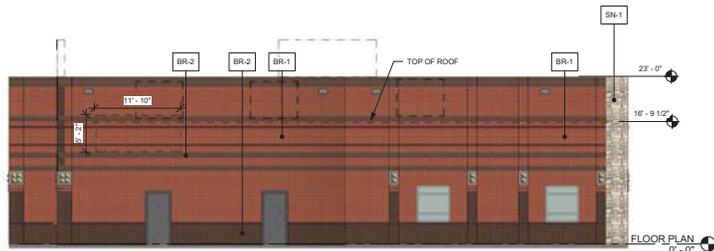
DESIGN: JEV
 DRAWING: BEN
 CHECKED: CLG
 DATE: 06/08/2016

SHEET
 SP-1

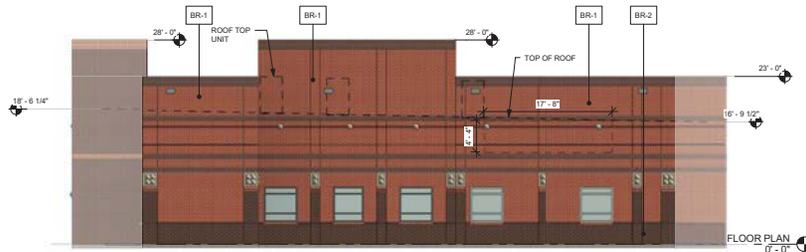
FILE NO.: 2016-029



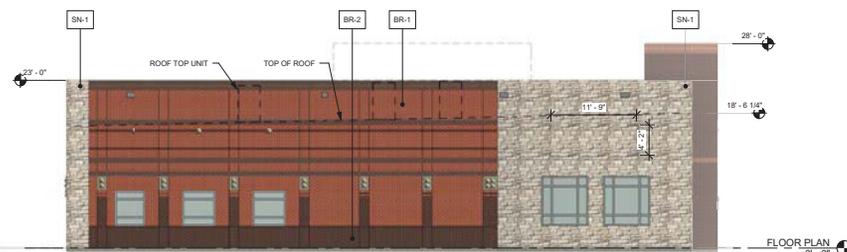
5 EAST (HORIZON RD) ELEVATION
1/8" = 1'-0" FACES PUBLIC RIGHT OF WAY



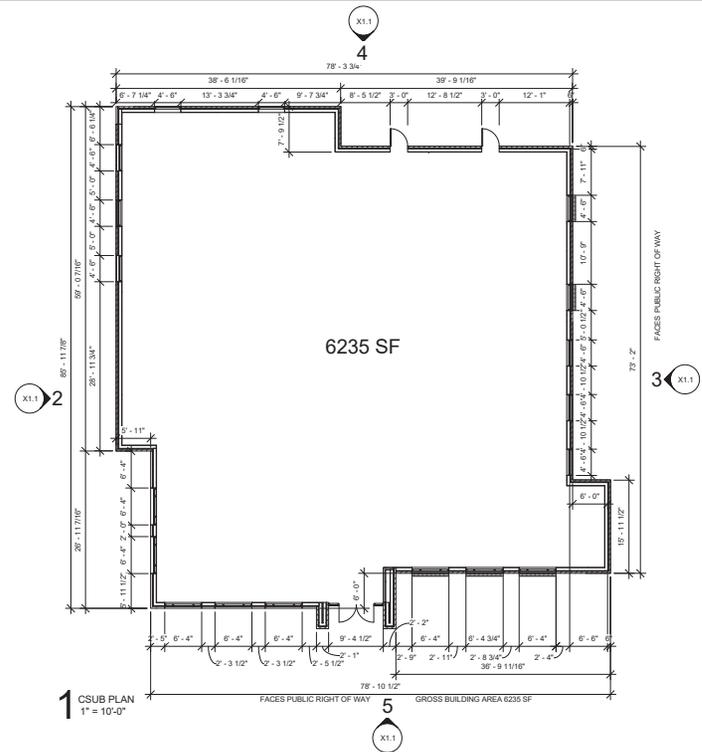
4 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0" FACES PUBLIC RIGHT OF WAY



2 SOUTH ELEVATION
1/8" = 1'-0"



ARTICULATION			
HORIZONTAL			
	CALCULATED	REQUIRED	PROVIDED
NORTH			
OFFSET	23' x 25' = 5.75	5.75	6'
LENGTH	73.167' x 25' = 19.54	19.54	16'
SOUTH			
OFFSET	23' x 25' = 5.75	5.75	5.52
LENGTH	86' x 25' = 21.5	21.5	27'
EAST			
OFFSET	23' x 25' = 5.75	5.75	6'
LENGTH	78.875' x 25' = 19.71	19.71	36.75'
WEST			
OFFSET	23' x 25' = 5.75	5.75	7.75
LENGTH	78.25' x 25' = 19.56	19.56	38.5'
VERTICAL			
	CALCULATED	(H)	REQUIRED
NORTH			
OFFSET	23' x 25' = 5.75	23'	28.75'
LENGTH	73.167' x 25' = 19.54	19.54	27.167'
SOUTH			
OFFSET	23' x 25' = 5.75	23'	28.75'
LENGTH	86' x 25' = 21.5	21.5	0'
EAST			
OFFSET	23' x 25' = 5.75	23'	28.75'
LENGTH	78.875' x 25' = 19.70	19.70	13.75'
WEST			
OFFSET	23' x 25' = 5.75	28.75'	23'
LENGTH	78.25' x 25' = 19.56	19.56	0'

EXTERIOR FINISH SCHEDULE		
MATERIAL TYPE	COLOR	
SN-1 STONE VENEER	BLACKSON BRICK CO. COTTON STB RANDOM CHOPPED	
BR-1 BRICK	RED. TO MATCH FORTERRA V130	
BR-2 BRICK	BLACKSON BRICK CO. COTTON STB RANDOM CHOPPED	

MATERIAL COVERAGE CALCULATIONS								
	EAST - ELEVATION (S.F.)		WEST - ELEVATION (S.F.)		NORTH - ELEVATION (S.F.)		SOUTH - ELEVATION (S.F.)	
MATERIAL	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%
STONE	655.5	35	69	3.8	0	0	747.5	38
BRICK	1230	65	920	96.2	1817.8	100	1230.5	62
MASONRY	1885.5	100.00	1799.75	100.00	1817.8	100.00	1978	100.00
GLAZING:	360	9	45	2	66	4	157	8

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.
ROBERT R. HOLTON #14938

ISSUE DATES	
NO.	DATE
1	03.08.20

REVISION LOG	ISSUE NAME
NO.	DATE

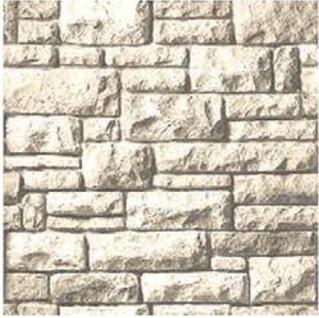
HEIGHTS VENTURE ARCHITECTURE
1710 W. 10TH ST. SUITE 100
DALLAS, TX 75201
TEL: 214.742.1000
WWW.HVA-ARCHITECTURE.COM

CARENOW
PINNACLE WAY & HORIZON ROAD
ROCKWALL, TEXAS
A PROJECT FOR: CARENOW

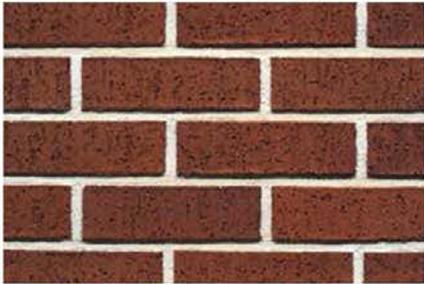
PROJECT NO. 15207-151
DATE PLOTTED:
DESIGNED BY: WJH/SH
DRAWN BY: EF

SHEET TITLE
CSUB ELEVATIONS

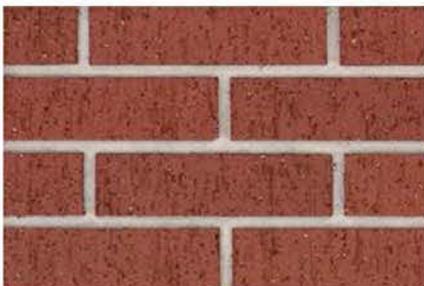
SHEET NUMBER
X1.1



SN-1 STONE-BLACKSON BRICK- COTTON STB RANDOM CHOPPED



BR-2 BRICK-BURGANDY, TO MATCH FORTERRA V180



BR-1 BRICK-RED, TO MATCH FORTERRA V130



CARENOW
NEW MEDICAL CARE
ROCKWALL, TX

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.
ROBERT R. HOLTON #14938



SP2016-013

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CITY OF ROCKWALL, TEXAS
MEMORANDUM

TO: Mayor and City Council

FROM: David Gonzales, *Senior Planner*

CC: Ryan Miller, *Director of Planning and Zoning*

DATE: June 20, 2016

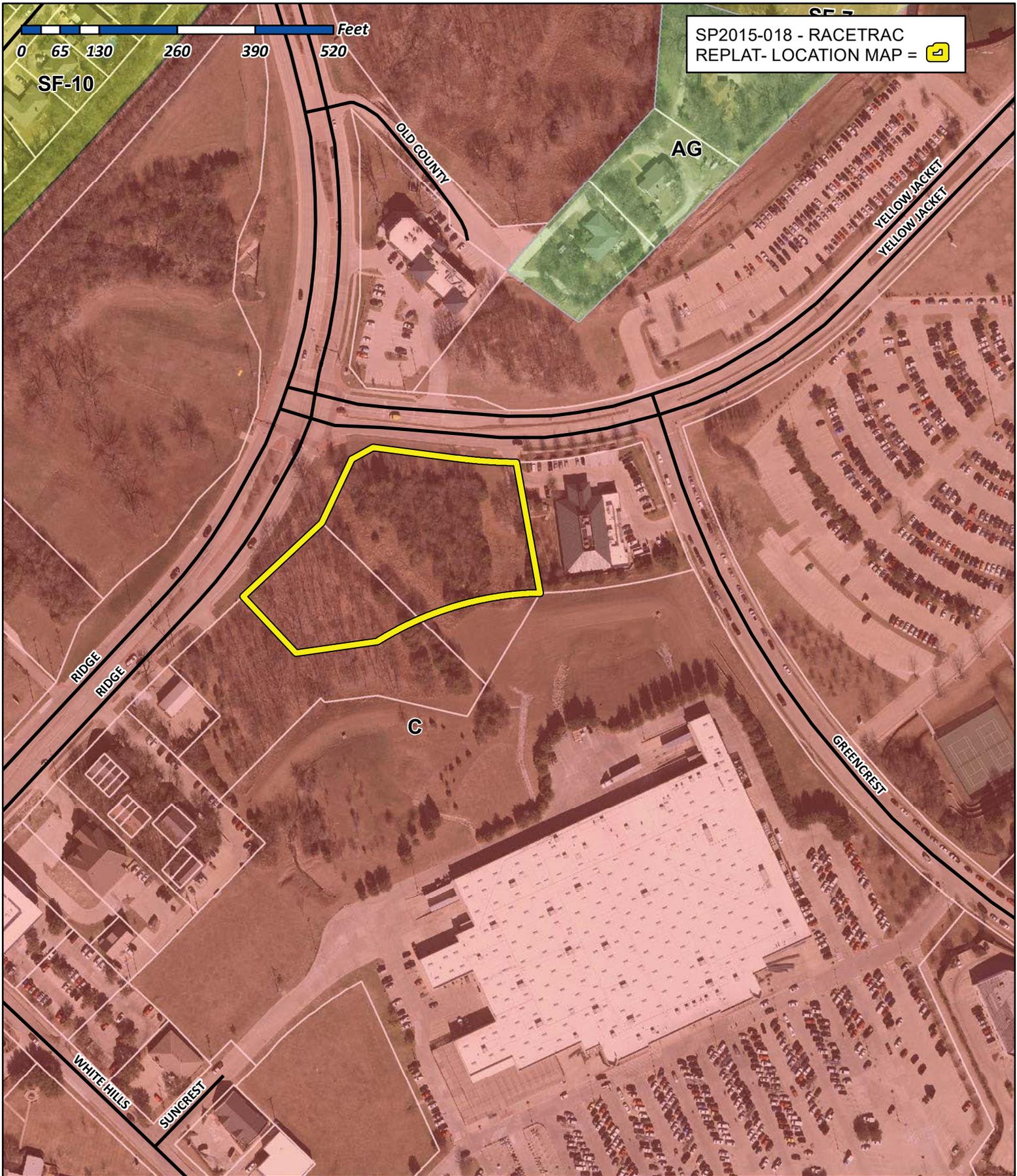
SUBJECT: **SP2015-018; RaceTrac Site Plan Amendment**

On December 10, 2013, the Planning and Zoning Commission approved a site plan (Case No. SP2013-002) for a *RaceTrac Gas Station* on the subject property at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane. This site plan was amended on December 21, 2015 by the City Council after the then applicant -- *Dimension Group* -- requested that a variance to the secondary materials be approved allowing the building to exceed the 10% secondary material requirement for the purpose of allowing EIFS and TrexBoard®. At the time of approval, the applicant submitted elevations showing approximately 14% secondary materials overall (18% as calculated by the ordinance -- i.e. excluding doors and windows).

