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Discuss and consider a city initiated request to direct staff to amend Section 4, Southside Residential Neighborhood Overlay (SRO) District, of Article V, District Development Standards, of the Unified Development Code, and take any action necessary.	
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Discuss and consider the future outlook associated with public transportation-related services, and authorize the City Manager to execute an interlocal agreement between Rockwall County and the City of Rockwall for transportation-related services for the remainder of the current fiscal year in an amount not exceed \$55,201.50 with funding provided in the FY16 Operating Budget, and take any action necessary.	
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AGENDA
ROCKWALL CITY COUNCIL
Monday, April 04, 2016
4:00 p.m. Regular City Council Meeting
City Hall - 385 S. Goliad, Rockwall, Texas 75087

I. CALL PUBLIC MEETING TO ORDER

II. WORK SESSION

- p.10** 1. Hold work session to discuss and consider strategic plan for the Parks and Recreation Department

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the purchase, exchange, lease, value and/or right-of-way acquisition of real property pursuant to Section §551.072 (Real Property).
2. Discussion regarding appointments to city regulatory boards, commissions, and committees (the North TX Municipal Water District Board) pursuant to Section §551.074 (Personnel Matters)
3. Discussion regarding report and possible claim regarding a retaining wall pursuant to Section §551.071 (Consultation with Attorney)

IV. ADJOURN EXECUTIVE SESSION

AGENDA
ROCKWALL CITY COUNCIL
Monday, April 04, 2016
6:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

V. RECONVENE PUBLIC MEETING

VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER HOHENSHELT

VIII. PROCLAMATIONS / AWARDS

- p.13** 1. Mayor and County Recognition Day for National Service

IX. OPEN FORUM

X. CONSENT AGENDA

- p.15** 1. Consider approval of the minutes from the March 21, 2016 regular City Council meeting, and take any action necessary.

- p.27** 2. Consider approval of an **ordinance** amending Ch. 18, Article III, Section 18-66 and 18-67 of the city's Code of Ordinances, authorizing the City Manager to appoint the Fire Marshal for the city, and take any action necessary. **(2nd reading)**

- p.30** 3. Consider a contract extension to 3-D Mowing and authorizing the City Manager to execute a Purchase Order for Contract Mowing Services in the amount of \$40,291 to be funded out of the General Fund Parks Operations Budget, and take any action necessary.

- p.42** 4. **P2016-006** - Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Balance I LLC for the approval of a preliminary plat for Breezy Hill, Phase VII containing 10 single-family residential lots on 6.802-acres of land identified as Tract 7-10 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, situated within the 205 By-Pass Corridor Overlay (205 BY-OV) District, located at the northeast corner of N. John King Boulevard and Cozy View Drive, and take any action necessary.

- p.50** 5. **P2016-007** - Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Balance I LLC for the approval of a preliminary plat for Breezy Hill, Phase VI containing 79 single-family residential lots on 32.020-acre portion of a larger 61.528-acre tract of land identified as Tract 7 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, generally located northeast of the intersection of N. John King Boulevard and Life Springs Drive, and take any action necessary.

- p.58** 6. Consider approval of an additional delay for action on the Pro Rata Facilities Agreement with Our Lady of the Lake Catholic Church for the Damascus Road construction until December 31, 2016, and take any action necessary.

XI. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.
- p.60** 2. Appointment with representatives from The Rockwall Old Towne Shoppes to hear request concerning use of the downtown San Jacinto Plaza for an upcoming "Farm to Feast" event, and take any action necessary.

XII. PUBLIC HEARING ITEMS

- p.67** 1. **P2016-009** - Hold a public hearing to discuss and consider a request by Michael Hunter of the Rockwall Housing Development Corporation for the approval of a residential replat for Lots 1 & 2, Block H, Lake Rockwall Estates East Addition being a 0.27-acre parcel of land currently identified as Lot 984A of the Rockwall Lake Estates #2 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family-7 (SF-7) District land uses, located at 112 Chris Street, and take any action necessary.
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XIII. ACTION ITEMS

- p.128** 1. **MIS2016-005** - Discuss and consider a request by William Laurence for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.17-acre parcel of land identified as Lot 1, Block 1, St. Mary's Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 508 St. Mary's Street, and take any action necessary.

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- p.170** 6. Discuss and consider the future outlook associated with public transportation-related services, and authorize the City Manager to execute an interlocal agreement between Rockwall County and the City of Rockwall for transportation-related services for the remainder of the current fiscal year in an amount not exceed \$55,201.50 with funding provided in the FY16 Operating Budget, and take any action necessary.

XIV. CITY MANAGER’S REPORT TO DISCUSS CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

- 1. Departmental Reports
 - p.179** Building Inspections Monthly Report - February 2016
 - Fire Department Monthly Reports - February 2016 **p.191**
 - p.200** Fire Department's "16 in 16" Volunteer Recruitment Report - March 2016
 - Fire Marshal's Division Monthly Report - February 2016 **p.202**

- p.214** GIS Monthly Report - February 2016
- Harbor PD Monthly Report - February 2016 **p.216**
- p.218** Internal Operations Department Monthly Report - February 2016
- Police Department Monthly Report - February 2016 **p.222**
- p.225** Recreation Monthly Report - February 2016
- Rockwall Animal Adoption Center Monthly Report - February 2016 **p.227**

2. City Manager's Report

XV. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the purchase, exchange, lease, value and/or right-of-way acquisition of real property pursuant to Section §551.072 (Real Property).
2. Discussion regarding appointments to city regulatory boards, commissions, and committees (the North TX Municipal Water District Board) pursuant to Section §551.074 (Personnel Matters)
3. Discussion regarding report and possible claim regarding a retaining wall pursuant to Section §551.071 (Consultation with Attorney)

XVI. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

XVII. ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.086 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 1st day of April, 2016 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

 Kristy Cole, City Secretary
 Jacky Casey, Assistant Secretary

 Date Removed

2016 Parks and Recreation Department Strategic Plan

1. Park Development Initiative

A. Resolve Baseball/Softball Field Space Issues

- Leon Tuttle Park and other baseball/softball fields are at capacity during the Spring season. To accommodate additional growth in the program, we must construct new facilities or renovate existing facilities including Yellowjacket Park or Harry Myers Park. Field lighting is a major issue as well as irrigation at Harry Myers Park. An alternative to new facilities may be to control growth by limiting participation to residents only, controlling growth with price points or the use of other administrative controls.
- Utilize Park Board for providing recommendations to City Council to address facility needs.

B. Develop existing neighborhood parks to full development as needed.

- In accordance with the Parks and Open Space Master Plan and the Mandatory Neighborhood Park Land Dedication Ordinance, the development cost is expected to be \$1,100,000 for an eleven acre neighborhood park. The Parks at Stone Creek and Breezy Hill will be constructed to roughly a 50% of the total buildout in 2016 with no funding mechanism for the full development. Partially developed neighborhood parks will include Northshore Park, the Parks at Stone Creek and Breezy Hill, Henry M. Chandler Park and the twelve acre site north of Lake Rockwall Estates.

C. Lakeside Park Development Process

- Expand takeline lease area to acquire the opportunity to develop a lakeside park from the Shores Golf and Athletic Club Course north to the county line.
- Conduct cost estimate and phasing of development
- Determine funding source and potential grant opportunities for development

D. Develop Alma Williams Howard Park

- Initiate design process including public hearings, Park Board input and other tools to present to City Council
- Develop cost estimate and funding source for the construction

E. Develop South Community Park

- Identify and acquire ~50 acre site south of I-30 for the south community park.
- Initiate design process including public hearings, Park Board input and other tools to present to City Council
- Develop cost estimate and funding source for the construction

F. Develop the Parks at Squabble Creek

- Validate park design through public hearing process and Park Board/City Council input
 - Develop cost estimate and funding source for the construction

2. Non-Resident Sales Tax Revenue

- Utilize tourism to help maintain \$340 per capita sales tax revenue through the promotion of conventions and other professional trade organization functions.
- Work with hotel operators to attract business meetings and conventions to increase hotel/motel tax and non-resident sales tax.
- Endeavor to host sporting events that lead to “heads in beds” and have a positive financial impact on the community.

3. Operational Excellence

- Validate department practices and procedures against prescribed industry best practices.
- Develop Recreation Programming Criteria Policy
- Achieve CAPRA (Commission for Accreditation of Parks and Recreation Agencies) accreditation by June of 2018.
- Compete for state and national awards for facility design, programs and agency management.

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Rockwall, Texas Proclamation

Whereas, every day in counties and cities across America, national volunteer service is helping to strengthen communities and address difficult problems; and

Whereas, cities and counties are increasingly turning to national service as a cost-effective strategy to address local challenges; and

Whereas, as the federal agency for national service and volunteering, the Corporation for National and Community Service (CNCS) annually engages five million citizens in service at more than 60,000 sites across the country; and

Whereas, AmeriCorps and Senior Corps-sponsored programs have a positive and lasting impact, making our communities better places to live; and

Whereas, whether supporting food banks and homeless shelters, restoring parks, providing health services, strengthening public safety and juvenile justice services, tutoring and mentoring students, and managing community volunteers, national service members help county and city officials tackle tough problems; and

Whereas, in an initiative led by the National League of Cities, the National Association of Counties, Cities of Service, and the CNCS, county officials and mayors across the country annually thank those who serve and provide special recognition for their positive community impacts.

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall, Texas, do hereby proclaim **April 5, 2016** as

MAYOR AND COUNTY RECOGNITION DAY FOR NATIONAL SERVICE

in the City of Rockwall, thanking all citizens who volunteer their time to help meet a variety of needs in our community and encouraging others to find ways to serve and give back.

In Witness Whereof, I hereunto set my hand and official seal this 4th day of April, 2016.

Jim Pruitt, Mayor

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MINUTES
ROCKWALL CITY COUNCIL
Monday, March 21, 2016
4:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

8 **I. CALL PUBLIC MEETING TO ORDER**
9

10 Mayor Pruitt called the meeting to order at 4:00 p.m. Present were Mayor Jim Pruitt,
11 Mayor Pro Tem Dennis Lewis and Council Members David White, Mike Townsend, John
12 Hohenshelt, Scott Milder, and Kevin Fowler. Also present were City Manager Rick
13 Crowley, Assistant City Managers Mary Smith and Brad Griggs and City Attorney Frank
14 Garza.

15
16 **II. WORK SESSION**
17

18 1. **HOLD WORK SESSION TO DISCUSS AND CONSIDER STRATEGIC PLANS FOR THE**
19 **POLICE DEPARTMENT AND PLANNING DEPARTMENT.**
20

21 City Manager Rick Crowley introduced this item, thanking Councilmember Hohenshelt
22 for his assistance and input regarding development of the strategic plans. He then
23 introduced Police Chief Kirk Riggs, who briefed the council on his departmental strategic
24 plan. He explained that the department will focus on the following three, main initiatives:

- 25
26
 - Safety and security through crime prevention and crime reduction
 - Traffic Issues
 - Public trust and transparency.

28
29

30 Various commentaries took place on the part of both staff and Council.

31
32 Planning Director, Ryan Miller, came forth and briefed the Council on the Planning
33 Department's proposed strategic plan. He provided general comments pertaining to the
34 following goals, which are outlined in his plan:

- 35
36
 - Balance & Maintain Residential/Non-Residential Land Uses
 - Maintain or Increase the Current Per Capita Sales Tax Revenue
 - Develop a Long-Term Funding Plan for Infrastructure Investment/Reinvestment

38
39

40 No action was taken following these two presentations.

41
42 At 4:51 p.m., Mayor Pruitt read the following discussion items into the record before
43 recessing the public meeting to go into Executive Session.
44

45 **III. EXECUTIVE SESSION**
46

47 **THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS**
48 **THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT**
49 **CODE:**

- 50
51 1. Discussion regarding right-of-way adjacent to FM3549 pursuant to
52 Section 551.071 (Consultation with Attorney)
53 2. Discussion regarding process associated with City Manager performance
54 evaluation pursuant to Section 551.074 (personnel matters)
55 3. Action Item #7 from public meeting agenda: Discuss and consider
56 prohibiting parking on residential streets in the city, and, take any action
57 necessary.

58
59 **IV. ADJOURN EXECUTIVE SESSION**

60
61 **Executive Session was adjourned at 5:55 p.m.**

62
63 **V. RECONVENE PUBLIC MEETING**

64
65 **The meeting was reconvened at 6:00 p.m.**

66
67 **VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION**

68
69 **Mayor Pro Tem Lewis made a motion to amend the city manager's compensation as per**
70 **Executive Session direction. Councilmember White seconded the motion, which passed**
71 **unanimously of council (7 ayes to 0 nays).**

72
73 **VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER TOWNSEND**

74
75 **Councilmember Townsend delivered the invocation and led the Pledge of Allegiance.**

76
77 **VIII. PROCLAMATIONS / AWARDS**

- 78
79 1. State Senate Certificate - Volunteer Efforts to the Victims of December
80 2015

81
82 **Mayor Pruitt read this certificate, which came from State Senator, Bob Hall, and State**
83 **Representative, Scott Turner, regarding volunteer aid rendered to Rowlett and other**
84 **communities in the aftermath of the December 26, 2015 tornados that affected several**
85 **neighboring cities. Mayor Pruitt then thanked Police, Fire, CERT, police dispatchers and**
86 **others for their efforts in responding to help.**

87
88 **IX. OPEN FORUM**

89
90 **Mayor Pruitt explained how Open Forum is conducted. He then asked if anyone would**
91 **like to come forth to speak at this time.**

92
93 **Bruce Foith**
94 **1087 Shady Dale Drive**
95 **Rockwall, TX 75087**

96
97 **Mr. Foith indicated that the naming of the park near Caruth Lake is the topic that he**
98 **would like to speak to the Council about this evening, explaining that he knows this is an**

99 agenda item that will be discussed and considered later on in tonight's agenda. He
100 expressed that he believes the park should be named Caruth Lakes Park or The Park at
101 Caruth Lakes. He believes this type of name will tie into where it is located (in the Caruth
102 Lakes subdivision). He believes naming it after the subdivision would likely be relatively
103 important to the residents living there.
104

105 There being no one else wishing to come forth and speak, Mayor Pruitt then adjourned
106 Executive Session.
107

108 **X. CONSENT AGENDA**
109

- 110 1. Consider approval of the minutes from the March 7, 2016 regular City
111 Council meeting, and take any action necessary.
- 112 2. Consider awarding a bid to Weldon's Lawn and Tree and authorizing the
113 City Manager to execute a Contract for Grounds Maintenance Services in
114 the amount of \$213,230 to be funded out of the General Fund, Parks and
115 Harbor Operating Budgets, and take any action necessary.
- 116 3. Consider approval of an **ordinance** declaring unopposed candidates for
117 the offices of City Councilmember Place 2, Place 4 and Place 6 and
118 cancelling the May 7, 2016 General Election, and take any action
119 necessary. **(2nd reading)**
- 120 4. Consider approval of an **ordinance** amending Ch. 18, Article III, Section
121 18-66 and 18-67 of the city's Code of Ordinances, authorizing the City
122 Manager to appoint the Fire Marshal for the city, and take any action
123 necessary. **(1st reading)**
- 124 5. Consider approval of a resolution applying for and accepting grant
125 funding from the Body Worn Camera Program grant program through the
126 Criminal Justice Division of the Office of the Governor for the purchase of
127 body worn cameras; establishing the duties and responsibilities of said
128 grant requirements; designating the city manager as the authorized
129 official for the grant application, and take any action necessary.
- 130 6. Consider approval of the Southside Elevated Storage Tank Valve project
131 to Flow-Line Construction, Inc. in the amount of \$162,900.00 to be funded
132 by the 2015 Water and Sewer Bonds, and take any action necessary.

133 **Mayor Pruitt pulled item #2 for discussion.**

134 **Councilmember White made a motion to approve the remaining Consent Agenda items**
135 **(#s 1, 3, 4, 5, and 6). Councilmember Townsend seconded the motion. The ordinances**
136 **were read as follows:**

137 **CITY OF ROCKWALL, TEXAS**
138 **ORDINANCE NO. 16-24**
139

140 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,**
141 **TEXAS DECLARING UNOPPOSED CANDIDATES FOR THE OFFICES OF**
142 **CITY COUNCILMEMBER PLACE 2, CITY COUNCILMEMBER PLACE 4,**
143 **AND CITY COUNCILMEMBER PLACE 6, AS ELECTED; PROVIDING THAT**
144 **THE MAY 7, 2016 GENERAL MUNICIPAL ELECTION SHALL NOT BE**
145 **HELD; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN**
146 **CONFLICT THEREWITH; PROVIDING A SAVINGS CLAUSE; PROVIDING A**

147 SEVERABILITY CLAUSE; FINDING AND DETERMINDING THAT THE
148 MEETING AT WHICH THIS ORDINANCE WAS PASSED WAS OPEN TO
149 THE PUBLIC AS REQUIRED BY LAW; PROVIDING FOR AN EFFECTIVE
150 DATE.
151

152 CITY OF ROCKWALL

153 ORDINANCE NO. 16-___

154 AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING
155 CHAPTER 18, ARTICLE III, SECTION 18 BY AMENDING SECTION 18-66
156 AND 18-67 OF THE CODE OF ORDINANCES, AUTHORIZING THE CITY
157 MANAGER TO APPOINT THE FIRE MARSHAL FOR THE CITY;
158 PROVIDING A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE
159 DATE AND PROVIDING FOR RELATED MATTERS.

160 The motion passed by a vote of 7 ayes to 0 nays.

161 Mayor Pruitt commented that the required form associated with Consent Agenda Item #2
162 (Certificate of Interested Parties – Form 1295) appears to be filled out incorrectly. City
163 Attorney, Frank Garza, advised that a correction may be made afterwards and that this
164 mistake will not impede the Council’s ability to move forward with approval of this item if
165 so desired.

166 Mayor Pruitt made a motion to approve #2 and the associated contract for grounds
167 maintenance services. Mayor Pro Tem Lewis seconded the motion, which passed by a
168 vote of 7 ayes to 0 nays.

169
170 **XI. APPOINTMENTS**

171
172 1. Appointment with the Planning and Zoning Chairman to discuss and
173 answer any questions regarding cases on the agenda and related issues
174 and take any action necessary.

175 Indication was given that this agenda item is not needed, as the recent P&Z Commission
176 meeting had to be cancelled (was not held) due to lack of a quorum.

177
178 2. Appointment with Patrick Tetrick, owner of Three Sheets and Southern
179 Comforts at The Harbor, to discuss and consider requests associated
180 with alcohol beverage sales including late hours, sales ratios (food-to-
181 alcohol), 'to go' sales, as well as related sponsorship opportunities
182 associated with the city's Concerts by the Lake series, and take any
183 action necessary.

184 Mayor Pruitt indicated that he was contacted in the last few minutes, letting him know
185 that Mr. Tetrick no longer wishes to address the Council tonight concerning these
186 agenda items. So this item was not addressed, and no action was taken.

187
188 3. Appointment with Dallas Cothrum of Master Plan on behalf of Echo Park
189 Automotive to request an amendment to the Unified Development Code
190 (UDC) allowing used automotive dealerships in Light Industrial (LI)
191 Districts, and take any action necessary.

192 Mr. Cothrum came forth and provided the Council with a presentation concerning his
193 request for a code amendment to allow for what he described as high caliber type pre-
194 owned car sales dealerships in certain locations (i.e. zoned “light industrial”) with
195 approval of a Specific Use Permit (SUP). He explained that Echo Park is owned and
196 operated by Sonic Automotive. He went on to share several photos of dealerships that
197 have been built by this company in other cities. He stressed that these dealerships are
198 aesthetically attractive; they do not adversely affect adjacent properties; and they are
199 first class type dealerships.

200
201 Following Mr. Cothrum’s presentation, Mayor Pro Tem Lewis asked about possible
202 vehicle repairs that a dealership like this would perform.

203
204 **John Russ**
205 **19629 Scooner Drive**
206 **Cornelius, North Carolina**

207
208 Mr. Russ indicated that only light mechanical work would be conducted. No intensive
209 vehicle repair services would take place on site.

210
211 Mayor Pro Tem Lewis asked if the dealership does financing for customers. Mr. Russ
212 indicated that his company only arranges for financing for those purchasing vehicles.
213 The company does not currently offer its own financing.

214
215 Mr. Russ indicated that the company would likely spend somewhere in the area of about
216 \$8 million on building this pre-owned car dealership.

217
218 Councilmember Fowler asked from where their inventory is derived. Mr. Russ shared
219 that the company employs buyers. Also, cars are bought from members of the public
220 who simply wish to sell their car (similar to what CarMax does).

221
222 Mr. Miller clarified that the request this evening is to move forward with a code
223 amendment that would allow used car lots / sales within Light Industrial zoned districts if
224 they are accompanied by an SUP. He explained that currently used car lots are only
225 allowed as an accessory use when attached to / part of a new car dealership.

226
227 Councilmember Milder expressed that he was recently opposed to some new car
228 dealerships along the IH-30 corridor because he believed there were too many of them
229 popping up. However, he believes Mr. Cothrum’s business model is different and
230 interesting.

231
232 Mr. Russ explained that at most of their locations, most of their inventory is located to
233 the rear of the facility. Mr. Cothrum explained that at this type of dealership, the
234 customer is finished (with their car purchase) within an hour.

235
236 Mr. Russ shared that there may be up to 150 – 200 cars at the site at any given time,
237 which would include vehicles belonging to employees. However, specific site planning
238 has not yet been undertaken at this juncture. He explained that a ‘reconditioning’ type
239 facility would be located elsewhere, not at the car lot location itself. He explained that
240 the company aims to have several ‘neighborhood stores’ that are located in smaller,
241 suburbs around the DFW Metroplex area.

242

243 Councilmember White made a motion to instruct staff to move forward with an ordinance
244 amendment to allow used car dealerships in Light Industrial zoned districts with an SUP.
245 Councilmember Townsend seconded the motion. After brief comments, the motion
246 passed by a vote of 4 in favor with 3 against (Hohenshelt, Pruitt and Fowler).
247

248 **XII. PUBLIC HEARING ITEMS**
249

250 1. **A2016-001 (6:00 PM)** – Hold a public hearing to discuss and consider a
251 request by Pat Atkins on behalf of the owners Gwendolyn A. and Randall
252 D. Reed for the approval of annexation of an 11.275-acre tract of land
253 identified as Tracts 1-5 of the P. B. Harrison Survey, Abstract No. 97,
254 Rockwall County, Texas, and take any action necessary (1st Public
255 Hearing).

256 **Pat Atkins**
257 **3076 Hays Lane**
258 **Rockwall, TX**
259

260 **Mr. Atkins came forth and stated that this is a continuation of the Saddle Star**
261 **development.**
262

263 **Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and**
264 **speak at this time. There being no indication of such, Mayor Pruitt then closed the public**
265 **hearing.**
266

267 **Mr. Miller clarified that no action is required at this time. The way the local government**
268 **code is written, the public hearings have to be held first before ordinances may be**
269 **brought forth before Council for action. Those will be brought forth at the April 18 city**
270 **council meeting.**
271

272 2. **A2016-001 (6:30 PM)** – Hold a public hearing to discuss and consider a
273 request by Pat Atkins on behalf of the owners Gwendolyn A. and Randall
274 D. Reed for the approval of annexation of an 11.275-acre tract of land
275 identified as Tracts 1-5 of the P. B. Harrison Survey, Abstract No. 97,
276 Rockwall County, Texas, and take any action necessary (2nd Public
277 Hearing).

278 **Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and**
279 **speak at this time. There being no indication of such, Mayor Pruitt then closed the public**
280 **hearing. No action was taken at this time.**
281

282 **XIII. ACTION ITEMS**
283

284 1. **MIS2016-007** - Discuss and consider a request by Wayne Mershawn of
285 Mershawn Associates Architects and Construction on behalf of the
286 owners Lou & Ruby Losanes for the approval of a special request to
287 construct a four-plex residential dwelling unit that does not meet the
288 minimum material requirements stipulated by Article V, District
289 Development Standards, of the Unified Development Code on a 0.32-
290 acre tract of land identified as Lot 33 & 34 of the Canup Addition, City of
291 Rockwall, Rockwall County, Texas, zoned Single Family-7 (SF-7) District,
292 situated within the Southside Residential Neighborhood Overlay (SRO)

293 District, located at the southeast corner of the intersection of Emma Jane
294 Street and Sam Houston Street, and take any action necessary.

295
296 **Mr. Miller explained that the applicant is asking permission to construct a four-plex,**
297 **residential dwelling / living unit. He explained that it is located on Emma Jane within the**
298 **Southside Residential Overlay District. Mr. Miller explained that the applicant must first**
299 **come forth to Council to receive direction from council before possibly proceeding**
300 **through the P&Z process and various other steps.**

301
302 **Greg Wallace**
303 **Mershawn Architects**
304 **4313 Ridge Road**
305 **Rockwall, TX**

306
307 **Mr. Wallace came forth indicating that he is here tonight on behalf of the owner and**
308 **architect. He stated he was happy to answer any questions the council may have.**

309
310 **Councilmember White made a motion to approve MIS2016-007. The motion died for lack**
311 **of a second. Therefore, no action was taken concerning this agenda item.**

312
313 **Mayor Pruitt then called for a brief break and recessed the meeting at 7:02 p.m.**

314
315 **Mayor Pruitt called the meeting back to order at 7:13 p.m.**

316
317 **2. Discuss and consider Park Board recommendation regarding the naming**
318 **of park land in the vicinity of Raymond Cameron Lake, and take any**
319 **action necessary.**

320 **Brad Griggs, Assistant City Manager, provided brief background information concerning**
321 **this item. He explained that the Park Board has put forth recommendations to the City**
322 **Council concerning the naming of these park areas (about 171 acres total). He explained**
323 **that the Park Board received this request to consider formally naming the park land**
324 **around Raymond Cameron Lake and Phelps Lake. In accordance with the Park and**
325 **Facility Naming Policy, the Park Board formed a subcommittee to review potential names**
326 **submitted by the group that made the initial request and considered other names as well.**
327 **The subcommittee met on multiple occasions. The subcommittee ultimately made a**
328 **recommendation to the Park Board which was voted on unanimously and approved. It**
329 **was to recommend to the City Council that the area west of SH 205 be named the “Trails**
330 **of Squabble Creek” and the area east of SH 205 be named the “Lakes of Squabble**
331 **Creek.”**

332
333 **Councilmember Townsend made a motion to approve the Park Board recommendations**
334 **concerning naming of these two areas. Councilmember Hohenshelt seconded the**
335 **motion, which passed by a vote of 6 in favor with 1 against (Pruitt).**

336
337 **3. Discuss and consider approval of a resolution establishing a Building**
338 **Permit Waiver and Reduction Program for the purpose of providing an**
339 **incentive to property owners within the City's Historic Districts, and take**
340 **any action necessary.**

341 **Planning Director Ryan Miller provided background information concerning this agenda**
342 **item. Councilmember Hohenshelt made a motion to approve this program and the**
343 **associated resolution. Mayor Pruitt seconded the motion, which passed by a vote of 6 in**
344 **favor with 1 against (White).**

345

346 **4. Discuss and consider approval of a resolution establishing a Small**
347 **Neighborhood Matching Grants Program for the purpose of funding**
348 **various beautification and improvement projects for residential properties**
349 **within the City’s Historic Districts, and take any action necessary.**

350 **Mr. Miller provided background information on this agenda item. He indicated that the**
351 **projects for which fund are applied have to be for improvements that will be visible from**
352 **the street. He explained that for contributing properties, the city would match up to**
353 **\$1,000, and for non-contributing properties, the matching funds would be for up to**
354 **\$500.00. He clarified that once all annual funds are exhausted, no one could apply for**
355 **program grant funding until the next budget cycle or until Council made increases in**
356 **budget appropriations.**

357 **Councilmember Hohenshelt made a motion to approve the Small Neighborhood Matching**
358 **Grants Program and associated resolution. Mayor Pruitt seconded the motion, which**
359 **passed by a vote of 6 in favor with 1 against (White).**

360 **5. Discuss and consider a budget amendment in the downtown fund for pole**
361 **banners, and take any action necessary.**

362 **Mr. Griggs, Assistant City Manager, provided background information concerning this**
363 **agenda item. He indicated that there is room for 81 banners to be placed around the**
364 **square on the light poles. He shared proofs of three different banners that are being**
365 **recommended to the Council by the Main Street Advisory Board. He cost is around**
366 **\$7,000 to purchase 81 of them and about 10% extra in case any become damaged. The**
367 **Friends of Downtown Rockwall organization has agreed to partner with the city on this**
368 **purchase. So a Council budget amendment of \$5,000 is being requested out of the**
369 **downtown fund, and the remaining \$2,000 would be paid for by Friends of Downtown.**
370 **Griggs handed out a sample in addition to the depictions he shared of the proposed**
371 **banners.**

372 **Mayor Pruitt expressed concern about all of the pole banners displaying the same exact**
373 **three images and messages over and over again. He would rather see the banners**
374 **display various pieces of information and/or depictions such as, perhaps, parks**
375 **programs like the “Go Outside and Play” campaign.**

376 **Conversely, Councilmember Townsend generally indicated that he agrees with the**
377 **repetition because it is an attempt to create a ‘brand’ in the downtown area. Pruitt**
378 **expressed that “eat, shop and relax” is not an all-inclusive type statement, as there are**
379 **other things people can do downtown, such as visit other small businesses such as law**
380 **firms or a chiropractor. Councilmember Milder expressed concern about what appears**
381 **to be a wine glass on the depiction. It was suggested that perhaps a music note could be**
382 **a good replacement.**

383 **Mayor Pruitt made a motion to approve the requested budget amendment (in the amount**
384 **of \$5,000). Councilmember White seconded the motion, which passed by a vote of 6 in**
385 **favor with 1 against (Fowler).**

386 6. Discuss and consider the content of the plaque recognizing the
387 completion of the downtown project, and take any action necessary.

388 **Mayor Pro Tem Lewis indicated he regretted the vote he cast on this item at the last city**
389 **council meeting, so he wanted to put this item back on the agenda to be discussed**
390 **again, especially since two of the city council members were absent when this was**
391 **discussed at the last meeting. He feels as though the past city council members should**
392 **be listed on the dedication plaque. Councilmember White indicated he is fine with how**
393 **the vote went at the last meeting (with the current council members, the two former**
394 **mayors, the construction manager, the architect, the city manager and the two assistant**
395 **city managers listed). Lewis indicated that he believes the city council members that**
396 **were in office when the bond election was planned and put out for vote should also be**
397 **listed.**

398 **Mayor Pro Tem Lewis made a motion to reconsider the vote from the last meeting**
399 **concerning the content of the downtown dedication plaque associated with the**
400 **reconstruction. Councilmember Fowler seconded the motion, which passed by a vote of**
401 **5 in favor with 2 against (Townsend and White).**

402 **Mayor Pro Tem Lewis made a motion to include former mayors, current councilmembers**
403 **and all councilmembers from 2010 to present as well as the construction manager,**
404 **architect, (current) city manager and assistant city managers. Councilmember Fowler**
405 **seconded the motion.**

406 **Mayor Pruitt indicated that he believes it should only include council members from the**
407 **ground breaking ceremony to present, pointing out that there were some city council**
408 **members who were admittedly opposed to the downtown improvements project.**

409 **After brief comments, the motion passed by a vote of 5 in favor with 2 against (White and**
410 **Pruitt).**

411 7. Discuss and consider prohibiting parking on residential streets in the city,
412 and, take any action necessary.

413 **Councilmember White provided background information concerning this agenda item.**
414 **White explained he received an email from a Shores HOA representative that seemed to**
415 **indicated that the Shores would like a final decision from the city in this regard. Garza**
416 **clarified that the Shores HOA was given the option that the city could possibly pass an**
417 **ordinance prohibiting parking on city streets, but, without a city ordinance the Shores**
418 **HOA could not prohibit street parking. It was clarified that the HOA cannot prohibit**
419 **parking in their subdivsion, which is made up of city-owned streets, unless the city**
420 **passes an ordinance banning street parking citywide or banning street parking on one**
421 **side of the street. White indicated that this is an opportunity for the Shores HOA to**
422 **receive a definitive answer with regards to whether or not the city will support such ban.**
423

424 **After the discussion, no action was taken concerning this agenda item.**

425 8. Discuss and consider a revised Franchise Agreement with Sail with Scott,
426 LLC, and take any action necessary.
427

428 **Scott Self**
429 **319 Harbor View Drive**

430
431 **Joy Dennis**
432 **5200 Keller Springs**

433 Dallas, TX

434

435 Mr. Self shared that he is downsizing Sail with Scott in that he will only operate the Sea
436 Wolf and will sell his "Harbor Lights" boat to Mrs. Dennis. He shared that Mrs. Dennis
437 has been operating a similar business and boat at Lake Lewisville for some time now. In
438 addition, Mrs. Dennis is also having a new boat constructed to be operated on Lake Ray
439 Hubbard as well.

440

441 Mayor Pruitt clarified that neither Mr. Self nor Mrs. Dennis would have an alcohol license,
442 so patrons would do "BYOB." Also, Mr. Self is selling his dock to Mrs. Dennis, so no
443 boat dock / tie up space will be occupied at the city's dock. Mr. Self affirmed these
444 statements.

445 Mr. Griggs indicated that some revenue from franchise fees received from the operators
446 would need to be shared with the City of Dallas after a certain point. However, that will
447 not start until January of 2017. New franchise agreements will be drafted by the city
448 attorney and executed thereafter if the Council is ok with moving forward.

449 Mayor Pro Tem Lewis made a motion to approve a revised franchise agreement with Sail
450 with Scott, LLC. Councilmember White seconded the motion, which passed
451 unanimously of Council (7 ayes to 0 nays).

452 9. Discuss and consider a Franchise Agreement with McJoyful Lights, LLC
453 and take any action necessary.

454 Mr. Griggs provided brief comments concerning this agenda item. Councilmember
455 Townsend made a motion to approve this franchise agreement. Councilmember White
456 seconded the motion, which passed by a vote of 7 ayes to 0 nays.

457 10. Discuss and consider a Franchise Agreement with Little Toot, LLC, and
458 take any action necessary.

459 Mr. Griggs indicated that this is a 22' x 60' party boat that is currently under construction
460 to be operated out of Lake Ray Hubbard. Mrs. Dennis indicated that this boat will be
461 housed at Captain's Cove.

462

463 Councilmember Hohenshelt made a motion to approve this franchise agreement with
464 Little Toot, LLC. Councilmember Townsend seconded the motion, which passed
465 unanimously of Council (7 ayes to 0 nays).

466

467 XIV. EXECUTIVE SESSION

468

469 THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS
470 THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT
471 CODE:

472

473 1. Discussion regarding right-of-way adjacent to FM3549 pursuant to
474 Section 551.071 (Consultation with Attorney)

475 2. Discussion regarding process associated with City Manager performance
476 evaluation pursuant to Section 551.074 (personnel matters)

477 XV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

478

479 The Council did not reconvene in Executive Session following the close of the public
480 meeting agenda.

481
482 **XVI. ADJOURNMENT**

483
484 The meeting was adjourned at 7:34 p.m.

485
486 **PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
487 **THIS 4th day of April, 2016.**

488
489
490
491
492
493
494

ATTEST:

Jim Pruitt, Mayor

Kristy Cole, City Secretary

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CITY OF ROCKWALL

ORDINANCE NO. 16-25

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING CHAPTER 18, ARTICLE III, SECTION 18 BY AMENDING SECTION 18-66 AND 18-67 OF THE CODE OF ORDINANCES, AUTHORIZING THE CITY MANAGER TO APPOINT THE FIRE MARSHAL FOR THE CITY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE DATE AND PROVIDING FOR RELATED MATTERS.

WHEREAS, the City of Rockwall (the "City"), a Home Rule City and by State law and City Charter is permitted to establish ordinances to protect the health, safety and general welfare of its residents; and

WHEREAS, the City established the office of Fire Marshal by ordinance in 1982 to be directly responsible to the chief of the fire department for the proper operation and supervision over all activities of the fire prevention department; and

WHEREAS, based on review and needs of the City, the City Council finds that the position of Fire Marshal shall be hired by the City Manager and report to the City Manager or designee;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THAT;

SECTION 1. FINDINGS. The foregoing recitals are hereby found to be true and correct and are hereby adopted by the City Council and made a part hereof for all purposes as findings of fact.

SECTION 2. AMENDMENT. Chapter 18, Article III, Sections 18-66 and 18-67 are hereby amended to Chapter 18 and should read as follows:

ARTICLE III. - FIRE MARSHAL

Sec. 18-66. - Appointment; removal.

The fire marshal shall be appointed by the ~~fire chief~~ City Manager of the city. The fire marshal shall not be removed from office except for cause and after full opportunity to be heard on specific and relevant charges by and before the ~~appointing authority~~ City Manager.

Sec. 18-67. - Duties and functions.

The function of the fire marshal and fire prevention department shall be the implementation, administration and enforcement of the provisions of the fire code. The fire marshal shall carry out those duties as contained in the fire code, as adopted by section 18-32 including, but not limited to, and as directed by the ~~fire chief~~ City Manager or designee:

SECTION 3. The remainder Chapter 18, Article III "FIRE MARSHAL" composed of Sections 18-65 to 18-67 shall remain unchanged.

SECTION 4. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 5. SEVERABILITY. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be unconstitutional or illegal, such decision shall not affect the validity of the remaining sections of this ordinance. The City Council hereby declares that it would have passed this ordinance, and each section, subsection, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared void.

SECTION 6. SAVINGS CLAUSE. All ordinances or parts of ordinances, in conflict herewith are to the extent of such conflict hereby repealed. The balance of such ordinance is hereby saved from repeal.

SECTION 7. EFFECTIVE DATE. This Ordinance shall become effective upon second reading.

PASSED AND APPROVED BY THE CITY COUNCIL OF ROCKWALL TEXAS, this the 4th day of April, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy A Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 03/21/2016

2nd Reading: 04/04/2016

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CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Rick Crowley, City Manager
FROM: Lea Ann Ewing, Purchasing Agent
DATE: March 28, 2016
SUBJECT: Contract Mowing Agreement Extension

Contract mowing services include mowing of and debris removal from large tracks of land; right-of-ways, street medians, 2 closed landfill locations and drainage easements. The City received competitive sealed bids for this service in March 2013. A contract was then awarded to 3-D Mowing Services of Rockwall by the City Council for an April 1, 2013 start date. This contract was renewed in 2014 and 2015 with no amendments. The current mowing contract amount is \$40,291.

The contract terms allow for annual extension at the end of the initial contract period for up to three consecutive years should the scope of work, pricing and bid terms/conditions remain the same. The contractor has agreed to a contract extension with no amendments for 2016. 3-D Mowing has performed satisfactorily and staff has determined that it would be in the best interest of the City to renew the current contract at 2013 unit prices.

Staff asks the City Council to consider this extension in the amount of \$40,291. Funding for mowing services was approved in FY 2015-2016 General Fund, Parks Department operating budget and the renewal contract cost of this service is within budget.

Attachments:
Contract
Form 1295

STATE OF TEXAS



COUNTY OF ROCKWALL

PROFESSIONAL SERVICES CONTRACT

Project Name and Number: Contract Mowing Services

This Agreement is made and entered into in Rockwall County, Texas, between City of Rockwall, Texas ("CITY"), a municipal corporation and political subdivision of the State of Texas, acting by and through its City Manager and 3-D Mowing Services ("CONTRACTOR"), located at 1211 Smirl Drive, Rockwall TX 75032, Contractor duly licensed and practicing under the laws of the State of Texas.

WHEREAS, CITY desires to engage Contractor as an independent contractor to render certain technical and professional services necessary for performing:

CONTRACT MOWING SERVICES

NOW, THEREFORE, for and in consideration of the mutual covenants and agreements contained herein, the Parties hereby agree as follows:

1. Scope of Work

Mowing, detailing and clean up of designated property at hourly service rates as described in attached bid document for a contract amount of \$40,291.60.

Contractor agrees to perform Construction services as specifically defined in this Contract as Exhibit "A" the Request for Bid document and bid submittal and any drawings, plans attached hereto and as authorized by CITY. Specifically, Contractor shall perform Professional services as requested by CITY and detailed in Exhibit "A". The Parties by mutual agreement through contract amendments may provide for additional technical and professional services to be performed under the basic general terms and conditions of this Contract. CITY reserves the right to enter into another agreement with other Contractor to provide the same or similar professional services during the term of this Contract for different projects.

2. Compensation & Term of Agreement

Cost for such services will be an annual amount not to exceed \$ \$75,000 and billed on an hourly basis per rates or by location as provided in Attachment "A". Contractor is not authorized to perform any work beyond the limited not to exceed amount without authorized written approval by CITY.

The term of this Agreement shall commence upon execution of this agreement and follow the schedule described in Exhibit "A". In the event of termination, Contractor will assist the CITY in arranging a smooth transition process. However, Contractor's obligation to provide services to the CITY will cease upon the effective date of termination, unless otherwise agreed in writing.

3. Method of Payment

CITY shall pay Contractor its fees based on the presentation by Contractor to CITY of a correct monthly statement for all the amounts earned under the Contract together with reasonable supporting documentation verifying the accuracy of the fees and expenses associated with work completed. CITY shall then pay Contractor its fee within thirty (30) days after presentation of the accurate monthly statement by Contractor to CITY. CITY is a State sales and use tax exempt political subdivision of the State of Texas. All records supporting payment shall be kept in the offices of Contractor for a period of not less than three (3) years and shall be made available to CITY for inspection, audit or copying upon reasonable request.

4. Contractor's Standard of Care

Contractor shall provide its services under this Contract with the same degree of care, skill and diligence as is ordinarily provided by a professional Contractor under similar circumstances for a similar project. Contractor represents that it has the capability, experience, available personnel, equipment and means required to perform the services contemplated by this Contract. Services will be performed using personnel and equipment qualified and/or suitable to perform the work requested by the CITY. CITY retains the right to report to Contractor any unsatisfactory performance of Contractor personnel for appropriate corrective action. Contractor shall comply with applicable federal, state, and local laws in connection with any work performed hereunder.

Contractor will seek written CITY approval to accept any contract or perform any services for any person, entity, or business that has an agreement or is in negotiations of an agreement with CITY. CITY may waive this conflict, but such waiver is at CITY's sole discretion and its decision shall be final.

5. Ownership of Documents

As part of the total compensation which CITY has agreed to pay Contractor for the services to be rendered under this Contract, Contractor agrees that hard copies of all invoices, documents, data, studies, surveys, drawings, specifications, field notes, maps, photographs, preliminary reports, reports, bonds, bid packet/construction contract documents/advertisement for bids incorporating any CITY standard provisions provided by Contractor, will remain the property of the CITY. Contractor will furnish CITY with paper and electronic copies, to the extent they are available, of all of the foregoing to facilitate coordination, and however, ownership of the underlying work product shall remain the intellectual property of the Contractor. Contractor shall have the right to use such work products for Contractor's purposes. However, such documents are not intended to

be suitable for reuse by CITY or others on extension of the Project or on any other project. Any reuse without the express written consent of the Contractor will be at re user's sole risk and without liability or legal exposure to the Contractor, and CITY to the extent allowed by law, shall hold harmless the Contractor from all claims, damages, losses, expenses, and costs, including attorneys' fees arising out of or resulting from the reuse of said documents without the Contractor's consent. The granting of such consent will entitle the Contractor to further compensation at rates to be agreed upon by CITY and the Contractor. The above notwithstanding, Contractor shall retain all rights in its standard drawing details, designs, specifications, databases, computer software and any other proprietary and intellectual property information provided pursuant to this Contract, whether or not such proprietary information was modified during the course of providing the services.

6. Insurance

A. Contractor agrees to maintain Worker's Compensation and Employer's Liability Insurance to cover all of its own personnel engaged in performing services for CITY under this Contract in at least the following amounts:

Workmen's Compensation – Statutory
Employer's Liability – \$100,000.00
Bodily Injury by Disease - \$500,000 (policy limits)
Bodily Injury by Disease - \$100,000 (each employee)

B. Contractor also agrees to maintain Commercial General Liability, Business Automobile Liability, and Umbrella Liability Insurance covering claims against Contractor for damages resulting from bodily injury, death or property damages from accidents arising in the course of work performed under this Contract in not less than the following amounts:

\$2,000,000.00 General aggregate limit

\$1,000,000.00 each occurrence sub-limit for all bodily injury or property damage incurred all in one occurrence

\$1,000,000.00 each occurrence sub-limit for Personal Injury and Advertising

C. Contractor shall add CITY, its City Council members and employees, as an additional insured's on all required insurance policies, except worker's compensation, employer's liability and errors and omissions insurance. The Commercial General Liability Policy and Umbrella Liability Policy shall be of an "occurrence" type policy.

D. Contractor shall furnish CITY with an Insurance Certificate on the date this Contract is executed and accepted by CITY, which confirms that all above required

insurance policies are in full force and effect.

7. Indemnification

CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE CITY AND ITS CITY COUNCIL MEMBERS AND EMPLOYEES FROM SUITS, ACTIONS, LOSSES, DAMAGES, CLAIMS, OR LIABILITY, INCLUDING WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, ALL EXPENSES OF LITIGATION, COURT COSTS, AND REASONABLE ATTORNEY'S FEES FOR INJURY OR DEATH TO ANY PERSON, OR INJURY TO ANY PROPERTY, RECEIVED OR SUSTAINED BY ANY PERSON OR PERSONS OR PROPERTY, TO THE EXTENT CAUSED BY THE NEGLIGENT ACTS OF CONTRACTOR OR ITS AGENTS OR EMPLOYEES, IN THE EXECUTION OF PERFORMANCE OF THIS CONTRACT.

CONTRACTOR'S TOTAL LIABILITY TO CITY FOR ANY LOSS OR DAMAGES FROM CLAIMS ARISING OUT OF, OR IN CONNECTION WITH, THIS CONTRACT FROM ANY CAUSE INCLUDING CONTRACTOR'S STRICT LIABILITY, BREACH OF CONTRACT, OR PROFESSIONAL NEGLIGENCE, ERRORS AND OMISSIONS SHALL NOT EXCEED ONE MILLION DOLLARS (\$1,000,000.00). Neither party to this Agreement shall be liable to the other party or any third party claiming through the other respective party, for any special, incidental, indirect, punitive, liquidated, delay or consequential damages of any kind including but not limited to lost profits or use of property, facilities or resources, that may result from this Agreement, or out of any goods or services furnished hereunder.

8. Addresses for Notices and Communications:

CITY
City Manager or Designee
City of Rockwall
Andy Hesser
385 S. Goliad
Rockwall, TX 75087

CONTRACTOR

Representative

Address

All notices and communications under this Contract shall be mailed or delivered to CITY

and Contractor at the above addresses.

9. Successors and Assigns

CITY and Contractor each binds itself and its successors, executors, administrators and assigns to the other parties of this Contract and to the successors, executors, administrators and assigns of such other parties, in respect to all covenants of this Contract. Except as noted in the first part of this Paragraph, neither CITY nor Contractor shall assign, sublet or transfer its interest in this Contract without the written consent of the other. Nothing herein shall be construed as creating any personal liability on the part of any officer, council member, employee or agent of any public body which is a party hereto.

10. Termination for Convenience of the Parties

Contractor and CITY may terminate this Contract for their convenience at any time by giving at least thirty (30) days notice in writing to each other. If the Contract is terminated by CITY and/or Contractor as provided herein, Contractor will be paid for the Work provided and expenses incurred up to the termination date, if such final compensation is approved by CITY, in its sole discretion. If this Contract is terminated due to the fault of Contractor, Paragraph 10 hereof, relative to Termination for Cause, shall apply.

