

Table of Contents

Agenda	6
Hold work session to discuss and consider the City's ordinance provisions related to the Structure Tax Preservation Incentive, and take any action necessary.	
Memorandum	11
Blank Page	34
Hold work session to discuss and consider consultant's findings for the John King Boulevard/DGNO Railroad Grade Separation Feasibility Study, and take any action necessary.	
City Manager Memo.	35
Feasibility Study.	36
Blank Page	45
Hold work session to discuss the IH-30 ramp reversal project (between SH-205 and John King Boulevard) including timing and cost estimates, and take any action necessary.	
Memo (ramp reversal).	46
Blank Page	47
Go Outside and Play Day	
Proclamation	48
Blank Page	49
Consider approval of the minutes from the January 19, 2016 regular city council meeting, and take any action necessary.	
01/19 CC Mins	50
Blank Page	75
Z2015-028 - Consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of JBR-2, LLC for the approval of an ordinance for a Specific Use Permit (SUP) for Commercial Amusement/Recreation (Outside) to allow two (2) private baseball fields to be established on a 2.49-acre portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary. [2nd Reading]	
Ord_2nd reading (SUP ball fields)	76
Blank Page	81
Z2015-036 - Consider a request by Harry Chapman of Noble RE, LLC on behalf of the owners Robert & Patrick Hughes and Sandra Ferguson for the approval of an ordinance for a zoning amendment to Planned Development District 32 (PD-32) [Ordinance No. 10-21] for the purpose of allowing a Financial Institution with a Drive-Through within the Ridge Road Retail Subdistrict, being a 1.1755-acre portion of a larger ~78.89-acre area of land identified as the Harbor District, being zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located at the northwest corner of Cemetery Road and Ridge Road [FM-740], with the greater Harbor District being generally located south of IH-30 and west of Horizon Road [FM-3097], and take any action necessary. [2nd Reading]	

Ord_2nd reading (SUP in PD32)	82
Blank Page	90
Z2015-037 - Consider a request by Arthur F. Beck of BSM Engineers, Inc. on behalf of the First United Methodist Church for the approval of an ordinance for a Specific Use Permit (SUP) for a structure that exceeds the maximum height requirements for a 8.2983-acre parcel of land identified as Lot 7, Block 1, First United Methodist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1200 E. Yellow Jacket Lane, and take any action necessary. [2nd Reading]	
Ord 2nd reading (SUP steeple FUMC)	91
Blank Page	96
P2016-002 - Consider a request by Michael & Mary Grace Frasier for the approval of a replat for Lot 13, Block E, Wade Addition being a 0.74-acre tract of land currently identified as Lots 11 & 12, Block E, Wade Addition and Tract 36 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 704 Jackson Street, and take any action necessary.	
P2016-002	97
Blank Page	104
Z2015-038 - Discuss and consider a request by Scott and Leslie Milder for the approval of an ordinance amending Ordinance No. 07-29 for the purpose of allowing a Banquet Facility land use to be a permitted use through a Specific Use Permit (SUP) for all properties within Planned Development District 50 (PD-50), being 21.266-acres of land in the S.S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, and generally located along N. Goliad Street [SH-205] north of Interurban Street, and take any action necessary [2nd Reading].	
Ord_2nd reading (Z2015-038)	105
Blank Page	111
Z2015-039 - Discuss and consider a request by Dayne Ram of ADR Designs, LLC on behalf of the owner Majestic Cast, Inc. for the approval of an ordinance for a Specific Use Permit (SUP) for a Residence Hotel on a 2.003-acre parcel of land identified as Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (OV) District, located on the east side of White Hills Drive south of Ridge Road [FM-740], and take any action necessary. [2nd Reading]	
Ord 2nd reading (residence hotel)	112
Blank Page	116
Discuss and consider authorizing staff to finalize terms of an agreement between the City of Rockwall and Kevin Lefere (Zanata) concerning placement of a trash receptacle on public (city) property, authorizing the City Manager to execute said agreement, and take any action necessary.	

Memo (Zanata)	117
Blank Page	118
Discuss and consider a request by Dan Allgeier, Senior Vice President of NuRock Companies, concerning a resolution regarding the proposed Residences at Rockwall, and take any action necessary.	
Staff memo_NuRock	119
Resolution_NuRock.	120
NuRock Sample Loan Ltr Language	121
Blank Page	122
Discuss and consider approval of a variance request from Dallas Design Build associated with the City's ordinance provisions related to standards for design of developments, specifically pertaining to construction of retaining walls in detention areas within the Children's Lighthouse Learning Center, and take any action necessary.	
City Manager Memo.	123
Drainage Detention Requirements	124
Children's Lighthouse Learning Center Expansion Layout.	125
Blank Page	126
MIS2016-001 - Discuss and consider the approval of a special request by Jennie Watkins for an exception to the setback requirements for the purpose of constructing a single family home on a 0.12-acre parcel of land identified as Lot 49, Canup Addition, City of Rockwall, Rockwall County, Texas, being zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, located at the southeast corner of the intersection of Sam Houston Street and E. Bourn Street, and take any action necessary.	
MIS2016-001	127
Blank Page	133
MIS2016-002 - Discuss and consider a request by William Laurence for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.17-acre parcel of land identified as Lot 1, Block 1, St. Mary's Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 508 St. Mary's Street, and take any action necessary.	
MIS2016-002	134
Blank Page	141
Discuss and consider approval of a resolution calling a General Election to be held jointly with the Rockwall ISD and administered by the Rockwall County Elections Administrator on Saturday, May 7, 2016 for the purpose of electing three council members, one for Place 2, one for Place 4, and one for Place 6, each for two (2) year terms, and take any action necessary.	
Memo	142
Resolution calling election	143

Blank Page	146
SNC2016-001 - Discuss and consider renaming Cemetery Road to Glen Hill Way, and take any action necessary.	
SNC2016-001.	147
Blank Page	155
SNC2016-002 - Discuss and consider renaming a portion of FM-3097 to Horizon Road, and take any action necessary.	
SNC2016-002.	156
Blank Page	165
Discuss and consider a resolution authorizing the Texas Coalition for Affordable Power (TCAP) to negotiate an electric supply agreement and act as an agent on behalf of the City of Rockwall for electric power for a 5 year period and take any necessary action.	
TCAP	166
Blank Page	175
Discuss and consider approval of the Airport Layout Plan for the Ralph M. Hall / Rockwall Municipal Airport, authorizing the city manager to sign the approval of the drawings on behalf of the City of Rockwall, and take any necessary action.	
memo	176
drawings	177
Blank Page	183
Discuss and consider appointments to City boards and commissions, specifically the Historic Preservation Advisory Board, and take any action necessary.	
Memo (HPAB Appts)	184
Odom Application	185
Bowlin Application.	187
Blank page	189
Building Inspections Monthly Report - December 2015	
December 2015 Building Report	190
Blank Page	202
Blank Page	203
Fire Dept. Monthly Reports - December 2015	
Fire Monthly Report - December 2015	204
Blank Page	221
GIS Department Monthly Report - December 2015	
GIS Monthly Report (December 2015)	222
Harbor Monthly Report - December 2015	
Dec 2015	223
Blank Page	224
Internal Operations Department Monthly Report - December 2015	
IO Report	225
Blank Page	228
Police Department Monthly Report - December 2015	
PD Monthly Report - 12/2015	229

Blank page	231
Recreation Department Monthly Report - December 2015	
Recreation Graph - Dec 2015.	232
Blank Page	233
Rockwall Animal Adoption Center Monthly Report - December 2015	
Stats	234
Blank Page	235
Rockwall Meals on Wheels Senior Services - 1st Quarter Report	
MOW Report	236
Blank Page	237

AGENDA
ROCKWALL CITY COUNCIL
Monday, February 01, 2016
4:00 p.m. Regular City Council Meeting
City Hall - 385 S. Goliad, Rockwall, Texas 75087

I. CALL PUBLIC MEETING TO ORDER

II. WORK SESSION

- p.11** 1. Hold work session to discuss and consider the City's ordinance provisions related to the Structure Tax Preservation Incentive, and take any action necessary.
- p.35** 2. Hold work session to discuss and consider consultant's findings for the John King Boulevard/DGNO Railroad Grade Separation Feasibility Study, and take any action necessary.
- p.46** 3. Hold work session to discuss the IH-30 ramp reversal project (between SH-205 and John King Boulevard) including timing and cost estimates, and take any action necessary.

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

- 1. Discussion regarding legal advice associated with homeowners association (HOA) regulations within the city pursuant to Section 551.071 (Consultation with Attorney).
- 2. Discussion regarding legal claim: Michelle Strom v. City of Rockwall Utility Dept. pursuant to Section 551.071 (Consultation with Attorney)
- 3. Discussion regarding land acquisition for South Community Park pursuant to Section § 551.072 (Real Property).
- 4. Discussion regarding process associated with City Manager performance evaluation pursuant to Section 551.074 (personnel matters)

IV. ADJOURN EXECUTIVE SESSION

AGENDA
ROCKWALL CITY COUNCIL
Monday, February 01, 2016
6:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

V. RECONVENE PUBLIC MEETING

VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER FOWLER

VIII. PROCLAMATIONS / AWARDS

- p.48** 1. Go Outside and Play Day

IX. OPEN FORUM

X. CONSENT AGENDA

- p.50** 1. Consider approval of the minutes from the January 19, 2016 regular city council meeting, and take any action necessary.

- p.76** 2. **Z2015-028** - Consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of JBR-2, LLC for the approval of an **ordinance** for a Specific Use Permit (SUP) for Commercial Amusement/Recreation (Outside) to allow two (2) private baseball fields to be established on a 2.49-acre portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated west of the intersection of SH-205 and FM-549, and take any action necessary. **[2nd Reading]**

- p.82** 3. **Z2015-036** - Consider a request by Harry Chapman of Noble RE, LLC on behalf of the owners Robert & Patrick Hughes and Sandra Ferguson for the approval of an **ordinance** for a zoning amendment to Planned Development District 32 (PD-32) [Ordinance No. 10-21] for the purpose of allowing a Financial Institution with a Drive-Through within the Ridge Road Retail Subdistrict, being a 1.1755-acre portion of a larger ~78.89-acre area of land identified as the Harbor District, being zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located at the northwest corner of Cemetery Road and Ridge Road [FM-740], with the greater Harbor District being generally located south of IH-30 and west of Horizon Road [FM-3097], and take any action necessary. **[2nd Reading]**

- p.91** 4. **Z2015-037** - Consider a request by Arthur F. Beck of BSM Engineers, Inc. on behalf of the First United Methodist Church for the approval of an **ordinance** for a Specific Use Permit (SUP) for a structure that exceeds the maximum height requirements for a 8.2983-acre parcel of land identified as Lot 7, Block 1, First United Methodist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1200 E. Yellow Jacket Lane, and take any action necessary. **[2nd Reading]**

- p.97** 5. **P2016-002** - Consider a request by Michael & Mary Grace Frasier for the approval of a replat for Lot 13, Block E, Wade Addition being a 0.74-acre tract of land currently identified as Lots 11 & 12, Block E, Wade Addition and Tract 36 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 704 Jackson Street, and take any action necessary.

XI. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.

XII. ACTION ITEMS

- p.105** 1. **Z2015-038** - Discuss and consider a request by Scott and Leslie Milder for the approval of an **ordinance** amending Ordinance No. 07-29 for the purpose of allowing a Banquet Facility land use to be a permitted use through a Specific Use Permit (SUP) for all properties within Planned Development District 50 (PD-50), being 21.266-acres of land in the S.S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, and generally located along N. Goliad Street [SH-205] north of Interurban Street, and take any action necessary **[2nd Reading]**.
- p.112** 2. **Z2015-039** - Discuss and consider a request by Dayne Ram of ADR Designs, LLC on behalf of the owner Majestic Cast, Inc. for the approval of an **ordinance** for a Specific Use Permit (SUP) for a Residence Hotel on a 2.003-acre parcel of land identified as Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (OV) District, located on the east side of White Hills Drive south of Ridge Road [FM-740], and take any action necessary. **[2nd Reading]**
- p.117** 3. Discuss and consider authorizing staff to finalize terms of an agreement between the City of Rockwall and Kevin Lefere (Zanata) concerning placement of a trash receptacle on public (city) property, authorizing the City Manager to execute said agreement, and take any action necessary.
- p.119** 4. Discuss and consider a request by Dan Allgeier, Senior Vice President of NuRock Companies, concerning a resolution regarding the proposed Residences at Rockwall, and take any action necessary.
- p.123** 5. Discuss and consider approval of a variance request from Dallas Design Build associated with the City's ordinance provisions related to standards for design of developments, specifically pertaining to construction of retaining walls in detention areas within the Children's Lighthouse Learning Center, and take any action necessary.

- p.127 6. MIS2016-001** - Discuss and consider the approval of a special request by Jennie Watkins for an exception to the setback requirements for the purpose of constructing a single family home on a 0.12-acre parcel of land identified as Lot 49, Canup Addition, City of Rockwall, Rockwall County, Texas, being zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, located at the southeast corner of the intersection of Sam Houston Street and E. Bourn Street, and take any action necessary.
- p.134 7. MIS2016-002** - Discuss and consider a request by William Laurence for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.17-acre parcel of land identified as Lot 1, Block 1, St. Mary's Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 508 St. Mary's Street, and take any action necessary.
- p.142 8.** Discuss and consider approval of a resolution calling a General Election to be held jointly with the Rockwall ISD and administered by the Rockwall County Elections Administrator on Saturday, May 7, 2016 for the purpose of electing three council members, one for Place 2, one for Place 4, and one for Place 6, each for two (2) year terms, and take any action necessary.
- p.147 9. SNC2016-001** - Discuss and consider renaming Cemetery Road to Glen Hill Way, and take any action necessary.
- p.156 10. SNC2016-002** - Discuss and consider renaming a portion of FM-3097 to Horizon Road, and take any action necessary.
- p.166 11.** Discuss and consider a resolution authorizing the Texas Coalition for Affordable Power (TCAP) to negotiate an electric supply agreement and act as an agent on behalf of the City of Rockwall for electric power for a 5 year period and take any necessary action.
- p.176 12.** Discuss and consider approval of the Airport Layout Plan for the Ralph M. Hall / Rockwall Municipal Airport, authorizing the city manager to sign the approval of the drawings on behalf of the City of Rockwall, and take any necessary action.
- p.184 13.** Discuss and consider appointments to City boards and commissions, specifically the Historic Preservation Advisory Board, and take any action necessary.

XIII. CITY MANAGER'S REPORT TO DISCUSS CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

- 1. Departmental Reports
 - p.190** Building Inspections Monthly Report - December 2015
 - Fire Dept. Monthly Reports - December 2015 **p.204**
 - p.222** GIS Department Monthly Report - December 2015
 - Harbor Monthly Report - December 2015 **p.223**
 - p.225** Internal Operations Department Monthly Report - December 2015
 - Police Department Monthly Report - December 2015 **p.229**
 - p.232** Recreation Department Monthly Report - December 2015
 - Rockwall Animal Adoption Center Monthly Report - December 2015 **p.234**

p.236 Rockwall Meals on Wheels Senior Services - 1st Quarter Report

2. City Manager's Report

XIV. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding legal advice associated with homeowners association (HOA) regulations within the city pursuant to Section 551.071 (Consultation with Attorney).
2. Discussion regarding legal claim: Michelle Strom v. City of Rockwall Utility Dept. pursuant to Section 551.071 (Consultation with Attorney)
3. Discussion regarding land acquisition for South Community Park pursuant to Section § 551.072 (Real Property).
4. Discussion regarding process associated with City Manager performance evaluation pursuant to Section 551.074 (personnel matters)

XV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

XVI. ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.086 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 29th day of January, 2016 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary

Date Removed

Jacky Casey, Assistant Secretary



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: February 2, 2016

SUBJECT: Structure Preservation Tax Incentive (*Work Session*)

Per Councilmen Fowler and White's request, the following relates to the intent of *Ordinance No. 03-28*, which regulates the *Structure Tax Preservation Incentive*. In addition, I have included all minutes and ordinances that deal with the incentive attached to this memorandum (*pertinent information highlighted*).

The *Structure Tax Preservation Incentive* was created from two (2) ordinances and one (1) resolution. The original resolution (*i.e. Resolution No. 02-10*) states that "...the City Council will consider tax abatement agreements with individual property owners within the District for exemption from ad valorem taxes based on the value of improvements for seven (7) years if the project cost is for preservation of the structure, or improvements to restore the structure to its original condition." Later in 2002, this resolution was amended and clarified by *Ordinance No. 02-53* to include two options (*i.e. a 5-year and a 7-year option*). According to staff's memorandum that was provided to the Council with this ordinance, "(t)he program will initially apply to all properties included in the Old Rockwall Historic District, the Southside Overlay District, and any such historic districts that may be adopted subsequent to this ordinance." In addition, in the City Council's meeting minutes (*i.e. November 18, 2002*) then Councilmember Nell Welborn stated in response to approving the ordinance that "...she believes this will preserve the older homes and structures." In 2003, the Council passed *Ordinance No. 03-28*, which amended *Ordinance No. 02-53* to extend the incentive program to Historic Landmarks. According to staff's memorandum this ordinance was brought forward to extend the incentives from residential properties to both non-residential and residential properties (*many of the City's landmarks are non-residential properties*).

Taking all of this into consideration, it appears that the overall intent of the *Structure Tax Preservation Ordinance* is to preserve and restore historic structures within the City's historic districts. With the exception of the case approved in 2014 (*i.e. 405 N. Fannin Street*), all the properties that have received the incentive have been historical homes that were deemed to be *High Contributing* properties (*i.e. 602 Williams Street & 311 S. Fannin Street*); however, the largest incentive/re-investment approved was for a *Non-Contributing* property. Considering this, it may be beneficial for Council to decide how they want to apply this ordinance in the future (*e.g. as a reinvestment tool or as a historic restoration tool*). As the ordinance is currently written it can be broadly applied to any property that is within the Old Town Rockwall Historic District, Southside Overlay District or that is designated as a Landmark property. If Council chooses to view this as a historic re-investment tool it should be noted that there are no historically designated properties within the Southside Overlay District. In addition, Council may choose to redefine the terms of the 5-year, \$5,000.00 investment to be a percentage of a

property's value similar to the 7-year incentive. With all this being said any approval of any request for the incentive is at the discretion of the City Council.

Should Council take a direction on this ordinance staff will be available to answer any questions or provide any information.

Exhibit A: Ordinance Timeline

Timeline of the City's Structure Tax Preservation Incentive

- ☑ *April 15, 2002:* Resolution 02-10 was approved by the City Council.
- ☑ *September 19, 2002:* The HPAB reviewed the proposed tax preservation incentive and directed staff to present alternatives at the October 17th meeting.
- ☑ *October 17, 2002:* *No Minutes Found.*
- ☑ *November 18, 2002:* The City Council approved Ordinance No. 02-53 [*1st Reading*]. The second reading of the ordinance was on December 2, 2002.
- ☑ *July 17, 2003:* The HPAB approved a motion to recommend changes to the tax preservation incentive ordinance that would allow Landmarked properties to participate in the program.
- ☑ *August 18, 2003:* The City Council approved case AM2003-001 adopting the changes recommended by the HPAB. The second reading of this ordinance was on September 2, 2003.

Exhibit A: Ordinance Timeline

Timeline of the City's Structure Tax Preservation Incentive

- ☑ *April 15, 2002:* Resolution 02-10 was approved by the City Council.
- ☑ *September 19, 2002:* The HPAB reviewed the proposed tax preservation incentive and directed staff to present alternatives at the October 17th meeting.
- ☑ *October 17, 2002: No Minutes Found.*
- ☑ *November 18, 2002:* The City Council approved Ordinance No. 02-53 [*1st Reading*]. The second reading of the ordinance was on December 2, 2002.
- ☑ *July 17, 2003:* The HPAB approved a motion to recommend changes to the tax preservation incentive ordinance that would allow Landmarked properties to participate in the program.
- ☑ *August 18, 2003:* The City Council approved case AM2003-001 adopting the changes recommended by the HPAB. The second reading of this ordinance was on September 2, 2003.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. 02-10

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, PROVIDING FOR INCENTIVE PACKAGES FOR PROPERTY OWNERS WITHIN THE INAUGURAL HISTORIC DISTRICT; PROVIDING FOR A COST ESTIMATE TO BE PREPARED AND FUNDING PROVIDED AND/OR INCLUDED IN FUTURE BUDGETS; PROVIDING FOR PLACEMENT OF SIGNS; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council has not previously had a policy regarding incentive packages for property owners within the Inaugural Historic District; and

WHEREAS, the City Council desires to establish a policy providing for incentive packages for property owners within the Inaugural Historic District;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, that

Section 1. Effective with the adoption of the Inaugural Historic District, the City Council will consider tax abatement agreements with individual property owners within the District for exemption from ad valorem taxes based on the value of improvements for seven (7) years if the project cost is for preservation of the structure, or improvements to restore the structure to its original condition.

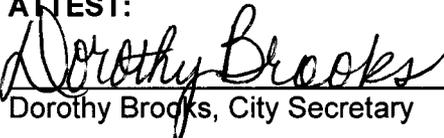
Section 2. That a study to determine the cost of such exemptions be conducted and funds provided now and/or in future budgets for this project.

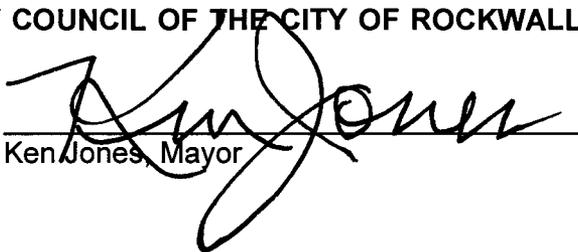
Section 3. That the City place "sign toppers" at intersections of major streets identifying the Inaugural Historic District boundaries.

Section 3. That this resolution take effect immediately upon its passage and approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 15th day of April, 2002.

ATTEST:


Dorothy Brooks, City Secretary


Ken Jones, Mayor

APPROVED AS TO FORM:


Pete Eckert, City Attorney

163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217

The motion was unanimously approved by a vote of 7-0.

Appointments

- a. Appointment with Planning and Zoning Chairman, Nell Welborn, to discuss and answer any questions regarding cases on the agenda and any related issues.

Nell Welborn gave a report on the planning and zoning cases being considered on the agenda.

- b. Appointment with Councilmember-Elect Nell Welborn to present a **Resolution** for Historic District Incentives.

Nell Welborn spoke on incentives for the Historic District. Councilmember Cotti made a motion to adopt the Resolution, and Councilmember Morris seconded the motion. The motion was unanimously approved by a vote of 7-0.

Public Hearing

- a. **PZ-2002-27-Z** -- Hold a Public Hearing to consider approval of an **Ordinance** for a request for a city initiated amendment to the City of Rockwall Comprehensive Zoning Ordinance (Ord. No. 83-23) to accommodate a new Section 8.8 - Temporary Use Standards aimed at regulating the development and operation of temporary use facilities including portable food services facilities and temporary structures utilized by public schools. (1st Reading)

Robert LaCroix, Director of Planning, discussed the general issues of the request. Discussion ensued regarding whether or not there should be a limit on the number of temporary facilities approved. Mayor Jones opened the public hearing. No one appeared, and the public hearing was closed. Councilmember Cotti made a motion to approve the ordinance as written, Councilmember Morris seconded the motion and the ordinance was read as follows:

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE (ORD. NO. 83-23) OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, TO PROVIDE FOR GENERAL PROVISIONS AND REQUIREMENTS FOR ADDING A NEW SECTION KNOWN AS TEMPORARY USES; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED ON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 4 ayes and 3 nays. (Councilmembers Cecil, Jones and Coleson dissenting.)

- b. **PZ-2002-28-Z** -- Hold a Public Hearing to consider approval of an **Ordinance** for a request for a city initiated amendment to the City of Rockwall Tree Preservation Ordinance (Ord. No. 99-32) serving to clarify featured tree definition, tree removal and replacement criteria, method of providing tree credits and variances. (1st Reading)

Robert LaCroix, Director of Planning, discussed the general issues of the request. Mayor Jones opened the public hearing. Joey Mayo, 601 Carriage Trail, appeared in favor of the ordinance. Mayor Jones closed the public hearing. Councilmember Cecil made a motion to approve the ordinance and Councilmember Raulston seconded the motion. The ordinance was read as follows:

CITY OF ROCKWALL

ORDINANCE NO. 02-53

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS AMENDING THE ROCKWALL CODE OF ORDINANCES TO PROVIDE AN AD VALOREM TAX EXEMPTION FOR STRUCTURES IN NEED OF TAX RELIEF TO ENCOURAGE THEIR ENHANCEMENT AS HEREIN DEFINED; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING A PENALTY OF A FINE OF \$500.00 FOR EACH OFFENSE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the 65th Legislature in June 1977 passed S.B. 595 amending Title 122, Revised Civil Statutes of Texas (1925), by adding Article 7150i authorizing the governing body of a political subdivision to exempt historic sites from certain property taxation; and

WHEREAS, Article 7150i was made effective upon adoption of Section 1-f to Article VIII of the Texas Constitution which authorized the State Legislature to allow political subdivisions to exempt historical sites from certain property taxation; and

WHEREAS, Texas voters on November 7, 1977, amended Article VIII of the Texas Constitution by adding Section 1-f; and

WHEREAS, effective January 1, 1980, the 66th Legislature codified Section 7150i as Section 11.24 of the Property Tax Code (1979); and

WHEREAS, there has been adopted in the City of Rockwall certain historic overlay districts which are in need of tax relief to encourage enhancement of structures as herein defined;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. Chapter 25 of the Code of Ordinances is amended to add a new Article III to read as follows:

“ARTICLE III

EXEMPTION FOR HISTORICALLY SIGNIFICANT SITES

SECTION 25 - 38: DEFINITIONS

As used in this Article, the following terms shall have the meanings described herein:

- A. “Assessed Value Prior to Preservation” means the value assessed by the Rockwall County Appraisal District for the tax year of verification.

- B. “Certification” means the attestation by the Director of Community Development that the structure in question is a structure located in the boundaries of the Old Rockwall Historic District in need of tax relief to encourage enhancement of structures and that the plans submitted will meet the definition of enhancement of a structure as defined herein.
- C. “Enhancement of a Structure” means the completion of a building project to improve a structure and the certifiable expenditure of at least \$5,000 for that project which has occurred after the adoption of this ordinance.
- D. “Historic District” includes the Old Rockwall Historic District, the Southside Overlay District, and such historic districts that may be adopted by the City in the future.
- E. “Increment Project” shall mean the monetary amount invested by the property owner in enhancing the subject structure (i.e. improvement) located within an official Historic Overlay District, which shall include the Old Rockwall Historic District, Southside Overlay District, and such historic districts that may be adopted by the City subsequent to the adoption of this ordinance.
- F. “The Improvement” shall mean the monetary value of the property minus the value of the land upon which property taxes are levied by the City.
- G. “Property in need of tax relief to encourage enhancement of a structure” shall mean any structure located in the Old Rockwall Historic District, Southside Overlay District, and any such historic districts that may be adopted by the City subsequent to the adoption of this ordinance.
- H. “Property” shall mean the monetary value of the land plus the value of the improvement.
- I. “Structure” is defined herein as a building located in an official historic district, which shall include the Old Rockwall Historic District, Southside Overlay District, and such historic districts that may be adopted by the City subsequent to the adoption of this ordinance within the City of Rockwall.

SECTION 25 - 39: STRUCTURE PRESERVATION TAX EXEMPTION

A residential building which meets the requirements of this ordinance shall be certified by the Director of Community Development to have the assessed value for ad valorem taxation “frozen” as described and listed below in order to qualify

for ad valorem tax exemption. The assessed value shall be frozen at the value for the tax year in which the increment project was completed. The assessed value of the improvement shall be so "frozen" in accordance with the schedule below:

The period of the tax abatement shall be five (5) years if the amount of the increment project is \$5,000 or greater; or

The period of the tax abatement shall be seven (7) years if the amount of the increment project is equal to or exceeds 25% of the assessed value of the improvement on January 1st of the year the increment project was completed.

Furthermore, this exemption shall begin on the first day of the next tax year after verification of completion of the preservation required for certification; provided that: The building shall comply with the applicable zoning regulations for its use and location; and

SECTION 25 - 40: APPLICATION PROCESS

Applications for an ad valorem tax exemption pursuant to this ordinance are to be filed with the Community Development Department. Each application shall be signed and sworn to by the owner of the property and shall:

- A. State the legal description of the property proposed for certification;
- B. Provide proof of title in the applicant to the property proposed for certification;
- C. Include an affidavit by the owner describing the structure in need of tax relief and its compliance with the requirements of Section 25 - 39 herein;
- D. Provide proof that taxes or other assessments are not delinquent on the property;
- E. Include a final complete set of plans for the structure's enhancement as required to secure a building permit;
- F. Include a statement of costs for the restoration or rehabilitation work;
- G. Include a projection of the estimated construction time and predicted completion date of the restoration or rehabilitation;
- H. Authorize representatives of the City of Rockwall to visit and inspect the property and the records and books of the owner as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;

- I. Include a detailed statement of the proposed use for the property; and
- J. Provide any additional information that the owner deems relevant.
- K. Provide such other information as may be required by the Director of Community Development to properly consider certification of the project.
- L. Provide a written acknowledgement by the property owner acknowledging the owners future obligation to notify the Director of Community Development upon completion of the increment project. This will begin the verification process noted in Section 25 - 42 below.

Each application shall contain documentation confirming or supporting the information submitted.

SECTION 25 - 41: CERTIFICATION PROCESS

Within 30 days after receipt of the properly completed application, the City shall make an investigation of the property and shall certify the facts to the Director of Community Development along with the documentation and recommendation for approval or disapproval.

Upon receipt of a recommendation, the Director of Community Development shall immediately forward the application to the Rockwall City Council and, within thirty (30) days, the Council shall consider approval or disapproval eligibility of the property for tax relief pursuant to this ordinance. In determining eligibility, the City Council shall first determine that all the requirements of this ordinance have been met and that only the structure is to be provided favorable tax relief as provided in Section II herein. Written notice of the determination shall be sent to the applicant.

SECTION 25 - 42: VERIFICATION PROCESS

Upon completion of the enhancement of a structure, the certified applicant shall submit a sworn statement of completion acknowledging that the property has been substantially rehabilitated or restored. Within (30) days after receipt of the sworn statement of completion, the Director of Community Development shall make an investigation of the property and shall determine if the enhancement has been completed as required for certification. If the enhancement is deemed incomplete, the applicant shall be required to complete the enhancement in order to secure the tax exemption. If the enhancement is determined to be complete, the Director of Community Development shall notify the Chief Appraiser of the Rockwall County Central Appraisal District in writing that the applicable ad valorem tax exemption shall apply.

Thereafter, the Chief Appraiser of the Rockwall County Central Appraisal District shall provide the property with the tax exemption provided in Section 25 - 39 herein."

Section 2. That any person who violates any provision of this ordinance shall, upon conviction, be subject to a fine in accordance with the general provisions of the Code of Ordinances, and that each day in violation shall constitute a separate offence.

Section 3. The provisions of this ordinance are severable. If any provision of this ordinance or the application thereof to any person or circumstances shall be held to be invalid or unconstitutional, the remainder of this ordinance shall nevertheless be valid.

Section 4. That all ordinances or part of ordinances in conflict herewith are repealed to the extent of the conflict only.

Section 5. This ordinance shall become effective from and after its adoption, and it is so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 2nd day of December, 2002.


Ken Jones, Mayor

ATTEST:


Dorothy Brooks, City Secretary

APPROVED AS TO FORM:


Pete Eckert, City Attorney



1st Reading: November 18, 2002

2nd Reading: December 2, 2002

HPAB Minutes: September 19, 2002

Ms. May stated that she needed the driveway to be wide enough to accommodate her vehicle and the space to set a wheelchair down next to said vehicle.

Williams began to explain the reasoning behind the approval of the CofA for the driveway serving the property at 310 Williams in order to demonstrate the discretion the Historic Preservation Advisory Board had when interpreting the historic district Design Guidelines.

Ms. May pointed out that the “310-property” was not at issue and would prefer that it not be discussed.

Williams apologized for bringing the “310-property” into the discussion.

LaCroix state that the Design Guidelines offered some flexibility and specifically referenced III. Building Standards; I. Driveways; Item #5. which states:

“On a corner lot, the driveway may extend from the side street to the garage if the garage faces the side street. All other width and approach regulations will apply to driveways on corner lots.”

LaCroix pointed out that this is the condition that exists in the situation with the proposed addition to the “308 Williams-property” (i.e. the garage faces Kernodle) and the question of the width of the driveway is an issue of the ADA requirements and the needs of Ms. May.

Pannell-Smith made a motion that Certificate of Appropriateness as request by Ms. May be approved.

Holcomb seconded the motion.

LaCroix suggested that the motion may need to include the condition that the driveway is being approved with a width exceeding the ten (10') feet minimum.

Pannell-Smith amended he motion to include the condition that the CofA is approved with the condition that the driveway is allowed to be 15-feet wide.

Ms. May also pointed out that as the driveway “flairs” near the garage she is interested in possibly putting a pad for storage of a recreational vehicle.

LaCroix stated that this was acceptable.

The motion was voted on and passed unanimously 4 to 0.

Tax Incentives

Williams stated that he and City Staff member Joey Boyd had met with Ray Helm, Director of the Rockwall County Central Appraisal District, to discuss the issue of

the proposed tax incentives applied to properties within the Old Rockwall Historic District.

Williams outlined the various mechanisms by which tax incentives are implemented and stated the mechanism that Mr. Helm believed would work best is an abatement based on the percentage of the appraised value of a property (not including the land) rather than a tax freeze.

Pittman stated that she believed that the resolution passed in April, 2002 by the City Council mentioned an abatement program based on the value of the restoration improvements made to a property rather than abatement of the total appraised value of the property improvements as a whole.

Williams stated he believed that the resolution did not stated specifically state what the abatement program would be based upon.

The resolution passed on 04/15/2002 was shown to state the following:

Section 1. Effective with the adoption of the Inaugural Historic District, the City Council will consider tax abatement agreements with individual property owners within the District for exemption from ad valorem taxes based on the value of improvements **[i.e. not the land]** for seven (7) years if the project cost is for preservation of the structure, or improvement to restore the structure to its original condition. ***

Pittman asked if the tax incentives program would be considered to apply to "landmark properties" that would not necessarily be within the historic district.

LaCroix stated that it was his belief that the program would be drafted to accommodate such properties.

Holcomb stated that after reviewing the tax incentive programs from the several Texas cities, she favored the programs in Denton and Boerne.

Williams indicated that he had a copy of the ordinance that implemented the tax incentive program in Denton.

After a great deal of discussion it was determined that Staff would continue their tax incentive research and develop some scenarios for the Board to consider at the next meeting (October 17, 2002).

Historic District Street Signage

Williams asked the Board to consider what kind of signage they would want to consider (i.e. street sign toppers or a separate sign that is attached to the street sign pole).

531 a motion to approve the Bylaws with the change for the liaison to be the City
532 Manager or her designee. Councilmember Cecil seconded the motion and the
533 motion passed unanimously by a vote of 7 ayes and 0 nays.

534

535

536

537

- 7f. Discuss and consider approval of a tax incentive *Ordinance* for property owners in historic districts and take any action necessary.

538 **Joey Boyd, Assistant to the Assistant City Manager, discussed the request and**
539 **stated that Ray Helm was ok with the ordinance and that his system would**
540 **accommodate both scenarios.**

541

542

543

544

545

546

547

Councilmember Raulston made a motion to approve the request and
Councilmember Cecil seconded the motion. Councilmember Welborn stated that
after we gain experience, we should increase the amount. Welborn stated that she
believes this will preserve the older homes and structures. The motion passed
unanimously by a vote of 7 ayes and 0 nays.

548

549

550

- 7g. Discuss and consider approval of an *Ordinance/Franchise Agreement* with Farmers Electric Cooperative and take any action necessary.

551 **Chuck Todd, City Engineer, discussed the general issues of the request.**
552 **Councilmember Cotti made a motion to approve the request. Councilmember**
553 **Welborn wanted to know if this put FEC on the same footing as Oncor to which**
554 **Todd replied no. Welborn then seconded the motion. The motion passed**
555 **unanimously by a vote of 7 ayes and 0 nays.**

556

557

558

- 7h. Discuss and consider a settlement agreement with TXU et al. and take any action necessary.

559 **Pete Eckert, City Attorney, discussed the general issues of the agreement and**
560 **stated that the City stands to gain \$56,000. Eckert stated that these are pass thrus**
561 **– TXU can pass through the cost to the consumer. TXU Gas does not say how it**
562 **will be spread among the classes and Eckert advised hold off on approving the**
563 **TXU Gas ordinance for at least two weeks.**

564

565

566

567

568

569

Councilmember Morris made a motion to approve the settlement agreement with
TXU Electric, but defer approval on the gas ordinance until the next meeting.
Councilmember Cotti seconded the motion and the motion passed by a vote of 7
aye and 0 nays.

570

571

- 7i. Discuss provision of land for schools as a part of the development process.