Since this approval, RaceTrac has amended their use of TrexBoard® in favor of a composite/compressed board (i.e. *Compact Wood*) and altered their prototypical building elevations to incorporate an enclosed dining area. Typically, these changes can be handled administratively; however, in making the changes the applicant, Brad Williams of Winstead PC, is requesting permission to increase the amount of secondary materials for the purpose of accommodating the enclosed dining space (i.e. *adding five [5] additional pillars -- indicated on the attached elevations*). These changes increase the amount of secondary materials from 18% to an average of 21% (i.e. *10.11% to 29.40% per façade -- see attached spreadsheet*), thus increasing the non-conformity of the variance. Due to this change and since the applicant is proposing a new material (i.e. *Compact Wood*) staff has taken the changes back to the Architectural Review Board (ARB) and the Planning and Zoning Commission (P&Z).

On June 14, 2016, the ARB reviewed the proposed changes and approved a motion to recommend approval of the proposed building elevations (including the change in materials) by a vote of 4 to 0, with Board Members Strohmeyer, Neill, and Meyrat absent. In addition, on June 14, 2016, the P&Z approved the amended site plan request and recommended approval of the variance request by a vote of 6 to 0, with Commissioner Trowbridge absent. It should be noted that for council to approve this variance it will require a ¾-majority vote as it is a requirement of the Scenic Overlay (SOV) District.

Included in the attached packet is a copy of the approved elevations, the revised/proposed elevations and a color rendering. In addition, staff has placed a spec sheet on the compact wood product. Staff will also bring a material sample of both products for the City Council's review.



SP2015-018 - RACETRAC
 REPLAT- LOCATION MAP = [location pin icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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Proposed Color Rendering
with Compact Wood



= Proposed Changes

Proposed Elevations with Compact Wood

RaceTrac
© 2018 RACE TRAC
 THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACE TRAC PETROLEUM, INC. IS PROHIBITED. 2018 RACE TRAC PETROLEUM INC.
DESIGN PROFESSIONALS

ISSUE/REVISION RECORD
 DATE DESCRIPTION
 3/22/18 UPDATED

RaceTrac
 RACE TRAC PETROLEUM, INC.
 3225 CUMBERLAND BOULEVARD
 SUITE 100
 ATLANTA, GEORGIA 30329
 (770) 421-1000

PROJECT NAME
 ANYTOWN, CITY

STATE 0000
ADDRESS

RACE TRAC STORE NUMBER

#000

PROTOTYPE SERIES S-SK

2016 BR-LH-M0(-) 0301

PLAN MODIFICATION NOTICE

SPB NO. XXXX DATE 03.01.18

STANDARD PLAN BELIEVES SPDS SHOULD BE PROVIDED BY THE CLIENT. THE LISTED SPDS REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROJECT. THE USER SHOULD CONSULT THE PROJECT ARCHITECT FOR THE LATEST REVISION RECORD COLOR ABOVE. LISTED SPDS ARE NOT INCORPORATED INTO THIS SET AFTER THE ORIGINAL RELEASE. CONTACT ARCHITECT FOR MORE INFO AND CONSTRUCTION FOR ANY SUBSEQUENT HOLDINGS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER
 2015127_XX

SHEET TITLE
 EXTERIOR ELEVATIONS

SHEET NUMBER

A300B



LEFT ELEVATION 1,320 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	148	11%
BRICK	306	23%
EIFS	104	8%
GLAZING	388	29%
METAL	344	26%
WOOD	110	8%

RIGHT ELEVATION 1,228 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	206	17%
BRICK	711	57%
EIFS	86	7%
GLAZING	0	0%
METAL	32	3%
WOOD	143	12%

REAR ELEVATION 2,272 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	404	18%
BRICK	1396	61%
EIFS	182	8%
GLAZING	60	3%
METAL	294	13%
WOOD	16	1%

FRONT ELEVATION 2,418 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	209	9%
BRICK	867	36%
EIFS	147	6%
GLAZING	650	27%
METAL	222	9%
WOOD	220	9%

ELEVATION KEY NOTES

ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELOGRAM	13'-5 1/2" X 3'-0"	40 SF
	BANNER	7'-8" X 6'-6"	42 SF
RIGHT	BANNER	7'-8" X 6'-6"	42 SF
LEFT	RT PARALLELOGRAM	13'-5 1/2" X 3'-0"	40 SF

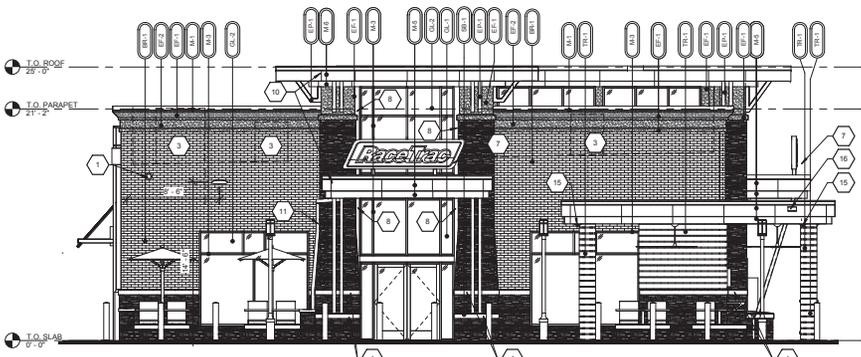
EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACE TRAC
AW-1	BRICK	
BR-1	BORAL	LAREDDO BRICK
BR-1	BORAL	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN LITTEL CHAMPAGNE	COLOR 1102 NATURAL STONE, MORTAR COLOR "LIGHT BUFF"
EIFS	STO THERM GJ	"FINE FINISH" APPLICATION, COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
EIF-2	STO THERM GJ	"FINE FINISH" APPLICATION, COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GL-1	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3: IGL AT ST ONE-FRONT 0.27 U-FACTOR, SHGC PFG 2540 27 1/4" PFG SOLARBAN 70-XX LOW-E #2 + 1/2" AIR + 1/4" CLEAR
GL-2	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3: IGL AT ST ONE-FRONT 0.27 U-FACTOR, SHGC PFG 2540 27 1/4" PFG SOLARBAN 70-XX LOW-E #2 + 1/2" AIR + 1/4" CLEAR SATIN (ETCH #3)
METAL	PRE-FINISHED 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL FG-3000 STOREFRONT SYSTEM	PRE-FINISHED DARK BRONZE ANODIZED ALUMINUM AAC-M22044
M-5	REYNOLBOND	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-7	VERSATEX	W/VR TONGUE AND GROOVE
PAINT	EXTERIOR PAINT TO MATCH DARK BRONZE	
EP1	SHERWIN WILLIAMS	EXTERIOR PAINT AS SELECTED BY RACE TRAC
EP2	SHERWIN WILLIAMS	EXTERIOR PAINT AS SELECTED BY RACE TRAC
ROOFING	50 ML MEMBRANE ROOFING SYSTEM	WHITE, MECHANICALLY FASTENED
EPD	DOROLAST M	
SS-1	BORAL	ASPEN COUNTRY LEDGESTONE
SS-1	BORAL	MORTAR COLOR "LIGHT BUFF"
STONE BAND	TUSCAN LITTEL CHAMPAGNE	MORTAR COLOR "LIGHT BUFF"
SB-1	BORAL	
WOOD SLATS	COMPACTWOOD 1/2" THICKNESS	WALNUT GC "CW-GCOW-S-0410 12"

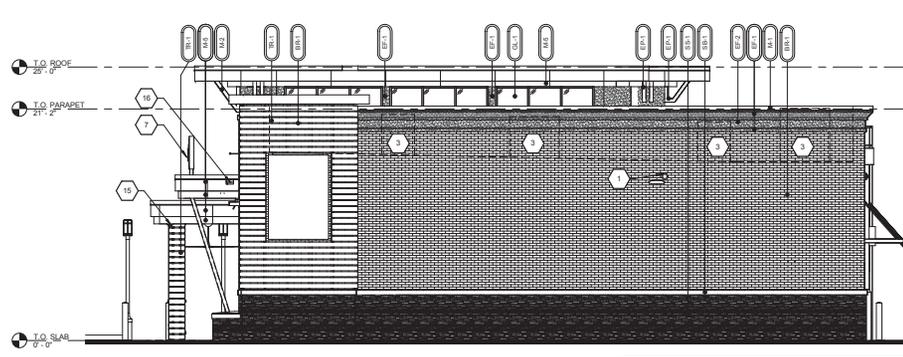
Approved December 2015



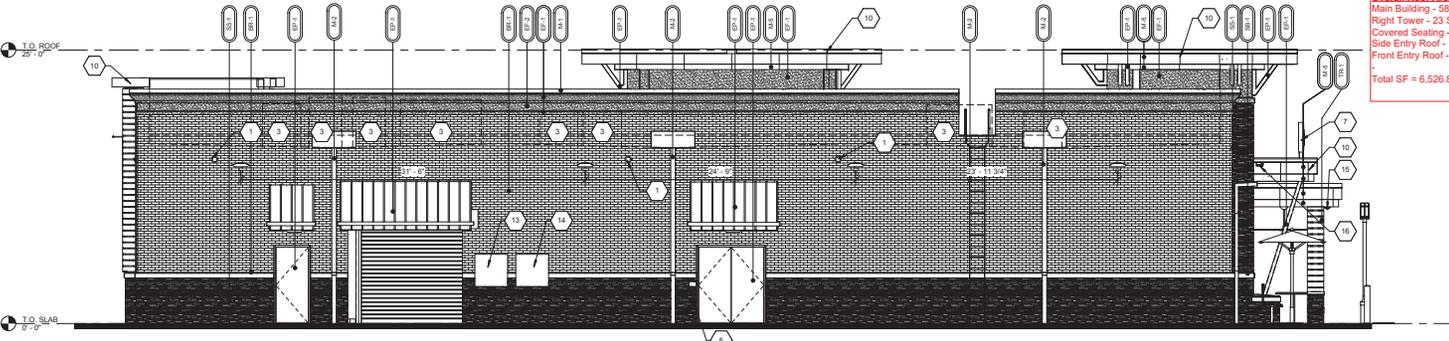
ISSUE/REVISION RECORD	DATE	DESCRIPTION
2009/15		PRELIMINARY PACKAGE



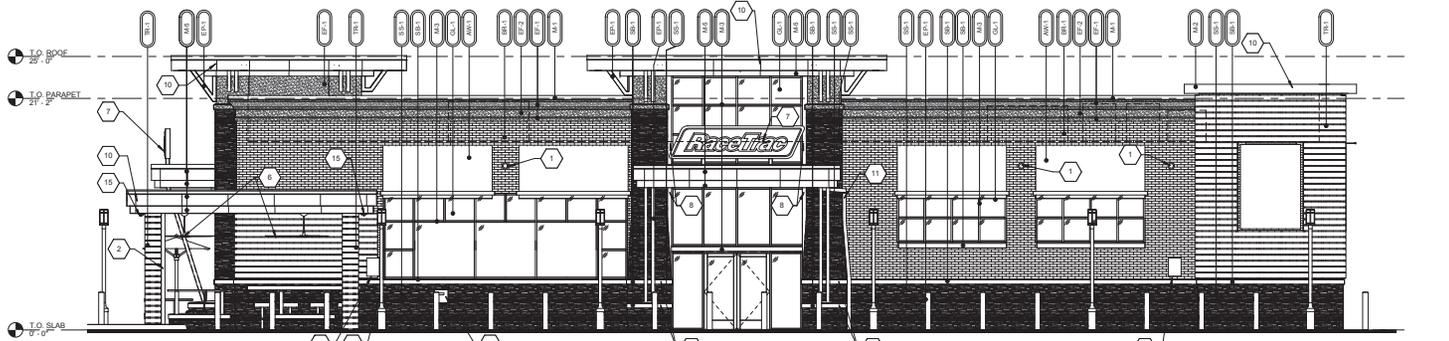
4 LEFT ELEVATION
 3/16" = 1'-0"



3 RIGHT ELEVATION
 3/16" = 1'-0"



2 REAR ELEVATION
 3/16" = 1'-0"



1 FRONT ELEVATION
 3/16" = 1'-0"

Building Material %
 Stone - 19.25%
 Brick - 45.5%
 EIFS - 7.75%
 Glazing - 14.75%
 Metal - 6.5%
 Trex - 6.25%

Overall Roof Area
 Main Building - 5945.7 SF
 Right Tower - 23 SF
 Covered Seating - 373.8 SF
 Side Entry Roof - 128.3 SF
 Front Entry Roof - 156 SF
Total SF = 6,526.8 SF

- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
 - PROVIDE CONTROL JOINTS (CJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE: MOOSE TAP 50.2 BY TREMOCO.
 - MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
 - REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
 - REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOR FOUNDATIONS.
 - REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

- ELEVATION KEY NOTES**
- WALL MOUNTED SECURITY CAMERA.
 - 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
 - MECHANICAL EQUIPMENT BEYOND.
 - REFER TO DETAILS FOR CAST STONE SHAPES.
 - HOSE BIBB. REFER TO PLUMBING DRAWINGS.
 - CEILING FAN. REFER TO SPECIFICATIONS.
 - ILLUMINATED SIGN PANEL BY CHYNER MOUNTED ON MINIMUM 3" STEEL TUBES OR HSS TUBES. PAINT EP-1.
 - BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
 - ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
 - PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
 - 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. DOWNSPOUT IS TO RUN TO CORNER BEFORE VERTICAL RUN. REFER TO CIVIL FOR CONNECTIONS.
 - EMERGENCY FUEL SHUT OFF SWITCH.
 - LOCATION OF ELECTRICAL SERVICE CT AND METER.
 - GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
 - SECURITY CAMERA MOUNTED ON UNDERSIDE OF OUTDOOR SEATING AREA ROOF.
 - OVERFLOW SPILL SCUPPER.
 - ROOF ACCESS DOOR.