11. Changes

CITY may, from time to time, request changes in the Scope of Work of Contractor to be performed hereunder. Such changes, including any increase or decrease in the amount of Contractor's compensation, or time for performance, which are mutually agreed upon by and between CITY and Contractor, shall be incorporated in written amendments to this Contract. Any subsequent contract amendments shall be executed by the City Manager or other authorized representative as designated by the City Manager or City Council.

Any alterations, additions or deletions to the terms of this Contract, including the scope of work, shall be by amendment in writing executed by both CITY and Contractor.

13. Reports and Information

Contractor, at such times and in such forms as CITY may reasonably require, and as specified in the Scope of Work or in additional Contract Amendments shall furnish CITY periodic reports pertaining to the Work or services undertaken pursuant to this Contract, the cost and obligations incurred, or to be incurred in connection therewith, and any other matter covered by this Contract.

14. Entire Agreement

This Contract and its Exhibits and any future Contract Amendments constitute the entire agreement, and supersede all prior agreements and understandings between the parties concerning the subject matter of this Contract.

15. Waiver

The failure on the part of either party herein at any time to require the performance by the other party, of any portion of this Contract, shall not be deemed a waiver of, or in any way affect that party's rights to enforce such provision, or any other provision. Any waiver by any party herein of any provision hereof, shall not be taken or held to be a waiver of any other provision hereof, or any other breach hereof.

16. Severability

The invalidity or unenforceability of any provision of this Contract shall not affect the validity or enforceability of any other provision of this Contract.

17. Survival

Any and all representations, conditions and warranties made by Contractor under this Contract are of the essence of this Contract and shall survive the execution, delivery and termination of it.

18. Governing Powers and Law

Both Parties agree and understand that the City does not waive or surrender any of its governmental powers by execution of this Agreement. To that end, the parties further understand that this agreement shall not be considered a contract for goods or services under Texas Local Government Code, Section 271.151 and Contractor waives any right or entitlement granted said provisions. This Contract is governed by the laws of the State of Texas and all obligations of the parties under this Contract are performable in Rockwall County, Texas.

19. Attorney's Fees

If it is necessary for either Party herein to file a cause of action at law or in equity against the other Party due to: (a) a breach of this Contract by the other Party and/or (b) any intentional and/or negligent act or omission by the other Party arising out of this Contract, the non-breaching or non-negligent Party shall be entitled to reasonable attorney's fees and costs, and any necessary disbursements, in addition to any other relief to which it is legally entitled.

20. State or Federal Laws

This Contract is subject to all applicable federal and state laws, statutes, codes, and any applicable permits, ordinances, rules, orders and regulations of any local, state or federal government authority having or asserting jurisdiction, but nothing contained herein shall be construed as a waiver of any right to question or contest any such law, ordinance, order, rule or regulation in any forum having jurisdiction.

EXECUTED in triplicate originals on this 8th day of May 2015.

ATTEST:

Richard Crowley

CONTRACTOR:

3-D Mowing Services

By: *Monty Doan*

Name: Monty Doan

Title: Owner

EXECUTED in triplicate originals on this 11th day of May 2015.

ATTEST:

Sammy

City of Rockwall, Texas

Richard Crowley
Richard Crowley, City Manager

Contractor: 3-D Mowing Service

Frequency: **Maintained once every 30 days during the growing season. April through September**

Map	Location	Unit Price	Extended
9.	Lofland Circle	\$ <u>140</u> x 6	\$ <u>840</u>
10.	West side of East Cullins to Jeff Boyd	\$ <u>75</u> x 6	\$ <u>450</u>
11.	Northside of Jeff Boyd; Cullins to FM 549	\$ <u>75</u> x 6	\$ <u>450</u>
12.	North Country Lane - FM 1141 - FM 549	\$ <u>100</u> x 6	\$ <u>600</u>
13.	John King Blvd	\$ <u>2593.⁵⁰</u> x 7	\$ <u>18154</u>
14.	SH 276 Right-of-way (future 276 bypass)	\$ <u>250</u> x 6	\$ <u>1500</u>
15.	Drainage easement and Right-of-way At Summer Lee from Lakefront Trail to Horizon Rd.	\$ <u>235</u> x 6	\$ <u>1410</u>
16.	White Road	\$ <u>75</u> x 6	\$ <u>450</u>
17.	Clem Road	\$ <u>100</u> x 6	\$ <u>600</u>
18.	Drainage easement in The Shores Fern Valley and Eagan Ridge	\$ <u>125</u> x 6	\$ <u>750</u>
19.	Rochelle Road	\$ <u>190</u> x 6	\$ <u>1140</u>
20.	Hays Road	\$ <u>125</u> x 6	\$ <u>750</u>
21.	1.12 Acre lot between Lamar and Sherman Streets	\$ <u>60</u> x 6	\$ <u>360</u>
22.	County Line Road	\$ <u>225</u> x 6	\$ <u>1350</u>
23.	Municipal Airport (map attached)	\$ <u>749.⁶⁰</u> x 6	\$ <u>4497.60</u>

Total Bid \$ 10,291.⁶⁰

Contractor: 3-D mowing service

AS REQUESTED BY THE CITY – FORCED MOWING ONLY

	Rate Per Hour
Mowing of Right-of-Ways, Vacant Lots	\$ <u>24.50</u> /hour
Detailing around Fire Hydrants, Signs, etc.	\$ <u>15.00</u> /hour
Mowing of Drainage Ditches and Sloped Areas with Special Equipment.	\$ <u>26.50</u> /hour
Removal of Debris (trash, dirt, pieces of lumber, wood, and/or concrete)	\$ <u>27.50</u> /hour
Tree Trimming and disposal of trimmings to an approved landfill	\$ <u>32.50</u> /hour

The undersigned hereby certifies that he understands all the terms, conditions, and specifications will furnish and deliver all articles or services specified within this document. Date 4-17-2013

Authorized Signature Mentz R. Doan

Printed Name and Title Mentz R. Doan OWNER

Company Name 3-D mowing service

Mailing Address 1211 SMILL DR. ROCKWALL, TEXAS 75082

Office Telephone 972-741-0706 Office Fax 972-772-5364

Email MET Doan @ AOL.com

Contract Work Contact mentz doan

Mobile Phone 214 676-9809

CERTIFICATE OF INTERESTED PARTIES

FORM 1295

1 of 1

Complete Nos. 1 - 4 and 6 if there are interested parties.
 Complete Nos. 1, 2, 3, 5, and 6 if there are no interested parties.

OFFICE USE ONLY CERTIFICATION OF FILING

1 Name of business entity filing form, and the city, state and country of the business entity's place of business.
 3-D Mowing Services
 Rockwall, TX United States

Certificate Number:
 2016-32751

Date Filed:
 03/30/2016

2 Name of governmental entity or state agency that is a party to the contract for which the form is being filed.
 City Of Rockwall

Date Acknowledged:

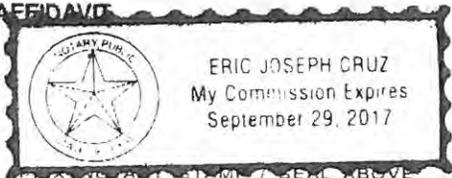
3 Provide the identification number used by the governmental entity or state agency to track or identify the contract, and provide a description of the goods or services to be provided under the contract.

2016-10
 Mowing

4 Name of Interested Party	City, State, Country (place of business)	Nature of interest (check applicable)	
		Controlling	Intermediary
Doan, Sheila	Rockwall, TX United States	X	
Doan, Monty	Rockwall, TX United States	X	

5 Check only if there is NO Interested Party.

6 AFFIDAVIT



I swear, or affirm, under penalty of perjury, that the above disclosure is true and correct.

Monty R. Doan
 Signature of authorized agent of contracting business entity

Sworn to and subscribed before me, by the said *Monty R. Doan* this the *29th* day of *March* 20 *16*, to certify which, witness my hand and seal of office.

[Signature]
 Signature of officer administering oath

Eric J. Cruz
 Printed name of officer administering oath

Bank Officer
 Title of officer administering oath

ADD ADDITIONAL PAGES AS NECESSARY

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: Chase Finch; *Corwin Engineering, Inc.*

AGENDA ITEM: **P2016-006;** *Breezy Hill, Phase VII*

SUMMARY:

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Balance I LLC for the approval of a preliminary plat for Breezy Hill, Phase VII containing 10 single-family residential lots on 6.802-acres of land identified as Tract 7-10 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, situated within the 205 By-Pass Corridor Overlay (205 BY-OV) District, located at the northeast corner of N. John King Boulevard and Cozy View Drive, and take any action necessary.

PRELIMINARY PLAT INFORMATION:

- The Breezy Hill Subdivision is a master planned community that will provide approximately 405-acres of residential and commercial development. The residential subdivision will be composed of 742 single-family lots on 371.45-acres of land, and to be broken down per the lot mix indicated in Planned Development District 74 (PD-74). The lot mix in this Planned Development District is as follows.

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>
Typical Lot Frontage (<i>Feet</i>)	60	70	80	100
Typical Lot Depth (<i>Feet</i>)	120	120	125	200
Minimum Lot Size (<i>Sq. Ft.</i>)	7,200	8,400	10,000	20,000
Number of Proposed Units	206	112	326	98
Dwelling Unit %	27.80%	15.10%	43.90%	13.20%

- The applicants are requesting to preliminary plat Phase VII of the Breezy Hill Subdivision for the purpose of laying 10 of the 749 lots. The 10 proposed lots will be constructed to the Type "D" standards (*all standards are displayed in the above table*) and be situated on approximately 6.802 acres. All of the lots will be subject to the PD-74 District and the 205 By-Pass Overlay (205 BY-OV) District Standards. In addition to the preliminary plat, the applicant has also submitted a preliminary water, sanitary sewer and storm water plans establishing that the developer can provide adequate utilities to service the proposed phase.
- The proposed preliminary plat generally conforms to the revised concept plan approved by the City Council on July 7, 2014 under *Case No. Z2014-007* [Ordinance No 14-26].
- The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for *Preliminary Plats* as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *preliminary plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the Preliminary Plat for Breezy Hill Phase VII, staff would recommend the following conditions of approval:

1. The Preliminary Plat shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
2. The *Parks Board* shall review the submittal and make any necessary recommendations prior to the approval of a *Final Plat*; and,
3. Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the 2009 International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On March 29, 2016, the Planning and Zoning Commission's motion to recommend approval of the preliminary plat for Breezy Hill Phase VII passed by a vote of 7 to 0.

City of Rockwall
Project Plan Review History



Project Number P2016-006	Owner BH BALANCE I LLC	Applied 2/12/2016 LM
Project Name Breezy Hill Phase VII	Applicant Corwin Engineering, Inc	Approved
Type PLAT		Closed
Subtype PRELIMINARY		Expired
Status NEED REVISIONS		Status 2/17/2016 RM

Site Address BREEZY HILLS RD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision BREEZY HILL PH 1	Tract 7-10	Block NULL	Lot No 7-10	Parcel No 0187-0000-0007-10-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
ENGINEERING (2/16/2016 2:09 PM AW) See markups Clarify the size of the UE & DE Show 2' typical shoulder Label flood plain with cross-sections and elevations Change existing 12" water along John King to 16" Loop 8" back to the 16"	Amy Williams	2/12/2016	2/19/2016	2/16/2016	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
GIS (2/17/2016 4:02 PM LS) Please submit cad file (dwg) of new phase so addressing can begin. Lot lines and road centerlines in TX State Plane - North Central TX Zone (survet feet).	Lance Singleton	2/12/2016	2/19/2016	2/17/2016	5	COMMENTS	See Comments
PLANNING	Korey Brooks	2/12/2016	2/19/2016	2/17/2016	5	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2016-006 Breezy Hill Phase VII Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request for the approval of a preliminary plat for Breezy Hill Phase VII containing 10 single-family residential lots, being a 6.802-acre tract of land currently identified as Tract 7-10 of the J. Strickland Survey, Abstract No. A-187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74), and located in the northeast corner of N. John King Boulevard and Cozy View Drive.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2016-006) in the lower right hand corner of all pages on future submittals.						
M.4 Please change the title block as follows:						
Preliminary Plat Breezy Hill Phase VII Lots 1-10, Block A Being 6.802-Acres Situated Within the Wells Survey, Abstract No. 219 City of Rockwall, Rockwall County, Texas						
M.5 Lot 7 does not meet the minimum size requirements for Type 'D' lots (i.e. minimum 20,000 SF).						
M.6 Please show right-of-way centerlines and label right-of-way widths.						
I.7 The Parks Board meeting for this project will be March 1, 2016.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by March 1, 2016. The Planning & Zoning meeting date for this case will be March 8 2016.						
I.9 The projected City Council meeting date and subsequent approval for this plat is March 21, 2016.						

0 65 130 260 390 520 Feet

P2016-006- BREEZY HILL VII
PRELIMINARY PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

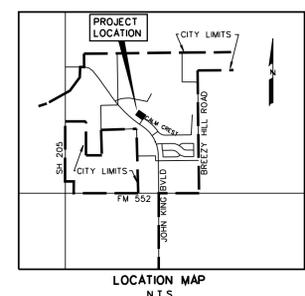
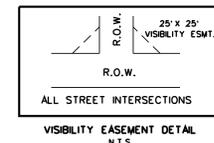
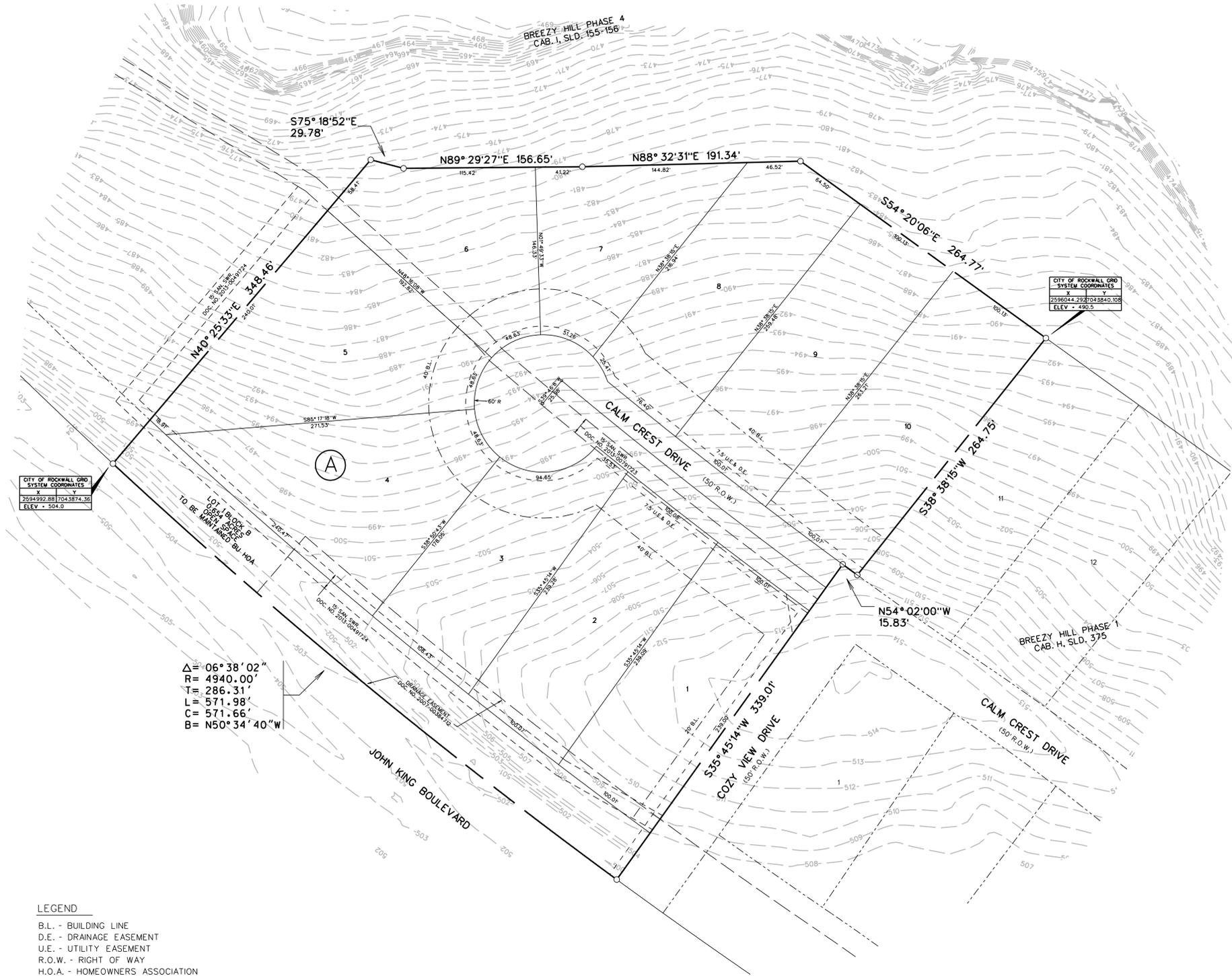


Reviewed for preliminary Approval:

Planning & Zoning Commission Chairman _____ Date _____

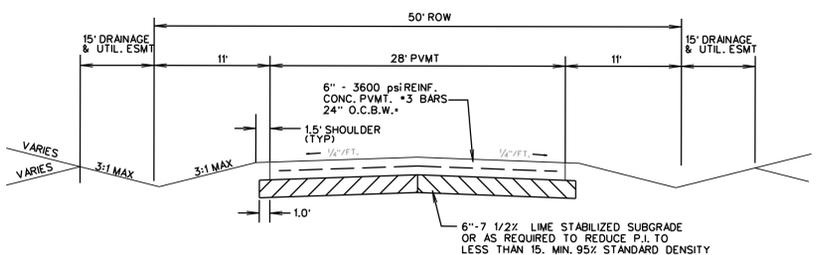
Approved for Preparation of Final Plat: _____

Mayor, City of Rockwall _____ Date _____



$\Delta = 06^\circ 38' 02''$
 $R = 4940.00'$
 $T = 286.31'$
 $L = 571.98'$
 $C = 571.66'$
 $B = N50^\circ 34' 40'' W$

- LEGEND**
- B.L. - BUILDING LINE
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT OF WAY
 - H.O.A. - HOMEOWNERS ASSOCIATION



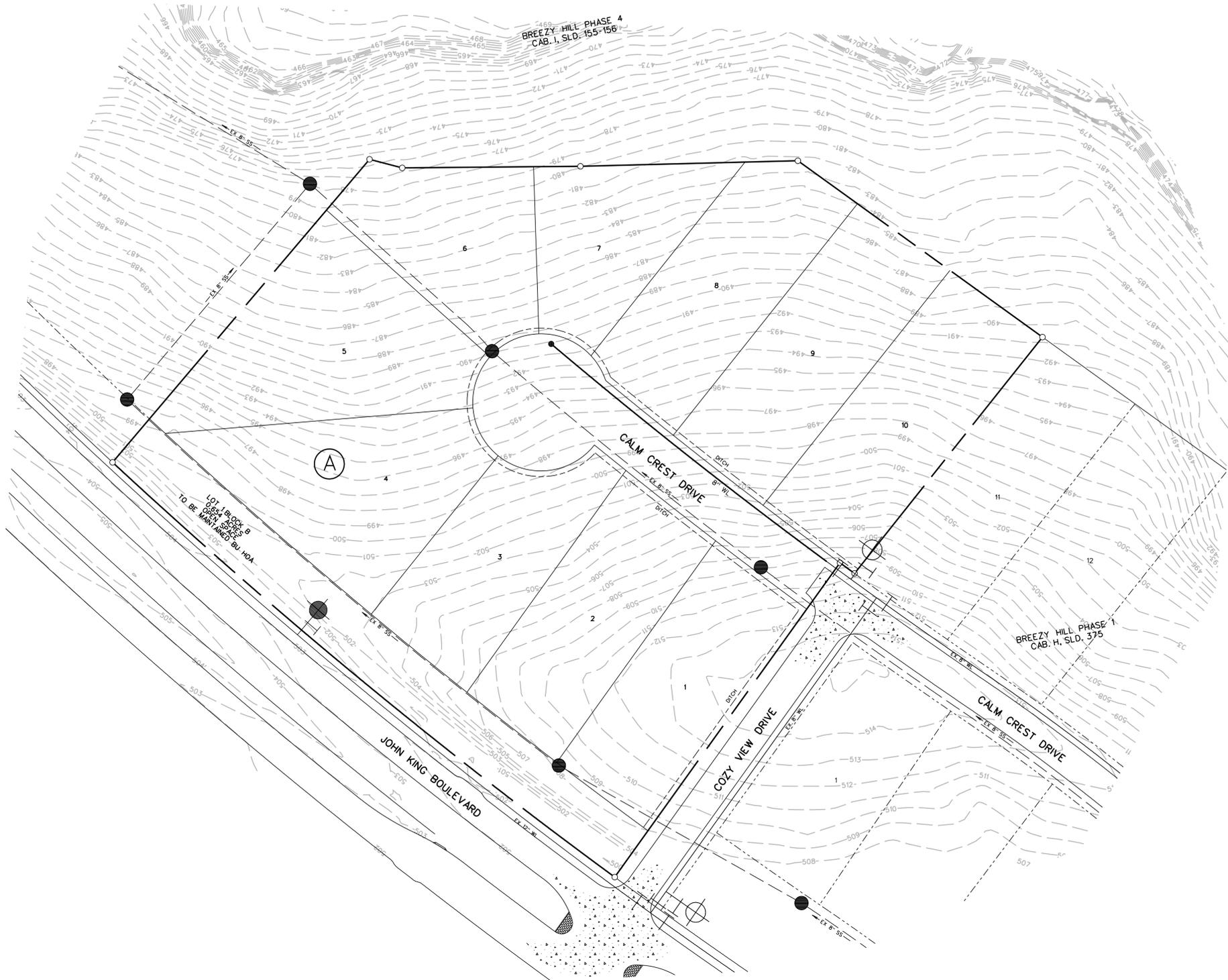
NOTE:
ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.

PRELIMINARY PLAT
OF
BREEZY HILL PHASE VII
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

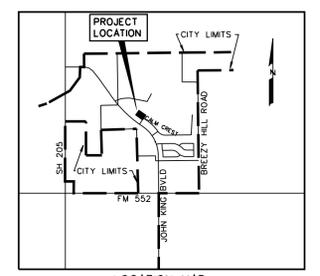
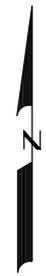
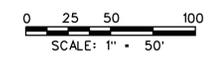
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH PHASE I, SF, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential [Lot Type D]
TOTAL ACRES 6.802
TOTAL RESIDENTIAL LOTS 10
DENSITY 1.47

FEBRUARY 2016 SCALE 1" = 50'



- LEGEND**
- PROP. WATER LINE
 - H— PROP. FIRE HYDRANT AND VALVE
 - T— PROP. GATE VALVE
 - ⊗— PROP. FLUSH VALVE
 - |— EXIST. WATER LINE
 - H— EXIST. FIRE HYDRANT AND VALVE
 - |— PROP. SANITARY SEWER
 - PROP. MANHOLE
 - PROP. CLEANOUT
 - EXIST. SANITARY SEWER
 - EXIST. MANHOLE
 - PROP. STORM SEWER
 - Z— PROP. CURB INLETS
 - PROP. CONC. HEADWALL



PRELIMINARY
 WATER, DRAINAGE & SANITARY SEWER PLAN
 OF
BREEZY HILL PHASE VII
 OUT OF THE
 J. STRICKLAND SURVEY, ABSTRACT NO. 187
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNER
 BH PHASE I, SF, LTD.
 8214 WESTCHESTER DRIVE., SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945
 PREPARED BY
 CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200

FEBRUARY 2016 SCALE 1" = 50'

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: Chase Finch, *Corwin Engineering, Inc.*

AGENDA ITEM: **P2016-007**; *Breezy Hill, Phase VI*

SUMMARY:

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Balance I LLC for the approval of a preliminary plat for Breezy Hill, Phase VI containing 79 single-family residential lots on 32.020-acre portion of a larger 61.528-acre tract of land identified as Tract 7 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, generally located northeast of the intersection of N. John King Boulevard and Life Springs Drive, and take any action necessary.

PRELIMINARY PLAT INFORMATION:

- The Breezy Hill Subdivision is a master planned community that will provide approximately 405-acres of residential and commercial development. The residential subdivision will be composed of 742 single-family lots on 371.45-acres of land, and be broken down per the lot mix indicated in Planned Development District 74 (PD-74). The lot mix in this Planned Development District is as follows:

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>
Typical Lot Frontage (<i>Feet</i>)	60	70	80	100
Typical Lot Depth (<i>Feet</i>)	120	120	125	200
Minimum Lot Size (<i>Sq. Ft.</i>)	7,200	8,400	10,000	20,000
Number of Proposed Units	206	112	326	98
Dwelling Unit %	27.80%	15.10%	43.90%	13.20%

- The purpose of the applicant's submittal is to preliminary plat *Phase VII* of the Breezy Hill Subdivision and layout 79 of the 742 single-family lots. The 79 proposed lots will be constructed to the *Type 'B', 'C' & 'D'* standards (*all standards are displayed in the above table*) and be situated on approximately 61.528-acres. In addition to the preliminary plat, the applicant has also submitted a preliminary water, sanitary sewer and storm water plans establishing that the developer can provide adequate utilities to service the proposed phase.
- The proposed preliminary plat generally conforms to the revised concept plan approved by the City Council on July 7, 2014 under *Case No. Z2014-017 [Ordinance No. 14-26]*.
- The original concept plan and master plat being approved prior to the most recent update of the Master Thoroughfare Plan (*i.e. January 4, 2016*) vests the Breezy Hill Subdivision to the Master Thoroughfare Plan in place at the time of approval, and exempts the preliminary plat from having to conform to the current right-of-way dedication requirement as depicted on the current plan.

- ☑ The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for *Preliminary Plats* as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the *Preliminary Plat* for *Phase VII* of the *Breezy Hill Subdivision* staff would recommend the following conditions of approval:

- 1) The *Preliminary Plat* shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) On the lot summary chart *Lot 13, Block D* is identified as a *Type 'D'* lot, but it does not meet the minimum lot size of 20,000 SF. Therefore, this lot will be identified and count against the *Type 'C'* lots.
- 3) The *Parks Board* shall review the submittal and make any necessary recommendations prior to the approval of a *Final Plat*, and,
- 4) Any construction resulting from the approval of this *Preliminary Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the 2009 International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 29, 2016, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat by a vote of 6-0-1, with Commissioner Whitley abstaining.

City of Rockwall
Project Plan Review History



Project Number P2016-007	Owner BREEZY, HILL 405 LTD	Applied 2/12/2016 LM
Project Name Breezy Hill Phase VI	Applicant CORWIN ENGINEERING INC	Approved
Type PLAT		Closed
Subtype PRELIMINARY		Expired
Status NEED REVISIONS		Status 2/18/2016 RM

Site Address BREEZY HILLS RD	City, State Zip ROCKWALL, TX 75087	Zoning
--	--	---------------

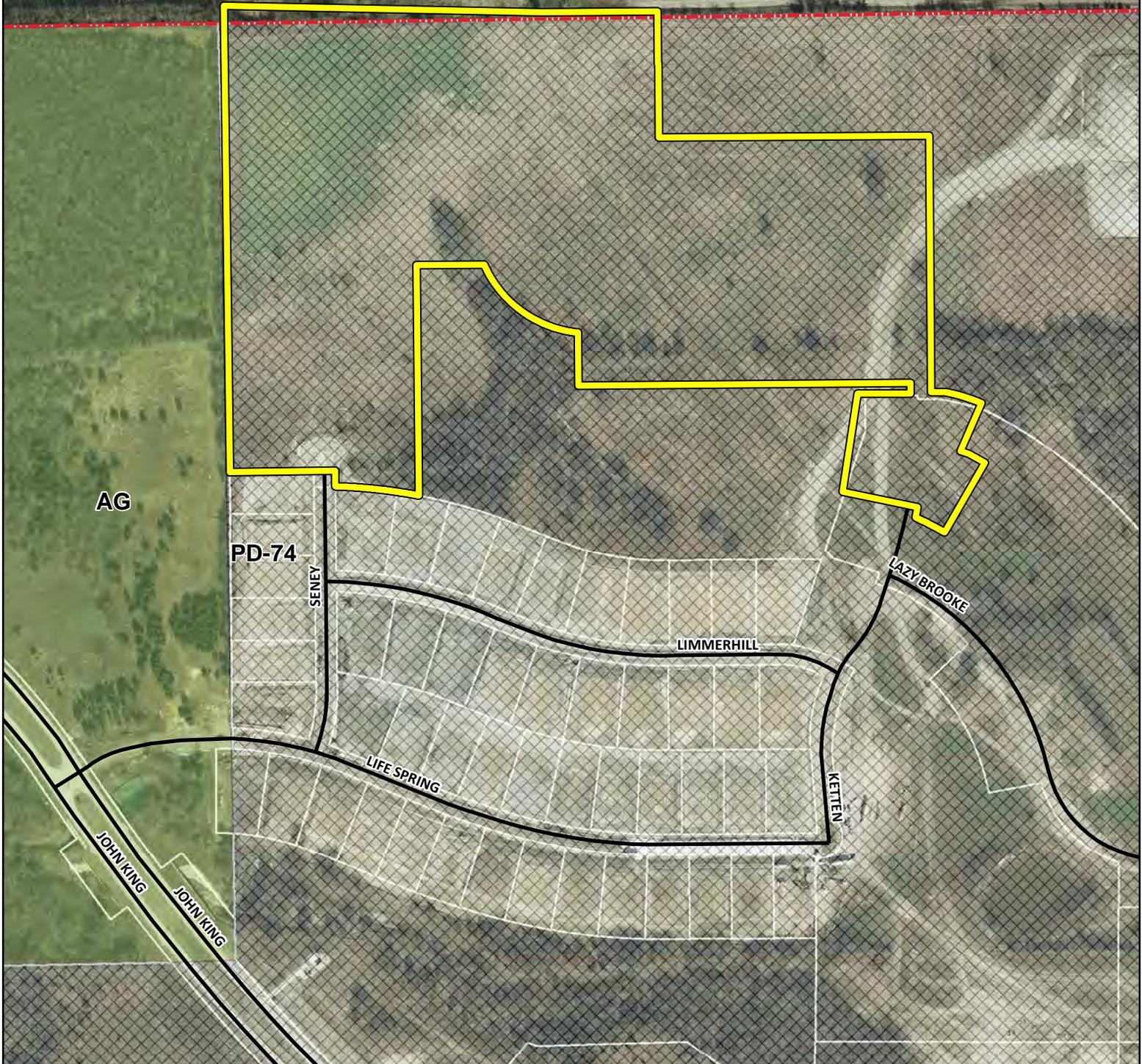
Subdivision BREEZY HILL PH 4	Tract 7	Block NULL	Lot No 7	Parcel No 0187-0000-0007-00-OR	General Plan
--	-------------------	----------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
ENGINEERING (2/16/2016 2:16 PM AW) Need to label the eastern (Ketten and Street B) flood plain as proposed flood plain reclamation Lift station easement? Clarify the width of the DE & UE between the plat and the cross section of the paving. Need permission from NTMWD to construct in their easement Label 10.758 acre tract between Phase 4 and Phase 6...property owner etc.	Amy Williams	2/12/2016	2/19/2016	2/16/2016	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
GIS (2/17/2016 4:01 PM LS) Please submit cad file (dwg) of new phase so addressing can begin. Lot lines and road centerlines in TX State Plane - North Central TX Zone (survet feet).	Lance Singleton	2/12/2016	2/19/2016	2/17/2016	5	COMMENTS	See Comments
PLANNING	Ryan Miller	2/12/2016	2/19/2016	2/18/2016	6	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2016-007 (Breezy Hill, Phase VI): Please address the following comments (M=Mandatory Comments; I=Informational Comments).						
I.1 This is a request for the approval of a preliminary plat for Breezy Hill, Phase VI containing 79 single-family residential lots on 32.020-acre portion of a larger 61.528-acre tract of land identified as Tract 7 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, and generally located northeast of the intersection of N. John King Boulevard and Life Springs Drive.						
I.2 For questions or comments concerning this case, please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 For reference, include the case number (P2016-007) in the lower right hand corner of all pages on future submittals.						
M.4 Provide staff with the "Subdivider's Statement." According to the Municipal Code of Ordinances a Preliminary Plat "... shall be accompanied by a written statement [Subdivider's Statement], signed by the subdivider stating the developer will comply with all the city requirements in the proposed subdivision and all such proposals shall conform to or exceed the standards for such improvements prescribed by the city."						
I.5 Lots 13, Block D and Lots 31-35, Block C do not meet the minimum standards for a Type 'D' lot (i.e. they are less than 20,000 SF in lot size).						
I.6 Lots 12, 14 & 15, Block O do not meet the minimum standards for a Type 'C' lot (i.e. they are less than 10,000 SF in lot size).						
M.7 Please identify the missing lot types on the attached Planning Markups. In addition, summarize and indicate each lot type as depicted.						
M.8 The Master Thoroughfare Plan shows Street 'C' as being a Minor Collector that needs to be extended to the western property line. In addition, a Minor Collector requires a minimum of 60-feet of right-of-way with a 41-foot back-to-back street cross section. Please make these corrections on the revised preliminary plat.						
I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 1, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 8, 2016 Planning & Zoning Meeting. The Planning & Zoning Commission work session meeting will be held on February 23, 2016.						
I.10 The projected City Council Meeting date and subsequent approval for this plat is March 21, 2016.						

0 105 210 420 630 840 Feet

P2016-007- BREEZY HILL VI
PRELIMINARY PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
1.	01°02'21"	1550.00'	28.11'	14.06'	28.11'	S01°53'42"W
2.	12°48'03"	400.00'	89.37'	44.87'	89.18'	S72°16'09"E
3.	04°19'35"	275.00'	20.77'	10.39'	20.76'	S63°42'20"E
4.	00°57'20"	1500.00'	25.01'	12.51'	25.01'	N02°11'51"W

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	S 89°39'50" E	34.47'

Reviewed for preliminary Approval:

Planning & Zoning Commission Chairman

Date

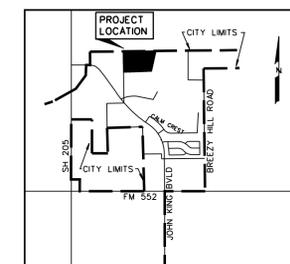
Approved for Preparation of Final Plat:

Mayor, City of Rockwall

Date

Block C			Block D			Block L			Block N			Block O		
Lot	SF	Lot Type	Lot	SF	Lot Type	Lot	SF	Lot Type	Lot	SF	Lot Type	Lot	SF	Lot Type
15	10964	C	7	20000	D	11	16253	C	1	12052	C	1	12697	C
16	10963	C	8	20000	D	12	16252	C	2	8400	B	2	8750	B
17	10868	C	9	20000	D	13	16251	C	3	8400	B	3	8750	B
18	11109	C	10	20000	D	14	12631	C	4	8400	B	4	8750	B
19	8750	B	11	20000	D	15	8400	B	5	8400	B	5	8750	B
20	8750	B	12	20000	D	16	8400	B	6	8400	B	6	8750	B
21	8750	B	13	19934	D	17	8400	B	7	8400	B	7	8750	B
22	8750	B	14	21333	D	18	8400	B	8	8400	B	8	8750	B
23	8750	B	15	20346	D	19	8400	B	9	8400	B	9	8750	B
24	8750	B	16	20968	D	20	8400	B	10	8400	B	10	8750	B
25	8750	B	17	20539	D	21	13846	C	11	13846	C	11	8780	B
26	8750	B	18	21496	D	22	12246	C	12	12246	C	12	9398	B
27	8750	B	19	156344	D	23	14890	C	13	14890	C	13	10288	B
28	8767	B	20	10000	C	24	14065	C	14	14065	C	14	9196	B
29	28955	D	21	10000	C	25	8400	B	15	8400	B	15	9610	B
30	22042	D	22	10000	C	26	8400	B	16	8400	B	16	10000	C
31	20087	D	23	10000	C	27	8400	B	17	8400	B	17	10000	C
32	20057	D	24	10000	C	28	8400	B	18	8400	B	18	10000	C
33	20035	D	25	10000	C	29	8400	B	19	8400	B	19	10000	C
34	20014	D	26	10000	C	30	8400	B	20	8400	B	20	10000	C
35	20190	D	27	10000	C	31	8400	B	21	8400	B	21	10000	C
36	22932	D	28	10000	C	32	8400	B	22	8400	B	22	10000	C
			29	10000	C	33	8400	B	23	8400	B	23	10000	C
			30	10000	C	34	8400	B	24	12052	C	24	12052	C

* Indicates Common Area



NOTE:
ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.

PRELIMINARY PLAT
OF
BREEZY HILL PHASE VI
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH PHASE VI, SF, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

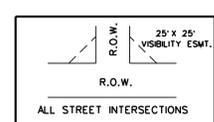
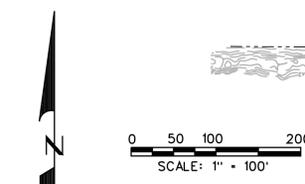
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential [Lot Type A, B, C, D]

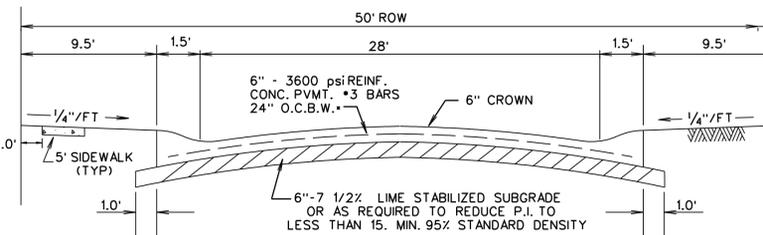
TOTAL ACRES	32.020
TOTAL RESIDENTIAL LOTS	79
DENSITY	2.46

FEBRUARY 2016 SCALE 1" = 100'

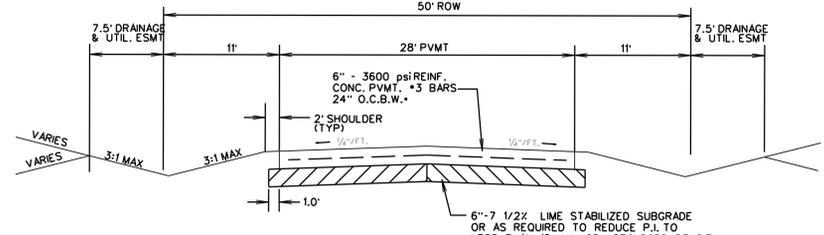
CASE #P2016-007



LEGEND
B.L. - BUILDING LINE
U.E. - UTILITY EASEMENT
R.O.W. - RIGHT OF WAY
H.O.A. - HOMEOWNERS ASSOCIATION
- STREET NAME CHANGE



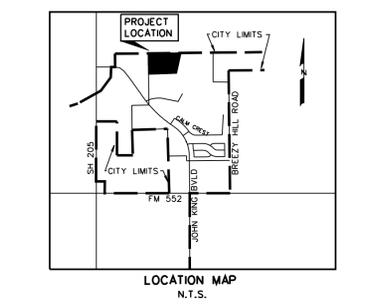
TYPICAL PAVEMENT SECTION - LAYDOWN CURB
N.T.S.
*MIN. 6 1/2 SACK MIX IF HAND PLACED



TYPICAL PAVEMENT SECTION
N.T.S.
*MIN. 6.5 SACK MIX IF HAND PLACED
6.0 SACK IF MACHINE PLACED

LEGEND

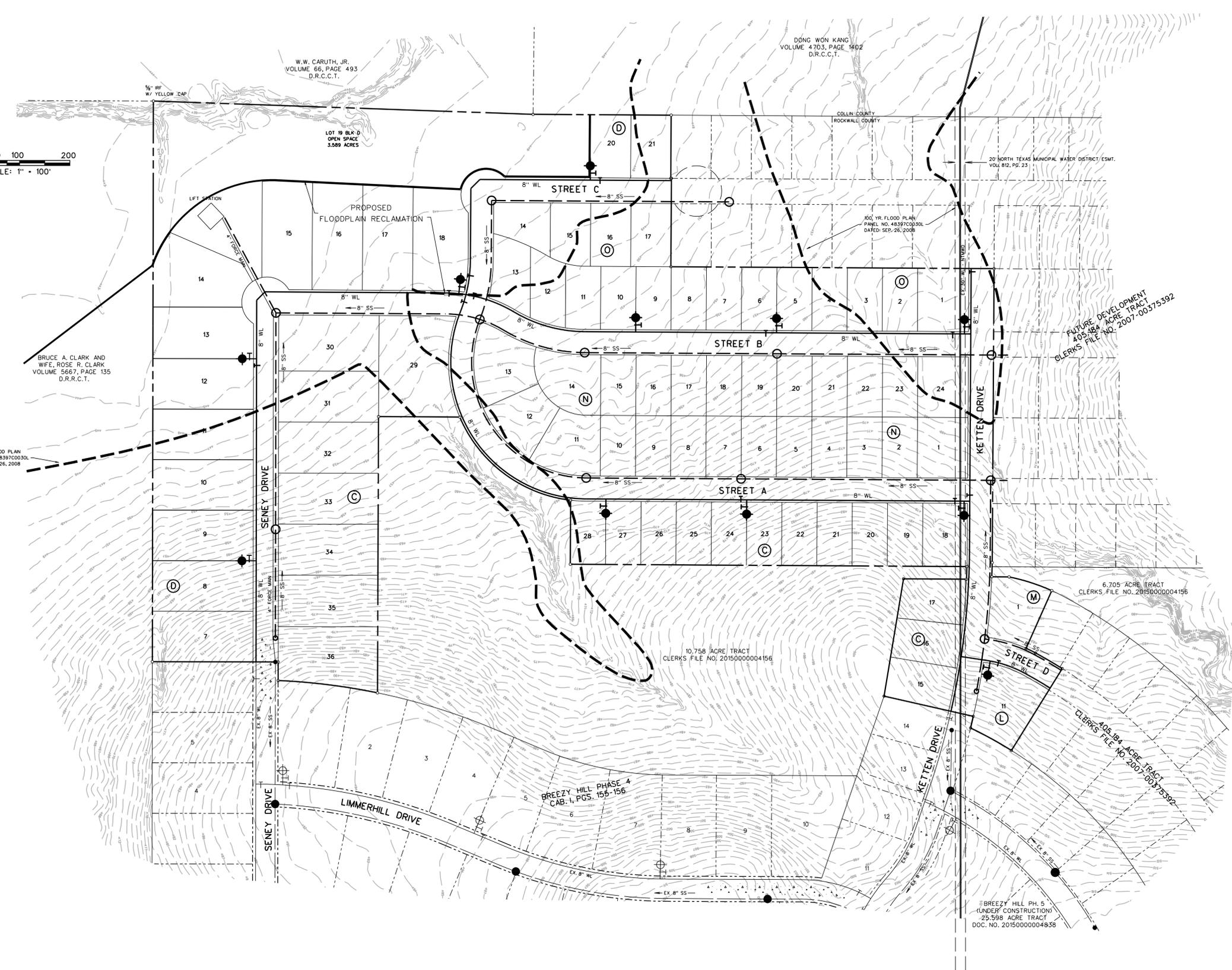
-  PROP. WATER LINE
-  PROP. FIRE HYDRANT AND VALVE
-  PROP. GATE VALVE
-  PROP. FLUSH VALVE
-  EXIST. WATER LINE
-  EXIST. FIRE HYDRANT AND VALVE
-  PROP. SANITARY SEWER
-  PROP. MANHOLE
-  PROP. CLEANOUT
-  EXIST. SANITARY SEWER
-  EXIST. MANHOLE
-  PROP. STORM SEWER
-  PROP. CURB INLETS
-  PROP. CONC. HEADWALL



PRELIMINARY
WATER & SANITARY SEWER PLAN
OF
BREEZY HILL PHASE VI
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH PHASE VI, SF, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

FEBRUARY 2016 SCALE 1" = 100'

0 50 100 200
SCALE: 1" = 100'



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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager
FROM: Timothy M. Tumulty, Director of Public Works/City Engineer
DATE: March 28, 2016
SUBJECT: Damascus Road Pro-Rata Facility Agreement Extension

Our Lady of the Lake Catholic Church widened Damascus Road back in 2010 to improve access to the Church and Heritage Christian Academy. The City Subdivision Ordinance required that adjacent properties along an unimproved road construct the road to City Standards at the time of development. These improvements would have been the responsibility of the Heritage Christian Academy (HCA) and the undeveloped property owner along Damascus Road. The City approved a Pro-Rata Facilities Agreement with the church on October 4, 2010 to address the future reimbursement.

The original agreement was for a term of five-years. This agreement would have expired on October 4, 2015; however, the agreement was extended 90 days to allow staff to perform a Proportionality Study for Damascus Road. Staff hired Kimley-Horn and Associates, Inc. to perform this study. Staff received word the church and school are trying to work an agreement that might resolve this matter. The church requested another 90 day extension in December 2015 to allow this process to be completed. The Church has requested another extension while they continue to work through the matter with HCA. Father George P. Monaghan has requested the agreement be extended to the end of the year. Staff contacted HCA about the additional extension of time and they are very supportive of the request.

Staff request City Council consideration to approve this additional delay of to December 31, 2016. If you have any questions, please advise.

TMT:em

Attachment

Cc:

Mary Smith, Assistant City Manager
Amy Williams, Assistant City Engineer
Jeremy White, Civil Engineer
File

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**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Mayor and Council
FROM: Brad Griggs
DATE: April 1, 2016
SUBJECT: Use of San Jacinto Plaza for *Hometown Farm to Feast* Event sponsored by Rockwall Old Town Shoppes and supported by Rockwall Main Street

The Rockwall Old Town Shoppes are seeking permission to utilize San Jacinto Plaza to host a ticketed dinner event on Sunday, May 15th (rain out date is Sunday, June 5th). The Farm to Feast event will showcase local farmer's market staples prepared by downtown chefs.

Public access and utilization of The Plaza will not be prohibited and no alcohol will be served at the event. As with all downtown events, guests are not prohibited from bringing their own alcoholic beverages.

The Main Street Advisory Board is supporting the group's efforts, as they are reinvesting event proceeds back into events that draw visitors to the district and support the vision of the Main Street program. The Rockwall Old Town Shoppes will be coordinating all aspects of the event and are seeking volunteer support from their membership, Friends of Downtown and the Main Street Advisory Board.

Guest restrooms will be available at *Zanata* (or another business located within reasonable distance of The Plaza). All supplies, i.e. tables, chairs, linens, etc. will be supplied by the Rockwall Old Town Shoppes. City staff support is not part of this request.

Representatives from the Rockwall Old Town Shoppes have been notified to attend the April 4th council meeting.