572 **Rick Crowley, Assistant City Manager, discussed the background of this item and**
573 **stated that currently there is no state authority to require this and that we will**
574 **continue discussions with the various developers.**

575



**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Mayor and Council
FROM: Joey Boyd, Assistant to the City Manager
DATE: November 14, 2002
SUBJECT: Tax Incentive Ordinance

In April 2002, the Council passed a resolution providing for an incentive for property owners in the Old Rockwall Historic District. The State of Texas allows for local governments to provide partial or full exemption from property taxes with about 18 cities currently participating in the program. City Staff looked at various tax incentive scenarios being used by other cities in Texas and developed the following recommendations included in the attached ordinance.

- The program will initially apply to all properties included in the Old Rockwall Historic District, the Southside Overlay District, and any such historic districts that may be adopted subsequent to this ordinance.
- A property that meets the requirements of the ordinance will have the assessed value for ad valorem taxes frozen as it applies to the following scenarios:

The period of the tax abatement shall be five (5) years if the amount of the increment project is \$5,000 or greater; or

The period of the tax abatement shall be seven (7) years if the amount of the increment project is equal to or exceeds 25% of the assessed value of the improvement on January 1st of the year the increment project was completed.

- If approved by the City Council, the exemption begins on the first day of the first tax year following completion of the project.

The ordinance has been reviewed by the City Attorney and provided to Mr. Ray Helm of the Rockwall County Appraisal District. Mr. Helm has indicated that their system will support this type of program. Should the City Council approve the ordinance, the Director of Community Development will oversee the program from the time of application through the verification process.

CITY OF ROCKWALL

ORDINANCE NO. 03-28

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS AMENDING THE ROCKWALL CODE OF ORDINANCES TO PROVIDE AN AD VALOREM TAX EXEMPTION FOR STRUCTURES IN NEED OF TAX RELIEF TO ENCOURAGE THEIR ENHANCEMENT AS HEREIN DEFINED; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING A PENALTY OF A FINE OF \$500.00 FOR EACH OFFENSE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the 65th Legislature in June 1977 passed S.B. 595 amending Title 122, Revised Civil Statutes of Texas (1925), by adding Article 7150i authorizing the governing body of a political subdivision to exempt historic sites from certain property taxation; and

WHEREAS, Article 7150i was made effective upon adoption of Section 1-f to Article VIII of the Texas Constitution which authorized the State Legislature to allow political subdivisions to exempt historical sites from certain property taxation; and

WHEREAS, Texas voters on November 7, 1977, amended Article VIII of the Texas Constitution by adding Section 1-f; and

WHEREAS, effective January 1, 1980, the 66th Legislature codified Section 7150i as Section 11.24 of the Property Tax Code (1979); and

WHEREAS, there has been adopted in the City of Rockwall certain historic overlay districts which are in need of tax relief to encourage enhancement of structures as herein defined;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. Chapter 25 of the Code of Ordinances is amended to add a new Article III to read as follows:

“ARTICLE III

EXEMPTION FOR HISTORICALLY SIGNIFICANT SITES

SECTION 25 - 38: DEFINITIONS

As used in this Article, the following terms shall have the meanings described herein:

- A. “Assessed Value Prior to Preservation” means the value assessed by the Rockwall County Appraisal District for the tax year of verification.
- B. “Certification” means the attestation by the Director of Community Development that the structure in question is a

structure located in the boundaries of the Old Town Rockwall Historic District or a Landmark Property as defined herein, in need of tax relief to encourage enhancement of structures and that the plans submitted will meet the definition of enhancement of a structure as defined herein.

- C. “Enhancement of a Structure” means the completion of a building project to improve a structure and the certifiable expenditure of at least \$5,000 for that project which has occurred after the adoption of this ordinance.
- D. “Historic District” includes the Old Town Rockwall Historic District, the Southside Overlay District, designated Landmark Properties, and such historic districts that may be adopted by the City in the future.
- E. “Increment Project” shall mean the monetary amount invested by the property owner in enhancing the subject structure (i.e. improvement) located within an official Historic Overlay District, which shall include the Old Town Rockwall Historic District, Southside Overlay District, designated Landmark Properties, and such historic districts that may be adopted by the City subsequent to the adoption of this ordinance.
- F. “The Improvement” shall mean the monetary value of the property minus the value of the land upon which property taxes are levied by the City.
- G. “Landmark Property” shall mean a property or structure(s), not contiguous to or part of an existing historic district, that is deemed worthy of preserving.
- H. “Property in need of tax relief to encourage enhancement of a structure” shall mean any structure located in the Old Town Rockwall Historic District, Southside Overlay District, designated Landmark Properties, and any such historic districts that may be adopted by the City subsequent to the adoption of this ordinance.
- I. “Property” shall mean the monetary value of the land plus the value of the improvement.
- J. “Structure” is defined herein as a building located in an official historic district, which shall include the Old Town Rockwall Historic District, Southside Overlay District, designated Landmark Properties, and such historic districts that may be adopted by the City subsequent to the adoption of this ordinance within the City of Rockwall.

SECTION 25 - 39: STRUCTURE PRESERVATION TAX EXEMPTION

A residential building or designated landmark property which meets the requirements of this ordinance shall be certified by the Director of Community Development to have the assessed value for ad valorem taxation "frozen" as described and listed below in order to qualify for ad valorem tax exemption. The assessed value shall be frozen at the value for the tax year in which the increment project was completed. The assessed value of the improvement shall be so "frozen" in accordance with the schedule below:

The period of the tax abatement shall be five (5) years if the amount of the increment project is \$5,000 or greater; or

The period of the tax abatement shall be seven (7) years if the amount of the increment project is equal to or exceeds 25% of the assessed value of the improvement on January 1st of the year the increment project was completed.

Furthermore, this exemption shall begin on the first day of the next tax year after verification of completion of the preservation required for certification; provided that: The building shall comply with the applicable zoning regulations for its use and location; and

SECTION 25 - 40: APPLICATION PROCESS

Applications for an ad valorem tax exemption pursuant to this ordinance are to be filed with the Community Development Department. Each application shall be signed and sworn to by the owner of the property and shall:

- A. State the legal description of the property proposed for certification;
- B. Provide proof of title in the applicant to the property proposed for certification;
- C. Include an affidavit by the owner describing the structure in need of tax relief and its compliance with the requirements of Section 25 - 39 herein;
- D. Provide proof that taxes or other assessments are not delinquent on the property;
- E. Include a final complete set of plans for the structure's enhancement as required to secure a building permit;
- F. Include a statement of costs for the restoration or rehabilitation work;
- G. Include a projection of the estimated construction time and predicted completion date of the restoration or rehabilitation;

- H. Authorize representatives of the City of Rockwall to visit and inspect the property and the records and books of the owner as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
- I. Include a detailed statement of the proposed use for the property; and
- J. Provide any additional information that the owner deems relevant.
- K. Provide such other information as may be required by the Director of Community Development to properly consider certification of the project.
- L. Provide a written acknowledgement by the property owner acknowledging the owners future obligation to notify the Director of Community Development upon completion of the increment project. This will begin the verification process noted in Section 25 - 42 below.

Each application shall contain documentation confirming or supporting the information submitted.

SECTION 25 - 41: CERTIFICATION PROCESS

Within 30 days after receipt of the properly completed application, the City shall make an investigation of the property and shall certify the facts to the Director of Community Development along with the documentation and recommendation for approval or disapproval.

Upon receipt of a recommendation, the Director of Community Development shall immediately forward the application to the Rockwall City Council and, within thirty (30) days, the Council shall consider approval or disapproval eligibility of the property for tax relief pursuant to this ordinance. In determining eligibility, the City Council shall first determine that all the requirements of this ordinance have been met and that only the structure is to be provided favorable tax relief as provided in Section II herein. Written notice of the determination shall be sent to the applicant.

SECTION 25 - 42: VERIFICATION PROCESS

Upon completion of the enhancement of a structure, the certified applicant shall submit a sworn statement of completion acknowledging that the property has been substantially rehabilitated or restored. Within (30) days after receipt of the sworn statement of completion, the Director of Community Development shall make an investigation of the property and shall determine if the enhancement has been completed as required for certification. If the enhancement is deemed incomplete, the applicant shall be required to complete the enhancement in order to secure the tax exemption. If the enhancement is determined to be complete, the Director of Community Development shall notify the Chief Appraiser of the

Rockwall County Central Appraisal District in writing that the applicable ad valorem tax exemption shall apply.

Thereafter, the Chief Appraiser of the Rockwall County Central Appraisal District shall provide the property with the tax exemption provided in Section 25 - 39 herein."

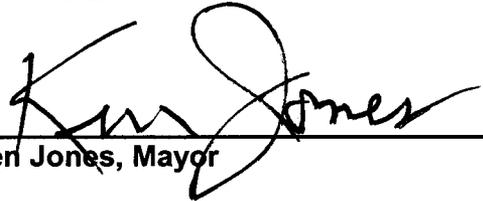
Section 2. That any person who violates any provision of this ordinance shall, upon conviction, be subject to a fine in accordance with the general provisions of the Code of Ordinances, and that each day in violation shall constitute a separate offence.

Section 3. The provisions of this ordinance are severable. If any provision of this ordinance or the application thereof to any person or circumstances shall be held to be invalid or unconstitutional, the remainder of this ordinance shall nevertheless be valid.

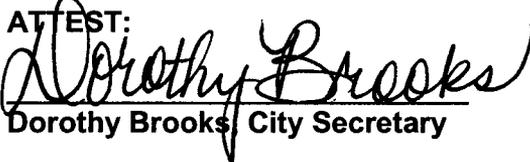
Section 4. That all ordinances or part of ordinances in conflict herewith are repealed to the extent of the conflict only.

Section 5. This ordinance shall become effective from and after its adoption, and it is so ordained.

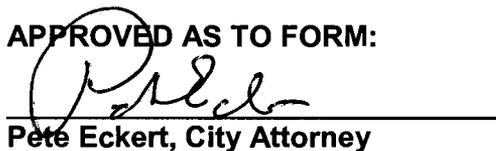
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 2nd day of September, 2003.



Ken Jones, Mayor

ATTEST:


Dorothy Brooks, City Secretary

APPROVED AS TO FORM:


Pete Eckert, City Attorney



1st Reading: August 18, 2003

2nd Reading: September 2, 2003

Historic Preservation Advisory Board July 17, 2003

Board Member Attendees: *Chair:* Sherry Pittman, Marge Holcomb, Kirk Ragsdale and Daniel Demeyer (Pannell-Smith, Caffey and M. Smith absent)

Staff Attendees: Bob Cotti (City Council liaison), Robert LaCroix and James Williams

CALL TO ORDER - 6:35 p.m.

Williams pointed out that Mr. Cotti is in attendance at tonight's meeting in his capacity as the City Council liaison to the Historic Preservation Advisory Board.

Approval of Minutes from 05/17/2003 Historic Preservation Advisory Board (HPAB) meeting

Holcomb made a motion to approve the minutes from the 05/17/2003 HPAB meeting.

Ragsdale seconded the motion. Vote was taken and the motion was approved 4 to 0.

DISCUSSION ITEMS:

Discuss and consider the Historic Tax Incentive Program and how it could be applied to Non-Residential Properties

Williams outlined the reason for considering the amendment to the Tax Incentive Ordinance (Ord. No. 02-53) stating that it was specifically aimed at accommodating non-residential properties that may want designation as a "landmark property" so that tax relief could be applied for under the Certificate of Appropriateness procedure. Williams further stated that the main reason that staff is addressing this issue at this time is because of a recent request from the owners of the Old Methodist church at the corner of Fannin and Rusk had give rise to the question of how non-residential properties should be handled.

Pittman stated that she agreed that this was an appropriate way to designate non-residential properties and therefore apply the tax incentive to those properties that are designated as landmarks.

General discuss of the nature of the HIS Covenant Children (owners of the Old Methodist Church property) business ensued including what kind services that the agency offered to the community.

Demeyer asked how properties would get designated; is it City initiated? Or owner initiated?

Pittman asked if the Historic Preservation Advisory Board could initiate the designation of properties.

LaCroix stated that in certain circumstances this could be appropriate provided that Board, or an designation initiating body, built a case that supported the appropriateness of any designation of landmark properties.

Pittman asked specifically if the old Lyons funeral home (aka Spong estate) could be a candidate for designation.

LaCroix stated that it was possible.

Demeyer asked if the HPAB should be proactive or reactive.

LaCroix answered that if the situation warranted a “proactive” approach from the Board then the Board should certainly act in a proactive manner.

Discussion continued regarding the issue of designation of landmarks and this discussion included the topic of the status of the old Lakeshore Church on Rusk.

Holcomb stated that originally the church had been a Baptist church.

Ragsdale stated his support of the designation of the Old Methodist Church as a landmark.

Williams stated that the consideration of the Old Methodist Church property as a landmark would be an agenda item at a future HPAB meeting.

Demeyer stated that the physical nature of the structure on the property is what is important to consider and the use going on inside said structure is another matter all together and one that may not be material to what the HPAB should consider.

Discussion continued regarding possible future uses within the Old Methodist Church and education building, as well as discussion of the wording of the tax incentive “enabling” ordinance.

Demeyer made a motion to recommend approval of the amendment to the tax incentive ordinance to accommodate the designation of landmark properties.

Holcomb seconded the motion. Vote was cast and the motion passed 4 to 0.

Mary Sue Smith arrived.

Historic District Signage

Williams displayed the street sign topper prototype and then handed it around to the HPAB members for their inspection. Williams stated that if the Board was content with the sign, Staff would proceed with the order for sixty (60) signs through Morrision Sign Company and delivery should be expected within 3 or 4 weeks.

351
352 Robert LaCroix discussed the background of the request. This property is within PD-50
353 and is within the Historic District. It is not a contributing property, however, it is very
354 well maintained. The applicant will only need four parking spaces, three in the back and
355 1 up front. The concern was that parking is usually on concrete, so a variance is being
356 requested for a gravel lot. The applicant will plat the property and will dedicate a 15'
357 mutual access easement to the property. The applicant is willing to do what the City has
358 asked for. Staff believes this approach is what we are looking for and recommends
359 approval.

360
361 Councilmember Raulston asked if the back road would be gravel. LaCroix advised that it
362 would be concrete. This is in the Historic District and we don't want to affect the houses
363 abutting the property. Councilmember Raulston made a motion to approve the request
364 with Staff recommendations and Councilmember Cotti seconded the motion.
365 Councilmember King asked how wide the gravel drive is and LaCroix stated it is now 10
366 feet wide. The motion passed unanimously by a vote of 7 ayes and 0 nays.

367
368 **ACTION ITEMS**

- 369
370 10a. **AM2003-001 – Discuss and consider approval of an Ordinance**
371 **amending the tax incentive ordinance to create a definition for landmark**
372 **properties, thus providing for the application of said tax relief to those**
373 **properties that qualify for designation as landmark properties and take**
374 **any action necessary. (1st Reading)**

375 **Robert LaCroix discussed the background of the request. The tax exemption program**
376 **for Historically Significant Sites was approved on December 2, 2002, in an effort to**
377 **provide tax relief encouraging historic restoration within the Old Town Rockwall Historic**
378 **District. The original ordinance applied to “residential properties” and made no**
379 **allowance for non-residential properties. Earlier this summer the owners of the old**
380 **Methodist Church/Education Building located northeast of the intersection of East Rusk**
381 **and North Fannin contacted the City and indicated their interest in having their property**
382 **included in the historic district. The ordinance amends Ordinance No. 02-53 to include a**
383 **definition for “landmark property” and further specifies that program’s application to**
384 **said landmark properties. The Historic Preservation Advisory Board recommend**
385 **approval.**

386
387 **Councilmember Cotti stated that he thought this was a good idea and made a motion to**
388 **approve the ordinance as written. Councilmember Raulston seconded the motion and**
389 **the ordinance was read as follows:**

390
391 **AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE ROCKWALL**
392 **CODE OF ORDINANCES TO PROVIDE AN AD VALOREM TAX EXEMPTION FOR**
393 **STRUCTURES IN NEED OF TAX RELIEF TO ENCOURAGE THEIR ENHANCEMENT AS**
394 **HEREIN DEFINED; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A**
395 **REPEALER CLAUSE; PROVIDING A PENALTY OF A FINE OF \$500.00 FOR EACH**
396 **OFFENSE; PROVIDING AND EFFECTIVE DATE.**

397
398 **The motion passed unanimously by a vote of 7 ayes and 0 nays.**
399

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager

FROM: Timothy M. Tumulty, Director of Public Works/City Engineer

DATE: January 26, 2016

SUBJECT: John King Boulevard @ DGNO Railroad Grade Separation Feasibility Study

The Texas Department of Transportation (TxDOT) is currently evaluating future roadway improvements for SH 205 from SH 78 in Lavon, Texas to US 80 in Terrell, Texas. This evaluation analyzes traffic volumes (current and 2040), potential environmental issues, alignments and required capacities to determine proper roadway sections needed to meet future traffic demands. As a part of this evaluation process through the City of Rockwall, TxDOT is being requested to consider John King Boulevard as an alternate route for SH 205.

The existing at-grade crossing for the DGNO Railroad on John King Boulevard south of Airport Drive has the potential to be a negative factor in the selection of this alternate alignment if left in place as an at-grade crossing. TxDOT prefers an Overpass/Underpass for all railroads crossing their roadways to avoid conflicts with the future roadway users.

Staff hired TranSystems Consultants to determine if the at-grade crossing can be constructed as an Overpass/Underpass should the John King Boulevard be considered as a possible alignment for SH 205. The Consultant has completed the feasibility study. Staff will present the results to the City Council and answer any comments/questions regarding the findings.

TMT:em

Attachment

Cc:

Mary Smith, Assistant City Engineer
Amy Williams, P.E., Assistant City Engineer
Jeremy White, P.E., CFM, Civil Engineer
File

**JOHN KING BLVD AT
UPRR/DGNO RAILROAD**

GRADE SEPARATION FEASIBILITY STUDY

January 2016

Prepared By:

TranSystems
3030 LBJ Freeway #900
Dallas, Texas 75234



For:

City of Rockwall
385 S. Goliad
Rockwall, Texas 75087



City of Rockwall

JOHN KING BLVD AT UPRR/DGNO
GRADE SEPARATION FEASIBILITY STUDY

1. Introduction/ Scope of Work

The City of Rockwall contracted with TranSystems to prepare a feasibility study for a grade separation between John King Blvd and the Union Pacific Railroad (UPRR) just south of Airport Blvd. The ultimate goal is to make John King Blvd the new SH 205 bypass of downtown Rockwall, therefore all work would be to Texas Department of Transportation (TxDOT) requirements. Specific items to be addressed were:

- Aviation clearance requirements due to the proximity of the airport
- Feasibility of an underpass being drained without a sump
- Potential utility conflicts
- Property ownership from readily available records
- Horizontal constraints on the underpasses/overpass alternatives
- Feasibility of tying in the proposed driveway on the southwest quadrant of the roadway

These items are addressed in this report. In addition TranSystems has prepared a preliminary schematic, and preliminary opinion of cost. All investigations are based upon readily available existing information and not upon detailed engineering analysis or design.

2. FAA Investigations

FAA Guidelines

The first step in our study was to determine if an overpass could be constructed without violating Federal Aviation Administration (FAA) guidelines. In review of the FAA Advisory Circular, it was determined that constructing an overpass at this location would protrude through the departure imaginary surface and create an obstruction to departing aircraft. In a Final Draft Report of the Ralph M. Hall Municipal Airport, Airport Development Plan dated August 2014, it shows the location of proposed overpass to fall within the departure imaginary surface zone. The FAA is currently reviewing this report.

Bridge Considerations

Constructing an overpass would require 23.33 feet of clearance between the current top of rail and the bottom of the bridge structure for the entire width of the railroad right of way. To construct an overpass bridge would require a structure depth of approximately 5.25 feet. To these numbers, one would need to add a maximum vehicle height of 14 feet for an approximate total height above existing rail of 42.58 feet. With an approximate height above the rail at 42.58 feet the departure imaginary surface has been violated and an overpass would create a safety hazard for departing aircraft.

3. Drainage & Utility Constraints

Drainage

The UPRR/DGNO tracks form the high point along John King Blvd with runoff traveling south along John King Blvd to a cross drainage creek just south of Justin Road and north to a cross drainage creek north of Airport Road. Both directions are served by inlets along John King and underground storm sewer systems.

A primary consideration when constructing an underpass is whether it can be gravity drained. A storm sewer system would pick up the existing drainage and carry it to the north to the drainage structure north of Airport Road is shown on Exhibits A & B. It does appear possible to drain the underpass by gravity but will require approximately 2000 linear feet of drainage outfall pipe.

Utilities

Existing utilities along John King Blvd are shown in Exhibit A. A 16" water line runs along John King Blvd on the west side of the roadway. This waterline lies a sufficient distance back from where the proposed retaining wall would lie such that it will not require relocation or adjustment.

A 12" wastewater line lies along the creek south of Justin Road. This line will be outside of the construction limits of an underpass project.

A 30" wastewater force main runs along the west side of John King Blvd along the entire length of the proposed project. This line lies in very close proximity to where the retaining wall would be and will require relocation. Due to the existing 16" waterline on the west side of John King Blvd, relocation to the west is precluded. Two additional options exist. The option shown on Exhibit A relocates the force main to the east side of John King underpass. This would require an easement from the property owner on the east side of the roadway. The property owners adjacent to proposed project are shown on Exhibit A. The other option would relocate the force

main to under the proposed southbound lanes of John King Blvd through the underpass. While this option would not require an easement, it does place a force main within the future TxDOT right of way and is less desirable from a hydraulics standpoint, requiring more bends and additional valving.

4. Underpass Concept/ Geometry

Based upon the above described investigation, it was decided to further pursue only the underpass solution and to develop conceptual schematic and opinion of cost based upon that alternative only.

Underpass Concept

The underpass concept places the roadway under the railroad, keeping the railroad at its current elevation and location. It requires a new railroad bridge and retaining walls along the underpass length. As mentioned in the drainage discussion, it can be drained by gravity. The major relocation would be the 30" force main.

Geometry

This concept requires highway clearance below the new railroad bridge of 16.5 feet rather than a railroad clearance on an overpass of 23.33 feet. It does however require retaining walls on both sides of the proposed roadway. In this case the estimated length of the retaining walls is 1,170 feet each as shown in Exhibits A & B. On the north end of the underpass, the point of convergence lies approximately 200 feet south of Airport Road. On the south end it lies very close to Justin Road. However, the west retaining wall would need to be shortened to allow for a new driveway from industrial building on the southwest quadrant. The recently completed driveway to this industrial building will need to be removed and reconstructed. The driveway would need to be reconstructed further south with a corner clearance of 200' from Justin Road. The grades of proposed underpass and the driveway around the industrial building on the adjacent property only differ at the revised location shown by 1-foot +/- . The stopping sight distance for vehicles traveling south on John King Boulevard require 425 feet to the proposed driveway location. A driver would have a clear line of sight to a vehicle existing the site onto John King Boulevard. The Decision Sight Distance required is 1030 feet and there is also a clear line of sight see Exhibit B.

It should be noted that constructing a driveway at this revised location does not meet TxDOT Access Connection Spacing Criteria. TxDOT Access Connection Spacing Requires 425 feet at 50 MPH. A variance could be submitted to TxDOT for spacing not meet this criteria if the connection is for replacement or re-establishment of reasonable access to the state highway

system under highway reconstruction/rehabilitation projects. Please refer to Chapter 2 Section 5 of the TxDOT Access Management Manual for additional information. In addition the relocated driveway location also does not meet the City of Rockwall's Minimum Corner Clearance requirement of 300 feet, requiring an exception by the City.

Shoofly

In order to construct the new railroad bridge while maintaining train traffic in an underpass scenario, a shoofly would need to be constructed. A shoofly is a temporary railroad structure built alongside the existing crossing and carries the train traffic while the new bridge is being constructed. The cost of constructing a shoofly is included in the opinion of cost. In order to construct the shoofly and the new bridge, closure of John King Blvd will be required.

5. Opinion of Cost

A conceptual engineer's opinion of cost is included as Table I. Using a 20% contingency the total estimated cost is approximately \$8 million. The primary cost items are the through plate girder bridge for the railroad and the drill shaft walls, making up approximately half of the estimated cost. Other significant costs include roadway excavation and roadway pavement. The shoofly required to carry the trains during construction of the bridge is also significant at approximately \$750,000.

Please be aware that these cost are very preliminary based upon prior experience and not engineered plans.

6. Conclusions/ Recommendations

Conclusions

Conclusions reached during this feasibility study are as follows:

- An overpass does not meet FAA requirements.
- The underpass can be drained by gravity.
- Relocation of the 30" force main is the primary utility consideration.
- The new driveway on the west side of John King cannot be accessed by the roadway.

Recommendations

Recommendations are as follows:

- Temporary closure of John King Blvd and the construction of a shoofly is the most efficient way to build the permanent railroad bridge.
- Relocating the force main to the east side of John King would be the most desirable from an operational standpoint.
- Preparations of a full schematic to TxDOT standards would confirm conclusions and provide a more detailed cost estimate.

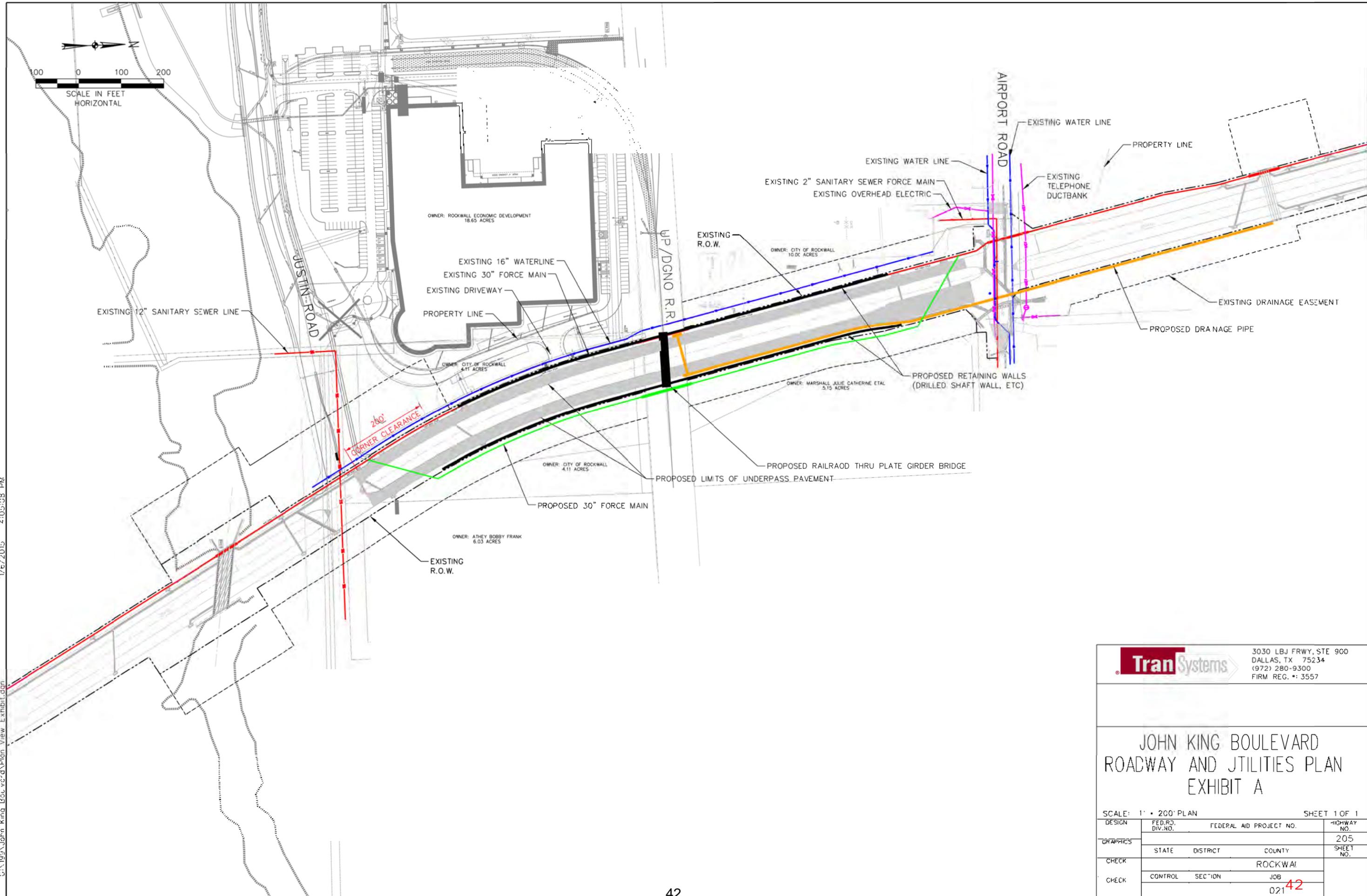
7. Exhibits/Tables

Exhibit A – Roadway & Utilities Plan

Exhibit B – Roadway & Drainage Profile

Table I – Conceptual Cost estimate

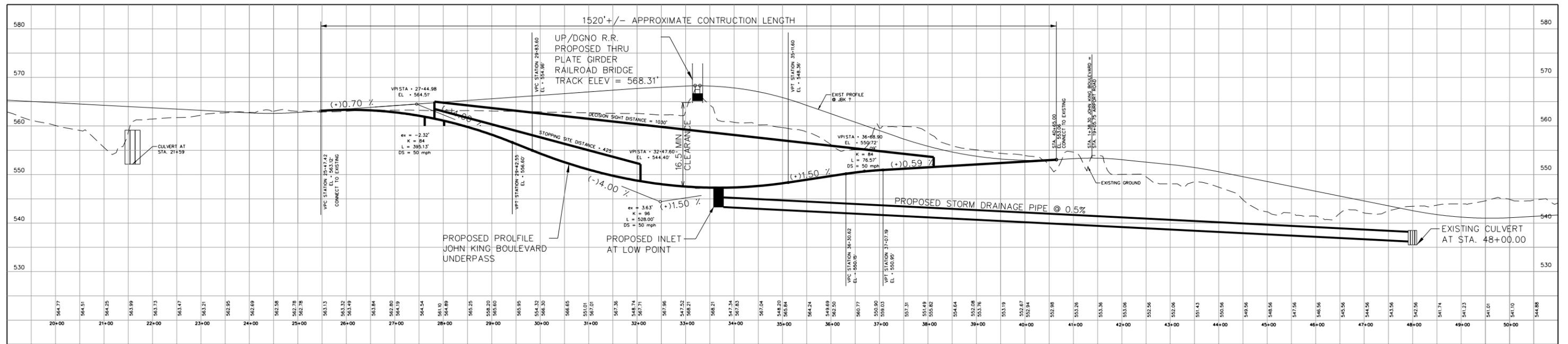
C:\1993\John King Blvd\road\Plan View Exhibit.dgn 1/8/2015 4:05:38 PM



TranSystems 3030 LBJ FRWY, STE 900
 DALLAS, TX 75234
 (972) 280-9300
 FIRM REG. #: 3557

JOHN KING BOULEVARD ROADWAY AND UTILITIES PLAN EXHIBIT A

SCALE: 1" = 200' PLAN			SHEET 1 OF 1
DESIGN	FED. RD. DIV. NO.	FEDERAL AID PROJECT NO.	HIGHWAY NO.
GRAPHICS	STATE	DISTRICT	205
CHECK	COUNTY		SHEET NO.
CHECK	CONTROL SECTION		ROCKWALL
		JOB NO.	021
			42



DESIGN SPEED = 50 MPH

JOHN KING BOULEVARD ROADWAY AND DRAINAGE PROFILE EXHIBIT B

Table 1:
JOHN KING BOULEVARD CONCEPTUAL COST ESTIMATE

DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	TOTAL
PREP ROW	STA	15.20	\$2,000.00	\$30,400.00
REMOV CONC (PAV)	SY	8790.00	\$3.00	\$26,370.00
EXCAVATION (RDWY)	CY	65000.00	\$5.00	\$325,000.00
EMBANKMENT (FINAL)(DENS CONT)(TY C)	CY	15000.00	\$5.00	\$75,000.00
FURNISHING AND PLACING TOPSOIL (4")	SY	7100.00	\$0.75	\$5,325.00
BLOCK SODD	SY	7100.00	\$0.40	\$2,840.00
LIME	TON	171.00	\$150.00	\$25,650.00
LIME TRT (EXST MATL) (8")	SY	9000.00	\$2.00	\$18,000.00
CONC PVMT (CONT REINF-CRCP)(10")	SY	8800.00	\$50.00	\$440,000.00
RC PIPE (CL III)(24 IN)	LF	1000.00	\$45.00	\$45,000.00
RC PIPE (CL III)(30 IN)	LF	1000.00	\$65.00	\$65,000.00
INLET (COMPL) (PCO) (5FT) (LEFT)	EA	4.00	\$1,000.00	\$4,000.00
INLET (COMPL) (PCO) (5FT) (RIGHT)	EA	4.00	\$1,000.00	\$4,000.00
SET (TY II)(36 IN)(RCP)(6:1)(P)	EA	1.00	\$4,000.00	\$4,000.00
REMOV STR (PIPE)	LF	400.00	\$12.50	\$5,000.00
MOBILIZATION	LS	1.00	\$553,769.00	\$553,769.00
BARRICADES, SIGNS AND TRAFFIC HANDLING	MO	10.00	\$4,700.00	\$47,000.00
ROCK FILTER DAMS (INSTALL) (TY 2)	LF	150.00	\$25.00	\$3,750.00
ROCK FILTER DAMS (REMOVE)	LF	150.00	\$6.50	\$975.00
CONSTRUCTION EXITS (INSTALL) (TY 1)	SY	150.00	\$13.00	\$1,950.00
CONSTRUCTION EXITS (REMOVE)	SY	150.00	\$5.00	\$750.00
SANDBAGS FOR EROSION CONTROL	EA	20.00	\$10.00	\$200.00
TEMPORARY SEDIMENT CONTROL FENCE INSTLL	LF	3000.00	\$2.00	\$6,000.00
TEMPORARY SEDIMENT CONTROL FENCE REMOVE	LF	3000.00	\$0.25	\$750.00
CONC CURB (TY II)	LF	6100.00	\$8.00	\$48,800.00
PIPE UNDERDRAINS (TY 8) (6")	LF	2400.00	\$40.00	\$96,000.00
BALLASTED TRACK CONST (TRACK)	LF	2100.00	\$275.00	\$577,500.00
BALLASTED TRACK CONST (TRACK REMOVAL)	LF	2100.00	\$25.00	\$52,500.00
30" FORCE MAIN INSTALLED	LF	1560.00	\$150.00	\$234,000.00
30" FORCE MAIN REMOVED	LF	1500.00	\$5.00	\$7,500.00
30" 45 DEGREE BENDS	EA	4.00	\$300.00	\$1,200.00
AIR RELEASE VALVES	EA	2.00	\$5,000.00	\$10,000.00
DRILL SHAFT WALL	SF	31000.00	\$90.00	\$2,790,000.00
RAILROAD THRU PLATE GIRDER BRIDGE	LF	130.00	\$8,000.00	\$1,040,000.00
			TOTAL	\$6,548,229.00
			20% Contingency	\$1,309,645.80
			TOTAL	\$7,857,874.80

The quantities and prices shown hereon are an indication of the Engineer's
Opinion of probable construction costs associated with the referenced project
and are NOT a guarantee of individual or total construction costs

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and City Council Members

FROM: Kristy Cole, City Secretary / Assistant to the City Manager / EMC

DATE: January 29, 2016

SUBJECT: Work Session re: IH-30 ramp reversal project

At the time of this memo and final preparation of the Monday, February 1st city council mtg. agenda/packet, staff was still awaiting numbers and additional information concerning this work session item. Therefore, City Engineer, Tim Tumulty will be providing additional details concerning this work session item in person at the meeting on Monday.

THIS PAGE INTENTIONALLY LEFT BLANK

Rockwall, Texas

Proclamation

Whereas, the City of Rockwall Parks and Recreation Department strives to be a leader in providing beneficial and memorable activities, parks and facilities that enhance the quality of life in the community; and

Whereas, the City has launched the “GO OUTSIDE AND PLAY” campaign to inform and educate its residents about the benefits of an active lifestyle for all ages and all abilities; and

Whereas, the goal of the GO OUTSIDE AND PLAY campaign is to increase the awareness of Rockwall's parks, trails, programs and special events; and

Whereas, the City created Playrockwall.com to offer its residents the convenience to register for programs and reserve facilities online and a single place to learn about what the Parks and Recreation Department provides to residents.

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall, Texas, do hereby proclaim **February 1, 2016** as

GO OUTSIDE AND PLAY DAY!

in the City of Rockwall in celebration of Rockwall's quality of life through the value of parks, trails, recreation programs and community events.

In Witness Whereof, I hereunto set my hand and official seal this 1st day of February 2016.