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
AW-1		
BRICK	LAREDO BRICK	MORTAR COLOR TBD
BR-1		
EIFS	STO THERM CI	FINE FINISH APPLICATION; COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
EIF-2	STO THERM CI	FINE FINISH APPLICATION; COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GL-1	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONE 2 CR.3. 10U AT STOREFRONT; 0.27 UFACTOR. SHGC PPG0.25@0.27 (1/4" PPG SOLARSHAN 70-XL LOW-E #2 1/2" AIR + 1/4" CLEAR)
GL-2	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONE 2 CR.3. 10U AT STOREFRONT; 0.27 UFACTOR. SHGC PPG0.25@0.27 (1/4" PPG SOLARSHAN 70-XL LOW-E #2 1/2" AIR + 1/4" CLEAR SATIN ETCH #3)
METAL	PREFINISHED 2-Piece COMPRESSION METAL COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-1		
M-2	VISITAWALL FG-3000 STOREFRONT SYSTEM PREFINISHED BRONZE ANODIZED ALUMINUM AA-M2C22A44	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3		
M-5	REYNOLBOND METAL TO MATCH STOREFRONT COLOR DARK BRONZE	
M-6	PREFINISHED ALUMINUM DRIP EDGE	ANODIZED ALUMINUM SUPPORT
JUNTS	EP-1 SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	EPDM DURLAST 90 MIL MEMBRANE ROOFING SYSTEM	WHITE; MECHANICALLY FASTENED
STACKED STONE	SS-1 BORAL ASPEN COUNTRY LEDGERSTONE	WET STACK APPLICATION
STONE BAND	SB-1 BORAL TURCAN LINTEL CHAMPAGNE	MORTAR COLOR TBD
TREX	TR-1 TREX	TREX COLOR BEACH DUNE. ALL CORNERS MITERED

Calculated Per the Ordinance

Front Elevation

Material	SQ. FT.	% Elevation	
Stone	509	32.99%	23.78%
Brick	667	43.23%	
EIFS	147	9.53%	
Wood	220	14.26%	
	<u>1543</u>		

Rear Elevation

Material	SQ. FT.	% Elevation	
Stone	404	20.63%	10.11%
Brick	1356	69.25%	
EIFS	182	9.30%	
Wood	16	0.82%	
	<u>1958</u>		

Right Elevation

Material	SQ. FT.	% Elevation	
Stone	266	22.06%	18.99%
Brick	711	58.96%	
EIFS	86	7.13%	
Wood	143	11.86%	
	<u>1206</u>		

Left Elevation

Material	SQ. FT.	% Elevation	
Stone	148	20.33%	29.40%
Brick	366	50.27%	
EIFS	104	14.29%	
Wood	110	15.11%	
	<u>728</u>		<u>20.57%</u>

Total Façade	5,435.00	
Total Secondary	1,008.00	
% Secondary	18.55%	

Calculated as % of Total Building

Previous			
Material	SQ. FT.	% Elevation	
Stone	1,256.41	24.44%	17.78%
Brick	2,969.69	57.78%	
EIFS	505.83	9.84%	
Trex	407.93	7.94%	
	<u>5,139.86</u>	<u>100.00%</u>	
Proposed			
Material	SQ. FT.	% Elevation	
Stone	1,327.00	24.42%	18.55%
Brick	3,100.00	57.04%	
EIFS	519.00	9.55%	
Trex	489.00	9.00%	
	<u>5,435.00</u>	<u>100.00%</u>	

Difference in Building Area 295.15 SF



Compact Wood

INTERIOR & EXTERIOR SURFACES

Technical Data Sheet

Compact Wood 101

WHAT IS IT?

Compact Wood LLC has combined the strength and durability of solid compact/phenolic with the warmth and beauty of natural wood to create Compact Wood.

SPECIES

Available in over 100 species with 20 Quick Ship species in 4'3" x 10' x 1/2" sheets.

CUSTOM

Custom width, thicknesses, species and stain available for a 20 sheet minimum.

FIRE RATING

All thicknesses 1/2" and greater are Class A (ASTM-84) as standard. Thinner boards available as Class A.

Compact Wood

Compact Wood is a solid, decorative, self-supporting wood panel available for interior and exterior surfaces.

USES FOR COMPACT WOOD

Typical applications include horizontal and vertical solutions such as wall panels, toilet and dressing room partitions, lockers, table tops and counters, shelving, desktops, window sills, signage and wayfinding and wall protection components.

Compact Wood exhibits the following properties:

- Excellent resistance to fire - Class A
- Very high surface and edge impact resistance
- High resistance to chemicals and organic solvents
- Excellent moisture and water resistance
- Excellent hygiene characteristics
- Outstanding self-supporting properties
- Good dimensional stability and flatness
- Simple and quick fabrication
- No need for edging and adhesives
- High resistance to stress cracking
- Excellent resistance to termites

Outstanding strength and high machinability combine to make Compact Wood the real wood building board solution for all wood applications.

The outstanding surface and strength characteristics of Compact Wood makes it ideal to use in clean rooms, damp areas where moisture is a concern and rooms where sanitary issues are a concern. The surface is not adversely affected by moisture and is easy to clean with mild disinfectants. Compact Wood is not susceptible to mold, corrosion, rust or rot.

THICKNESSES

Full sheets are supplied in 1/2" thickness. Other thicknesses are available as a custom.

SHEET SIZES

Available in 4'3" x 10' sheets as standard. Larger sizes available to order.

EDGE DETAILS

Full sheets are supplied with clean cut edges. Cut to size and finished components are available direct from Compact Wood LLC with a variety of edge profiles either polished or clean cut.

CORE COLOR

The standard core color is brown. Black and solid color cores are available.

FABRICATION

Fabricators and millworkers can cut and machine CompactWood with traditional woodworking tools and best practices.

Compact Wood LLC also offers a full fabrication service including simple and complex custom CNC machined components with holes, grooves, custom edge profiles and metal inserts and connectors.

Compact Wood Technical Data Sheet

Compact Wood's limited warranty is for one full year from the date of purchase. In the case of fabricated components manufactured by CompactWood LLC, the warranty is extended to three full years.

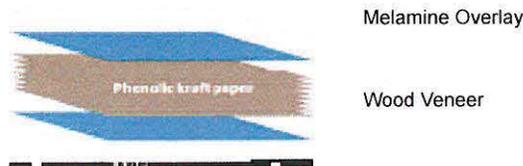
Compact Wood warranties Compact Wood sheets against swelling, delamination or warpage caused by humidity or proper maintenance.

Swelling must be more than 10 % of nominal panel thickness. Warpage must be more than 5 mm per every linear meter, and not due to an installation that has limited the panel's expansion. Delamination must not be caused by damage or chipping to the panel's edge.

Compact Wood LLC's warranty is limited to the replacement only of defective sheets or fabricated components manufactured by Compact Wood LLC. This Limited Warranty does NOT cover the cost of any labor or freight costs associated with any replacement

COMPOSITION

Compact Wood is manufactured by pressing melamine impregnated natural wood veneer over phenolic impregnated kraft sheets at pressures over 1000 psi pressure and temperatures of approximately 300 degrees F (149 degrees C). The decorative surface is the same on both surfaces to provide a flat and dimensionally stable board.



Fabrication

Conditioning, Cutting, and Drilling

Compact Wood should be allowed to acclimate for 72 hours before fabrication and assembly. Best conditions are approximately 23 degrees C (73 degrees F) and a relative humidity of 45 % to 55 %. When cutting, the rate of feed will depend on the thickness of the panel and the required quality of the cut. Chipping of the lower surface may be avoided by altering the angle at which the blade emerges. The use of a scoring blade avoids this problem altogether. The saw blade marks may be eliminated on the edge by using a router with a 2-flute straight bit or a solid carbide spiral bit.

Carbide-tipped saw and router blades should be used for cutting. Cutting blades should be kept very sharp and a hold-down used to prevent vibration. The edges may be polished with a lemon oil furniture polish to obtain a semi-gloss finish.

Drill oversize holes for screws or bolts. The drill diameter should be at least 0.05 mm (0.002") larger than the specified diameter of the hole. Secure objects to the surface of the laminate with self-tapping screws in predrilled holes. With self-tapping screws, the hole must always be predrilled with the diameter of the hole being smaller than the external diameter of the screw. The depth of the hole must be at least 1 mm greater than the depth of penetration of the screw. The finer the thread, the firmer the screw holding.

Compact Wood can be fabricated with traditional woodworking tools and techniques.

Inspection

Compact Wood must be inspected prior to fabrication or installation to ensure sheets are clean and free of surface defects. Protective peel coat should be removed prior to inspection.

Joinery Techniques and Hardware - Request copies of Ambientsa product brochures for information on wall panel, toilet partition and locker systems using Compact Wood.

Fabricators of phenolic toilet partitions, lockers, wall panels and other phenolic based systems can machine Compact Wood sheets in the same way as they machine their existing phenolic stocks.

Hardware such as self drilling screws and threaded inserts and fasteners work extremely well in Compact Wood and the hardware can be furnished with the sheets.

Cutouts

To avoid stress cracking, do not use square-cut inside corners. All cutouts should be routed or filed to ensure smooth edges. A radius of 1/4" or larger in the corners is recommended to minimize stress cracking for an inner side of 10" or less. This radius must gradually be increased for openings with a longer inner side.

Industry Practices

Material, equipment, and workmanship should conform to industry standard practices, conditions, procedures and recommendations as specified by ANSI/NEMA LD-3-2000, Standard for High-Pressure Decorative Laminates, Annex A, Application, Fabrication, and Installation or Architectural Woodworking Institute (AWI) "Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program".

Compact Wood Technical Data Sheet

Transportation and Storage

Compact Wood should always be transported on flat, stable pallets. Secure the panels so that they do not slip. Make sure panels do not slide over each other during loading and unloading operations. Lift them by hand or with means of a suction cup hoisting device. Dirt, foreign bodies and sharp edges rubbing against the surface can cause damage. Store the panels in a closed place where normal climatic conditions are guaranteed. Stack the panels on top of each other on a flat base. Never stand the panels on edge. The protective film, if applied, must be removed simultaneously from both surfaces.

Care and Maintenance

Compact Wood sheets have a hard, durable melamine surface and will maintain their attractive appearance longer than most other decorative surfacing materials and requires minimal maintenance. The decorative surface may be cleaned with warm water and a mild soap or detergent using a damp cloth or sponge. Difficult stains such as coffee and tea can be removed using a mild household and a soft bristle brush with a household cleaning detergent. Do not use abrasive pads, scouring powders or cleaners as they may permanently dull or scratch the laminate surface making it susceptible to staining. Harsh chemicals such as oven cleaners, drain cleaner and acids and strong alkalis can etch and discolor the decorative surface. Follow our "Care and Cleaning of Laminates Guide"

NEMA Testing (National Electrical Manufacturer Association)

NEMA TEST	TEST RESULTS	NEMA REQUIREMENTS
Light Resistance	No Effect	Slight Effect
Cleanability	9	20 max
Stain Resistance		
Reagents 1-10	No Effect	No Effect
Reagents 11-	No Effect	Moderate Effect
Boiling Water	No Effect	Slight Effect
High Temperature	No Effect	Slight Effect
Linear Glass	<50 grams	No Requirement
Ball Impact	>3000mm	1900mm minimum
Resistance	>120"	
Dart Impact	>1000mm	No Requirement
Resistance	>40"	
Radiant Heat	>200	200 Seconds
Wear Resistance	400 cycles	400 cycles