****PLEASE RETURN APPLICATION AT LEAST 90 DAYS PRIOR TO EVENT****

 City of Rockwall	CITY OF ROCKWALL SPECIAL EVENT PERMIT APPLICATION	Neighborhood Improvement Services 385 S. Goliad Rockwall, Texas 75087 (972) 771-7708
	PARADES, RACES & MASS GATHERINGS	

PERMIT NUMBER: SPEC 2016-0033

DATE APPLIED: 3/4/16 NAME OF APPLICANT: Denise Welsh - ROTS VP
 NAME OF ORGANIZATION/BUSINESS: Rockwall Old Town Shops / Mainstreet
 STREET/MAILING ADDRESS: 103 S. San Jacinto Rockwall, TX
 CITY: Rockwall STATE: TX ZIP: 76087
 PHONE# 972.219.1532 FAX # _____ EMAIL workerbee103@gmail.com

IS THIS A NON-PROFIT** FUNDRAISING EVENT? YES NO (REQUIRED Please check one)
**** Non-Profit status requires IRS TAX exemption certificate # 501(C)3 or registration of non-profit status from the State of Texas**

EVENT LOCATION

NAME OF EVENT: Hometown Farm to Feast
 EVENT LOCATION (ADDRESS): San Jacinto Plaza ROCKWALL, TX 76087
 PROPERTY OWNER: City of Rockwall ADDRESS: _____
 CITY: _____ STATE: _____ ZIP: _____ PHONE # _____ E-MAIL: _____
 EVENT START DATE: May 15th 2016 END DATE: May 15th 2016 FROM: 3 pm TO: 10 pm
 (Signed letter of approval from property owner is REQUIRED) Rain date June 6th 2016

EVENT DESCRIPTION

PLEASE PROVIDE DETAILS OF THE EVENT, SUCH AS 5K RUN, PARADE, CARNIVAL, ETC.....
Please attached description
 Races & Walk-A-Thons: Will the streets need to be marked with some type of paint/markings to indicate the route direction? YES NO
 Race Manager or Planner: _____ Phone: _____ E-Mail: _____
All Race Manager Contact Information is required. 7-day minimum advance notice required to alter approved route.
Note: Race Route Map must be provided with all applications for Runs and/or Walks that take place on City streets.
 A site plan may be required to indicate the number of vehicles, animals, participants, route, etc., for consideration, if applicable to the event.

TYPE OF EVENT

FIREWORKS DISPLAY SIDEWALK SALES PARKING LOT SALE TENT SALES
 CARNIVAL PARADE POLITICAL RALLY FESTIVAL
 MARATHON/RACE WALK-A-THON OTHER Gathering / Dinner

EXPECTED ATTENDANCE: 100 (Attendance of more than 500 people for over 4 hours is considered a mass gathering)

NUMBER OF POLICE OFFICERS NEEDED: _____ Police Chief to determine necessity and availability.
 The fee for police assistance to be paid by the event planner(s).

NON PROFIT OFF PREMISE SIGN LOCATIONS

Non-profit organizations must provide written authorization from the property owners if you wish to place off-premise signs to advertise your event.

Sign Location #1 N/A
Sign Location #2 _____
Sign Location #3 _____
Sign Location #4 _____
Sign Location #5 _____
Sign Location #6 _____

FOOD & BEVERAGES

Will food and beverages be sold and/or provided at this event? Yes No
Who will be providing the food and beverages? Local restaurants - downtown Caterer
Will there be open flames or cooking? Yes No
Type of fuel? Gas Charcoal Electric Other

*If you are using an outside vendor for food, please provide the name of the food service vendor.

Name: _____ Address: _____
City: _____ State: _____ Phone: _____ E-mail: _____

****A Temporary Food Service Application will need to be submitted along with the Special Events Application. An inspection will be performed by our Health Inspector before food is sold or given away at the event.***

Will alcohol be served at the event? *Yes No
If so, do you have approval from TABC? Yes No
How will the attendees over the age of 21 be verified? N/A

***If you will be selling alcohol, you will need to contact TABC at https://www.tabc.state.tx.us/licensing/fundraising_and_temporary_permits.asp**

TENTS & CANOPIES

Will there be tents and/or canopies being used for the event? Yes No
Size/Sq Ft of Tent(s) N/A Number of Tents N/A
(Tents under 400 sq. ft. will have no additional fire code requirements)

No tent(s) shall be erected within or otherwise obstruct fire lane/access.

Tents open on all sides which comply with all of the following will not have any additional fire code requirements:

- Individual tents having a maximum size of 700 square feet
- The aggregate area of multiple tents placed side by side without a fire break clearance of 12 feet, not exceeding 700 square feet total.
- A minimum clearance of 12 feet to all structures and other tents.

If tent(s) are over 700 sq. ft. in area, additional requirements may apply.
A site plan must be provided showing placement of tent upon the event location.

ANIMALS

Will there be any animals involved with this event? *Yes No
If so, how will the animals be used? Petting Zoo Pony Rides Other _____
How many animals and what type of animals will be used in this event? _____

You must contact Animal Services at 972-771-7790 to get approval for the use of animals.

***A USDA Class C Exhibitors License is required**

CHECKLIST

ALL DOCUMENTS ARE DUE AT TIME APPLICATION IS SUBMITTED

- Completed Application
- Site Plan
- N/A Fees (if applicable)
- N/A Copy of Liability Insurance Certificate
- Copy of 501(C)3 letter from IRS (for non-profit fundraising events)
- N/A Copy of USDA Class C Exhibitors License (if animals, involved)

ACKNOWLEDGEMENT/SIGNATURE

ACKNOWLEDGEMENT / SIGNATURE:

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION. THE ISSUANCE OF AN EVENT PERMIT NEITHER EXEMPTS NOR MODIFIES ANY COVENANTS, DEED RESTRICTIONS, CITY ORDINANCES AND/OR STATE OR FEDERAL LAWS WHETHER HEREIN SPECIFIED OR NOT.

Name of Applicant/Organization/Business Rockwall Old Town Shops
Authorized Applicant Signature [Signature] Date 3/4/16

PERMIT STATUS

DATE APPLICATION RECEIVED _____ / _____ / _____

PERMIT: APPROVED DENIED

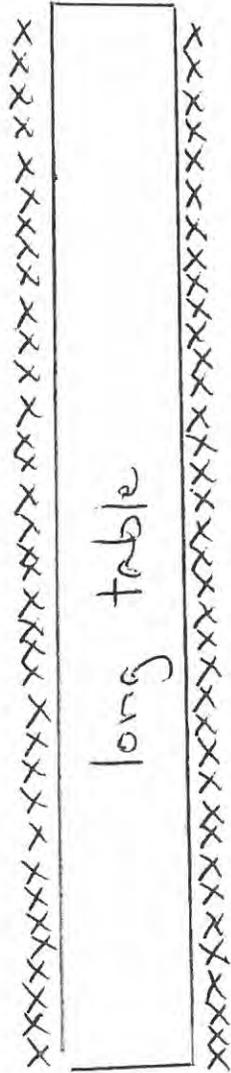
SIGNATURE OF OFFICIAL: _____ DATE: _____ / _____ / _____

ADDITIONAL COMMENTS:

Hosted by the Rockwall Old Town Shops (ROTS), the Hometown Farm to Feast Dinner will be a fundraiser for ROTs in collaboration with Mainstreet. The funds raised will be reinvested in future events and planned activities here downtown (i.e. Scare on the Square, Rib Rub, Old Town Christmas). This ticketed event will be capped at 100 guests and will help promote the farmers market as well as local restaurants. This is an opportunity for the community to enjoy the new Plaza while contributing to exciting new future events.

Rush STREET

"The Plaza"



table

table

table

- (1) long table
- (100) chairs
- (3) food table

Washington STREET

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: Michael Hunter; *Rockwall Housing Development Corporation*

AGENDA ITEM: **P2016-009**; *Lots 1&2, Block H, Lake Rockwall Estates East Add.*

SUMMARY:

Discuss and consider a request by Michael Hunter of the Rockwall Housing Development Corporation for the approval of a residential replat for Lots 1 & 2, Block H, Lake Rockwall Estates East Addition being a 0.27-acre parcel of land identified currently identified as Lot 984A of the Rockwall Lake Estates #2 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family-7 (SF-7) District land uses, located at 112 Chris Street, and take any action necessary.

PLAT INFORMATION:

- ☑ The objective of this request is to divide one (1) parcel of land (*i.e. Lot 984A [0.27-acres], Lake Rockwall Estates*) into two (2) parcels of land (*i.e. Lot 1 [approx. 0.11 acres] & Lot 2 [approx. 0.10 acres]*)
- ☑ On October 5, 2015, City Council approved a special request [*MIS2015-008*] for a waiver to allow the construction of two single-family attached homes on a 0.27-acre parcel of land identified as Lot 984A of the Rockwall Lake Estates #2 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family -7 (SF-7) district land uses, located at 112 Chris Drive. As part of this approval, a 45-foot lot depth in accordance with Exhibit 'C' of PD-75.
- ☑ As part of this replat, the applicant will be dedicating 5 ½ feet of right-of-way adjacent to County Line Road.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for replats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

RECOMMENDATIONS:

Staff recommends approval of the replat for *Lots 1 & 2, Block H, Lake Rockwall Estates East Addition* in conformance with the following conditions of approval:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On March, 29, 2016, the Planning and Zoning Commission's motion to recommend approval of a residential replat for Lots 1 & 2, Block H, Lake Rockwall Estates East Addition passed by a vote of 7 to 0.

City of Rockwall Project Plan Review History



Project Number P2016-009	Owner ROCKWALL, HOUSING DEVELOPMENT CORPORAT	Applied 2/12/2016	LM
Project Name 112 Chris Drive	Applicant ROCKWALL, HOUSING DEVELOPMENT CORPORAT	Approved	
Type PLAT		Closed	
Subtype REPLAT		Expired	
Status NEED REVISIONS		Status 2/17/2016	RM

Site Address 112 CHRIS DR	City, State Zip ROCKWALL, TX 75032	Zoning
-------------------------------------	--	---------------

Subdivision ROCKWALL LAKE ESTATES PH2	Tract 984A	Block NULL	Lot No 984A	Parcel No 5380-0000-0984-A0-OR	General Plan
---	----------------------	----------------------	-----------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
ENGINEERING (2/17/2016 11:19 AM AW) Dedicate 5.5' of right-of-way See markup with the new lot widths. The existing right-of-way isn't 60' wide.	Amy Williams	2/12/2016	2/19/2016	2/16/2016	4	COMMENTS	See Comments
FIRE	Ariana Hargrove	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
GIS (2/17/2016 3:54 PM LS) New Addressing Assignments will be: Lot 984C (South): 112 Chris Dr, Rockwall, TX 75032 Lot 984B (North): 124 Chris Dr, Rockwall, TX 75032 Please contact Addressing@rockwall.com with any questions.	Lance Singleton	2/12/2016	2/19/2016	2/17/2016	5	APPROVED	See Comments
PLANNING	Korey Brooks	2/12/2016	2/19/2016	2/17/2016	5	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2016-009 (Lots 1 & 2, Block H, Lake Rockwall Estates East Addition): Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This is a request for the approval of a replat for Lots 1 & 2, Block H, Lake Rockwall Estates East Addition being a 0.27-acre parcel of land identified currently identified as Lot 984A of the Rockwall Lake Estates #2 Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family-7 (SF-7) District land uses, and located at 112 Chris Street.</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2016-009) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please change the title block as follows:</p> <p>Replat Lots 1 & 2, Block H Lake Rockwall Estates East Addition Being a Replat of Lot 984A Rockwall Lake Estates #2 Being 0.27-Acres Situated Within the Wells Survey, Abstract No. 219 City of Rockwall, Rockwall County, Texas</p> <p>M.5 Change Lots 984-B to Lot 2, Block H and 984-C to Lot 1, Block H.</p> <p>M.6 Indicate a 5½-foot right-of-way dedication along County Line Road.</p> <p>M.7 Indicate a 7-foot building line adjacent to County Line Road in accordance with Case No. MIS2015-009.</p> <p>M.8 Change Lot 2, Block H to a width of 45.15-feet adjacent to Chris Drive.</p> <p>M.9 Change Lot 1, Block H to a width of 47.15-feet adjacent to Chris Drive.</p> <p>M.10 Indicate the parcel on the vicinity map in addition to the site location arrow.</p> <p>I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by March 1, 2016. The Planning & Zoning meeting date for this case will be March 8, 2016.</p> <p>I.12 The projected City Council meeting date and subsequent approval for this plat is March 21, 2016.</p>						

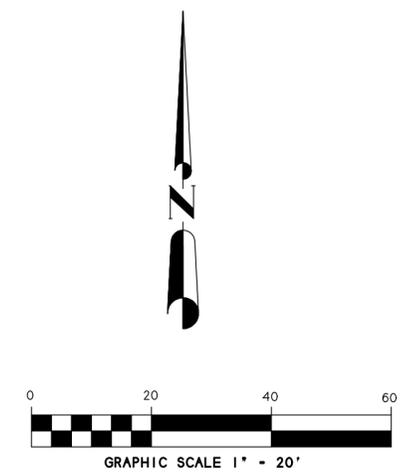
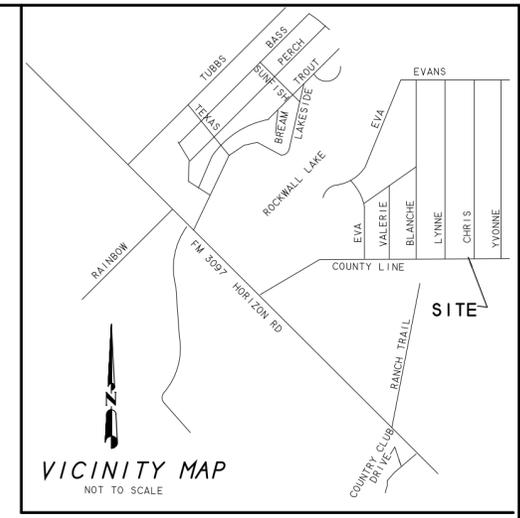
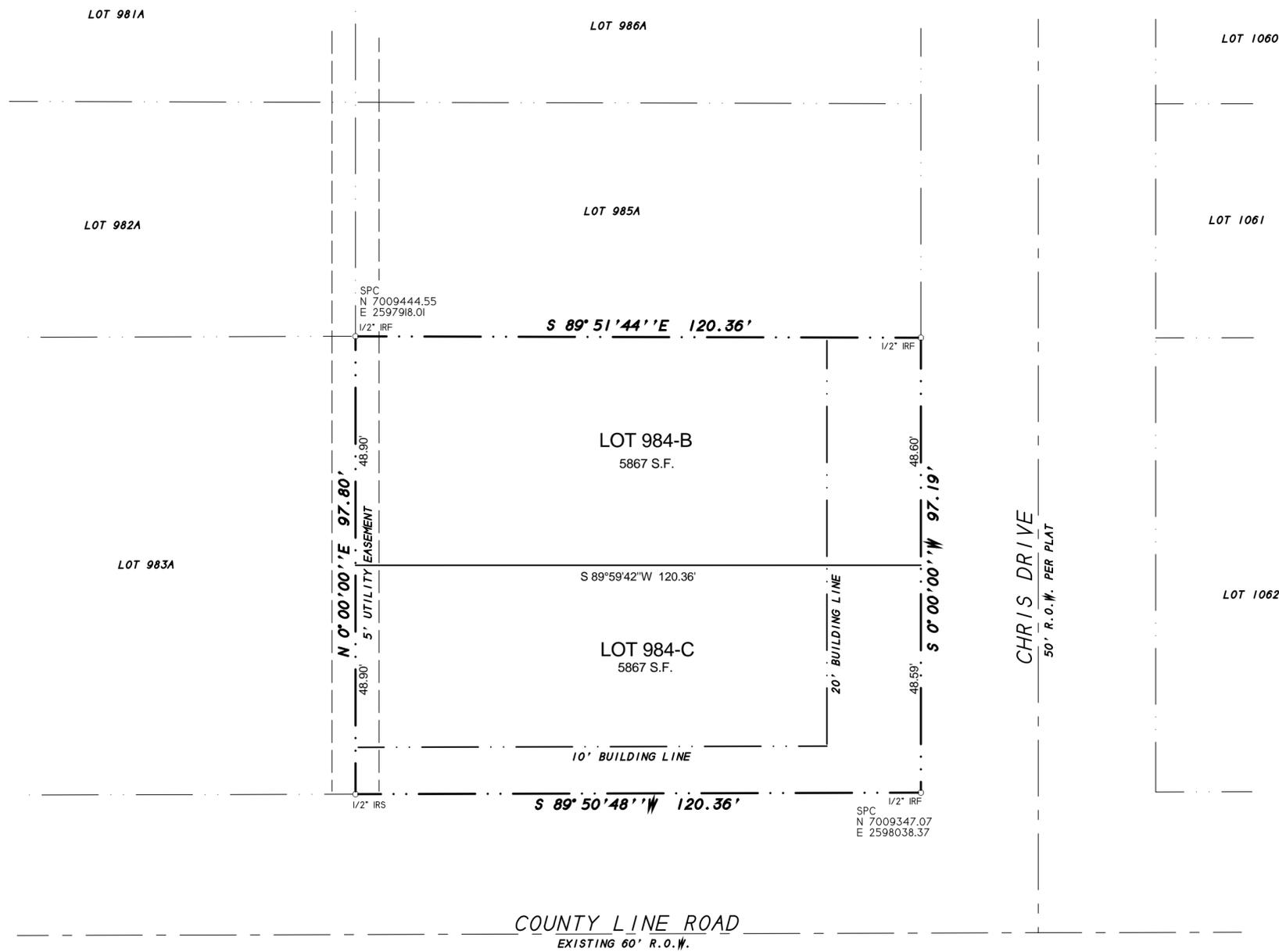


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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REPLAT
LOT 984-B AND LOT 984-C
ROCKWALL LAKE ESTATES NO. 2

BEING A REPLAT OF LOT 984A
 ROCKWALL LAKE ESTATES NO. 2
 0.27 ACRES OR 11,734 S.F.
 (2 LOTS)
 WELLS SURVEY, A-219
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION
⊕	GAS
⊕	PHONE
⊕	WATER
⊕	ELEC
⊕	ELECTRIC
⊕	PETER
⊕	BOX
⊕	SUBSURFACE
⊕	JUNCTION BOX
⊕	PROPERTY LINE
⊕	PROPERTY DES
⊕	POLE
⊕	FRONT
⊕	HYDRANT
⊕	1/2" IRF
⊕	ROK ROD FIRING
⊕	1 CORNER 1
⊕	PROPANE TANK
⊕	A/C UNIT
⊕	PROPANE TANK

OWNER:
 ROCKWALL HOUSING DEVELOPMENT
 787 HAIL DRIVE
 ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE FEBRUARY 12, 2016
 SCALE 1" = 20' FILE # 20150452-RP
 CLIENT RHC

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ROCKWALL HOUSING DEVELOPMENT CORPORATION, BEING THE OWNER OF A TRACT of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the WELLS SURVEY ABSTRACT NO. 219, City of Rockwall, Rockwall County, Texas, and being all of Lot 984A, of ROCKWALL LAKE PROPERTIES NO. 2, an Addition in Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the Southeast corner of Lot 984A, at the intersection of the north right-of-way line of County Line Road with the west right-of-way line of Chris Drive;

THENCE S. 89 deg. 50 min. 48 sec. W. along the north right-of-way line of County Line Road, a distance of 120.36 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner;

THENCE N. 00 deg. 00 min. 00 sec. E. a distance of 97.80 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 984A and southwest corner of Lot 985A;

THENCE S. 89 deg. 51 min. 44 sec. E. along the common line between Lot 984A and Lot 985A, a distance of 120.36 feet to a 1/2" iron rod found for corner in the west right-of-way line of Chris Drive;

THENCE S. 00 deg. 00 min. 00 sec. E. along said right-of-way line, a distance of 97.19 feet to the POINT OF BEGINNING and containing 11,734 square feet or 0.27 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LOT 984-B AND LOT 984-C, ROCKWALL LAKE ESTATES NO. 2, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

MICHAEL HUNTER
FOR ROCKWALL HOUSING DEVELOPMENT CORPORATION

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared MICHAEL HUNTER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of LOT 984-B AND LOT 984-C, ROCKWALL LAKE ESTATES NO. 2, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____

City Secretary City of Rockwall _____

City Engineer _____

Date _____

REPLAT
LOT 984-B AND LOT 984-C
ROCKWALL LAKE ESTATES NO. 2

BEING A REPLAT OF LOT 984A
ROCKWALL LAKE ESTATES NO. 2
0.27 ACRES OR 11,734 S.F.
(2 LOTS)
WELLS SURVEY, A-219
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND	
TV	TELEVISION CABLE
GAS	GAS METER
TEL	PHONE METER
IRE	IRREGULAR EASEMENT
PH	PHONE METER
FF	FIRE HYDRANT
PP	POWER POLE
ELEC	ELECTRIC METER
BOX	ELECTRIC SUBSTATION BOX
WATER	WATER METER
LP	L.P. GAS METER
LP	L.P. GAS METER
1/2" IRON ROD FOUND	1/2" IRON ROD FOUND
1 CORNER	1 CORNER
EASEMENT LINE	EASEMENT LINE
PROPERTY LINE	PROPERTY LINE
IRREGULAR EASEMENT	IRREGULAR EASEMENT
PROPERTY LINE	PROPERTY LINE

OWNER:
ROCKWALL HOUSING DEVELOPMENT
787 HAIL DRIVE
ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE FEBRUARY 12, 2016
SCALE 1" = 20' FILE # 20150452-RP
CLIENT RHC

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: John Cherry

AGENDA ITEM: Z2016-006; 303 Renfro Street (SUP)

SUMMARY:

Hold a public hearing to discuss and consider a request by John Cherry for the approval of a Specific Use Permit (SUP) for a carport on a 1.04-acre tract of land identified as Tract 47 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 303 Renfro Street, and take any action necessary.

BACKGROUND INFORMATION:

The applicant, John Cherry is requesting a Specific Use Permit (SUP) to allow for a carport that does not meet the minimum garage setback requirements stipulated in Section 4.1.F [*Carports*] of Article VI, *Parking and Loading*, of the Unified Development Code (UDC), which states “(i)n single-family or duplex districts, carports must be located at least 20-feet behind the front building facade and be architecturally integrated with the main residential structure.” The subject property is zoned Single Family 7 (SF-7) District. The proposed carport will stand approximately 8-feet in total height and will have a building footprint of 32-feet x 20-feet or approximately 640 square feet. The structure will be located on the north side of the building and setback 10-feet from the front façade of the house. The applicant is proposing that the carport to be situated behind a fence so that it is not visible from the street. Additionally, the opening of the carport will be located facing the northern property line. The applicant is also requesting a waiver to the masonry requirement to construct the carport out of a steel building system with a standing seam metal roof as a continuation of back patio cover.

NOTIFICATION:

Staff mailed 82 notices to property owners within 500-feet of the subject property. Staff also notified the only HOA/Neighborhood Organization (Park Place) that is within 1,500-feet and participating in the notification program. Additionally, staff posted a sign on the property as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices returned.

RECOMMENDATIONS:

Should the Planning and Zoning Commission and City Council choose to approve the SUP request, staff would offer the following conditions of approval:

1. The carport be subjected to the operational conditions contained in the SUP ordinance and are as follows:
 - A. That the carport shall not exceed 640 sq. ft.
 - B. That the carport generally conforms to the building elevations as submitted.

- C. That the carport shall generally conform to the site plan as submitted.
 - D. The City Council reserves the right to review the Specific Use Permit within one (1) year from the date approval.
2. Any construction resulting from the approval of this replat shall conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On March 29, 2016, the Planning and Zoning Commission's motion to recommend approval of the special request to allow for a carport that does not meet the minimum requirements passed by a vote of 7 to 0.

City of Rockwall Project Plan Review History



Project Number Z2016-006	Owner CHERRY, JOHN T	Applied 2/12/2016 LM
Project Name 303 Renfro	Applicant CHERRY, JOHN T	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status STAFF REVIEW		Status 2/12/2016 LM

Site Address 303 RENFRO ST	City, State Zip ROCKWALL, TX 75087	Zoning
--------------------------------------	--	---------------

Subdivision PARK PLACE WEST PH II ADDITION	Tract 47	Block NULL	Lot No 47	Parcel No 0029-0000-0047-00-OR	General Plan
--	--------------------	----------------------	---------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
ENGINEERING	Amy Williams	2/12/2016	2/19/2016	2/16/2016	4	APPROVED	
FIRE	Ariana Hargrove	2/12/2016	2/19/2016	2/18/2016	6	APPROVED	
PLANNING	Korey Brooks	2/12/2016	2/19/2016	2/19/2016	7	COMMENTS	See Comments

(2/19/2016 9:08 AM KB)
Z2016-006 SUP for Carport:
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for a carport on a 1.04-acre tract of land identified as Tract 47 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 303 Renfro Street.
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (Z2016-006) in the lower right hand corner of all pages on future submittals.
- I.4 Please review the attached draft ordinance prior to the March 8, 2016 Planning & Zoning Commission meeting.
- M.5 Please indicate the square footage of the carport.
- M.7 Please indicate the paving material of the driveway and the carport.
- M.8 Please indicate the use of the fence on the east side of the garage
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 1, 2016; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 8, 2016 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on February 23, 2016.
- I.10 The projected City Council meeting dates for this case will be March 21, 2016 [1st Reading] & April 4, 2016 [2nd Reading].



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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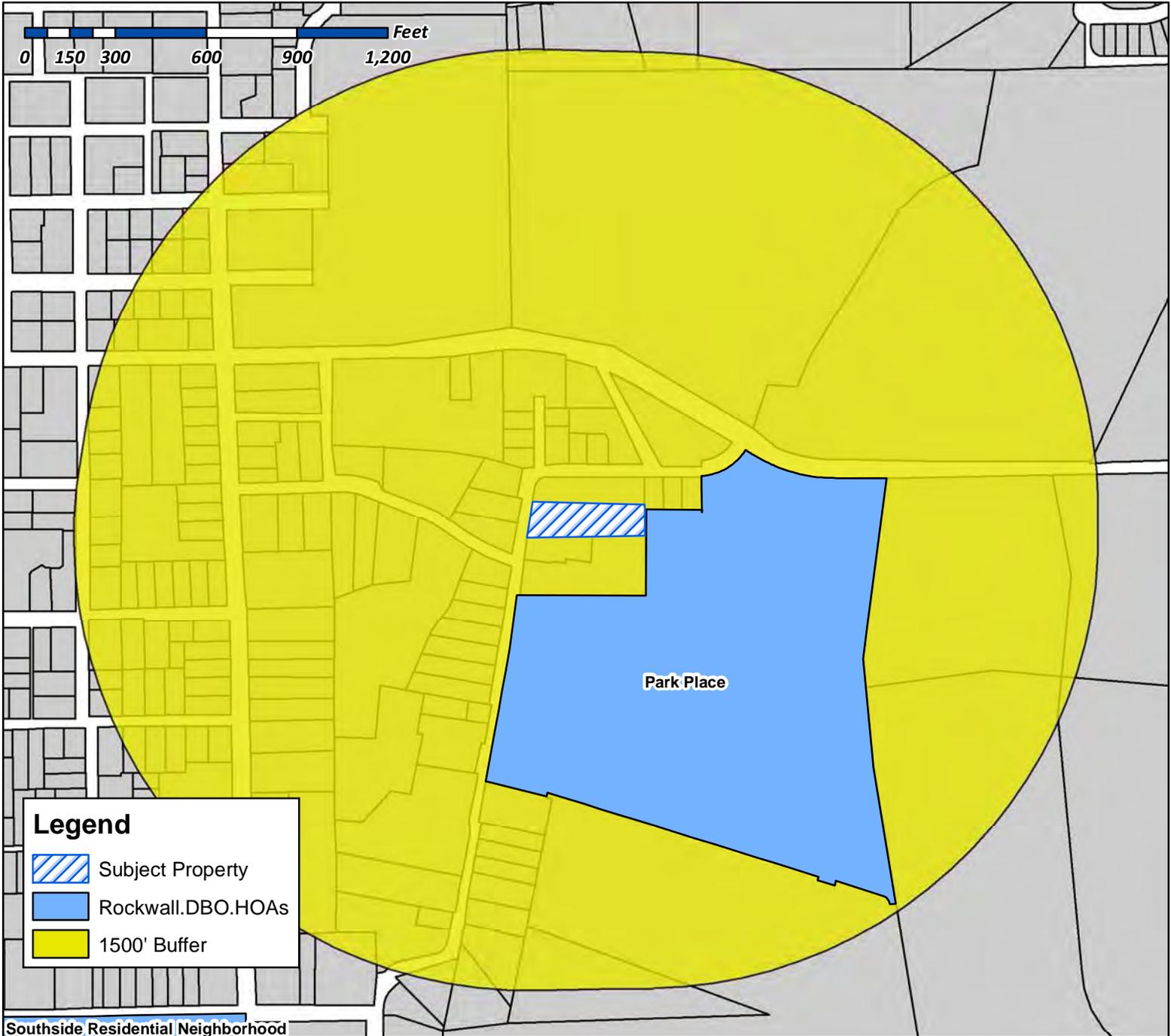




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Case Number: Z2016-006
Case Name: 303 Renfro Street
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7)
Case Address: 303 Renfro Street



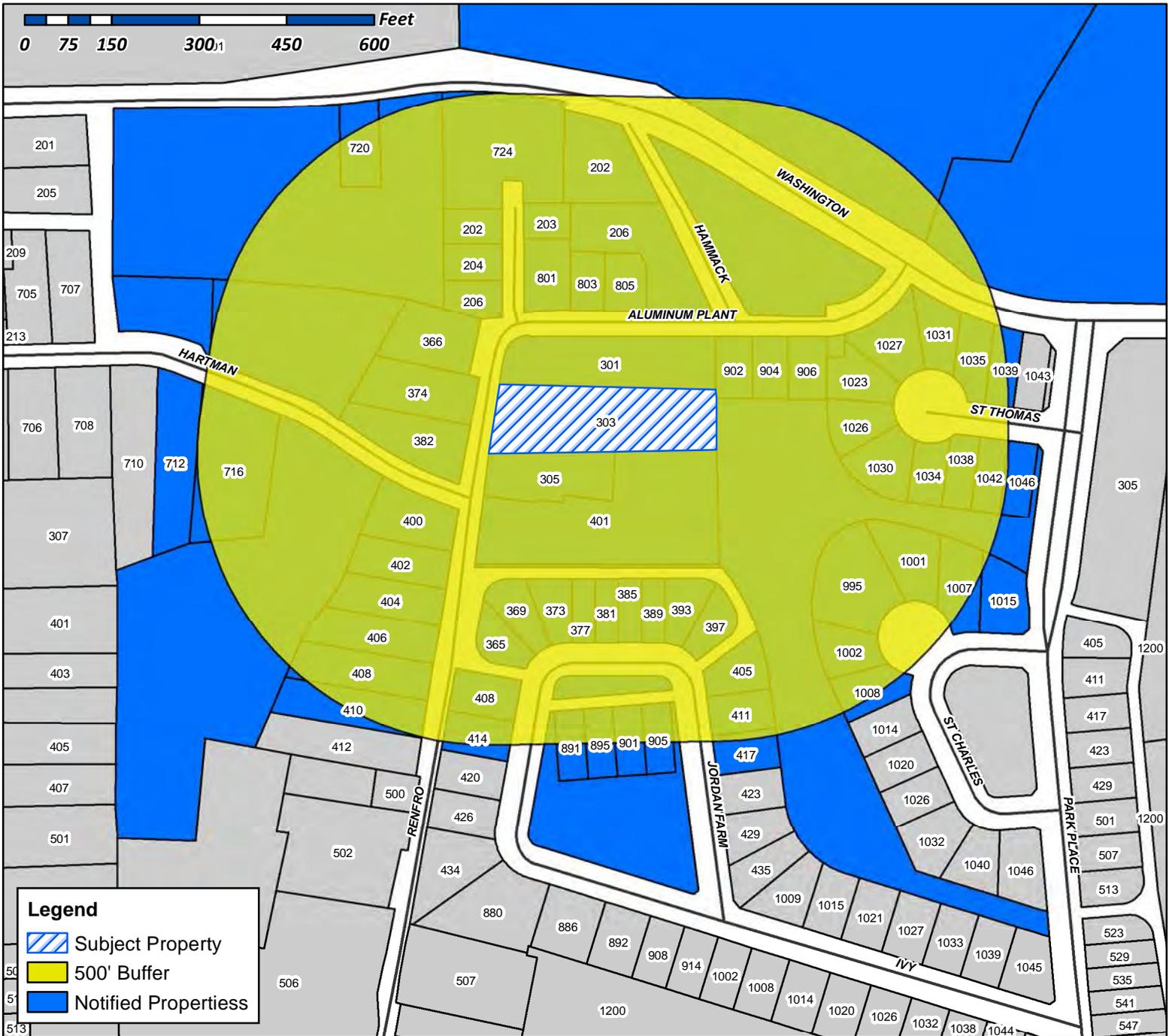
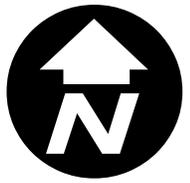
Date Created: 02/16/2016
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2016-006
Case Name: 303 Renfro Street
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7)
Case Address: 303 Renfro Street

Date Created: 02/15/2016

For Questions on this Case Call (972) 771-7745



CLINE MARK AND TRACY
1001 ST CHARLES
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 ST CHARLES CT
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA
1007 ST. CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1008 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1015 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1023 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1026 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1027 ST THOMAS CT
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

CURRENT RESIDENT
1030 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1031 ST THOMAS CT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
1034 ST THOMAS CT
ROCKWALL, TX 75087

JOHNSON RICHARD ERIC AND DIANNA MUNRO
1035 SAINT THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1038 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1039 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1042 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1046 ST THOMAS CT
ROCKWALL, TX 75087

B & W BUCHANAN FAMILY LP
15 MEADOWLAKE DR
HEATH, TX 75032

CURRENT RESIDENT
202 RENFRO ST
ROCKWALL, TX 75087

RUFF DAVID & ANNE
202 HAMMACK LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
203 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
204 RENFRO ST
ROCKWALL, TX 75087

SEYMORE BRITTANY N & TIMOTHY J
205 RUSH CREEK
HEATH, TX 75032

CURRENT RESIDENT
206 HAMMACK LN
ROCKWALL, TX 75087

LAUGHERY JAMES L
206 RENFRO ST
ROCKWALL, TX 75087

POWELL SEAN DAVID
208 DWYER CT
ROCKWALL, TX 75032

WILLIAM STANDLEY FAMILY TR
2080 AIRPORT RD
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP, A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL K AND CYNTHIA DAWN
256 WINDY LN
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL & CYNTHIA
256 WINDY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
301 RENFRO ST
ROCKWALL, TX 75087

CHERRY JOHN T
303 RENFRO STREET
ROCKWALL, TX 75087

COLUMBIA EXTRUSIONS CORP
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PRATER SAMUEL LEE AND LAUREN NICOLE
305 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
365 JORDAN FARM CIR
ROCKWALL, TX 75087

STRADTMANN TROY H
366 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
369 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
373 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
374 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
377 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
381 JORDAN FARM CIR
ROCKWALL, TX 75087

HALL JESSIE MARIE AND
382 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
385 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
389 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
393 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
397 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
400 RENFRO ST
ROCKWALL, TX 75087

CLARK JERRY W & PAMELA
401 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
402 RENFRO ST
ROCKWALL, TX 75087

FREDERICK MARSHA
4034 KYNDRA CIR
RICHARDSON, TX 75082

CURRENT RESIDENT
404 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
405 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
406 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
408 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
408 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
410 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
411 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
414 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
417 JORDAN FARM CIR
ROCKWALL, TX 75087

KESSLAR MARILYNN
427 WYNDEMERE BLVD
ROCKWALL, TX 75032

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

HOOVER RICHARD W
716 HARTMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
720 E WASHINGTON
ROCKWALL, TX 75087

CURRENT RESIDENT
724 E WASHINGTON ST
ROCKWALL, TX 75087

DANIEL MICHAEL D
801 ALUMINUM PLANT RD
ROCKWALL, TX 75087

WILLIAMS KATHY ANN
803 ALUMINUM PLANT RD
ROCKWALL, TX 75087

SARTAIN VENITA C
805 ALUMINUM PLANT RD
ROCKWALL, TX 75087

PROFESSIONAL LAND SURVEYING SERVICES
8877 COUNTY RD 3609
QUINLAN, TX 75474

CURRENT RESIDENT
891 IVY LN
ROCKWALL, TX 75087

RAGSDALE ELIZABETH J LIFE ESTATE
895 IVY LN
ROCKWALL, TX 75087

MASON MARSHA
901 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
902 ALUMINUM PLANT RD
ROCKWALL, TX 75087

WILLMON WENDY LYNN
904 ALUMINUM PLANT RD
ROCKWALL, TX 75087

RHODES BRENDA
905 IVEY LN
ROCKWALL, TX 75087

STATON CARL E & BOBBIE JANE
906 ALUMINUM PLANT RD
ROCKWALL, TX 75087

RUSHING JOE L & DONNA S
9414 SHEARER ST
ROWLETT, TX 75088

MARTIN CHARLES TED & RHONDA K
995 ST CHARLES CT
ROCKWALL, TX 75087

PEURIFOY REBECCA
P O BOX 454
ROCKWALL, TX 75087

MASON MARSHA
PO BOX 1362
ROCKWALL, TX 75087

PEOPLES REALTORS INC
PO BOX 35
ROCKWALL, TX 75087

February 12, 2016

Letter of Explanation/Purpose of Zoning Application

Applicant: John T. Cherry, Property Owner 303 Renfro, Rockwall, Tx

Property Location: 303 Renfro, R. Ballard Survey, Abstract No. 29

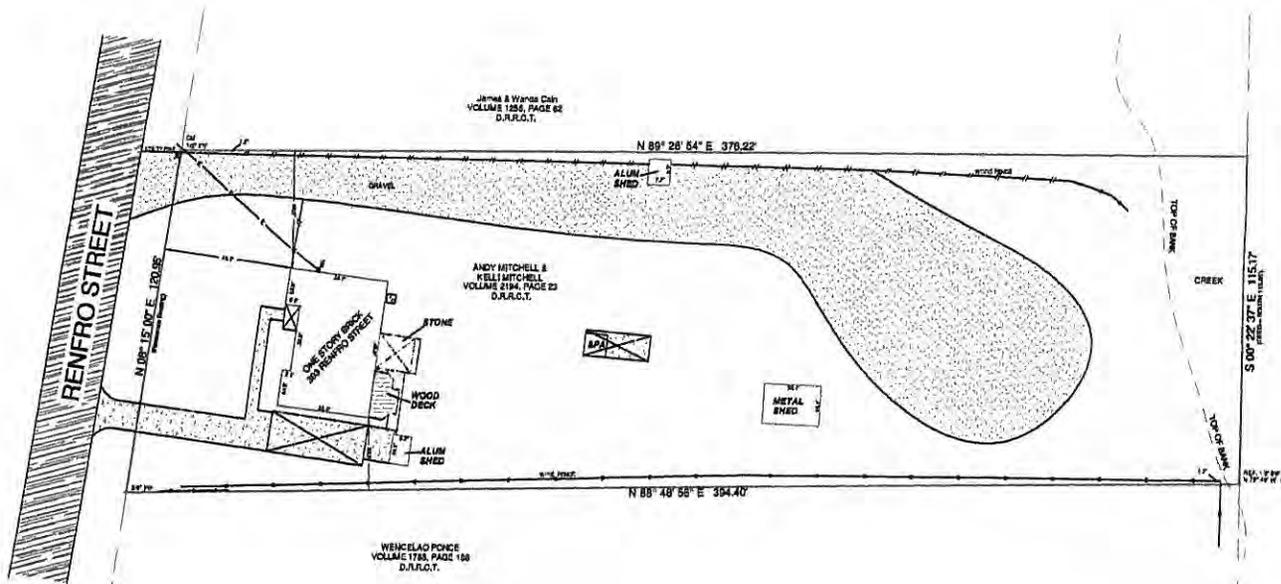
City of Rockwall, Rockwall County, Texas

Applicant seeks to amend the City of Rockwall Unified Development Code Carport Guidelines as stated below:

1. Amend “at least 20 feet behind the corner of the front façade” to 10 feet.
 - a. A screening wall exists 6 feet back from front façade to prevent visibility from a public street (reference photo).
 - b. This is not a front entrance carport. Entrance to structure uses a “J-Swing” perpendicular to the street.
2. Amend requirements to construct of materials matching those of the primary residential structure (brick veneer and asphalt roof). Proposed detached structure constructed of steel building systems and components with standing seam metal roof as a continuation of back patio cover. (Reference 3D rendering)

All other Code Carport Guidelines will be met.

Johns Copy



PROPERTY DESCRIPTION:

Being all that certain tract of parcel of land situated in the R. Baber Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, and being all that certain tract described as contained in a deed by Andy & Kelli Mitchell as recorded in Volume 2184, Page 23 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEING that a one inch iron rod found in the eastern right of way of Renfro Street, said rod and being at the southwest corner of that certain tract of land as described in a deed to Wencelao Ponce, as recorded in Volume 1788, Page 188 of said Deed Records and being the southwest corner of this tract and the aforementioned Mitchell tract.

THENCE North 08 degrees 13 minutes 00 seconds East, along the easterly right of way line of said Renfro Street, a distance of 133.88 feet to a 1/2 inch iron rod found in the northeast corner of this tract and the southwest corner of a 0.734 acre tract of land as described in a deed to James and Wanda Cain as recorded in Volume 1255, Page 62, of the Real Property Records of Rockwall County, Texas;

THENCE North 89 degrees 28 minutes 54 seconds East, along the common line between said Cain and Mitchell tracts, along the north line of the tract bearing S 241.43 feet to the west bank of a creek and continuing for a total distance of 279.23 feet to a point for the northeast corner of this tract in said creek;

THENCE South along the east line of this tract, a distance of 118.65 feet to a point for the southeast corner of this tract in said creek;

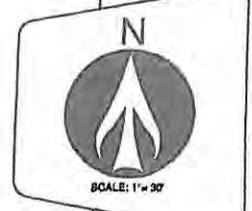
THENCE South 08 degrees 48 minutes 50 seconds West, passing at 4.10 feet, a 1/2 inch iron rod set for and on the west bank of said creek, and continuing generally along a fence line (same line shown on record) along the north line of aforementioned Ponce tract and along the south line of the tract, a total distance of 396.40 feet to the POINT OF BEGINNING and containing 1.04 acres of land.

FEMA NOTE
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NUMBER 1717777777, EFFECTIVE DATE 1/1/1977, THE SUBJECT PROPERTY APPEARS TO BE WITHIN ZONE X (NOT SHOWN ON PANEL) - DEFFED THEREIN AS OTHER ANGLE AREAS. DETERMINED TO BE OUTSIDE 50-YEAR FLOOD PLAIN. RESEARCH PHASE OF THIS SURVEY OR PROVIDED BY THE CLIENT/TITLE COMPANY LISTED HEREON. PREMIER SURVEYING MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF SUCH ITEMS AND HAS MADE NO ATTEMPT TO OBTAIN OR SHOW ANY ADDITIONAL RESTRICTIONS OR ON THIS PROPERTY PUT IN PLACE BY LOCAL MUNICIPALITIES OR ASSOCIATIONS.

GENERAL NOTE
 1) THE BASIS OF BEARINGS FOR THIS SURVEY WAS DERIVED FROM DATA PROVIDED ON THE RECORDED PLAT.
 2) THERE ARE NO VISIBLE CONFLICTS OR PROTRUSIONS, EXCEPT AS SHOWN FENCES MAY BE MEANDERING.
 3) THIS SURVEY IS FOR THE EXCLUSIVE USE OF THE NAMED CLIENT, MORTGAGE COMPANY, TITLE COMPANY, OR OTHER, AND IS MADE PURSUANT TO THAT ONE CERTAIN TITLE COMMITMENT UNDER THE OF NUMBER LISTED HEREON.
 4) AS OF THIS DATE, ALL EASEMENTS, RIGHTS-OF-WAY OR OTHER LOCATABLE MATTERS OF RECORD SHOWN ON NOTED HEREON WERE DERIVED FROM THE RECORDED PLAT; THIS IS THE BEST DEED, OR THE TITLE REPORT AND SUPPORTING DOCUMENTS, ALL SUCH ITEMS WERE OBTAINED DURING THE RESEARCH PHASE OF THIS SURVEY OR PROVIDED BY THE CLIENT/TITLE COMPANY LISTED HEREON.
 5) PREMIER SURVEYING MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF SUCH ITEMS AND HAS MADE NO ATTEMPT TO OBTAIN OR SHOW ANY ADDITIONAL RESTRICTIONS OR ON THIS PROPERTY PUT IN PLACE BY LOCAL MUNICIPALITIES OR ASSOCIATIONS.
 6) THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
 7) THIS SURVEY IS NOT INTENDED TO ADDRESS OR IDENTIFY WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE OR ANY OTHER ENVIRONMENTAL OR GEOLOGICAL ISSUE.
 8) THE EXISTING UTILITIES DEPICTED HEREON ARE BASED ON FIELD LOCATION OF VISIBLE, ABOVE GROUND EVIDENCE, UTILITIES AND OTHER MARKS APPROXIMATELY MAY EXIST THAT ARE NOT SHOWN ON THIS SURVEY. PREMIER SURVEYING IS NOT RESPONSIBLE FOR THE EXACT LOCATION OF SUBSURFACE UTILITIES, NOR FOR ANY DAMAGES BY ANY CONSTRUCTION OR EXCAVATION ON OR NEAR SAID UTILITIES.
 9) DIMENSIONS AS SHOWN IN THE LEGEND ARE NOT TO SCALE AND MAY HAVE BEEN MOVED FROM THE ACTUAL HORIZONTAL LOCATION FOR CLARITY.



CONCRETE	WOOD FENCE
IRON	CHAIN LINK FENCE
STEEL	CONCRETE FOUNDATION
WOOD	WELL - HIGH
STONE	WELL - LOW
GRAVEL	ALUMINUM FENCED WALL
	IRON WALL
	STONE WALL
	CEMENTED TELEPHONE LINE
	STAINLESS STEEL PIPE
	IRON ROD FOUND
	IRON ROD FOUND
	IRON ROD FOUND
	WOOD FENCE CORNER



Premier
 Surveying LLC

2801 Regal Road, Suite 104
 Plano, Texas 75075
 Phone: 972-612-3601
 Fax: 972-984-7021



DATE: 01/12/2011
TECH: DT
CHECKED BY: RDR
JOB #: 11-0008
GFF#: 10-108303-RW

BOUNDARY SURVEY
 303 RENFRO STREET
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

EXHIBIT "A"

Being all that certain tract of parcel of land situated In the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, and being all of that certain tract described as described In a deed to Andy & Kelli Mitchell as recorded in Volume 2194, Page 23 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows;

BEGINNING at a 3/8 inch iron rod found for corner in the easterly right of way of Renfro Street, said found rod being at the northwest corner of that certain tract of land as described in a deed to Wencelao Ponce, as recorded in Volume 1785, Page 158 of said Deed Records and being the southwest corner of this tract and the aforementioned Mitchell tract;

THENCE North 08 degrees 15 minutes 00 seconds East, along the easterly right of way line of said Renfro Street, a distance of 120.95 feet to a 1/2 inch iron rod found for the northwest corner of this tract and the southwest corner of a 0.734 acre tract of land as described in a deed to James and Wanda Cain as recorded in Volume 1255, Page 62, of the Real Property Records of Rockwall County, Texas;

Thence North 89 degrees 26 minutes 54 seconds East, along the common line between said Cain and Mitchell tracts, along the north line of this tract, passing at 341.42 feet, the west bank of a creek and continuing for a total distance of 376.22 feet to a point for the northeast corner of this tract in said creek;

THENCE South along the east line of this tract, a distance of 115.05 feet to a point for the southeast corner of this tract in said creek;

THENCE South 88 degrees 48 minutes 56 seconds West, passing at 6.10 feet, a 1/2 inch iron rod for witness on the west bank of said creek, and continuing generally along a fence line (fence meanders) along the north line of aforementioned Ponce tract and along the south line of this tract, a total distance of 394.40 feet to the POINT OF BEGINNING and containing 1.04 acres of land.