Jim Pruitt, Mayor

THIS PAGE INTENTIONALLY LEFT BLANK

1
2
3
4
5
6

MINUTES
ROCKWALL CITY COUNCIL
Tuesday, January 19, 2016
4:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

7 **I. CALL PUBLIC MEETING TO ORDER**

8
9 Mayor Pro Tem Lewis called the meeting to order at 4:00 p.m. Present were Mayor Pro
10 Tem Dennis Lewis, Councilmembers David White, Mike Townsend, Scott Milder, John
11 Hohenshelt, and Kevin Fowler. Also present were City Manager Rick Crowley, Assistant
12 City Managers Mary Smith and Brad Griggs, and the city's legal counsel, Patrick Lindner
13 (filling in for City Attorney, Frank Garza). Mayor Jim Pruitt was absent from the meeting.
14

15 **II. WORK SESSION**

- 16
17 1. Hold work session with Dan Allgeier of NuRock Development to discuss
18 and consider an application for allocation of housing tax credits for a
19 proposed multi-family development, and take any action necessary.

20 **Dan Allgeier, NuRock Development**
21 **4925 Greenville Avenue**
22 **Dallas, TX**
23

24 Mr. Allgeier explained that he is proposing to build a 136 unit apartment project off
25 Goliad just south of the railroad track, either garden style, two story or townhomes if
26 they are able to fit on there, which is not yet known. It will be gated and fenced and have
27 amenities. He expressed that this would be a mixed income property, so rent will be very
28 dependent on the resident's income. His company has 10,000 units nationwide, with
29 2,000 being in Texas. His company develops, builds and manages its properties. He
30 shared some photos of other, similar properties located elsewhere in the metroplex area.
31 He indicated that a market study was performed two years ago for the area solely within
32 Rockwall's city limits, and it showed a need for this type of product (more specifically it
33 showed a need for 2,000 units). Rockwall's rents are high and occupancies are high.
34 This property is located right beside the existing Evergreen Rockwall. The reason for
35 this location is that it's close to shopping, banks and pharmacies, and it's next to an
36 existing, affordable property, Evergreen. Also, it is not near any existing, single-family
37 subdivisions. In addition, it already has storm water retention in place. A pre-application
38 has already been submitted to the Texas Department of Housing Community Affairs for
39 the 'credits,' and the city has already received a notice about this. There will be a
40 clubhouse with amenities, on-site management and maintenance, and after school
41 programs for school-aged children. Mr. Allgeier went on to share some potential floor
42 plans, sharing that there are laundry rooms in every unit, each unit is big, and
43 patios/balconies are included if the city's zoning allows such.
44

45 He explained that he is not sure that working with the city's housing authority would be
46 appropriate because this product is not the same type of housing, but the RHA could
47 have office space at this location for \$10 / year if they need it.
48

49 Regarding rents and incomes, Mr. Allgeier explained that the median household income
50 in Rockwall is \$70,400 for a family of four, which is 2015 data. Rents would be based on
51 incomes, and he believes there are a lot of residents currently living and working in
52 Rockwall that would enjoy a better place to live. Regarding resident screening, they do
53 check income, credit, and criminal background of their renters. NuRock stays involved
54 for a very long time, indicating the company has only sold two properties nationwide,
55 both in Atlanta, in the twelve years he has worked for the company.
56

57 He explained that housing tax credits would be used. These are federal income tax
58 credits that have been around since 1986 and are issued by the Texas Department of
59 Housing and Community Affairs. He explained that this is a very, very competitive
60 program in that about \$63 million of credits available statewide, and requests for over
61 \$400 million of credits were submitted associated with the pre-applications which went in
62 last week.
63

64 He explained that, if for example, he receives \$10 million worth of credits, he would
65 receive \$1 million / year of which his company would sell to publicly traded investor
66 companies who hope to make some money for those ten years. Then, those investors
67 use the credits to reduce income tax. He explained that he recently looked up who some
68 of the investors were on a recent property, and they included Google, Chase Bank,
69 Countrywide Mortgage, and Citibank. The equities use source funds, and less debt
70 results in the ability to charge lower rates. This program has been very successful in
71 providing housing to those who have jobs.
72

73 He went on to explain that their units must contain features and amenities; they are
74 required to be energy efficient, and they are checked and scored annually by the equity
75 and lender firms. The properties are scored on a 1-100 scale, and all of their properties
76 at least score an 80, with a lot of them scoring a 90 or more.
77

78 He explained that the company / this product is “for profit,” so all property taxes are
79 paid. Impact fees would raise some funding for the city (estimated at about \$800,000 on
80 this particular project). Some jobs would be created, both short term and long term. In
81 addition, \$14.5 million in equity, which will be brought to the city.
82

83 He shared that the housing market is changing, with more and more people renting (over
84 63% living in the country rent), especially millennials who are getting married later in life,
85 are not having kids until later in life and desire to rent rather than own. Mr. Allgeier
86 indicated that he just read an article from Harvard Business that indicated that 60% of the
87 rental market is from individuals renting houses.
88

89 He shared that veterans and ‘wounded warriors’ get preference for rentals, meaning that
90 if they come in and pass the qualifications to rent, their name automatically gets bumped
91 to the top of the waiting list.
92

93 Mr. Allgeier respectfully requested that the Council consider putting this on a future
94 agenda to take action to issue a resolution of support for the project and a letter stating
95 that the city will give at least \$10 of local funding. He explained that these steps will
96 substantially aid him in getting approval in this highly competitive program.
97

98 He shared that his pre-application was submitted January 8, and a full application is due
99 March 1st. This is the deadline by which he would appreciate a letter of support from the

100 City and from State Rep. Scott Turner. He expressed that said letters of support do not
101 guarantee his project will get approved as part of this very competitive program;
102 however, not having said letters would likely be a great hindrance.

103
104 Mr. Allgeier explained that this is not “Section 8 housing,” and it is not “HUD housing,”
105 indicating that this property would reflect much higher incomes than those.

106
107 Councilmember White asked if Representative Turner has issued a letter of support for
108 this project. Mr. Allgeier indicated that, no, he has not yet done so because he has
109 indicated he would like to wait until the City of Rockwall issues a letter of support prior to
110 him doing so.

111
112 Councilmember Fowler indicated that, regardless of whether or not there is a need for it,
113 the City Council needs to decide if it does or does not desire to have additional
114 multifamily housing be built in the city.

115
116 Councilmember Milder asked about the cost of construction on this project versus one
117 that is not based on income level of future occupants. Mr. Allgeier indicated that this
118 project could quite possibly cost more because he will have to adhere to several energy
119 efficient building standards that may not otherwise be required.

120
121 Councilmember Hohenshelt asked for clarification regarding the financial structure of
122 this proposal, asking if the rent will be subsidized. Mr. Allgeier explained that rents on
123 most of the units are adjusted based on the median household income of the area in
124 which it is being built.

125
126 Mayor Pro Tem Lewis asked for clarification regarding what the property is currently
127 zoned for. Mr. Miller, the city’s Planning Director indicated that it is zoned for an assisted
128 living facility at this point, so it would need to be rezoned. Lewis indicated that he and
129 other members of the city council have been receiving a lot of e-mails expressing
130 opposition to this project (and this type of project).

131
132 After various questions and comments among the Council and Mr. Allgeier, the city
133 council took no action concerning this work session item and associated project.

- 134
135 2. Hold work session to hear presentation from Tom Kula, Executive
136 Director of the North TX Municipal District (NTMWD), and take any action
137 necessary.

138 Tom Kula
139 Executive Director - NTMWD
140 501 East Brown Street
141 Wylie, TX 75098
142

143 Mr. Kula indicated that he is also a resident of Rockwall and has been for about 6 years.
144 He introduced some additional guests accompanying him this afternoon, including his
145 Public Relations Manager (Janet Rummel), Rockwall board member (NTMWD director),
146 Bill Lofland, and Deputy Director of Finance and Personnel (Judd Sanderson). He
147 explained that this area recently went through a very significant five year drought that
148 was accompanied by significant water restrictions. He expressed that over that five year
149 period, water rates got raised by 10% each year during that 5 year drought. Now that the

150 drought has improved, folks are watering their lawns more often, and they are really
151 feeling the impact of those rates having been raised over the years. He explained that
152 his organization provides two essential services to the citizens of Rockwall including
153 water and wastewater services. He explained that the organization has been in existence
154 for 60 years and is a non-profit. He expressed that rates are not 'padded' in any way, that
155 they are actual rates set in order to provide dependable, high-quality service at the
156 lowest price possible. He explained that there are lots and lots of expensive
157 infrastructure and high dollar equipment that goes into the water/wastewater systems to
158 provide services to this area and district wide. He shared that there has been
159 exponentially large growth that has occurred in the region served by NTMWD since its
160 inception 60 years ago. He explained that Rockwall is poised to grow substantially over
161 the next twenty to fifty years. Conservation and reuse make up about 23% of the
162 organization's future needs. New sources and reservoirs will make up about 24% of its
163 future needs. He explained that conservation has been very important because it has not
164 only bided time (while new infrastructure is being acquired and put into place), but it has
165 also saved money. Mr. Kula explained that water demands will increase 1.5 times over
166 the next 40 years. He explained the importance of getting an additional water source, the
167 Lower Bois d'Arc Creek reservoir (located in Fannin County), online as soon as possible,
168 an effort they have been working on for about the last decade (and are quite close at this
169 point). He explained that this reservoir will yield about the same amount of supply as
170 Lavon. The goal was to have the permitting all completed in the year 2016 and have the
171 reservoir come online as a treated water supply in 2020. However, at this point, it
172 appears as though there may be some delays. He explained that there have been many
173 attempts at getting these delays rectified such that the project stays on schedule;
174 however, it seems less and less likely that this will occur on schedule.

175
176 Mr. Kula went on to share additional information related to how the District does its
177 budgeting, explaining that dollars have traditionally not been being spent on things like
178 the building in which the District offices or on adding additional staff over the years. As
179 a result, the District recently had to address some of those things in order to ensure it
180 can meet the current demands while providing the highest, best quality of service to its
181 member cities and, ultimately, to the citizens. Various comments were made pertaining
182 to rates that have been charged in the past, those that are being charged now, and what
183 future increases in rates are projected to be moving forward.

184
185 **The Council took no action concerning this work session item.**
186

- 187 3. Hold work session to hear staff briefing regarding recent support provided
188 to the cities of Rowlett and Garland associated with the December 26,
189 2015 tornado, and take any action necessary.

190 **Mayor Pro Tem Lewis indicated that this item will be delayed until the meeting**
191 **reconvenes at 6:00 p.m.**

192

193 **Lewis then read the below listed discussion items into the public record before recessing**
194 **the meeting into Executive Session at 5:36 p.m.**

195

196

197

198 **III. EXECUTIVE SESSION.**

199

200 **THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS**
201 **THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT**
202 **CODE:**

203

204 **1. Discussion regarding land acquisition for South Community Park pursuant**
205 **to Section § 551.072 (Real Property).**

206 **2. Discussion regarding appointment of city council subcommittees and**
207 **board liaisons - Fire Dept. Pension Board - pursuant to Section, §551.074**
208 **(Personnel Matters).**

209 **3. Discussion regarding process associated with City Manager performance**
210 **evaluation pursuant to Section 551.074 (personnel matters)**

211

212 **IV. ADJOURN EXECUTIVE SESSION**

213

214 **Executive Session was adjourned at 5:52 p.m.**

215

216 **V. RECONVENE PUBLIC MEETING**

217

218 **Mayor Pro Tem Lewis reconvened the public meeting at 6:00 p.m. with all council**
219 **members except for Mayor Jim Pruitt present.**

220

221 **VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION**

222

223 **Councilmember Townsend made a motion to reappoint Kevin Fowler to the city's Fire**
224 **Department Pension Board (2 year term to expire Dec. 2017). Councilmember White**
225 **seconded the motion, which passed by a vote of 6 in favor with 1 absent (Pruitt).**

226

227 **VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER MILDER**

228

229 **Councilmember Milder delivered the invocation and led the Pledge of Allegiance.**

230

231 **VIII. OPEN FORUM**

232

233 **Mayor Pro Tem Lewis explained how Open Forum is conducted and asked if anyone**
234 **would like to come forward and speak.**

235

236 **Judy Harris**

237 **Representing the Rockwall Philharmonic Orchestra**

238 **(no address given)**

239

240 **Mrs. Harris came forth and thanked the city council and Park Board for helping with the**
241 **recent MusicFest this past September. She and the organization appreciate the city's**
242 **support.**

243

244 **There being no one else wishing to speak, Mayor Pro Tem Lewis then closed Open**
245 **Forum.**

246

247
248
249
250
251
252
253
254
255
256
257
258
259
260
261
262
263
264
265
266
267
268
269
270
271
272
273
274
275
276
277
278
279
280
281
282
283
284
285
286
287
288
289
290
291
292
293
294

IX. CONSENT AGENDA

1. Consider approval of the minutes from the January 4, 2016 regular city council meeting, and take any action necessary.
2. Consider approval of an **ordinance** amending the Code of Ordinances in Chapter 8. Aviation by adding a new article, Article III, establishing an Airport Advisory Board at the Ralph M. Hall / Rockwall Municipal Airport to be appointed and removed by the city council, and take any action necessary. **(2nd reading)**
3. Consider awarding a bid to Barco Pump and authorizing the City Manager to execute a Purchase Order for a new Bypass Pump totaling \$38,306 to be funded out of the Water and Sewer Fund, Sewer Operations Budget, and take any action necessary.
4. Consider awarding a bid to Hall-Mark Fire Apparatus Texas LLC and authorizing the City Manager to execute a Purchase Order for a new Pumper totaling \$582,817 to be funded by Contractual Obligations, and take any action necessary.
5. **P2015-042** - Consider a request by Greg Helsel of Spiars Engineering on behalf of the owner Will Shaddock of Master Developers-SNB, LLC for the approval of a final plat for Phase 1 of the Preserve Subdivision, containing 132 single-family residential lots on a 52.545-acre tract of land identified as Phase 3 of the North Shore Addition and Tract 26-1 of the J. H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single Family 10 (SF-10) District land uses, located at the southeast corner of the intersection of Highland Drive and East Fork Drive, and take any action necessary.
6. **P2016-001** - Consider a request by Lori Stevens of Patriot PAWS Service Dogs for the approval of a replat for Lot 1, Block A, Patriot Paws Addition being a replat of a 3.466-acre tract of land currently identified as Lots 3 & 4, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, and addressed as 254 Ranch Trail, and take any action necessary.
7. Consider authorizing the City Manager to execute an agreement with WME for Founder's Day headliner entertainment, and take any action necessary.

Councilmember Milder made a motion to approve the entire Consent Agenda (#s 1, 2, 3, 4, 5, 6, and 7). Councilmember White seconded the motion. The ordinance for #2 was read as follows:

**CITY OF ROCKWALL, TEXAS
ORDINANCE NO. 16-09**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CODE OF ORDINANCES IN CHAPTER 8. AVIATION BY ADDING A NEW ARTICLE, ARTICLE III, ESTABLISHING AN AIRPORT ADVISORY BOARD TO BE APPOINTED AND REMOVED BY THE CITY

295 COUNCIL; PRESCRIBING TERMS FOR INITIAL BOARD MEMBERS;
296 ESTABLISHING THE PURPOSE & RESPONSIBILITIES OF THE BOARD; AND
297 PROVIDING FOR AN EFFECTIVE DATE.
298

299 The motion passed by a vote of 6 in favor with 1 absent (Pruitt).
300

301 X. APPOINTMENTS
302

- 303 1. Appointment with the Planning and Zoning Chairman to discuss and
304 answer any questions regarding cases on the agenda and related issues
305 and take any action necessary.

306 Mayor Pro Tem Lewis indicated that the P&Z Chairman, Mr. Craig Renfro, is stuck in
307 traffic. He was unable to make the meeting; therefore, this item was not addressed, and
308 no action was taken by Council.
309

- 310 2. Appointment with Kevin Lefere to discuss and consider an encroachment
311 on city property, and take any action necessary.

312 Mr. Lefere came forth and generally indicated that he has placed a dumpster and has
313 screened it at the back door of his restaurant (Zanata) not knowing that it encroaches on
314 city property. Councilmember Townsend expressed concern about the structure
315 covering up the electrical boxes and perhaps posing a fire hazard. Fire Chief Poindexter
316 indicated that he has not looked at it in person since the point in time when some
317 modifications were made to it. Furthermore, while he understands that a portion of the
318 structure may be able to be taken apart in order to have proper fire access, it is
319 supposed to be kept completely open and free from obstruction according to the Fire
320 Code. Mr. Crowley clarified that this exit serves as an alternative fire exit for the
321 business, and the handicap accessibility associated with this door may be in question.
322 Mr. Griggs, Assistant City Manager, explained that, although there are two other fire
323 exits, they are not far enough apart to meet the National Electric Code requirements.
324 So, this particular door would have to serve as the alternate exit.

325 Mayor Pro Tem Lewis thanked Mr. Lefere for being a good, local business in our
326 community and for the various things he and his business have done for the City;
327 however, he does not believe the City Council is in a position to waive any National Fire
328 or National Electric Code requirements that may present life safety issues. Chief
329 Poindexter offered some additional comments, mainly indicating that this door will have
330 to remain the second / alternate fire exit door due to distance requirements and his 90
331 person occupant load.

332 Councilmember White expressed that he is open to the possibility of having the trash
333 container moved down some such that it is further away from the ramp and door and not
334 situated underneath the electrical boxes.

335 Mayor Pro Tem Lewis also suggested that Mr. Lefere get with staff on the possibility of
336 moving the trash receptacle. The Council took no formal action on this item at this time.
337

- 338 3. Appointment with representatives of the Rockwall Community Emergency
339 Response Team (CERT) to hear presentation regarding the program,
340 including report on past events in which CERT has been involved, and
341 take any action necessary.

342 Mayor Pro Tem Lewis indicated that a work session item, which was previously deferred
343 during the 4:00 p.m. portion of the meeting agenda, would be discussed at this point,
344 prior to the CERT Team making its presentation.
345

346 Kristy Cole, Emergency Management Coordinator for the City of Rockwall recapped
347 weather-related monitoring and related preparations that took place in the afternoon
348 hours, prior to the tornado occurring.
349

350 Fire Chief Mark Poindexter shared that the City of Rockwall FD was contacted by Rowlett
351 Fire asking for some assistance the night of the tornado. We arrived on scene at about
352 7:45 p.m. and were over there for about 7.25 hours. An engine company and ladder
353 company were sent with about twelve personnel. We were also asked to help shut down
354 the interstate at IH-30, so two pieces of apparatus were devoted to that effort. The
355 stations were backfilled to ensure coverage in our own city, resulting in about 20
356 personnel (total) being affected, with about half of those being volunteers. He explained
357 that his personnel assisted with search and rescue while in Rowlett that night.
358

359 Police Chief Riggs indicated that his department's After Action Report has been included
360 in the city council's informational meeting packet. His personnel assisted with shutting
361 down IH-30 and started directing drivers to detour north and south of the city. He
362 explained that 21 officers were involved over a two day period, and, after two days,
363 indication was given that no more assistance was needed. He summarized that about
364 142 hours of assistance were provided in the form of police officers at the needed
365 locations.
366

367 City Engineer Tim Tumulty expressed that Public Works spent 2 weeks and about 640
368 man hours (15 personnel) providing some heavy equipment and man power to assist
369 with clearing the streets following the tornado. He explained that a lot of the time was on
370 a "volunteer basis" only with some of the city's personnel volunteering their time, for
371 free, on New Years Day and the Saturday after.
372

373 Jeffrey Widmer, Building Official, came forth and briefed the Council on efforts that he,
374 city staff and members of the Building Officials Association of Texas (BOAT) participated
375 in starting the Monday following the tornado. He explained that several teams were
376 formed to conduct "rapid damage assessments" of every damaged structure. This
377 information is instrumental in assigning a monetary value to the damage done in order to
378 work towards disaster declarations.
379

380 Emergency Management Coordinator, Kristy Cole, shared that she assisted the City of
381 Rowlett in its Emergency Operations Center on New Years Eve, explaining that she spent
382 the day doing data entry related to damage assessments performed on the residential
383 homes. Subsequently, she spent one work day at the City of Garland Emergency
384 Operations Center serving in the "Planning Section," helping take notes related to daily
385 briefings and assisting with an Incident Action Plan for the next day's workers.
386

387 City Manager Rick Crowley indicated that staff in Rockwall remained sensitive to the
388 needs (and non-needs) of the City of Rowlett when offering assistance.
389

390 Chief Poindexter introduced Stan Jeffus, explaining that he is a member of CERT, and
391 several other CERT members are also present in the audience this evening. He
392 expressed that since the tornado on Dec. 26th, there has been a notable spike in interest

393 related to training and membership associated with the Rockwall CERT Team. A training
394 class was held since that time, with fifty people being signed up/trained. Additional
395 classes are scheduled.

396
397 Mr. Jeffus then came forth and explained to the City Council why CERT exists and what
398 services CERT offers to the community. He then briefed the Council on the various
399 response and community-related activities that the Rockwall CERT participated in during
400 the year 2015, including the following:

- 401
- 402 ● Business Meetings: 8
- 403 ● Training Meetings: 8
- 404 ● Special Events: 22
- 405 ● Drills/Exercises: 5
- 406 ● Official Requests for Assistance: 15
- 407 ● Total Events: 59
- 408 ● Total Volunteer Hours 1125.5
- 409 ● Monetary Value \$25,965.29
- 410

411 Mayor Pro Tem Lewis thanked the city's CERT members for all of the work they do. He
412 also thanked city staff for all of the work they performed related to the tornado event.

413
414 Before starting the public hearing items, Mayor Pro Tem Lewis indicated that there are
415 three different scenarios that exist that would require a $\frac{3}{4}$ (super majority) vote of the
416 council in order for a case/request to pass. Tonight, there are two such items on the
417 agenda, and these will require five of the six council members who are present tonight to
418 vote in favor of them in order for them to pass. Also, there is one case that met the "20%
419 rule" in that twenty percent (or more) of the property owners who live within the 200'
420 notification area have returned notices expressing opposition. Therefore, a $\frac{3}{4}$ majority
421 vote is required.

422
423 Patrick Lindner, the city's legal counsel, shared verbiage from a memo that was included
424 in the city council members' informational meeting packet as follows:

425
426 The protest from property owners as stated in the memo requires a
427 favorable three-fourths ($\frac{3}{4}$) vote from the City Council for approval. Article
428 II, Section 8.4 "Protest of Proposed Change in Zoning" of the City of
429 Rockwall Unified Development Code states:

430
431 *"Whenever such written protest is signed by the owners of twenty (20)*
432 *percent or more of the area of the lots or land included in such zoning*
433 *change, or of the lots or land immediately adjoining the same and within the*
434 *above mentioned two hundred (200) feet radius, or if such change is*
435 *recommended for denial by the Planning and Zoning Commission, such*
436 *change in zoning shall require a favorable vote of three-fourths ($\frac{3}{4}$) of all*
437 *eligible members of the Council."*

438
439 So this means that a $\frac{3}{4}$ majority vote of Council is required if the P&Z Commission
440 recommends denial of the zoning change, or denies the special use permit (SUP), or if
441 the P&Z Commission fails to recommend approval of the zoning change or SUP. Also a
442 $\frac{3}{4}$ majority vote of council is required if 20% or more of the property owners living within
443 200' of the subject property submit opposition to either the zoning change or the

444 granting of an SUP. A super majority (3/4 vote) tonight would mean that five of the six
445 council members would have to vote in favor of these such items tonight in order for
446 them to be approved/pass.

447
448 **XI. PUBLIC HEARING ITEMS**

449
450 1. **Z2015-028** - Hold a public hearing to discuss and consider a request by
451 Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of JBR-2, LLC
452 for the approval of an **ordinance** for a Specific Use Permit (SUP) for
453 Commercial Amusement/Recreation (Outside) to allow two (2) private
454 baseball fields to be established on a 2.49-acre portion of a larger 7.32-
455 acre tract of land identified as Tract 17-12 of the W. W. Ford Survey,
456 Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned
457 General Retail (GR) District, situated west of the intersection of SH-205
458 and FM-549, and take any action necessary **[1st Reading]**.

459 **The applicant, Jimmy Strohmeier of Strohmeier Architects, Inc., is requesting a Specific**
460 **Use Permit (SUP) to allow for a Commercial Amusement/Recreation (Outdoor) training**
461 **facility for two (2) private baseball fields to be located on a 2.49-acre portion of a larger**
462 **7.32-acre tract of land. The property is zoned General Retail (GR) District and is located**
463 **at 5133 FM 549 and situated at the southwest corner of FM-549 and SH-205.**

464
465 **The private baseball fields (ball fields) the applicant is requesting to build on this**
466 **property are not regulation size and could not be used for normal game play or**
467 **tournament play. The layouts of the ball fields are designed for infield practice and will**
468 **be used only in that manner. The applicant has stated there will not be a need for exterior**
469 **lighting as the ball fields will only be used during daylight hours. If approved, the ball**
470 **fields will be available for rental and select team use for infield practice only. It was**
471 **noted that a request for an SUP is a discretionary act for the City Council.**

472
473 **Mr. Miller further explained that the applicant’s request does not conform to the**
474 **residential setback requirements for a commercial amusement/recreation (outdoor)**
475 **facility. The Unified Development Code (UDC), under Article IV, Sec. 2.1.5, Recreation,**
476 **entertainment and amusement conditions requires a minimum 300-ft setback from**
477 **residentially zoned properties.**

478
479 **Staff mailed eleven (11) notices to property owners within 500 feet of the subject**
480 **property. Staff also notified one (1) HOA/Neighborhood Organization (Oaks of Buffalo**
481 **Way) that is within 1500 feet participating in the notification program. Additionally, staff**
482 **posted a sign on the property as required by the Unified Development Code (UDC). At the**
483 **time this report was drafted, staff has received two (2) notices “opposed to” the zoning**
484 **change request [one – written & one – verbally stated at the P&Z public hearing]. The two**
485 **(2) notices constitute a protest from over 20% of the property owners within 200-ft of the**
486 **proposed property requesting the zoning change and will require a super-majority vote**
487 **by the City Council for approval of the SUP (five of the six council members present this**
488 **evening).**

489
490 **On January 12, 2016, the Planning and Zoning Commission made a motion to approve**
491 **the SUP request, which failed by a vote of 3 to 3, with Commissioners Trowbridge,**
492 **Logan, and McCutcheon dissenting [Jusko - Absent].**

493

494 **Jimmy Strohmeyer**
495 **1620 Fairlakes Point**
496 **Rockwall, TX**

497
498 **The owner of the property, Dan Bobst, came forward and provided a history of the**
499 **property since he purchased it years ago, indicating that at the time of purchase it was**
500 **located outside of the city limits in the county.**

501
502 **Mr. Strohmeyer indicated that a lot of parents drop off their kids for practice, and they**
503 **personally heard no complaints until the ‘back stops’ were installed.**

504
505 **After additional comments, Mayor Pro Tem Dennis Lewis then opened the public hearing.**

506
507 **Scott Blackwood**
508 **5205 S. FM-549**
509 **Rockwall, TX**

510
511 **Mr. Blackwood indicated that he is a neighbor who has complained about these ball**
512 **fields. He indicated that his property has been on and off the market (for sale) over the**
513 **course of the last several years. He stated that ever since the ball fields appeared, he**
514 **has had two potential buyers decide to not follow through because of concerns related to**
515 **the ball fields. He went on to explain that about two years ago, he personally**
516 **approached the city council to request rezoning of his property, which got turned down**
517 **at that time. He expressed that his residential home is zoned Agricultural, and some**
518 **realtor agents have indicated that listing his home with the ball fields being next door is**
519 **not ideal. He stated that the land owner next door told him the dirt that was being**
520 **brought in was for drainage improvements on the property. Also, he contacted city staff**
521 **at the time who also conveyed that the permits that were pulled for the dirt indicated it**
522 **was for drainage improvement reasons. Overall, he generally expressed concerns**
523 **related to the ball fields impeding his ability to sell his property. He generally expressed**
524 **opposition to approval of this request.**

525
526
527 **John Sutton**
528 **717 Starlight Pass**
529 **Heath, TX**

530
531 **Mr. Sutton spoke on behalf of Texas Sports, indicating that having additional practice**
532 **facilities, such as this one, would be beneficial for local teams seeking out such**
533 **locations.**

534
535 **Bryan Munson**
536 **6314 Warwick Drive**
537 **Rockwall, TX**

538
539 **Mr. Munson indicated that his son plays on a team that previously utilized Tuttle ball**
540 **fields; however, this past spring’s rains wiped out such opportunities for the team. He**
541 **expressed that baseball is very popular in this area, and teams are constantly looking for**
542 **fields. He encouraged the Council to approve this item.**

543
544 **Christian Comer**

545 **604 Norwood Drive**
546 **Rockwall, TX**

547
548 **Christian came forth and expressed that he is a student and will soon be trying out for**
549 **the Rockwall Heath High School team, and he generally encouraged the city council to**
550 **vote in support of this item tonight.**

551
552 **Jake Thomas**
553 **2957 Clear Creek Drive**
554 **Rockwall, TX**

555
556 **Mr. Thomas indicated that he is a baseball coach for teams that seek out practice**
557 **locations such as this one. He is also a wrestling coach. This practice facility provides a**
558 **location, outside of Tuttle, for players to develop their skills. This need is a result of a**
559 **very fast growing community, and fields like this provide an opportunity for families to**
560 **develop the leadership and other talents of their children. He generally spoke in favor of**
561 **the council approving this request.**

562
563 **Jake Edwards**
564 **2412 White Road**
565 **Heath, TX**

566
567 **Mr. Edwards came forth, expressing that these fields are really important to Rockwall.**
568 **Tuttle fields are full quite often, and so this alternate location is really needed. Baseball**
569 **is a great sport, and supporting these baseball practice fields would be supporting local**
570 **kids who play the sport. He generally spoke in favor of approving this request tonight.**

571
572 **Jeff McMurtrey**
573 **3803 Juniper Hills Drive**
574 **Rockwall, TX**

575
576 **Mr. McMurtrey generally spoke in favor of approving this request, expressing that these**
577 **extra practice fields are needed in the community. He shared that parents usually drop**
578 **their kids off, so there are not a bunch of cars parked there. Also, he has never**
579 **personally seen more than about one team practicing there at one time.**

580
581 **Kelly McGee**
582 **(unknown house number) Windsor Drive**
583 **(unknown city)**

584
585 **Mrs. McGee expressed that the activity at these fields is quite minimal. She generally**
586 **encouraged the city council to vote in favor of approving this request.**

587
588 **There being no one else wishing to come forth and speak, Mayor Pro Tem Lewis closed**
589 **the public hearing.**

590
591 **The applicant, Mr. Strohmeyer, again came forth and expressed that he would like for the**
592 **metal building to remain as well as the ball fields so that those things and opportunities**
593 **are not taken away from the kids in the community and a Quick Trip is potentially put up**
594 **in its place.**

595

596 Mr. Bobst (owner) indicated that this is not a “money maker” for him. Instead, it is solely
597 for the love of the kids in the community.

598
599 Councilmember Milder provided brief comments, generally indicating he is in favor of
600 these ball fields.

601
602 Milder made a motion to approve this SUP request as presented (Z2015-028).
603 Councilmember White seconded the motion. After brief comments, the ordinance was
604 read as follows:

605 CITY OF ROCKWALL
606 ORDINANCE NO. 16-XX
607 SPECIFIC USE PERMIT NO. S-144

608
609 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
610 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE
611 NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
612 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP)
613 ALLOWING FOR A COMMERCIAL AMUSEMENT/RECREATION FACILITY
614 (OUTDOOR) AND MORE SPECIFICALLY TWO (2) PRIVATE BASEBALL
615 FIELDS, WITHIN A GENERAL RETAIL (GR) DISTRICT, BEING A 2.49-
616 ACRE PORTION OF A LARGER 7.32-ACRE TRACT OF LAND IDENTIFIED
617 AS TRACT 17-12 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, AND
618 SITUATED WEST OF THE INTERSECTION OF SH-205 AND FM 549, CITY
619 OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE
620 SPECIFICALLY DESCRIBED IN EXHIBIT ‘A’ AND AS DEPICTED IN
621 EXHIBIT ‘B’; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A
622 PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND
623 DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A
624 SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;
625 PROVIDING FOR AN EFFECTIVE DATE.

626
627 The motion passed by a vote of 6 in favor with 1 absent (Pruitt).

- 628
629
630 2. **Z2015-036** - Hold a public hearing to discuss and consider a request by
631 Harry Chapman of Noble RE, LLC on behalf of the owners Robert &
632 Patrick Hughes and Sandra Ferguson for the approval of an **ordinance**
633 for a zoning amendment to Planned Development District 32 (PD-32)
634 [Ordinance No. 10-21] for the purpose of allowing a Financial Institution
635 with a Drive-Through within the Ridge Road Retail Subdistrict, being a
636 1.1755-acre portion of a larger ~78.89-acre area of land identified as the
637 Harbor District, being zoned Planned Development District 32 (PD-32),
638 situated within the Scenic Overlay (SOV) District, located at the northwest
639 corner of Cemetery Road and Ridge Road [FM-740], with the greater
640 Harbor District being generally located south of IH-30 and west of Horizon
641 Road [FM-3097], and take any action necessary [**1st Reading**].

642 Planning Director Ryan Miller provided background information as follows: On
643 December 16, 2015, the applicant Harry Chapman of Noble RE, LLC submitted an
644 application on behalf of the owners (Robert & Patrick Hughes and Sandra Ferguson)
645 requesting that Planned Development District 32 (PD-32) be amended to allow a Financial
646 Institution with a Drive-Through within the Ridge Road Retail Subdistrict. Currently, the
647 only property within the Ridge Road Retail Subdistrict is the subject property, which is a

648 1.1755-acre parcel of land at 2930 Ridge Road. He explained that this request is
649 associated with something similar to an ATM; however there would be an actual, live
650 person there (a bank teller of sorts). Staff mailed out 132 notices to all property owners
651 and residents within Planned Development District 32 (PD-32). In addition, staff mailed
652 out notifications to all property owners and residents within 500-feet of the district and to
653 all Homeowner's Associations within 1,500-feet of the district (i.e. Water's Edge, Signal
654 Ridge, Chandler's Landing, Fox Chase and Lakeside Village Homeowner's Associations)
655 per the requirements of Section 6.1, Notice of Public Hearing, of Article II, Authority and
656 Administrative Procedures, of the Unified Development Code. Of the 132 notices mailed,
657 staff has received five (5) notices returned, three (3) in favor of the request and two (2)
658 opposed to the request.

659
660 Mayor Pro Tem Lewis called the applicant forth. He came forward and provided brief
661 comments. Mayor Pro Tem Lewis then opened the public hearing and asked if anyone
662 would like to come forth and speak. There being no one indicating such, he then closed
663 the public hearing.

664
665 Councilmember Milder made a motion to approve Z2015-036. Councilmember
666 Hohenshelt seconded the motion. The ordinance was read as follows:

667
668 CITY OF ROCKWALL
669 ORDINANCE NO. 16-XX
670

671 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
672 ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT
673 DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED
674 DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF
675 ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF
676 AMENDING EXHIBIT 'D', SUBDISTRICT LAND USE CHART, OF
677 PLANNED DEVELOPMENT DISTRICT 32 (PD-50) TO ALLOW A
678 FINANCIAL INSTITUTION WITH DRIVE-THROUGH AS A PERMITTED
679 BY-RIGHT LAND USE WITHIN THE RIDGE ROAD RETAIL
680 SUBDISTRICT BEING A ~1.162-ACRE PORTION OF A LARGER
681 ~78.89-ACRE AREA OF LAND IDENTIFIED AS THE HARBOR
682 DISTRICT, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
683 AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' OF THIS
684 ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING
685 FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO
686 THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE;
687 PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A
688 REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.
689

690 The ordinance passed unanimously of those present (6 ayes with Pruitt (1) absent).
691

692 Mayor Pro Tem Lewis recessed the meeting, calling for a short break at 7:48 p.m.
693

694 Mayor Pro Tem Lewis reconvened the meeting at 7:57 p.m.
695

696 3. Z2015-037 - Hold a public hearing to discuss and consider a request by
697 Arthur F. Beck of BSM Engineers, Inc. on behalf of the First United
698 Methodist Church for the approval of an ordinance for a Specific Use
699 Permit (SUP) for a structure that exceeds the maximum height
700 requirements for a 8.2983-acre parcel of land identified as Lot 7, Block 1,

701 First United Methodist Church Addition, City of Rockwall, Rockwall
702 County, Texas, zoned Commercial (C) District, addressed as 1200 E.
703 Yellow Jacket Lane, and take any action necessary [1st Reading].

704 Planning Director Ryan Miller explained that this item is regarding approval of a Specific
705 Use Permit (SUP) for a structure that exceeds the maximum height requirements,
706 specifically a church steeple that will have an overall height of 108-ft 6-inches. He
707 explained that a church steeple within a commercial zoning district may be constructed
708 up to a maximum height of 72-ft without an SUP; however, the proposed steeple for this
709 location will exceed this by 36-ft 6-inches and therefore requires a SUP. On December
710 22, 2015, staff mailed eleven (11) notices to property owners within 500 feet of the subject
711 property; however, there is no HOA/Neighborhood Organization within 1500 feet
712 participating in the notification program. Additionally, staff posted a sign on the property
713 as required by the Unified Development Code (UDC). At the time the staff report was
714 drafted, staff has not received any notices either “for” or “against” the request. On
715 January 12, 2016, the Planning and Zoning Commission made a motion to approve the
716 SUP request, which passed by a vote of 6 to 0 [Jusko – absent].