Other Properties of Compact Wood

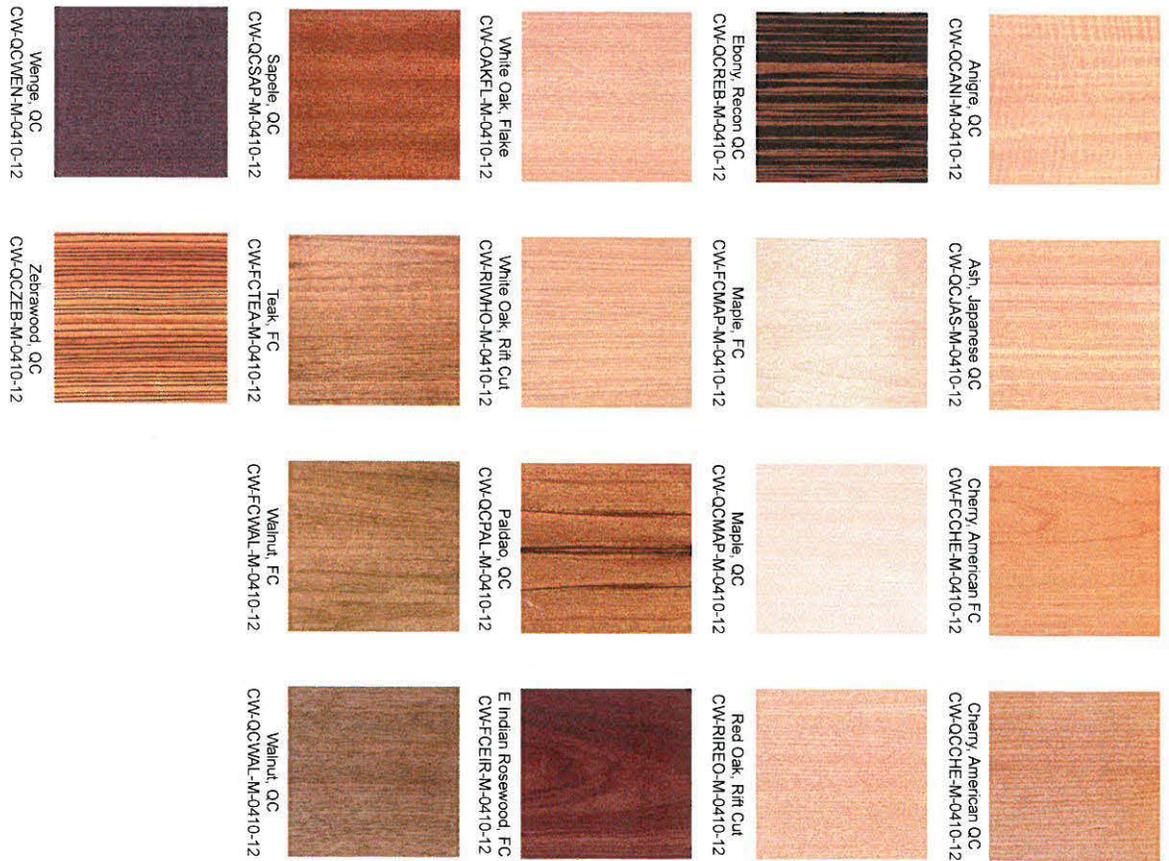
TEST METHOD	TEST RESULTS	NEMA REQUIREMENTS
EN 438.2.4	Thickness Tolerance	± 5%
DIN 53479	Density (Kg/m ³)	1.420 ± 0.030
ASTM D-1037	Density (lb/cu. ft.)	88
EN 438.26	Abrasion Resistance	IP=>150 A=>350
EN 438-2.24	Steam Resistance	Grade=>4
EN 438-2.15	Stain Resistance Group 1-2	Min. Grade 5
	Stain Resistance Group 3-4	Min. Grade 4
EN 438-2.16	Color Fastness	Scale=>6
	Xenon Arc Lamp (Grey)	Tones=>4
EN 438-2.10	Dimensional Stability (%)	L<=0.2 T<=0.3
ISO 527	Tensile Strength (N/mm ²)	L=>100 T=>70
ISO 178	Flexural Strength (N/mm ²)	L=>100 T=>90
ISO 178	Modulus of Elasticity (N/mm ²)	L=>1000 T=>8000
DIN 53454	Resistance to Compression	>200
ASTM-D-785	Rockwell Hardness (HRE)	>78
ASTM D-696	Coefficient of Expansion (/C)	0.0005

Meet Nature's Newest Force

Compact Wood is the most impact-resistant, architectural grade wood solution available for both interior and exterior applications. Born from science and nature, the solid panels are manufactured from thermally **used materials that create a compound that is impact, chemical and water resistant** and **the end result is a visually stunning material that will stand the test of time in infinite design possibilities.**

COMPOSITION	SPECIES	SHEET SIZES
Compact Wood is made by pressing melamine coated wood veneer over phenolic coated kraft sheets at over 300° F and 1000 psi.	Compact Wood is available in 20 Quick Ship species. For a minimum order of 20 sheets, over 100 species are available in 8-10 weeks.	Compact Wood is available in 5'1"x120" standard sheets. The product may be cut down to smaller sizes with traditional woodworking tools.
THICKNESS Compact Wood is available in 1/2" Quick Ship sheets. For a minimum order of 20 sheets, 1/4", 1/2" and 3/4" thick sheets are available in 8-10 weeks.	EDGE DETAILS Full sheets are supplied with clean cut edges. Finished edges on cut to size sheets are available in a variety of polished or clean edge details.	CORE COLOR Compact Wood is available in brown core sheets. For a minimum order of 20 sheets, Black and solid color cores are available in 8-10 weeks.
FABRICATION Compact Wood offers full fabrication services including complex components such as grooves, connectors, edge profiles and connectors.	FIRE RATING All Compact Wood sheets 1/2" and greater are Class A Fire Rated (ASTM-84) standard. Thinner boards are available as Class A.	COMMON USES Typical applications include bathroom partitions, lockers, table-tops, shelving, signage, counters, window sills, wall protection and cladding.

Compact Wood's limited warranty is for one full year from date of purchase. Compact Wood warrants Compact Wood sheets against swelling, delamination or warpage caused by humidity or proper maintenance. Swelling must be more than 10% of nominal panel thickness. Warpage must be more than 5 mm per every linear meter and not due to an installation that has limited the panel's expansion. Delamination must not be caused by damage or chipping to the panel's edge.



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A Proposal for the City of Rockwall

Rockwall's Request

As we began planning to remove our sign at the city's request, we found a possible alternative that might be attractive to the city. This proposal addresses the city's concerns and offers a middle ground that will benefit everyone; the public, the city of Rockwall, and Primary Media.

The internet and social media have changed many industries, but very few as much or as drastically as billboards. The traditional boards of old have given way to changing modes of communication. Now, digital billboards provide a combination of public service announcements, emergency information, and valuable police and missing-person calls to action.

It is our proposal to place a portion of the displays on a new digital board. This would be a replacement for the old board, in the hands of the city of Rockwall, for the purpose of public announcements, city events, and vital emergency information. In addition, we propose to pay fees to the city, which will be negotiated as a part of our follow-up discussions.

The Value of Digital

Digital is at the forefront in advertising technology. With the use of advancing technology, digital boards can be networked to thousands of other boards, making them available for mass communication and responsive to the needs of the public. Amber Alerts, FBI's Most Wanted, FEMA warnings, and many other types of information can co-exist with business information. Think of a large Internet-connected computer screen, essentially an iPad the size of a small building, and you have an idea of the power of a digital board.

Many cities in the DFW area have expressed the same concerns as Rockwall. In each case, they weighed the pros and cons, debated the benefits, and decided that digital made the difference between a conventional sign and an attractive and valuable display that grabbed attention and gave valuable information.

McKinney, Frisco, and Lewisville have all accepted digital boards. In fact, the reception was so strong, that these cities had to change existing ordinances to allow them in. Today, people accept a digital screen as a part of their natural surroundings. For example, digital monitors can be seen in banks, airports, supermarkets and even car washes and gas stations (next to the pumps). Somehow, people feel more comfortable with a display screen nearby. They simply feel more connected.

Digital billboards are gaining in popularity because they are more powerful and capable than a traditional board. And digital boards are constantly changing with the times. In today's information age, this is becoming an important tool of instant communication. In fact, billboards are the most cost effective form of advertising, reaching over 93% of the population, usually as they travel the roads to and from work.

Businesses Benefit

Geared to the traveler with brief eight-second ads, digital billboards fill a need. Rather than being an eyesore, digital billboards are a bright and easy-to-read, a necessary asset for tourists and those looking for directions to food, lodging and essential facilities such as gas stations and restrooms.

If you remove billboards, you reduce the revenue for those businesses that rely on them. Imagine the difference in customer traffic to a business that advertises near a highway if people do not realize the business is even there. Travelling 35 to 65 MPH as they pass a business, do you think they will stop? Or, will they keep going, taking revenue away from local businesses.

A thriving business community needs to get the word out about products, services and events. If you take away the billboards, you take away one of the most effective tools small businesses have for marketing and promotion. Many of the businesses affected are local to the Rockwall area, such as the Texas Health Resources, Willis Jewelry, and the Rockwall Chamber of Commerce

With digital, the message can change many times a day. Digital designs can capture and maintain attention far better than a conventional board. With the many benefits and the ability to change with the technology, the digital billboard is "obviously the billboard of the future." This was the sentiment added by McKinney Councilman, Ray Ricchi, during an evaluation meeting for the city's first digital board.

The City Benefits

More fees for digital billboards make the difference. Each digital board brings in the revenue of multiple traditional boards. The increased profitability can provide the city of Rockwall with a stream of long-term revenue for as long as the board exists. Primary Media will be happy to share with you the type of arrangement we made with the city of Frisco for a similar digital board.

In the case of Frisco, in addition to the ongoing fees, Primary Media also gave them several slots on the board that they could use for their own purposes. These were provided at no cost to the city on a long-term basis.

The People Benefit

The city's citizens benefit in two ways. First by treating the digital board as an information dissemination tool; people stay informed of city events, concerns and causes. This is a new media that cities all over America are just learning to use to benefit it's citizens. How many times have Rockwall's leadership opined about low turnouts for city events, such as elections, city meetings, ballot initiatives and so forth? With the digital billboard, the word will get out to tens of thousands of people, and the message can change as quickly as needed.

Second, jobs in the city increase as businesses flourish due to the effectiveness of this new media. More businesses can participate in placing ads because of the additional ad space available with a digital board.

In addition, jobs are created due to the requirements of building, operating, selling and maintaining a digital billboard. This list includes design and production crews, along with those engaged in sales, marketing, and technical support. Eliminating the board eliminates these jobs.

Changing Modes of Communication

Technology improvements have enabled all of the capabilities we have discussed. As this trend continues, digital boards will keep developing unique solutions for both cities and citizens nationwide. Costs will no doubt continue to decline in the arena of digital advertising media as the trend in Internet friendly marketing continues. With digital advertising, who knows where this pattern leads both cities and citizens!

We began this proposal with the idea of taking down a billboard that some might consider an eyesore. We would like to present this alternative as a better solution, one that can benefit everyone involved. There will always be a vocal few who feel that advertising is crass and that billboards destroy the view of the countryside. This proposal takes exception with that view. Our billboards attract attention because they are attractive. Advertisers insist on presenting a message that attracts people.

Embracing the Technology

The changes in the Internet and digital advertising media over the last few years have been phenomenal! The one thing that has remained constant is the need to embrace the changes and make the technology work for you, for the city, and for its residents.

We at Primary Media wish to provide our expertise to help Rockwall adopt and effectively develop this site with an Internet-connected digital billboard, rather than tear it down.

Primary Media cannot wait to help Rockwall see the benefits of digital advertising in the future!



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CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Brad Griggs, Assistant City Manager

FROM: Andy Hesser, Parks and Recreation Manager

DATE: June 17, 2016

SUBJECT: CHANDLERS MARINA

In September of 2011, Suntex Marina LLC purchased the marina operations located in Chandlers Landing from Marine Quest. At that time the lease agreement and its terms were transferred and assigned to Suntex which is currently set to expire July 31, 2031.

Suntex Marina is in the process of seeking financing for significant improvements to the marina infrastructure, which include dredging, docks, break wall and fueling station. Additional details of the proposed improvements are included in your packet along with maps and schematics.

In order to secure financing, Suntex is also requesting to extend the lease by 10 years which would expire January 22, 2041. This date coincides with the end of the inter-local agreement between the City of Dallas and the City of Rockwall.

At the June meeting, representatives from Suntex presented these improvements to the Park Board, which voted unanimously to recommend to City Council the approval of the marina improvements and the lease extension with the following provisions:

- Entire existing and proposed marina infrastructure must comply with current adopted building and fire codes.
- Submit a final detailed plan to appropriate City staff for review and approval prior to issuing building permits.
- All improvements approvals are contingent on the US Corps of Engineers and City of Dallas approvals.
- Lease extension cannot exceed the terms of the current inter-local agreement between the City of Rockwall and the City of Dallas except by amendment and separation action contingent on the renewal of the inter-local agreement.

A representative from Suntex Marina LLC will make a presentation to Council. Staff will be available to answer any questions.

Proposal for Review and Comment Chandler's Landing Site Improvements

Site Improvements:

Our vision for Chandler's Landing Marina is to improve the existing facility by implementing upgrades to increase the functionality, as well as the attractiveness of our environment. Additionally, we will ensure our facility is engineered to be resilient in the face of ever-changing weather patterns by improving the wave attenuation for our marina during storms and increase the ability to function during droughts. Our team members have the expertise necessary to create an improved waterfront facility that will endure for generations.

Our aim is to improve the property and its recreational amenities so that it will attract visitors from around the area, while providing community boating facilities that will directly benefit local families and boaters of all abilities.

Chandler's Landing Marina will attract both mariners and those who love the waterfront ambiance of sunset views accompanied by full service marina facilities. Our primary goal for this development is to create a premier destination for boaters.

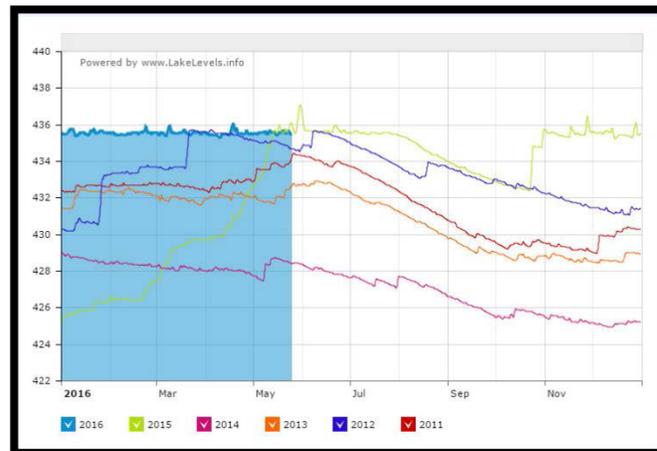
Marina Design:

A major element boaters consider when selecting a marina is the quality of the facilities relative to the competition and the accessibility of its location. In markets where the general quality of marinas may be similar, emphasis on distinguishing characteristics can add significant value to boaters.