GF# 11-114445-RW

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**WARRANTY DEED WITH VENDOR'S LIEN
(Vendor's Lien Reserved and Assigned to Third Party Lender)**

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF ROCKWALL §

THAT THE UNDERSIGNED, ANDY MITCHELL A/K/A ANDREW PAUL MITCHELL AND MANDI MITCHELL, hereinafter called "Grantor," whether one or more, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable consideration to the undersigned in hand paid by the Grantee herein named, the receipt of which is hereby acknowledged, and the further consideration of the execution and delivery by the Grantee of that one certain promissory note of even date herewith in the principal sum of \$109,600.00, payable to the order of THE AMERICAN NATIONAL BANK OF TEXAS, as therein specified, providing for acceleration of maturity and for attorney's fees, the payment of which note is secured by the vendor's lien herein retained, and is additionally secured by a deed of trust of even date herewith to JOHN DAVIDSON, TRUSTEE, has GRANTED, SOLD AND CONVEYED, and by these presents does GRANT, SELL AND CONVEY unto JOHN T. CHERRY, herein referred to as the "Grantee," whose mailing address is 303 Renfro Street, Rockwall, Texas 75087, whether one or more, the real property described as follows:

SEE ATTACHED EXHIBIT "A"

This conveyance, however, is made and accepted subject to any and all restrictions, encumbrances, easements, covenants and conditions, if any, relating to the hereinabove described property as the same are filed for record in the County Clerk's Office of Rockwall County, Texas.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or

any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

The vendor's lien against and superior title to the Property are retained until each note described is fully paid according to its terms, at which time this deed will become absolute.

Current ad valorem taxes on the property having been prorated, the payment thereof is assumed by Grantee.

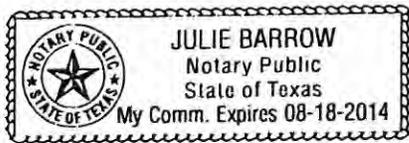
EXECUTED this 13th day of May, 2011.

Andrew Paul Mitchell
ANDREW PAUL MITCHELL

Mandi Mitchell
MANDI MITCHELL

THE STATE OF TEXAS §
 §
COUNTY OF Rockwall §

The foregoing instrument was acknowledged before me on the 13th day of May, 2011, by ANDREW PAUL MITCHELL AND MANDI MITCHELL.



Julie Barrow
NOTARY PUBLIC, STATE OF TEXAS

AFTER RECORDING, RETURN TO:
John T. Cherry
303 Renfro Street
Rockwall, Texas 75087

PREPARED IN THE LAW OFFICE OF
Shaddock Law Firm, P. C.
2400 N. Dallas Parkway, Ste. 560
Plano, Texas 75093

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CARPORT THAT DOES NOT CONFORM TO THE REQUIREMENTS AS STIPULATED BY SECTION 2.1.2, RESIDENTIAL AND LODGING USE CONDITIONS, OF ARTICLE IV, PERMISSIBLE USES, OF THE UNIFIED DEVELOPMENT CODE, BEING A 1.04-ACRE TRACT OF LAND, ZONED SINGLE-FAMILY RESIDENTIAL (SF-7) DISTRICT, AND ADDRESSED AS 303 RENFRO STREET, AND IDENTIFIED AS TRACT 47 OF THE R. BALLARD SURVEY, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A' OF THIS ORDINANCE*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by John Cherry for the approval of a Specific Use Permit (SUP) to allow for a *Carport* that does not conform to the requirements as stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*], being a 1.04-acre tract of land, zoned Single-Family Residential (SF-7) District, and identified Tract 47 of the R. Ballard Survey, Abstract No. 29, City Rockwall, Rockwall County, Texas, addressed as 303 Renfro Street and more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for a *Carport* that does not conform to the requirements stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] for a property within a Single Family Residential (SF-7) District and more specifically described as the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) granted herein and shall be subject to the conditions set forth in *Article IV, Permissible Uses, Sec. 2.1.2 Residential and Lodging Uses* of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting of this Specific Use Permit (SUP), and as may be amended in the future, and shall be subject to the additional following conditions:

- 1) The carport generally conforms to the approved site plan and building elevation depicted in *Exhibits 'B' and 'C'* of this ordinance;
- 2) The carport shall not exceed 640 square feet in area;
- 3) The carport shall not exceed a maximum height 10 feet;
- 4) The carport shall include screening of vehicles as shown in *Exhibit 'C'* of this ordinance;
- 5) The carport is subject to administrative review in the event that the *Subject Property* is sold or conveyed in any manner to another party, subdivided, or re-platted.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2016

2nd Reading: April 4, 2016

Exhibit 'A'
Legal Description

Being all that certain tract of parcel of land situated In the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, and being all of that certain tract described as described In a deed to Andy & Kelli Mitchell as recorded in Volume 2194, Page 23 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows;

BEGINNING at a 3/8 inch iron rod found for corner in the easterly right of way of Renfro Street, said found rod being at the northwest corner of that certain tract of land as described in a deed to Wencelao Ponce, as recorded in Volume 1785, Page 158 of said Deed Records and being the southwest corner of this tract and the aforementioned Mitchell tract;

THENCE North 08 degrees 15 minutes 00 seconds East, along the easterly right of way line of said Renfro Street, a distance of 120.95 feet to a 112 inch iron rod found for the northwest corner of this tract and the southwest corner of a 0.734 acre tract of land as described in a deed to James and Wanda Cain as recorded in Volume 1255, Page 62, of the Real Property Records of Rockwall County, Texas;

THENCE North 89 degrees 26 minutes 54 seconds East, along the common line between said Cain and Mitchell tracts, along the north line of this tract, passing at 341.42 feet, the west bank of a creek and continuing for a total distance of 376.22 feet to a point for the northeast corner of this tract in said creek;

THENCE South along the east line of this tract, a distance of 115.05 feet to a point for the southeast corner of this tract in said creek;

THENCE South 88 degrees 48 minutes 56 seconds West, passing at 6.10 feet, a 1/2 inch iron rod for witness on the west bank of said creek, and continuing generally along a fence line (fence meanders) along the north line of aforementioned Ponce tract and along the south line of this tract, a total distance of 394.40 feet to the POINT OF BEGINNING and containing 1.04 acres of land.

Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations



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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: April 4, 2016

SUBJECT: Z2016-007; 5205 S. FM-549 (AG to GR)

On March 31, 2016, the applicant, Scott Blackwood, requested to withdraw *Case No. Z2016-007*. According to his email (*attached in Exhibit 'A'*) the reason for the request is due to the interest of a perspective buyer for the property. Section 5, *Application Withdrawal*, of the Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC), states that any case that has been published in the paper and notifications of a public hearing sent out must be placed on the public hearing agenda and acted upon by the applicable body. Should the City Council have any questions staff will be available at the meeting.

Exhibit 'A': Applicant's Letter

From: [Scott Blackwood](#)
To: [Miller, Ryan](#)
Subject: Case #Z2016-007 - Scott W. Blackwood
Date: Wednesday, March 30, 2016 5:55:48 PM

Ryan,

First, let me extend our thanks to you and your staff for the diligent and professional manner in which our case has been handled. My wife and I believe our city is blessed to have such competent and pleasant people who have been charged with the difficult tasks you face and maneuver through on a daily basis. Rockwall is a wonderful city, largely due to the foresight and careful planning of its tremendous growth. Again, thanks to you all.

Due to the interest in and the contract for our property which sprang up almost immediately after our rezoning application was submitted, we are respectfully asking that our application be withdrawn. Since ours is not the only tract the buyers are working on, in this way, we can "step aside", allow them to assemble land parcel(s) they are purchasing, and bring their complete plan and application before you and the city council at the proper time.

Sincerely,
Scott & Glenita Blackwood
5205 South FM 549
Rockwall, TX 75032
972-768-4835

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: Scott W. Blackwood

AGENDA ITEM: Z2016-007; 5205 S. FM-549 (AG to GR)

SUMMARY:

Hold a public hearing to discuss and consider a request by Scott W. Blackwood for the approval of a zoning change from Agricultural (AG) District to a General Retail (GR) District on a 12.493-acre tract of land identified as Tract 17-14 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, located west of the intersection of SH-205 [S. Goliad Street] and S. FM-549, addressed as 5205 S. FM-549, and take any action necessary.

BACKGROUND INFORMATION AND PURPOSE:

The subject property is a 12.493-acre tract of land located on the south side of FM-549, approximately 630-feet from the intersection of FM-549 and SH-205. On January 21, 2014, the subject property was voluntarily annexed into the city under *Case No. A2013-001 (Ordinance No. 14-04)* and issued an Agricultural (AG) District zoning designation. On June 16, 2014, the City Council denied *Case No. Z2014-016*, which was a request by the applicant to rezone the property to a Planned Development District for limited commercial/retail land uses.

The intent of the current request is to rezone the property from an Agricultural (AG) District to a General Retail (GR) District. According to a letter provided by the applicant, the reason the zoning change is being requested is to facilitate the sale of the property. In addition, the applicant has stated that the property is no longer suitable for residential use due to 1) the adjacent commercial property to the northeast, 2) increasing traffic along FM-549, and 3) the traffic noise generated from FM-549. Currently, the 12.493-acre tract of land is being utilized for residential land uses and has an existing single family home situated on it.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 7.32-acre tract of land zoned General Retail (GR) District and *Specific Use Permit No. 144 (S-144) [Ordinance No. 16-23]* allowing a private baseball training facility. Currently, the property has two (2) private baseball fields (*infields only*), an indoor baseball training facility, and a residential structure that is being utilized as an office building. To the northeast of the subject property is a residential home situated on a 6.0-acre tract of land zoned Agricultural (AG) District. Beyond these uses are S. Goliad Street [*SH-205*] and S. FM-549.

South: Directly south of the subject property is a residential home situated on a 12.5-acre tract of land. Beyond this is a 134.33-acre tract of vacant land that is a portion of a larger 254.082-acre tract of land. Both properties are zoned Agricultural (AG) District.

- East:** Directly east of the subject property is remainder of the 134.33-acre tract of vacant land that is a portion of a larger 254.082-acre tract of land zoned Agricultural (AG) District. Beyond this property is S. Goliad Street [SH-205].
- West:** Directly west of the subject property is S. FM-549 followed by the Oaks of Buffalo Way, which is a 109.57-acre development containing 58 single-family homes that are zoned Single Family Estate 1.5 (SFE-1.5) District.

UNIFIED DEVELOPMENT CODE:

According to the purpose statements stipulated in Section 4.4, *General Retail (GR) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the General Retail (GR) District is meant to be utilized as a district that buffers residential areas from more intense commercial districts. The UDC goes on to state that this designation is appropriate for properties that are: 1) in a close proximity to an intersection or major thoroughfare/arterial; 2) in areas where there is increased water, fire protection, wastewater and drainage capacity; and 3) oriented in a way so that commercial traffic does not flow through residential neighborhoods or create increased traffic congestion/adverse traffic impacts. In this case, the applicant’s property is situated directly adjacent to FM-549, west of the intersection of FM-549 and SH-205, and based on the uses permitted within the district should not create a negative impact with regard to traffic circulation in the area. The property does have the ability to provide appropriate fire protection and drainage capacity; however, utilities will need to be extended to the site prior to development. This will include the extension of a 12-inch waterline approximately 1,300-feet to the eastern property line and the potential extension of wastewater lines and the construction of an off-site lift station. Alternatively, the applicant could request a waiver from the City Council to allow the installation of an *On-Site Sewage Facility* (OSSF). With this being said, the applicant has stated the intent of rezoning request is for the purpose of conveying the property and that there is no immediate plans for development.

With regard to land uses the UDC states the General Retail (GR) District, “...is a light retail zone, and it is intended that limited commercial uses fall in this district. Since the zone will be located close to residential areas, the development standards are stringent and require as high a standard of development as the RO [*Residential Office*] and NS [*Neighborhood Services*] Districts.” Staff has provided a list of the land uses permitted within the General Retail (GR) District in the attached packet. In addition, the following is a summary of the minimum development standards for a General Retail (GR) District.

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>
<i>Minimum Lot Width</i>	<i>60-Feet</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet (0-Feet w/ Fire Rated Wall)</i>
<i>Minimum Side Yard Setback</i>	<i>15-Feet (0-Feet w/ Fire Rated Wall)</i>
<i>Maximum Height</i>	<i>60-Feet (Greater Than 36-Feet Requires an SUP)</i>
<i>Max Lot Coverage</i>	<i>40%</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>
<i>Floor Area Ratio</i>	<i>2:1</i>
<i>Maximum Building Size</i>	<i>25,000 SF (SUP for Greater Than 25,000 SF)</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Map, adopted with the Comprehensive Plan, designates the subject property for *Low Density Residential* land uses. Should the City Council approve the applicant's request, staff has included a condition of approval that would amend the Future Land Use Map to reflect the proposed change in land use from a *Low Density Residential* designation to a *Commercial* designation.

NOTIFICATION:

On February 26, 2016, staff mailed 19 notices to property owners and residents within 500-feet of the subject property. Staff also sent a notice to the Oaks of Buffalo Way Homeowner's Associations (HOA), which is the only HOA located within 1,500 feet of the subject property. Additionally, staff posted a sign along FM-549, which is the only street frontage adjacent to the subject property as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had received two (2) notices in opposition and one (1) notice in support.

According to Section 8.4, *Protest of Proposed Change in Zoning*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code in the event that written and signed protest is received by owners representing 20% or more of the area of the lots or land within 200-feet of the subject property in such zoning change the request shall require a favorable vote of three-fourths ($\frac{3}{4}$) of all eligible member of the City Council. In this case, the two (2) notices received in opposition represent ~26.90% of the land area within 200-feet of the subject property. Therefore this case will require a three-fourths ($\frac{3}{4}$) majority vote to be approved by the City Council. *Staff has provided a map showing the support/opposition for this case in the attached packet.*

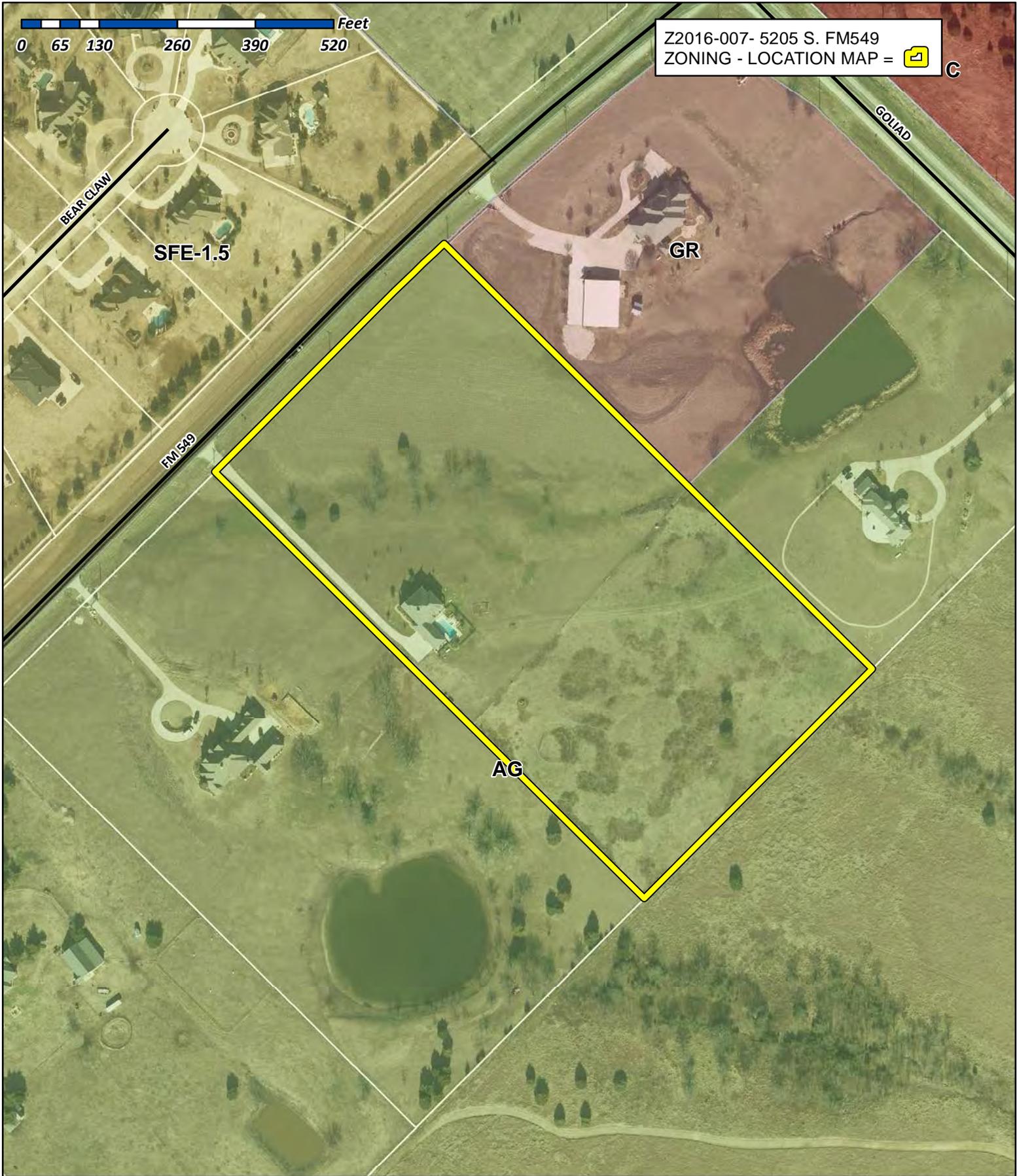
RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a General Retail (GR) District then staff would propose the following conditions of approval:

- 1) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a *Low Density Residential* designation to a *Commercial* designation; and,
- 2) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 29, 2016, the Planning and Zoning Commission approved a motion to deny the proposed zoning change by a vote of 6-1, with Commissioner McCuthcheon dissenting.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

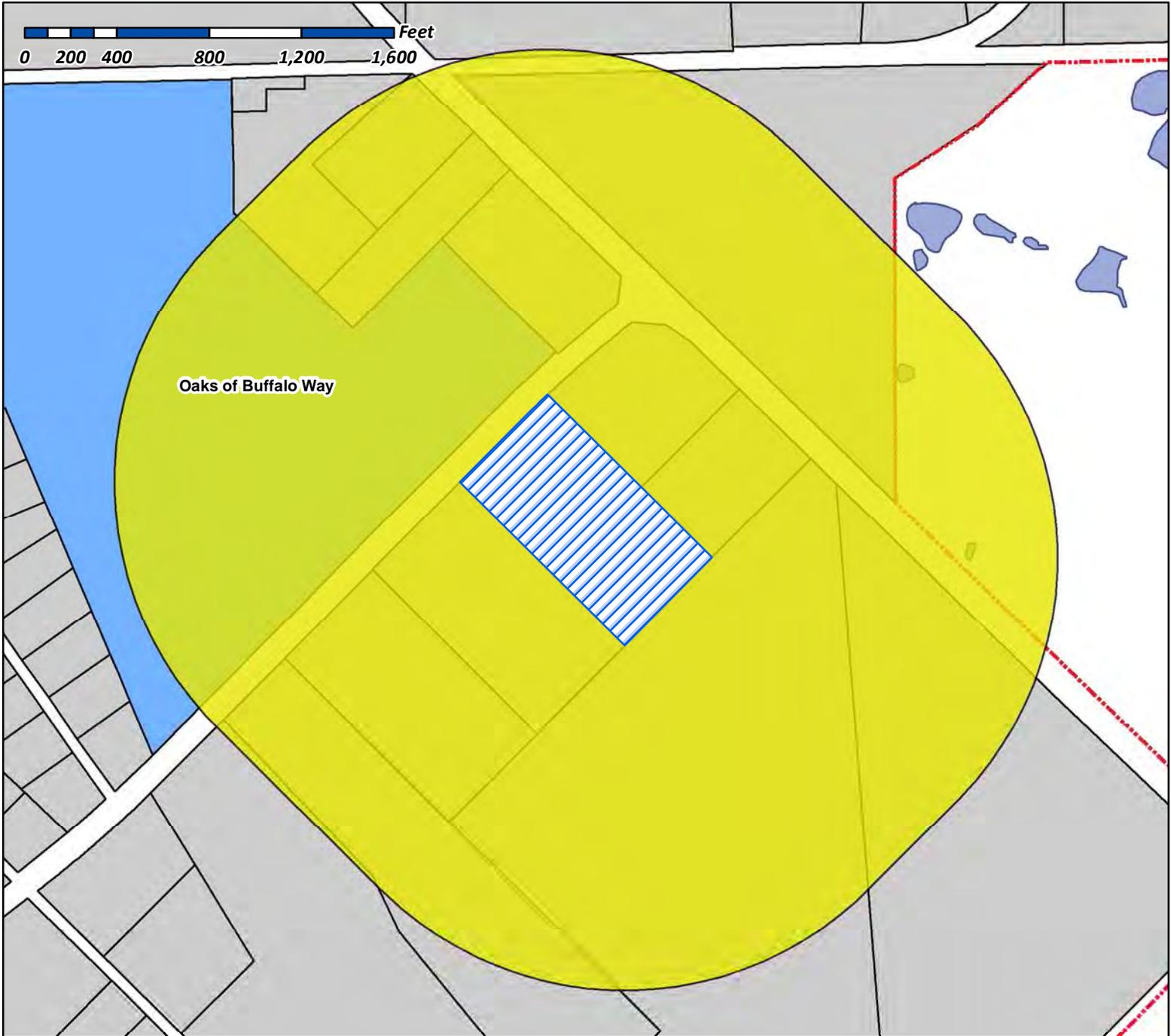




City of Rockwall

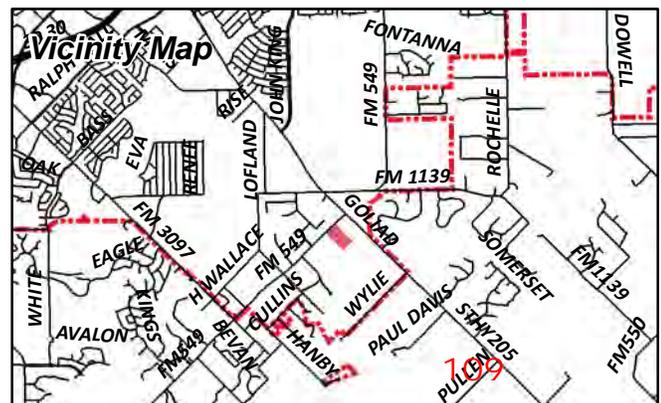
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-007
Case Name: 5205 S. FM549
Case Type: Zoning
Zoning: General Retail (GR)
Case Address: 5205 S. FM549

Date Created: 02/15/2016
 For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#)
Subject: Neighborhood Notification Program: Notice of Zoning Request
Date: Tuesday, March 08, 2016 4:36:03 PM
Attachments: [HOA Map \(02.16.2016\).pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner on *February 26, 2016* announcing specific public hearing dates; however please note the new dates for the public hearings as follows: **Planning and Zoning Commission March 29, 2016 and City Council April 4, 2016**. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>
This change is the result of a lack of a quorum for tonight's previously scheduled meeting.

Z2016-007

Hold a public hearing to discuss and consider a request by Scott W. Blackwood for the approval of a zoning change from Agricultural (AG) District to a General Retail (GR) District on a 12.493-acre tract of land identified as Tract 17-14 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, located west of the intersection of SH-205 [S. Goliad Street] and S. FM-549, addressed as 5205 S. FM-549, and take any action necessary.

Laura Morales

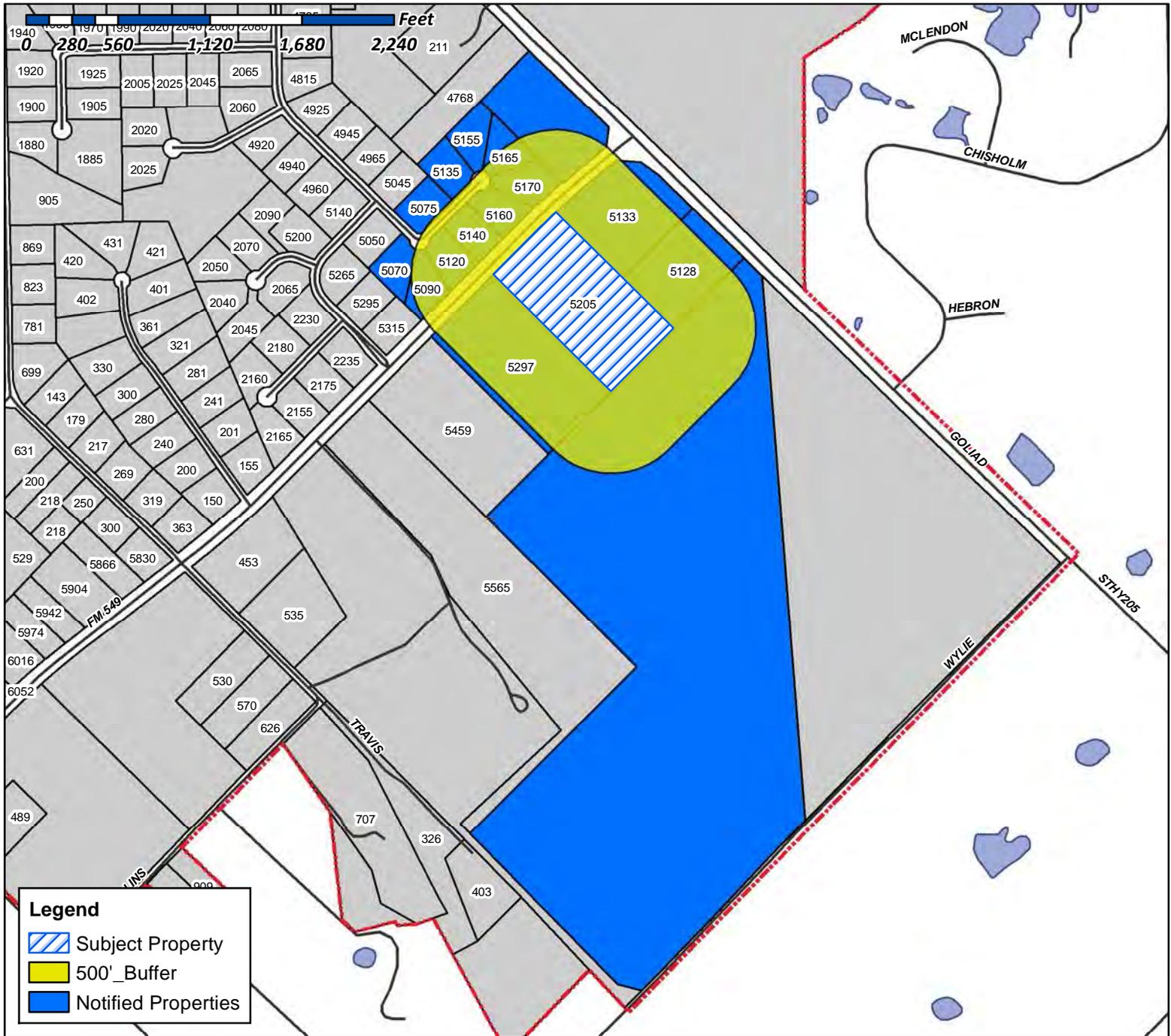
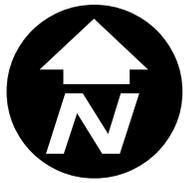
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



City of Rockwall

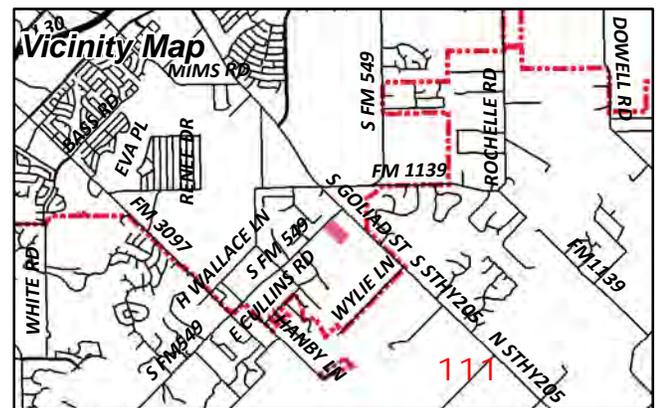
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2016-007
Case Name: 5205 S. FM549
Case Type: Zoning
Zoning: General Retail (GR)
Case Address: 5205 S. FM549

Date Created: 02/15/2016
For Questions on this Case Call (972) 771-7745



J BR2 LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

HOME BOY ENTERPRISES INC
460 LAWRENCE DR
HEATH, TX 75032

AMYX LEIF AND TERRY LORENZ
5070 BEAR CLAW LN
ROCKWALL, TX 75032

SANDERS SABRINA SMITH AND CLINT JASON
5075 BEAR CLAW LN
ROCKWALL, TX 75032

JONAH NELSON O
5090 BEAR CLAW LN
ROCKWALL, TX 75032

COX ANTHONY S & DANNAI M
5120 BEAR CLAW LN
ROCKWALL, TX 75032

ZEB MOHIUDIN DR &
NASREEN ZEB
5128 S STATE HIGHWAY 205
ROCKWALL, TX 75032

CURRENT RESIDENT
5133 S FM549
ROCKWALL, TX 75032

BALEY ROBIN E
5135 BEAR CLAW LANE
ROCKWALL, TX 75032

USMAN ASIM & HUMA RASHID
5140 BEAR CLAW LN
ROCKWALL, TX 75032

CURRENT RESIDENT
5155 BEAR CLAW LN
ROCKWALL, TX 75032

PHILIP LIVING TRUST
5160 BEAR CLAW LN
ROCKWALL, TX 75032

YOUNG BRIAN E & PATTI D
5165 BEAR CLAW LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
5170 BEAR CLAW LN
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G
5205 S FM 549
ROCKWALL, TX 75032

ENLOE THOMAS AND NICOLE
5297 FM 549
ROCKWALL, TX 75032

THURMOND KATHRYN ESTATE
KENN KAPP INDEPENDENT EXECUTOR
5606 POLO RD
COLLEGE STATION, TX 77845

ROCKWALL HIGHGATE LTD
C/O SCOTT ASBURY
6210 PRESTON CREEK DR
DALLAS, TX 75240

GROOM ROGER
PO BOX 1150
MABANK, TX 75147



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Updated Notice

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2016-007: 5205 S. FM549

Hold a public hearing to discuss and consider a request by Scott W. Blackwood for the approval of a zoning change from Agricultural (AG) District to a General Retail (GR) District on a 12.493-acre tract of land identified as Tract 17-14 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, located west of the intersection of SH-205 [S. Goliad Street] and S. FM-549, addressed as 5205 S. FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/29/2016 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 4/4/2016 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **4/4/2016** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2016-007: 5205 S. FM549

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2016-007: 5205 S. FM549

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I SPOKE W/ MR BLACKWOOD AND OFFICER
HOLIF HE WOULD ALLOW GRANT BALLS
ON HIS PROPERTY. HE SAID NO. ALSO W/O SPECIFIC
USE
WHAT
WILL
GO
THROU

Name:

DAN BOBST

Address:

5133 FM 549

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Zoning Case #Z2016-007 - 5205 FM 549. - Support
Date: Tuesday, March 08, 2016 8:27:41 AM

From: Scott Asbury [REDACTED]
Sent: Monday, March 07, 2016 4:34 PM
To: Planning
Subject: Zoning Case #Z2016-007 - 5205 FM 549. - Support

Rockwall City Council,

As the owner of the property at 5565 FM 549 and an adjacent property owner, I would like to support the change in zoning case #Z2016-007 at 5205 FM549.

I believe that the intersection of 549/205 is a critical area for the future development of Rockwall, south of I30, and a key to keeping property values up and new development tax dollar from going just across the city line to Heath and MC.

Sincerely,

Scott Asbury
Rockwall HighGate Ltd.
5565 FM 549
Rockwall, TX
214-566-8699

Case No. Z2016-007: 5205 S. FM549

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

THIS IS RESIDENTIAL AREA

Name: MOHINDER ZEB. M.D

Address: 5128 S. HOY 205, ROCKWALL, TX. 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

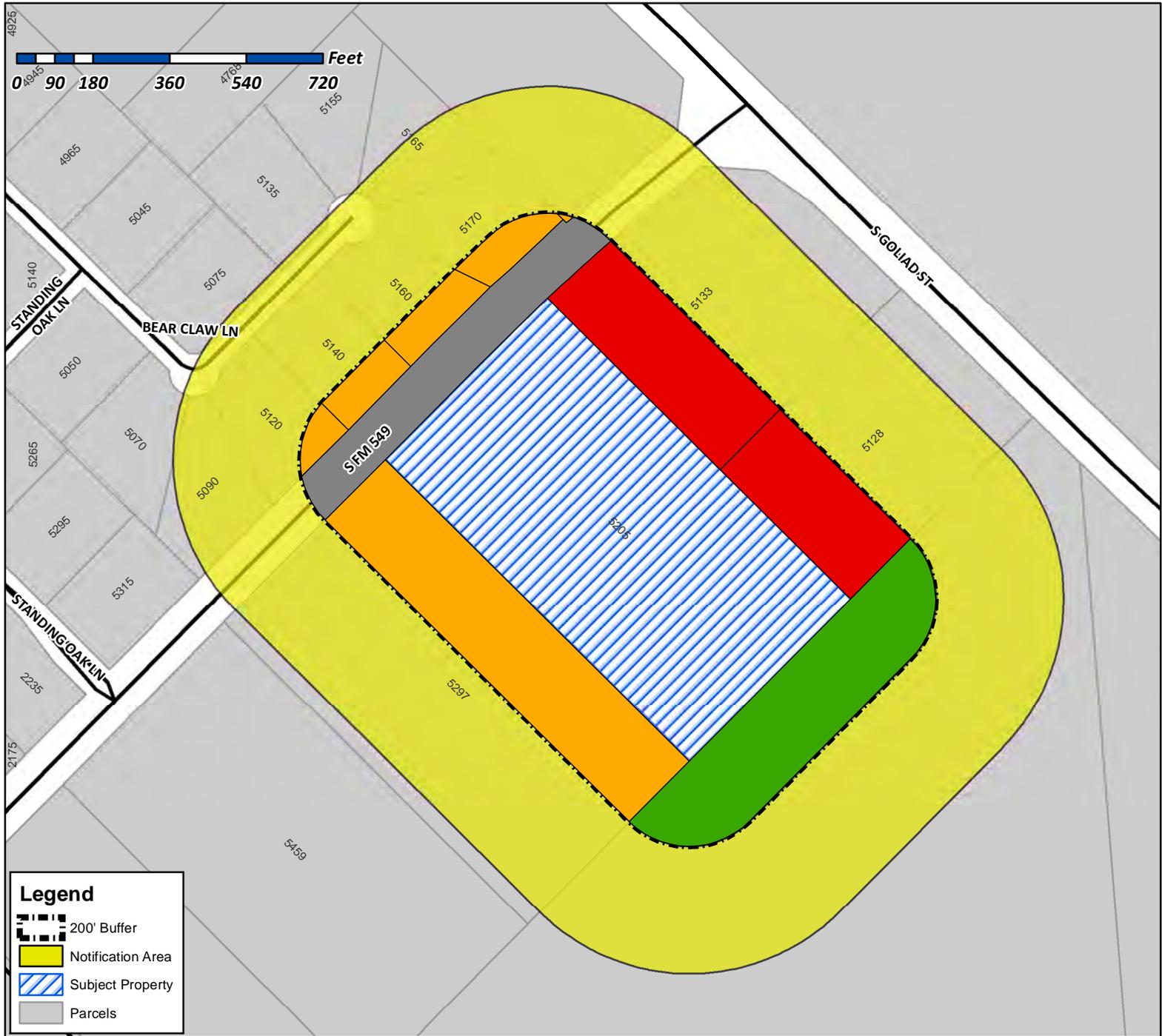
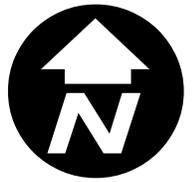
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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Z2016-007 - 5205 S FM 549

- AGAINST 26.90%
- FOR 22.92%
- NO RESPONSE 36.41%
- ROW 13.77%



Date Created: 03/23/2016

For Questions on this Case Call (972) 771-7745

February 15, 2016

Mr. & Mrs. Scott W. Blackwood
5205 South FM 549
Rockwall, Texas 75032

RE: ZONING CHANGE REQUEST
A0080 TRACT 17-14, ACREAGE: 12.493
5205 SOUTH FM 549
ROCKWALL, TEXAS 75032

Rockwall City Council
835 Goliad Street
Rockwall, Texas 75087

Dear Sirs:

We are making a formal request for rezoning of our property, indicated above, from Agricultural (Ag) District to General Retail (GR) District.

After numerous attempts at selling our home and property, two or three common concerns continue to dissuade buyers from purchasing our property as a homesite. The first concern is the adjacent property, which has been zoned commercial (General Retail). It is currently being used for multiple business and recreational purposes, both indoors and out, and has the potential for other future business uses, which would further harm the sale of our property to another homebuyer. Secondly, increasing traffic along FM 549 in front of our home often makes access into and out of our property difficult and dangerous, especially when trying to pull out onto the road with a line of vehicles blocking the view of approaching traffic from Hwy 205. The third most common concern is noise levels, primarily from the highways, which have dramatically increased as more and more development and growth have occurred in our area during the 13 years we've lived here.

In May, 2014, we applied for a zoning change and were denied because of opposition from neighbors who are no longer here and an opinion of the city council that "the time was not right" for the change. Our new neighbors, however, have already expressed they would not oppose the zoning change.

As previously mentioned, we have tried to sell our home numerous times over the past seven years, and prospective buyers and realtors alike have given our home excellent reviews, but not even updates to the home and listing it well below market value have been able to overcome the unavoidable negatives of a rapidly developing area. The FM 549 extension through Hwy 205, with commercial properties on all four immediate corners, proposed road widening projects, and adjacent commercial property all indicate to us that the time for the zoning of our property to be changed to General Retail is finally right.

Sincerely,

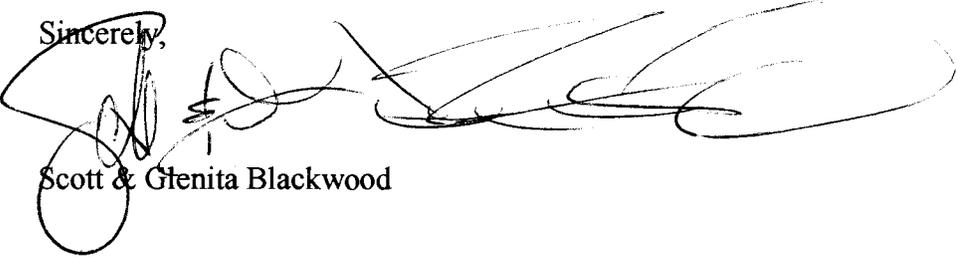

Scott & Glenita Blackwood

Exhibit 'A':
Legal Description

BEING 12.498 acres of land situated in the W.W. FORD SURVEY, ABSTRACT No. 80 and being a part of a tract of land described in a deed to Mark Lanning as recorded in Volume 983, Page 114, Real Estate Records, ROCKWALL County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found on the Southeast right of way line of F.M. Road No. 549, said iron rod being the North corner of a tract of land described in a deed to C. Van Walker et ux Carol Miller Walker as recorded in Volume 1202, Page 202 of said Real Estate Records;

THENCE North 44 deg 47 min 35 sec East, along the Southeast right of way line of F.M. Road No. 549, a distance of 322.90 feet to a 1/2 inch iron rod found for corner, said iron rod being the beginning of a curve to the right having a central angle of 01 deg 57 min 18 sec, radius 6337.94 feet, and chord bearing North 45 deg 52 min 08 sec East, 216.26 feet;

THENCE continuing along the Southeast right of way line of said F.M. Road No. 549, an arc distance of 216.26 feet to a 1/2 inch iron rod found, said iron rod being the West corner of a tract of land described in a deed to Kenneth M. Urban and wife, Patricia Urban as recorded in Volume 1252, Page 300 of said Real Estate Records;

THENCE South 45 deg 12 min 25 sec East, along the Southwest line of said Urban's tract, and the Southwest line of a tract of land described in a deed to Dr. Mohiudin Zeb and Nasreen Zeb as recorded in Volume 1059, Page 14, of said Real Estate Records, a distance of 1005.94 feet to a 1/2 inch iron rod found for corner, said iron rod being the South corner of said Zeb's tract;

THENCE South 44 deg 47 min 35 sec West, a distance of 539.11 feet to a 1/2 inch iron rod found for corner, said iron rod being the East corner of aforesaid Walker's tract;

THENCE North 45 deg 12 min 25 sec West, along the Northeast line of said Walker's tract a distance of 1010.00 feet to the POINT OF BEGINNING and containing 12.493 acres.

Permitted Land Uses in a General Retail (GR) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Rural & Animal-Related	
Agricultural Uses on Un-Platted Land	P
Animal Boarding/Kennel without Outside Pens	S
Animal Clinic for small animals, no outdoor pens ¹	P
Animal Hospital, Clinic	S

Residential & Lodging ¹	
Accessory Building ¹	P
Caretakers Quarters/Domestic or Security Unit	P
Convent or Monastery	P
Garage	A
Hotel or Motel	S
Hotel, Residence	S
Residential Care Facility	S

Institutional & Community Service	
Assisted Living Facility ¹	P
Blood Plasma Donor Center	P
Cemetery/ Mausoleum	P
Church/House of Worship ¹	P
Convalescent Care Facility/Nursing Home ¹	P
Day Care (7 or More Children) ¹	P
Emergency Ambulance Services, Ground	P
Group or Community Home ¹	P
Government Facility	P
Hospice	P
Hospital	P
Library, Art Gallery or Museum (Public)	P
Mortuary or Funeral Chapel	P
Post Office, Local Service	P
Public or Private School, Primary ¹	P
Public or Private School, Secondary ¹	P
Public or Private School Temporary Education Building ¹	S
Social Service Provider, except Rescue Mission or Homeless Shelter	S

Office & Professional	
Financial Institution with Drive-Through ¹	P
Financial Institution without Drive-Through	P
Office, General	P
Office Building, less than 5,000 Sq. Ft.	P
Office Building, 5,000 Sq. Ft. or more	P

Recreation, Entertainment & Amusement	
Billiard Parlor or Pool Hall ¹	S
Carnival, Circus, or Amusement Ride, Temporary ¹	P
Commercial Amusement/ Recreation (Inside) ¹	S
Commercial Amusement/ Recreation (Outside)	S
Community or Recreation Club, Public or Private (Accessory)	P
Country Club, Private	S
Golf Driving Range	S
Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary ¹	P
Gun Club, Skeet or Target Range (Indoor)	S



Permitted Land Uses in a General Retail (GR) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Health Club	P
Private Club, Lodge or Fraternal Organization	P
Public Park or Playground	P
Tennis Courts (Not accessory to a public or private club)	S
Theater	S

Retail & Personal Services	
Antique/Collectible Store	P
Astrologer, Hypnotist, or Psychic Art and Science	P
Banquet Facility	P
Business School	P
Catering Service	P
Christmas Tree Sales Lot & Similar Uses, Temporary ¹	P
Copy Center	P
Display, Incidental ¹	P
Garden Supply/Plant Nursery	P
General Personal Service	P
General Retail Store	P
Hair Salon, Manicurist	P
Laundry, Drop-off/Pickup	P
Laundry, Self Service	P
Massage Therapist	P
Museum or Art Gallery (Private)	P
Night Club, Discoteque, or Dance Hall	S
Pet Shop	P
Private Club ¹	P
Real Estate Sales Office, On-site, Temporary ¹	P
Rental Store, w/o Outside Storage and Display	S
Restaurant, Less than 2000 Sq. Ft., w/ Drive-Thru or Drive-in ¹	S
Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru or Drive-in	P
Restaurant, 2000 Sq. Ft. or more, w/ Drive-Thru or Drive-in ¹	S
Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru or Drive-in	P
Restaurant with accessory Private Club or Brew Pub ¹	P
Retail store with gasoline product sales limited to 2 dispensers and 4 vehicles	P
Retail store with more than 2 dispensers	S
Secondhand Dealer	P
Studio - Art, Photography or Music	P
Tailor, Clothing or Apparel Shop	P

Commercial & Business Services	
Electrical, Watch, Clock, Jewelry & Similar Repair	P
Locksmith	P
Shoe and Boot Repair and Sales	P
Trade School	S
Temporary On-site Construction Office ¹	P

Auto & Marine-Related	
Auto Repair Garage, Minor ¹	S
Car Wash/Auto Detail ¹	S
Car Wash, Self Service	S
Parking Lot, non-commercial	P
Service Station ¹	P



Permitted Land Uses in a General Retail (GR) District

Date: March 21, 2014

P: Permitted by Right; S: Permitted by Specific Use Permit; A: Permitted Accessory to the Primary Use; Blank: Not Permitted; ¹: Additional Requirements

Industrial & Manufacturing	
Asphalt or Concrete Batch Plant, Temporary ¹	P
Mining and Extraction (Sand, Gravel Oil & other) ¹	S
Utilities, Communications & Transportation	
Antenna, Accessory ¹	P
Antenna, Commercial ¹	S
Antenna, Dish ¹	P
Antenna, Commercial, Free-Standing ¹	S
Antenna, Commercial, Mounted ¹	S
Helipad	S
Utilities (Non-Municipally owned or Controlled), including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	S
Municipally Owned or Controlled Facilities, Utilities and Uses	P
Private Streets	S
Radio Broadcasting	P
Railroad Yard or Shop	S
Recording Studio	S
Satellite Dish ¹	P
Transit Passenger Facility	S
TV Broadcasting & Other Communication Service	S
Utilities Holding a Franchise from City of Rockwall	S
Utility Installation, Other than Listed	S
Utility/ Transmission Lines	S
Wireless Communication Tower	S



CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A GENERAL RETAIL (GR) DISTRICT ON A 12.493-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17-14 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBITS 'A' & 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Scott W. Blackwood for a change in zoning from an Agricultural (AG) District to a General Retail (GR) District on a 12.493-acre tract of land identified as Tract 17-14 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A' & 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agriculture (AG) District to a General Retail (GR) District; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *General Retail (GR) District* in *Section 1.1, "Use of Land and Buildings,"* of *Article IV, "Permissible Uses"* and *Section 4.4, "General Retail (GR) District,"* of *Article V, "District Development Standards,"* of the *Unified Development Code* of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

Section 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18TH DAY OF APRIL, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 4, 2016

2nd Reading: April 18, 2016

Exhibit 'A':
Legal Description

BEING 12.498 acres of land situated in the W.W. FORD SURVEY, ABSTRACT No. 80 and being a part of a tract of land described in a deed to Mark Lanning as recorded in Volume 903, Page 114, Real Estate Records, ROCKWALL County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found on the Southeast right of way line of F.M. Road No. 549, said iron rod being the North corner of a tract of land described a deed to C. Van Walker et ux Carol Miller Walker as recorded in Volume 1202, Page 202 of said Real Estate Records;

THENCE North 44 deg 47 min 35 sec East, along the Southeast right of way line of F.M. Road No. 549, a distance of 322.90 feet to a 1/2 inch iron rod found for corner, said iron rod being the beginning of a curve to the right having a central angle of 01 deg 57 min 18 sec, radius 6337.94 feet, and chord bearing North 45 deg 52 min 08 sec East, 216.26 feet;

THENCE continuing along the Southeast right of way line of said F.M. Road No. 549, an arc distance of 216.26 feet to a 1/2 inch iron rod found, said iron rod being the West corner of a tract of land described in a deed to Kenneth M. Urban and wife, Patricia Urban as recorded in Volume 1252, Page 300 of said Real Estate Records;

THENCE South 45 deg 12 min 25 sec East, along the Southwest line of said Urban's tract, and the Southwest line of a tract of land described in a deed to Dr. Mohiudin Zeb and Nasreen Zeb as recorded in Volume 1059, Page 14, of said Real Estate Records, a distance of 1005.94 feet to a 1/2 inch iron rod found for corner, said iron rod being the South corner of said Zeb's tract;

THENCE South 44 deg 47 min 35 sec West, a distance of 539.11 feet to a 1/2 inch iron rod found for corner, said iron rod being the East corner of aforesaid Walker's tract;

THENCE North 45 deg 12 min 25 sec West, along the Northeast line of said Walker's tract a distance of 1010.00 feet to the POINT OF BEGINNING and containing 12.493 acres.