717
718 Mayor Pro Tem Lewis called the applicant forth to speak at this time.

719
720 Mr. Arthur Beck
721 BSM Engineers
722 4111 E. US Hwy 80
723 Mesquite, TX
724

725 Mr. Beck indicated that the original plans called for a steeple; however, money was not
726 sufficient at the time to construct said steeple. Since that time, money has become
727 available, so that is why it is being requested for construction at this time.

728
729 Councilmember Hohenshelt asked for clarification regarding what the tallest structure is
730 within the city currently. He expressed that he is trying to get a frame of reference for
731 how tall this truly will be. The applicant clarified that the nearby courthouse is taller, and
732 so is the nearby football stadium.

733
734 Mayor Pro Tem Lewis opened the public hearing, asking if anyone would like to speak.
735 There being no one indicating such, he then closed the public hearing.

736
737 Councilmember White made a motion to approve Z2015-037. Councilmember Townsend
738 seconded the motion. The ordinance was read as follows:

739
740 CITY OF ROCKWALL
741 ORDINANCE NO. 16-XX
742 SPECIFIC USE PERMIT NO. S-145
743

744 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
745 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE
746 NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
747 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP)
748 ALLOWING FOR A STRUCTURE TO EXCEED THE MAXIMUM HEIGHT
749 REQUIREMENT WITHIN A COMMERCIAL (C) DISTRICT, BEING AN 8.2983-
750 ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK 1, FIRST UNITED
751 METHODIST CHURCH ADDITION, ADDRESSED AS 1200 E. YELLOW

752 JACKET LANE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND
753 MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND AS DEPICTED IN
754 EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A
755 PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND
756 DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A
757 SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;
758 PROVIDING FOR AN EFFECTIVE DATE.

759
760 The motion passed by a vote of 6 in favor with 1 absent (Pruitt).
761

762 4. **Z2015-038** - Hold a public hearing to discuss and consider a request by
763 Scott and Leslie Milder for the approval of an **ordinance** amending
764 Ordinance No. 07-29 for the purpose of allowing a Banquet Facility land
765 use to be a permitted use through a Specific Use Permit (SUP) for all
766 properties within Planned Development District 50 (PD-50), being 21.266-
767 acres of land in the S.S. McCurry Survey, Abstract No. 146 and B. F.
768 Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County,
769 Texas, zoned Planned Development District 50 (PD-50) for Residential-
770 Office (RO) District land uses, situated within the North Goliad Corridor
771 Overlay (NGC OV) District, and generally located along N. Goliad Street
772 [SH-205] north of Interurban Street, and take any action necessary [**1st**
773 **Reading**].

774 Councilmember Milder expressed that he will be recusing himself from this item, as he is
775 the applicant/presenter.
776

777 On December 16, 2015, the applicants Scott and Leslie Milder submitted an application
778 requesting that Planned Development District 50 (PD-50) be amended to allow a Banquet
779 Facility or Event Venue through a Specific Use Permit (SUP). The intent of the request is
780 to allow the property at 803 N. Goliad Street to operate as a Banquet Facility or Event
781 Venue. This will allow any request for a Banquet Facility or Event Venue to be reviewed
782 on a case-by-case basis for the purpose of establishing operational conditions to safe
783 guard the character of the district and to mitigate for any potential negative impacts on
784 adjacent properties. Since the proposed case involves modifying the land uses
785 permitted within Planned Development District 50 (PD-50), Mr. Miller explained that staff
786 has notified all property owners and residents within the Planned Development District.
787 In addition, staff mailed out notifications to all property owners and residents within 500-
788 feet of the district and to all Homeowner's Associations within 1,500-feet of the district
789 (i.e. Lakeview Summit and Caruth Lakes Homeowner's Associations) in accordance with
790 the city's notification requirements. He explained that, of the 361 notices mailed, staff
791 initially received seven (7) notices returned (four [4] in favor of the request and three [3]
792 opposed). Additionally, staff has since received four (4) additional notices (3 opposed,
793 and 1 for) plus two more notices (both opposed). The Planning & Zoning commission
794 reviewed this on January 12 and has recommended approval by a vote of 6 to 0.
795

796 Councilmember Hohenshelt clarified that if this is approved, everyone in this PD could
797 potentially apply for this type of banquet facility SUP. Mr. Miller affirmed this clarification
798 as being true.
799

800 Mayor Pro Tem Lewis called the applicant forth to speak.
801

802 **Scott Milder**
803 **830 Shores Blvd.**
804 **Rockwall, TX 75087**

805
806 **Mr. Milder indicated that his wife, Leslie, was unfortunately unable to get out of an**
807 **obligation in Houston. Therefore she could not be present this evening to make the**
808 **presentation herself. He has, however, filled out and filed an affidavit of recusal with the**
809 **City Secretary, as advised by the city attorney. He explained that his own property would**
810 **be more like a “small events” such as birthday parties, teen showers, bridal or baby**
811 **showers, but no large groups or loud parties, particularly outdoors. He shared that the**
812 **fire code allows 49 people or less, and he does not wish to have events there that would**
813 **have more people than this number in attendance. He continued to brief the Council on**
814 **his own property, which he and his wife have named “Our House,” indicating that they**
815 **would like to use it as a very small event venue. He expressed a desire to be a “good**
816 **neighbor” to both the commercial and residential properties located adjacent to his own.**
817 **During his presentation, he shared numerous before and after photos of improvements**
818 **made to the home since he and his wife purchased it about three years ago. He indicated**
819 **that he has heard some of the opposition is related to concerns like noise, congestion**
820 **and parking. He explained that he and his wife were lead to believe by Mr. Miller’s**
821 **predecessor that the property was properly zoned for this sort of thing (events) under the**
822 **“meeting space” zoning. However, he later was told by staff that the zoning was not**
823 **proper, and they needed to take another look at the zoning. That is why this is being**
824 **brought forth to allow this type of facility with an approved SUP. He shared that the**
825 **city’s requirements call for him to have 16 parking spaces. He stated he has about eight**
826 **or ten spaces built, and there are some that could be included in the formula on the north**
827 **and south side, and a few more can be added if needed. He indicated that the adjacent**
828 **property owner on the South side is happy to share parking because she needs**
829 **additional parking during the day, and his facility will not be using a lot of spaces during**
830 **the day. He indicated that his particular property does have ample land available to**
831 **construct parking spaces on the Alamo side; however, he understands that a lot of**
832 **properties located in the historic district would not have enough land to build a sufficient**
833 **number of parking spaces. He shared that an 8’ privacy fence would be built in the back**
834 **in an effort to insulate neighbors from whatever events are being held at the facility.**

835
836 **At the close of his presentation, he shared that if this request is approved tonight, he will**
837 **be returning at a future date to request an SUP to allow his property to be utilized as an**
838 **event venue as he has described tonight.**

839
840 **Councilmember Townsend asked for clarification regarding The Johnsons who has**
841 **previously come before the council to discuss plans for this property. Mr. Milder**
842 **indicated that the Johnsons were previously planning to do a store on the property that**
843 **would benefit soldiers; however, that plan fell through. He also clarified that “Chris” did**
844 **want to do a food truck type trailer on the property. Mr. Miller clarified that the change**
845 **that was needed in the code was approved to allow said trailer; however, an SUP would**
846 **still be required, and the SUP process has not taken place at this point. Mr. Milder**
847 **indicated that the retail store will no longer be happening; however, “Chris” may desire**
848 **to pursue the food truck at some point in the future.**

849
850 **Councilmember Fowler expressed concern about how the noise would be managed, for**
851 **example, with kids whose parents may host graduation parties there with DJs and such.**
852 **He is concerned about how potential noise may be controlled. Mr. Milder indicated that**

853 hiring of a DJ would not be allowed, but a small sound system is indoors, and renters
854 could plug up their laptop or iPod and play music through that system. Also he, his wife,
855 Leslie, or someone will be there to manage that aspect of the rentals, explaining various
856 ways in which the noise will be managed such that it will not be problematic. Also, he
857 does not believe alcohol will be a problem, as the contract that a leaser would sign would
858 require a uniformed officer to be present if alcohol were involved. Plus, it would be a
859 “bring your own alcohol” type facility, as he will not be licensing it through TABC.
860 Regarding parking, he believes sufficient space will be available between the existing lot,
861 the additional spaces and the shared spaces on the north and south. He imagines there
862 may also be some curb parking along Alamo. Mr. Miller indicated that it is a public street
863 (in other words, curb parking would be ok).

864
865 Councilmember Fowler also asked about garage sales, explaining that there was one
866 held there in the parking lot this past Saturday, and it did not look good and it backed up
867 traffic. Mr. Milder indicated that it was a charity garage sale that was held, and others
868 may be held in the future, as it is a visible location for drivers-by to stop.
869 Councilmember Fowler asked if such garage sale violates an ordinance. Mr. Miller
870 indicated that they actually obtained a special event permit for the garage sale held this
871 past weekend.

872
873 Mayor Pro Tem Lewis opened the public hearing and asked if anyone would like to come
874 forth and speak at this time.

875
876 Heather Bullock
877 301 Wildwood Lane

878
879 Ms. Bullock came forth and expressed that she lives one street behind Alamo behind
880 where this home (Milder’s) is located. She indicated that she has spoken to various
881 neighbors on Wildwood, and they have some concerns. She is not necessarily opposed;
882 however, there are concerns such as sufficiency of parking and the fact that
883 ingress/egress (the driveway) would be on Alamo. She explained that there are a lot of
884 children that live on Wildwood and Alamo, and a lot of them play in the street and
885 driveways along those streets. She is very concerned about the safety of these children
886 at play. She is also concerned about the noise, explaining that it is a relatively quiet
887 neighborhood; however, they can already hear noise from, for example, events
888 downtown and from the announcer at the football games. She would also be concerned
889 about noise from people perhaps hanging out in the parking lot after a party. He also has
890 concerns pertaining to hours of operation.

891
892 There being no one else wishing to come forth and speak, Mayor Pro Tem Lewis then
893 closed the public hearing.

894
895 Councilmember Townsend made a motion to approve Z2015-038. Councilmember White
896 seconded the motion. The ordinance was read as follows:

897
898 CITY OF ROCKWALL
899 ORDINANCE NO. 16-XX

900
901 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
902 ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT
903 DISTRICT 50 (PD-50) AND THE UNIFIED DEVELOPMENT CODE

904 [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS
905 HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING
906 PLANNED DEVELOPMENT DISTRICT 50 (PD-50) TO ALLOW A
907 BANQUET FACILITY LAND USE TO BE PERMITTED BY A SPECIFIC
908 USE PERMIT (SUP) FOR THE SUBJECT PROPERTY, BEING A
909 21.266-ACRE TRACT OF LAND SITUATED WITHIN THE S. S.
910 McCURRY SURVEY, ABSTRACT NO. 146 AND B. F. BOYDSTON
911 SURVEY, ABSTRACT NO. 14, CITY OF ROCKWALL, ROCKWALL
912 COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY
913 EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL
914 CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO
915 EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR
916 EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE;
917 PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN
918 EFFECTIVE DATE.

919
920 The motion passed by a vote of 5 ayes, 1 abstention (Milder) and 1 absent (Pruitt).

- 921
922 5. **Z2015-039** - Hold a public hearing to discuss and consider a request by
923 Dayne Ram of ADR Designs, LLC on behalf of the owner Majestic Cast,
924 Inc. for the approval of an ordinance for a Specific Use Permit (SUP) for
925 a Residence Hotel on a 2.003-acre parcel of land identified as Lot 4,
926 Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall
927 County, Texas, zoned Commercial (C) District, situated within the IH-30
928 Overlay (OV) District, located on the east side of White Hills Drive south
929 of Ridge Road [FM-740], and take any action necessary [1st Reading].

930 Mr. Miller, Planning Director, explained that this case is associated with a request for the
931 approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.003-acre parcel of
932 land situated within the IH-30 Overlay (OV) District, located on the east side of White Hills
933 Drive south of Ridge Road [FM-740]. He explained that the applicant is proposing a 4-
934 story *Home 2 Suites by Hilton*. The proposed *Residence Hotel* will accommodate 91
935 rooms including a 1,600 sq. ft. meeting room and an indoor pool as an amenity. The
936 proposed hotel will be approximately 47,000 sq. ft. and will provide approximately 101
937 parking spaces. If approved, submittal of a full site plan (including elevations, landscape,
938 photometric plans, etc.) is required, including an Architectural Review Board
939 recommendation forwarded to the Planning and Zoning Commission for consideration.
940 Furthermore, the applicant is requesting a variance to allow for a driveway along White
941 Hills Drive that does not meet the spacing requirement as established in the
942 Engineering's Standards of Design (ESD) Manual. White Hills Drive is considered to be a
943 minor collector and the ESD requires a minimum spacing distance of 100-ft from each
944 driveway. The property line along White Hills Drive is approximately 135-ft in length. The
945 placement of the proposed driveway will be approximately 85-ft from the existing south
946 driveway (entrance to Wal-Mart) and approximately 40-ft from the exiting business at 605
947 White Hills Drive. With driveways on both sides of the property, the applicant will not
948 meet the driveway spacing requirement as prescribed. The applicant is seeking a
949 variance in order to have their primary entrance from White Hills Drive; however, based
950 on the conceptual site plan, access is available from Suncrest Drive. Should the City
951 Council approve this case per staff's recommendations they will be granting the
952 applicant a variance to this requirement. He explained that it should be noted that a
953 request for an SUP is a discretionary act for the City Council. On December 22, 2015,
954 staff mailed fifty-two (52) notices to property owners within 500 feet of the subject
955 property including one (1) HOA/Neighborhood Organization (Turtle Cove HOA) within

Tuesday, January 19, 2016 City Council Minutes
Page 19

956 1500 feet participating in the notification program. Additionally, staff posted a sign on the
957 property as required by the Unified Development Code (UDC). At the time this report was
958 drafted, staff had not received any notices either “for” or “against” the zoning change
959 request; however, staff explained that just today a notice was received back in favor and
960 one was received back in opposition. On January 12, 2016, the Planning and Zoning
961 Commission made a motion to approve the SUP request; however, the motion failed to
962 obtain a second, and therefore died. After further discussion, the Planning and Zoning
963 Commission’s second motion to approve the request failed by a vote of 2 to 4, with
964 Commissioners Renfro, Trowbridge, McCutcheon, and Fishman dissenting [Jusko –
965 absent]. Since the Planning and Zoning Commission’s motion failed to be approved, it is
966 considered to be a Recommendation to Deny; therefore, approval of the SUP request will
967 require passage of a ¾ majority vote of City Council.
968

969 The applicant indicated that he is speaking on behalf of the business owner who is
970 proposing to build this hotel, explaining that he entered the hotel business in 2005 when
971 he purchased a hotel in Rockwall that was not doing well, turning it into a successful
972 LaQuinta Inn. He explained a little bit about the Home 2 Suites brand, which is a Hilton
973 extended stay product. He shared that this is a more up-scale hotel that caters to
974 business persons, such as those who come into town for extended periods of time to
975 work associated with businesses such as L-3 Communications. Also, a hotel like this
976 product will cater to those who may be moving to Rockwall yet need a nice, interim,
977 extended stay hotel for some amount of time. He shared some photos of other
978 Home2Suites that have already been built elsewhere across the nation, explaining that
979 these properties have very upscale, trendy décor and amenities. He mentioned that the
980 property will be pet friendly. He explained the various earth conscious, “green” aspects
981 that are a part of these properties. He spoke briefly about the cost that guests would pay
982 to stay at the facility, indicating that to stay there for 30 days would cost between \$3,000
983 and \$3,500. He also shared brief comments regarding positive feedback and ratings that
984 these properties receive on Trip Advisor online.
985

986 Patrick Short
987 603 Whitehills Drive
988 Rockwall, TX
989

990 Mr. Short indicated that he owns the property that abuts this property. He shared a
991 series of photos with the city council showing a representation of average traffic that
992 traverses White Hills Drive, including very large trucks that reroute off of IH-30 if / when a
993 traffic accident occurs on the interstate. He encouraged the deeds, covenants and
994 restrictions to be studied very closely to see what is or is not allowed on this property.
995 He explained that he has concerns about the property being pet friendly. He encouraged
996 the Council to very carefully consider this request, suggesting that it may even want to
997 consider tabling the item in order to study it further before making a decision. He
998 explained that he still has a lot of questions and is not 100% “sold,” so he is therefore
999 not in favor of this request.

1000
1001 The applicant came forth and shared that he questions why Mr. Short placed his law firm
1002 office along the service road of an interstate if he is truly concerned about 18 wheelers
1003 (large trucks) diverting off of IH-30 onto White Hills.
1004

1005 Tom Grunnah

1006 **6806 Brookshire Drive**
1007 **Dallas, TX**

1008
1009 **Mr. Grunnah commented on the quality of this product. He indicated that some members**
1010 **of the P&Z commented that this hotel may be too nice for this location, especially**
1011 **compared to other buildings in the area, including the adjacent Walmart. He believes this**
1012 **produce would be well received in Rockwall. He generally spoke in favor of approving**
1013 **this request.**

1014
1015 **There being no one else wishing to come forth and speak at this time, Mayor Pro Tem**
1016 **Lewis closed the public hearing.**

1017
1018 **The applicant came forth and reminded the Council that this is a Hilton product, which is**
1019 **the flagship property located at The Harbor. He went on to share various photos and**
1020 **information concerning other Home 2 Hilton properties located elsewhere in the United**
1021 **States.**

1022
1023 **Councilmember Townsend asked for clarification regarding if the city can get involved**
1024 **with private deeds, covenants and restrictions. Mr. Miller indicated that, no, it cannot.**

1025
1026 **Councilmember Townsend made a motion to approve Z2015-039. Councilmember**
1027 **Hohenshelt seconded the motion. Councilman Milder expressed support for the request.**
1028 **The ordinance was read as follows:**

1029
1030 **CITY OF ROCKWALL**
1031 **ORDINANCE NO. 16-XX**
1032 **SPECIFIC USE PERMIT NO. S-146**

1033
1034 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,**
1035 **TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE***
1036 ***NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY**
1037 **AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP)**
1038 **ALLOWING FOR A RESIDENCE HOTEL, WITHIN A COMMERCIAL (C)**
1039 **DISTRICT, BEING A 2.003-ACRE PARCEL OF LAND IDENTIFIED AS LOT**
1040 **4, BLOCK A, WAL-MART SUPERCENTER ADDITION, CITY OF**
1041 **ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY**
1042 **DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS;**
1043 **PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF**
1044 **TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE;**
1045 **PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A**
1046 **REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

1047
1048 **The motion passed by a vote of 5 in favor, 1 against (Fowler) and 1 absent (Pruitt).**

1049
1050 **XII. ACTION ITEMS**

- 1051
1052 **1. Discuss and consider adoption of an ordinance authorizing the issuance**
1053 **of City of Rockwall, Texas, General Obligation Refunding and**
1054 **Improvement Bonds, Series 2016; establishing procedures and**
1055 **delegating authority for the sale and delivery of the bonds; providing an**
1056 **effective date; enacting other provisions relating to the subject. (2nd**
1057 **reading)**

1058 Mayor Pro Tem Lewis indicated that refunding of these bonds will save the city a
1059 minimum of five percent. Councilmember Hohenshelt made a motion to approve the
1060 ordinance. Councilmember White seconded the motion. The ordinance was read as
1061 follows:

1062 CITY OF ROCKWALL
1063 ORDINANCE NO. _____

1064 ORDINANCE AUTHORIZING THE ISSUANCE OF CITY OF
1065 ROCKWALL, TEXAS, GENERAL OBLIGATION REFUNDING AND
1066 IMPROVEMENT BONDS, SERIES 2016; ESTABLISHING
1067 PROCEDURES AND DELEGATING AUTHORITY FOR THE SALE AND
1068 DELIVERY OF THE BONDS; PROVIDING AN EFFECTIVE DATE; AND
1069 ENACTING OTHER PROVISIONS RELATING TO THE SUBJECT

1070
1071 The motion passed by a vote of 6 in favor with 1 absent (Pruitt).

1072 2. Discuss and consider adoption of an ordinance authorizing the issuance
1073 of City of Rockwall, Texas, Combination Tax and Surplus Revenue
1074 Certificates of Obligation, Series 2016; establishing procedures and
1075 delegating authority for the sale and delivery of the certificates; providing
1076 an effective date; and enacting other provisions relating to the subject.
1077 (2nd Reading).

1078 Mrs. Smith, Assistant City Manager and Finance Director, indicated that issuance of
1079 these COs is associated with new dollars for water and sewer projects. Councilmember
1080 Hohenshelt made a motion to approve the ordinance. Councilmember Milder seconded
1081 the motion. The ordinance was read as follows:

1083 CITY OF ROCKWALL
1084 ORDINANCE NO. _____

1085 ORDINANCE AUTHORIZING THE ISSUANCE OF CITY OF ROCKWALL,
1086 TEXAS, COMBINATION TAX AND SURPLUS REVENUE CERTIFICATES OF
1087 OBLIGATION, SERIES 2016; ESTABLISHING PROCEDURES AND
1088 DELEGATING AUTHORITY FOR THE SALE AND DELIVERY OF THE
1089 CERTIFICATES; PROVIDING AN EFFECTIVE DATE; AND ENACTING
1090 OTHER PROVISIONS RELATING TO THE SUBJECT

1091 The motion passed by a vote of 6 in favor with 1 absent (Pruitt).

1092 3. Discuss and consider the City's ordinance provisions related to the
1093 Structure Tax Preservation Incentive, and take any action necessary.

1094 City Manager Rick Crowley indicated that this item was included on the agenda for
1095 discussion and consideration this evening as a result of Council expressing a desire at
1096 the last city council meeting to review provisions of these ordinance regulations. Mr.
1097 Miller generally explained that staff is seeking clarification from the Council at this time
1098 concerning what it would like to do, moving forward, concerning these provisions (e.g.
1099 use its provisions as a reinvestment tool or as a historic restoration tool). He indicated
1100 that since these ordinance provisions were put into place in 2002, only three requests
1101 have come forth before council for consideration.

1102 Councilmember Fowler suggested that the Council may wish to discuss this issue at
1103 another time, under different circumstances since it is after 9:00 p.m. at night at this
1104 point. Also, he would like to have some input from property owners that may be affected
1105 by provisions of this ordinance and have some additional information and time to
1106 consider this.

1107
1108 Councilmember Hohenshelt instructed staff to move this topic to a future (standalone)
1109 work session, perhaps at the next city council meeting, if possible.

- 1110 4. Discuss and consider a request by Jay & Alison Odom for the approval of
1111 a structure preservation tax exemption application seeking to have the
1112 assessed value for ad valorem taxation fixed for a period of seven (7)
1113 years on the subject property at 503 N. Fannin Street, further identified as
1114 Block 122, Lot A, B. F. Boydston Addition, City of Rockwall, Rockwall
1115 County, Texas, zoned Single Family 7 (SF-7) District, located within the
1116 Old Town Rockwall (OTR) Historic District, and take any action
1117 necessary.

1118 Planning Director Ryan Miller provided background information related to this agenda
1119 item. Jay and Alison Odom, are requesting to have the assessed value for ad valorem
1120 taxation “frozen” for a period of seven (7) years on the subject property at 503 N. Fannin
1121 Street for the purpose of renovating/rehabilitating the existing single-family home.
1122 Specifically, the applicants have submitted paper work indicating that an investment of
1123 approximately \$56,575.31 will be made into the property in order to make
1124 improvements/repairs to the foundation, siding, roofing, sheetrock, and to repair/remove
1125 all wood-rot. On November 19, 2015, the applicants received approval from the Historic
1126 Preservation Advisory Board (HPAB) for a Certificate of Appropriateness (COA) [Case
1127 No. H2015-006] for the proposed restoration of the exterior of the home. The board
1128 approved the request finding that the proposed scope of work would not have an
1129 adverse impact on the essential character of the neighborhood, nor would it have a
1130 negative impact on the historic nature of the adjacent properties. It should be noted that
1131 while this is classified as a *Non- Contributing* home, the Rockwall Central Appraisal
1132 District (RCAD) identifies an original construction date of 1940 for the property.

1133
1134 Councilmember White asked for and received clarification regarding the photos that staff
1135 included in the city council members’ informational packet. Councilmember White made
1136 a motion to approve this request. Councilmember Fowler seconded the motion, which
1137 passed by a vote of 6 in favor with 1 absent (Pruitt).
1138

- 1139 5. Discuss and consider a request by Worth Williams on behalf of Arkoma
1140 Development, LLC regarding the use parkland adjacent to N. Lakeshore
1141 Drive for the purpose of floodplain mitigation and take any action
1142 necessary.

1143 Assistant City Manager Brad Griggs provided background information concerning this
1144 agenda item. Indication was provided that the city’s Park Board recently voted
1145 unanimously to recommend to Council that the grading changes proposed by Arkoma do
1146 not substantially change the use of the land and further recommended the following
1147 conditions apply:
1148

- 1149 • Any excavation adjacent to the trail takes care not to create any potential for
1150 erosion.
- 1151 • Does not create an unsafe drop off along the trail edge. All building and
1152 engineering codes apply regarding slopes and drop offs.
- 1153 • Vegetation must be re-established to at least 95% coverage using native
1154 vegetation approved by the City.
- 1155 • Excavation must be done in such a way as to keep a natural appearance using
1156 gradual slopes, non-linear edges and not hold water for an extended period of
1157 time.
- 1158 • Any damage done to the trail as a result of the excavation must be repaired
1159 immediately so as not to impede use of the trail by the public.

1160
1161 **Councilmember White made a motion to approve Action Item #5 as**
1162 **presented/recommended by Park Board. Councilmember Townsend seconded the**
1163 **motion, which passed unanimously of those present (6 ayes with Pruitt absent).**

- 1164 6. Discuss and consider inclement weather and lightning safety policy for
1165 Rockwall Baseball Softball League and other City outdoor programs,
1166 events and activities and take any action necessary.

1167 **Parks Manager, Andy Hesser, provided background information concerning this agenda**
1168 **item. He explained that, in an effort to provide the safest possible conditions during**
1169 **baseball and softball games at Leon Tuttle Athletic Complex for participants, staff and**
1170 **visitors, the FY 2016 budget provided for a lighting prediction system. This system called**
1171 **Thor Guard, has been purchased and installed in preparation of the spring**
1172 **baseball/softball season. Councilmember Townsend made a motion to approve the**
1173 **policy and recommendations put forth by the Park Board. Mayor Pro Tem Lewis**
1174 **seconded the motion, which passed by a vote of 6 in favor with 1 absent (Pruitt).**

1175
1176 **The Council did not reconvene in Executive Session following the close of the public**
1177 **meeting agenda.**

1178
1179 **XIII. EXECUTIVE SESSION**

1180
1181 **THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS**
1182 **THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT**
1183 **CODE:**

- 1184
- 1185 1. Discussion regarding land acquisition for South Community Park pursuant to
1186 Section § 551.072 (Real Property).
- 1187 2. Discussion regarding appointment of city council subcommittees and board
1188 liaisons - Fire Dept. Pension Board - pursuant to Section, §551.074
1189 (Personnel Matters).
- 1190 3. Discussion regarding process associated with City Manager performance
1191 evaluation pursuant to Section 551.074 (personnel matters)

1192 **XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

1193
1194 **The Council did not reconvene in Executive Session following the close of the public**
1195 **meeting agenda.**

1196

1197 **XV. ADJOURNMENT**

1198

1199 **The Council meeting was adjourned at 9:38 p.m.**

1200

1201

1202

1203 **PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**

1204 **THIS 1st day of February, 2016.**

1205

1206

1207

1208 **ATTEST:**

Jim Pruitt, Mayor

1209

1210

1211 _____
Kristy Cole, City Secretary

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL

ORDINANCE NO. 16-12

SPECIFIC USE PERMIT NO. S-144

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) ALLOWING FOR A COMMERCIAL AMUSEMENT/RECREATION FACILITY (OUTDOOR) AND MORE SPECIFICALLY TWO (2) PRIVATE BASEBALL FIELDS, WITHIN A GENERAL RETAIL (GR) DISTRICT, BEING A 2.49-ACRE PORTION OF A LARGER 7.32-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17-12 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, AND SITUATED WEST OF THE INTERSECTION OF SH-205 AND FM 549, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND AS DEPICTED IN EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of the owner JBR-2, LLC for the approval of a Specific Use Permit (SUP) allowing for a *Commercial Amusement/Recreation Facility (Outdoor)* and more specifically two (2) private baseball fields, within a General Retail (GR) District, being a 2.49-acre portion of a larger 7.32-acre tract of land identified as Tract 17-12 of the W. W. Ford Survey, Abstract No. 80, and situated west of the intersection of SH-205 and FM 549, City of Rockwall, Rockwall County, Texas, and more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific

Use Permit (SUP) allowing for a *Commercial Amusement/Recreation Facility (Outside)* and more specifically two (2) private baseball fields within a General Retail (GR) District for the *Subject property*; and

Section 2. That the *Subject Property* shall be developed and used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance granted herein and shall be subject to the conditions set forth in *Article IV, Permissible Uses, Section 2.1.5 Recreation, Entertainment and Amusement Use Conditions*, and *Article V, District Development Standards, Section 4.4 General Retail (GR) District, of the City of Rockwall Unified Development Code [Ordinance No. 04-38]* as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 Operational Conditions

The following conditions pertain to the operation of the *Commercial Amusement/Recreation Facility (Outdoor)* on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) That the operation of the two (2) private baseball fields be limited to the area designated on the survey as described on *Exhibit 'A'* and as depicted on *Exhibit 'B'*; and,
- 2) That the operation of the two (2) private baseball fields be limited to daylight hours with no exterior lighting being permitted for such use; and,
- 3) That approval of the residential setback requirements for the operation of a *commercial amusement/recreation (outdoor)* be reduced to approximately 120-ft.; and,
- 4) That the City Council reserves the right to review the Specific Use Permit (SUP) any time after the effective date of the passage of the ordinance regulating such use.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in

full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF February, 2016.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

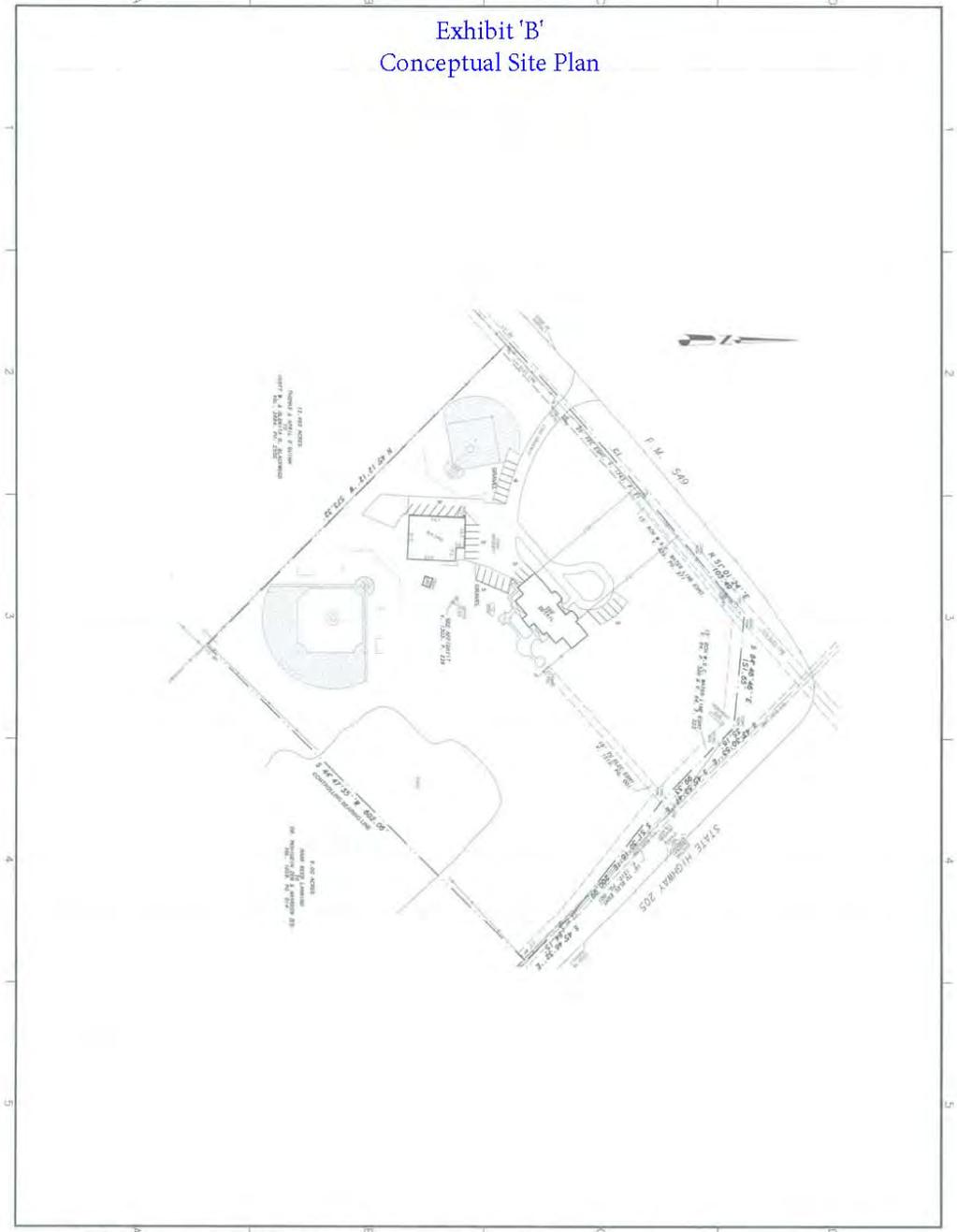
1st Reading: 01-19-2016

2nd Reading: 02-01-2016

Exhibit 'A'
Survey and Legal Description



Exhibit 'B' Conceptual Site Plan



STROMMEYER
 ARCHITECTS P.C.