Our design incorporates supplementary wave attenuation protection to provide our customers with optimal protection from the elements. This design will create a significantly safer and calmer wave climate compared to the other marinas in the area, while providing a variety of docking sizes. Every aspect of our design has been thoroughly analyzed by the Suntext team to offer the best experience possible for our visitors. We believe our proposal will cause significantly less wear on the boats and dock facilities. Our vision includes a wide range of options that will allow the project to grow and develop over time, and be refined with the City to ensure our goals for the site align.

Please consider the high-level proposed site improvements from our project package. They are as follows:

1. Breakwater Wall - See Page 3:
 - a. Replace/Anchor two 20' broken concrete slabs
 - b. Remove all rotting wooden debris
 - c. Repair piolet lights
2. Existing Bulkhead Wall - See Page 4:
 - a. Reinforce the 'Existing Bulkhead Wall' along the shoreline
3. Dredge the Southern Harbor - Pages 5, 6, and 7:
 - a. Chandler's Landing Harbor Information:
 - i. Current Water Level: 435.45 Mean Sea Level (MSL)
 - ii. Record Drought Water Level: 424.93 MSL
 - iii. Proposed Uniform Harbor Water Level: 429.93 MSL



b. Prevent

Lake Ray Hubbard Water Levels
(2011 – Current)

operations from suffering during

- droughts
 - c. Improve channel navigation during low pool
 - d. Removed an estimated 60,096.38yd³ of material
 - e. Proposed harbor depth will be a uniform of 15 ft.
4. Proposed Bulkhead Wall - Page 8:
 - a. Design by a licensed engineer
 - b. Constructed using sheet pile
 - c. Bulkhead wall will match the height of the existing jetty
 - d. Increased marina protection
 - e. Environmental/recreational attraction
 - f. Dredged material will be used as backfill to ensure no new soil is introduced into natural habitat
 - g. An estimated 12,500 yd³ of material will be used
 5. Install a New Breakwater Wall - Page 9:
 - a. State of the art design and installation by Wahoo Docks.
 - b. The wall will reduce the wave climate into the harbor
 - c. Add protection from the forces exerted on the fuel dock
 - i. Increased structural lifespan and aesthetics
 - ii. Protect customers and their boats during the fueling process
 - iii. Reduce difficulty of fueling from wave action, which will reduce potential to spill and cause accidental negative environmental impact
 6. Jetty Repair - Page 9:
 - a. Concrete riprap will be used for improvements to match the existing style
 - b. Increased areas ambient
 - c. Increased marina protection
 - d. Erosion prevention
 - e. Estimated volume of rip-rap is 19,490 ft³(721.85 yd³).
 7. Proposed Parking - Page 10:
 - a. Parking locations are designed to improve customer experience and ease of access
 - b. Increased parking footprint
 - c. Proposed parking improvements include an estimated total of 9,346 ft²
 8. Proposed Private Storage - Page 10:
 - a. At southernmost point of the property install a 129 ft. privacy fence to create a private storage
 - b. An estimated 20,205 ft² of storage capacity
 9. Fuel Dock Engineering Study - Page 11:
 - a. Conduct an engineering study on the 'Existing Fuel Dock'
 - b. Determine the best way to improve the structure.
 - c. If dredging is not possible under the 'Existing Fuel Dock', then install new wood paneling and reinforce the support system.
 10. Proposed New Fuel Dock - Page 12:
 - a. If dredging is feasible install demo the 'Existing Fuel Dock' and the 24 ft. x 205 ft. head pier (See Page 11)
 - b. After demo, dredge the area under 'Existing Fuel Dock' to make the harbor have a uniform depth
 - c. Install the 'New Fuel Dock'
 - i. 14 covered slips
 - ii. 6 fueling stations
 - iii. Total of 23 slips
 11. North Harbor Dock Analysis - Page 13:
 - a. Docks A, B, E, F and G are in good condition
 - b. Docks H, I and J need some spot check new decking and foam
 - c. Dock D will receive all new foam
 - d. Dock C will be replaced
 12. South Harbor Dock Analysis - Page 14:
 - a. All Docks are in good condition
 - b. Dock BB will receive all new foam
 - c. Shift Dock AA to increase harbor functionality

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations sheets contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on the map apply only inshoreward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was the Texas State Plane north central zone (FIPSZONE 4202). The **horizontal datum** was NAD83, GRS1980 spheroid. Differences in datum, spheroid, projection or State Plane zone in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of the FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1988 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

NGS Information Services
 NOAA, NADVD12
 National Geodetic Survey
 SSMC-3, #6202
 1215 East-West Highway
 Silver Spring, MD 20910-3282

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov/>.

Base map information shown on this FIRM was provided in digital format by the North Central Texas Council of Governments (NCTCOG). This information was photogrammetrically compiled at a scale of at least 1:24,000 from aerial photography dated 2001.

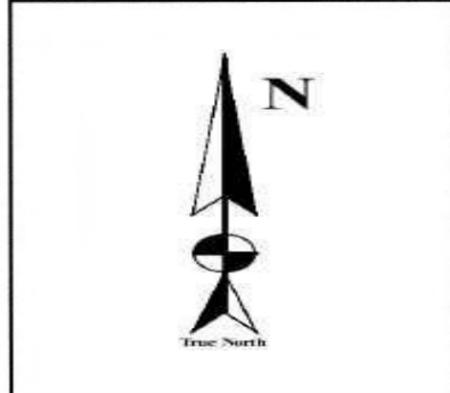
This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

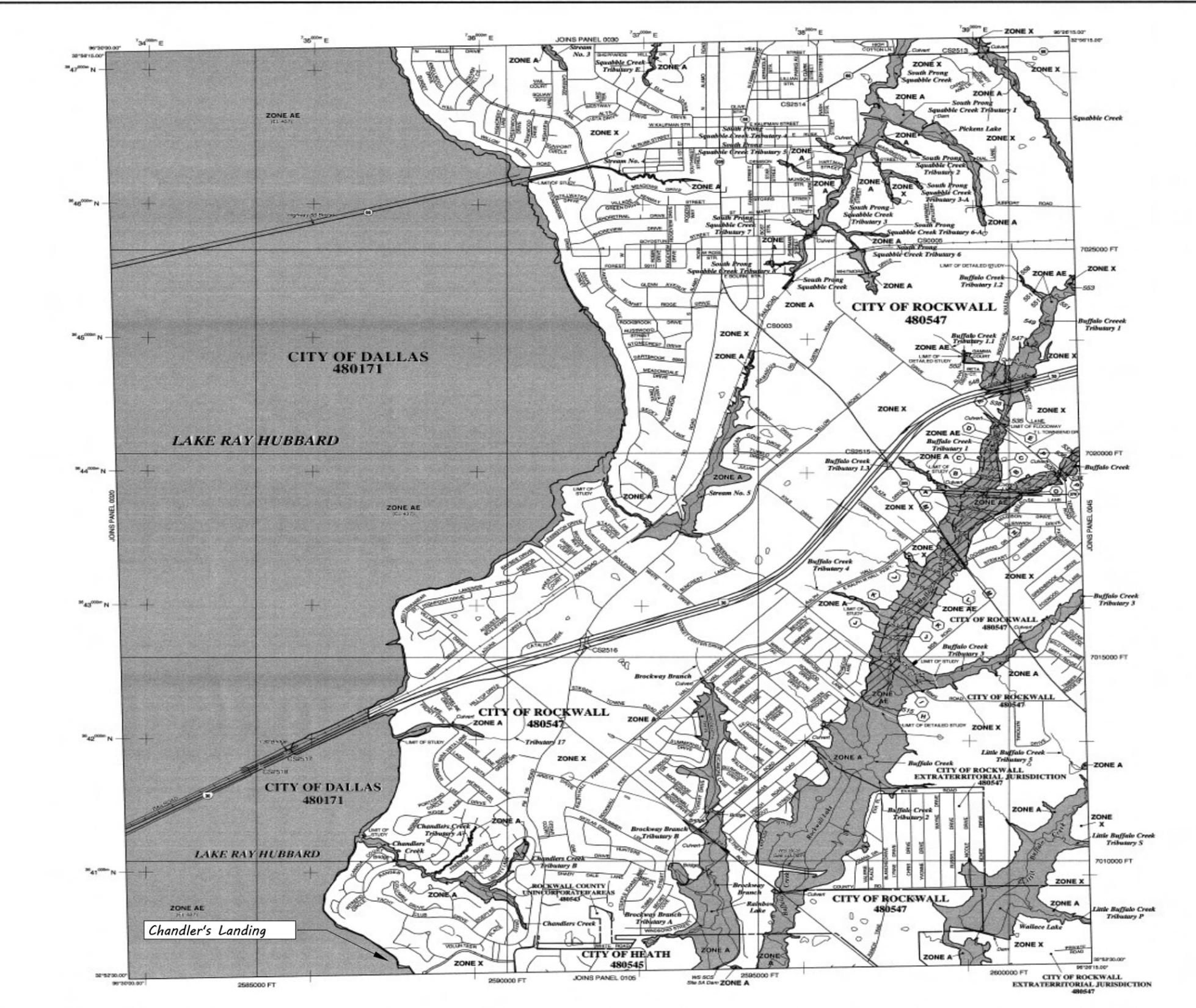
Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map sheets, community map repository addresses, and a listing of communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://www.msc.fema.gov/>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP(1-877-336-2827) or visit the FEMA website at <http://www.fema.gov/>.



Notes:
 1. Chandler's Landing Address:
 1 Harborview Dr.
 Rockwall, TX 75032
 2. FEMA Flood Map: 48397C0040L
 3. Location:
 Latitude: 32° 52' 33"
 Longitude: -96° 28' 56"



LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, A1, A2, A3, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.
ZONE AE Base Flood Elevations determined.
ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of sheet flow flooding, velocities also determined.
ZONE A1 Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently identified. Zone A1 indicates that the former flood control system is being removed to provide protection from the 1% annual chance or greater flood.
ZONE A2 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be left free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE D Areas determined to be outside the 0.2% annual chance floodplain. Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

— Floodplain boundary
 — Floodway boundary
 — Zone D boundary
 — CBRS and OPA boundary
 — Boundary shading Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
 — 513 (EL 967)
 — Base Flood Elevation line and value; elevation in feet*
 — Base Flood Elevation value where uniform within zone; elevation in feet*
 * Referenced to the North American Vertical Datum of 1988 (NAVD 88)

— Cross section line
 — Traversed line
 — Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
 — 3000-meter Universal Transverse Mercator grid, zone 14
 — 1000-foot grid
 — Texas State Plane coordinate system, north central zone (FIPSZONE 4202), Lambert Conformal Conic
 — DXXXX
 — Bench mark (see explanation in Notes to Users section of this FIRM panel)
 — M.S.
 — River Mile
 — MAP REPOSITORIES
 Refer to Map Repositories list on Map Index.

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP: September 26, 2008
 EFFECTIVE DATES OF REVISIONS TO THIS PANEL:

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.
 To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-9626.

MAP SCALE 1" = 1000'
 0 1000 2000 FEET
 0 300 600 METERS

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0040L

FIRM FLOOD INSURANCE RATE MAP

ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS

PANEL 40 OF 145
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL SURVEY
ROCKWALL COUNTY	48543	0040 L
DALLAS, CITY OF	48571	0040 L
HEATH, CITY OF	48545	0040 L
ROCKWALL, CITY OF	48547	0040 L

NOTE TO USER: The Map Number shown below should be used when placing new orders. The Community Number shown should be used on insurance applications for the subject community.

MAP NUMBER 48397C0040L
EFFECTIVE DATE SEPTEMBER 26, 2008

Federal Emergency Management Agency



Date: 5/23/16	Modified: 6/17/15
Project: Chandler's Landing Marina	Modified:
Prepared For: USACE	Modified:
	Modified:

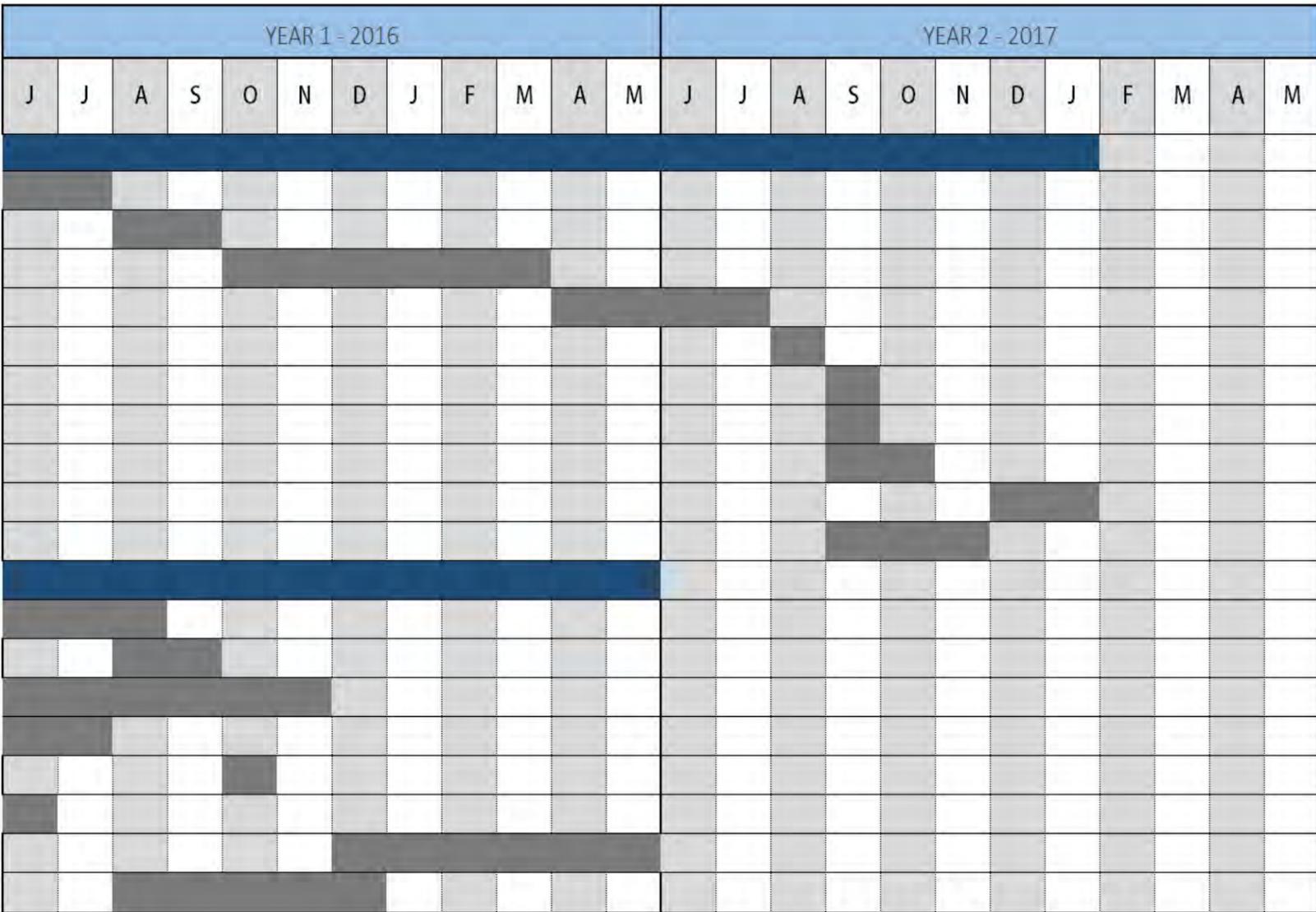
Justin Thompson
 (830)708-6900
 justin@suntex.com
 Barrett O'Neill
 (913) 707-6051
 boneill@suntex.com

Suntex Marinas
 17330 Preston Rd. Suite 220 A
 Dallas, TX 75252
 (972) 789-1400

Flood Plain Map

Chandlers Landing - Proposed Project Plans

Chandlers Landing Marina Construction Schedule					
Phase	Item	Qty.	Unit	START	FINISH
1 - South Dredge				16-Jun-16	24-Jan-18
1.00	Engineering/Architects	1	YD^3	16-Jun-16	15-Aug-16
2.00	Permitting and Approvals	1	EA	15-Aug-16	14-Oct-16
3.00	Dredge	47,605	EA	14-Oct-16	12-Apr-17
4.00	Bulkhead (EE)	1	EA	12-Apr-17	11-Aug-17
5.00	Backfill Bulkhead	12,491	YD^3	11-Aug-17	11-Sep-17
6.00	Fix Existing Jetty by Dock EE (yd ³)	124	YD^3	11-Sep-17	12-Oct-17
7.00	1' - 3' Aggregate for Jetty	1	EA	11-Sep-17	12-Oct-17
8.00	Wave Attenuator (LF)	1	EA	11-Sep-17	10-Nov-17
9.00	Landscaping/Remediation	1	EA	10-Dec-17	24-Jan-18
10.00	Concrete Parking (37511 ft ²)	1	EA	11-Sep-17	10-Dec-17
2 - Property Improvements				16-Jun-16	11-Jun-17
1.00	Replace Foam (B,D)	1	EA	16-Jun-16	14-Sep-16
2.00	Wooden Privacy Fence (140' x 8')	1	EA	15-Aug-16	29-Sep-16
3.00	Miscellaneous Dock Repairs	1	EA	16-Jun-16	13-Dec-16
4.00	Dock A - Roof Painting	1	EA	16-Jun-16	31-Jul-16
5.00	Repair Concrete Slabs North Breakwater	1	EA	14-Oct-16	14-Nov-16
6.00	Repair Sheet Pile Bulkhead North	1	EA	16-Jun-16	16-Jul-16
7.00	Replace Decking on (B,H,I)	1	EA	13-Dec-16	11-Jun-17
8.00	Replace C Pipe Section	1	EA	15-Aug-16	18-Dec-16
Project Estimate			\$ 2,082,000	16-Jun-16	24-Jan-18



	Date: 5/23/16	Modified: 6/17/15	Justin Thompson (830)708-6900 justin@suntex.com Barrett O'Neill (913) 707-6051 boneill@suntex.com	Suntex Marinas 17330 Preston Rd. Suite 220 A Dallas, TX 75252 (972) 789-1400	<i>Project Schedule</i>
	Project: Chandler's Landing Marina	Modified:			
	Prepared For: USACE	Modified:			
		Modified:			



Chandler's Landing
 Address:
 1 Harborview Dr.
 Rockwall, TX 75032
 Latitude: 32° 52' 33"
 Longitude: -96° 28' 56"



Date: 5/23/16	Modified: 6/17/15
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 (972) 789-1400

Chandler's Landing Layout



Lake Ray Hubbard

Notes:
 Breakwater Wall
 1. The 'Existing Breakwater Wall' needs repairs at multiple locations.
 2. Replace/Anchor two 20' broken concrete slabs using all-thread or by a similar method.
 3. Remove all wooden debris to prevent fragments from breaking free and to make the breakwater more aesthetically pleasing.
 4. Check/repair all piolet lights on the 'Existing Breakwater Wall' to confirm they are operational.

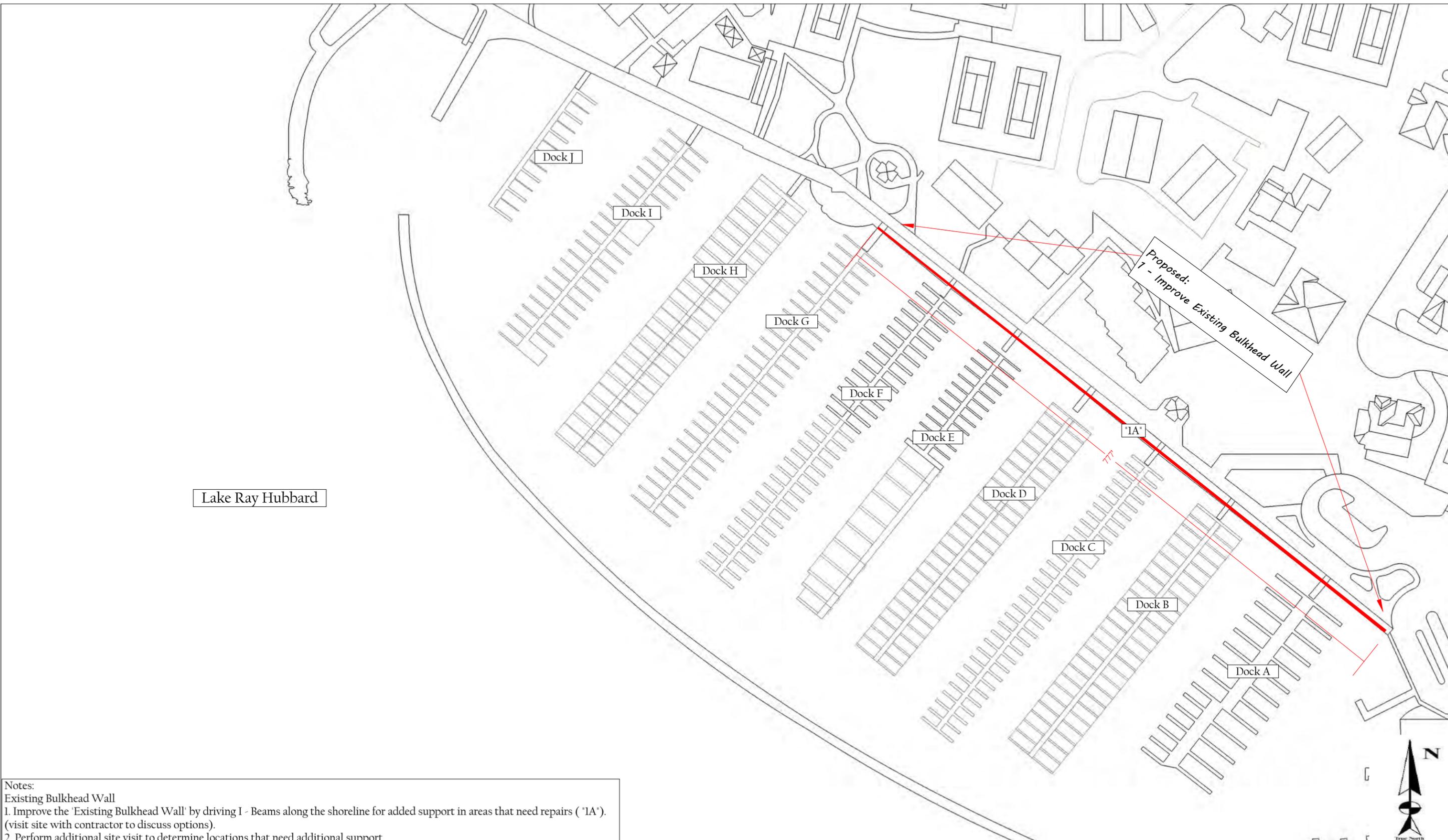


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Prepared For: USACE	Modified:
	Modified:

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Breakwater Wall Repairs



Lake Ray Hubbard

Notes:
 Existing Bulkhead Wall
 1. Improve the 'Existing Bulkhead Wall' by driving I - Beams along the shoreline for added support in areas that need repairs ('IA').
 (visit site with contractor to discuss options).
 2. Perform additional site visit to determine locations that need additional support.

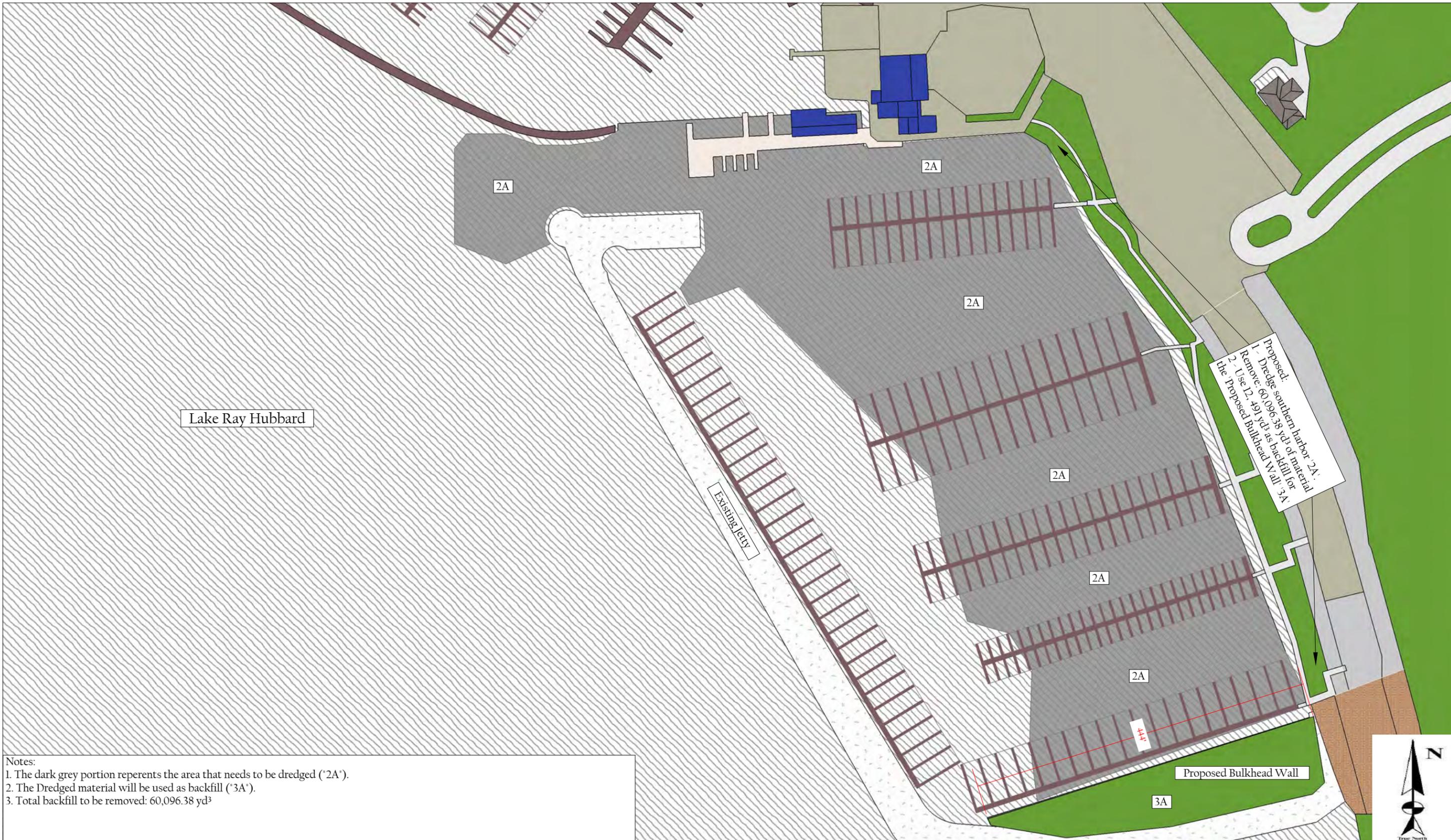


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Existing Bulkhead Repair



Lake Ray Hubbard

Existing Jetty

Proposed:
 1 - Dredge southern harbor 2A.
 Remove 60,096.38 yd³ of material
 2 - Use 12,491 yd³ as backfill for
 the Proposed Bulkhead Wall 3A

Proposed Bulkhead Wall



Notes:
 1. The dark grey portion represents the area that needs to be dredged ('2A').
 2. The Dredged material will be used as backfill ('3A').
 3. Total backfill to be removed: 60,096.38 yd³



Project: Chandler's Landing Marina	Modified:
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Dredging Map



Lake Ray Hubbard

- Notes:
1. Each Contour line represents a 1 foot change in elevation.
 2. The beginning depth is 5 ft. below the water level and reaches the max depth of 18 ft. within the harbor and 24 ft. outside the 'Existing Jetty'.
 3. The Blue area of the Contour Map represents a depth of 15 feet (or greater) below the current water level at Chandler's Marina South as of 4/25/16.
 4. The contours in the white section of the harbor represent the proposed dredging location. The proposed dredging of this area will be to the same depth as the blue shaded region (which is 15 feet). The Proposed harbor's depth will be 15 ft. across the entire marina layout.
 5. The calculated amount of material that will be removed from the white contoured area of the harbor will total an estimated 60,096 yd³.
 6. The proposed bulkhead wall will match the height of the existing jetty. All materials recovered during dredging will be used as backfill within the bulkhead wall and will require an estimated 12,500 yd³ of material '1A'.