Exhibit 'B':
Zoning Exhibit



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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: William Laurence

AGENDA ITEM: **MIS2016-005**; *Masonry Exception (508 St. Mary's Street)*

SUMMARY:

Discuss and consider a request by William Laurence for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code, for a 0.17-acre parcel of land identified as Lot 1, Block 1, St. Mary's Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 508 St. Mary's Street, and take any action necessary.

CHARACTERISTICS OF REQUEST:

On February 1, 2016, City Council approved an exception to the masonry requirements to allow the primary structure to be re-clad in 100% hardi-board siding. Subsequently, the applicant has found a different product that he feels better suits the historic nature of the home. The applicant would like to modify his original request and instead of using hardi-board as originally requested, the applicant would like to use a lap siding that is made from 100% wood. The applicant feels that using a material such as hardi-board would change the historical look of the home.

According to Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code the minimum masonry (*i.e. brick, stone -- natural, cast or cultured -- glass block, tile and/or CMU*) requirement for exterior walls on structures that are 120 square feet or greater is 80%; with a maximum of 50% of this masonry requirement being permitted to be Hardy Plank®, stucco or a similar cementaceous material. Additionally, the code states that, "(e)xceptions to these requirements ... may be permitted on a case-by-case basis by the [*city*] council upon submission and approval of elevation drawings of the subject structure, and materials samples." The applicant has previously submitted building elevations and a site plan showing the proposed single-family home after the addition [*MIS2016-002*], however, since the request has been modified, a material sample has been provided. Additionally, the applicant has stated in a letter submitted to staff that the purpose of requesting the masonry exception is to match the materials and architectural style of the adjacent properties. Staff should note that all the structures on the adjacent properties utilize 100% vinyl/wood siding or a similar cementaceous lap siding material. The subject property is located on the south side of St. Mary's Street, west of the intersection of St. Mary's Street and Davy Crockett Street, and is addressed as 508 St. Mary's Street.

RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request staff would recommend the following conditions:

- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other

applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS:

On March 29, 2016, the Planning and Zoning Commission's motion to recommend approval of the special request to allow for a residential structure to be re-clad in 100% wood lap siding passed by a vote of 7 to 0.



MIS2016-002 - 508 ST. MARY'S STREET
 MISCELLANEOUS - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



01/13/2016

City of Rockwall

Ryan Miller, AICP, Dir. Of Planning/Zoning

385 S. Goliad

Rockwall, Texas 75087

To the Planning Department,

My wife and I have a home located at 508 St. Marys Street. Over the last 2 years, the house has been completely renovated. We would like to submit the accompanying plans for further expansion of the home. Currently the home is covered by vinyl siding. The new addition, as I understand, cannot be covered in the same material. We would like to request a variance from the city to cover the addition and home with hardiboard material that would be painted. The neighborhood does not have any brick or stone homes in the immediate area. This would blend and add consistency to the appearance of our neighborhood. Thank you for your consideration.



William Laurence

508 St. Marys Street

Rockwall, Tx 75087

GENERAL SITE NOTES

1. THE ARCHITECTURAL DRAWINGS GRAPHICALLY INDICATE APPROXIMATE LOCATION OF BUILDINGS, PARKING AND DRIVES ONLY.
2. BUILDER/CONTRACTOR TO VERIFY THE SITE UTILITIES AND LANDSCAPE REQUIREMENTS TO MEET THE LOCAL ZONING CODES.
3. BUILDER/CONTRACTOR TO VERIFY VICINITY MAP, LEGAL DESCRIPTION, BUILDING FINISH FLOOR HEIGHTS AND LOCATION OF REQUIRED RETAINING WALLS.
4. ALL DIMENSIONS INDICATED ON THIS PLAN ARE FOR REFERENCE ONLY. BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONAL CONTROLS, GRADING, DRAINAGE & UTILITY WORK.
5. PROJECT IS TO BE DEVELOPED AND COMPLETED IN A SINGLE PHASE.
6. ALL SURFACE MATERIALS SHALL MEET CITY OF ROCKWALL, TEXAS PUBLIC WORKS DEPT MINIMUM STANDARDS.
7. ALL LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH ALL STANDARDS AND REQUIREMENTS SET FORTH BY THE CITY OF ROCKWALL, TEXAS AND LOCAL AMENDMENTS.
8. ALL SIGNS, LIGHTING, LUMINARIES AND EXTERIOR SPEAKERS SHALL MEET CITY ORDINANCES.
9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE & OTHER REQUIREMENTS AND ORDINANCES OF THE CITY OF ROCKWALL, TEXAS.
10. BUILDING ADDRESS SIGNS AND DIRECTIONAL SIGNS SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS.
11. ALL BUILDINGS ON SITE SHALL MEET ALL SETBACK REQUIREMENTS DEPICTED IN THE LOCAL SUBDIVISION REQUIREMENTS, CODES COVENANTS AND RESTRICTIONS (CCRS).
12. THE BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM HEIGHT DEPICTED IN THE LOCAL SUBDIVISION REQUIREMENTS, CODES COVENANTS AND RESTRICTIONS (CCRS).

SITE DATA / ZONING / CODE INFORMATION

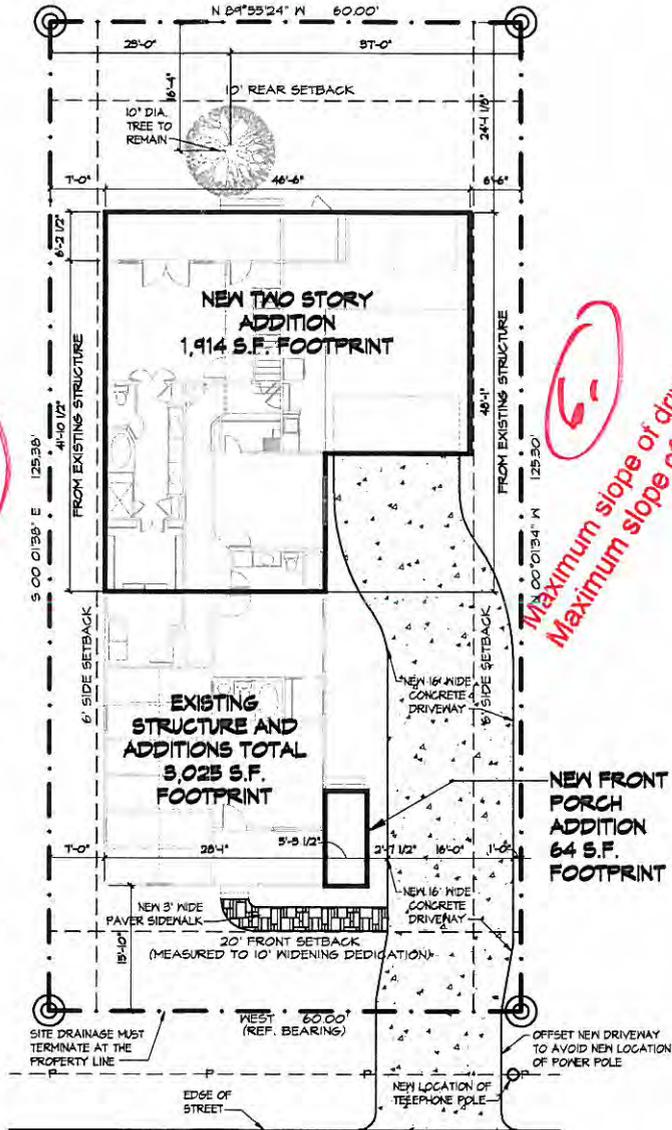
SITE LOCATION		508 ST. MARY STREET	
BUILDING CODE		2009 IRC	
ZONING		SINGLE FAMILY RESIDENTIAL (SF-1) DISTRICT	
ZONING/CODE DESCRIPTION	REQUIRED	PROVIDED	
MIN. LOT AREA	7,000 SQ. FT.	7,500 SQ. FT.	
MAX. NO. OF SINGLE FAMILY DETACHED DWELLINGS PER LOT	1	1	
MIN. FLOOR AREA	1,100 SQ. FT.	4,146 SQ. FT.	
MIN. LOT FRONTAGE	60 FT.	60 FT.	
MIN. LOT DEPTH	100 FT.	125 FT.	
MIN. FRONT YARD SETBACK	20 FT.	20 FT.	
MIN. REAR YARD SETBACK	10 FT.	20 FT.	
MIN. SIDE YARD SETBACK	6 FT.	6 FT.	
MIN. DIST. BETWEEN SEPARATE BLDGS. ON THE SAME LOT	10 FT.	N/A	
MIN. LENGTH OF DRIVEWAY PAVEMENT FROM THE PUBLIC R.O.W.	20 FT.	70 FT.	
LOT COVERAGE	45% MAX. (3,375 SQ. FT.)	40.3% (3,025 SQ. FT.)	
HEIGHT	32 FEET MAX.	23'-3"	
MIN. NO. OF PAVED OFF-STREET PARKING SPACES (DOES NOT INCLUDE AN ENCLOSED GARAGE)	2	2	

LEGAL DESCRIPTION

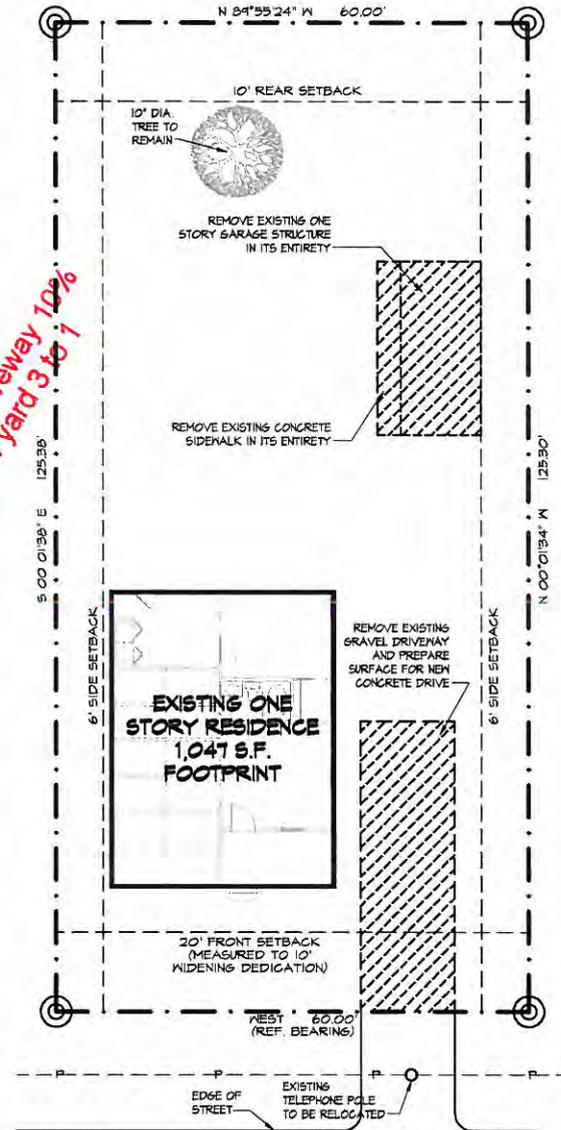
BEING LOT 1, BLOCK 1, ST. MARY'S ESTATES, AN ADDITION IN THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN SLIDE A, PAGE 241, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.



03) VICINITY MAP
NOT TO SCALE



02) NEW SITE PLAN
SCALE: 1" = 20' (11X17 SHEET)
SCALE: 1" = 10' (22X34 SHEET)



01) EXISTING SITE/DEMOLITION PLAN
SCALE: 1" = 20' (11X17 SHEET)
SCALE: 1" = 10' (22X34 SHEET)

Minimum 12-gauge wire/ 20 amp breakers

16'

All Building set backs are Measured from Property Line

Maximum slope of driveway 10%
Maximum slope of yard 3 to 1

CONSTRUCTION CODES - 2009 International Residential Code & 2008 Electrical Code and local amendments

For inspections go to: www.rockwall.com/buildinginspections/inspectionreg.asp

SITE PLAN - Subject to field inspection per approved drainage gradients. Retaining walls and a final grade survey may be required, prior to receiving a final inspection.

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

William Michael & Associates, P.L.L.C. ARCHITECTURE PLANNING
1440 BOLLING ACRESS DRIVE ARGYLE, TEXAS 75226 PH: 214.477.8053
www.wmhaynes.com

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1440 BOLLING ACRESS DRIVE ARGYLE, TEXAS 75226 PH: 214.477.8053
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CONSTRUCTION BID SET: OCTOBER 13, 2015
PERMIT SET ISSUE: JANUARY 11, 2016
CONSTRUCTION SET ISSUE: JANUARY 11, 2016
REVISIONS:

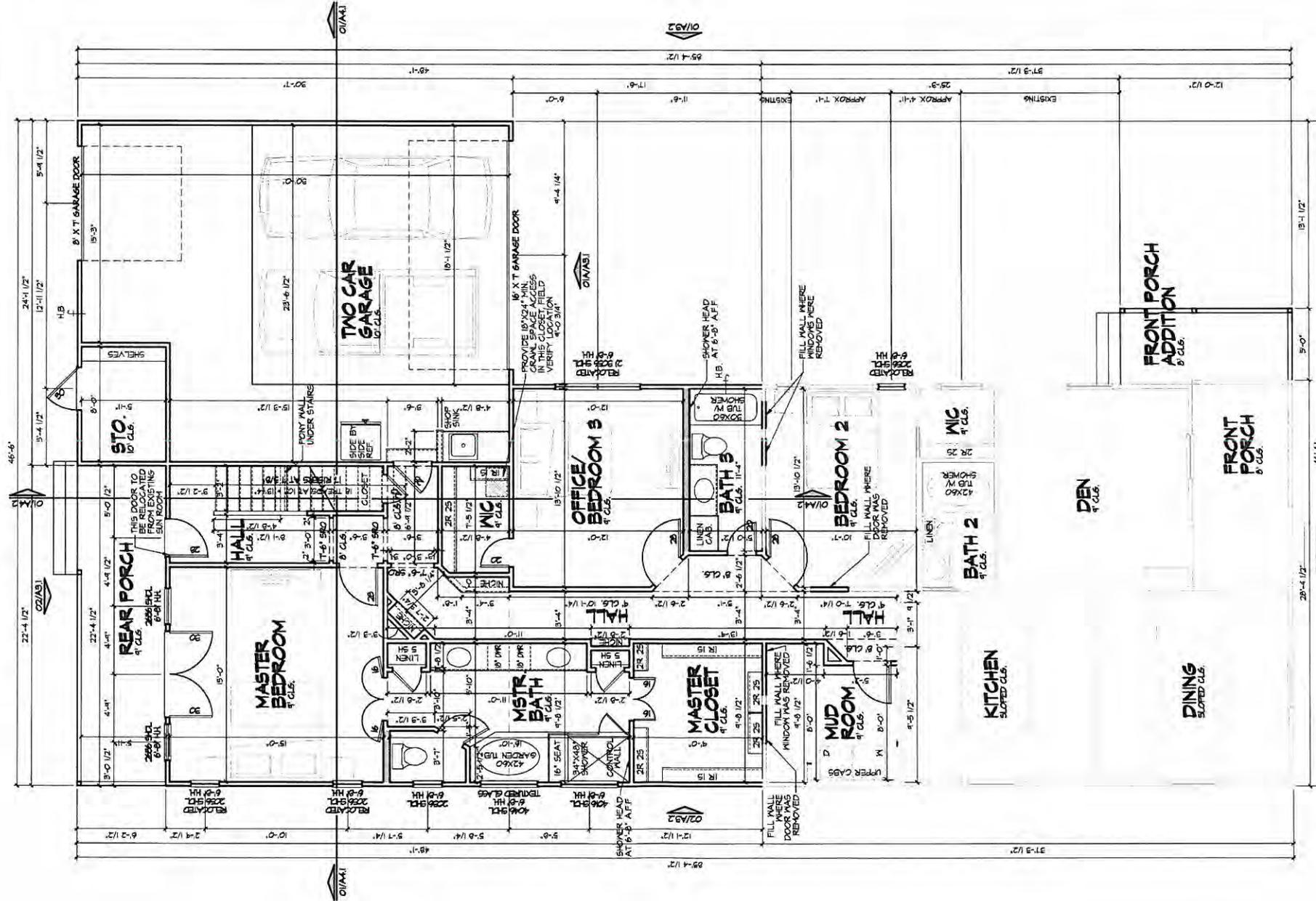
15-0727

A1.0
EXISTING/DEMOLITION/NEW SITE PLANS

Keep on Job Site At All Times For Inspector's Use

FLOOR PLAN NOTES

- FOR DIMENSIONING PURPOSES; TYPICAL STUD WALLS ARE ASSUMED TO BE 3/4" THICK, AND PLUMBING WALLS 5/8" THICK AT CERTAIN LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF FRAMING IN MOST CASES UNO.
- TYPICAL ROOF EAVE OVERHANGS IS 1'-0" (12") FROM FACE OF STUD, COLUMN OR BEAM EXCEPT AT NOTED LOCATIONS.
- TYPICAL ROOF RAKE OVERHANGS IS 12" FROM FACE OF STUD, COLUMN OR BEAM EXCEPT AT NOTED LOCATIONS.
- INTERIOR DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR AT THE BOTTOM.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS.
- LINE UP VENTS WITH WINDOWS AT LOCATIONS WHERE POSSIBLE.
- PROVIDE WATER LINE STUB AND CUT OFF FOR ICE MAKERS FOR ALL REFRIGERATORS.
- ALL WALLS AND FLOOR/CEILING ASSEMBLIES ARE OF NON RATED FIRE RESISTIVE CONSTRUCTION. ALL HOLES SAWS, CRACKS AND OPENINGS MUST BE SEALED TIGHT AS PER CODE.
- LINE UP LIGHT FIXTURES AND COORDINATE WITH VENTS WHERE POSSIBLE.
- VERIFY ALL TUB WALL LENGTHS WITH ACTUAL TUB PROVIDED. COORDINATE WITH FRAMER. MANUFACTURER 1 TYPICAL TUB DETAILS.
- REFER TO ROOF PLANS FOR ATTIC ACCESS LOCATIONS AT TOFLOOR.
- ENTIRE FIRST FLOOR SHALL HAVE 4'-1 1/8" STUD HEIGHTS TYPICAL.
- SECOND FLOOR SHALL HAVE 8'-1 1/8" STUD HEIGHTS TYPICAL.
- THE DOOR BETWEEN GARAGE AND LIVING SPACE / ATTIC SPACE SHALL BE A MINIMUM "B" LABEL, 20 MINUTE SELF CLOSING STEEL DOOR.
- ALL DRYERS ARE TO BE VENTED TO THE EXTERIOR.
- TYPICAL ATTIC STAIR IS 25 1/2" X 54 1/2" FULL DOWN STAIR, EXCEPT WITH 10' PLATE ATTIC STAIR IS 25 1/2" X 50" RATED AT A 350 LB. MIN. LOAD. ATTIC ACCESS FROM GARAGE TO BE FIRE-RATED.
- ALL WALLS ARE TO BE 3/4" UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO ROUGH FRAMING MEMBERS.
- ALL ANGLED WALLS ARE SET AT 45 DEGREES UNLESS NOTED OTHERWISE.
- INTERIOR AND EXTERIOR PLATE HEIGHTS ARE TO BE AS NOTED ON ELEVATION AND SECTION SHEETS.
- BOTTOM PLATE AT FIRST FLOOR WALLS TO BE PRESSURE TREATED.
- ALL BALUSTERS AND RAIL SPACES SHALL BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. TYPICAL AT ALL HANDRAILS AND GUARDRAILS.
- DOORS:
 - FIRST FLOOR - ALWAYS 6'-8"
 - SECOND FLOOR - ALWAYS 6'-8"
 - FRONT DOOR - ALWAYS 6'-8" HEIGHT
 - DOOR FROM GARAGE TO HOUSE - ALWAYS 6'-8"
- SHEET ROCK OPENINGS:
 - 9" PLATE: 8" SRO UNO.
 - 8" PLATE: 7'-6" SRO UNO.
- ALL WALLS SHALL BE 2x4 SFF STUD-GRADE @ 16" O.C. AND SHAPED WALLS SHALL BE 2x6 SFF STUD-GRADE @ 16" O.C. UNO IN THE FRAMING AND WALL BRACING PLANS HEREIN.
- GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD. OTHERWISE THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD. THE WALLS OF ALL HABITABLE ROOMS ABOVE GARAGES THAT ARE EXPOSED TO THE ATTIC AREA (WHEN ATTIC AREA IS ACCESSIBLE FROM THE GARAGE) SHALL BE SEPARATED FROM THE ATTIC AREA BY 1/2" GYPSUM BOARD. UNDERSIDE OF ALL STAIRS TO RECEIVE 5/8" TYPE 'X' GYPSUM BOARD.
- STAIRS - RISE - 7 3/4" MAX. TREADS - 10" MINIMUM PLUS 1" NOSING
- HANDRAILS SHALL BE TYPE II AND HAVE A FINISHED RAILING HEIGHT OF 34" 5/8" ABOVE NOSING. NAILERS SHALL BE INSTALLED FOR ALL HANDRAILS.
- GUARDRAILS SHALL HAVE FINISHED RAILING HEIGHTS OF 31" ABOVE SUBFLOOR. NAILERS SHALL BE INSTALLED FOR ALL GUARDRAILS.



EXISTING HVAC	448 SF
NEW CONDITIONED ATTIC STORAGE	1,020 SF
EXISTING PORCH	103 SF
NEW GARAGE STORAGE	1,741 SF
GRAND TOTAL	3,312 SF
SCALE: 1/4" = 1'-0" (11/17 SHEET)	
SCALE: 1/4" = 1'-0" (22/24 SHEET)	

01) NEW FIRST FLOOR PLAN

Minimum 12 gauge wire/ 20 amp breakers

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

NEW ADDITION
at
ST. MARY STREET
for
Andy and Catherine Laurence

William Michael & Associates, P.L.L.C.
ARCHITECTURE
PLANNING
1440 ROLLING ACRES DRIVE
ARGYLE, TEXAS 75228 PH
www.wmaiprnc.com



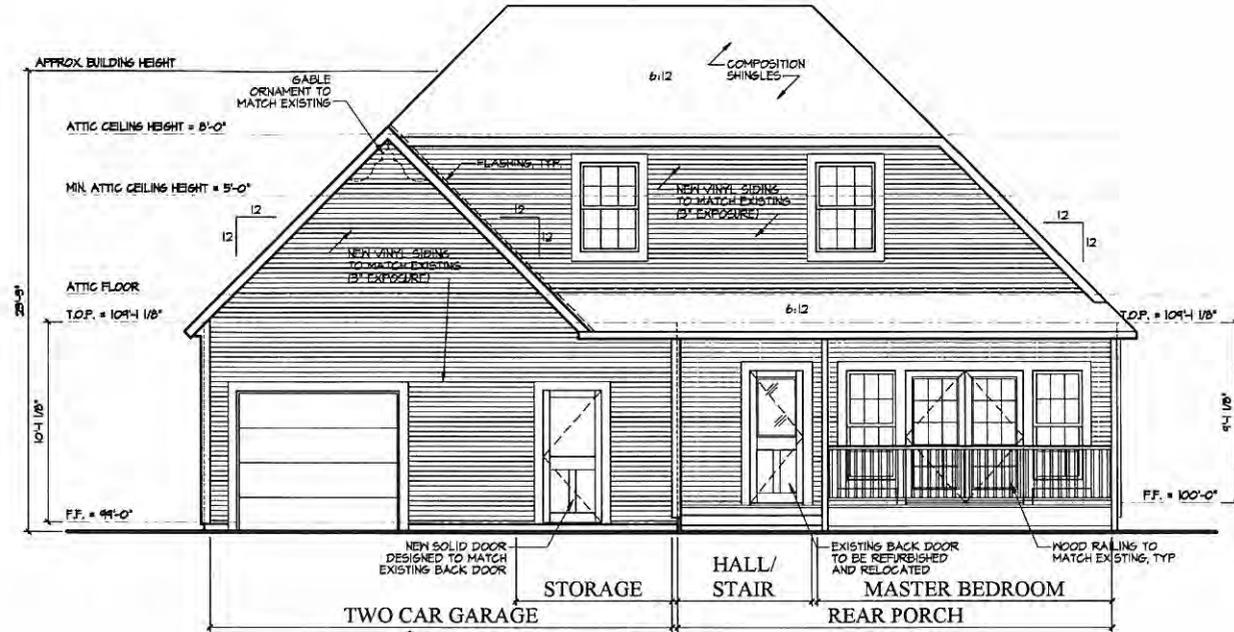
DESIGN DEVELOPMENT SET
SUBMITTED ON AUGUST 27, 2015

CONSTRUCTION BID SET
OCTOBER 13, 2015
PERMIT SET ISSUE
JANUARY 11, 2016
CONSTRUCTION SET ISSUE
JANUARY 11, 2016
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A2.2
FIRST FLOOR PLAN

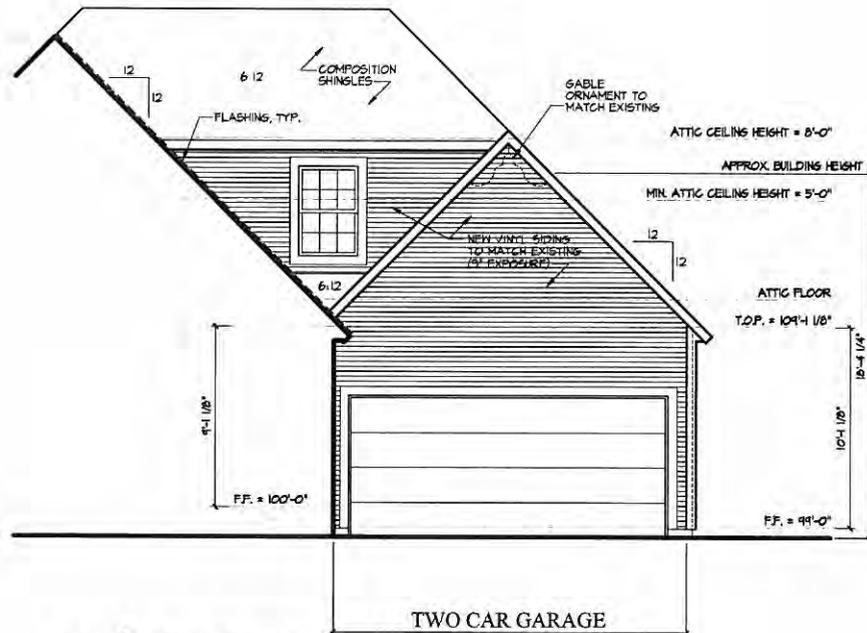
ELEVATION NOTES

1. NUMBERS AT WINDOW HEADS ARE HEAD HEIGHTS FROM RELATIVE 100'-0" DATUM AND FROM TOP OF DECK AT 2ND FLOOR (WHEN APPLICABLE)
2. ALL SOFFITS ARE VINYL SOFFIT TO MATCH EXISTING
3. ALL CANTILEVER AREAS MUST BE PROPERLY FINISHED AND SEALED ON UNDERSIDE
4. SHUTTERS TO BE PANEL DESIGN TO MATCH EXISTING
5. FLASHINGS TO BE INSTALLED AS REQUIRED
(- - - -) INDICATES FLASHING
6. EXTERIOR WALL MATERIAL AS NOTED ON ELEVATIONS
7. WINDOW AND DOOR SIZES AS NOTED ON FLOOR PLANS AND NOTES
8. RIDGE VENTS PLACED ON ALL ROOF RIDGES NO MORE THAN 4'-0" FROM END OF RIDGE AND NO LESS THAN 2'-0"



02) REAR ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01A) PARTIAL FRONT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01) FRONT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

William Michael & Associates, P.L.L.C.
ARCHITECTURE PLANNING

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A3.1
EXTERIOR
ELEVATIONS



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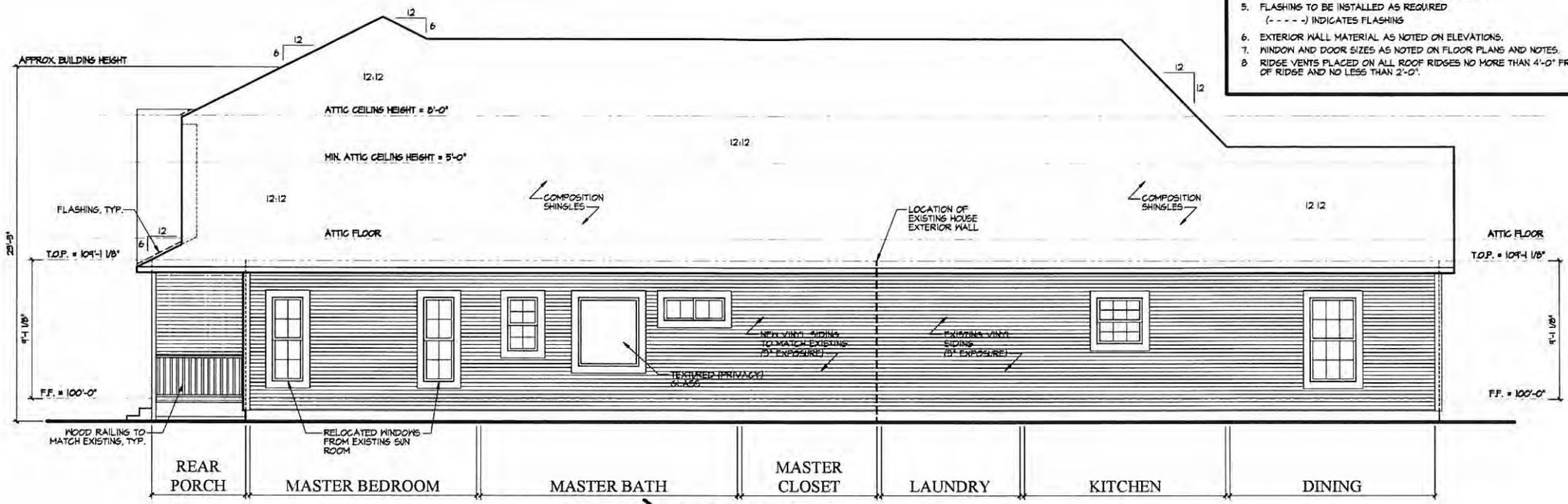
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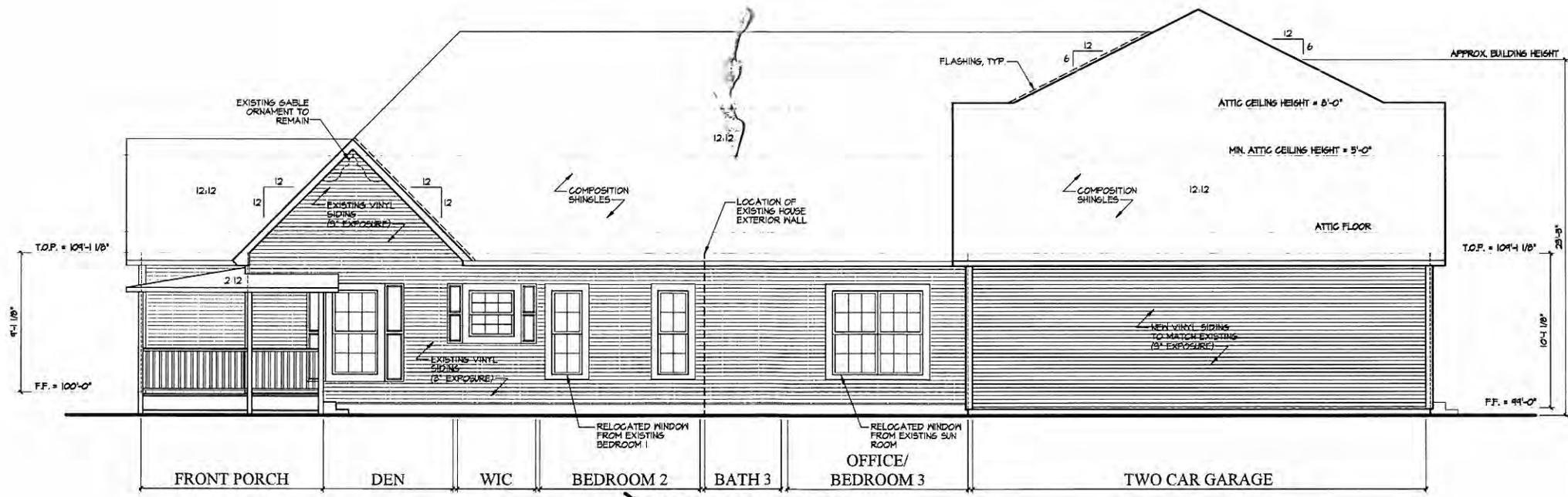
A3.2
EXTERIOR
ELEVATIONS

- ELEVATION NOTES**
- NUMBERS AT WINDOWS HEADS ARE HEAD HEIGHTS FROM RELATIVE 100'-0" DATUM AND FROM TOP OF DECK AT 2ND FLOOR (WHEN APPLICABLE)
 - ALL SOFFITS ARE VINYL SOFFIT TO MATCH EXISTING.
 - ALL CANTILEVER AREAS MUST BE PROPERLY FINISHED AND SEALED ON UNDERSIDE.
 - SHUTTERS TO BE PANEL DESIGN TO MATCH EXISTING
 - FLASHING TO BE INSTALLED AS REQUIRED
(- - - -) INDICATES FLASHING
 - EXTERIOR WALL MATERIAL AS NOTED ON ELEVATIONS.
 - WINDOW AND DOOR SIZES AS NOTED ON FLOOR PLANS AND NOTES.
 - RIDGE VENTS PLACED ON ALL ROOF RIDGES NO MORE THAN 4'-0" FROM END OF RIDGE AND NO LESS THAN 2'-0".



02) LEFT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01) RIGHT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2015

APPLICANT: Ulises Martinez Viveros & Rosita Z. Barron

AGENDA ITEM: **MIS2016-006**; *Exterior Materials & Dwelling Size (120 Blanche Drive)*

SUMMARY:

Discuss and consider the approval of a special request by Ulises Martinez Viveros & Rosita Z. Barron for the construction of a manufactured home that does not meet the minimum standards for square footage and materials as set forth in *Exhibit 'C'* of Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] on a 0.17-acre parcels of land identified as Lot 838A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses, addressed as 120 Blanche Drive, and take any action necessary.

CHARACTERISTICS OF REQUEST:

The applicants, Ulises Martinez Viveros & Rosita Z. Barron, have submitted a special request seeking approval for a manufactured home (*home*) that does not meet the minimum standards of the Single Family Residential (SF-7) District. If approved, the special request would also allow for the *home* to be less than the minimum square footage of the SF-7 district and for the *home* to not meet the minimum masonry standard established in the Unified Development Code (UDC). The applicant is proposing to place a 952 sq. ft. manufactured home on the lot. This represents 148 sq. ft. less than the required minimum of 1,100 sf. Also, the applicant is requesting to use Hardi Plank siding rather than meeting the minimum 80% masonry standard of brick, stone, etc. for the *home*.

According to Section C, *Consideration of Special Request*, of *Exhibit 'C'* of PD-75, the City Council may consider special requests on a case-by-case basis for properties located within the Lake Rockwall Estates subdivision pending a recommendation from the Planning and Zoning Commission. The approval of any special request shall preempt any other underlying zoning restrictions stipulated by the zoning ordinance. Additionally, City Council does have the authority to grant a waiver/variance to allow the manufactured home to not meet the minimum standards for square footage and/or not meeting the minimum masonry standard.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the applicant's request staff would offer the following conditions:

- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On March 29, 2016, the Planning and Zoning Commission's motion to recommend approval of the special request to allow for a manufactured home that does not meet the minimum standards regarding square footage and the exterior materials within an SF-7 residential district passed by a vote of 6 to 1, with Commissioner Logan dissenting.

0 12.5 25 50 75 100 Feet

MIS2016-006- 120 BLANCHE DRIVE
MISCELLANEOUS - LOCATION MAP = 

VALERIE

BLANCHE

PD-75

COUNTY LINE

C



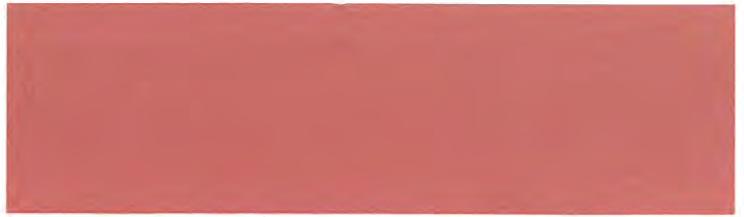
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Organization



02/27/2016

City council
Development Standards
Lake Rockwall states
488 Wayne Dr. Rockwall Tx 75032
120 Blanche Dr. Rockwall tx
Mr. Ulises Martinez Viveros, and Ms Rosita Z Barron.

Dear : City Council,

Lake Rockwall States or to whom it my concerns, we will like you to give us permission of the settlement of our Manufacture Mobile Home, to be accepted in the following address 120 Blanche Dr. Rockwall Tx 75032, now that it will past all the requirements such as, exterior for the building I shall build it with you requirements of meeting

the 80% standard masonry construction excluding windows and doors, but the porch or patio, courtyard or breezeway in which we ask you to be excluded I will use what is more within my budget, Hardy Prank or similar up to 50%, that the Planning and Zoning Commission and approval of the City Council, we will like to ask you and

consider the proposal, we are grateful and thank you from me and Family this will improve the future of my future children and relatives, Thank you.

Sincerely, Ulises Martinez and Rosita Z.

Mr. Ulises Martinez Viveros Ms. Rosita Z Barron



488 Wayne Dr. Rockwall TX 75032
(214) 875-6330
[Email]

2/26/2016

Dear city hall of Rockwall or to whom it may concern,

We will like to ask for this matter to accept our Manufacture Mobile Home 2007

To be accepted and stablish in the following address: 120 Blanche Dr. Rockwall TX. 75032,

Now that it has past all the requirements and norms that you have ask together with all

Of the property utilities and services with the exemption of square footage of 1100ft that is

required my Manufacture is only 952 square ft. for this matter we will like to ask for permit of

establishing to provide better future to my family, better schools, and so I won't be paying rent

any more and use the money to provide exceptional commandment and responsibilities and

needs of my lovely family, and thank you for your time and concerns in this matter.

Warm regards,

Mr. Ulises Martinez Viveros

Rosita Z Barron.



26/02/2016

A quien corresponda

Sr. Ulises Martínez Viveros

Sra. Rosita Z Barrón

Por este medio Queremos pedirles una exepcion para nuestra casa manufacturada 2007 para poder establecerla en la direccion 120 Blanche dr Rockwall Tx 75032 ya que cumple con todos los requerimientos y normas pedidos igual ~~en~~ la propiedad con sus servicios exepcto el tamaño de la casa ya que tiene 952 pies cuadrados (Ft) y el requerimiento es de 1100 pies cuadrados (Ft) con este motivo es para establecer a mi familia y no cambiar de lugar de escuela a mi hija ya que por este momento me encuentro rentando en la direccion 488 Wayne dr Rockwall Tx 75032 y quisiera ya no estar asi para brindarles un mejor lugar sin ^{mas} por el momento muchas gracias.

Firma: Ulises Martínez Viveros
Rosita Z Barrón J.

STATEMENT OF OWNERSHIP AND LOCATION

On January 1st of each year, a tax lien comes into existence on a manufactured home in favor of each taxing unit in the jurisdiction where the home is actually located on January 1st. In order to be enforced, any such lien must be recorded with the Texas Department of Housing and Community Affairs, Manufactured Housing Division as provided by law. You may check our records through our website or contact us to learn of any recorded tax liens. To find out about the amount of any unpaid tax liabilities, contact the tax office for the county where the home was actually located on January 1st of that year.

Certified Copy of Original Statement of Ownership and Location

Date Issued: 04/25/2014

Certificate Number: MH00527311

Manufacturer MHDMAN00000334 DBA CLAYTON HOMES - BONHAM 333 AUSTIN STREET BONHAM, TX 75418		Label/Seal No. HWC0381851	Serial No. CBH017826TX	Weight 19,200	Size 14.0 × 68.0
Model CLAYTON	Date of Manufacture 04/26/2007	Effective Date of Transfer 10/30/2013	County Where Installed DENTON	Wind Zone	Total Sq Feet 952

The Owner(s) have elected to declare the manufactured home as:
PERSONAL PROPERTY

Owner of Record

CARLOS M FLORES-PATINO
P O BOX 924
WEATHERFORD, TX 76086

Seller or Transferor

PG HOME SALES, LLC
31200 NORTHWESTERN HIGHWAY
FARMINGTON HILLS, MI 48334

Physical Address

2601 S MAYHILL RD # 86
DENTON, TX 76208

Right of Survivorship: No

Lien(s): *The following liens, charges, or other encumbrances are reflected as having been created affecting the manufactured home.*

No Lien


Joe A. Garcia
Executive Director

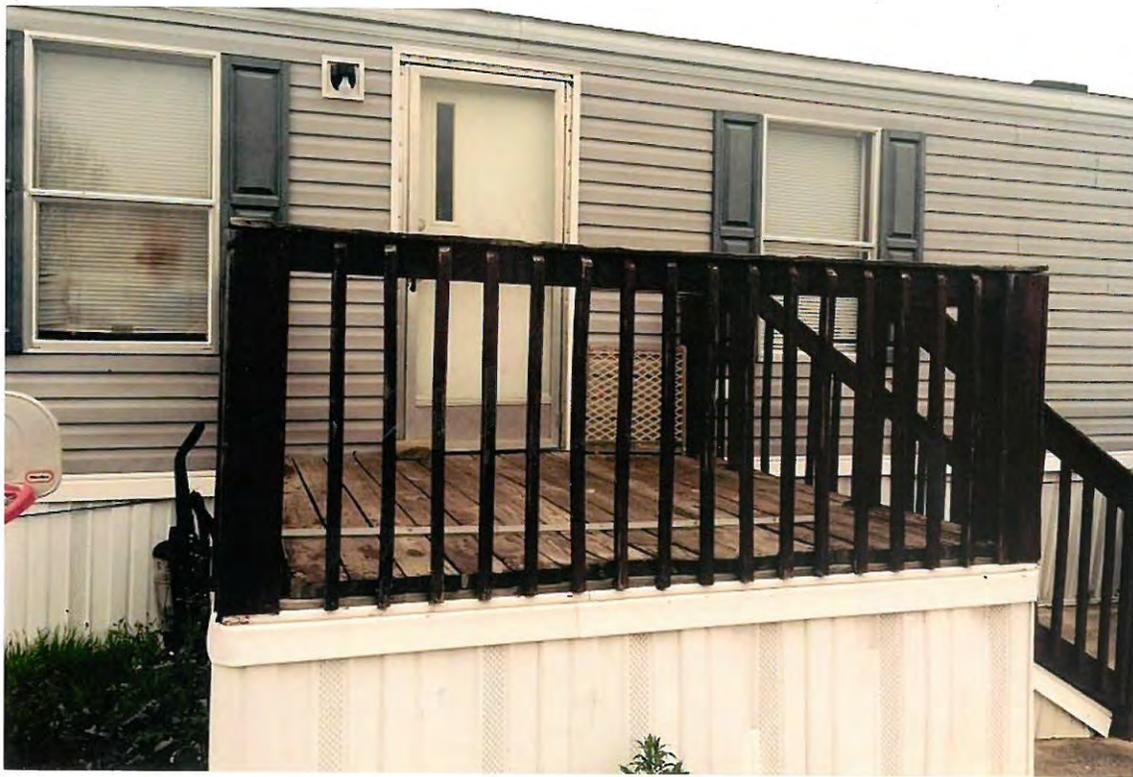
Owner Copy

BLANCHE



PD-75

COUNTY LINE





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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: Pat Atkins, *Saddle Star Land Development, LLC*

AGENDA ITEM: **P2016-010**; *Preliminary Plat for Saddle Star Estates North*

SUMMARY:

Discuss and consider a request by Pat Atkins of Saddle Star Land Development, LLC on behalf of the owner Larry Hance for the approval of a preliminary plat for the Saddle Star North Subdivision containing 108 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the northwest corner of FM-552 and John King Boulevard, and take any action necessary.

PRELIMINARY PLAT INFORMATION:

- ✓ The Saddle Star Estates North Subdivision is a single phase, master planned community that will be composed of 108 single-family, residential lots on approximately 44.56-acre tract of land. The 108 single-family lots will be broken down into three (3) lot types with 11 lots being allocated to the 8,700 SF lot type, 79 lots being allocated to the 10,000 SF lot type, and 18 lots being allocated to the 12,500 SF lot type. Additionally, the plan will consist of 5.61-acres of open space (*or ~12.59% of total land area*). A summary of the proposed *Density and Dimensional* (Table 1) requirements is as follows:

Table 1: Lot Dimensional Requirements

<i>Lot Type (see Concept Plan) ►</i>	A	B	C
<i>Minimum Lot Width</i> ⁽¹⁾	70'	80'	100'
<i>Minimum Lot Depth</i>	125'	125'	125'
<i>Minimum Lot Area</i>	8,750 SF	10,000 SF	12,500 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> ⁽³⁾	30'	30'	30'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'	20'	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF	2,700 SF	3,200 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%
<i>Permitted Encroachment into Required Setbacks</i> ⁽⁵⁾	Allowed	Allowed	Allowed

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- ⁴: As measured from the rear yard property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks (Adjacent to a Street)* and shall not encroach into public right-of-way [a *Sunroom* is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces] (*see Exhibit 'D' of the Ordinance*).