5133 FM 549
 ROCKWALL, TEXAS

CONCEPT DESIGN
NOT FOR CONSTRUCTION

Project Number: 513315
 Drawing Title: CONCEPTUAL SITE PLAN
 Date: 11/03/15
 Author: JIMMY STROMMEYER
 Checker: JIMMY STROMMEYER
 Reviewer: JIMMY STROMMEYER

Case No. 22015-028

RECEIVED
 NOV 11 2015

513315

CONCEPTUAL SITE PLAN

CASE NO. 22015-028

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL

ORDINANCE NO. 16-13

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING EXHIBIT 'D', SUBDISTRICT LAND USE CHART, OF PLANNED DEVELOPMENT DISTRICT 32 (PD-50) TO ALLOW A FINANCIAL INSTITUTION WITH DRIVE-THROUGH AS A PERMITTED BY-RIGHT LAND USE WITHIN THE RIDGE ROAD RETAIL SUBDISTRICT BEING A ~1.162-ACRE PORTION OF A LARGER ~78.89-ACRE AREA OF LAND IDENTIFIED AS THE HARBOR DISTRICT, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Harry Chapman of Noble RE, LLC on behalf of the owners of 2930 Ridge Road (*i.e. Robert & Patrick Hughes and Sandra Ferguson*) requesting the approval of an amendment to Planned Development District 32 (PD-32) [Ordinance No. 10-21] and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall for the purpose of amending the permitted land uses stipulated in Exhibit 'D' of Ordinance No. 10-21 to allow a *Financial Institution with a Drive-Through* as a permitted *by-right* land use in the *Ridge Road Retail Subdistrict*, being a ~1.162-acre portion of a larger ~78.89-acre area of land identified as the Harbor District, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 10-21] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede *Exhibit 'D', Subdistrict Land Use Chart*, of Ordinance No. 10-21;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 4. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 6. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF FEBRUARY, 2016.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 01-19-2016

2nd Reading: 02-01-2016

EXHIBIT 'A':
Legal Description

BEING approximately 78.89 acres of land located in the M.J. Barksdale (*Abstract 11*) and E. Teal (*Abstract 207*) Surveys of the City of Rockwall, Rockwall County, Texas to be known as the Amended PD-32 Zoning Boundary and being more particularly described as follows:

BEGINNING at a point in intersection of Horizon Rd and the south service road of Interstate Highway 30 (*GPS Coordinates N2589965.033 E7014570.874*);

THENCE S45-3-43E along the centerline of Horizon Rd for a distance of 359.75 feet to a point;

THENCE S45-9-15E continuing along said centerline for a distance of 922.798 feet to a point;

THENCE S45-7-2W along the western boundary of the Eckerd Addition for a distance of 338.85 feet to a point;

THENCE S45-31-32E along the southern boundary of the Eckerd Addition for a distance of 339.158 feet to a point;

THENCE S44-34-41W along the southeastern boundary of the Isaac Brown Addition for a distance of 594.34 feet to a point;

THENCE S75-48-35E along the northern boundary of Lakeridge Estates, Lot 26 for a distance of 304.035 feet to a point;

THENCE S34-45-14W for a distance of 85.563 feet to a point;

THENCE S28-45-41W for a distance of 78.959 feet to a point;

THENCE S23-0-35W for a distance of 78.959 feet to a point;

THENCE N75-6-11W along the north boundary of the Willis-Sealock Addition for a distance of 371.56 feet to a point;

THENCE N42-41-6E for a distance of 124.594 feet to a point;

THENCE N43-28-45W along the southwestern boundary of the Isaac Brown Addition for a distance of 228.343 feet to a point;

THENCE N50-43-21W for a distance of 132.929 feet to a point;

THENCE S23-32-21W for a distance of 65.722 feet to a point;

THENCE N64-32-23W for a distance of 69.271 feet to a point;

THENCE S78-40-26W following along the northern boundary of the Lago Vista Addition for a distance of for a distance of 90.8 feet to a point;

THENCE N66-47-33W continuing along said boundary for a distance of 159.22 feet to a point;

THENCE N75-45-16W for a distance of 80.21 feet to a point;

THENCE S72-39-11W for a distance of 143.44 feet to a point;

THENCE N59-46-23W for a distance of 557.634 feet to a point;

THENCE S45-59-1W for a distance of 77.538 feet to a point;

THENCE N44-47-20W for a distance of 138.413 feet to a point;

THENCE N42-57-48W for a distance of 38.504 feet to a point;

THENCE N39-43-7W for a distance of 38.504 feet to a point;

THENCE N36-28-26W for a distance of 38.504 feet to a point;

THENCE S53-20-53W following along the northern boundary of the Harbor-Rockwall Addition for a distance of 47.636 feet to a point;

THENCE N89-33-5W continuing along said boundary for a distance of 208.66 feet to a point;

THENCE S79-6-40W for a distance of 20.72 feet to a point;

EXHIBIT 'A':
Legal Description

THENCE N66-23-19W for a distance of 45 feet to a point;
THENCE S80-59-47W for a distance of 19.85 feet to a point;
THENCE N77-4-50W for a distance of 17.5 feet to a point;
THENCE S86-11-31W for a distance of 22.15 feet to a point;
THENCE S87-31-10W for a distance of 18.75 feet to a point;
THENCE N82-39-16W for a distance of 17.59 feet to a point;
THENCE S68-51-13W for a distance of 13.2 feet to a point;
THENCE S75-7-26W for a distance of 12.97 feet to a point;
THENCE S36-31-5W for a distance of 17.64 feet to a point;
THENCE S2-59-22W for a distance of 38.81 feet to a point;
THENCE S48-52-49E for a distance of 18.61 feet to a point;
THENCE S17-8-14W for a distance of 87.301 feet to a point;
THENCE S60-34-34W for a distance of 160.015 feet to a point;
THENCE S73-43-56W for a distance of 67.56 feet to a point;
THENCE S74-42-54W for a distance of 63.28 feet to a point;
THENCE S80-10-12W for a distance of 142.24 feet to a point;
THENCE S64-3-37W for a distance of 24.61 feet to a point;
THENCE N2-50-21E for a distance of 126.02 feet to a point;
THENCE N24-40-2W along the western boundary of the Rockwall Harbor Phase 1 Addition for a distance of 125.683 feet to a point;
THENCE N22-55-59W continuing along said boundary for a distance of 368.32 feet to a point;
THENCE N22-55-59W for a distance of 32.765 feet to a point;
THENCE N58-47-23E following along the centerline of the south service road of Interstate Highway 30 for a distance of 190.81 feet to a point;
THENCE N58-58-59E continuing along said centerline for a distance of 212.916 feet to a point;
THENCE N61-2-53E for a distance of 271.157 feet to a point;
THENCE N62-2-17E for a distance of 412.293 feet to a point;
THENCE N61-44-10E for a distance of 183.797 feet to a point;
THENCE N64-7-43E for a distance of 151.311 feet to a point;
THENCE N68-43-57E for a distance of 118.858 feet to a point;
THENCE N72-59-9E for a distance of 118.858 feet to a point;
THENCE N76-2-6E for a distance of 279.139 feet to a point;
THENCE N81-22-36E for a distance of 181.597 feet to a point;
THENCE N76-12-48E for a distance of 97.497 feet to a point;
THENCE N70-6-13E for a distance of 97.497 feet to a point;
THENCE N63-59-38E for a distance of 97.497 feet to the Point of Beginning, Containing approximately 78.89 acres (3,436,420.51186 square feet) of land, more or less.

EXHIBIT 'B':
Subdistrict Map/Location Map



EXHIBIT 'C':
Amended Land Use Chart

Residential Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Accessory Building ¹									P	
Home Occupation ¹	P	P	P	P	P	P	P	P	P	P
Hotel	S	S	S	S	S	S	S	S	S	S
Hotel (Full Service)	S	S	S	S	S	S	S	S	S	S
Hotel (Residence)	S	S	S	S	S	S	S	S	S	S
Motel	S	S	S	S	S	S	S	S	S	S
Single-Family, Zero-Lot-Line									P	
Townhouse	P	P	P	P	P	S	S	P	S	S
Urban Residential (Condominium Units Only) ¹	P	P	P	P	P	S	S	P	S	S

Office Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Animal Clinic for Small Animals (No Outdoor Pens) ¹	S	S	S	S	S	S	S	S	S	S
Church/House of Worship ¹	P	P	P	P	P	P	P	P	S	P
Day Care (7 or More Children) ¹	P	P	P	P	P	P	P	P	S	P
Financial Institution (Without Drive-Through)	P	P	P	P	P	P	P	P	S	P
Financial Institution (With Drive-Through)										P
Government Facility	P	P	P	P	P	P	P	P	S	P
Library, Art Gallery or Museum (Public)	P	P	P	P	P	P	P	P	S	P
Office (General)	P	P	P	P	P	P	P	P	S	P
Office Building (Less Than 5,000 SF)	P	P	P	P	P	P	P	P	S	P
Office Building (More Than 5,000 SF)	P	P	P	P	P	P	P	P	S	P
Post Office (Local Service)	P	P	P	P	P	P	P	P	S	P
Research/Technology/Light Assembly	S	S	S	S	S	S	S	S	S	S
Trade School	S	S	S	S	S	S	S	S	S	S

EXHIBIT 'C':
Amended Land Use Chart

Retail & Restaurant Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Antique/Collectable Sales	P	P	P	P	P	P	P	S	S	P
Automobile Rental	S	S	S	S	S	S	S	S	S	S
Banquet Facility	P	P	P	P	P	P	P	S	S	P
Business School	P	P	P	P	P	P	P	S	S	P
Catering Service	P	P	P	P	P	P	P	S	S	P
Commercial Amusement/Recreation (Indoor) ¹	S	S	S	S	S	S	S	S	S	S
Community or Recreation Club, Public or Private (Accessory)	P	P	P	P	P	P	P	S	S	P
Copy Center	P	P	P	P	P	P	P	S	S	P
Display (Incidental) ¹	P	P	P	P	P	P	P	S	S	P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	P	P	P	P	P	P	P	S	S	P
Garden Supply/Plant Nursery	S	S	S	S	S	S	S	S	S	S
General Personal Service	P	P	P	P	P	P	P	S	S	P
Hair Salon/Manicurist	P	P	P	P	P	P	P	S	S	P
Health Club	P	P	P	P	P	P	P	S	S	P
Laundry (Drop-Off/Pickup)	P	P	P	P	P	P	P	S	S	P
Locksmith	P	P	P	P	P	P	P	S	S	P
Message Therapist	P	P	P	P	P	P	P	S	S	P
Museum or Art Gallery (Private)	P	P	P	P	P	P	P	S	S	P
Night Club, Discothèque or Dance Hall	S	S	S	S	S	S	S	S	S	S
Pet Shop	P	P	P	P	P	P	P	S	S	P
Private Club ¹	P	P	P	P	P	P	P	S	S	P
Private Club for a Lodge or Fraternal Organization	P	P	P	P	P	P	P	S	S	P
Restaurant (Less Than 2,000 SF, Without Drive-Through or Drive-In)	P	P	P	P	P	P	P	S	S	P
Restaurant (2,000 SF or More, Without Drive-Through or Drive-In)	P	P	P	P	P	P	P	S	S	P

EXHIBIT 'C':
Amended Land Use Chart

Retail & Restaurant Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Restaurant With Accessory Private Club or Brew Pub ¹	P	P	P	P	P	P	P	S	S	P
Retail Store With Gasoline Product Sales (Limited to Area 3 ONLY -- As Shown in Exhibit A)						P				
Shoe and Boot Repair and Sales	P	P	P	P	P	P	P	S	S	P
Studio: Art, Photography and/or Music	P	P	P	P	P	P	P	S	S	P
Tailor, Clothing or Apparel Shop	P	P	P	P	P	P	P	S	S	P
Theater	S	P	S	P	S	P	S	S	S	S
Wholesale Showroom Facility	S	S	S	S	S	S	S	S	S	S

P: Permitted By-Right; A: Accessory Use; S: Specific Use Permit (SUP); ¹: Permitted w/ Conditions (See Article IV, Permissible Uses, of the Unified Development Code, as amended, For Each Conditional Use)

Note: All listed uses above shall be further regulated and/or limited within the specific Subdistrict standards contained in Ordinance No. 10-21; Exhibits C-2 through C11, with the exception of the *Other Uses* category which shall be permitted by right or allowed with a Specific Use Permit (SUP) as outlined, regardless of Subdistrict.

Other Uses

The following Uses Shall be Permitted By-Right in all Subdistricts:

- Antenna (Accessory)
- Antenna (Amateur Radio)
- Antenna (Dish)
- Asphalt or Concrete Batch Plant (Temporary)
- Fund Raising Event by Non-Profit (Indoor/Outdoor -- Temporary)
- Garage (Accessory Use)
- Municipally Owned and/or Controlled Facilities (Utilities and Uses)
- Parking (Commercial)
- Parking Lot (Non-Commercial)
- Public Park or Playground
- Radio Broadcasting
- Real Estate Sales Office (On-Site -- Temporary)
- Recording Studio
- Satellite Dish
- Swimming Pool (Private -- Accessory Use)
- Temporary On-Site Construction Office

The Following Uses Shall be Permitted By SUP in all Subdistricts:

- Antenna (Commercial)
- Antenna (Commercial -- Free-Standing)
- Antenna (Commercial -- Mounted)
- Helipad
- Private Streets
- Tennis Courts (Not Accessory to a Public or Private Club)
- Transit Passenger Facility
- TV Broadcasting & Other Communication Service
- Utilities Holding a Franchise Agreement from the City of Rockwall
- Utility Installation (Other Than Listed)
- Utility/Transmission Lines
- Wireless Communication Tower

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL

ORDINANCE NO. 16-14

SPECIFIC USE PERMIT NO. S-145

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) ALLOWING FOR A STRUCTURE TO EXCEED THE MAXIMUM HEIGHT REQUIREMENT WITHIN A COMMERCIAL (C) DISTRICT, BEING AN 8.2983-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK 1, FIRST UNITED METHODIST CHURCH ADDITION, ADDRESSED AS 1200 E. YELLOW JACKET LANE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND AS DEPICTED IN EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Arthur F. Beck of BSM Engineers, Inc. on behalf of the First United Methodist Church for the approval of a Specific Use Permit (SUP) to allow for a church steeple to exceed seventy-two (72) feet in height while establishing a maximum height for said steeple within a Commercial (C) District, being an 8.2983-acre parcel of land identified as Lot 7, Block 1 of the First United Methodist Church Addition, and addressed as 1200 Yellow Jacket Lane, City of Rockwall, Rockwall County, Texas, and more specifically described in *Exhibit 'A'* and as depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for a structure, and more specifically for a church steeple, to establish a maximum height that exceeds the height requirement for a structure within a Commercial (C) District for the *Subject property*; and

Section 2. That the *Subject Property* shall be developed and used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance granted herein and shall be subject to the conditions set forth in *Article V, District Development Standards, Section 4.1.B.2.a Building Height and Setback Exceptions for Commercial Districts*, and *Article V, District Development Standards, Section 4.5 Commercial (C) District*, of the City of Rockwall Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 Operational Conditions

The following conditions pertain to the construction of a church steeple on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) That generally, the height of the steeple shall not exceed a maximum overall height of 108-ft 6-inches; and
- 2) That the City Council reserves the right to review the Specific Use Permit (SUP) any time after the effective date of this ordinance.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF FEBRUARY, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 01-19-2016

2nd Reading: 02-01-2016

Exhibit 'A' - Legal Description

LOT 7, First United Methodist Church Addition

BEING a tract of land situated in the B. J. T. Lewis Survey, Abstract No. 225, Rockwall County, Texas, and being a tract of land conveyed from Bill R. Cameron and Ida Jo Cameron to The Trustees of the First United Methodist Church of Rockwall, Texas by deed recorded in Volume 1790, Page 206 of the Deed Records of Rockwall County, Texas, and being that tract of land platted as First United Methodist Church Addition, Block 1, Lots 6, 7 and 8, Block 1, an addition to the City of Rockwall, recorded as number 20140000017536 in the records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod found with cap stamped "BSM" at the North corner of this tract on the West right of way line of T L Townsend Drive (85 feet wide);

THENCE South 42° 01' 26" East a distance of 287.09 feet following the southwest line of T L Townsend Drive to the North corner of Lot 7 and the Point of Beginning;

THENCE South 42° 01' 26" East a distance of 405.23 feet following the southwest line of T L Townsend Drive to a 5/8 inch iron rod found for corner;

THENCE South 3° 11' 09" West a distance of 35.23 feet following a corner clip at the intersection of T L Townsend Drive and Yellow Jacket Lane to a 5/8 inch iron rod for corner;

THENCE South 48° 23' 43" West a distance of 817.51 feet following the northwest line of Yellow Jacket Lane to the South corner of Lot 7 and a point for corner;

THENCE North 41° 36' 17" West a distance of 430.22 feet to the West corner of Lot 7 and a point for corner;

THENCE North 48° 23' 43" East a distance of 839.36 feet to the Point of Beginning of Lot 7 and containing 361,473 square feet or 8.2983 acres, more or less.

Bearings based on southwest line of T L Townsend Drive as described in First United Methodist Church of Rockwall deed recorded in Volume 1790, Page 206 of the Deed records of Rockwall County, Texas.



Arthur F. Beck

FUMCRockLot7

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 02/01/2016

APPLICANT: Michael & Mary Grace Frasier

AGENDA ITEM: **P2016-002**; *Lot 13, Block E, Wade Addition*

SUMMARY:

Discuss and consider a request by Michael & Mary Grace Frasier for the approval of a replat for Lot 13, Block E, Wade Addition being a 0.74-acre tract of land currently identified as Lots 11 & 12, Block E, Wade Addition and Tract 36 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 704 Jackson Street, and take any action necessary.

PLAT COMMENTS:

- ✓ The objective of this request is to combine two (2) parcels of land (*i.e. Lots 11 & Lot 12 [0.41-acres], Block E, Wade Addition*) and one (1) tract of land (*i.e. Tract 36 [0.33-acres] of the S. S. McCurry Survey, Abstract No. 146*) for the purpose of creating a 0.74-acre parcel identified as Lot 13, Block E, Wade Addition. The site currently has an existing single-family home extending over Lots 11 & 12, Block E, Wade Addition.
- ✓ As part of this replat the applicant is proposing to abandon a 7.5-foot utility easement that currently bisects the property between Lots 11& 12, Block E, Wade Addition and Tract 36 of the S. S. McCurry Survey, Abstract No. 146.
- ✓ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for replats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ✓ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

RECOMMENDATIONS:

Staff recommends approval of the replat for *Lot 13, Block E, Wade Addition* in conformance with the following conditions of approval:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On January 26, 2016, the Planning and Zoning Commission approved a motion to recommend approval of the replat per staff's recommendations by a vote of 6-0, with Commissioner Logan absent.

City of Rockwall
Project Plan Review History



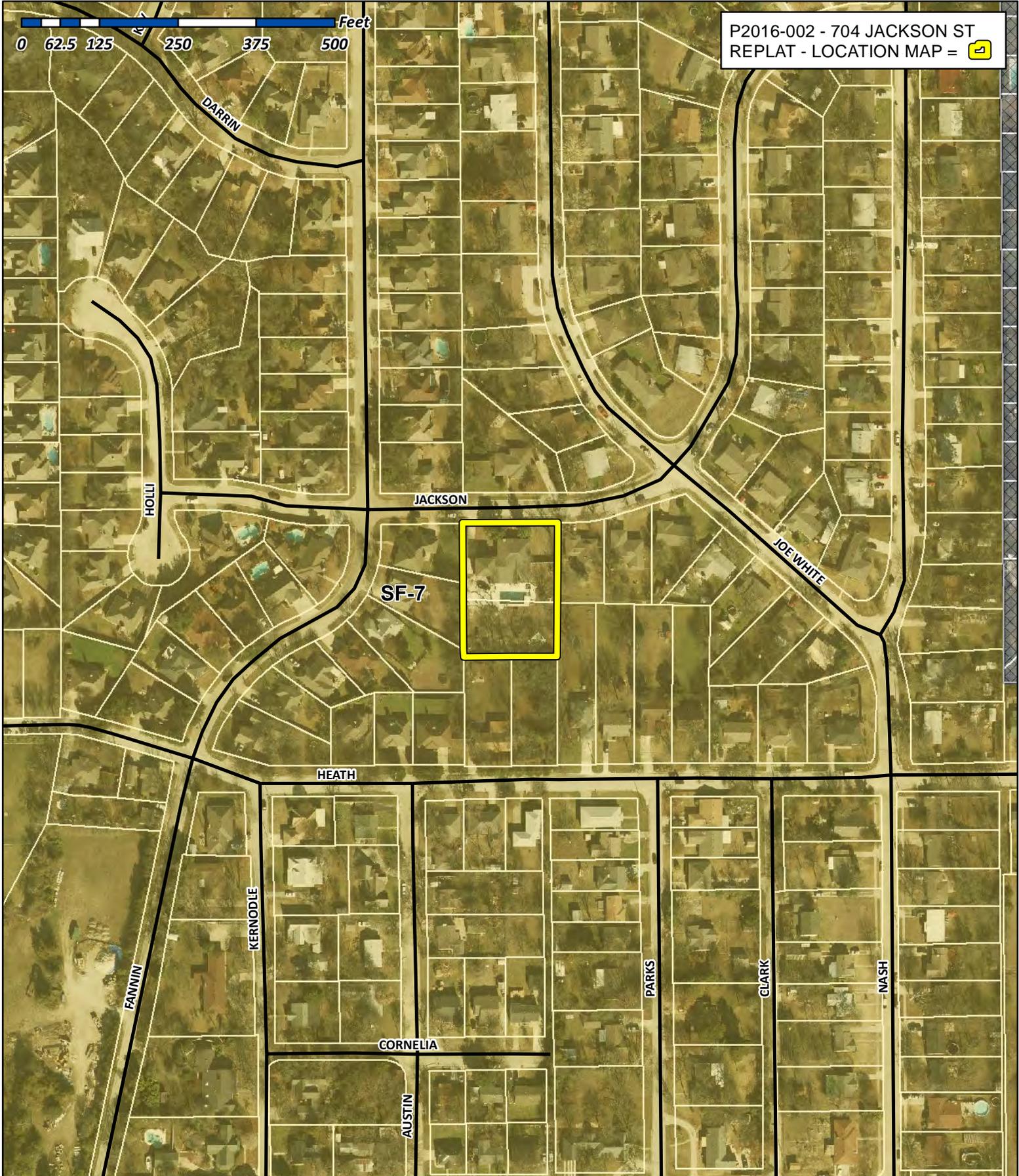
Project Number P2016-002	Owner FRASIER, MICHAEL & MARY GRACE	Applied 1/12/2016 LM
Project Name Lot 13, Block E, Wade Addition	Applicant FRASIER, MICHAEL & MARY GRACE	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status STAFF REVIEW		Status 1/12/2016 LM

Site Address 704 JACKSON ST	City, State Zip ROCKWALL, TX 75087	Zoning
---------------------------------------	--	---------------

Subdivision HARRIS HEIGHTS 1	Tract 11 & 12	Block E	Lot No 11 & 12	Parcel No 5220-000E-0011-00-OR	General Plan
--	-------------------------	-------------------	--------------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	1/12/2016	1/19/2016	1/19/2016	7	APPROVED	
ENGINEERING (1/19/2016 9:59 AM AW) Need letter from all the utility companies (gas, electric, cable, internet, and phone) stating that they are approving the abandonment of the utility easement. Tie to corners to City monumentation	Amy Williams	1/12/2016	1/19/2016	1/19/2016	7	COMMENTS	See Comment
FIRE	Brian Patrick	1/12/2016	1/19/2016	1/20/2016	8	APPROVED	
GIS (1/20/2016 2:32 PM LS) Please Tie two corners to City monumentation or Texas State Plane Coordinates (North Central TX 4202). Provide Closure report.	Lance Singleton	1/12/2016	1/19/2016	1/20/2016	8	COMMENTS	See Comments
PLANNING	Ryan Miller	1/12/2016	1/19/2016	1/18/2016	6	APPROVED	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2015-002 (Lot 13, Block E, Wade Addition): Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request for the approval of a replat for Lot 13, Block E, Wade Addition being a 0.74-acre tract of land currently identified as Lots 11 & 12, Block E, Wade Addition and Tract 36 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, and addressed as 704 Jackson Street.						
I.2 For questions or comments concerning this case, please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 For reference, include the case number (P2015-002) in the lower right hand corner of all pages on future submittals.						
M.4 Please change the title block as follows:						
Replat Lot 13, Block E, Wade Addition Being a Replat of Lots 11 & 12, Block E, Wade Addition and Tract 36 of the S. S. McCurry Survey, Abstract No. 146 Being 0.74-Acres Situated Within the S. S. McCurry Survey, Abstract No. 146 City of Rockwall, Rockwall County, Texas						
M.5 Label a 20-foot front yard building setback per the requirements of the Single Family 7 (SF-7) District.						
M.6 Please provide staff with a closure report.						
M.7 Please provide staff with a digital DWG/PDF copy of the plat.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by February 2, 2016. The Planning & Zoning meeting date for this case will be January 26, 2016.						
I.9 The projected City Council meeting date and subsequent approval for this plat is February 1, 2016.						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



THIS PAGE INTENTIONALLY LEFT BLANK

Vote regarding motion to approve on 01/19 was 5 in favor, 1 abstention (Milder) & 1 absent (Pruitt)

CITY OF ROCKWALL

ORDINANCE NO. 16-15

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) TO ALLOW A BANQUET FACILITY LAND USE TO BE PERMITTED BY A SPECIFIC USE PERMIT (SUP) FOR THE SUBJECT PROPERTY, BEING A 21.266-ACRE TRACT OF LAND SITUATED WITHIN THE S. S. McCURRY SURVEY, ABSTRACT NO. 146 AND B. F. BOYDSTON SURVEY, ABSTRACT NO. 14, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Scott & Leslie Milder requesting the approval of an amendment to Planned Development District 50 (PD-50) and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall for the purpose of amending the permitted land uses to allow for the addition of a *Banquet Facility* land use to be permitted by a Specific Use Permit (SUP) for a 21.266-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 50 (PD-50), and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 50 (PD-50) and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No. 01-53, 02-46, 04-24, 04-39, 05-03, 05-08, 05-18, 05-35 & 07-29;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That the *Subject Property* shall be developed and/or used only in the manner and for the purposes described in *Exhibit 'C'* of this ordinance, and unless specifically modified within this ordinance the *Subject Property* shall adhere to all development standards stipulated by the Residential Office (RO) District as specified in Section 4.2, *Residential Office (RO) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore

amended, as amended herein by the granting of this zoning change, and as may be amended in the future;

SECTION 4. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF FEBRUARY, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 01-19-16

2nd Reading: 02-01-16

EXHIBIT 'A':
Legal Description

BEGINNING at a point in the northwest corner of Block 32 of the Garner Addition (925 N. Goliad Street);

THENCE easterly 211.13' along the south right of way of Live Oak Street for a corner;

THENCE southerly 598.12' along the west right of way of Goliad Street (SH-205);

THENCE east 54.44' across Goliad Street, to the northwest corner of Block 160, Lot 1 of the Austin Addition (912 N. Goliad Street);

THENCE east 220' following the north property line of Block 160, Lot 1 of the Austin Addition (912 N. Goliad Street);

THENCE southerly 441.42' following the east property lines of lots fronting Goliad Street to a point on the north right of way of Heath Street;

THENCE west 39.54' along the north right of way of Heath Street;

THENCE southerly following along the east property lines of lots fronting Goliad Street 562.59' to a point being the northwest corner of B.F. Boydston Survey, Block 123, Lot F (604 N Goliad Street);

THENCE east 210.09' along the north property line of said Block 123, Lot F for a corner;

THENCE southerly 289.31' along the eastern property line of said Block 123, Lot F for a corner;

THENCE southerly 519.9' following along the east property lines of lots fronting Goliad Street to a point being the southeast corner of B.F. Boydston Survey, Block 123, Lot B (406 N. Goliad Street);

THENCE west 215.11' along the south property line of said Block 123, Lot B (406 N. Goliad Street) and crossing to a point on the west right of way of Goliad Street;

THENCE southerly 170.59' following along the west right of way of Goliad Street to a point being the southeast corner of Block 17, Lot 15 of the Amick Addition (401-403 N. Goliad Street);

THENCE west 210' along the south property line of said Block B, Lot 15 of the Amick Addition for a corner;

THENCE northerly 101.05' along the west property line of said Block 17, Lot 15 of the Amick Addition;

THENCE easterly 70.83' along the north property line of Block 17, Lot 15 of the Amick Addition;

THENCE north 170' along the west property lines of Block 18B, Lot 17 and Block 19C, Lot 21 of the Amick Addition;

THENCE west 72.99' along the south property line of Block 19B, Lot 19 of the Amick Addition (501½ N. Goliad Street);

THENCE northerly 51.75' along the west property line of Block 19B, Lot 19 of the Amick Addition (501½ N. Goliad Street);

THENCE easterly 97.01' along the north property line of Block 19B, Lot 19 of the Amick Addition (501½ N. Goliad Street);

THENCE northerly 754.05' following along the west property lines of lots fronting Goliad Street to a point in the south property line of Block 23A, Lot 34 of the Amick Addition (803 N. Goliad Street);

THENCE west 115.03' along the south property line of said Block 23A, Lot 34 of the Amick Addition;

EXHIBIT 'A':
Legal Description

THENCE northerly 139.55' along the east right of way of N. Alamo Street;

THENCE east 99.47' following along the north property line of Block 24C, Lot 37 of the Amick Addition (805. N. Goliad Street) to a point;

THENCE northerly 250.95' following along the west property lines of lots fronting N. Goliad Street and crossing to the north right of way of Heath Street for a corner;

THENCE west 70.51' along the north right of way of Heath Street for a corner;

THENCE northerly 205.32' along the east right of way of N. Alamo Street;

THENCE easterly 103.92' along the south property line of Lot 1 of the Williams Addition;

THENCE northerly 334.45' following along the west property line of lots fronting Goliad Street to a point on the south property line of Block 29 of the Garner Addition (915 N. Goliad Street);

THENCE west 85.69' along the south property line of Block 29 of the Garner Addition (915 N. Goliad Street) to the east right of way of Alamo Street;

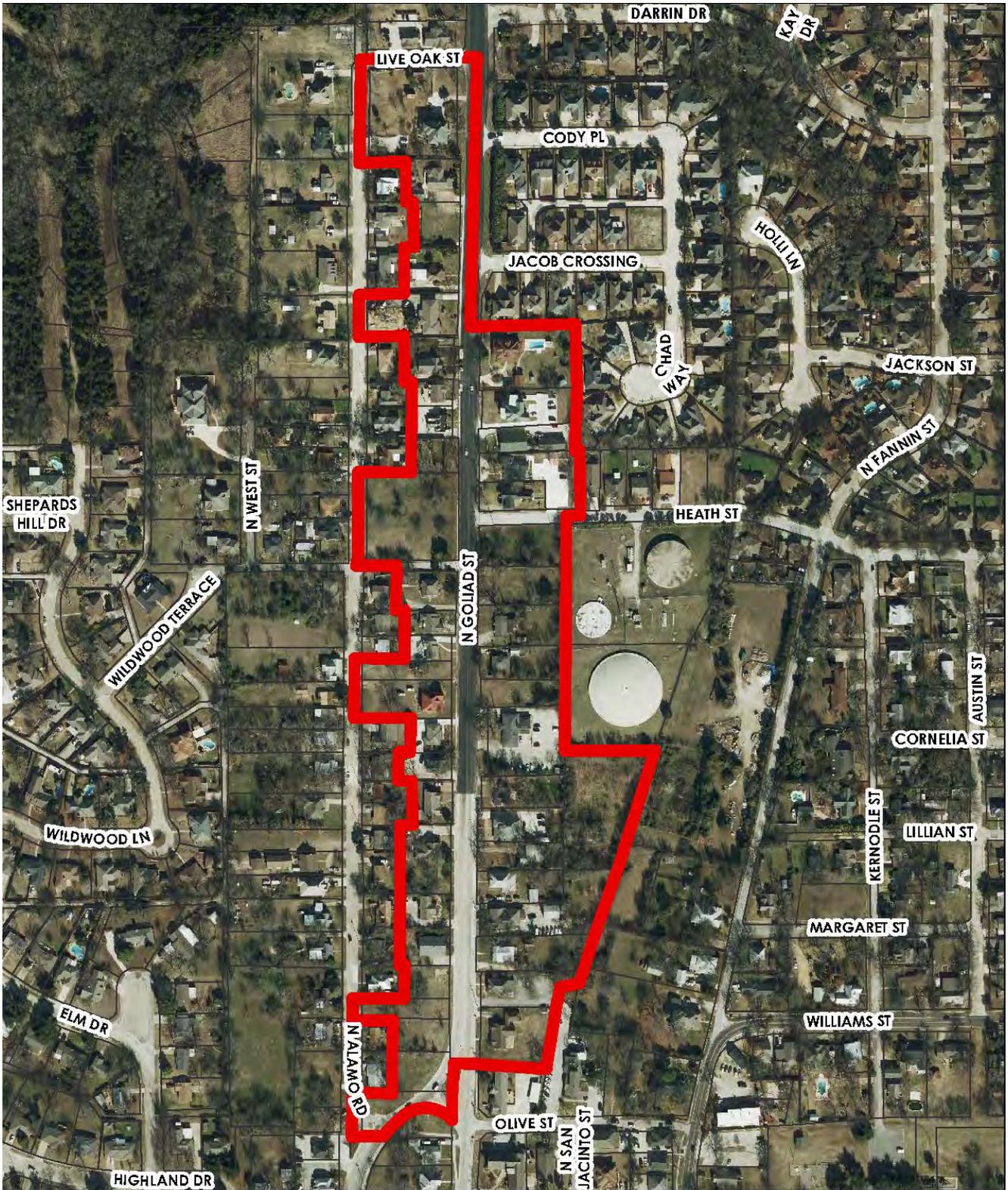
THENCE northerly 98.02' along the east right of way of Alamo Street for a point;

THENCE easterly 85.08' along the north property line of Block 29 of the Garner Addition (915 N. Goliad Street);

THENCE northerly 345.36' following along the west property line of lots fronting Goliad Street to a point in the south right-of-way of Block 32 of the Garner Addition (925 N. Goliad Street);

THENCE northerly 218.51' following along the east right of way of Alamo Street to the **POINT OF BEGINNING** containing approximately 21.266-acres of land.

EXHIBIT 'B':
Location Map



**City of
Rockwall**



0 500
Feet
Date: 12/22/2015
GEOGRAPHIC INFORMATION SYSTEMS

PD50

EXHIBIT 'C':
District Development Standards

Development Standards.

- 1) *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Residential Office (RO) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*], are allowed on the *Subject Property*; however, the following additions and conditions shall apply:
 - (a) *Antique/Collectable Sales.* The retail sales of antiques and collectables shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions:
 - i. *Antique Sales* is defined as the sale of an object having value because of its age, especially a domestic item or piece of furniture or handicraft esteemed for its artistry, beauty, craftsmanship, or period of origin.
 - ii. *Collectable Sales* is defined as the sale of an object that can be collected, or is suitable or desirable for collecting by hobbyist, or any of a class of old things (*but not antiques*) that people collect as a hobby.
 - iii. The sale of new or used clothing and appliances shall be prohibited.
 - iv. The maximum floor area permitted for *Antique/Collectable Sales* be limited to 2,000 square feet.
 - v. That individual lease areas within the *Antique/Collectable Sales* use be prohibited.
 - (b) *Banquet Facility (Event Venue).* A banquet facility or event venue shall be permitted through the approval of a Specific Use Permit (SUP) by the City Council; however, such use shall be subject to the following conditions:
 - i. *Banquet Facility* or *Event Venue* is defined as a commercial facility that can be rented out for the purpose of hosting private events (*e.g. birthday parties, wedding receptions, meetings, etc.*). These events shall not be open to the general public.
- 2) *Cross Access Easements.* Joint or shared access shall be required on all adjoining lots if any property is used for office development or any other non-residential use permitted by this ordinance.
- 3) *Parking.* That all non-residential land uses shall adhere to the following parking requirements:
 - (a) All parking shall be located behind the front façade of the primary structure and parking within the front yard of any property shall be prohibited.
 - (b) The parking requirements for all uses shall be subject to the requirements stipulated by Article VI, *Parking and Loading*, of the Unified Development Code [*Ordinance No. 04-38*] with the exception of *Professional Offices (excluding medical offices)* and *Banquet Facilities*. *Professional Offices* shall be subject to one (1) parking space per 500 SF of floor area and *Banquet Facilities* shall be subject to one (1) parking space per 100 SF of floor area.
 - (c) All drive aisles and parking areas required for the conversion and/or redevelopment of existing structures within the Planned Development District shall be paved in concrete. An exception for asphalt may be approved by the City Engineer.
- 4) *Site Plan.* All properties within the Planned Development District shall be subject to site plan review prior to changing the use from single-family residential.
- 5) *Variances.* In the event that unique or extraordinary conditions exist on the property such that the applicant cannot comply with the strict interpretation of this ordinance a variance can be requested from the City Council.

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL

ORDINANCE NO. 16-16

SPECIFIC USE PERMIT NO. S-146

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) ALLOWING FOR A RESIDENCE HOTEL, WITHIN A COMMERCIAL (C) DISTRICT, BEING A 2.003-ACRE PARCEL OF LAND IDENTIFIED AS LOT 4, BLOCK A, WAL-MART SUPERCENTER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Dayne Ram of ADR Designs, LLC on behalf of the owner Majestic Cast, Inc. for the approval of a Specific Use Permit (SUP) allowing for a *Residence Hotel* within a Commercial (C) District, being a 2.003-acre parcel of land identified as Lot 4, Block A, Wal-Mart Supercenter Addition, and situated on the east side of White Hills Drive south of Ridge Road, City of Rockwall, Rockwall County, Texas, and more specifically depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for a *Residence Hotel* within a Commercial (C) District for the *Subject property*; and

Section 2. That the *Subject Property* shall be developed and used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance granted herein and shall be

subject to the conditions set forth in *Article V, District Development Standards, Section 4.5 Commercial (C) District*, of the City of Rockwall Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 Operational Conditions

The following conditions pertain to the operation of the *Residence Hotel* on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) That the *Residence Hotel* generally shall conform to the conceptual site plan submitted and as attached hereto as 'Exhibit A'; and
- 2) That the *Residence Hotel* generally shall not exceed an overall height of 60 feet without approval of or amending of this SUP; and
- 3) The City Council reserves the right to review the Specific Use Permit (SUP) any time after the effective date of the SUP; and
- 4) Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF FEBRUARY, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

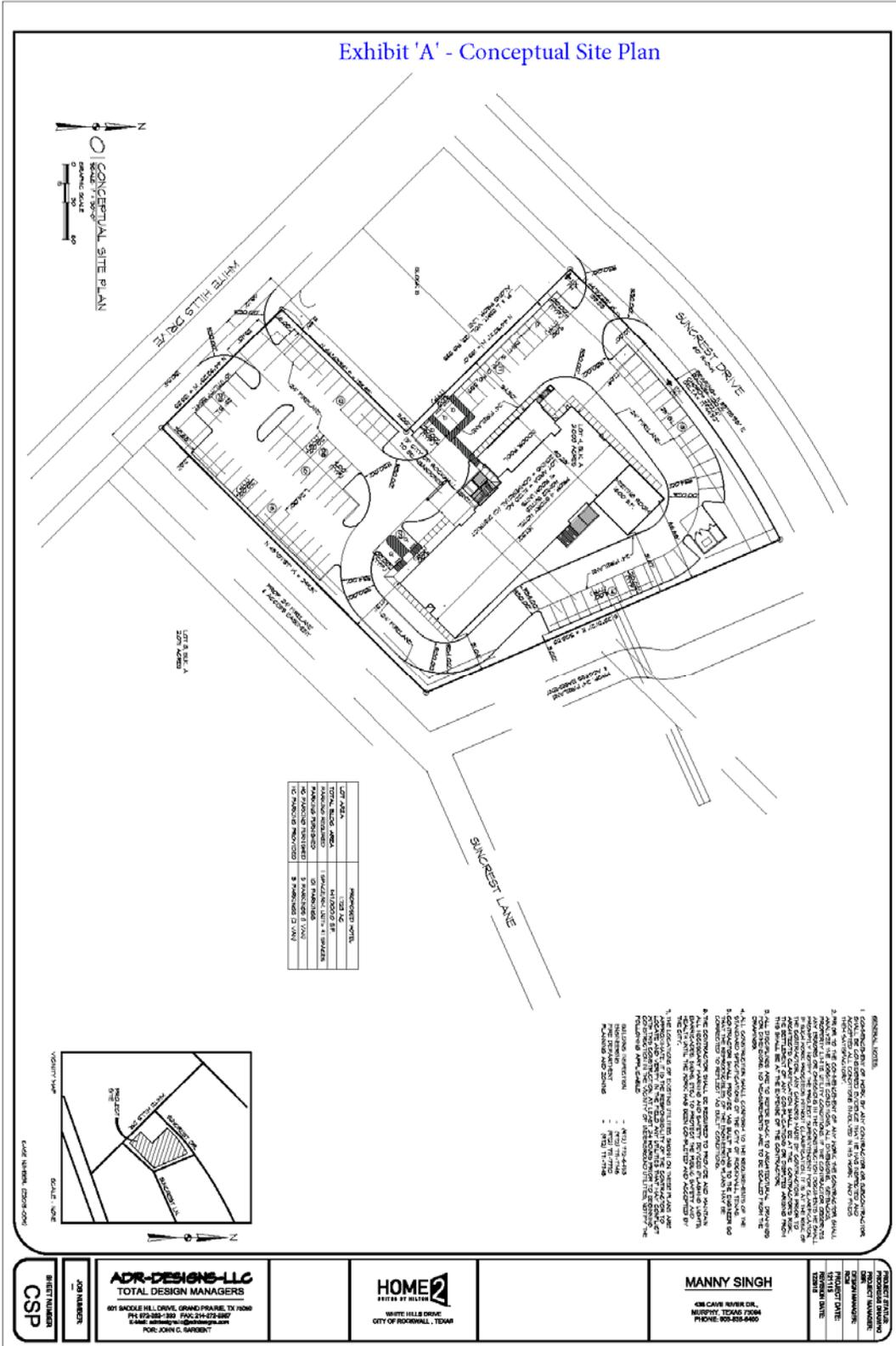
APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 01-19-16

2nd Reading: 02-01-16

Exhibit 'A' - Conceptual Site Plan



THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley – City Manager
FROM: Brad Griggs – Assistant City Manager
DATE: January 28, 2016
SUBJECT: San Jacinto Plaza Encroachment

Kevin Lefere, owner of Zanata restaurant scheduled an appointment with the Council to appeal a staff decision which required him to remove a wooden trash bin from the ramp exiting his restaurant to the San Jacinto Plaza on January 19, 2016. The staff decision was based on ADA accessibility and the ramp being a required fire exit, the placement of the box was in violation of the National Electric Code and the box encroached on City property.