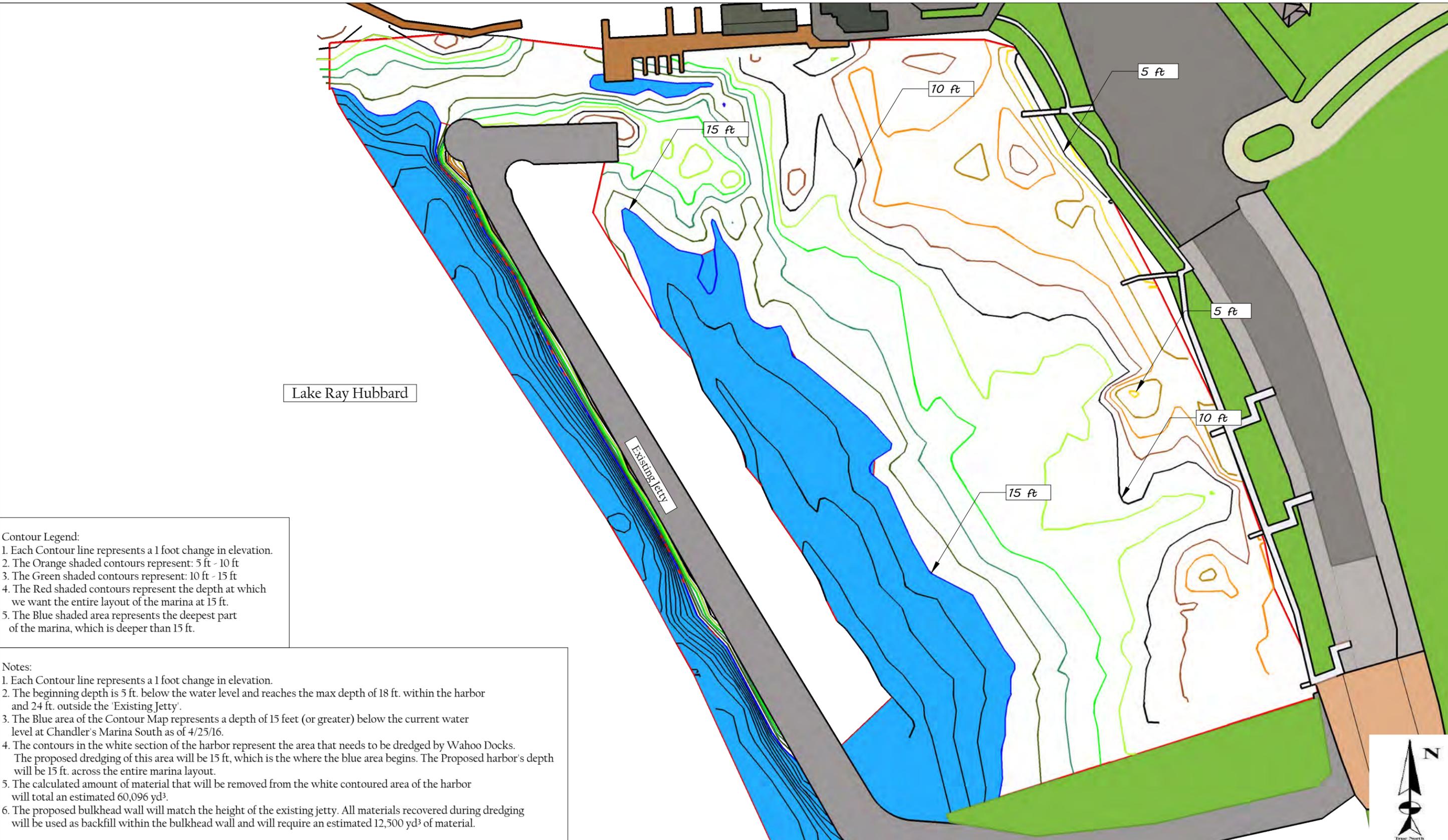


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	Modified:

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 (830)708-6900
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Chandler's Depth Contours



Contour Legend:

1. Each Contour line represents a 1 foot change in elevation.
2. The Orange shaded contours represent: 5 ft - 10 ft
3. The Green shaded contours represent: 10 ft - 15 ft
4. The Red shaded contours represent the depth at which we want the entire layout of the marina at 15 ft.
5. The Blue shaded area represents the deepest part of the marina, which is deeper than 15 ft.

Notes:

1. Each Contour line represents a 1 foot change in elevation.
2. The beginning depth is 5 ft. below the water level and reaches the max depth of 18 ft. within the harbor and 24 ft. outside the 'Existing Jetty'.
3. The Blue area of the Contour Map represents a depth of 15 feet (or greater) below the current water level at Chandler's Marina South as of 4/25/16.
4. The contours in the white section of the harbor represent the area that needs to be dredged by Wahoo Docks. The proposed dredging of this area will be 15 ft, which is the where the blue area begins. The Proposed harbor's depth will be 15 ft. across the entire marina layout.
5. The calculated amount of material that will be removed from the white contoured area of the harbor will total an estimated 60,096 yd³.
6. The proposed bulkhead wall will match the height of the existing jetty. All materials recovered during dredging will be used as backfill within the bulkhead wall and will require an estimated 12,500 yd³ of material.

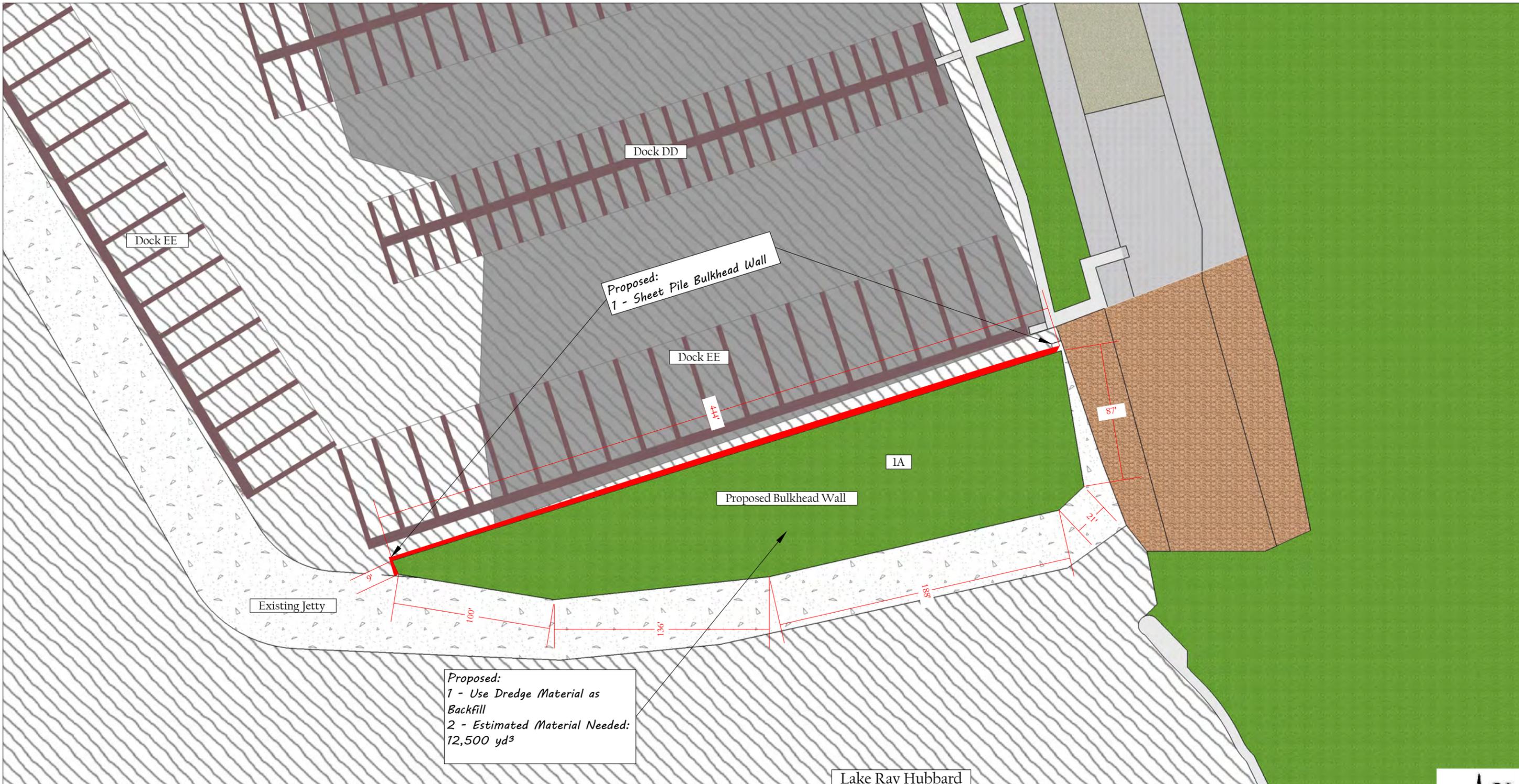


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Prepared For: USACE	Modified:
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Chandler's Color Coded Contours



Notes:
 1. The proposed bulkhead wall will be constructed using sheet pile (exact type will be determined by an engineer).
 2. The proposed bulkhead wall will match the height of the existing jetty.
 4. Dredge material will be used as backfill. This will ensure that no new soil will be introduced into the lakes natural habitat.
 5. The proposed bulkhead wall will match the height of the existing jetty. All materials recovered during dredging will be used as backfill within the bulkhead wall and will require an estimated 12,500 yd³ of material '1A'.