- ✓ The purpose of the applicant's submittal is to preliminary plat all 108 single-family, residential lots and the 5.61-acres of open space. In addition to the *Preliminary Plat* the applicant has also submitted a preliminary water, sanitary sewer and storm water plan establishing that the developer can provide adequate utilities to service the proposed phase. In conjunction with the submittal of this preliminary plat the applicant has submitted a master plat and open space plan (Case No. P2016-011) for the proposed development.
- ✓ The proposed *preliminary plat* conforms to Planned Development District 80 (PD-80) [*Ordinance No. 16-08*], which was approved by the City Council on January 4, 2016 under *Case No. Z2016-035*.
- ✓ On March 15, 2016, the Parks Board reviewed the proposed *Preliminary Plat* and made a recommendation to the plat with the following condition:
 - That the developer shall be required to build a 10-ft concrete trail adjacent to John King Boulevard on the eastern edge of the Saddle Star Estates North Subdivision.
- ✓ The Surveyor/Engineer has completed the majority of the technical revisions requested by staff, and this *preliminary plat*, conforming to the requirements for *Preliminary Plats* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ✓ Conditional approval of this *preliminary plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the *preliminary plat* for the *Saddle Star North Subdivision* staff would recommend the following conditions of approval:

- 1) The *preliminary plat* shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) In conformance with Planned Development District 80 (PD-80) [*Ordinance No. 16-08*] a *PD Site Plan* shall be submitted and approved prior to the submittal of a final plat;
- 3) A *Treescape Plan* for the entire development shall be submitted and approved prior to the submission of a final plat;
- 4) The *preliminary plat* shall conform to the recommendations made by the Parks Board; and,
- 5) Any construction resulting from the approval of this *preliminary plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the 2009 International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On March 29, 2016, the Planning and Zoning Commission's motion to recommend approval of the preliminary plat passed by a vote of 7 to 0.

City of Rockwall Project Plan Review History



Project Number P2016-010	Owner HANCE, LARRY	Applied 2/15/2016 LM
Project Name Saddle Star Estates North	Applicant SADDLE STAR LAND DEVELOPMENT LLC	Approved
Type PLAT		Closed
Subtype PRELIMINARY		Expired
Status STAFF REVIEW		Status 2/15/2016 LM

Site Address FM552	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	3	NULL	3	0030-0000-0003-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Assistant City Engineer	Amy Williams	3/4/2016	3/18/2016	3/4/2016		APPROVED	
BUILDING	John Shannon	2/15/2016	2/22/2016	2/18/2016	3	APPROVED	
ENGINEERING (2/16/2016 1:51 PM AW) See markups All cul-de-sacs to have a radius of 57.7' Show and verify 10' landscape lot along FM 552 Need to show the NTMWD easement along John King Label flood plain (to be determined prior to final plat) Label flood plain (Common Area 1 and 2) as a lot and drainage easement to be maintained by HOA Add a note: All lots and streets adjacent to flood plain to be 2' and 1' (respectively) above the 100 year water surface Show and label 20' sanitary sewer easement A note that detention may be required Tie at least 2 corners of the property to City of Rockwall monumentation (x and y coordinates)	Amy Williams	2/15/2016	2/22/2016	2/16/2016	1	COMMENTS	See Comments
FIRE	Ariana Hargrove	2/15/2016	2/22/2016	2/18/2016	3	APPROVED	
FIRE	Ariana Hargrove	3/3/2016	3/10/2016	3/3/2016		APPROVED	revisions 3/3/16
GIS (2/17/2016 3:47 PM LS) Please submit cad file (dwg) of the proposed lots and road centerlines for addressing. Also submit survey closure report.	Lance Singleton	2/15/2016	2/22/2016	2/17/2016	2	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	2/15/2016	2/22/2016	2/18/2016	3 COMMENTS	See comments

Discuss and consider a request by Pat Atkins of Saddle Star Land Development, LLC on behalf of the owner Larry Hance for the approval of a preliminary plat for the Saddle Star North Subdivision containing 108 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the northwest corner of FM-552 and John King Boulevard, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, March 1, 2016. Please provide three large copies [FOLDED] and one PDF version for a subsequent review by staff:

1. Adherence to all Engineering and Fire Department standards shall be required.
2. Provide a label indicating "Case No. P2016-010" on the lower right corner on all pages of the revised plat.
3. Provide building setback lines for all properties adjacent to a street.
4. All the following lots are identified as not meeting the minimum lot frontage. Delineate where the minimum 80-ft & 100-ft front building line (as applicable) is for each of the following lots or adjust lot(s) accordingly: Block A - Lots 3, 4, 27 & 28, Block C - Lots 8 & 9, and Block D - Lot 9
5. Provide label "To Be Maintained by HOA" on all Open Space areas and Flood Plain.
6. Tie at least 2 corners to City monumentation.
7. Bubble and label wooded area(s) .
8. Label City limits line where applicable.
9. Delineate and label both trail systems.
10. Provide a lot line that separates Lots 2 & 3 of Block A.
11. Delineate and label the outer extremes of the flood plain area.
12. Provide square footage & acres for rights-of-way dedication areas.
13. Surveyor's Certificate - Notary not necessary when stamped by surveyor.
14. Treescap Plan for the overall site is required at the Preliminary Plat process to determine mitigation requirements. Please provide for staff review.
15. Preliminary Drainage & Utility Plans included with this submittal are considered to be accepted; however, Final Approval of these plans is required through by Engineering Department during the Civil Submission process.
16. A Master plat is required to be approved prior to the approval of a Preliminary Plat.

The following are scheduled meeting dates that you and/or your representative(s) are to attend regarding the preliminary plat process. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Planning - Discussion: February 23, 2016 (6:00 p.m.)

Planning - Action: March 8, 2016 (6:00 p.m.)

City Council - Action: March 21, 2016 (6:00 p.m.)

PLANNING	David Gonzales	3/4/2016	3/11/2016	3/4/2016	COMMENTS	See comments
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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The following staff comments are to be addressed and resubmitted no later than Thursday, March 10, 2016. Please provide three large copies [FOLDED] and one PDF version for a subsequent review by staff:

1. Provide building setback lines for all properties adjacent to a street.
2. Delineate and label the outer extremes of the flood plain area.
3. Treescape Plan for the overall site is required at the Preliminary Plat process to determine mitigation requirements. Please provide for staff review.
4. Provide proposed street names for subdivision on preliminary plat.
5. Verify lot mix with Master Plat (70's & 80's).
6. A Master plat is required to be approved prior to the approval of a Preliminary Plat.

The following are scheduled meeting dates that you and/or your representative(s) are to attend regarding the preliminary plat process. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Planning - Action: March 8, 2016 (6:00 p.m.)

City Council - Action: March 21, 2016 (6:00 p.m.)

PLANNING	David Gonzales	3/17/2016	3/24/2016	3/17/2016	COMMENTS	See comments
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The following staff comments are to be addressed and resubmitted no later than Wednesday, March 23, 2016. Please provide one large copy [FOLDED] and one PDF version for a subsequent review by staff:

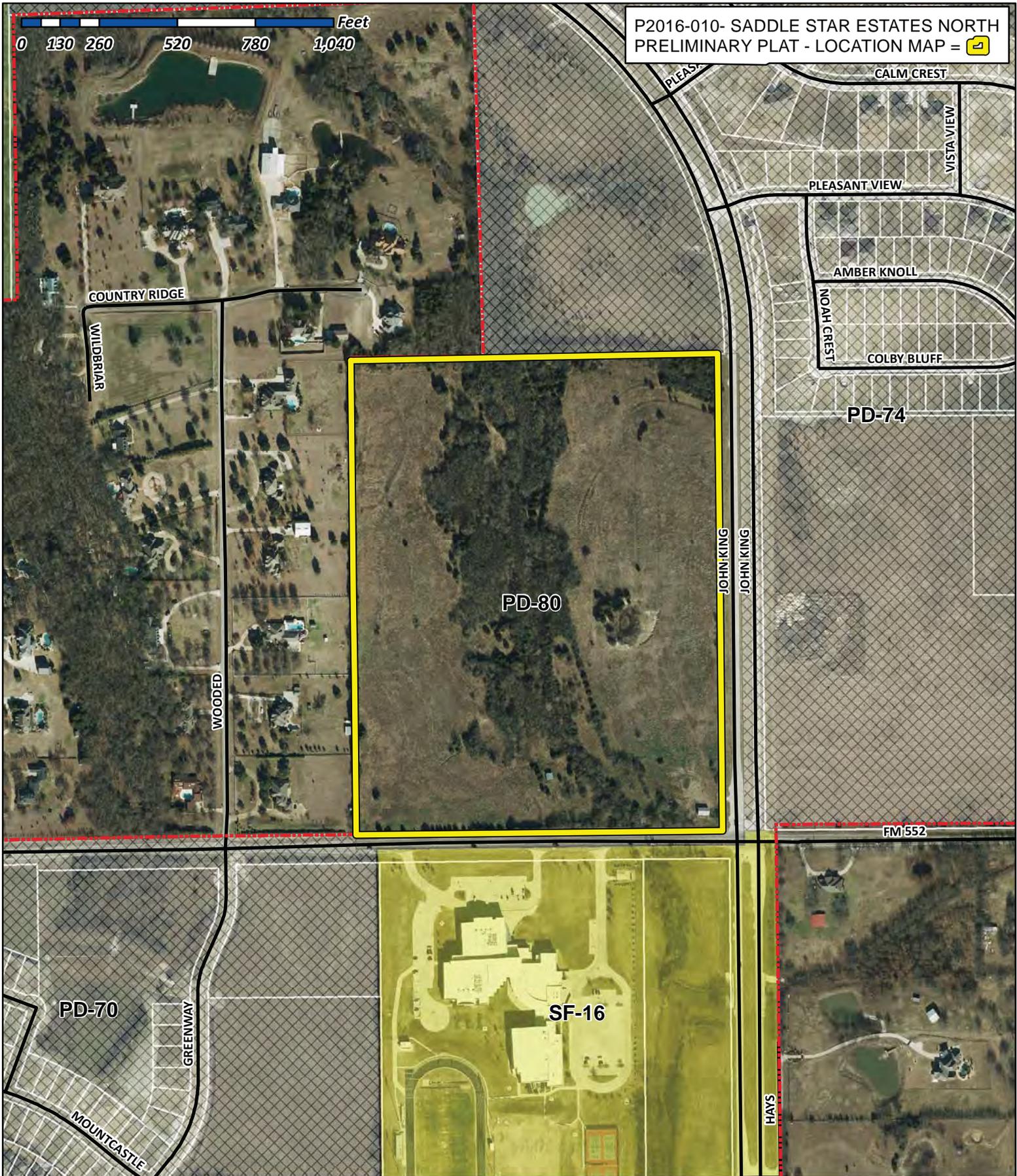
1. Treescape Plan for the overall site is required at the Preliminary Plat process to determine mitigation requirements. Please provide for staff review.
2. Adjust the following lots frontage to correspond with the Master Plat . Should be a minimum of 80-ft lot width for Lot B6, B11, & C33.
3. A Master plat is required to be approved prior to the approval of a Preliminary Plat.

The following are scheduled meeting dates that you and/or your representative(s) are to attend regarding the preliminary plat process. If you have any questions regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Planning - Action: March 29, 2016 (6:00 p.m.)

City Council - Action: April 4, 2016 (6:00 p.m.)

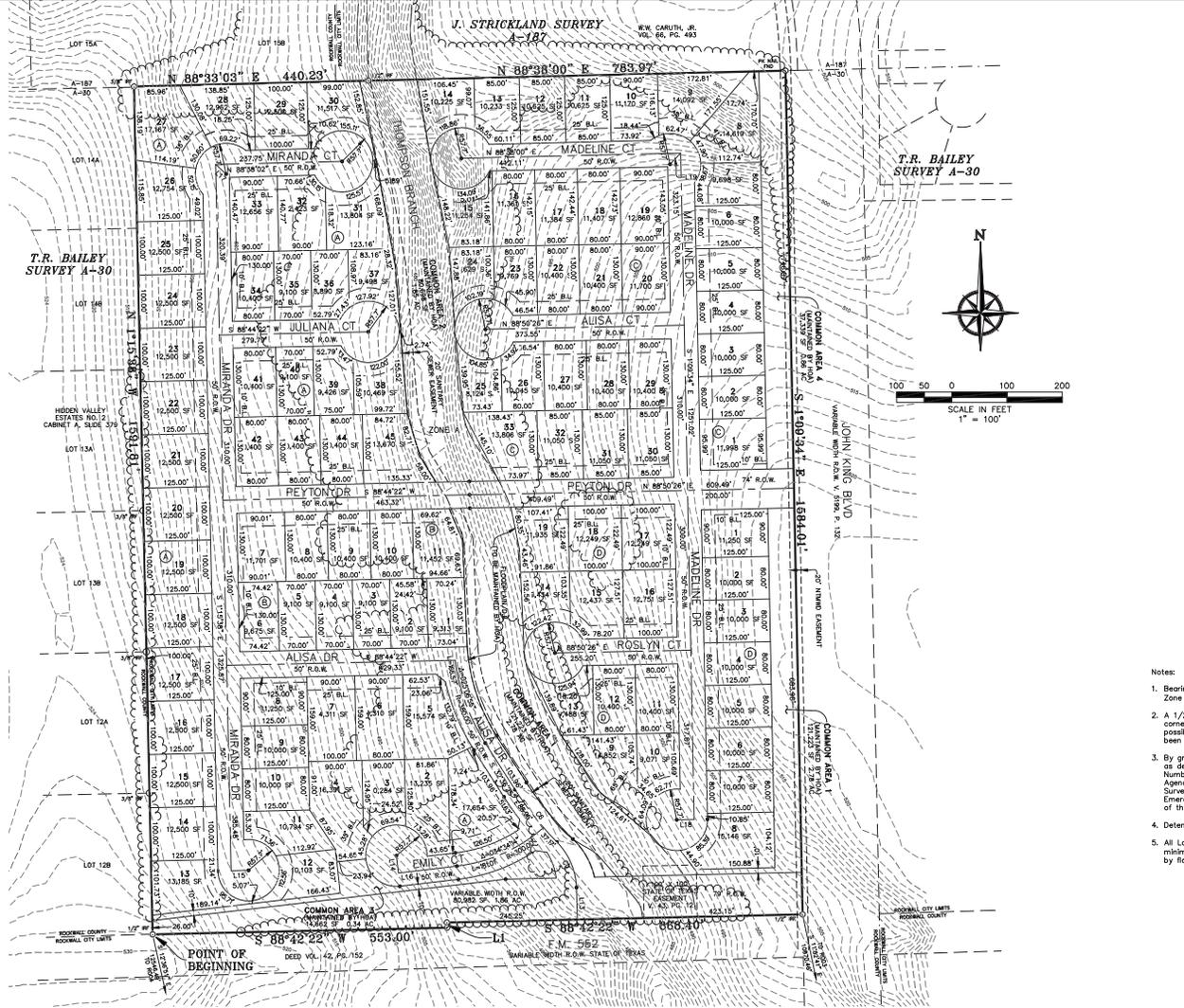
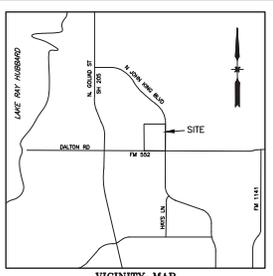


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
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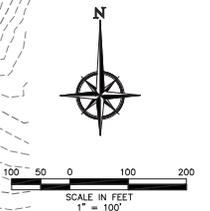
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CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	056°09'14"	1140.00'	608.13'	1117.31'	S 44°02'04" E	1073.12'
C2	090°00'00"	50.00'	50.00'	78.54'	N 27°06'44" W	70.71'
C3	019°24'01"	300.00'	51.28'	101.58'	N 81°11'15" E	101.00'
C4	019°24'01"	356.25'	60.90'	120.63'	N 81°11'15" E	120.00'
C5	019°24'01"	200.00'	34.19'	67.72'	N 81°11'15" E	67.40'
C6	012°02'38"	600.00'	63.29'	126.12'	S 38°37'44" E	125.89'
C7	042°54'29"	127.00'	49.91'	95.11'	N 23°11'48" W	92.90'
C8	033°32'32"	142.00'	42.79'	83.13'	N 29°34'31" W	81.95'
C9	029°48'40"	115.00'	26.35'	51.81'	N 20°00'42" W	51.37'

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 11°17'38" E	10.00'
L2	N 37°32'27" W	261.96'
L3	N 89°38'44" E	50.00'
L4	N 03°32'27" W	40.00'
L5	S 89°38'05" W	34.29'
L6	N 45°56'33" W	21.35'
L7	N 44°32'09" E	18.29'
L8	N 31°00'00" E	13.81'
L9	N 27°06'44" W	25.00'
L10	S 17°52'16" W	180.98'
L11	N 44°38'05" E	21.21'
L12	N 49°21'55" W	21.21'
L13	S 1°44'33" E	60.01'
L14	S 65°28'26" E	32.70'
L15	S 88°44'22" W	32.70'
L16	N 83°19'09" E	110.38'
L17	N 47°25'57" W	26.67'
L18	N 89°02'26" E	32.70'
L19	N 42°44'11" E	28.65'
L20	S 81°06'44" E	21.41'



- Notes:
- Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (7603-NCP).
 - A 1/2" IRS capped with Yellow Plastic Cap stamped "TP15 5034" will be set at all boundary corners, lot corners, points of curvature, points of tangency and on tie points in public rights-of-way whenever possible unless otherwise shown or noted in this drawing, after all construction for this subdivision has been completed.
 - By graphical plotting, part of the parcel described herein lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 483970033L, dated September 28, 2006, as published by the Federal Emergency Management Agency. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by the Federal Emergency Management Agency or some other source. This statement shall not create liability on the part of the Surveyor.
 - Detention may be required which will be determined at Final Plat/Engineering Plans phase.
 - All Lots adjacent to floodplain will have MFFE 2' above 100-year flood elevation. All streets will have a minimum elevation 1' above 100-year flood elevation. Floodplain location to be located prior to final plat by flood study.

RECOMMENDED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR SUBMITTAL OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Harold D. Petty, III, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 2016.

Preliminary, this document shall not be recorded for any purpose.
For Preliminary Plat review purposes only.

HAROLD D. PETTY, III
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 5034



OWNER
LARRY NANCE
6308 GLENHOLLOW CT
DALLAS, TX 75248

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
3076 HAYS LANE
ROCKWALL, TX 75087

LAND SURVEYOR
H.D. FETTY LAND SURVEYOR, LLC
6770 FM 1565
ROYSE CITY, TX 75189
TEXAS FIRM REG. NO. 101509-00
(972) 635-2255
FAX (972) 635-9979

PRELIMINARY PLAT

SADDLE STAR ESTATES NORTH

BRING

44.56 ACRES

SITUATED IN THE

T.R. BAILEY SURVEY, A-30
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
801 WOODCO CIRCLE, SUITE 800, WYUW, TEXAS 75086
(972) 941-8400 FAX (972) 941-8401

ZONING DISTRICT: PD 80
OPEN SPACE = 5.63 AC.
108 DWELLING UNITS
2.424 UNITS PER ACRE

DATE: MARCH 16, 2016

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 04/04/2016

APPLICANT: Pat Atkins, *Saddle Star Land Development, Inc.*

AGENDA ITEM: **P2016-011**; *Master Plat for Saddle Star Estates North*

SUMMARY:

Discuss and consider a request by Pat Atkins of Saddle Star Land Development, LLC on behalf of the owner Larry Hance for the approval of a master plat/open space plan for the Saddle Star North Subdivision containing 108 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the northwest corner of FM-552 and John King Boulevard, and take any action necessary.

MASTER PLAT INFORMATION:

- The Saddle Star Estates North Subdivision is a single phase, master planned community that will be composed of 108 single-family, residential lots on approximately 44.56-acre tract of land. The 108 single-family lots will be broken down into three (3) lot types with 11 lots being allocated to the 8,700 SF lot type, 79 lots being allocated to the 10,000 SF lot type, and 18 lots being allocated to the 12,500 SF lot type. Additionally, the plan will consist of 5.61-acres of open space (*or ~12.59% of total land area*). A summary of the proposed *Lot Composition* (table 1) is as follows:

Table 1: Lot Composition

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Maximum Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
A	70' x 125'	8,750 SF	12	27.52%
B	80' x 125'	10,000 SF	79	59.63%
C ⁽¹⁾	100' x 125'	12,500 SF	18	12.85%
<i>Maximum Permitted Units:</i>			109	

- The purpose of the applicant's request is to provide a master plat that will delineate the sequence and timing of the development, and an open space plan that will layout the proposed trails, and amenities for the subdivision. According to the master plat, this development will be completed in one (1) phase that contains a total of 108 single-family residential lots. Additionally, the development will incorporate a total of 5.61-acre (*or 12.59%*) of non-contiguous open space and will be connected via a trail system that runs through the center of the development and along John King Boulevard. The developer's plan will be to construct the trail system and a corner enhancement (*associated with the John King Design Guidelines*) as an amenity to the development.
- On March 15, 2016, the Parks Board reviewed the proposed *Master Plat and Open Space Plan* and made a recommendation to the plat with the following condition:

- That the developer shall be required to pay pro-rata equipment fees in the amount of \$214 per lot for a total of \$23,112 for the Saddle Star Estates North Subdivision and will be due at the time of final plat approval.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the *master plat* for the *Saddle Star Estates North Subdivision* staff would offer the following conditions of approval:

- 1) The *master plat* shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) The applicant shall adhere to the recommendations made by the Parks Board;
- 3) Any construction resulting from the approval of this *master plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the 2009 International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On March 29, 2016, the Planning and Zoning Commission's motion to recommend approval of the master plat passed by a vote of 7 to 0.

City of Rockwall Project Plan Review History



Project Number P2016-011	Owner R, & R HANCE INVESTMENTS LP	Applied 2/15/2016 LM
Project Name Saddle Star Estates North	Applicant SADDLE STAR ESTATES NORTH	Approved
Type PLAT		Closed
Subtype MASTER PLAT		Expired
Status STAFF REVIEW		Status 2/15/2016 LM

Revision 3 - Final Comments from Staff

Site Address FM552	City, State Zip ROCKWALL, TX 75087	Zoning
Subdivision	Tract 3	Block NULL
	Lot No 3	Parcel No 0030-0000-0003-00-OR
		General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Assistant City Engineer	Amy Williams	3/4/2016	3/18/2016	3/4/2016		APPROVED	
BUILDING	John Shannon	2/15/2016	2/22/2016	2/18/2016	3	APPROVED	
ENGINEERING (2/16/2016 1:39 PM AW) See markups Verify cul-de-sac radius' (57.5' for the right-of-way and 47.5' for paving) Show 10' utility easement behind the right-of-way for franchise Detention? Show 20' sewer easement along the creek Move sidewalk adjacent to FM 552 into the property (out of the future ROW) Need a letter of permission from NTMWD to allow landscaping, trees, and a trail in their easement along John King	Amy Williams	2/15/2016	2/22/2016	2/16/2016	1	COMMENTS	See Comments
FIRE	Ariana Hargrove	2/15/2016	2/22/2016	2/18/2016	3	APPROVED	
FIRE	Ariana Hargrove	3/3/2016	3/10/2016	3/3/2016		APPROVED	revisions 3/3/16
GIS (2/17/2016 3:47 PM LS) Please submit cad file (dwg) of the proposed lots and road centerlines for addressing. Also submit survey closure report.	Lance Singleton	2/15/2016	2/22/2016	2/17/2016	2	COMMENTS	See Comments
PLANNING	David Gonzales	2/15/2016	2/22/2016	2/18/2016	3	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Discuss and consider a request by Pat Atkins of Saddle Star Land Development, LLC on behalf of the owner Larry Hance for the approval of a master plat/open space plan for the Saddle Star North Subdivision containing 108 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the northwest corner of FM-552 and John King Boulevard, and take any action necessary.						
The following staff comments are to be addressed and resubmitted no later than Tuesday, March 1, 2016. Please provide three large copies [FOLDED] and one PDF version for a subsequent review by staff:						
<ol style="list-style-type: none"> 1. Adherence to all Engineering and Fire Department standards shall be required. 2. Provide a label indicating "Case No. P2016-011" on the lower right corner on all pages of the revised master plat. 3. Land Use Data table - Change the color of either the 70's or 80's to reflect differentiation and use solid colors rather than fading to distinguish lots. 4. Provide a colored background for street's (white, gray, etc.) on master plat rather than the aerial image underneath. 5. Turn off all labels (lot numbers, written labels, other than streets) on Mater Plat and provide legend and identify with symbols - trail systems, monumentaion, water courses, open space, ect. 6. Decorative Bridge - use a heavier line to clearly delineate and identify in legend. 7. Move "City Limit Line" labels off of plat area and onto Hidden Valley Estates area. 8. Lot count for 70's is not to exceed 12 lots. Reconfigure lot mix to match ordinance requirements. 9. Is there a Land Use Planner? If so, provide information on Master Plat. 10. Provide a letter of approval "in concept" from TXDOT for driveway along FM 552. 11. Master plat approval required prior to the approval of a Preliminary Plat. 						
Park Board:						
This development is located within Parks District No. 7 and adherence to Parks Boardand Parks Department requirements reagarding pro-rata equipment fees and cash in lieu of or dedication of land (which ever may be applicable) shall apply. The fee(s) will be due at the time of approval of the final plat.						
The following are scheduled meeting dates that you and/or your representative(s) are to attend regarding the Master Plat and Open Space Plan. If you have any quesitons regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.						
Meeting Dates to Attend:						
Planning - Discussion: February 23, 2016 (6:00 p.m.)						
Parks Board - Action: March 1, 2016 (6:00 p.m.)						
Planning - Action: March 8, 2016 (6:00 p.m.)						
City Council - Action: March 21, 2016 (6:00 p.m.)						
PLANNING	David Gonzales	3/4/2016	3/11/2016	3/4/2016	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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The following staff comments are to be addressed and resubmitted no later than Thursday, March 10, 2016. Please provide three large copies [FOLDED] and one PDF version for a subsequent review by staff:

1. Turn off all labels (lot numbers, written labels, other than streets) on Mater Plat and provide legend and identify with symbols - trail systems, monumentaion, water courses, open space, ect.
2. Move "City Limit Line" labels off of plat area and onto Hidden Valley Estates area.
3. Verify lot mix (70's & 80's) with Preliminary Plat and reestablish/reshade lots to match legend (70's not to exceed 12 lots).
4. Provide a letter of approval "in concept" from TXDOT for driveway along FM 552.
5. Master plat approval required prior to the approval of a Preliminary Plat.

Park Board:

This development is located within Parks District No. 7 and adherence to Parks Boardand Parks Department requirements reagarding pro-rata equipment fees and cash in lieu of or dedication of land (which ever may be applicable) shall apply. The fee(s) will be due at the time of approval of the final plat.

The following are scheduled meeting dates that you and/or your representative(s) are to attend regarding the Master Plat and Open Space Plan. If you have any quesitons regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Parks Board - Action: March 15, 2016 (6:00 p.m.)

Planning - Action: March 29, 2016 (6:00 p.m.)

City Council - Action: April 4, 2016 (6:00 p.m.)

PLANNING	David Gonzales	3/17/2016	3/17/2016	3/23/2016	6	APPROVED	See comments
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Final Comments:

1. Master plat approval required prior to the approval of a Preliminary Plat.
2. Adherence to Engineering and Fire Department standards.
3. Adherence to Parks Baord requiriements.

The following are scheduled meeting dates that you and/or your representative(s) are to attend regarding the Master Plat and Open Space Plan. If you have any quesitons regarding this case, please feel free to contact David Gonzales with the Planning Department at 972-771-7745.

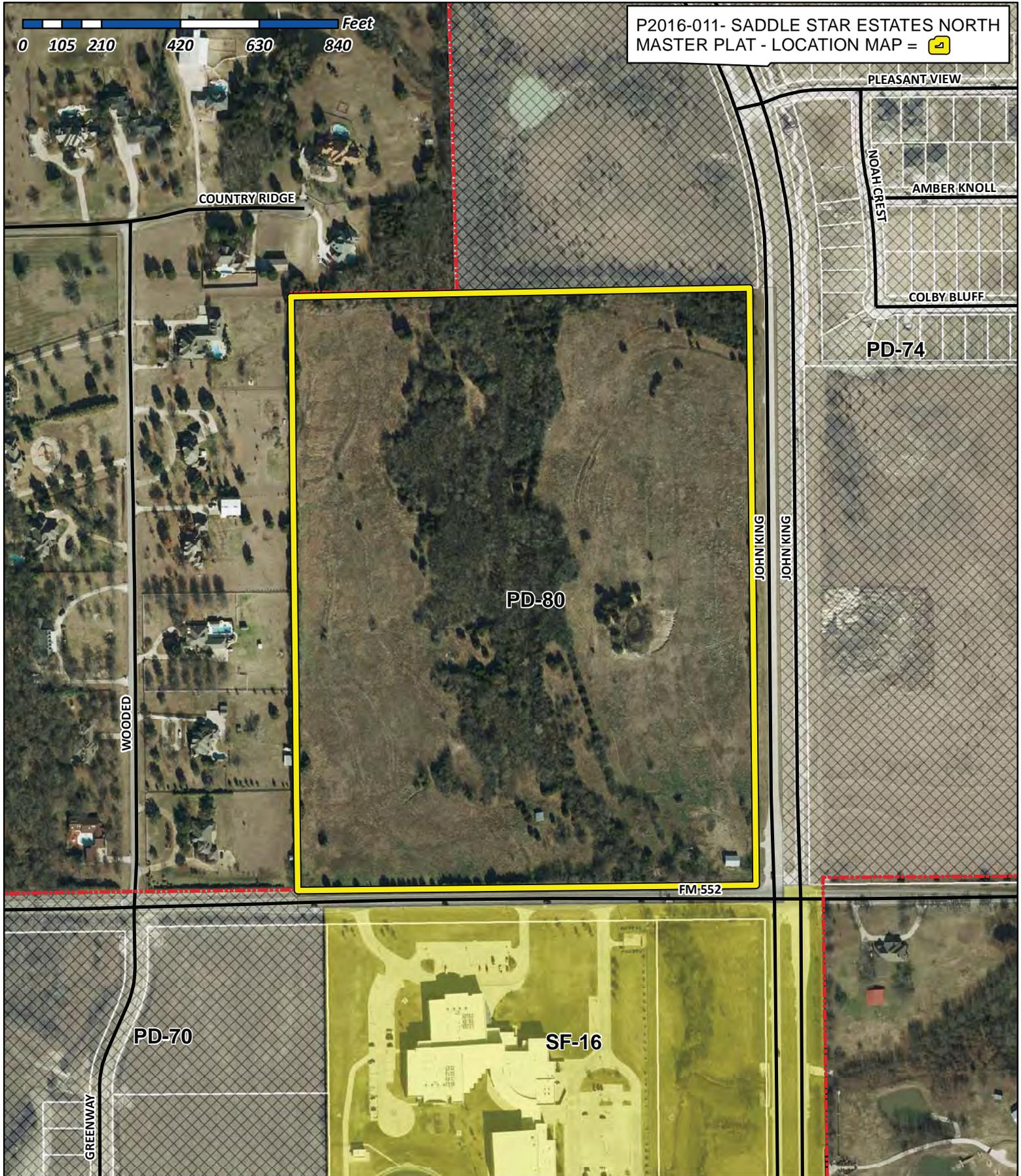
Meeting Dates to Attend:

Planning - Action: March 29, 2016 (6:00 p.m.)

City Council - Action: April 4, 2016 (6:00 p.m.)

0 105 210 420 630 840 Feet

P2016-011- SADDLE STAR ESTATES NORTH
MASTER PLAT - LOCATION MAP = 

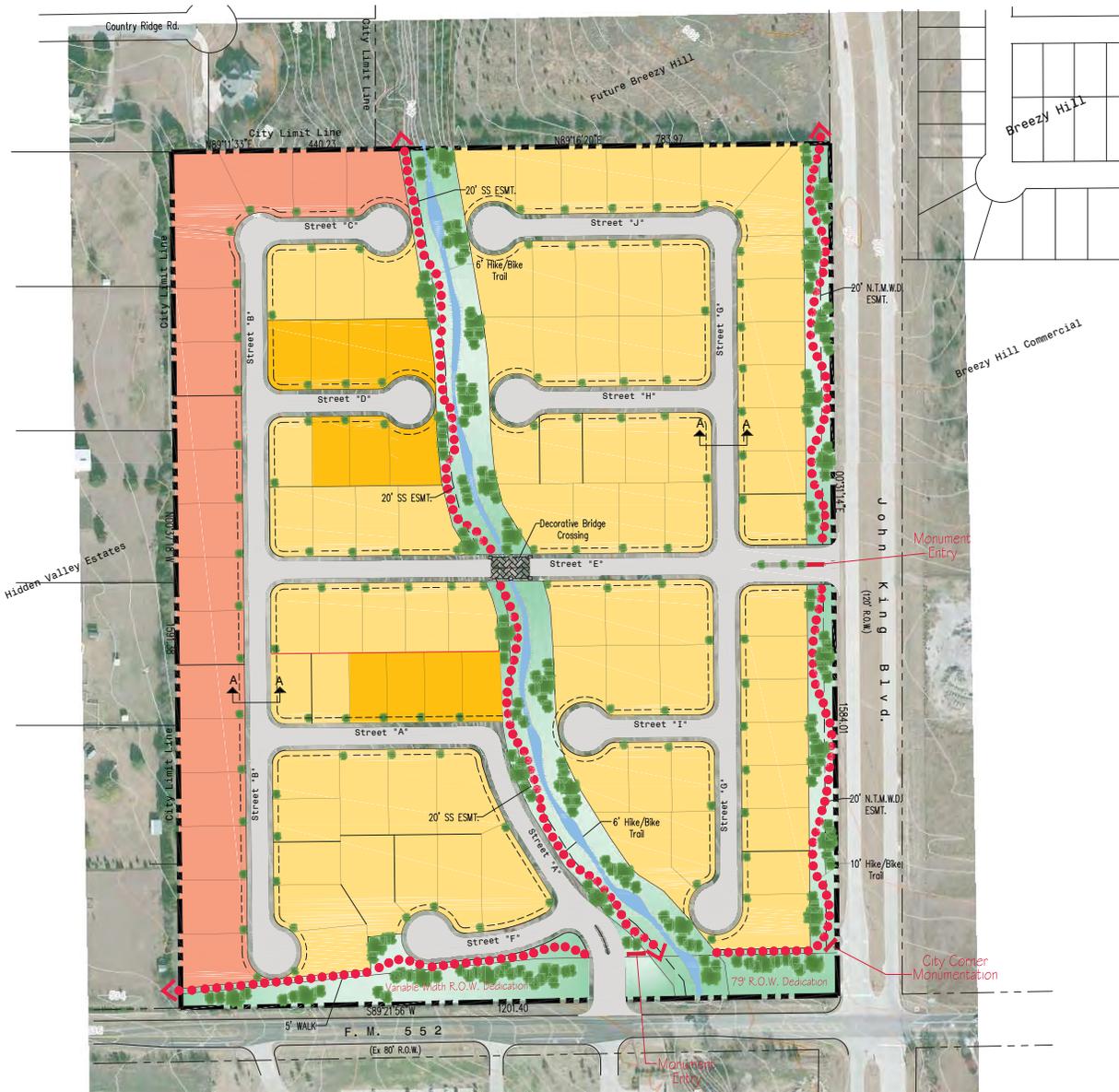
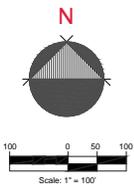


City of Rockwall

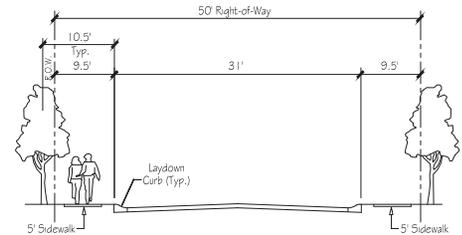
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Vicinity Map
n. t. s.



Section "A-A"

Land Use Data

Total Area - 44.56 Ac.

Total Open Space - 5.61 Ac.

Lot Size - 70'x125'	- 11 Lots
Lot Size - 80'x125'	- 79 Lots
Lot Size - 100'x125'	- 18 Lots

Density - 2.423 D.U. / Ac.

Total Lots - 108

**MASTER PLAT
OPEN SPACE PLAN**

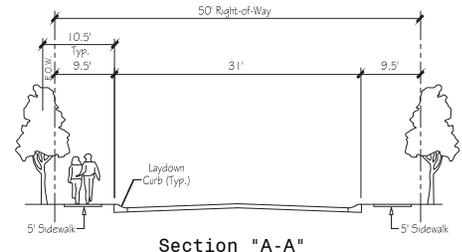
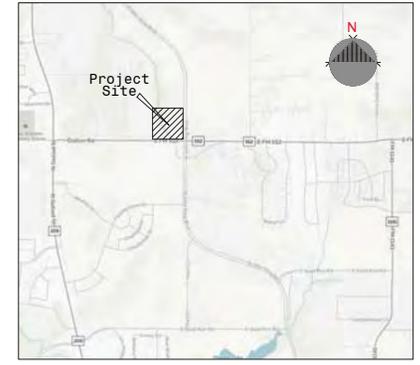
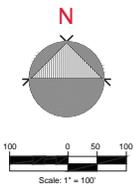


NORTH

City of Rockwall, Rockwall County, Texas

Owner:
LARRY HANCE
14244 North Dallas Pkwy., S 1050
Dallas, Texas 75234
972.991.1600





- Land Use Data**
- Total Area - 44.56 Ac.
 - Total Open Space - 5.61 Ac.
 - Lot Size - 70'x125' - 12 Lots
 - Lot Size - 80'x125' - 78 Lots
 - Lot Size - 100'x125' - 18 Lots
 - Density - 2.446 D.U. / Ac.
 - Total Lots - 108
- MASTER PLAT**
TREE MASS PLAN



City of Rockwall, Rockwall County, Texas

Owner:
LABRY RANGE
14244 North Dallas Pkwy., S 1050
Dallas, Texas 75234
972.991.1600



Williams Middle School

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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: April 4, 2016

SUBJECT: *Southside Neighborhood Residential Overlay (SRO) District*

At the last City Council meeting on March 21, 2016, the City Council took action on a case dealing with granting a special request within the Southside Neighborhood Residential Overlay (SRO) District. Specifically, the applicant was requesting a land use that was not permitted within the Single Family 7 (SF-7) zoning district; however, since the subject property was located within the SRO District the applicant was permitted to make a special request for a quad-plex without being subject to a zoning change. This process is very similar to a request that was brought forward within Planned Development District 75 (PD-75) [*i.e. the Lake Rockwall Estates Subdivision*] earlier this year. This case resulted in staff being directed to change the PD-75 zoning ordinance to remove the City Council's ability to grant land use without a public hearing process. In addition, under the current SRO ordinance any application for a special request must first be brought to the City Council for approval, prior to going to the Planning and Zoning Commission for a recommendation and finally returning to the City Council for action. Typically, these requests would be taken to the Planning and Zoning Commission first for recommendation prior to being brought before the City Council.

As a result of the land use and procedural issues associated with the current ordinance, staff is proposing changes that would correct these issues. In the attached packet is a copy of the language contained in the current ordinance and staff's proposed amendments for the City Council's consideration. Should the City Council direct staff to amend the zoning ordinance, the timeline for the amendment would be as follows:

Planning and Zoning Work Session: April 26, 2016
Planning and Zoning Public Hearing: May 10, 2016
City Council Public Hearing [*1st Reading*]: May 16, 2016
City Council [*2nd Reading*]: June 6, 2016

If the City Council has any questions over the amendment staff will be available to answer these in the April 4, 2016 City Council meeting.

Current Ordinance:

Article V, District Development Standards, of the Unified Development Code

Section 6. Overlay Districts

Section 4. Southside Residential Neighborhood Overlay (SRO) District

- (A) *Purpose.* This overlay district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. It is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.
- (B) *Other Requirements.* Any requirements necessary for residential development or use not specifically stated in this section shall comply with the SF-7 District requirements.
- (C) *Area Requirements.*

- (1) Minimum lot area: 5,000 square feet.
- (2) Maximum number of single-family detached dwellings units per lot: one.
- (3) Minimum square footage per dwelling unit: 900 square feet.
- (4) Minimum lot frontage on a public street: 50 feet.*
- (5) Minimum lot depth: 100 feet.*
- (6) Minimum depth of front yard setback: 20 feet.*
- (7) Minimum depth of rear yard setback: ten feet.*
- (8) Minimum width of side yard setback:
 - (a) Internal lot: six feet.*
 - (b) Abutting street: 15 feet.*
 - (c) Abutting an arterial: 20 feet.*

**These setbacks may be varied by the planning and zoning commission and city council upon request of the applicant.*

- (9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
 - (10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.
 - (11) Maximum building coverage as a percentage of lot area: 40 percent.
 - (12) Maximum building height: 32 feet.
 - (13) Minimum number of paved off-street parking spaces required for:
 - (a) One single-family dwelling unit: two. An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) All other uses: see article V, Parking and Loading.
- (D) Consideration of special request in furtherance of neighborhood preservation. The city council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to, neighborhood signage plans, use of building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, or other requests submitted for consideration.

Upon receipt of such special requests, the city council shall review same and forward its recommendation to the planning and zoning commission for consideration. Upon recommendations from the planning and zoning commission, the city council may approve requests by amendment of the ordinance designating the neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in this Unified Development Code. Such special requests may be denied by the city council by passage of a motion to deny.

(Ord. No. 10-14, § 36, 7-6-2010)

Proposed Amendments:

Article V, District Development Standards, of the Unified Development Code

Section 6. Overlay Districts

Section 4. Southside Residential Neighborhood Overlay (SRO) District

(A) Purpose. **The purpose of the Overlay District is to provide the flexibility necessary for allowing infill and redevelopment of the Southside Neighborhood, while maintaining and protecting the character and integrity of the existing neighborhood. This overlay district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. It is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.**

(B) Other Requirements. Any requirements **necessary for residential development or use** not specifically stated in this section shall comply with the **Single Family 7 (SF-7)** District requirements.

(C) Area Requirements.

- (1) Minimum lot area: 5,000 square feet.
- (2) Maximum number of single-family detached dwellings units per lot: One.
- (3) Minimum square footage per dwelling unit: 900 square feet.
- (4) Minimum lot frontage on a public street: 50 feet.*
- (5) Minimum lot depth: 100 feet.*
- (6) Minimum depth of front yard setback: 20 feet.*
- (7) Minimum depth of rear yard setback: 10 feet.*
- (8) Minimum width of side yard setback:

- (a) Internal lot: 6 feet.*
- (b) Abutting street: 15 feet.*
- (c) Abutting an arterial: 20 feet.*

~~*These setbacks may be varied by the planning and zoning commission and city council upon request of the applicant.~~

- (9) Minimum distance between separate buildings on the same lot or parcel of land: ten feet.
- (10) Minimum length of driveway pavement from the public right-of-way for rear or side yards: 20 feet.
- (11) Maximum building coverage as a percentage of lot area: 40 percent.
- (12) Maximum building height: 32 feet.
- (13) Minimum number of paved off-street parking spaces required for:

- (a) One Single-Family Dwelling Unit: Two **(2) Parking Spaces**. An enclosed garage shall not be considered in meeting the off-street parking requirements.
- (b) All Other Uses: **see article V, Parking and Loading. see Article VI, Parking and Loading, of the Unified Development Code.**

(D) Consideration of Special Request in Furtherance of Neighborhood Preservation. The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be limited to neighborhood signage plans, **the use of alternate building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, reductions in the building setbacks,** or other requests submitted for consideration **to the Planning and Zoning Department.**

~~Upon receipt of such special requests, the city council shall review same and forward its recommendation to the planning and zoning commission for~~

~~consideration. Upon recommendations from the planning and zoning commission, the city council may approve requests by amendment of the ordinance designating the neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in this Unified Development Code. Such special requests may be denied by the city council by passage of a motion to deny.~~

Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by the passage of a motion to deny.

Special requests shall not include any request to change the land use of a property.

(Ord. No. 10-14, § 36, 7-6-2010)

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Mayor and City Council
FROM: Rick Crowley, City Manager
DATE: April 1, 2016
SUBJECT: Interlocal Agreement – STAR Transit Services

There are two items for consideration under this agenda item:

- 1) As indicated in the memorandum from Joey Boyd (attached), approval of an agreement with Rockwall County for the services provided by STAR in FY 2016. The payment in this agreement is consistent with the amount that the City agreed to pay in FYI 2016 and the amount included in the FY 2016 Budget. In order, to make the payment and in order for the County to accept the payment the formal agreement would need to be in place.
- 2) As previously indicated in an email previously provided to the Council (also attached), STAR has indicated the cost to the County of continuing to service in FY 2017. The required funding for STAR to continue service is the same regardless of the level of service requested by the City and County. If the STAR funding requirement for FY 2017 remains at \$253, 000 and if the County funds 40% of the total this leaves \$151,800 to be paid by the cities. If that amount is paid by the cities based on each city's percentage of service use, the City of Rockwall amount for FY 2017 would be about \$132,066. (The County has not yet considered the matter of paying 40% of the costs.) Some discussion with the Council regarding the City's participation in funding for FY 2017.

Attachments include:

- 1) This memorandum
- 2) Boyd memorandum regarding agreement with Rockwall County
- 3) Boyd email regarding FY 2017 services and costs
- 4) Interlocal Agreement with Rockwall County



City of Rockwall
The New Horizon

MEMORANDUM

TO: City Council

FROM: Joey Boyd, Director of Internal Operations

DATE: March 30, 2016

SUBJECT: Transportation Services Agreement

The City of Rockwall hired Aecom's Transit Division to review information provided by STAR Transit related to their request for funding. Aecom collected data from STAR Transit, the North Central Texas Council of Governments, and held stakeholder's meetings with the City and Rockwall County. The final report was presented to the City Council in December 2015.

As a result of the study and previous discussions with the City Council, city staff and Councilmembers Townsend and Fowler met with Rockwall County Commissioner David Magness and Judge David Sweet to communicate to the County the types of services the City would be willing to fund as part of an overall county-wide public transportation plan. The transportation services requested by the City involve the following:

1. 65 years of age and older
2. Disabled / Special Needs
3. Citizens who require transportation for medical care related purposes
4. Reporting mechanism
5. Performance standards

Included for the City Council's review and consideration is an interlocal agreement between Rockwall County and the City of Rockwall. The agreement includes all of the services requested by the City. The term would be for the remainder of the current fiscal year and not exceed \$55,201.50. The City Council authorized funding that amount of in this year's budget for transportation services.

If the City Council is in agreement with the types of services and the funding amount proposed in the agreement, Council is asked to authorize the City Manager to execute the interlocal agreement on behalf of the City of Rockwall.

From: [Crowley, Rick](#)
To: [Smith, Mary](#)
Subject: Joey's 2017 explanation email
Date: Friday, April 01, 2016 2:08:44 PM

From: Boyd, Joey
Sent: Monday, March 28, 2016 4:36 PM
To: Council Group
Cc: Crowley, Rick
Subject: STAR Transit Update

The City of Rockwall previously communicated to Judge Sweet and Commissioner Magness what types of transportation services the City would be willing to pay for and for those it would not participate in funding. Those items are listed below:

Proposed Contract Services / Requirements – City of Rockwall paid services

1. 65 years of age and older
2. Disabled / Special Needs
3. Citizens who require transportation for medical care related purposes
4. Adding a contract compliance reporting mechanism
5. Adding performance standards (advanced call-in, response time standards to the contract, etc).

STAR Discretionary Services

Whatever STAR wants to do, but the City doesn't pay for it. For example, separate contract with Boys & Girls Club.

STAR Fixed Route Services

STAR can determine the best fixed route to provide its customers based on demand. (job sites, grocery stores, YMCA, etc.) The City of Rockwall will not dictate the route and will not participate in funding it.

Update: STAR has indicated to the County that the price of providing continued transportation services throughout the County would be \$253,000 in 2017 regardless of service levels desired by the City.

Commissioner Magness has recently stated that he intends to propose to the entire County Commissioners Court that Rockwall County offer to pay for 40% of that cost and that each individual city would then be responsible to pay their "share" of the remaining 60% based on ridership from within the City. Based on previous and best available ridership numbers, the City of Rockwall would be approximately 87% of that cost, equating to approximately

\$132,000 annually beginning in FY 2017.