After meeting with the Council, the staff was directed to work with Mr. Lefere and return to the Council with conditions of a possible agreement which would permit the box to remain on City property but in a different location. Contingent on City Council approval, staff is prepared to work with the City Attorney to draft an agreement with the following conditions:

- The box is to be placed at the north end of the existing ramp no closer than 44” to the bottom the ramp.
- The box can be no closer than 60” to the planter box to the northwest.
- The trash must be taken to the dumpster 3-4 times daily and at the end of each night of business.
- The box shall remain locked at all times except when being filled or emptied,
- The box must remain in good repair at all times.
- The surface around the bin and the ramp leading form the restaurant must remain clean and free of grease and stains at all times.
- Cleaning agents used on the brick and concrete surfaces around the bin must not be a danger to the trees and others landscaping materials.
- The agreement is revocable at any time at the discretion of the City Council.

Staff will be available at the meeting to answer any questions.

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley – City Manager
FROM: Brad Griggs – Assistant City Manager
DATE: January 27, 2016
SUBJECT: NuRock Development Resolution of Support

At the January 19, 2016 meeting of the City Council, Dan Allgeier with NuRock Development met with City Council in a work session to discuss a proposed multi-family development located on the east side of SH 205 south of the FM 740 intersection. As presented, the development would be a combination of market rate and discounted rate apartments consisting of one, two and three bedroom units. The financing of these apartments would be accomplished through the issuance of housing tax credits through a very competitive application process.

Mr. Allgeier has presented a resolution to the Council expressing support for his housing tax credit project/application. If he receives the approval of the resolution by the Council, NuRock's application will be credited seventeen points in the application scoring system. If he does not get an approved resolution of the City Council, Mr. Allgeier said that due to the competitive nature of the process, NuRock's application most likely would not be funded.

**CITY OF ROCKWALL, TEXAS
RESOLUTION # 16-04**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS CONFIRMING THE CITY'S SUPPORT FOR THE PROPOSED 'RESIDENCES AT ROCKWALL,' TDHCA APPLICATION NUMBER 16133 RELATED TO THE 2016 COMPETITIVE 9% HOUSING TAX CREDITS THROUGH THE TEXAS DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Rockwall Housing Partners, Ltd. has proposed a development for affordable rental housing at 1225 S. Goliad Street, Rockwall, Texas named Residences at Rockwall; and

WHEREAS, Rockwall Housing Partners, Ltd. has advised that it intends to submit an application to the Texas Department of Housing and Community Affairs for 2016 Competitive 9% Housing Tax Credits for Residences at Rockwall

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THAT:

SECTION 1. the City of Rockwall, Texas acting through its governing body, hereby confirms that it supports the proposed Residences at Rockwall, TDHCA application number 16133 and that this formal action has been taken to put on record the opinion expressed by the city on the execution / effective date noted below; and

SECTION 2. for and on behalf of the Governing Body, the Mayor of the City of Rockwall is hereby authorized, empowered, and directed to certify this resolution, a copy of which may subsequently be submitted to the Texas Department of Housing and Community Affairs.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF FEBRUARY, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

The City of Rockwall, Texas will provide a loan, grant, reduced fees, or contribution of other value for the benefit of the Residences at Rockwall, TDHCA Application # 16133, in an amount to be determined but more than ten dollars.

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager

FROM: Timothy M. Tumulty, Director of Public Works/City Engineer

DATE: January 27, 2016

SUBJECT: Drainage Ordinance Variance Request
Children's Lighthouse Learning Center

Staff received a request from Sam Ellis of Dallas Design Build (Design Architect for Children's Lighthouse Learning Center expansion at 3011 North Goliad) requesting a variance from our Drainage Ordinance related to the detention requirements. They are requesting a variance to the Ordinance restricting the construction of retaining walls in the detention area. The ordinance requires developments with detention basins over one-half acre in size to have a minimum side slope of 5:1 or less. In the past years, retaining walls were allowed in the detention areas. The engineer stated that because of the limited area and constraints within the proposed development, meeting the intent of the ordinance will be extremely difficult. The Developer has agreed to increase the landscaping along the eastern side of the detention pond to screen the vertical retaining walls from SH 205.

Discuss and consider approval of a variance request from Dallas Design Build associated with the City's ordinance provisions related to standards for design of developments, specifically pertaining to construction of retaining walls in detention areas within the Children's Lighthouse Learning Center, and take any action necessary.

TMT:em

Attachment

Cc:

Mary Smith, Assistant City Manager
Amy Williams, P.E., Assistant City Engineer
Jeremy White, P.E., Civil Engineer
File

3. **STORM DRAINAGE FACILITIES**

3.3 **Detention:**

- A. Intent: It is the City's intent to utilize detention (or detention/retention) of storm water runoff as a solution towards control of potential hazards created by storm water runoff including; reduction in the impact on downstream storm water facilities, prevention of erosive conditions in water drainage ways, and preservation of existing floodplains along major creeks. Detention basins may also improve water quality by allowing some sediment to settle out.
- B. All non-residential development (not within the Downtown Zoning District or other redevelopment areas that will not impact the storm water flow) shall construct detention facilities. The Modified Rational Method (see H below- example calculations) shall be utilized to determine detention volume. Residential developments shall construct detention facilities if it is determined that the downstream system does not have capacity for the developed flow and the capacity of the downstream storm sewer system cannot be increased to allow the conveyance of the developed flows. *All development within the Squabble Creek drainage basin will construct detention facilities and model Squabble Creek utilizing HEC-2, to ensure no impact on flows or water surface elevation.
- C. The following detention facilities are to be utilized for detention:

AREA	TYPE OF FACILITY
½ Acre or Less	A. Underground
	B. On Concrete Parking Surface (max. 1-foot water depth)
Greater Than ½ Acre, On-site	A. Underground
	B. On Concrete Parking Surface (max. 1-foot water depth)
	C. Detention Basin
	Side Slopes 5 to 1, or Less (no fencing allowed)
	Area to be Landscaped
	Maintained by Developer
	Additional Amenities Preferred
Ownership Stays With Property Owner	
Greater Than ½ Acre, Off-site Shared	A. Detention Basin Shared with Other Development/s
	May Expand Existing Pond
	No Increase in 100-year Flood Plain Elevation
	Capacity Expanded Above Existing Water Surface
	Need Engineering Study

26R 7-8-2008

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 02/01/2016

APPLICANT: Jennie Watkins

AGENDA ITEM: MIS2016-001; *Special Request (Sam Houston @ E. Bourn Street)*

SUMMARY:

Discuss and consider the approval of a special request by Jennie Watkins for an exception to the setback requirements for the purpose of constructing a single family home on a 0.12-acre parcel of land identified as Lot 49, Canup Addition, City of Rockwall, Rockwall County, Texas, being zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, located at the southeast corner of the intersection of Sam Houston Street and E. Bourn Street, and take any action necessary.

CHARACTERISTICS OF REQUEST:

The applicant, Jennie Watkins, has submitted a special request concerning the property at the corner of the intersection of Sam Houston and E. Bourn Street. The property is zoned Single Family 7 (SF-7) District and is located within the Southside Residential Neighborhood Overlay (SRO) District.

The applicant is proposing to construct a single family home on the subject property; however, the property being 35-feet wide and on a corner lot (i.e. considered as two front yard setbacks @ 20-feet each) and an internal side yard setback of 6-feet has a reduced building envelop to 9-feet by 150-feet. Due to the limited width of the building envelop the applicant is requesting to reduce the front building setback adjacent to Sam Houston Street from 20-feet to 10-feet and the internal side yard setback from 6-feet to 5-feet, which will increase the building envelop to a developable lot size of 20-feet by 150-feet. Section 6.4, Southside Residential Neighborhood Overlay (SRO) District, of Article V, District Development Standards, of the Unified Development Code (UDC) grants the City Council the ability to consider special requests within the district -- including the ability to vary setbacks *"...in [the] furtherance of neighborhood preservation and enhancement ..."* Typically, properties within the Southside Residential Neighborhood Overlay (SRO) District require a minimum of 50-feet of street frontage; however, the subject property being annexed prior to 1959 and being platted prior to 1983 is consider to be a Lot of Record, *"...or a parcel of land not a part of an urban or town lot subdivision, the deed of which has been recorded in the office of the county clerk of Rockwall County prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code (UDC) is derived which has not been divided since recording."*

The proposed home will meet the minimum standards established in the Southside Residential Neighborhood (SRO) Overlay District. The applicant has submitted a letter of request and a survey of the proposed property that is included in the attached packet.

RECOMMENDATIONS:

If the City Council choose to approve the applicant's request staff would recommend the following conditions:

- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING RECOMMENDATION:

On January 26, 2016, the Planning and Zoning Commission made a motion to approve the applicant's request which passed by a vote of 6 to 0 [Commissioner Logan – absent].



City of Rockwall

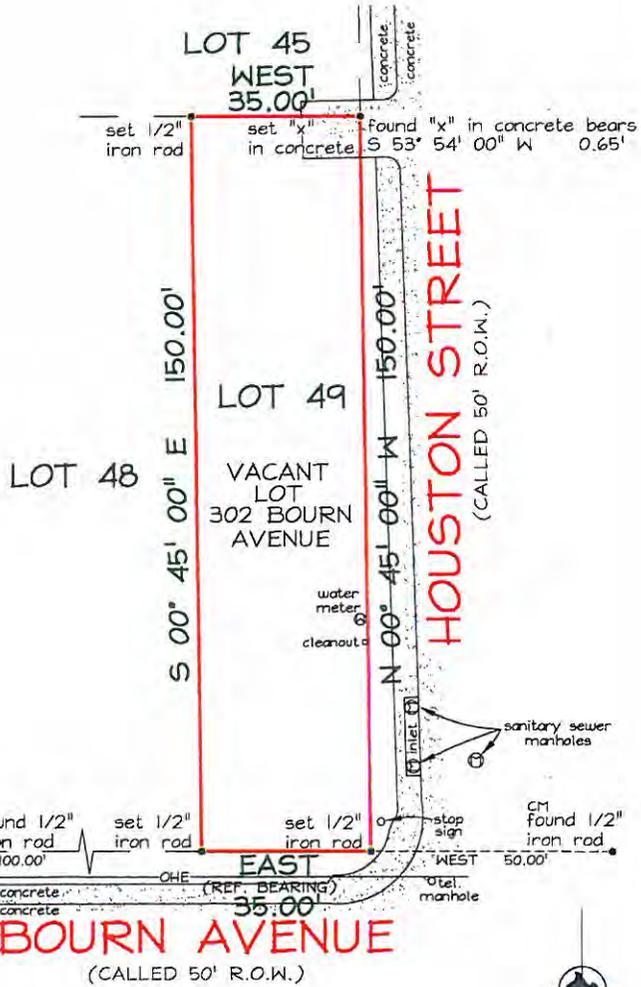
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Precise Land Surveying, Inc.
 4825 Eastover Dr.
 Mesquite, Tx 75149
 Ph. 972.661.7072 Ex. 1.888.438.1273
 Firm Registration Number: 10145100



NOTES:
 CM = CONTROLLING MONUMENT.
 BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.
 THIS PROPERTY IS SUBJECT TO ANY AND ALL PARENT PLATS, EASEMENTS,
 RESTRICTIONS AND COVENANTS IN SCHEDULE B OF THE TITLE COMMITMENT LISTED
 HEREON AND IN EFFECT PRIOR TO SAID PLATS, IF NOT EXTINGUISHED BY SAID PLATS OR
 OTHER INSTRUMENT, AND CITY/COUNTY ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
 THIS IS A SURVEY OF THE PROPERTY AS DESCRIBED IN SCHEDULE A OF THE TITLE COMMITMENT LISTED
 HEREON AND WAS PREPARED PURSUANT TO THE INFORMATION CONTAINED THEREIN, OTHER INTERESTS MAY EXIST.

THIS IS TO DECLARE that on this date a survey was made on the ground, under my supervision of the property located at 302 BOURN AVENUE, and being Lot 49, of the R F Canup Addition, an addition to Rockwall County, Texas, according to the map or plat thereof recorded in Volume 39, Page 244, Deed Records, Rockwall County, Texas.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the hereon named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title commitment under the GF number shown hereon, provided by the title company named hereon and that on this date the easements, rights-of-way or other locatable matters of record of which the undersigned has knowledge or has been advised are as shown or noted hereon.

DATE: _____

ACCEPTED BY: _____

DATE: 05/13/14
 FIELD DATE: 05/12/14
 REVISED:

TECH: AV FIELD: JS
 JOB NO: 114-0869



GF NO. 14709-14-00155

Registered Professional Land Surveyor

6.4 SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT

A. Purpose

This overlay district is considered to be the proper zoning classification for smaller lot developments for a single-family dwelling use. It is intended to allow the flexibility necessary for redevelopment while protecting the integrity of the neighborhood.

B. Other Requirements

Any requirements necessary for residential development or use not specifically stated in this Section shall comply with the SF-7 district requirements.

C. Area Requirements

1. Minimum **lot area** - *5,000 square feet*
2. Maximum number of **single-family detached dwellings** units per lot - 1
3. Minimum **square footage** per dwelling unit - *900 square feet*
4. Minimum **lot frontage** on a public street - *50 feet**
5. Minimum **lot depth** - *100 feet**
6. Minimum depth of **front yard setback** - *20 feet**
7. Minimum depth of **rear yard setback** - *10 feet**
8. Minimum width of **side yard setback** -
 - (a) Internal lot - *6 feet**
 - (b) Abutting street - *15 feet**
 - (c) Abutting an arterial - *20 feet**

[* These setbacks may be varied by the Planning and Zoning Commission and City Council upon request of the applicant.]
9. Minimum **distance between separate buildings** on the same lot or parcel of land - *10 feet*
10. Minimum **length of driveway** pavement from the public right-of-way for rear or side yards - *20 feet*
11. Maximum **building coverage** as a percentage of lot area - *40 percent*
12. Maximum **building height** - *32 feet*
13. Minimum number of paved **off-street parking spaces** required for -
 - (a) One single-family dwelling unit – 2. An enclosed garage shall not be considered in meeting the off-street parking requirements.
 - (b) For all other uses see Article V Parking and Loading
14. See Article VIII, Sections 8.1 to 8.4 for further clarification, and exceptions and modifications.

D. Consideration of Special Request in Furtherance of Neighborhood Preservation

The City Council may consider special requests in furtherance of neighborhood preservation and enhancement within the established neighborhood preservation overlay district. Such requests may include, but not necessarily be

Southside Residential Neighborhood Overlay (SRO)
Article V. District Development Standards

limited to, neighborhood signage plans, use of building materials not otherwise allowed, authorization of specific land uses not otherwise allowed, or other requests submitted for consideration.

Upon receipt of such special requests, the City Council shall review same and forward its recommendation to the Planning and Zoning Commission for consideration. Upon recommendations from the Planning and Zoning Commission, the City Council may approve requests by amendment of the ordinance designating the neighborhood district. Any such amendment shall preempt any other underlying zoning restrictions in the Unified Development Code. Such special requests may be denied by the City Council by passage of a motion to deny. *(Revised via Ord 10-14, 7-6-2010)*

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 02/01/2016

APPLICANT: William Laurence

AGENDA ITEM: **MIS2016-002**; *Masonry Exception (508 St. Mary's Street)*

SUMMARY:

Discuss and consider a request by William Laurence for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code, for a 0.17-acre parcel of land identified as Lot 1, Block 1, St. Mary's Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 508 St. Mary's Street, and take any action necessary.

CHARACTERISTICS OF REQUEST:

The applicant, William Laurence, is requesting an exception to the masonry requirements for the purpose of constructing a 1,914 SF addition to an existing 1,047 SF home and recladding the exterior of the structure in 100% cementaceous lap siding. Currently, the existing home utilizes 100% vinyl siding on the exterior. According to Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code the minimum masonry (*i.e. brick, stone -- natural, cast or cultured -- glass block, tile and/or CMU*) requirement for exterior walls on structures that are 120 square feet or greater is 80%; with a maximum of 50% of this masonry requirement being permitted to be Hardy Plank®, stucco or a similar cementaceous material. Additionally, the code states that, "(e)xceptions to these requirements ... may be permitted on a case-by-case basis by the [city] council upon submission and approval of elevation drawings of the subject structure, and materials samples." The applicant has submitted building elevations and a site plan showing the proposed single-family home after the addition, and has stated in a letter submitted to staff that the purpose of requesting the masonry exception is to match the materials and architectural style of the adjacent properties. Staff should note that all the structures on the adjacent properties utilize 100% vinyl/wood siding or a similar cementaceous lap siding material. The subject property is located on the south side of St. Mary's Street, west of the intersection of St. Mary's Street and Davy Crockett Street, and is addressed as 508 St. Mary's Street.

RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request staff would recommend the following conditions:

- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On January 26, 2016, the Planning and Zoning Commission approved a motion to recommend approval of the exception by a vote of 6-0, with Commissioner Logan absent.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



01/13/2016

City of Rockwall

Ryan Miller, AICP, Dir. Of Planning/Zoning

385 S. Goliad

Rockwall, Texas 75087

To the Planning Department,

My wife and I have a home located at 508 St. Marys Street. Over the last 2 years, the house has been completely renovated. We would like to submit the accompanying plans for further expansion of the home. Currently the home is covered by vinyl siding. The new addition, as I understand, cannot be covered in the same material. We would like to request a variance from the city to cover the addition and home with hardiboard material that would be painted. The neighborhood does not have any brick or stone homes in the immediate area. This would blend and add consistency to the appearance of our neighborhood. Thank you for your consideration.



William Laurence

508 St. Marys Street

Rockwall, Tx 75087

GENERAL SITE NOTES

1. THE ARCHITECTURAL DRAWINGS GRAPHICALLY INDICATE APPROXIMATE LOCATION OF BUILDINGS, PARKING AND DRIVES ONLY.
2. BUILDER/CONTRACTOR TO VERIFY THE SITE UTILITIES AND LANDSCAPE REQUIREMENTS TO MEET THE LOCAL ZONING CODES.
3. BUILDER/CONTRACTOR TO VERIFY VICINITY MAP, LEGAL DESCRIPTION, BUILDING FINISH FLOOR HEIGHTS AND LOCATION OF REQUIRED RETAINING WALLS.
4. ALL DIMENSIONS INDICATED ON THIS PLAN ARE FOR REFERENCE ONLY. BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONAL CONTROLS, GRADING, DRAINAGE & UTILITY WORK.
5. PROJECT IS TO BE DEVELOPED AND COMPLETED IN A SINGLE PHASE.
6. ALL SURFACE MATERIALS SHALL MEET CITY OF ROCKWALL, TEXAS PUBLIC WORKS DEPT MINIMUM STANDARDS.
7. ALL LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH ALL STANDARDS AND REQUIREMENTS SET FORTH BY THE CITY OF ROCKWALL, TEXAS AND LOCAL AMENDMENTS.
8. ALL SIGNS, LIGHTING, LUMINARIES AND EXTERIOR SPEAKERS SHALL MEET CITY ORDINANCES.
9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE & OTHER REQUIREMENTS AND ORDINANCES OF THE CITY OF ROCKWALL, TEXAS.
10. BUILDING ADDRESS SIGNS AND DIRECTIONAL SIGNS SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS.
11. ALL BUILDINGS ON SITE SHALL MEET ALL SETBACK REQUIREMENTS DEPICTED IN THE LOCAL SUBDIVISION REQUIREMENTS, CODES COVENANTS AND RESTRICTIONS (CCRS).
12. THE BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM HEIGHT DEPICTED IN THE LOCAL SUBDIVISION REQUIREMENTS, CODES COVENANTS AND RESTRICTIONS (CCRS).

SITE DATA / ZONING / CODE INFORMATION

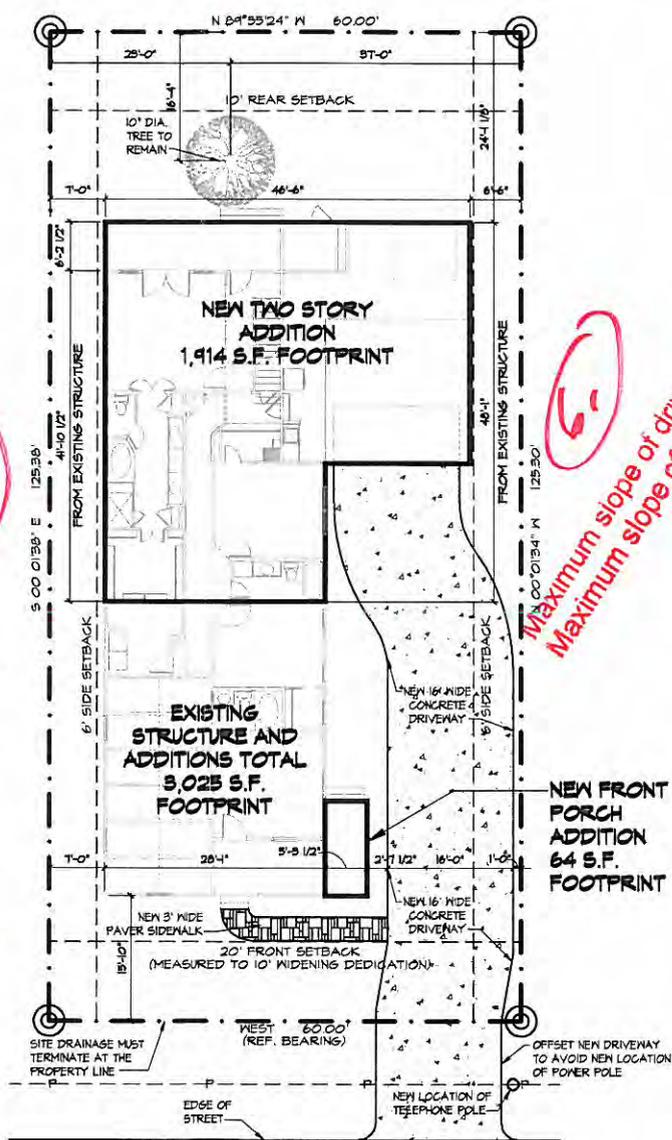
SITE LOCATION	508 ST. MARY STREET	
BUILDING CODE	2009 IRC	
ZONING	SINGLE FAMILY RESIDENTIAL (SF-1) DISTRICT	
ZONING/CODE DESCRIPTION	REQUIRED	PROVIDED
MIN. LOT AREA	7,000 SQ. FT.	7,500 SQ. FT.
MAX. NO. OF SINGLE FAMILY DETACHED DWELLINGS PER LOT	1	1
MIN. FLOOR AREA	1,100 SQ. FT.	4,146 SQ. FT.
MIN. LOT FRONTAGE	60 FT.	60 FT.
MIN. LOT DEPTH	100 FT.	125 FT.
MIN. FRONT YARD SETBACK	20 FT.	20 FT.
MIN. REAR YARD SETBACK	10 FT.	20 FT.
MIN. SIDE YARD SETBACK	6 FT.	6 FT.
MIN. DIST. BETWEEN SEPARATE BLDGS. ON THE SAME LOT	10 FT.	N/A
MIN. LENGTH OF DRIVEWAY PAVEMENT FROM THE PUBLIC R.O.W.	20 FT.	70 FT.
LOT COVERAGE	45% MAX. (3,375 SQ. FT.)	40.3% (3,025 SQ. FT.)
HEIGHT	32 FEET MAX.	23'-3"
MIN. NO. OF PAVED OFF-STREET PARKING SPACES (DOES NOT INCLUDE AN ENCLOSED GARAGE)	2	2

LEGAL DESCRIPTION

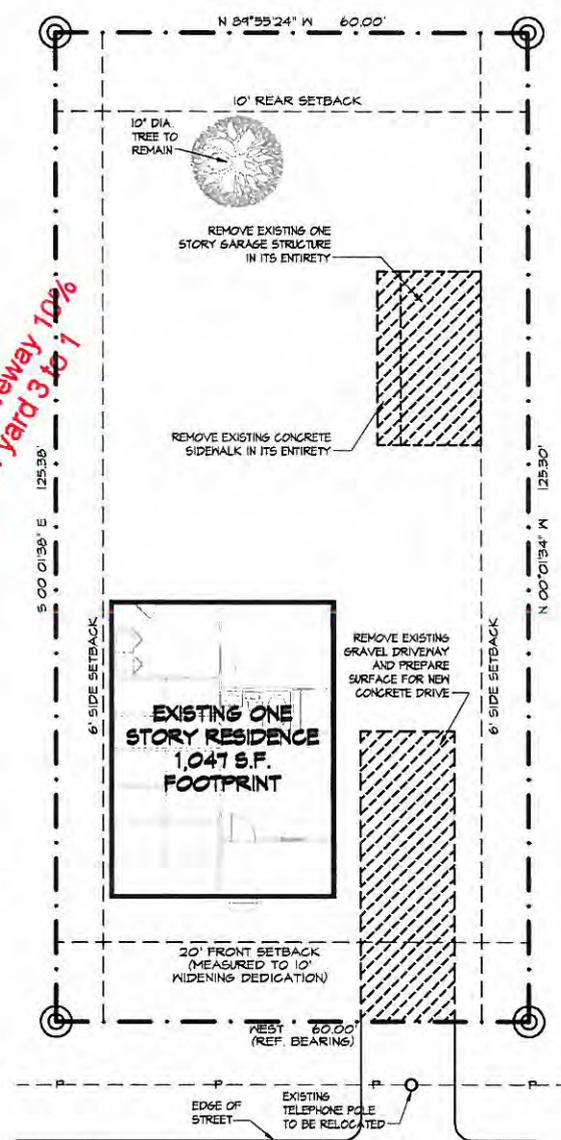
BEING LOT 1, BLOCK 1, ST. MARY'S ESTATES, AN ADDITION IN THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN SLIDE A, PAGE 241, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.



03) VICINITY MAP
NOT TO SCALE



02) NEW SITE PLAN
SCALE: 1" = 20' (11X17 SHEET)
SCALE: 1" = 10' (22X34 SHEET)



01) EXISTING SITE/DEMOLITION PLAN
SCALE: 1" = 20' (11X17 SHEET)
SCALE: 1" = 10' (22X34 SHEET)

Minimum 12-gauge wire/20 amp breakers

All Building set backs are Measured from Property Line

Maximum slope of driveway 10%
Maximum slope of yard 3 to 1

SITE PLAN - Subject to field inspection per approved drainage gradients. Retaining walls and a final grade survey may be required, prior to receiving a final inspection.

CONSTRUCTION CODES - 2009 International Residential Code & 2008 Electrical Code and local amendments

For inspections go to: www.rockwall.com/buildinginspections/inspectionreg.asp

Keep on Job Site At All Times For Inspector's Use

NEW ADDITION at **ST. MARY STREET** for Andy and Catherine Laurence

William Michael & Associates, P.L.L.C.
ARCHITECTURE PLANNING

1400 BOLLING ACRESS DRIVE
ARGYLE, TEXAS 75226 PH: 214.477.8053
william@wmhaynes.com www.wmhaynes.com

REGISTERED ARCHITECT
WILLIAM M. HAYNES
18483

CONSTRUCTION BID SET: OCTOBER 13, 2015
PERMIT SET ISSUE: JANUARY 11, 2016
CONSTRUCTION SET ISSUE: JANUARY 11, 2016
REVISIONS:

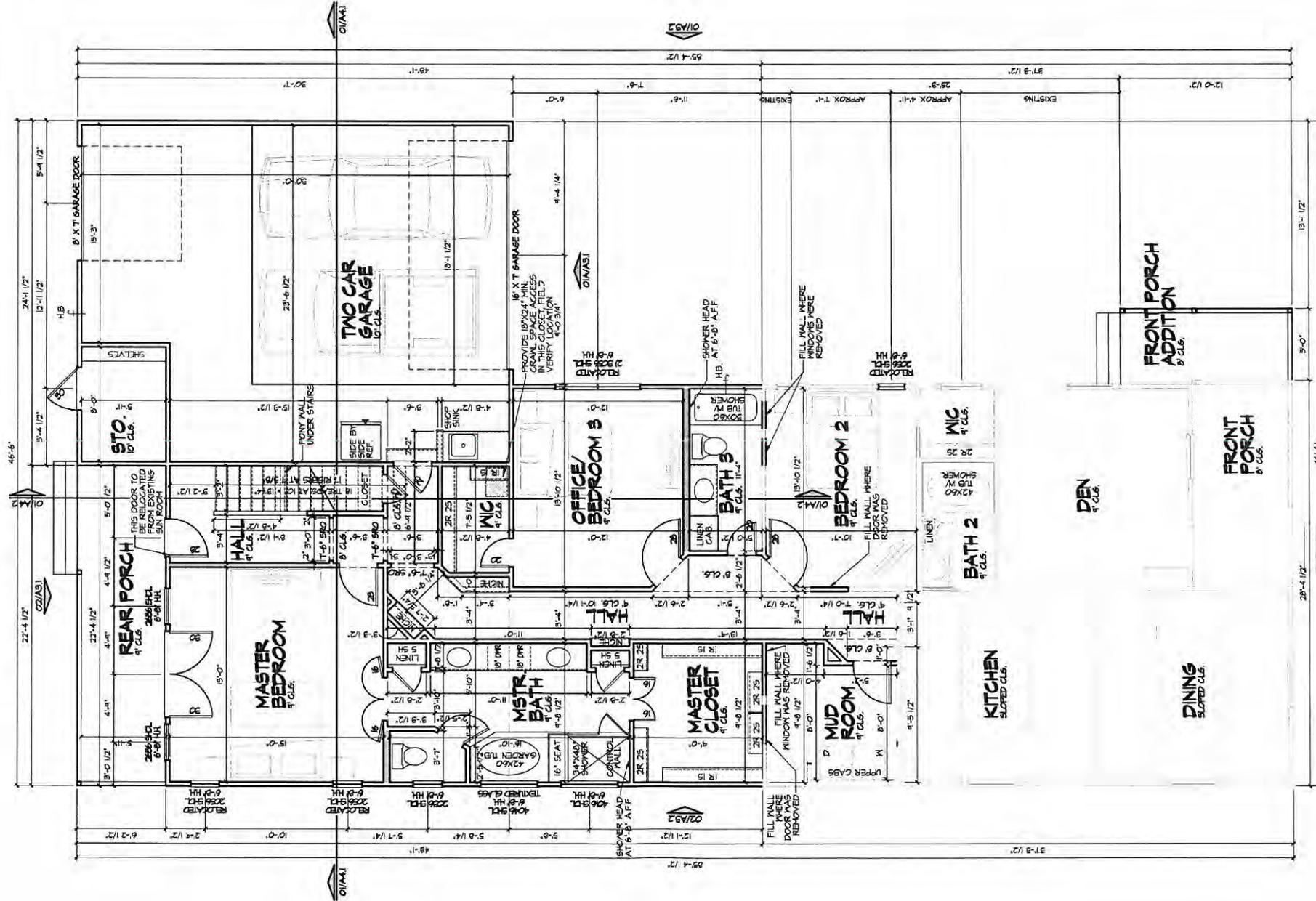
15-0727

A1.0
EXISTING/DEMOLITION/NEW SITE PLANS

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

FLOOR PLAN NOTES

- FOR DIMENSIONING PURPOSES; TYPICAL STUD WALLS ARE ASSUMED TO BE 3/4" THICK, AND PLUMBING WALLS 5/8" THICK AT CERTAIN LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF FRAMING IN MOST CASES UNO.
- TYPICAL ROOF EAVE OVERHANGS IS 1'-0" (12") FROM FACE OF STUD, COLUMN OR BEAM EXCEPT AT NOTED LOCATIONS.
- TYPICAL ROOF RAKE OVERHANGS IS 12" FROM FACE OF STUD, COLUMN OR BEAM EXCEPT AT NOTED LOCATIONS.
- INTERIOR DOORS SHALL ALLOW MIN. 3/4" AIRFLOW FOR RETURN AIR AT THE BOTTOM.
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL GLAZING STANDARDS.
- LINE UP VENTS WITH WINDOWS AT LOCATIONS WHERE POSSIBLE.
- PROVIDE WATER LINE STUB AND CUT OFF FOR ICE MAKERS FOR ALL REFRIGERATORS.
- ALL WALLS AND FLOOR/CEILING ASSEMBLIES ARE OF NON RATED FIRE RESISTIVE CONSTRUCTION. ALL HOLES SAWS, CRACKS AND OPENINGS MUST BE SEALED TIGHT AS PER CODE.
- LINE UP LIGHT FIXTURES AND COORDINATE WITH VENTS WHERE POSSIBLE.
- VERIFY ALL TUB WALL LENGTHS WITH ACTUAL TUB PROVIDED. COORDINATE WITH FRAMER. MANUFACTURER 1 TYPICAL TUB DETAILS.
- REFER TO ROOF PLANS FOR ATTIC ACCESS LOCATIONS AT TOP FLOOR.
- ENTIRE FIRST FLOOR SHALL HAVE 4'-1 1/8" STUD HEIGHTS TYPICAL.
- SECOND FLOOR SHALL HAVE 8'-1 1/8" STUD HEIGHTS TYPICAL.
- THE DOOR BETWEEN GARAGE AND LIVING SPACE / ATTIC SPACE SHALL BE A MINIMUM "B" LABEL, 20 MINUTE SELF CLOSING STEEL DOOR.
- ALL DRYERS ARE TO BE VENTED TO THE EXTERIOR.
- TYPICAL ATTIC STAIR IS 25 1/2" X 54 1/2" FULL DOWN STAIR, EXCEPT WITH 10' PLATE ATTIC STAIR IS 25 1/2" X 50" RATED AT A 350 LB. MIN. LOAD. ATTIC ACCESS FROM GARAGE TO BE FIRE-RATED.
- ALL WALLS ARE TO BE 3/4" UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO ROUGH FRAMING MEMBERS.
- ALL ANGLED WALLS ARE SET AT 45 DEGREES UNLESS NOTED OTHERWISE.
- INTERIOR AND EXTERIOR PLATE HEIGHTS ARE TO BE AS NOTED ON ELEVATION AND SECTION SHEETS.
- BOTTOM PLATE AT FIRST FLOOR WALLS TO BE PRESSURE TREATED.
- ALL BALUSTERS AND RAIL SPACES SHALL BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. TYPICAL AT ALL HANDRAILS AND GUARDRAILS.
- DOORS:
 - FIRST FLOOR - ALWAYS 6'-8"
 - SECOND FLOOR - ALWAYS 6'-8"
 - FRONT DOOR - ALWAYS 6'-8" HEIGHT
 - DOOR FROM GARAGE TO HOUSE - ALWAYS 6'-8"
- SHEET ROCK OPENINGS:
 - 9" PLATE: 8" SRO UNO.
 - 8" PLATE: 7'-6" SRO UNO.
- ALL WALLS SHALL BE 2X4 SFF STUD-GRADE @ 16" O.C. AND SHAPED WALLS SHALL BE 2X6 SFF STUD-GRADE @ 16" O.C. UNO IN THE FRAMING AND WALL BRACING PLANS HEREIN.
- GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD. OTHERWISE THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD. THE WALLS OF ALL HABITABLE ROOMS ABOVE GARAGES THAT ARE EXPOSED TO THE ATTIC AREA (WHEN ATTIC AREA IS ACCESSIBLE FROM THE GARAGE) SHALL BE SEPARATED FROM THE ATTIC AREA BY 1/2" GYPSUM BOARD. UNDERSIDE OF ALL STAIRS TO RECEIVE 5/8" TYPE 'X' GYPSUM BOARD.
- STAIRS - RISE - 7 3/4" MAX. TREADS - 10" MINIMUM PLUS 1" NOSING
- HANDRAILS SHALL BE TYPE II AND HAVE A FINISHED RAILING HEIGHT OF 34" ABOVE NOSING. NAILERS SHALL BE INSTALLED FOR ALL HANDRAILS.
- GUARDRAILS SHALL HAVE FINISHED RAILING HEIGHTS OF 37" ABOVE SUBFLOOR. NAILERS SHALL BE INSTALLED FOR ALL GUARDRAILS.