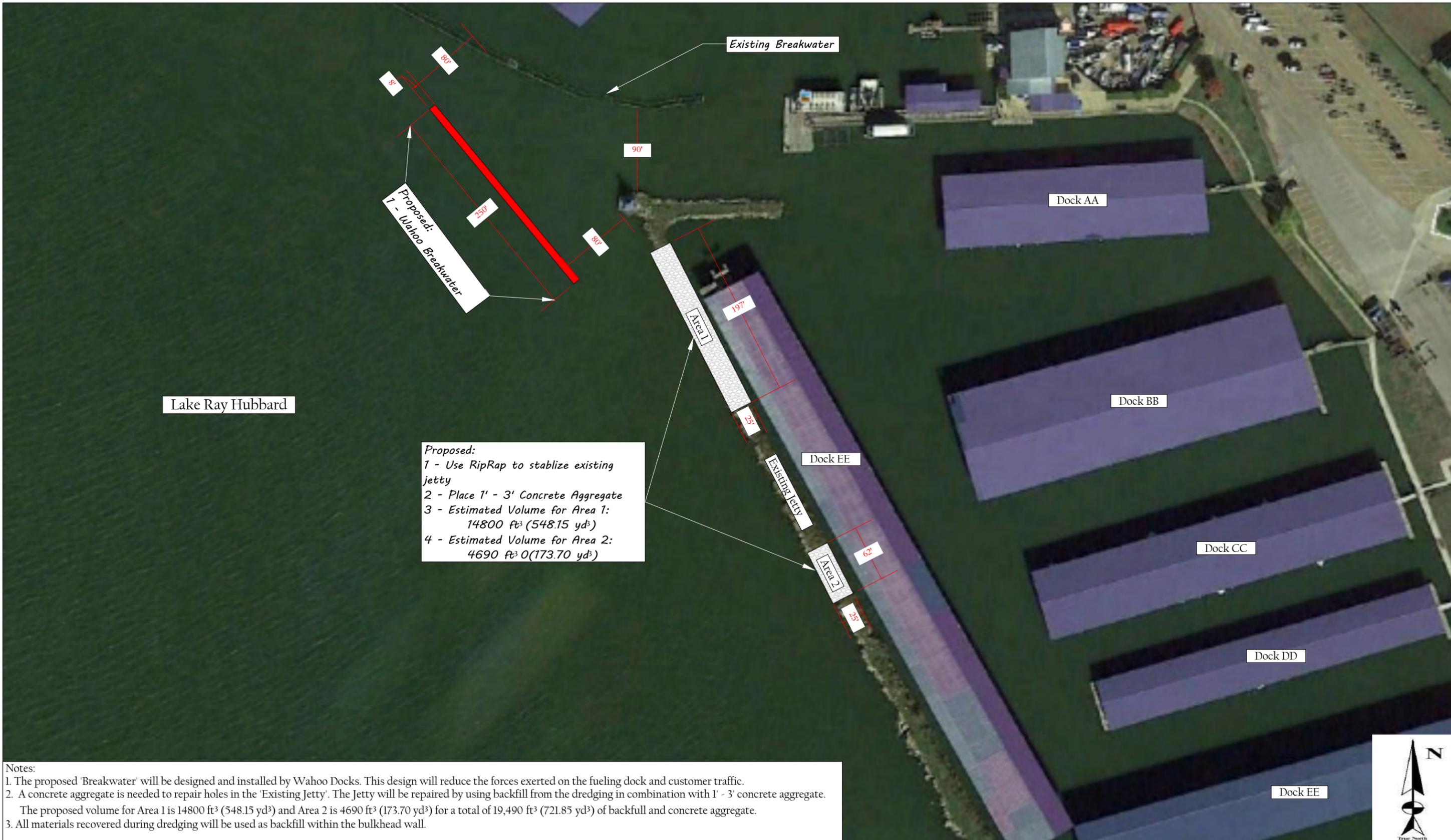


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Prop. Bulkhead Wall



Notes:
 1. The proposed 'Breakwater' will be designed and installed by Wahoo Docks. This design will reduce the forces exerted on the fueling dock and customer traffic.
 2. A concrete aggregate is needed to repair holes in the 'Existing Jetty'. The Jetty will be repaired by using backfill from the dredging in combination with 1' - 3' concrete aggregate.
 The proposed volume for Area 1 is 14800 ft³ (548.15 yd³) and Area 2 is 4690 ft³ (173.70 yd³) for a total of 19,490 ft³ (721.85 yd³) of backfill and concrete aggregate.
 3. All materials recovered during dredging will be used as backfill within the bulkhead wall.

	Date: 5/23/16	Modified: 6/17/15	Justin Thompson (830)708-6900 justin@suntex.com Barrett O'Neill (913) 707-6051 boneill@suntex.com	Suntex Marinas 17330 Preston Rd. Suite 220 A Dallas, TX 75252 (972) 789-1400	<h2 style="font-family: cursive;">Jetty Repair & Breakwater</h2>
	Project: Chandler's Landing Marina	Modified:			
	Prepared For: USACE	Modified:			
		Modified:			



Date: 5/23/16	Modified: 6/17/15
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Prop. Parking Paving & Fence



Lake Ray Hubbard

- Notes:
- Dock A
1. Good Condition
 - Dock B
1. Good Condition.
 - Dock C
1. Replace pipe section of dock with new slips.
 - Dock D
1. To prevent corrosion, add foam to this dock as needed. Prevent frames from touching the water.
 - Dock E
1. Repair as needed on the decking and the foam
 - Dock F
1. Repair as needed on the decking and the foam
 - Dock G
1. Repair as needed on the decking and the foam
 - Dock H
1. Repair as needed on the decking and the foam
 - Dock I
1. Repair as needed on the decking and the foam
 - Dock J
1. Repair as needed on the decking and the foam



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North Harbor Dock Analysis

**AMENDMENT, ASSIGNMENT AND ASSUMPTION
OF CONCESSION AGREEMENT**

This Amendment, Assignment and Assumption of Concession Agreement (this "**Agreement**") is dated June 2016 by and between SUNTEX RHCL MARINA, LLC a Delaware limited liability company ("**Assignor**"), RAY HUBBARD SMI JV, LLC, a Delaware limited liability company ("**Assignee**") and the CITY OF ROCKWALL ("**Rockwall**").

RECITALS

WHEREAS, the City of Dallas ("**Dallas**") is the owner of that certain approximately 22,745-acre reservoir located in Dallas, Kaufman, Collin and Rockwall Counties, Texas and commonly known as Lake Ray Hubbard, together with certain portions of the shoreline adjacent to the water surface (collectively, the "**Lake**");

WHEREAS, as part of its ongoing development and management plan for the Lake, Dallas entered into a Concession Agreement dated as of August 14, 1972 with Clarke-Frates Corporation for the development and operation of a public marina at the Lake (the "**Original Agreement**");

WHEREAS, Dallas subsequently assigned its interest as landlord in the Original Agreement to Rockwall by agreement dated November 4, 1974;

WHEREAS, the Original Agreement was amended and restated pursuant to that certain Concession Agreement dated as of August 28, 1986 between Rockwall and Assignor's predecessor-in-interest and recorded in Volume 284, Page 2 of the real property records of Rockwall County, Texas (as more particularly described on Exhibit A attached hereto and as amended and assigned from time to time, the "**Concession Agreement**"), for the development, construction, maintenance and operation of a full service marina complex located on approximately 98.029 acres of land and contiguous water owned by Dallas and located in the City of Rockwall, Rockwall County, Texas, and commonly known as Chandler's Landing Marina (collectively, the "**Premises**") as described on Exhibit B attached hereto;

WHEREAS, pursuant to the terms of that certain Interlocal Agreement and Lease dated as of January 22, 2001 between Dallas and Rockwall (as amended or assigned from time to time, the "**ILA**"), Dallas and Rockwall have agreed to allocate certain maintenance, zoning and other responsibilities regarding the Lake and the upland immediately adjacent to the Lake up to an elevation of 435.5 mean sea level (such upland, the "**Take Area**");

WHEREAS, a portion of the Premises lies within the Take Area and is governed by the ILA;

WHEREAS, the Assignor intends to grant, convey and assign, with Rockwall's consent as the landlord under the Concession Agreement, the rights of Assignor under the Concession Agreement to Assignee;

WHEREAS, Assignee desires to assume the duties and obligations of Assignor with respect to the Concession Agreement that arise from and after the date hereof.

WHEREAS, Assignor intends Capital Improvements (the "Capital Improvements ") for the Premises according to the development plan attached as Exhibit B, and Rockwall as landlord under the Concession Agreement consents to such Capital Improvements;

WHEREAS, Rockwall desires to amend the Concession Agreement to extend the term of the Concession Agreement to July 31, 2041.

AGREEMENT

NOW, THEREFORE, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), the sufficiency of which is hereby acknowledged, together with the mutual agreements herein, the parties do hereby covenant and agree as follows:

1. Assignor does hereby grant, convey, assign, transfer and quitclaim unto Assignee all of Assignor's right, title and interest in and to the Concession Agreement.

2. Assignee hereby agrees to and does accept the assignment and expressly assumes and agrees to keep, perform, and fulfill all terms, covenants, conditions, and obligations required to be kept, performed and fulfilled by the Assignor under the terms of the Concession Agreement, whichever occurs after the date hereof. Assignor hereby agrees to indemnify, defend and hold harmless the Assignee for all liabilities, costs, expenses, including without limitation, the making of all payments and the performance of all obligations due pursuant to the Concession Agreement, which accrue prior to the date hereof. The Assignee hereby agrees to indemnify, defend and hold harmless the Assignor for all liabilities, costs, expenses, including without limitation, the making of all payments and the performance of all other obligations due pursuant to the Concession Agreement which accrue after the date hereof.

3. Assignor, Assignee and Rockwall further agree that Paragraph 2 of the Concession Agreement is hereby amended to read as follows:

Term. The term of this Agreement shall continue until July 31, 2041 unless sooner terminated pursuant to the terms of this Agreement.

4. All development plans for the Capital Improvements, as described on Exhibit B attached hereto, have been approved by Rockwall.

5. Rockwall hereby agrees to that certain sublease of the Premises by and between Assignee and an affiliate of Suntex Marina Investors, LLC.

6. Paragraph 17 of the Concession Agreement is hereby amended by deleting in its

entirety the address pertaining to notices to be provided to the Concessionaire, and inserting the following addresses for Concessionaire in its place:

Ray Hubbard SMI JV,
LLC
c/o Suntex Marina Investors,
LLC
17330 Preston Road, Suite 220
A Dallas, Texas 75252

with copies to:

J. Mitchell Bell, Esq.
Locke Lord Bissell & Liddell LLP
2200 Ross Avenue, Suite 2200
Dallas, Texas 75201

7. This Agreement shall be binding upon, and inure to the benefit of, the parties to this Agreement and their respective heirs, legal representatives, successors and assigns. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which when taken together shall constitute one and the same instrument.

8. This Agreement has been approved by Rockwall, as reflected by the signature of Rockwall set forth below.

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Mayor and City Council

FROM: Rick Crowley, City Manager

Cc: Mary Smith, Assistant City Manager
Tim Tumulty, P.E., Director of Public Works/City Engineer

DATE: June 15, 2016

SUBJECT: FM 3549 Median Opening Plan

As you are aware planning and design work is proceeding on the improvement of FM 3549 from IH-30 to just past its intersection with SH 66. This funded project includes completely rebuilding the roadway to a 4-lane divided concrete roadway along the route.

Since this will be a divided roadway, TxDOT will look to the City to finalize plans for median “cuts” and turn lanes along the route. In the case of FM 3549, the roadway involves the City of Rockwall on the west and the City of Fate on the east, both cities are involved.

TxDOT is obligated to provide median cuts at intersections with public streets currently dedicated – somewhat dependent upon compliance with their design standards.

The attached map shows the current TxDOT plan to address median cuts with cuts shown at current public streets on each side of the roadway AND an additional cut at the north drive entrance to the church located on the Rockwall side. While cuts other than those located at street intersections generally require the City to pay the costs associated with building them, there has, to date been no indication that we will be charged for this particular cut. Since the church is a high traffic generator it makes sense that this cut be provided for both the convenience of the church and in the interest of orderly traffic movement on FM 3549. The City Staff has discussed this with church representatives.

You will also see a cut north of that “church cut” that will essentially serve as an opportunity for traffic to make a U-turn which TxDOT provides in circumstances where no adjacent roadways exist for a requisite distance.

The attached plan also shows two additional “opportunities” for either Rockwall or Fate to “buy” additional curb cuts now OR these may be seen as locations where future cuts could be allowed in the future based on TxDOT distance requirements. One shows that a curb cut could

be located between the railroad and I-30. Another could be located in the north section of the project limit.

TxDOT will prefer that Rockwall and Fate agree on locations for the two allowable additional curb cuts in the areas indicated. It appears, however, that neither city has current development plans for properties in either city that can contribute to precise location of median cuts at this time.

I do not think that it is our best interest to locate (by educated guess) either of the two future cuts and pay for those at this time. In conversations with Fate, I believe that they hold that same view. If either city paid for and pinpointed the location of either or both of these future cuts such that they would be built with the project. Generally, I think we should keep in mind that:

1. Based on future land use and development plans the cut we pay for now might be in the wrong place and our money would have been wasted, OR
2. The curb cut might unnecessarily drive development decisions in a manner not necessarily positioned for the City or for the land owner who may later develop. AND
3. If a future cut is to serve a future development, the cost of the cut at the time of that development would likely be paid by the developer.

Our City Thoroughfare Plan does currently indicate the need to extend Justin Blvd to FM 3549, but there is some flexibility in terms of the location of that intersection with FM 3549. Similarly, the plan also indicates the need to connect future city streets to FM 3549 to the north, but again there is some flexibility with regard to exact location.

I am proposing that the Council consider the following regarding the FM 3549 median cut plan:

1. That the City Council preliminarily evaluate the plan as currently shown on the attached map and provide any input to the Staff that you may currently have.
2. That we make adjustments to the map, if needed, to address any changes that the Council may propose.
3. After making changes, if any, from our discussion Monday night, the City notify property owners in Rockwall who own property directly adjacent to FM 3549 of the median cut plan that will be considered at the July 5th Council meeting. At that meeting we would offer them the opportunity to comment on the preliminary plan. Of course the City Staff would be available to discuss the matter with them prior to the meeting.
4. That the Council adopt the proposed median cut plan on July 5th and submit in to TxDot as the City's recommended plan.
5. That we include in our correspondence transmitting the City of Rockwall Plan that if the City of Fate adds any additional cuts the City of Rockwall will want an opportunity to re-evaluate the plan.

At this time, I don't think that the City of Fate will add median cuts to the plan, but if they do we will reassess our proposal. If they do not, we probably need to begin working more specifically with the City of Fate to determine more precisely where future city streets on both sides might be located to try to avoid off-set intersections in the future.

FM 3549 POTENTIAL MEDIAN OPENINGS EXHIBIT



LEGEND

PERMANENT PAVEMENT	DISPLACED BUILDINGS
PROPOSED DRIVEWAY	EXISTING WATERLINE EASEMENT
EXISTING ROW	WORK UNDER DESIGN BY OTHERS
PROPOSED ROW	
PROPERTY LINE	
PROPOSED DRAINAGE EASEMENT	
5' SIDEWALK	
PROPOSED DRAINAGE STRUCTURE	

MINIMUM LEFT TURN LANE LENGTH @45 MPH = 445'
(345' FOR DECEL AND TAPER + 100' STORAGE)
PER TXDOT RDM TABLE 3-3



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**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Honorable Mayor & City Council Members
FROM: Kristy Cole, City Secretary / Assistant to the City Manager
DATE: June 17, 2016
SUBJECT: Oncor service reliability discussion

Councilman Milder has requested that this item be placed on the agenda for discussion.

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