You will recall that STAR proposed that they cover the cost for the first 6 months of the current fiscal year and that the County and Cities cover the remaining operating matching funds beginning in April 2016. The Council authorized \$51,500 in this year's budget to fund transportation services from April – September 2016.

We will need to discuss how the City proceeds from here and into next fiscal year from both a contractual and budgetary standpoint. Please let us know if you have any questions.

Joey Boyd
Director of Internal Operations
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087
Phone: (972) 772-6408

**INTERLOCAL AGREEMENT FOR PARTICIPATION IN REGIONAL
TRANSPORTATION SERVICES IN ROCKWALL COUNTY**

THE STATE OF TEXAS §
 §
COUNTY OF ROCKWALL §

This Interlocal Cooperative Agreement (“Agreement”) is made pursuant to chapter 791 of the Texas Government Code and entered into by and between Rockwall County, Texas (the “County”), acting by and through its governing body, the Rockwall County Commissioners Court, and the City of Rockwall (the “City”), acting by and through its governing body. The County and the City may each be referred to as a “Party” to this Agreement and may be collectively referred to as “Parties” in this Agreement.

RECITALS:

WHEREAS, the County has entered into an Interlocal Agreement with STAR Transit (“STAR”), a rural Transit District established pursuant to the authority of Chapter 458, Texas Transportation Code, as amended, for the purpose of providing for the operation and management of public transportation services for the benefit of the citizens of the County and the City;

WHEREAS, the citizens of the City account for over 80 percent of the ridership of STAR in its previous year of operation in the County;

WHEREAS, the City desires to participate in the funding and provision of certain regional transportation services to its citizens; and

WHEREAS, the County and the City are local governmental entities as defined in Chapter 791 of the Texas Government Code, and each are empowered under this Chapter to contract for the provision of governmental functions and services including public and elderly transportation.

NOW, THEREFORE, the parties, in consideration of the mutual covenants and agreements herein contained, do mutually agree as follows:

I. Incorporation of Recitals

The foregoing recitals are hereby incorporated into the body of this Agreement and shall be considered part of the mutual covenants, consideration and promises that bind the Parties.

II. Term

This Agreement shall be effective upon the execution by both Parties with transportation services already in progress by STAR. This Agreement shall conclude on August 31, 2016 at the end of the current fiscal year of STAR.

III. Rights, Duties and Responsibilities of the County

The County agrees that during the term of this Agreement, it will:

- A. Monitor the agreement between the County and STAR for the provision of regional transportation services in Rockwall County to ensure that the legal obligations of the County and STAR are being met;
- B. Provide STAR with parking facilities at a County facility to enable adequate services in Rockwall County;
- C. Ensure that the funds provided by the City are utilized only for certain STAR services including non-fixed route services for the following groups of riders:
 - 1. Persons 65 years of age or older;
 - 2. Disabled or special needs individuals; and
 - 3. Persons requiring transportation for medical care related purposes.
- D. Provide to the City the STAR monthly report for review of performance standards and ridership.

IV. Rights, Duties and Responsibilities of the City

During the term of this Agreement, the City agrees to:

- A. Provide funding to the County in the amount of \$12,690.00 per month for an amount not to exceed ~~\$63,450.00~~ for the full term of this Agreement. The funds shall be due to the County on the 1st of every month, the first payment of which is due on April 1, 2016; 11,040.30
- B. Assist in Promotion activities such as utilizing the City's website, social media outlets, news releases and water bill inserts to promote STAR services for City residents; and
- C. Prior to the termination of this Agreement, the City will discuss in good faith with the County and STAR the opportunity of renewing its participation in the regional transportation services in Rockwall County.

V. Termination

This Agreement may be terminated immediately at any time by a written agreement signed by both Parties setting forth the termination date.

Termination due to Default must be preceded by (1) written notice stating specific provision violated in this Agreement, (2) a thirty (30) day period for cure and (3) a second notice of failure to cure and final termination. A Party shall be in default of this Agreement if such Party fails to

timely keep or perform any term, provision, covenant, or condition to be kept or performed by such Party under the terms of this Agreement and/or any other agreement now or hereafter existing between the Parties and such failure continues for thirty (30) days after written notice by the non-defaulting Party to the defaulting Party (a "Default"). Upon the occurrence of a Default, the non-defaulting Party shall have the right to terminate this Agreement by written notice to the defaulting Party and shall further have the right to exercise any and/or all other rights and/or remedies available to such Party at common law, by statute, in equity or otherwise pursuant to the laws of the State of Texas.

VI. Notices

All notices and communications permitted or required under this Agreement are to be mailed by United States Postal Service, certified mail, return-receipt requested, to the following addresses:

FOR THE COUNTY: All notices and communications must be mailed as follows:

Original to: 1. Rockwall County Auditor's Office
 1111 E. Yellowjacket Ln., Ste. 202
 Rockwall, Texas 75087

and

Copy to: 2. Rockwall County Judge
 101 E. Rusk St.
 Rockwall, Texas 75087

FOR THE CITY: City of Rockwall
 Attn: City Manager
 385 S. Goliad St.
 Rockwall, Texas 75087

These addresses may be changed upon giving prior written notice to the other party. All mailed notices and communications are deemed given and complete upon depositing them in the United States Mail. Notwithstanding any provision to the contrary, the parties agree that the County may provide monthly invoices to the User by email sent to a mutually agreed upon email address.

VII. Assignment

Neither party hereto shall sell, assign, or transfer any of its rights or obligations under this Agreement in whole or in part, without the prior written consent of the other Party. This Agreement shall bind and benefit the County and the City and shall not bestow any rights upon any third party.

VIII. Venue

This Agreement is governed by and construed according to the laws of the State of Texas. Exclusive venue of any action or claim arising out of this Agreement is Rockwall County, Texas.

Failure of either party hereto to insist on the strict performance of any of the agreements herein or to exercise any rights or remedies accruing hereunder upon the default or failure by an appropriate remedy, shall not be considered a waiver of strict compliance with any other obligation hereunder, and shall not be considered a waiver of the exercise of any rights or remedies occurring as a result of any future development or failure of performance.

IX. Availability of Funds

The City will pay its obligations hereunder from available current revenues.

X. Entire Agreement

This instrument contains the entire Agreement between the parties relating to the rights granted and the obligation assumed. Any modifications concerning this Agreement are of no force and effect unless in writing and executed by both Parties.

This Agreement may be executed in multiple counterparts, each having equal force and effect of an original. This Agreement shall become binding and effective only after it has been authorized and approved by the governing bodies of each governmental entity, as evidenced by the signature of the appropriate authority.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement by their duly authorized agents, officers and/or officials on the dates set forth below.

Rockwall County

By: 

Honorable David Sweet
Rockwall County Judge

Date: 3/22/14

City of Rockwall

By: _____
Rick Crowley
City Manager

Date: _____

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City of Rockwall
The New Horizon

Building Inspections Department Monthly Report

February 2016

Permits

Total Permits Issued: 281

Building Permits: 45

Contractor Permits: 236

Total Permit Values: \$ 10,957,861.64

Building Permits: \$ 9,769,993

Contractor Permits: \$ 1,187,868.64

Total Fees Collected: \$ 209,371.39

Building Permits: \$ 192,671.27

Contractor Permits: \$ 16,700.12

Board of Adjustment

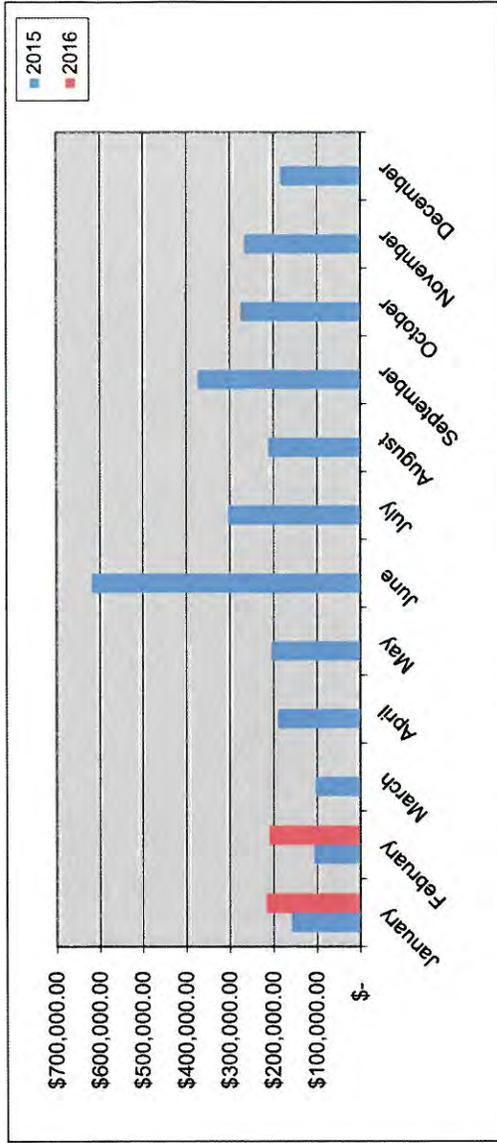
Board of Adjustment Cases 0

PERMITS ISSUED - Summary by Type and Subtype
For the Period 2/1/2016 thru 2/29/2016

Type / SubType	# of Permits Issued	Valuation of Work	Fees Charged
BANNER	4	\$0.00	\$151.00
30 DAY BANNER	4	\$0.00	\$151.00
CLEAN SHOW	2	\$0.00	\$151.50
ELECTRICAL	1	\$0.00	\$75.00
CO	1	\$0.00	\$76.50
BUSINESS	7	\$0.00	\$528.00
COMM	28	\$3,595,032.68	\$69,493.26
ALTERATION	1	\$15,000.00	\$262.75
CONCRETE	1	\$500,000.00	\$3,245.25
DEMO	1	\$2,942.00	\$94.75
ELECTRICAL	1	\$7,000.00	\$50.00
FENCE	4	\$10,900.00	\$393.56
INTERIOR COMP	3	\$22,000.00	\$35.00
IRRIGATION	1	\$300,000.00	\$2,275.25
MECHANICAL	3	\$10,900.00	\$106.50
MISCELLANEOUS	1	\$2,200.00	\$96.65
NEW	1	\$2,500.00	\$35.00
PLUMBING	2	\$2,501,566.00	\$61,632.30
REMODEL	2	\$4,200.00	\$153.00
ROOF	2	\$85,300.00	\$936.75
SIGNAGE	5	\$130,524.68	\$176.50
MONUMENT	5	\$3,500.00	\$603.00
WALL	1	\$0.00	\$75.00
SINGLE FAMILY	4	\$3,500.00	\$528.00
ACC BLDG	220	\$7,359,328.96	\$137,723.23
ADDITION	6	\$11,335.00	\$466.25
CONCRETE	6	\$390,000.00	\$3,772.46
ELECTRICAL	10	\$23,500.00	\$756.56
FENCE	2	\$1,977.00	\$101.51
IRRIGATION	63	\$256,723.00	\$2,223.00
MECHANICAL	40	\$69,700.00	\$1,405.20
NEW	7	\$44,690.00	\$997.32
PATIO COVER	21	\$5,843,786.00	\$118,372.26
PLUMBING	4	\$33,006.00	\$702.75
REMODEL	32	\$37,194.00	\$5,777.22
RETAINING WALL	2	\$105,000.00	\$1,268.00
ROOF	5	\$82,500.00	\$176.50
SWIM POOL	8	\$48,631.36	\$282.20
WINDOWS	8	\$388,000.00	\$1,209.00
SPECIAL EVENT	6	\$23,286.60	\$213.00
	15	\$0.00	\$721.40
	15	\$0.00	\$721.40
Totals:	281	\$10,957,861.64	\$209,371.39

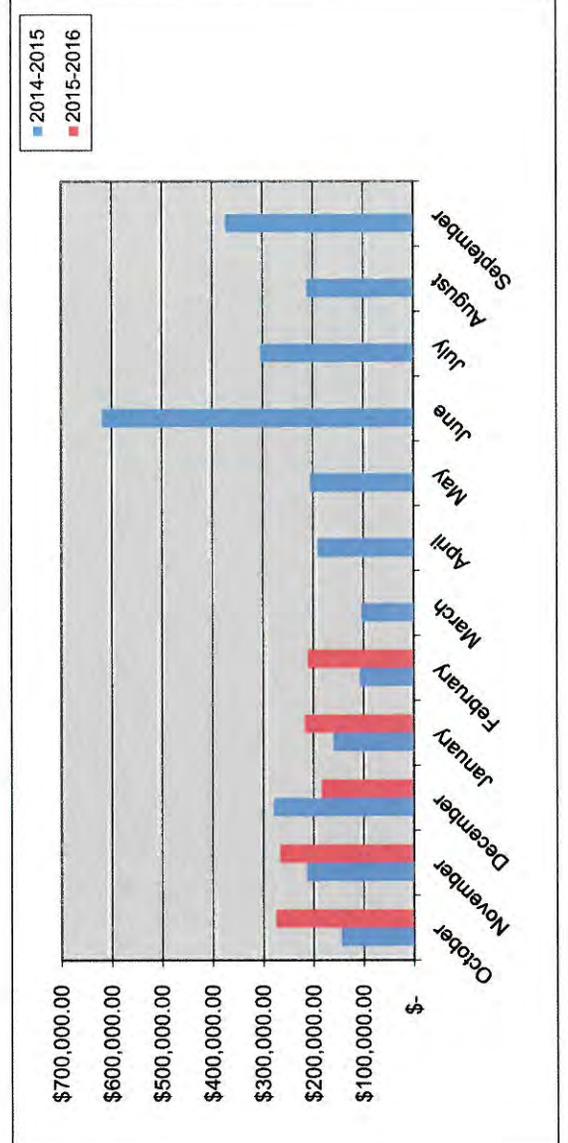
Total Fees Collected Calendar Year

	Year	
	2015	2016
January	\$ 159,026.65	\$ 216,152.71
February	\$ 106,693.21	\$ 209,371.39
March	\$ 103,029.95	
April	\$ 189,684.37	
May	\$ 204,062.18	
June	\$ 618,061.51	
July	\$ 303,359.40	
August	\$ 210,598.47	
September	\$ 373,210.63	
October	\$ 274,380.31	
November	\$ 265,948.80	
December	\$ 183,099.73	
Totals	\$ 2,991,155.21	\$ 425,524.10



Total Fees Collected Fiscal Year

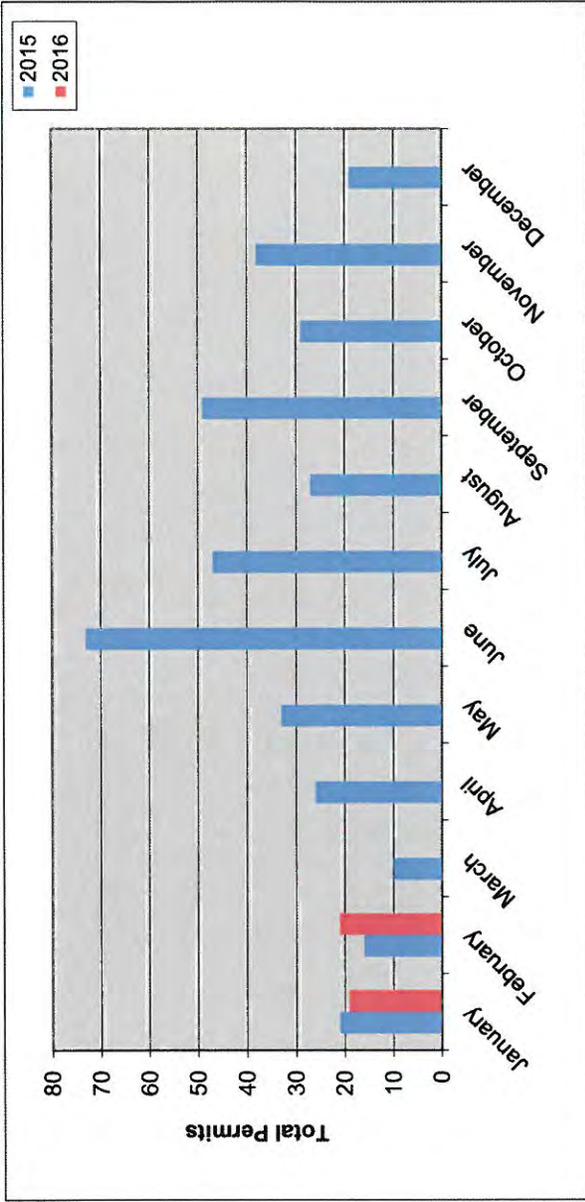
	Year	
	2014-2015	2015-2016
October	\$ 143,153.00	\$ 274,380.31
November	\$ 212,222.54	\$ 265,948.80
December	\$ 277,864.58	\$ 183,099.73
January	\$ 159,026.65	\$ 216,152.71
February	\$ 106,693.21	\$ 209,371.39
March	\$ 103,029.95	
April	\$ 189,684.37	
May	\$ 204,062.18	
June	\$ 618,061.51	
July	\$ 303,359.40	
August	\$ 210,598.47	
September	\$ 373,210.63	
Totals	\$ 2,900,966.49	\$ 1,148,952.94



New Residential Permits

Calendar Year

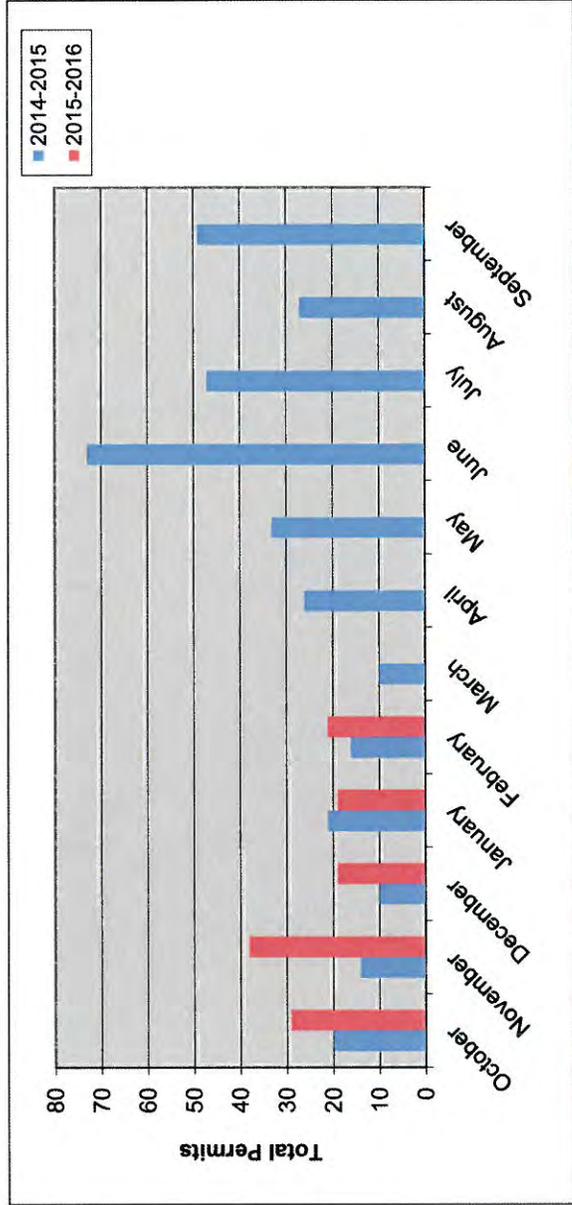
	Year	
	2015	2016
January	21	19
February	16	21
March	10	
April	26	
May	33	
June	73	
July	47	
August	27	
September	49	
October	29	
November	38	
December	19	
Totals	388	40



New Residential Permits

Fiscal Year

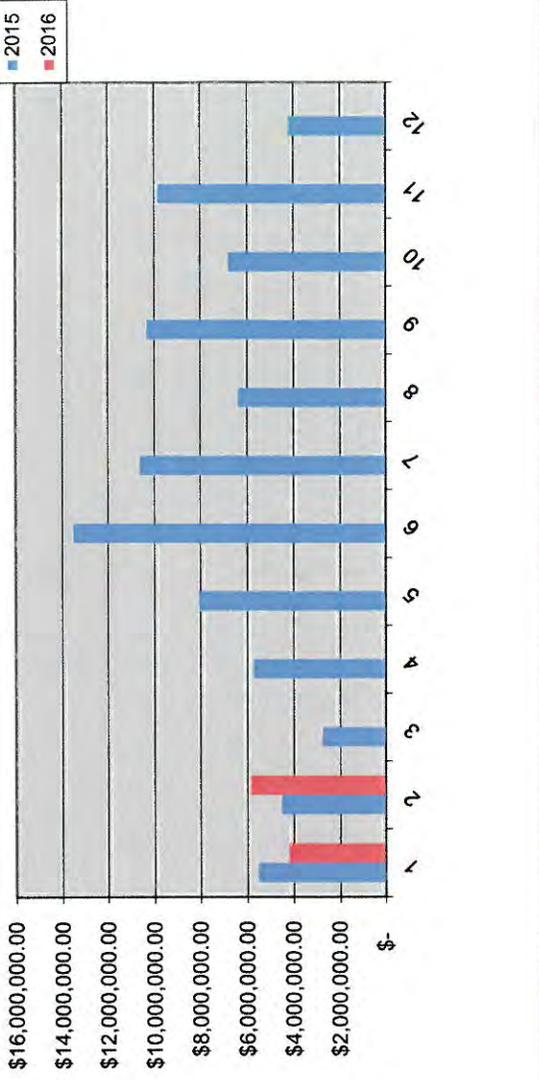
	Year	
	2014-2015	2015-2016
October	20	29
November	14	38
December	10	19
January	21	19
February	16	21
March	10	
April	26	
May	33	
June	73	
July	47	
August	27	
September	49	
Totals	346	126



New Residential Value

Calendar Year

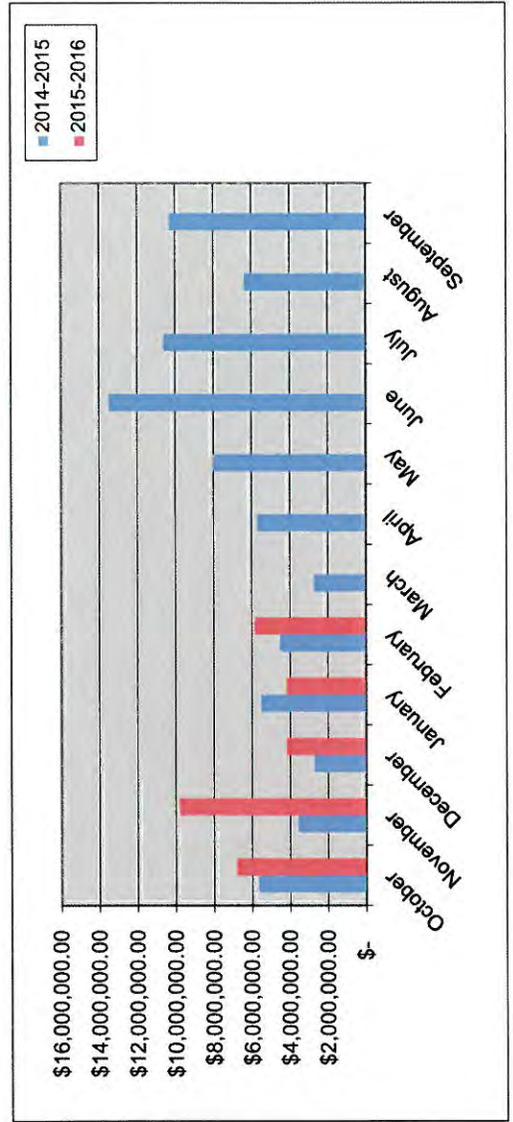
	Year	
	2015	2016
January	\$ 5,509,932.00	\$ 4,176,581.00
February	\$ 4,518,552.00	\$ 5,843,786.00
March	\$ 2,742,324.00	
April	\$ 5,703,968.00	
May	\$ 8,039,718.52	
June	\$ 13,489,179.50	
July	\$ 10,619,616.00	
August	\$ 6,369,414.00	
September	\$ 10,314,177.00	
October	\$ 6,812,889.57	
November	\$ 9,823,135.00	
December	\$ 4,185,128.00	
Totals	\$ 88,128,033.59	\$ 10,022,383.00



New Residential Value

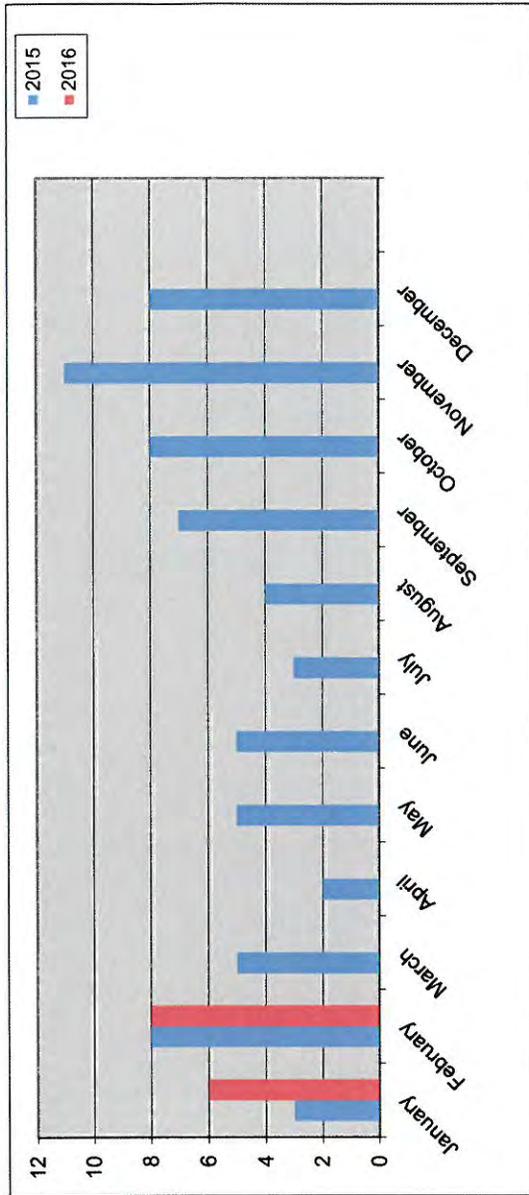
Fiscal Year

	Year	
	2014-2015	2015-2016
October	\$ 5,661,792.00	\$ 6,812,889.57
November	\$ 3,581,756.00	\$ 9,823,135.00
December	\$ 2,712,503.00	\$ 4,185,128.00
January	\$ 5,509,932.00	\$ 4,176,581.00
February	\$ 4,518,552.00	\$ 5,843,786.00
March	\$ 2,742,324.00	
April	\$ 5,703,968.00	
May	\$ 8,039,718.52	
June	\$ 13,489,179.50	
July	\$ 10,619,616.00	
August	\$ 6,369,414.00	
September	\$ 10,314,177.00	
Totals	\$79,262,932.02	\$ 30,841,519.57



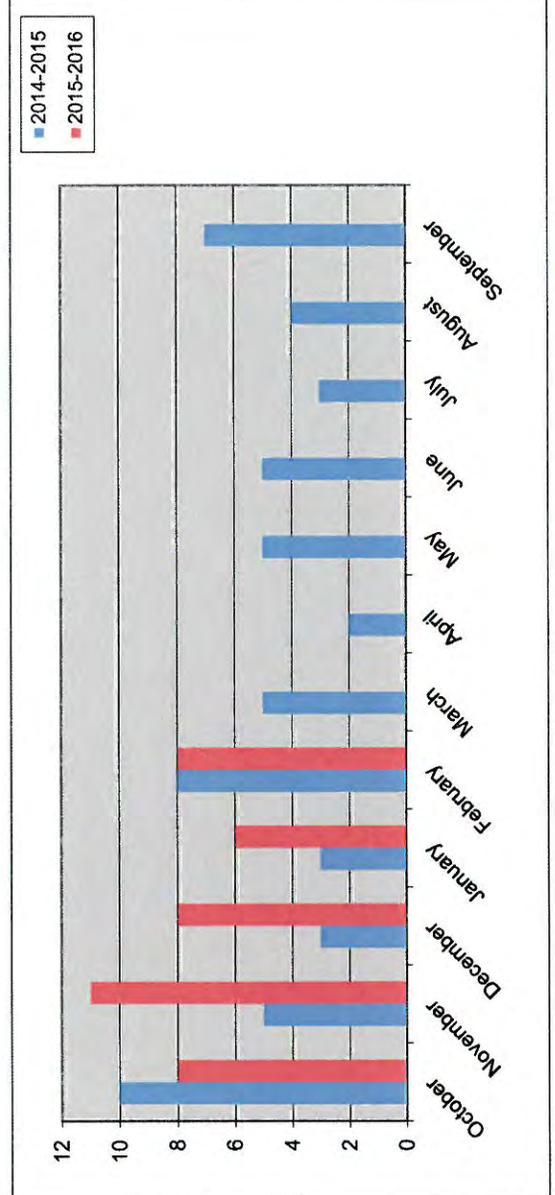
Residential Remodel Permits Calendar Year

	Year	
	2015	2016
January	3	6
February	8	8
March	5	
April	2	
May	5	
June	5	
July	3	
August	4	
September	7	
October	8	
November	11	
December	8	
Totals	69	14



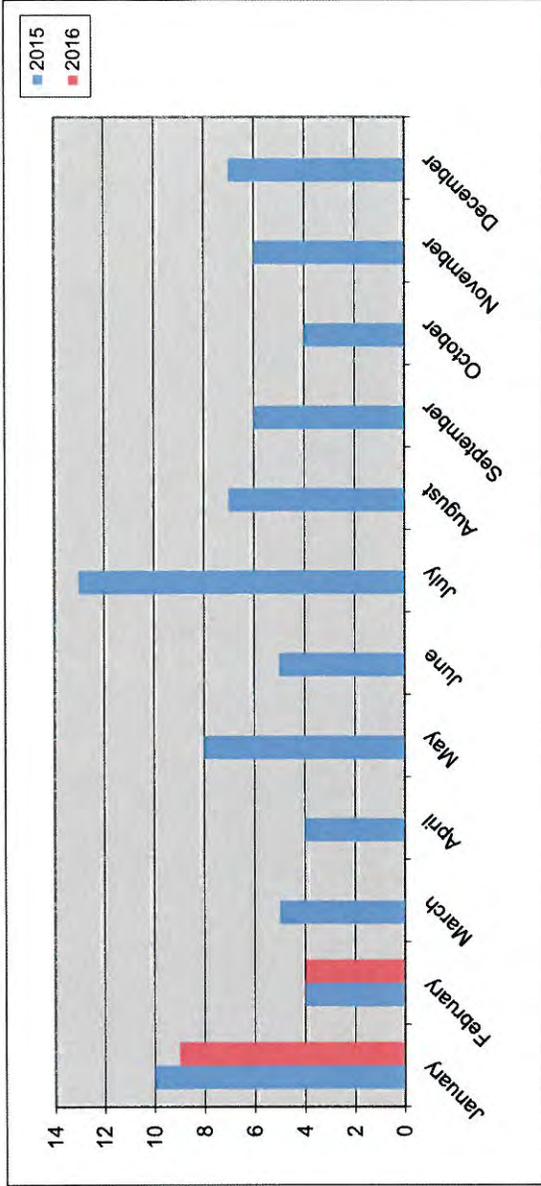
Residential Remodel Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	10	8
November	5	11
December	3	8
January	3	6
February	8	8
March	5	
April	2	
May	5	
June	5	
July	3	
August	4	
September	7	
Totals	60	41



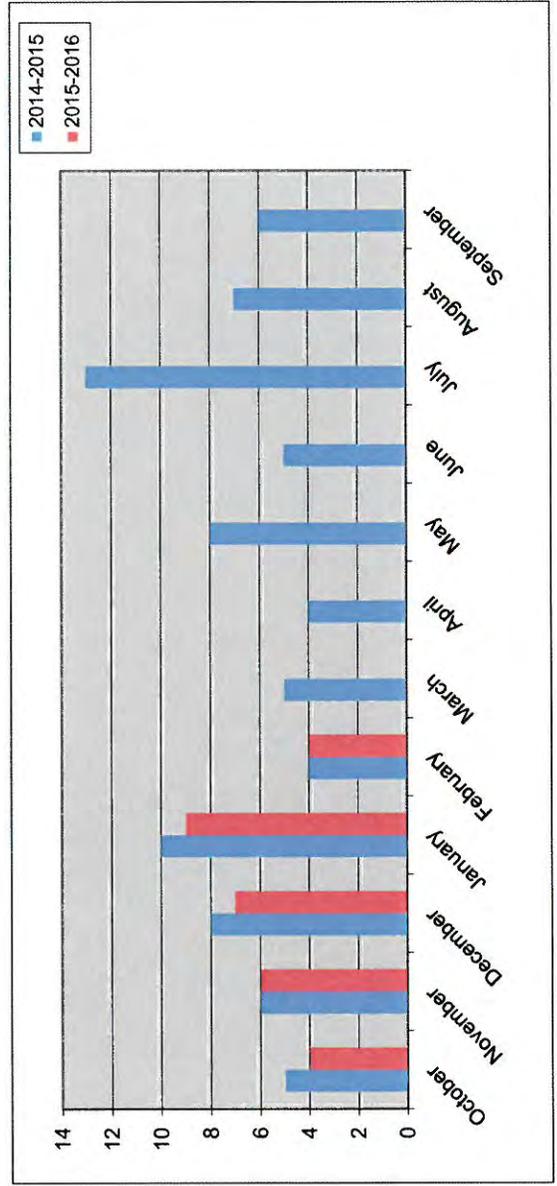
Commercial Remodel Permits Calendar Year

	Year	
	2015	2016
January	10	9
February	4	4
March	5	
April	4	
May	8	
June	5	
July	13	
August	7	
September	6	
October	4	
November	6	
December	7	
Totals	79	13



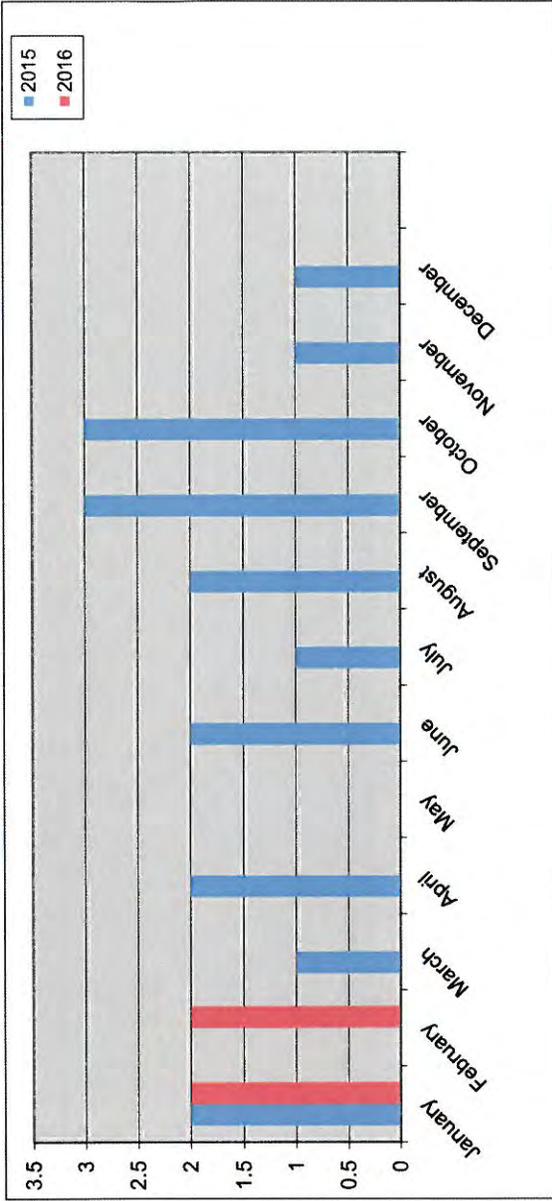
Commercial Remodel Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	5	4
November	6	6
December	8	7
January	10	9
February	4	4
March	5	
April	4	
May	8	
June	5	
July	13	
August	7	
September	6	
Totals	81	30



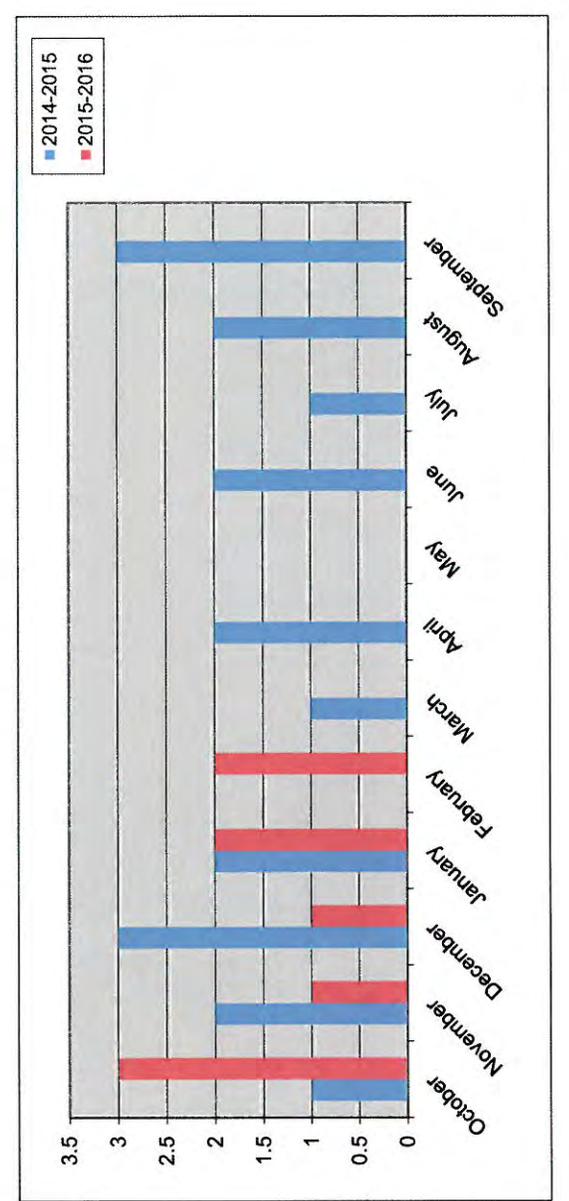
New Commercial Permits Calendar Year

	Year	
	2015	2016
January	2	2
February	0	2
March	1	
April	2	
May	0	
June	2	
July	1	
August	2	
September	3	
October	3	
November	1	
December	1	
Totals	18	4



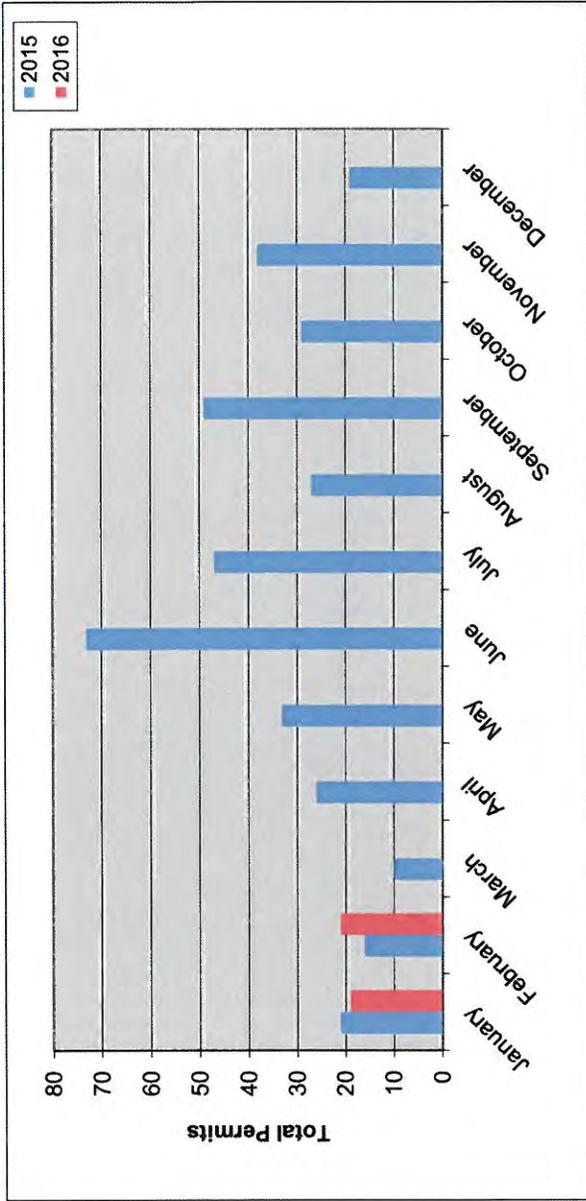
New Commercial Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	1	3
November	2	1
December	3	1
January	2	2
February	0	2
March	1	
April	2	
May	0	
June	2	
July	1	
August	2	
September	3	
Totals	19	9



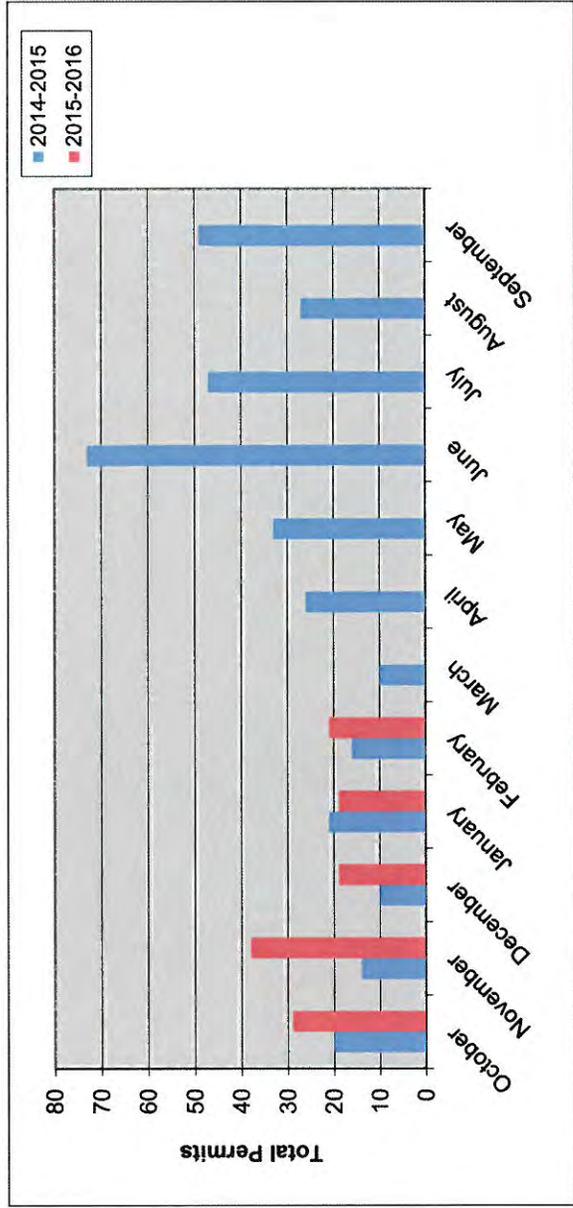
New Residential Permits Calendar Year

	Year	
	2015	2016
January	21	19
February	16	21
March	10	
April	26	
May	33	
June	73	
July	47	
August	27	
September	49	
October	29	
November	38	
December	19	
Totals	388	40



New Residential Permits Fiscal Year

	Year	
	2014-2015	2015-2016
October	20	29
November	14	38
December	10	19
January	21	19
February	16	21
March	10	
April	26	
May	33	
June	73	
July	47	
August	27	
September	49	
Totals	346	126



City of Rockwall
PERMITS ISSUED

For the Period 2/1/2016 thru 2/29/2016

Permit Number	Permit Type	Site Address	Parcel Number	Valuation	Total Fees	
Application Date	Subtype	Subdivision Name	Subdivision Name		Total SQFT	Fees Paid
Issue Date	Status of Permit	Plan Number	Plan Number			
CO2015-0127	CO	577 E IH 30	577 E IH 30	0.00	\$ 75.00	\$ 75.00
12/14/2015	BUSINESS	3245-0000-0003-00-OR	CARLISLE PLAZA ADDN			
2/5/2016	ACTIVE	AP'S Thread Salon			0	
Contact Type	Contact Name	Contact Address	Contact Address			Phone Number
OWNER	BENT, TREE REALTY CO		ADDISON	TX	75001	
APPLICANT	Bryan Hull, Hull Associates					(469) 426-6906
PLB CONTR	ACM PLUMBING CO	P. O. BOX 210864	Dallas	TX	75211	(469) 360-6479
ELEC CONTR	F & S Electrical Contractor	11526 C F HAWN FRY T RLR 104	Dallas	TX	75253	(214) 587-7782
BUS OWNER	Arpita Patel	577 E IH 30	Rockwall	TX	75087	(469) 831-8682
CO2016-0001	CO	2014 Goliad St S 140	2014 Goliad St S 140	0.00	\$ 75.00	\$ 75.00
1/12/2016	BUSINESS	4834-000A-0002-01-OR	ROCKWALL CENTRAL SHOPPING CENTER			
2/11/2016	ACTIVE	Curry Express			0	
Contact Type	Contact Name	Contact Address	Contact Address			Phone Number
OWNER	FOLSOM, ROBERT S		ADDISON	TX	75001	
APPLICANT	Rajasekhar Vemireddy	6920 Parkridge Blvd #279	Irving	TX	75063	(512) 576-2836
INSP RPT EMAIL	Rajasekhar Vemireddy	6920 Parkridge Blvd #279	Irving	TX	75063	(512) 576-2836
BUS OWNER	Rajasekhar Vemireddy	2014 Goliad St S \$140	Rockwall	TX	75087	(512) 576-2836
CO2016-0006	CO	2673 Market Center Dr.	2673 Market Center Dr.	0.00	\$ 75.00	\$ 75.00
1/20/2016	BUSINESS	4719-000B-001A-00-OR	R W MARKETCENTER ADDITION			
2/2/2016	ACTIVE	Floors 4 Less LLC			0	
Contact Type	Contact Name	Contact Address	Contact Address			Phone Number
OWNER	CRP/ARROW, ROCKWALL LLC		DALLAS	TX	75205	
BUS OWNER	Laila Lahssini	2673 Market Center Dr.	Rockwall	TX	75032	(214) 415-5381
CO2016-0009	CO	5719 SH 276	5719 SH 276	0.00	\$ 76.50	\$ 76.50
1/28/2016	BUSINESS	0022-0000-0001-06-OR				
2/8/2016	ACTIVE	D & E heating & Air			0	
Contact Type	Contact Name	Contact Address	Contact Address			Phone Number
OWNER	SIGN, OF QUALITY LLC		ROYSE CITY	TX	75189	
APPLICANT	D & E Heating & Air	553 Laurel Ln.	Fate	TX	75087	(214) 501-3775
BUS OWNER	D & E Heating & Air	553 Laurel Ln.	Fate	TX	75087	(214) 501-3775

City of Rockwall
PERMITS ISSUED

For the Period 2/1/2016 thru 2/29/2016

Permit Number	Permit Type	Site Address	Parcel Number	Valuation	Total Fees	Fees Paid
Application Date	Subtype	Subdivision Name	Plan Number		Total SQFT	
Issue Date	Status of Permit					
CO2016-0011	CO	109 S Goliad		0.00	\$ 75.00	\$ 75.00
1/29/2016	BUSINESS	4820-000M-0005-A0-0R				
2/12/2016	ACTIVE	ROCKWALL ORIGINAL TOWN			0	
		Groovy's				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	RDT, ENTERPRISES INC	ROCKWALL	TX	75087		
BUS OWNER	Robert Foster	109 S Goliad St.	Rockwall	TX	75087	(972) 722-8004
APPLICANT	Robert Foster	143 Stoneleigh	Heath	TX	75032	(972) 722-8004