01) NEW FIRST FLOOR PLAN

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

NEW ADDITION
at
ST. MARY STREET
for
Andy and Catherine Laurence

William Michael & Associates, P.L.L.C.
ARCHITECTURE
PLANNING
1440 ROLLING ACRES DRIVE
ARGYLE, TEXAS 75228 PH
972.419.1863
www.wmabplans.com



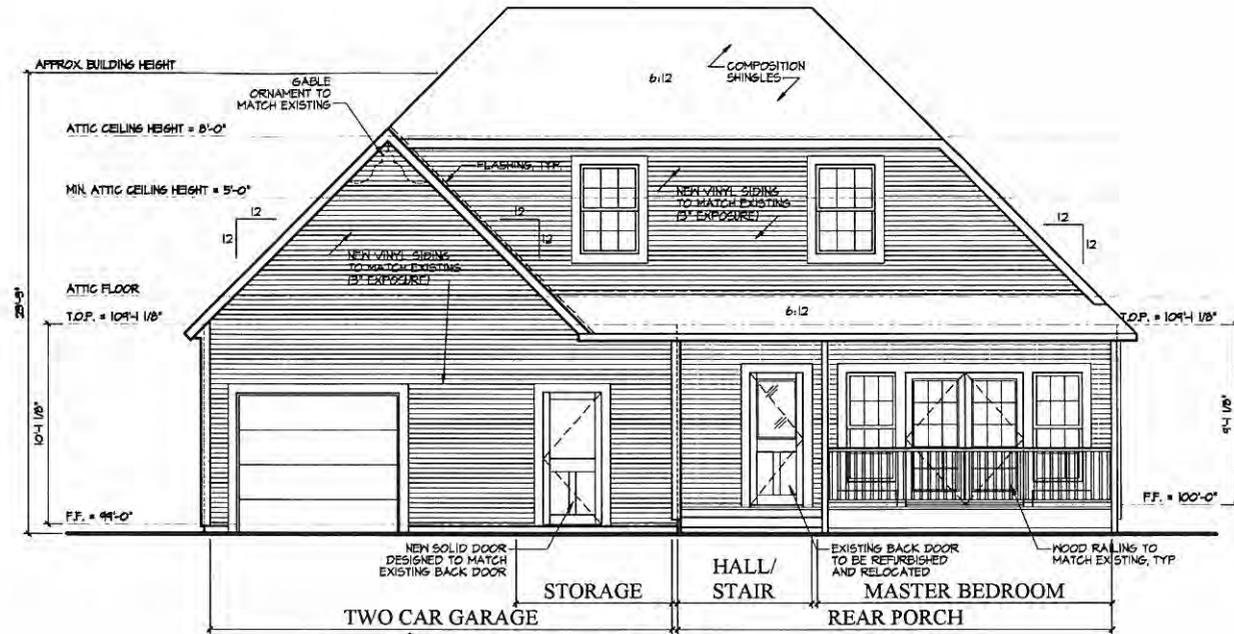
DESIGN DEVELOPMENT SET
SUBMITTED ON AUGUST 27, 2015

CONSTRUCTION BID SET
OCTOBER 13, 2015
PERMIT SET ISSUE
JANUARY 11, 2016
CONSTRUCTION SET ISSUE
JANUARY 11, 2016
REVISIONS

15-0727
A2.2
FIRST FLOOR PLAN

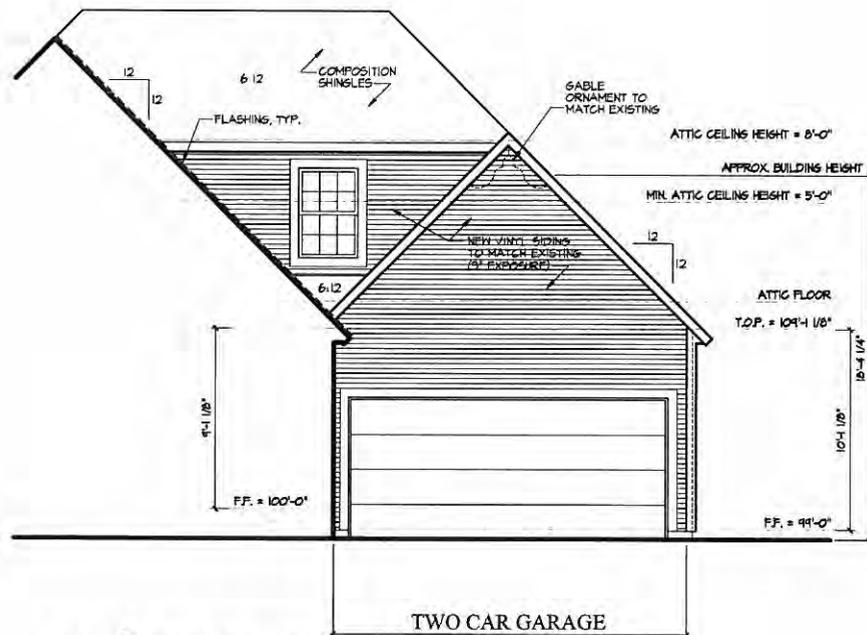
ELEVATION NOTES

1. NUMBERS AT WINDOW HEADS ARE HEAD HEIGHTS FROM RELATIVE 100'-0" DATUM AND FROM TOP OF DECK AT 2ND FLOOR (WHEN APPLICABLE)
2. ALL SOFFITS ARE VINYL SOFFIT TO MATCH EXISTING
3. ALL CANTILEVER AREAS MUST BE PROPERLY FINISHED AND SEALED ON UNDERSIDE
4. SHUTTERS TO BE PANEL DESIGN TO MATCH EXISTING
5. FLASHINGS TO BE INSTALLED AS REQUIRED
(- - - -) INDICATES FLASHING
6. EXTERIOR WALL MATERIAL AS NOTED ON ELEVATIONS
7. WINDOW AND DOOR SIZES AS NOTED ON FLOOR PLANS AND NOTES
8. RIDGE VENTS PLACED ON ALL ROOF RIDGES NO MORE THAN 4'-0" FROM END OF RIDGE AND NO LESS THAN 2'-0"



02) REAR ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01A) PARTIAL FRONT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01) FRONT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

William Michael & Associates, P.L.L.C.
ARCHITECTURE PLANNING

1400 ROLLING ACRES DRIVE
ARGYLE, TEXAS, 75226 PH
214.477.8053
william@wmaia.com
www.wmaia.com



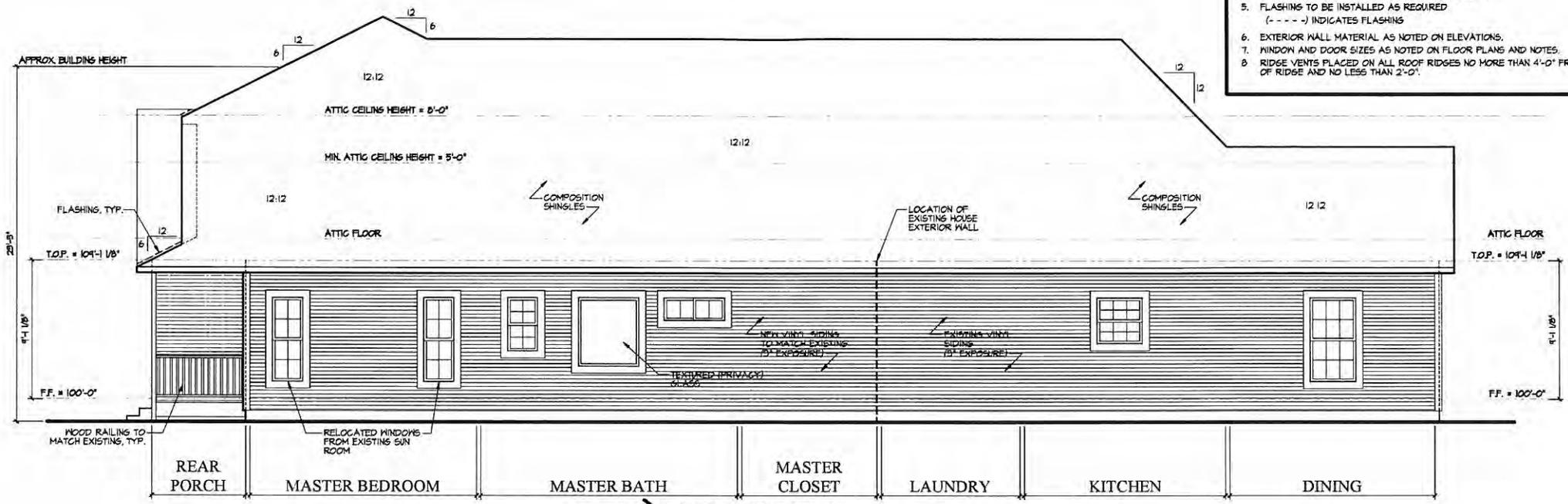
© BY WILLIAM MICHAEL & ASSOCIATES P.L.L.C.
DOCUMENT AS PART OF THE SERVICES OF ARCHITECTURE AND PLANNING PROVIDED BY WILLIAM MICHAEL & ASSOCIATES P.L.L.C. THE INFORMATION AND THE DESIGNATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF WILLIAM MICHAEL & ASSOCIATES P.L.L.C.

DESIGN DEVELOPMENT SET
SUBMITTED ON AUGUST 27, 2015

CONSTRUCTION BID SET
OCTOBER 13, 2015
PERMIT SET ISSUE
JANUARY 11, 2016
CONSTRUCTION SET ISSUE
JANUARY 11, 2016
REVISIONS

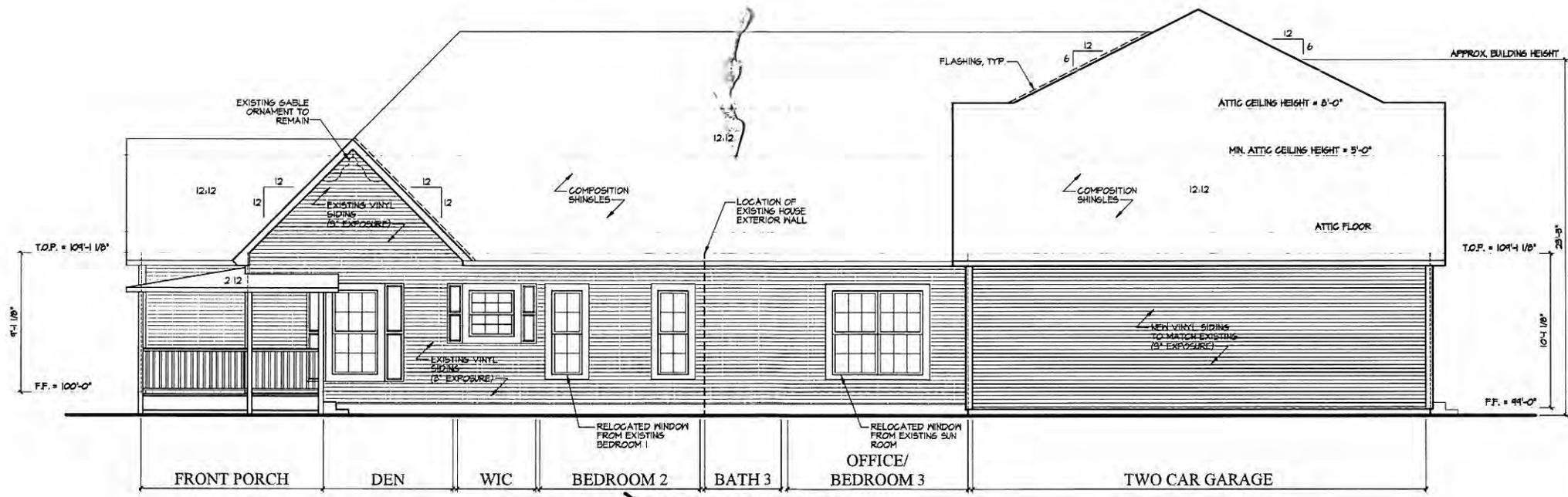
15-0727

A3.1
EXTERIOR ELEVATIONS



02) LEFT ELEVATION

SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)



01) RIGHT ELEVATION

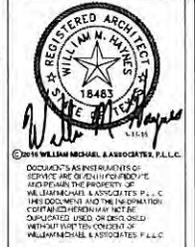
SCALE: 1/8" = 1'-0" (11X17 SHEET)
SCALE: 1/4" = 1'-0" (22X34 SHEET)

- ELEVATION NOTES**
1. NUMBERS AT WINDOWS HEADS ARE HEAD HEIGHTS FROM RELATIVE 100'-0" DATUM AND FROM TOP OF DECK AT 2ND FLOOR (WHEN APPLICABLE)
 2. ALL SOFFITS ARE VINYL SOFFIT TO MATCH EXISTING.
 3. ALL CANTILEVER AREAS MUST BE PROPERLY FINISHED AND SEALED ON UNDERSIDE.
 4. SHUTTERS TO BE PANEL DESIGN TO MATCH EXISTING
 5. FLASHING TO BE INSTALLED AS REQUIRED
(- - - -) INDICATES FLASHING
 6. EXTERIOR WALL MATERIAL AS NOTED ON ELEVATIONS.
 7. WINDOW AND DOOR SIZES AS NOTED ON FLOOR PLANS AND NOTES.
 8. RIDGE VENTS PLACED ON ALL ROOF RIDGES NO MORE THAN 4'-0" FROM END OF RIDGE AND NO LESS THAN 2'-0".

ST. MARY'S ESTATES, Lot 1, Block 1: 508 St. Mary Street, Rockwall, TX 75087

New Addition at
ST. MARY STREET
for
Andy and Catherine Laurence

William Michael & Associates, P.L.L.C.
ARCHITECTURE PLANNING
1440 ROLLING ACRES DRIVE
ARGYLE, TEXAS, 76226 PH
214.477.8053
william@wmajr.com
www.wmajr.com



DESIGN DEVELOPMENT SET
SUBMITTED ON AUGUST 27, 2015

CONSTRUCTION BID SET
OCTOBER 13, 2015

PERMIT SET ISSUE
JANUARY 11, 2016

CONSTRUCTION SET ISSUE
JANUARY 11, 2016

REVISIONS

15-0727
A3.2
EXTERIOR
ELEVATIONS

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and City Council Members

FROM: Kristy Cole, City Secretary / Assistant to the City Manager / EMC

DATE: January 27, 2016

SUBJECT: Resolution calling May 7, 2016 General Election

Included for consideration and approval in the February 1st city council meeting packet is a resolution calling the Saturday, May 7, 2016 General Election to elect City Council Members for Places 2, 4, and 6. Staff is available to answer any questions the Council may have concerning this agenda item.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. 16-02

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CALLING A GENERAL ELECTION TO BE HELD JOINTLY WITH THE ROCKWALL INDEPENDENT SCHOOL DISTRICT AND ADMINISTERED BY THE ROCKWALL COUNTY ELECTIONS ADMINISTRATOR ON SATURDAY, MAY 7, 2016 FOR THE PURPOSE OF ELECTING THREE (3) COUNCIL MEMBERS, ONE (1) FOR PLACE 2, ONE (1) FOR PLACE 4, AND ONE (1) FOR PLACE 6, EACH FOR TWO (2) YEAR TERMS; DESIGNATING THE ENTIRE CITY AS ONE ELECTION PRECINCT; DESIGNATING THE POLLING PLACE; DESIGNATING FILING DEADLINES; ORDERING NOTICES OF ELECTION TO BE POSTED AND PUBLISHED AS PRESCRIBED BY LAW IN CONNECTION WITH SAID ELECTION; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 41.001(a) of the Texas Election Code, as amended (the "Code") specifies that each general or special election in this state shall be held on the first Saturday in May in an even-numbered year and that a general election of a city may be held on such day; and

WHEREAS, the City Council of the City of Rockwall, Texas (hereinafter referred to as the "City"), in accordance with its City Charter, Section 5.01, has determined that the City shall conduct general municipal elections on the first Saturday in May 2016; and

WHEREAS, by this Resolution, it is the intention of the City Council to: (i) call for said election to be held on said date, (ii) designate the entire City as one election precinct, (iii) designate Utley Middle School as the polling place for the election and (iv) establish and set forth procedures for conducting said election.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. Incorporation of Premises. That all of the above premises are found to be true and correct and are incorporated into the body of this Resolution as if copied in their entirety.

Section 2. Election Date, Purpose of Election, Officers and Terms of Office. That a general election is hereby ordered to be held jointly with the Rockwall Independent School District in and throughout the City on Saturday, May 7, 2016, for the purpose of electing three (3) Council Members - one (1) for Place 2, one (1) for Place 4, and one (1) for Place 6 - each for two (2) year terms.

Section 3. Eligibility for Candidacy. That in accordance with Section 22.032 of the Texas Local Government Code and Section 5.02 of the City Charter of the City of Rockwall, no person shall be eligible for the office of Council Member, unless he/she is a registered voter who shall have resided within the corporate limits of the City, or recently annexed territory, for at

least twelve (12) months prior to the filing deadline, shall be twenty-one years old and not be in arrears in payment of taxes or other liabilities due the City. In accordance with Section 5.04 of the City Charter, a plurality vote is required to be elected and declared the winner.

Section 4. Application for a Place on the Ballot. That in accordance with Section 143.007 of the Code, any eligible and qualified person may have his/her name printed upon the official ballot as a candidate for the offices herein before set forth by filing his/her sworn application with the City Secretary not earlier than 8:00 a.m., January 20, 2016 and not later than 5:00 p.m., February 19, 2016. Each such application shall be on a form as prescribed by Section 141.031 of the Code. The order in which the names of the candidates are to be printed on the ballot shall be determined by a drawing by the City Secretary as provided by Section 52.094 of the Code. Notice of the time and place for such drawing shall be given in accordance with the Code.

Section 5. Election Precinct, Polling Place, and Election Hours. That the entire City of Rockwall, Texas shall constitute one (1) election precinct for the election, and the polling place is hereby designated to be located at Utley Middle School, 1201 T.L. Townsend, Rockwall, TX 75087. In accordance with and pursuant to the requirements of the Code, said polling place shall be open from 7:00 a.m. until 7:00 p.m. on the date of the election.

Section 6. Early Voting. That early voting by personal appearance shall be conducted at the Rockwall County Library - 1215 E. Yellow Jacket Lane Rockwall, TX 75087 - on the following dates at the specified times with the exception of Saturday, Sunday and State holidays:

Monday, April 25 through Saturday, April 30, 2016 - 8:00 a.m. until 5:00 p.m.

Monday, May 2 and Tuesday, May 3, 2016 - 7:00 a.m. until 7:00 p.m.

Applications for ballot by mail shall be requested from and mailed to the Rockwall County Election Administrator at 915 Whitmore Drive, Suite D Rockwall, TX 75087. The last day to receive an application by mail for a ballot to be voted by mail is no later than the close of business on April 26, 2016.

Section 7. Method of Voting. That Direct Record Electronic (DRE) voting machines and Optical Scan ballots shall be used for early voting by personal appearance and for Election Day voting. Optical scan ballots shall be used for early voting by mail. The City Secretary, acting as chief elections officer, shall ensure at least one (1) E. S. & S. Ivotronic "ADA" approved voting machine is provided at the polling place as required by Section 61.012, of the Texas Election Code.

Section 8. Governing Law and Qualified Voters. That the election shall be held in accordance with the constitution of the State of Texas and the Code, and all resident, qualified electors of the city, shall be eligible to vote at the election.

Section 9. Publication and Posting of the Notice. That notice of the election in English and Spanish shall be given by posting a notice of election on the City Hall bulletin board used for posting notices of the meetings of the City Council not less than twenty-one (21) days prior to the date upon which the election is to be held, and by publication of said notice at least once in a newspaper of general circulation in accordance with Section 2051.44 of the Texas Government Code, the date of said publication to be not less than ten (10) days and not more than thirty (30) days prior to the date set for the election.

Section 10. That the Rockwall Elections Administrator shall serve as the Administrator of the election. The Elections Administrator shall appoint a sufficient number of judges and clerks in accordance with Chapter 32 Texas Elections Code to assist in the proper conduct of the election.

Section 11. Delivery of Returns: Preservation of Election Records. That in accordance with the Code and the City's contract with the Rockwall County Elections Administrator, immediately after the closing of the poll on the day of the election, the election officers shall make and deliver the returns of the election in triplicate as follows: one copy shall be retained by the Presiding Election Judge and by the Presiding Election Judge of the Early Ballot Board, one copy shall be delivered to the Mayor of the City, and one copy of the returns, together with the ballot boxes and all election supplies, shall be delivered to the Rockwall County Elections Administrator. All election records and supplies shall be preserved in accordance with the Code.

Section 12. Representatives. That the following slate of officials and other designated persons are hereby authorized to be present to observe the election counting process:

- a. The Mayor and members of the City Council of the City of Rockwall;
- b. Candidates for the City Council of the City of Rockwall;
- c. The Rockwall City Secretary or her designated representative.

Section 13. Canvassing of Returns. That the City Council of the City shall convene between May 10, 2016 and May 18, 2016 to canvass the returns of the election in accordance with the Texas Election Code.

Section 14. Necessary Action. That the Mayor and the City Secretary of the City, in consultation with the City Attorney, are hereby authorized and directed to take any and all actions necessary to comply with the provisions of the Code in carrying out and conducting the election, whether or not expressly authorized herein.

Section 15. Severability. That should any part, section, subsection, paragraph, sentence, clause or phrase contained in this resolution be held to be unconstitutional or of no force and effect, such holding shall not affect the validity of the remaining portion of this resolution, but in all respects said remaining portion shall be and remain in full force and effect.

Section 16. Effective Date. That this Resolution shall be in force and effect from and after its passage and it is accordingly so resolved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 1st day of February, 2016.

ATTEST:

Jim Pruitt, Mayor

Kristy Cole, City Secretary

THIS PAGE INTENTIONALLY LEFT BLANK



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

FROM: Ryan Miller, *Director of Planning and Zoning*

CC: Joey Boyd, *Director of Internal Operations*

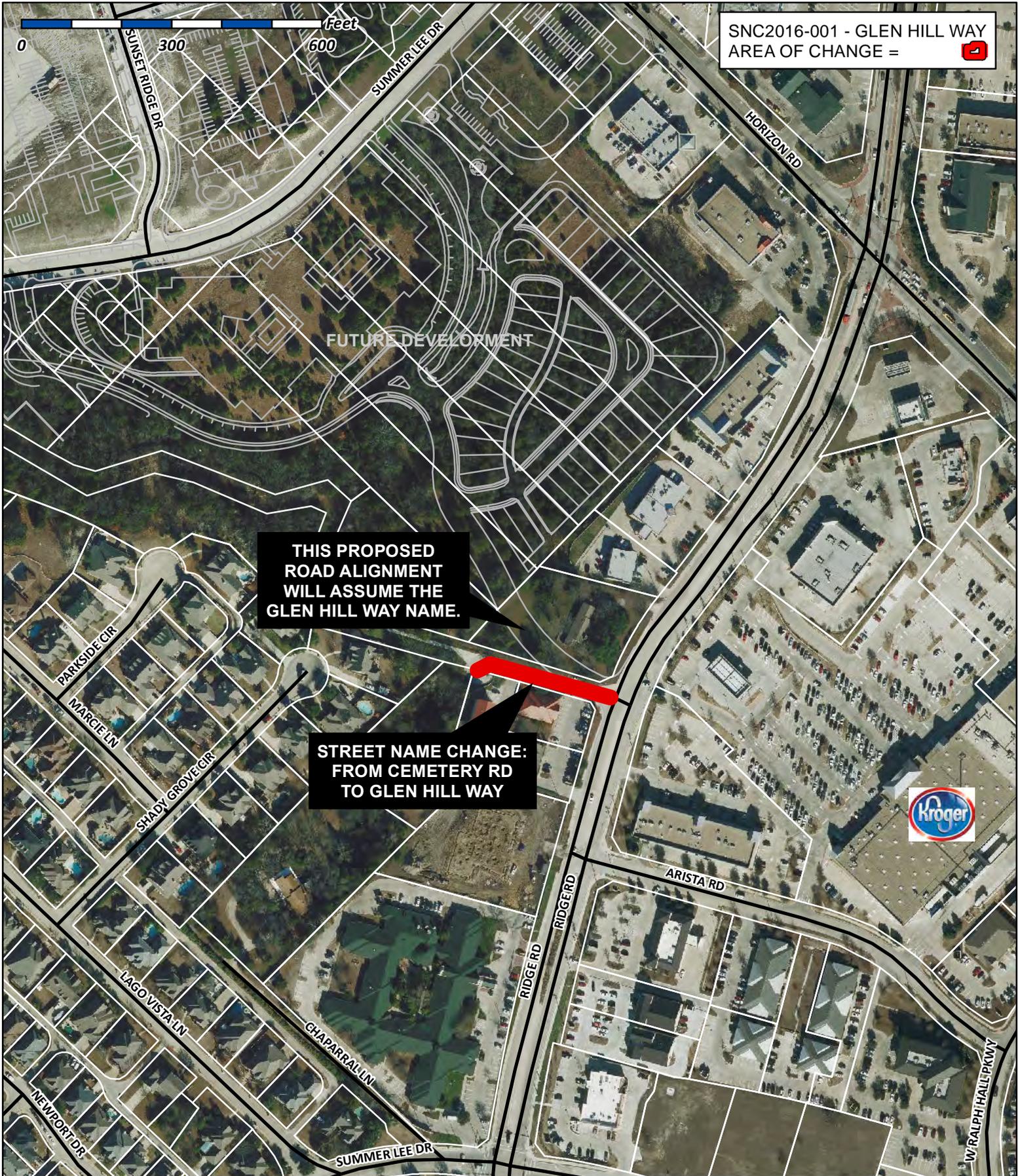
DATE: February 1, 2016

SUBJECT: SNC2016-001; *Street Name Change (Cemetery Road to Glen Hill Way)*

During a recent development case, Councilman Milder noticed that the proposed entrance to the Harbor District was currently named *Cemetery Road*, and that this may not be a suitable name for an entry portal to one of the City's primary retail/residential districts. This issue was taken to the *Street Naming Sub-Committee* on January 19, 2016, where they directed staff to bring forward an agenda item to change *Cemetery Road (also referred to as Glen Hills Cemetery Road)* to *Glen Hill Way*. It should be pointed out that a realignment of the roadway is proposed for Cemetery Road that will extend the roadway from Ridge Road to Summer Lee Drive. The existing right-of-way would continue to serve as access to Glen Hills Cemetery, and will be accessible off the new alignment of the roadway.

The proposed road name, *Glen Hill Way*, comes from a former African-American pioneer settlement called the *Glen Hill Community*. The cemetery that exists at the end of Cemetery Road is also called the Glen Hills Cemetery in which the headstones date back as late as 1820. A large part of the original settlement and school site is now a part of Lake Ray Hubbard.

Currently, no properties are addressed off this street. If the City Council chooses to approve the proposed street name change, a courtesy notification will be sent to the six (6) property owners adjacent to the roadway. *Staff has included a location map, a property owner notification map and list, and a copy of the letter that will be mailed out in the attached packet.*



SNC2016-001 - GLEN HILL WAY
 AREA OF CHANGE =

**THIS PROPOSED
 ROAD ALIGNMENT
 WILL ASSUME THE
 GLEN HILL WAY NAME.**

**STREET NAME CHANGE:
 FROM CEMETERY RD
 TO GLEN HILL WAY**



City of Rockwall

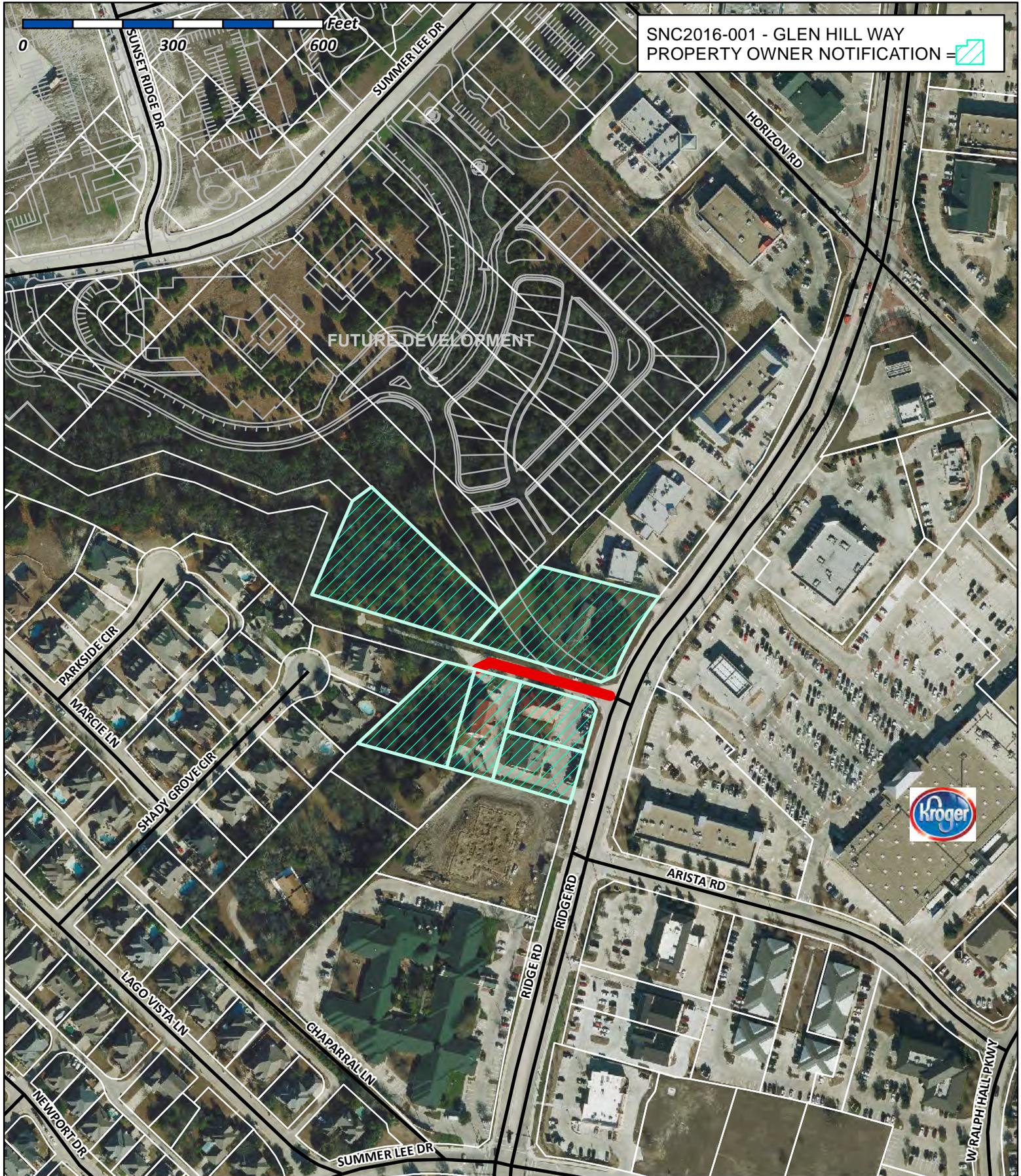
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SNC2016-001 - GLEN HILL WAY
 PROPERTY OWNER NOTIFICATION



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



BRITTANY PROPERTIES LLC (69%) &
MIKE SEALOCK (31%)
3010 RIDGE RD
ROCKWALL, TX 75032

SEALOCK MICHAEL C & SONIA KAY
3010 RIDGE RD
ROCKWALL, TX 75032

BRITTANY PROPERTIES LLC
201 LAURENCE DR
HEATH, TX 75032

ATTAWAY LISA K
3014 RIDGE RD
ROCKWALL, TX 75032

GLEN HILLS CEMETERY
C/O INEZ GIBSON
3830 FRANK ST
DALLAS, TX 75210

HUGHES ROBERT J & PATRICK HUGHES &
SANDRA FERGUSON
8030 SAN LEANDRO DR
DALLAS, TX 75218



February 16, 2016

RE: Renaming of City Street

Dear Rockwall Property Owner:

The City of Rockwall is in the process of changing the street name of *Cemetery Road* (also referred to *Glen Hills Cemetery Road*) to *Glen Hill Way*. This change is being considered in order to preserve the Glen Hill's community history, as well as, provide a more appealing name to the entryway in to the City's *Harbor District*. You are being notified because your property is adjacent to this roadway. ***This change will not affect your current address and is effective as of the City Council approval date (i.e. February 15, 2016).***

Should you have any questions regarding this information, please contact me at 972-771-7745 or visit our website at www.rockwall.com.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CHANGING THE NAME OF CEMETERY ROAD TO GLEN HILL WAY, WHICH IS MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Rockwall has initiated a street name change for *Cemetery Road*; and

WHEREAS, Cemetery Road being the entry portal to the *Harbor District* from Ridge Road [FM-740] should be renamed to *Glen Hill Way*; and

WHEREAS, the *Street Naming Sub-Committee* has reviewed the proposed street name change, directed staff to initiate the street name change for *Cemetery Road*, and has selected the name of *Glen Hill Way*.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That all areas of *Cemetery Road* as depicted in *Exhibit 'A'* of this ordinance should be renamed *Glen Hill Way*; and

SECTION 2. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of this ordinance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THIS THE 15TH DAY OF FEBRUARY, 2016.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