CO2016-0013	CO	807 Goliad St N		0.00	\$ 75.00	\$ 75.00
2/3/2016	BUSINESS	3050-024C-0038-00-0R				
2/23/2016	ACTIVE	AMICK			0	
		Lice Ladies Dallas				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	SPAFFORD, SARAH	ROCKWALL	TX	75032		
APPLICANT	Rachel Silverstein	236 Summer Tanager Ln	Heath	TX	75032	(770) 833-0527
BUS OWNER	Rachel Silverstein	807 Goliad St N	Rockwall	TX	75087	(770) 833-0527

CO2016-0017	CO	1801 Goliad St S		0.00	\$ 76.50	\$ 76.50
2/11/2016	BUSINESS					
2/26/2016	ACTIVE	Dairy Queen - Rockwall Ice Cream LLC			0	
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	Rockwall Ice Cream Holdings LLC	P.O. Box 852	Waxahachie	TX	75168	
APPLICANT	Bobby Glass	3924 marquette	Dallas	TX	75225	(972) 935-2738
BUS OWNER	Bobby Glass	1801 Goliad St S	Rockwall	TX	75087	(972) 935-2738

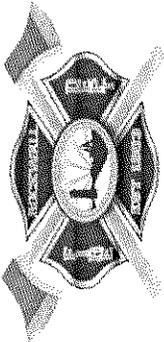
7 Permits Issued from: 2/1/2016 Thru: 2/29/2016

Total Valuation: \$ 0.00

Total Fees: \$ 528.00

Total Fees Paid: \$ 528.00

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CALLS BY TYPE
FEBRUARY 2016



City of Rockwall
The Area's Finest

CITY	Situation Type	COUNTY & MUTUAL AID	
		February #	February #
	118 Trash or rubbish fire, contained	1	
	143 Grass fire	2	1
	311 Medical assist, assist EMS crew	6	2
	322 Motor vehicle accident with injuries	3	3
	324 Motor vehicle accident with no injuries	6	
	342 Search for person in water	1	
	352 Extinction of victim(s) from vehicle	2	
	353 Removal of victim(s) from stalled elevator	1	
	360 Water & ice-related rescue, other	1	
	412 Gas leak (natural gas or LPG)	5	
	440 Electrical wiring/equipment problem, other	1	
	441 Heat from short circuit (wiring), defective/worn	1	
	444 Power line down	4	
	445 Arcing, shorted electrical equipment	2	
	462 Aircraft standby	1	
	551 Assist police or other governmental agency	16	
	556 Public service - Non paged	7	
	811 Dispatched & canceled en route	4	
	851 Smoke scare, odor of smoke	4	
	671 HazMat release investigation w/no HazMat	2	
	700 False alarm or false call, other	1	
	732 Extinguishing system malfunction (activation)	1	
	733 Smoke detector activation due to malfunction	2	
	734 Heat detector activation due to malfunction	1	
	735 Alarm system sounded due to malfunction	4	
	740 Unintentional transmission of alarm, other	2	
	741 Sprinkler activation, no fire - unintentional	2	
	742 Extinguishing system activation	1	
	743 Smoke detector activation, no fire - unintentional	4	
	744 Detector activation, no fire - unintentional	1	
	745 Alarm system activation, no fire - unintentional	6	
	746 Carbon monoxide detector activation, no CO	0	
	Unknown	1	
	Totals:	96	

CITY RESPONSE
February 2016

ENROUTE TIMES			
CITY CALLS	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0-1 1/2 Minutes		0- 1 1/2 MINUTES	
CRITERIA MET %	21 of 21	CRITERIA MET %	3 of 3
CRITERIA -ACHIEVE RESPONSE TIME	100%	CRITERIA -ACHIEVE RESPONSE TIME	100%
90% OF TIME IN BOXES WITH STATIONS	Criteria Met	60% OF TIME IN BOXES WITH STATIONS	Criteria Met
ARRIVAL TIMES			
CITY CALLS	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0 - 6 MINUTES		0-6 MINUTES	
CRITERIA MET %	20 of 21	CRITERIA MET %	1 of 3
CRITERIA -ACHIEVE RESPONSE TIME	95%	CRITERIA -ACHIEVE RESPONSE TIME	33.33%
90% OF TIME IN BOXES WITH STATIONS	Criteria Met	60% OF TIME IN BOXES WITH STATIONS	Criteria Met
RESPONSE TIMES			
CITY CALLS	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0-7 1/2 MINUTES		0-7 1/2 MINUTES	
CRITERIA MET%	20 of 21	CRITERIA MET%	3 of 3
CRITERIA -ACHIEVE RESPONSE TIME	95%	CRITERIA -ACHIEVE RESPONSE TIME	100%
90% OF TIME IN BOXES WITH STATIONS	Criteria Met	60% OF TIME IN BOXES WITH STATIONS	Criteria Met

CITY ARRIVAL COVERAGES
FEBRUARY 2016

<u>Venue</u>	<u>Alarm Date</u>	<u>Enroute Time</u>	<u>Arrival Time</u>	<u>Enroute to Arrival</u>	<u>Inc. number</u>	<u>Station</u>	<u>Lights and Sirens</u>	<u>Apparatus</u>	<u>Reason for overages</u>
Rockwall	02/24/2016	05:31:46	05:39:13	0:07:27	2016-00000175	Rockwall 1	Code 3	LAD2	Cad times don't match Radio Times
Rockwall	02/23/2016	00:52:19	00:58:54	0:06:35	2016-00000164	Rockwall 4	Code 3	E5	Drive time to area without station
Rockwall	02/21/2016	05:23:20	05:29:32	0:06:12	2016-00000157	Rockwall 4	Code 3	E5	Drive time to area without station

CITY RESPONSE OVERAGES
 FEBRUARY 2016

Venue	Alarm Date	Alarm Time	Arrival Time	Response	Inc. number	Station	Lights and Sirens	Apparatus	Reason for overages
Rockwall	02/24/2016	05:30:30	05:39:13	0:08:43	2016-00000175	Rockwall 1	Code 3	LAD2	

COUNTY AND MUTUAL AID
RESPONSE
FEBRUARY 2016

COUNTY/MUTUAL	
ENROUTE	STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0- 1 1/2 MINUTES	
CRITERIA MET %	
CRITERIA -ACHIEVE RESPONSE TIME	0 of 1
60% OF TIME IN BOXES WITH	0.00%
STATIONS	Criteria Not Met
ARRIVAL	STATIONS 1,2,3 and 4 TO BOXES WITHOUT STATIONS
0 - 10 MINUTES	
CRITERIA MET %	1 of 1
CRITERIA -ACHIEVE RESPONSE TIME	100%
60% OF TIME IN BOXES WITH	Criteria Met
STATIONS	
RESPONSE	STATIONS 1,2,3 and 4 TO BOXES WITHOUT STATIONS
0-11 1/2 MINUTES	
CRITERIA MET%	1 of 1
CRITERIA -ACHIEVE RESPONSE TIME	100%
60% OF TIME IN BOXES WITH	Criteria Met
STATIONS	

COUNTY CALLS
FEBRUARY 2016

ENROUTE OVERAGES										
Venue	Alarm Date	Alarm Time	Enroute	Alarm to Enroute	Inc. number	Station	Lights and Sirens	Unit	Reason for overages	
Rockwall County	02/07/2016	13:40:27	13:42:00	0:01:33	2016-00000111	Rockwall 2	Code 3	TNK1	CAD times don't match radio times	



City of Rockwall
The City Year. The Future.

Total Dollar Losses

February 2016

	Current Month	Last Month	Same Month Last Year	Year To Date	Last Year To Date
Total Property Loss:	\$0.00	\$2,000.00	\$195,488.00	\$2,000.00	\$215,488.00
Total Content Loss:	\$0.00	\$0.00	\$117,292.80	\$0.00	\$177,292.80
Total Property Pre-Incident Value:	\$0.00	\$281,625.00	\$244,360.00	\$281,625.00	\$544,360.00
Total Contents Pre-Incident Value	\$0.00	\$100,000.00	\$146,616.00	\$100,000.00	\$461,344.00
Total Losses:	\$0.00	\$2,000.00	\$312,780.80	\$2,000.00	\$0.00
Total Value:	\$0.00	\$381,625.00	\$390,976.00	\$381,625.00	\$1,005,704.00



CALLS BY TYPE - February 2016



City of Rockwell
Rock New Frontiers

Alarm Calls		# of Calls
733	Smoke detector activation due to malfunction	2
736	Carbon monoxide detector activation due to malfunction	0
743	Smoke detector activation, no fire - unintentional	0
732	Extinguishing System Activated Due to Malfunction	1
734	Heat Detector Activation Due to Malfunction	1
735	Alarm system sounded due to malfunction	4
740	Unintentional transmission of alarm, other	0
744	Detector activation, no fire - unintentional	0
745	Alarm system activation, no fire - unintentional	0
746	Carbon monoxide detector activation, no CO	0

Total for Month: 8

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**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Chief Poindexter

FROM: Brett Merritt

DATE: April 01, 2016

SUBJECT: 16 in 16 Recruiting Campaign

As of April 01, 2016 we have added 6 new volunteer recruits. We currently have 3 applicants that have completed all fire department minimum requirements and are awaiting results of medical physical and drug screen. We have 17 active applicants that are in various stages of the application process. Some have already passed the physical agility test or presented exemption paperwork for the PAT and are working on the background packet, some are obtaining paperwork for exemption to the PAT and some are waiting to take the PAT. The changes that have been made to the application process, physical agility process and background packet seem to be having positive results. We are off to a good start and well on our way to achieving our goal of 16 in 16.

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Fire Marshal's Division Monthly Reports

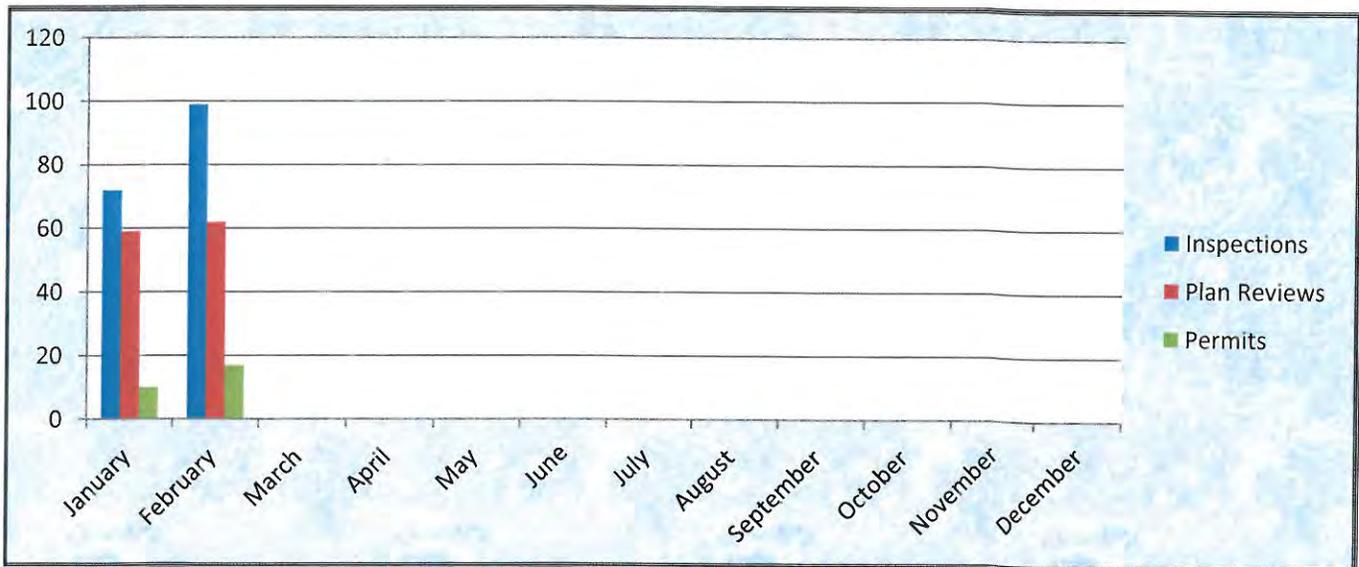
February 2016

Inspection Status Report	
Finalized Inspections	47
Pending Inspections	52
Total for the Month	99

Fire Investigations Status Report	
Active Investigations	0
Closed Investigations	0
Total for the Month	0

Project Routing Report	
COMM	28
TCO	1
CO	13
Capital Improvements	3
Engineering	5
Plat	7
Site Plan	2
Special Event	1
Zoning	2
Total for the Month	62

Fire Permit Listing	
Fire Alarm	3
Fire Sprinkler	1
Fire Sprinkler Monitoring System	4
Doors-Access Control	1
Kitchen Suppression	1
Temp Aboveground Tank	5
Underground Sprinkler	2
Open Burn	0
Underground Tank	0
Total for the Month	17





Inspection Status Summary Report



City of Rockwall
Our Vision. Our Future.

Print Date/Time: 03/29/2016 08:27
Login ID: rck\lbrewer
Inspection Type: *All

From Date: 02/01/2016
To Date: 02/29/2016
Inspection Status: *All

Rockwall Fire Department
FDID Number: TX504
Inspected By: *All

Status	Inspection Type	Total Number of Inspections
Finaled	Annual	1
	Certificate of Occupancy	11
	Construction Final	7
	Courtesy	2
	Elevator	1
	Fire Alarm System	3
	Flow Test	3
	Follow Up	7
	Foster Care / Adoption	4
	Go Vertical	2
	Kitchen Hood Suppression	3
	Tanks-TEMP	1
	Wet Fire Spinkler System	2
Total Finaled :		47



Inspection Status Summary Report



City of Rockwall
Where We Thrive

Print Date/Time: 03/29/2016 08:27
Login ID: rck\lbrewer
Inspection Type: *All

From Date: 02/01/2016
To Date: 02/29/2016
Inspection Status: *All

Rockwall Fire Department
FDID Number: TX504
Inspected By: *All

Status	Inspection Type	Total Number of Inspections
Pending	Annual	5
	Certificate of Occupancy	8
	Construction Final	14
	Courtesy	1
	Elevator	1
	Fire Alarm System	3
	Follow Up	7
	Foster Care / Adoption	1
	Kitchen Hood Suppression	4
	Tanks-TEMP	1
	Underground Fire Line	1
	Wet Fire Spinkler System	6
Total Pending :		52
Total :		99



Fire Investigation Status Summary



City of Rockwall
The Star Above

Print Date/Time: 03/29/2016 08:29
Login ID: rck\lbrewer
Status: All

From Date: 02/01/2016
To Date: 02/29/2016
Investigation Type: All

Rockwall Fire Department
FDID Number: TX504

Status	Investigation Type	Total Number of Investigations
Admin Closed/Invest Suspended	No Investigations Exist For This Status	Total Admin Closed/Invest Suspended : 0
Active (Open)	No Investigations Exist For This Status	Total Active (Open) : 0
Admin Closed-no crimel incident	No Investigations Exist For This Status	Total Admin Closed-no crimel incident : 0
Closed - by arrest/case to DA	No Investigations Exist For This Status	Total Closed - by arrest/case to DA : 0
Pending Final Report	No Investigations Exist For This Status	Total Pending Final Report : 0
		Total :

City of Rockwall
Project Routing Report By Date Sent (then by project)
For the Period 2/1/2016 thru 2/29/2016

Project #	Appl. Date Project Type	Aging	Address Description	Status Owner Name	Plan Review Detail			
					Contact	Date Sent	Completed	
				Review Type	Date Due	Status		
P2016-003	01/15/2016 PLAT	74	HAYS RD		Ariana Hargrove	02/04/2016	02/04/2016	
SP2016-003	01/15/2016 SITE PLAN	74	920 E I30		Ariana Hargrove	02/05/2016	02/05/2016	APPROVED
SP2016-002	01/15/2016 SITE PLAN	74	802-812 S GOLIAD ST		Ariana Hargrove	02/09/2016	02/09/2016	APPROVED
CIP2015-009	05/15/2015 CAPITAL IMPROVEMEN	319			Ariana Hargrove	02/23/2016		
E2015-027	10/16/2015 ENGINEERING	165	3011 N GOLIAD ST		ENG - FIRE	03/08/2016		
CIP2015-015	07/13/2015 CAPITAL IMPROVEMEN	260			Mark Poindexter	02/15/2016	02/16/2016	COMMENTS
E2014-001	01/02/2014 ENGINEERING	817	RIDGE RD		Brian Patrick	02/19/2016	02/23/2016	COMMENTS
CIP2015-018	07/17/2015 CAPITAL IMPROVEMEN	256			Ariana Hargrove	02/19/2016		
E2016-002	01/26/2016 ENGINEERING	63	1980 N GOLIAD ST		Ariana Hargrove	02/23/2016	02/23/2016	COMMENTS
E2016-003	02/23/2016 ENGINEERING	35	920 E I30		Brian Patrick	02/23/2016	02/25/2016	APPROVED

**City of Rockwall
Project Routing Report By Date Sent (then by project)
For the Period 2/1/2016 thru 2/29/2016**

Project #	Appl. Date	Project Type	Aging	Address Description	Status	Owner Name	Plan Review Detail		
							Contact	Date Sent	Completed
							Review Type	Date Due	Status
E2016-004	02/25/2016	ENGINEERING	33				Brian Patrick	02/25/2016	02/26/2016
							ENG - FIRE	03/10/2016	APPROVED
P2016-006	02/12/2016	PLAT	46	BREEZY HILLS RD			Ariana Hargrove	02/12/2016	02/18/2016
							FIRE	02/19/2016	APPROVED
P2016-007	02/12/2016	PLAT	46	BREEZY HILLS RD			Ariana Hargrove	02/12/2016	02/18/2016
							FIRE	02/19/2016	APPROVED
P2016-008	02/12/2016	PLAT	46	3011 N GOLIAD ST			Ariana Hargrove	02/12/2016	02/18/2016
							FIRE	02/19/2016	APPROVED
P2016-009	02/12/2016	PLAT	46	112 CHRIS DR			Ariana Hargrove	02/12/2016	02/18/2016
							FIRE	02/19/2016	APPROVED
Z2016-006	02/12/2016	ZONING	46	303 RENFRO ST			Ariana Hargrove	02/12/2016	02/18/2016
							FIRE	02/19/2016	APPROVED
Z2016-007	02/12/2016	ZONING	46	5205 S FM549			Ariana Hargrove	02/12/2016	02/18/2016
							FIRE	02/19/2016	APPROVED
P2016-010	02/15/2016	PLAT	43	FM552			Ariana Hargrove	02/15/2016	02/18/2016
							FIRE	02/22/2016	APPROVED
P2016-011	02/15/2016	PLAT	43	FM552			Ariana Hargrove	02/15/2016	02/18/2016
							FIRE	02/22/2016	APPROVED



Permit Routing Report By Date Sent (then by permit)
For the Period 2/1/2016 thru 2/29/2016

Permit #	Appl. Date	Aging	Address	Description	Owner Name	Contact	Review Type	Status	Plan Review Detail		
									Date Sent	Date Due	Completed
BLD2016-010	01/20/16	69	1201 RIDGE 101	Planet Fitness - interior renovation	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	02/02/16	02/02/16	02/02/16
BLD2016-019	02/02/16	56	811 YELLOW JACKET 107	Building one wall without electrical or plumbing or mech.	LANDLOW, LLC	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/02/16	02/12/16	02/02/16
BLD2016-020	02/02/16	56	1102-1209 Ridgeway Rd.	Re-roof entire shopping Center- Ridgeway Road Center	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE 972-772-6431		02/02/16	02/12/16	
BLD2015-168	11/12/15	138	760 Ralph Hall Pkwy W 120	Standard Service	FLEMING, INVESTMENTS INC.	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/03/16	02/13/16	02/03/16
BLD2016-021	02/03/16	55	1902 S GOLIAD	EZ-MART RE-ROOFING	E Z MART STORE	Ariana Hargrove	FIRE 972-772-6431		02/03/16	02/13/16	
CO2016-0013	02/03/16	55	807 Goliad St N	Lice Ladies Dallas	SPAFFORD, SARAH	Ariana Hargrove	FIRE CO	APPROVED	02/03/16	02/06/16	02/03/16
CO2016-0014	02/03/16	55	6525 Horizon Rd. 110	Epstein & Kolacz Financial Advisors	ROCKWALL, RENTAL PROPERTIES LP	Ariana Hargrove	FIRE CO	APPROVED	02/03/16	02/06/16	02/03/16
BLD2016-021	02/04/16	54	2005 GOLIAD St S	Lakeside Chevrolet - replace paint booth	BOOMPA, LTD	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/04/16	02/14/16	02/11/16
BLD2016-023	02/05/16	53	1200 YELLOW JACKET LN	New Steeple to existing Church	FIRST, UNITED METHODIST CHURCH	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/05/16	02/15/16	02/09/16
BLD2016-023	02/05/16	53	811 Yellow Jacket 107	Joyfull Melodies	LANDLOW, LLC	Ariana Hargrove	FIRE CO		02/05/16	02/08/16	
BLD2016-023	02/08/16	50	1401 IH 30	replacing service that was torn off bldg by accident	Furniture & Mattress outlet	Ariana Hargrove	FIRE 972-772-6431		02/08/16	02/18/16	
BLD2016-023	02/08/16	50	1201 RIDGE RD	ROOF - Brookshire	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE 972-772-6431		02/08/16	02/18/16	
BLD2016-024	02/08/16	50	104 S GOLIAD	RE-ROOFING (TPO MATERIAL)	MASONIC, LODGE	Ariana Hargrove	FIRE 972-772-6431		02/08/16	02/18/16	
CO2016-0015	02/08/16	50	111 Kenway Dr.	Paletaria y Fruteria	NBN, COMMERCIAL GROUP LLC	Ariana Hargrove	FIRE CO	APPROVED	02/08/16	02/11/16	02/09/16
BLD2015-152	10/14/15	167	254 RANCH TRL	PATRIOT PAWS	PATRIOT, PAWS	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/09/16	02/19/16	02/09/16
BLD2015-185	12/15/15	105	2251 RIDGE RD	Ridge Mark Office Bldg. - NEW	JORDAN, MARK S &	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/09/16	02/19/16	02/09/16
BLD2016-024	02/09/16	49	104 S GOLIAD	REPLACE HVAC SYSTEM	MASONIC, LODGE	Ariana Hargrove	FIRE 972-772-6431		02/09/16	02/19/16	
BLD2016-024	02/09/16	49	1411 GOLIAD St. S A	install new door & glass add stairs & handrails	ARTER Burn	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	02/09/16	02/19/16	02/11/16

City of Rockwall
Permit Routing Report By Date Sent (then by permit)
For the Period 2/1/2016 thru 2/29/2016

Permit #	Appl. Date	Aging	Address	Description	Owner Name	Contact	Review Type	Status	Plan Review Detail		
									Date Sent	Date Due	Completed
CO2016-0016	02/09/16	CO	49 213 Rusk St E.	Charlie's Burgers & Street Tacos	FALLS, C W	Ariana Hargrove	FIRE CO	APPROVED	02/09/16	02/12/16	02/22/16
CO2016-0017	02/11/16	CO	47 1801 Goliad St S	Rockwall Ice Cream LLC	Rockwall Ice Cream Holdings LLC	Ariana Hargrove	FIRE CO	APPROVED	02/11/16	02/14/16	02/11/16
SPEC2016-00	01/29/16	CO	60 Shoreline @ Summerlee	Dairy Queen - Rockwall Ice Cream LLC	CITY, OF ROCKWALL	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/11/16	02/18/16	02/12/16
BLD2015-107	07/23/15	COMM	250 1301 Summer Lee Dr.	Orthopedic Specialists of Dallas	N. Dallas Rockwall Land Investors, llc	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/15/16	02/25/16	02/15/16
BLD2016-010	01/20/16	COMM	69 1201 RIDGE 101	Planet Fitness - interior renovation	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/15/16	02/25/16	02/15/16
BLD2016-029	02/15/16	COMM	43 803 N GOLLAD	8' CEDAR FENCE WITH METAL POSTS (OUR HOUSE)	MILDER, SCOTT & LESLIE	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/15/16	02/25/16	02/15/16
BLD2016-030	02/16/16	COMM	42 1001 S GOLLAD	REPLACING ROOFING ONLY	ERVIN, RICHARD L & TERRI K	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/16/16	02/26/16	
BLD2016-024	02/09/16	COMM	49 1411 GOLLAD St. S A	install new door & glass add stairs & handrails	ARTER Burn	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/18/16	02/28/16	02/18/16
BLD2016-033	02/18/16	COMM	40 506 Goliad St N	Fire Restoration	MEYERS, STUART A & BRENDA S	Bryan Patrick	FIRE 972-772-6431	COMMENTS NEEDED	02/18/16	02/28/16	02/23/16
CO2016-0018	02/18/16	TCO	40 1127 Ridge Rd	Planet Fitness - Pre sales office	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE CO	APPROVED	02/18/16	02/21/16	02/23/16
BLD2016-034	02/19/16	COMM	39 782 IH 30 E	REPLACE BACKFLOW DEVICE	WAL-MART, REAL ESTATE	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/19/16	02/29/16	
BLD2016-034	02/19/16	COMM	39 544 COUNTY LINE RD.	REPLACE ELECTRICAL SERVICE TO SUDDEN LINK	SUDDEN LINK	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/19/16	02/29/16	
BLD2016-034	02/19/16	COMM	39 3011 N GOLLAD ST	Childrens Lighthouse - new bldg.	DEWOODY, GEORGE ET UX	Bryan Patrick	FIRE 972-772-6431	COMMENTS NEEDED	02/19/16	02/29/16	02/23/16
BLD2016-035	02/19/16	COMM	39 202 E RUSK	Zanata's - replace 10 ton a/c rooftop	RDT, ENTERPRISES INC	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/19/16	02/29/16	
BLD2016-005	01/12/16	COMM	77 1950 N Goliad St	Kroger - New Construction	Kroger-Dallas	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	02/23/16	03/04/16	02/23/16
BLD2016-038	02/23/16	COMM	35 105 N ALAMO	Kent Birdsong CPA - Addition	AFJ, ENTERPRISES LLC	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/23/16	03/04/16	02/25/16
CO2016-0019	02/23/16	CO	35 101 N FANNIN ST	RANDY'S BARBER SHOP	CAIN, REVOCABLE FAMILY TRUST	Ariana Hargrove	FIRE CO	APPROVED	02/23/16	02/26/16	02/23/16
CO2016-0020	02/24/16	CO	34 705 Goliad St. N	Skin Envy	WAGNER, GERALD P	Ariana Hargrove	FIRE CO	APPROVED	02/24/16	02/27/16	
CO2016-0021	02/24/16	CO	34 811 YELLOW JACKET 113	J BOND BAIL BONDS	LANDLOW, LLC	Ariana Hargrove	FIRE CO	APPROVED	02/24/16	02/27/16	02/25/16



City of Rockwall
Permit Routing Report By Date Sent (then by permit)
For the Period 2/1/2016 thru 2/29/2016

Permit #	Appl. Date	Aging	Address	Description	Owner Name	Contact	Review Type	Status	Plan Review Detail		
									Date Sent	Date Due	Completed
CO2016-0022	02/24/16	34	433 IH 30	Rockwall Spine & Sport Medicine	BENT, TREE REALTY CO	Ariana Hargrove	FIRE CO	APPROVED	02/24/16	02/27/16	02/25/16
BLD2016-040	02/24/16	34	2435 Ridge Rd. 117	Shoreline Pediatric Dentistry	ROCKWALL, OCEANHILL LLC	Bryan Patrick	FIRE 972-772-6431	COMMENTS NEEDED	02/25/16	03/06/16	02/26/16
BLD2016-040	02/25/16	33	1350 E WASHINGTON	8' wood fence w/ metal posts	SOROPTIMIST, INT'L OF ROCKWALL	Ariana Hargrove	FIRE 972-772-6431	APPROVED	02/26/16	02/29/16	02/29/16
CO2016-0023	02/26/16	32	308 E WASHINGTON	FSP & Remodeling LLC	GAREE, MICHAEL A & GEORGIA	Ariana Hargrove	FIRE CO	APPROVED	02/26/16	02/29/16	02/29/16
CO2016-0024	02/29/16	32	1215 Arista Rd. 102	Pilates Blueprint	NERITA, LLC	Kevin Clark	FIRE CO	APPROVED	02/26/16	02/29/16	03/02/16
CO2016-0025	02/29/16	29	3018 Ridge Rd. 110	Orthodontex	AJ, SQUARED LLC	Ariana Hargrove	FIRE CO	APPROVED	02/29/16	03/03/16	



Fire Permit Listing



City of Rockwall
-The City Within-

Print Date/Time: 03/29/2016 08:30
Login ID: rck\lbrewer
Permit Type: All
Permit Number From/To: All

From Application Date: 2/1/2016
Thru Application Date: 2/29/2016
Permit Status: All

Rockwall Fire Department
FDID Number: TX504
Inspector: All

Permit Number	Application Date	Applicant	Location	Permit Type	Status	Status Date
1771	02/01/2016	Spine Team Texas	3142 HORIZON RD 100 ROCKWALL, TX 75032	Fire Sprinkler Monitoring System	Approved	02/15/2016
1772	02/01/2016	Orthodontex	3018 RIDGE RD 110 ROCKWALL, TX 75032	Fire Sprinkler Monitoring System	Approved	02/05/2016
1773	02/01/2016	Stone Creek Phase 7	.	Temp Aboveground tank	Approved	02/01/2016
1774	02/02/2016	Shores Country Club HOA	2650 CHAMPIONS CIR ROCKWALL, TX 75087	Doors-Access Control	Approved	02/02/2016
1775	02/02/2016	First United Methodist Church	1200 E YELLOW JACKET LN ROCKWALL, TX 75087	Fire Alarm	Approved	02/03/2016
1776	02/02/2016	Rockwall Downs Phase 2 & 3	.	Temp Aboveground tank	Approved	02/05/2016
1777	02/02/2016	Kroger's (North)	1950 N GOLIAD ST ROCKWALL, TX 75087	Temp Aboveground tank	Approved	02/02/2016
1778	02/03/2016	Kroger's (North)	1950 N GOLIAD ST ROCKWALL, TX 75087	Temp Aboveground tank	Approved	02/03/2016
1779	02/03/2016	Orthodontex	3018 RIDGE RD 110 ROCKWALL, TX 75032	Fire Sprinkler	Approved	02/10/2016
1780	02/03/2016	Kroger's (North)	1950 N GOLIAD ST ROCKWALL, TX 75087	Underground-Sprinkler	Approved	02/10/2016
1781	02/05/2016	Eye Care and Laser Shell Building	810 ROCKWALL PKWY ROCKWALL, TX 75032	Fire Alarm	Approved	02/10/2016



Fire Permit Listing



City of Rockwall
The Star Program

Print Date/Time: 03/29/2016 08:30
Login ID: rck\lbrewer
Permit Type: All
Permit Number From/To: All

From Application Date: 2/1/2016
Thru Application Date: 2/29/2016
Permit Status: All

Rockwall Fire Department
FDID Number: TX504
Inspector: All

1782	02/08/2016	Dairy Queen	1801 S GOLIAD ST ROCKWALL, TX 75087	Kitchen Suppression	Approved	02/08/2016
1784	02/09/2016	1201 Ridge Rd Shell Building (Old Brookshire's)	1201 RIDGE RD ROCKWALL, TX 75087	Fire Alarm	Approved	02/16/2016
1785	02/09/2016	Shoreline Pediatric Denistry	2435 RIDGE RD 117 ROCKWALL, TX 75087	Fire Sprinkler Monitoring System	Approved	02/16/2016
1786	02/17/2016	The Preserve Phase I	729 FAIRFAX LN ROCKWALL, TX 75087	Temp Aboveground tank	Approved	02/18/2016
1787	02/19/2016	Shops @ Galaxy Ranch (Larson)	1855 T L TOWNSEND DR ROCKWALL, TX 75032	Fire Sprinkler Monitoring System	Approved	02/19/2016
1788	02/24/2016	Patriot Paws/Threshold Group	254 RANCH TRAIL RD ROCKWALL, TX 75032	Underground-Sprinkler	Approved	02/24/2016

Total Number of Permits: 17

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City of Rockwall
GIS Department Report
February 2016

GIS Project Request:

Month	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	% Change from 2015	2016 Trend
January	5	14	19	24	31	21	26	28	38	38	0%	-
February	13	16	26	28	28	25	26	27	33	49	48.48%	↑
March	4	6	32	23	36	22	23	28	30			
April	9	25	17	22	29	37	23	30	35			
May	16	25	18	30	32	33	38	24	31			
June	11	9	27	22	38	35	28	15	34			
July	15	24	15	32	23	27	21	31	41			
August	15	7	23	24	38	35	36	34	27			
September	9	7	28	31	37	27	20	39	50			
October	10	33	32	39	40	39	27	44	38			
November	35	6	15	27	22	13	29	34	46			
December	10	13	13	28	22	17	28	19	42			
Total:	152	185	265	330	376	331	325	353	445	(87)	0 %	

Key Projects:

Year to Date Project Request by Department:

- | | | |
|---|-----------------------------------|-----------|
| (1) Asset Management & Permitting Software. Researching available work order, asset management system and permitting/enforcement software that is GIS compatible. | Admin / HR / Internal Ops | 2 |
| | Building Inspections | 0 |
| | Citizen Request | 0 |
| | City Council | 0 |
| | City Manager's Office | 2 |
| (2) Airport Mapping. Assisted with GPS locating features, inputting into FAA site, Tree removal plan, adjacent property owner maps, and future GIS airport software options. | Neighborhood Improvement Services | 0 |
| | Engineering / Public Works | 10 |
| | Finance / Utilities | 2 |
| | Fire Department | 2 |
| (3) GPS Intern Projects. Planimetric updates and ADA Curb Ramp condition project. | GIS (Citywide Projects) | 10 |
| | IT | 0 |
| | Main Street Program | 0 |
| (4) Engineering Department. Capital Improvements Project Map and Interactive Application, Lift Station Map, Coliform Sample Sites, Stream and Flood Layers, Flood Zone (LOMA) boundary changes. | Outside Agencies | 0 |
| | Parks and Recreation | 7 |
| | Planning | 10 |
| | Police Department | 3 |
| | REDC | 1 |
| | Total | 49 |
| (5) Public Safety. Assisted with PD Grants, Volunteer Firefighter Response Areas, Harry Myers events, SWAT team map, and Warning Sirens location review. | | |
| (6) NCTCOG Next Generation 911. Resolved 911 Database Sync Issues, Reviewing state error proposals. | | |
| (7) Parks Department. Provided maps and data for Mowing Contracts, Registration map, and DORBA data. | | |
| (8) Planning Department. Assisted with maps on Thoroughfare and Harbor entry ways, El Fenix signage study, Public presentation, Road name changes & signage counts, PD50 cross access study, and historic annexation data. | | |
| (9) Economic Development. Rail adjacent property map. | | |

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CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
FACILITY MAINTENANCE REQUESTS FOR SERVICE
FEBRUARY 2016

DEPARTMENT	# FMR REQUESTS	# FMR REQUESTS RESPONDED TO W / IN 24 HOURS	# FMR REQUESTS NOT RESPONDED TO W / IN 24 HOURS	% ON TIME
ADMINISTRATION	10	10	0	100%
ADMINISTRATIVE SERVICES	1	1	0	100%
AIRPORT	2	2	0	100%
ANIMAL SERVICES	4	4	0	100%
BUILDING INSPECTIONS / NEIGHBORHOOD IMPROVEMENT	2	2	0	100%
ENGINEERING	4	4	0	100%
FINANCE	2	2	0	100%
FIRE DEPARTMENT	24	24	0	100%
INTERNAL OPERATIONS	129	129	0	100%
MUNICIPAL COURT	6	6	0	100%
PARKS & RECREATION	25	25	0	100%
PLANNING & ZONING	1	1	0	100%
POLICE DEPARTMENT	14	14	0	100%
PUBLIC WORKS	5	5	0	100%
UTILITY BILLING	2	2	0	100%
TOTAL	231	231	0	100%

CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
RADIO SYSTEM
REQUESTS FOR SERVICE
FEBRUARY 2016

DEPARTMENT	# OF REQUESTS	# OF REQUESTS RESPONDED TO W / IN 24 HOURS	# OF REQUESTS NOT RESPONDED TO W / IN 24 HOURS	% ON TIME
ANIMAL SERVICES	0	0	0	100%
CODE ENFORCEMENT	0	0	0	100%
FIRE DEPARTMENT	5	5	0	100%
EMS	0	0	0	100%
INTERNAL OPERATIONS	0	0	0	100%
PARKS & RECREATION	0	0	0	100%
POLICE DEPARTMENT	12	12	0	100%
PUBLIC WORKS	0	0	0	100%
UTILITY BILLING	0	0	0	100%
HEATH DEPT. PUBLIC SAFETY	3	3	0	100%
HOSPITAL CONTROL STATIONS	0	0	0	100%
SYSTEM ISSUES	3	3	0	100%
TOTAL	23	23	0	100%

Airport Operations Report

For Month of February 2016

FUEL SALES

	GALLONS SOLD	GROSS SALES
Jet - A Sales	158.00	\$450.30
Av-Gas Sales	1,752.20	\$6,430.44
TOTAL FUEL SALES	1,910.20	\$6,880.74

HANGAR RENTAL REVENUE

Open T Hangar Rental Revenue	\$2,295.00
Transient Covered Hgr - Nightly	\$0.00
Enclosed Hangar Rental Revenue	\$120.00
Nightly Tiedown Fees	\$42.00
North Community Hangar Rental Revenue	\$650.00
TOTAL HANGAR RENTALS	\$3,107.00

HANGAR OCCUPANCY RATES

	TOTAL HANGARS	QTY RENTABLE	QUANTITY LEASED	OCCUPANCY RATE
Open T Hangars	45	40	29	72.50%
Closed Hangar Rentals	2	2	2	100%
Open Hangar Cap Rentals	2	1	1	100%
TOTAL HANGAR OCCUPANCY	49	43	32	74%

Of the forty five hangars only forty can actually be rented. Most of these forty should be considered substandard and not easily marketed due to pad slope and width, electrical, and drainage issues.

CITY FEES DUE	FEE RATE	FRANCHISE FEE DUE	FUEL FLOWAGE FEES DUE	TOTAL FEES DUE
Fuel Sales (Gallons Sold)	\$0.10	\$0.00	\$191.02	\$191.02
City Owned Hangar Rentals	5.00%	\$155.35	\$0.00	\$0.00
TOTAL FEES DUE		\$155.35	\$191.02	\$346.37

I certify the information and amounts submitted on this form are true and correct.



Todd Parks
Managing Director - Texas Air Center, LLC

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Rockwall Police Department

Monthly Activity Report February-2016

ACTIVITY	CURRENT MONTH FEBRUARY	PREVIOUS MONTH JANUARY	YTD 2016	YTD 2015	YTD % CHANGE
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PART 1 OFFENSES

Homicide / Manslaughter	0	0	0	0	0.00%
Sexual Assault	1	3	4	0	400.00%
Robbery	1	0	1	4	-75.00%
Aggravated Assault	4	2	6	5	20.00%
Burglary	8	4	12	5	140.00%
Larceny	45	61	106	80	32.50%
Motor Vehicle Theft	4	2	6	5	20.00%
TOTAL PART I	63	72	135	99	36.36%
TOTAL PART II	167	113	280	259	8.11%
TOTAL OFFENSES	230	185	415	358	15.92%

ADDITIONAL STATISTICS

FAMILY VIOLENCE	11	15	26	24	8.33%
D.W.I.	18	17	35	24	45.83%
TEEN CURFEW	0	3	3	1	200.00%

ARRESTS

FELONY	31	24	55	38	44.74%
MISDEMEANOR	86	86	172	117	47.01%
WARRANT ARREST	53	38	91	53	71.70%
JUVENILE	2	1	3	3	0.00%
TOTAL ARRESTS	172	149	321	211	52.13%

DISPATCH

CALLS FOR SERVICE	1335	1416	2751	2736	0.55%
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ACCIDENTS

INJURY	10	11	21	17	23.53%
(INJURIES)	11	16	27	26	3.85%
NON-INJURY	61	51	112	114	-1.75%
FATALITY	0	0	0	0	0.00%
(FATALITIES)	0	0	0	0	0.00%
TOTAL	71	62	133	131	1.53%

FALSE ALARMS

RESIDENT ALARMS	56	50	106	110	-3.64%
BUSINESS ALARMS	92	112	204	236	-13.56%
TOTAL FALSE ALARMS	148	162	310	346	-10.40%
Estimated Lost Hours	97.68	106.92	204.6	228.36	-10.40%
Estimated Cost	\$2,323.60	\$2,543.40	\$4,867.00	\$5,432.20	-10.40%

ROCKWALL NARCOTICS UNIT

Number of Cases	2
Arrests	2
Arrest Warrants	1
Search Warrants	1
Seized	
Marijuana	.5 ounces
Methamphetamine	141 grams

**Rockwall Police Department
Dispatch and Response Times**

February-2016

Police Department

Average Response Time		Number of Calls 107
Priority 1		
Call to Dispatch	0:00:57	
Call to Arrival	0:06:30	
% over 7 minutes	36%	

Average Response Time		Number of Calls 250
Priority 2		
Call to Dispatch	0:03:04	
Call to Arrival	0:09:16	
% over 7 minutes	41%	

Average Response Time		Number of Calls 6
Priority 3		
Call to Dispatch	0:00:32	
Call to Arrival	0:03:51	
% over 7 minutes	0%	

***Priority 4** 0:08:44 **Number of Calls 906**

****Priority 5** 0:34:47 **Number of Calls 4**

*Priority 4 call averages are not given because they are calls that do not require an immediate response by police.

**Priority 5 calls are incidents that officers initiate themselves therefore response times are not calculated.

Average dispatch response time goals are as follows:

Priority 1: 30 Seconds

Priority 2: 45 Seconds

Priority 3: 1 Minute

Fire Department

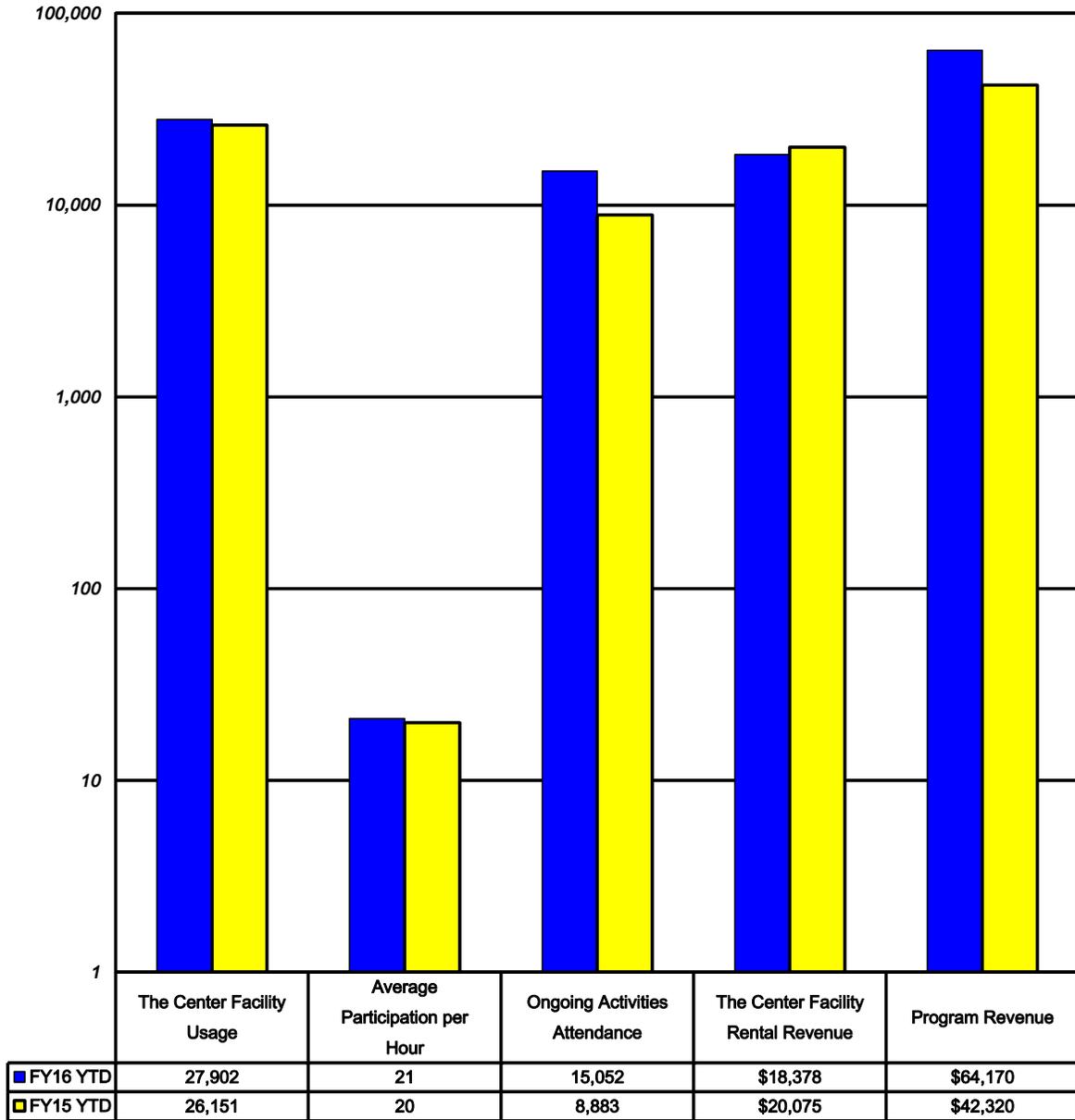
Average Response Time		Number of Calls 62
Call to Dispatch	0:00:10	
Call to Arrival	0:05:43	

Overages

Incident No.	Date	Time Rec'd	Call Type	Time Disp	Resp Time	Reason

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City of Rockwall Parks and Recreation Department FY16 February Report



The Center Facility Usage - Total number of visitors and participants that come thru The Center - includes Ongoing Activities.

Average Participation per Hour - The Center Facility Usage divided by the number of hours the facility is open.

Ongoing Activities Attendance - Non fee based activities conducted on a routine basis (Bingo, Exercise with Anita, etc).

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Rockwall Animal Adoption Center Monthly Report
CCHS at Rockwall
February 2016

DISPOSITION REPORT

	February
Intakes	157
1045	0
Adopted	70
Returned to Owner	31
Rescued	22
Euthanized	7
Live Outcome %	95%
Number of Animals in Foster	0

FINANCIAL REPORT

Income	February
City of Rockwall	\$97,618
Adoption Fee Income	\$7,005
Impound Fee Income	\$530
Owner Surrender	\$600
General Donations	\$1,400
Medical	\$305
Quarantine Fee	\$460
Other Income	\$15
Total Income	\$107,933

Expenses	February
Administrative Expenses (Payroll, etc)	\$32,582
Shelter Expenses (Microchips, Drugs, etc)	\$5,479
Veterinary Expenses	\$3,188
Professional Services	\$1,265
Total Expenses	\$42,937
Balance	\$60,648

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