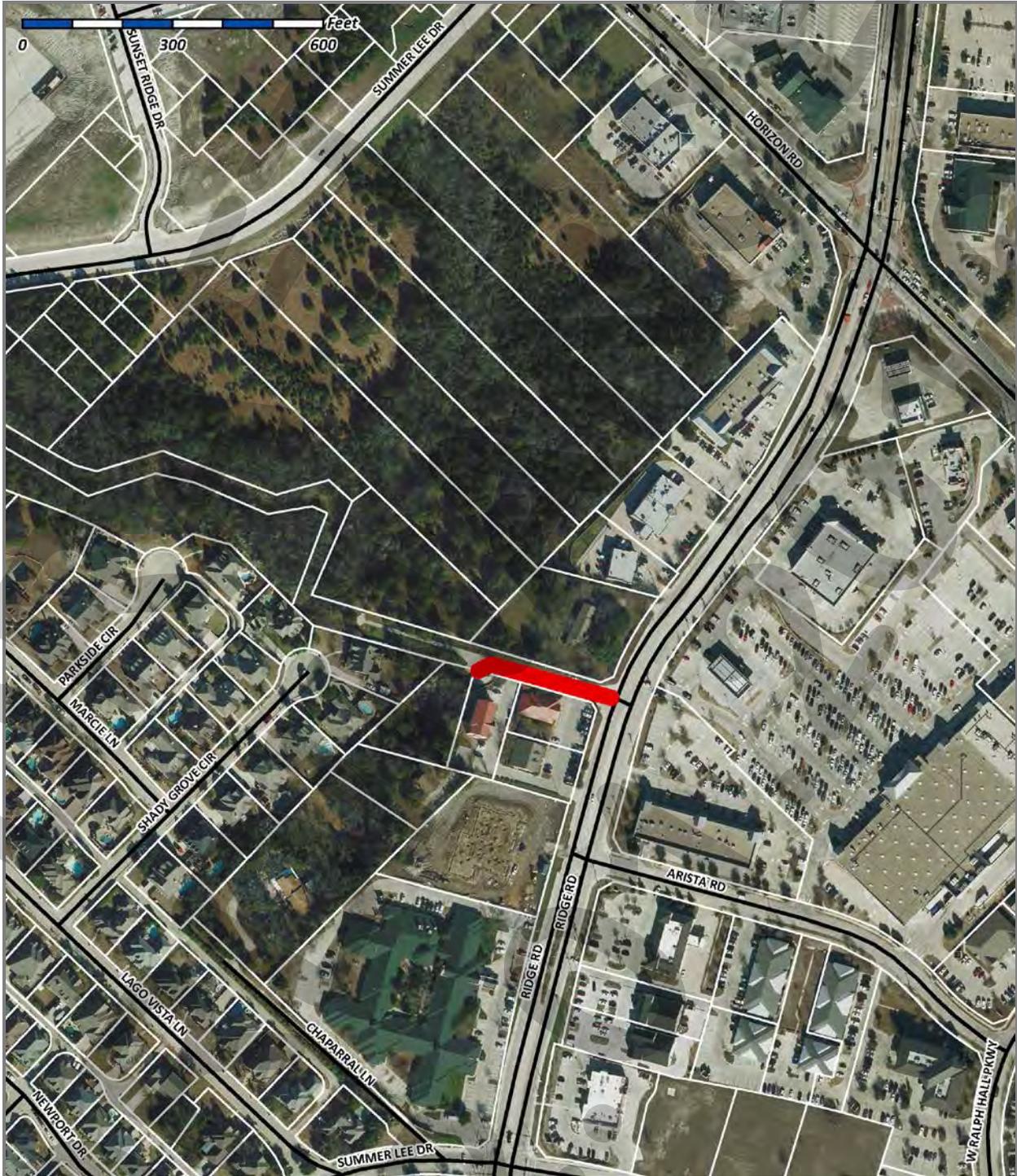
Frank J. Garza, *City Attorney*

1st Reading: February 1, 2016

2nd Reading: February 15, 2016

DRAFT
ORDINANCE
02.01.2016

Exhibit 'C':
Location Map



RED: Current Alignment of Cemetery Road

THIS PAGE INTENTIONALLY LEFT BLANK



CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

FROM: Ryan Miller, *Director of Planning and Zoning*

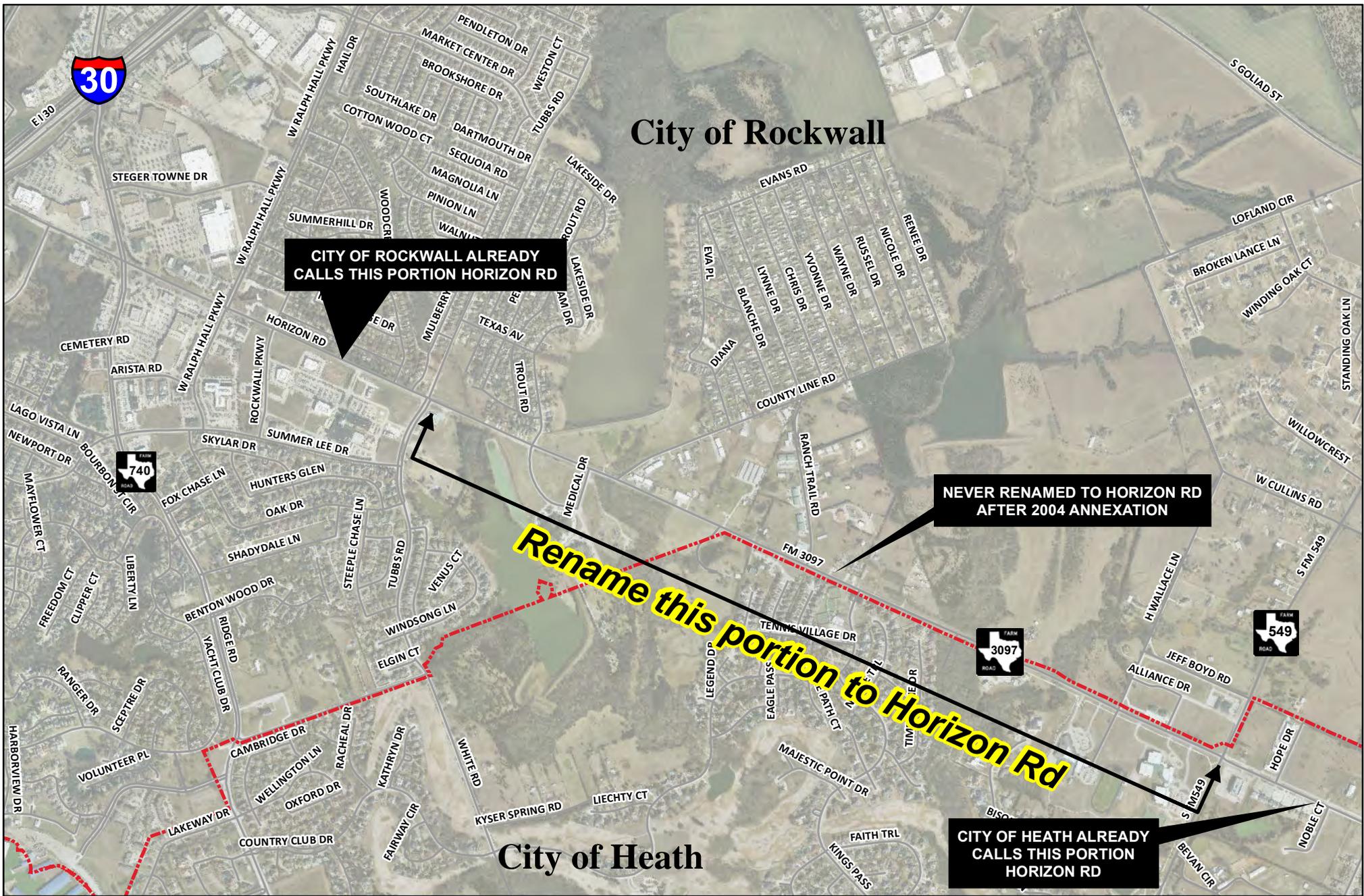
CC: Joey Boyd, *Director of Internal Operations*

DATE: February 1, 2016

SUBJECT: SNC2016-002; *Street Name Change (FM3097 to Horizon Rd)*

FM-3097 within the City of Rockwall is typically referred to as Horizon Road; however, the portion of FM-3097 between Tubbs Road and the southern city limits (*i.e. roughly S. FM-549*) remains FM-3097 and was not renamed to Horizon Road after annexation in 2004. Staff brought this item before the *Street Naming Sub-Committee* on January 19, 2016 and was directed to bring the change before the City Council. If approved the change would connect the other two (2) portions of the roadway already named Horizon Road (*i.e. IH-30 to Tubbs Road and the roadway within the City of Heath*).

It should be noted that 49 property owners are currently addressed off this portion of FM-3097; however, staff has verified with the *Post Office* that Horizon Road and FM-3097 can be used interchangeably. Therefore, the proposed change should not have a negative impact on any property or business along this portion of FM-3097. If the City Council chooses to approve the proposed street name change, staff will mail a courtesy notification to all 49 property owners. The notification will indicate that either address can be used. *Staff has included a location map, a property owner notification map and list, and a copy of the letter that will be mailed out in the attached packet.*

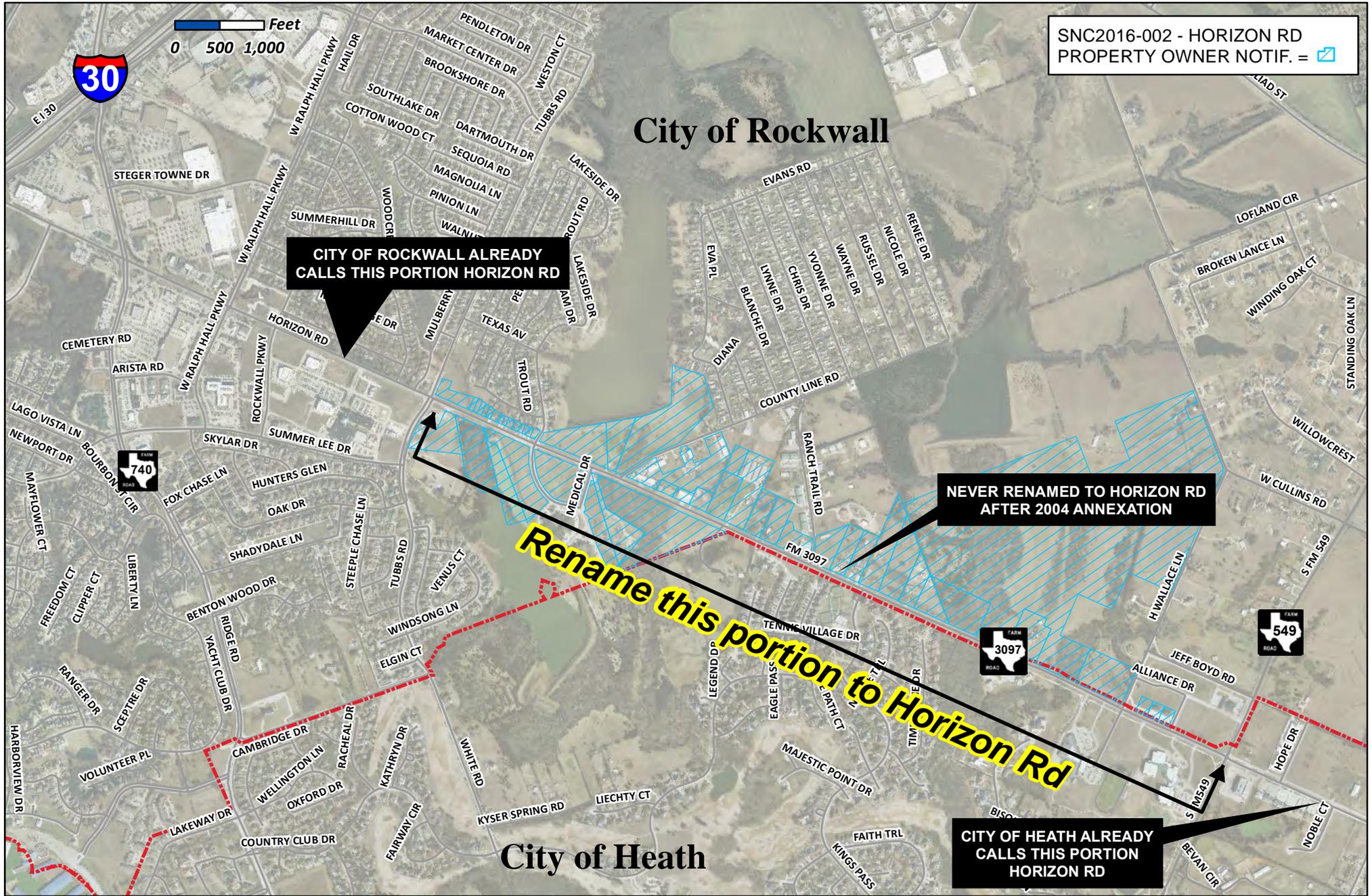


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VANDERGRIFT IRA E & MARY L
4065 FM 3097
ROCKWALL, TX 75032

KLEIN ELIZABETH C
4175 FM 3097
ROCKWALL, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY
MCKINNEY, TX 75070

NUNEZ LUZ ISELA
459 LAKESIDE DR
ROCKWALL, TX 75032

LOPEZ RICARDO C
519 E I 30
ROCKWALL, TX 75087

RAMOS JAIME & JUDITH
4375 FM 3097
ROCKWALL, TX 75032

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

KELLY REX ALLEN
5399 FM 3097
ROCKWALL, TX 75032

WALLACE MICHAEL
6271 HORIZON ROAD
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
34 LAKEWAY DR
HEATH, TX 75032

BALDERAS VICTORIO AND
SUSAN GAMEZ
602 LAWRENCE
HEATH, TX 75032

CASTILLO SILVIA
4125 FM 3097
ROCKWALL, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY
MCKINNEY, TX 75070

LEJ PARTNERS LTD
5100 ELDORADO PKWY
MCKINNEY, TX 75070

GAGNON STEVEN C ETUX SUZANNE
459 WINDING RIDGE LN
ROCKWALL, TX 75032

ARP 2014-1 BORROWER LLC
7047 E GREENWAY PKWY
SCOTTSDALE, AZ 85254

ACKERT MARY J MRS
2241 HIGHWOOD DR
DALLAS, TX 75228

BUFFALO CREEK BUSINESS PARK LTD
2324 W INTERSTATE 30
ROYSE CITY, TX 75189

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

KUMAR ATUL
3435 ASHBURY ST
DALLAS, TX 75205

BALDERAS VICTORIO AND
SUSAN GAMEZ
602 LAWRENCE
HEATH, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY
MCKINNEY, TX 75070

CITY OF ROCKWALL

NORTH TEXAS MUNICIPAL WATER DIST
PO BOX 2408
WYLIE, TX 75098

RAMOS JAIME & JUDITH
4375 FM 3097
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

LAKESIDE NATIONAL BANK
P O BOX 9
ROCKWALL, TX 75087

LAVIOLETTE JANICE &
DANNY LEE LUMMUS
341 4TH ST
ESTES PARK, CO 80517

LUECKE PATRICIA L MRS
1110 OAKMONT DR
RICHARDSON, TX 75081

MCCOY SHIREE DAY
5879 FM 3097
ROCKWALL, TX 75032

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

KELLY A R
5485 FM 3097
ROCKWALL, TX 75032

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

KUMAR ATUL
3435 ASHBURY ST
DALLAS, TX 75205

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

ALONZO JOSE O
5627 HORIZON RD
ROCKWALL, TX 75032

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

NORTH TEXAS MUNICIPAL WATER DIST
P O BOX 2408
WYLIE, TX 75098

BUFFALO CREEK BUSINESS PARK LTD
2324 EAST I 30
ROYSE CITY, TX 75189

MURPHY ROAD LTD
ATTN: GEORGE SCHULER
5900 S LAKE FOREST DR
MCKINNEY, TX 75070

MATTHEWS GERALD W & DONNA C
5550 HORIZON RD
ROCKWALL, TX 75032

AGARWAL ASHWANI K & RACHNA
3435 ASBURY ST
DALLAS, TX 75205

RIDGE POINTE HORIZON LP
2255 RIDGE RD #208
ROCKWALL, TX 75087

LEJ PARTNERS LTD
5100 ELDORADO PKWY
MCKINNEY, TX 75070

JWS LAND LTD
5900 S LAKE FOREST DR
MCKINNEY, TX 75070

CITY OF ROCKWALL TEXAS
385 S GOLIAD ST
ROCKWALL, TX 75087

JWS LAND LTD
5900 S LAKE FOREST DR
MCKINNEY, TX 75070



February 16, 2016

RE: Renaming of City Street

Dear Rockwall Property Owner:

The City of Rockwall is in the process of adding Horizon Road to a portion of FM-3097 between Tubbs Road and the southern City Limits (*i.e. roughly S. FM-549*). The road will retain its state road designation of FM-3097 and should not affect property addresses (*i.e. properties can use Horizon Road or FM-3097*); however, ideally the city would prefer residents and business use the following mailing format: ##### Horizon Road (FM-3097). *This addition of an alternate name will not affect your current address and is effective as of the City Council approval date (i.e. February 15, 2016).*

Should you have any questions regarding this information, please contact me at 972-771-7745 or visit our website at www.rockwall.com.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall

CITY OF ROCKWALL

ORDINANCE NO. 16-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CHANGING THE NAME OF FM-3097 FROM TUBBS ROAD TO THE SOUTHERN CITY LIMITS, WHICH IS MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Rockwall has initiated a street name change for FM-3097 from *Tubbs Road* to the southern *City Limits* (i.e. roughly S. FM-549); and

WHEREAS, the *Street Naming Sub-Committee* has reviewed the proposed street name change, and directed staff to initiate the street name change for FM-3097 from *Tubbs Road* to the southern *City Limits* (i.e. roughly S. FM-549).

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That all areas of FM-3097 as depicted in *Exhibit 'A'* of this ordinance should be renamed *Horizon Road*; and

SECTION 2. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of this ordinance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THIS THE 15TH DAY OF FEBRUARY, 2016.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 1, 2016

2nd Reading: February 15, 2016

DRAFT
ORDINANCE
02.15.2016

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: City Council
FROM: Joey Boyd, Director of Internal Operations
DATE: January 27, 2016
SUBJECT: Electric Supply Agreement with TCAP

This resolution is designed to support the second of several opportunities for TCAP members to contract for electricity for the post-2017 time period. If interested in contracting for a five-year term (2018-2022) during 2016, the authorizing resolution must be passed by the governing body of the interested TCAP member by February 25, 2016. The deadline will allow definition of the load to be served under each of three different electric supply options, which must be at least a minimum of 50 megawatts. Also, the deadline will give the wholesale provider ample opportunity to lock a fixed-price, equal to or less than a specific benchmark for each ERCOT zone, before June 30, 2016. When that supply scenario is locked, each member that passed the authorizing resolution must immediately sign a contract for that power.

Explanation of Whereas Clauses:

What is TCAP?

As reflected in the fourth and seventh Whereas clauses, TCAP is a non-profit, political subdivision corporation, owned and controlled by its 171 political subdivision members, the vast majority of whom are cities. TCAP was formed in 2011 from the merger of Cities Aggregation Power Project (“CAPP”) and South Texas Aggregation Project (“STAP”), both of which were created in 2001, shortly before retail deregulation became effective on January 1, 2002. TCAP is governed by a 15 member board of directors, all of whom must be city employees or elected city officials. Typically, board members have been mayors, city managers, assistant city managers, finance directors or city attorneys.

Market Benefits of TCAP

An individual city, citizen or commercial customer can only purchase power directly from a Retail Electric Provider (“REP”) which under Texas law exists to give the impression of a competitive market. REPs cannot generate electricity, nor can they own wires. REPs are

unnecessary middlemen between the wholesale and retail markets. As reflected in the second and fourth Whereas clauses, TCAP, as a political subdivision corporation, uniquely can go directly to the wholesale market. CAPP and STAP, prior to their merger into TCAP, separated contracts between a wholesale supplier and an independent REP, providing TCAP consultants with greater insight into the margins of various market participants than would be possible for most consumers. A broker or a REP would hand a form contract to an individual consumer. In the case of TCAP, no form contract is acceptable and, because of the size of TCAP's load, both wholesale suppliers and REPs are willing to negotiate contract terms that are beneficial to TCAP members, enabling the refunds members have consistently received, special terms for adds and deletes, including an ability to add new loads at current market prices even if the market price is lower than the price of the master agreement.

TCAP's benefits regarding pricing

TCAP's membership consumes approximately 1.4 billion kWh annually which amounts to approximately \$100 million in revenue for the wholesale provider at current contract prices. The value of the aggregated load is extremely appealing to wholesale market participants, enabling TCAP to get the market competitive pricing at any particular moment. As reflected in the third Whereas clause, in addition to the size of its load, TCAP derives benefit from geographic diversity. TCAP members reside in all four ERCOT zones and are spread between the entire length and breadth of Texas, from Wichita Falls to Harlingen and Fort Stockton to Palestine. Since consumption is influenced by weather and since weather conditions are seldom the same across all of Texas, it is unlikely that all TCAP members are reaching peak consumption simultaneously. If the peaks of all TCAP members were totaled, the sum would equal 313.1 MW. But a wholesale supplier looks at the peak consumption of TCAP as an aggregated load rather than the sum of the peaks of all members. TCAP's peak demand is 246.9 MW. That reduction in peak is a specific and unique benefit of aggregation. And unlike other aggregation groups that accept counties and school districts as members, TCAP has focused its membership on cities and other political subdivisions that have a relationship with cities to maintain the very favorable load factor of cities with high off peak consumption from street lights which provides favorable pricing terms.

History of CAPP, STAP, TCAP pricing

As reflected in the fifth and eighth Whereas clauses, aggregated cities have historically been interested in flat, fixed-price, full-requirements contracts and price stability. The resolution under consideration maintains that goal for a five-year period at a price much lower than the current contract price. In 2002, CAPP and STAP were able to obtain prices for energy at 4 cents per kWh. Very quickly after retail deregulation was implemented, natural gas prices started to rise, and they continued on an upward trend until late 2008. In late 2008, CAPP cities were paying approximately 13.5 cents per kWh. Fear that natural gas price volatility would continue to result in high electricity rates, CAPP cities were excited to lock-in long term rates beginning in 2009 that were significantly lower than prices experienced in the 2007-2008 time frame. STAP cities experienced their highest rate in 2006 at slightly more than 9 cents per kWh. STAP cities saw prices drop to around 7.8 cents per kWh in 2008 and were happy to find a contract that would stabilize prices in the 7 to 8 cent range for an extended period. When CAPP and STAP members signed new contracts in late 2008, no one could have predicted that the economy was

about to enter a multi-year recession and that fracking would bring a glut of natural gas to a market with reduced demand, putting natural gas and electricity prices into a downward trend. Fortunately, gas prices have continued to drop and now TCAP members have an opportunity to again capture rates in the range of, and hopefully below, 4 cents per kWh.

Contract Requirements

As explained in the tenth Whereas clause, there is no legal requirement that a city engage in a competitive bidding process prior to contracting for electricity. The primary expectation of contracting for wholesale energy in a deregulated energy market is that a purchaser sign a contract accepting a particular offered price within 24 hours of receipt of the offer. NYMEX gas futures prices change daily, and since gas prices drive electricity prices, it is unlikely that any given price quote for wholesale electricity during a given period will remain open for more than a day. As explained in the ninth Whereas clause, TCAP members are expected to immediately execute a contract once TCAP's supplier is able to lock in a price at or below the benchmark prices specified in the resolutions for a five-year period commencing January 1, 2018. That is why Section 2 of the resolution requires the naming of specific individuals with whom TCAP can correspond and provide a contract for signing when appropriate.

Resolution's Objective

As explained in the eleventh thru fourteenth Whereas clauses, after the size of the load for the 2015 contract opportunity is defined by February 25, 2016, TCAP's supplier will look for an opportunity to lock prices for the five-year term at or below specified benchmarks (4.1 – 4.25 cents per kWh). That may happen by the second week of March, but if it appears that prices are trending downward, TCAP will direct its designated supplier, NextEra, to daily monitor the market to hopefully capture a price under lower than benchmarked prices. The window of opportunity for capturing a reasonable price at or below the benchmarks will expire by June 30, 2016. TCAP will develop another supply opportunity in the Fall of 2016 for any members not contracting in this offering.

TCAP benefits to the consuming public

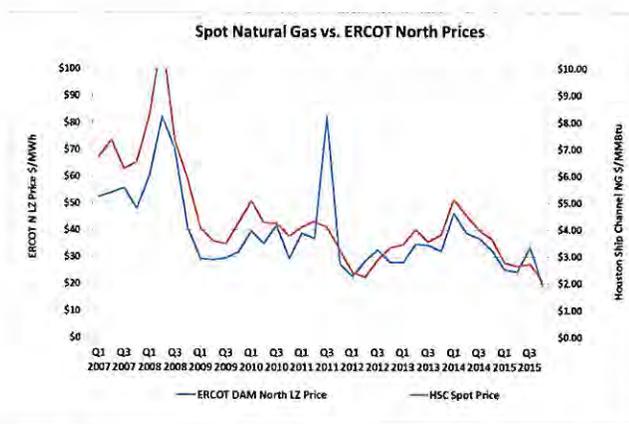
Whereas clause six references TCAP becoming a forceful voice for consumer protections and market reform to benefit the public as well as political subdivisions. When CAPP and STAP merged in 2011, one of the guiding principles established in meetings with members and through subsequent board priority-setting meetings was that TCAP should advocate for reforms in the market that would enhance competition and benefit the general public. TCAP has become the closest thing to a consumer advocate that exists in the deregulated marketplace on both the wholesale and retail sides of the business. TCAP membership not only provides political subdivisions with resources to monitor markets, capture reasonable prices and best available terms, stabilize budgets, address problems with invoices and help with governmental reports, provide best of class portals to understand consumption patterns, membership also affords an opportunity to represent to constituents that they have an advocate on their behalf.

CHOICE OF SUPPLY OPTION

Whereas Clause 13 identifies three different supply options that TCAP has arranged as choices for each member. Option 1 is a fixed price for all consumption regardless of time of day. The price will not exceed 4.1 cents per kWh in the North and West ERCOT zones. It will not exceed 4.25 cents per kWh in the Houston and South zones. The actual price is likely to be less than the benchmark prices. The prices will become effective January 1, 2018. Given that these prices are to be locked in 2016 and will not expire until December 31, 2022, they are reflective of the lowest prices for electricity experienced since the retail market was deregulated January 1, 2002. Generally speaking, there ought to be an expectation that the price of energy will climb marginally for each year of the contract term beyond two years. The possibility of locking-in energy prices at or below 4 cents per kWh for a period that terminates in seven years is truly remarkable based upon the history of deregulation.

In the Spring of 2015, TCAP consultants received indicative fixed-prices around 4.5 cents per kWh. They then developed two supply options to the fixed price full requirements contract that offered attractive savings opportunities. Both Options 2 and 3 have variable components related to the energy spot market. While the average spot price in the past three years has been \$32.14/Mwh (2013), \$38.50/Mwh (2014), \$25.53/Mwh (2015), respectively, it is important to note that spot market prices can change every 15 minutes, therefore it is impossible to provide members a precise price for Options 2 and 3. While they provide an opportunity for savings off of the benchmarked prices for Option 1, savings cannot be guaranteed, and thus Option 2 and 3 involve risk to that does not exist with Option 1. A TCAP member that is completely risk adverse should select Option 1.

Option 2 fixes a price for the peak usage period and then turns to the spot market for all off-peak usage. When TCAP was developing these products in 2014, there was a large enough gap between fixed price options and spot prices that this option looked very attractive. Now, with market prices at historic recent term lows, both spot prices and fixed prices have fallen and their price differential has shrunk to the point that future savings from the spot market may not be as great as the risk of future price increases. The following graph shows how low current spot market prices have gone.



Option 2 was developed with the anticipation that spot prices during the off peak period would be in the range of \$10/MWh to \$40/MWh (\$0.01-\$0.04/kWh) over time for spot purchases. Our

latest quotes for fully fixed priced products (Option 1) includes off peak pricing fixed at under \$20/MWh. These low Option 1 fixed prices for off peak usage may make it harder for future off peak spot prices to create additional savings under Option 2 over time even though the customer will be incurring market price risk.

Option 3 begins with the purchase of a block of power to cover the base use of all members who commit to this option. Block power, since it is a firm commitment 24 hours a day, is the cheapest form of energy available in the wholesale market. Daytime peak consumption will be partly covered by a fixed price for solar power with all other consumption supplied by the spot market.

In considering Option 2, TCAP consultants would tell you that with current prices about a half cent less than the price that existed when Option 2 was conceptualized last Spring, it will be difficult for Option 2 to generate savings sufficient to justify its selection. Option 3 with its majority reliance on the cheapest form of energy has a greater probability than Option 2 of producing savings over Option 1. But again, with such low Option 1 fixed priced products now available to TCAP members, and since there are no guarantees that Options 2 or 3, which utilize spot market pricing, will remain as attractive as they were even a few months ago.

EXPLANATION OF “BE IT RESOLVED” SECTIONS

- Section 1.** Authorizes TCAP to submit the members load, along with the load of other authorizing members, to be aggregated into a pool by TCAP’s wholesale supplier for a contract commencing January 1, 2018 and terminating December 31, 2022 with the understanding that the fixed, full-requirements price under Option 1 must not exceed 4.1 cents per kWh in the North and West zones and must not exceed 4.25 cents in the Houston and South zones.
- Section 2.** Sets conditions precedent that the aggregated load exceed 50 MW, that the resolution be passed before February 25, 2016, and that NextEra has until June 3, 2016 to lock in a fixed price for the aggregated load that does not exceed benchmark prices. It also requires the designation of a specific individual, by name or title, who are authorized to sign a contract within 24 hours of submittal, assuming the conditions have been met.
- Section 3.** Consistent with the last two Whereas clauses, this section commits the member to budget for and approve funds necessary to pay for the member’s proportionate share of the aggregated load that TCAP commits to with NextEra. TCAP will contract with NextEra based upon representations of authorizing members, each of whom will be provided with a Commercial Electric Service Agreement (“CESA”) with GEXA, the current REP, that extends current retail service terms with the lower wholesale price arranged with NextEra for the 2018-2020 time period.
- Section 4.** In order for TCAP to be informed of the passage of the resolution so that the member’s load can be aggregated by NextEra, this section specifies that a

copy of the resolution should be sent to TCAP's Executive Director and General Counsel.

While the City Council may choose to discuss and consider any of the three options available to the City, staff has prepared the attached resolution for the Council's consideration to participate in Option 1 for the following reasons:

- This option provides for a fixed price, full load requirement contract at a price guaranteed not to exceed 4.1 cents per kWh.
- Option 1 allows for better budget stability
- Based on information provided by TCAP, it is the option that involves the lowest amount of risk of market volatility
- A TCAP representative indicated to us that other cities similar in size to Rockwall are choosing option 1 due to its lower risk as well

The current agreement with TCAP for electric supply ends on December 31, 2017. The new agreement will be for a five year period from 2018 – 2022. Since action to execute an agreement will need to take place in a timely manner, the resolution authorizes the city manager or TCAP's executive director to execute an agreement on the City's behalf, which is consistent with how the City has executed previous agreements for electric supply. TCAP is a non-profit entity. Any surplus revenues are returned to its members in the form of rebates.

Attached for the City Council's review and consideration is a resolution selecting option 1 as the City's preferred supply option, which must be passed and returned by February 25, 2016. The resolution further authorizes TCAP's Executive Director, Jay Doegey, to sign a contract for the 2018-2022 contract term to procure electricity on behalf of the City of Rockwall.

CITY OF ROCKWALL, TEXAS

RESOLUTION # 16-03

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AUTHORIZING THE TEXAS COALITION FOR AFFORDABLE POWER, INC. (TCAP) TO NEGOTIATE AN ELECTRIC SUPPLY AGREEMENT FOR FIVE YEARS FOR DELIVERIES OF ELECTRICITY EFFECTIVE JANUARY 1, 2018; AUTHORIZING TCAP TO ACT AS AN AGENT ON BEHALF OF THE CITY TO ENTER INTO A CONTRACT FOR ELECTRICITY; AUTHORIZING RICK CROWLEY or JAY DOEGEY, EXECUTIVE DIRECTOR OF TCAP TO EXECUTE AN ELECTRIC SUPPLY AGREEMENT FOR DELIVERIES OF ELECTRICITY EFFECTIVE JANUARY 1, 2018 AND COMMITTING TO BUDGET FOR ENERGY PURCHASES IN 2018 THROUGH 2022 AND TO HONOR THE CITY'S COMMITMENTS TO PURCHASE POWER FOR ITS ELECTRICAL NEEDS IN 2018 THROUGH 2022 THROUGH TCAP

WHEREAS, the City of Rockwall, Texas (City) is a member of Texas Coalition For Affordable Power, Inc. (TCAP), a non-profit, political subdivision corporation dedicated to securing electric power for its more than 170 members in the competitive retail market; and

WHEREAS, TCAP has unique rights under Texas law to negotiate directly in the wholesale market and arrange separate contracts for power supply and retail services which provides TCAP leverage to achieve contract provisions that single city negotiations with a Retail Electric Provider (REP) would be unlikely to produce; and

WHEREAS, TCAP's geographic diversity across all four ERCOT zones produces an aggregated peak load that is lower than the total of individual peak loads of the individual TCAP members, allowing price benefits in the wholesale market that are not likely to be available to any given TCAP member alone; and

WHEREAS, TCAP and its predecessor organizations, Cities Aggregation Power Project, Inc. (CAPP) and South Texas Aggregation Project, Inc. (STAP), negotiated favorable contract terms that resulted in rebates from the wholesale supplier and reasonable commodity prices for delivered electricity since 2002 resulting in stable budgets for electricity for members; and

WHEREAS, commodity prices for electricity experienced significant volatility between 2002 and 2009, with prices ranging from 4 cents to over 13 cents per kWh, causing CAPP and STAP members to welcome a five year contractual commitment that came close to cutting the 2008 prices in half, with that contract being extended until December 31, 2017, with a negotiated price reduction of about 1 cent per kWh; and

WHEREAS, TCAP has become a forceful voice for consumer protections and market reform to benefit the public and well as cities and other political subdivisions; and

WHEREAS, TCAP is owned by its members and distributes monetary and other resources according to relative load size of members and is controlled by a 15 member Board of

Directors, all of whom must be city employees of members who represent diversity in size and geography; and

WHEREAS, wholesale power prices within the deregulated Texas market are largely determined by the NYMEX gas futures prices for natural gas which are currently low and relatively stable, but which change daily; and

WHEREAS, daily price changes require retail customers to execute a contract immediately upon receipt of a favorable offer; and

WHEREAS, pursuant to Texas Local Government Code Section 252.022(a)(15) expenditures for electricity are exempt from competitive bidding requirements; and

WHEREAS, on any given day, TCAP is able to capture a favorable wholesale price for any period of time, comparable to or better than any given REP or broker; and

WHEREAS, TCAP intends to continue to contract with its current wholesale supplier, NextEra, because the relationship with NextEra is such that NextEra is willing, after it knows the size of a given load, to execute a contract at or below prescribed price and terms; and

WHEREAS, the City desires to execute a contract for electricity for the period beyond the expiration of its current contract on December 31, 2017, that locks-in favorable wholesale prices under one of three different supply options:

- Option 1 - fixed-price, full-requirements at a price not to exceed 4.1 cents per kWh for the North and West zones or 4.25 cents per kWh for the South and Houston zones;
- Option 2 - fixed price for on-peak hours and variable spot market prices for off-peak hours;
- Option 3 - block energy at a fixed price to cover the base load hours, a fixed price for solar energy to cover mid-day peak hours (approximately 10% of total load) and variable spot market prices for all remaining consumption; and

WHEREAS, TCAP will allow members six weeks from receipt of this resolution to consider whether to participate in this second opportunity to contract for post-2017 electrical supply, and thereafter allow NextEra until June 30, 2016 to contact for power for five years at a price not to exceed 4.1 cents per kWh in the North and West zones and a price not to exceed 4.25 cents per kWh in the South and Houston zones for Option 1, so long as the aggregated load for any of the three supply options reaches at least 50 megawatts; and

WHEREAS, wholesale suppliers demand assurance that TCAP will pay for all contracted load; and

WHEREAS, the City needs to assure TCAP that it will sign a Commercial Electric Supply Agreement (CESA) reflecting the contract extension and budget for energy purchases for the post-2017 period and honor its commitment to purchase power for its electrical needs for 2018 through 2022 through TCAP.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1: That the TCAP Board of Directors and its consultants and advisors are agents authorized to negotiate for the City's electricity needs as a member of TCAP for the period 2018 through 2022 at a price not to exceed 4.1 cents per kWh for the North and West zones and a price not to exceed 4.25 cents per kWh in the Houston and South zones for supply Option 1;

Section 2: The City prefers to participate in supply Option 1 with the following understanding: a) while supply Option 1 is a full-requirements, fixed-price option, Options 2 (fixed price on-peak, variable spot prices for off-peak usage) and 3 (fixed price for base load, fixed price for a portion of peak load, and variable spot market for remainder) have variable price components and savings over Option 1 cannot be guaranteed, and b) if there is insufficient desire among members to achieve a 50 MW threshold for either Option 2 or 3, the member selecting the inadequately subscribed option will be placed in the Option 1 category. If no option is selected, TCAP will assume that a passed Resolution approves of Option 1.

Section 3: Assuming this resolution is passed before February 25, 2016 and the combined load of TCAP members passing this resolution exceeds 50 megawatts for the preferred Option and NextEra is able to provide TCAP an opportunity prior to June 30, 2016 to contract for power to be delivered to members at a price not to exceed 4.1 cents per kWh for the North and West zones and not to exceed 4.25 cents per kWh in the Houston and South zones for supply Option 1 for the period January 1, 2018 through December 31, 2022, any one of the following individuals is hereby authorized to sign an electric supply agreement for the City within 24 hours of receipt of a contract that has been approved and recommended by the TCAP Board of Directors: Rick Crowley, City Manager or Jay Doegey, Executive Director of TCAP.

Section 4: That the City will commit to purchase power to meet all of its electricity needs eligible for competition pursuant to the TCAP approved supply agreement and approve funds necessary to pay electricity costs proportionate to the City's load under the supply agreement (whether wholesale or retail) arranged by TCAP and signed by TCAP's Executive Director or President or other TCAP representatives authorized by the TCAP Board.

Section 5: That a copy of this resolution shall be sent to Jay Doegey, Executive Director, TCAP, 15455 Dallas Parkway, Suite 600, Addison, Texas 75001 and Geoffrey M. Gay, legal counsel to TCAP at 816 Congress Avenue, Suite 1900, Austin, Texas 78701.

PRESENTED AND PASSED on this the 1st day of February, 2016, by a vote of _____ ayes and _____ nays at a regular meeting of the City Council of the City of Rockwall, Texas.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

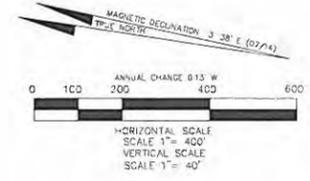
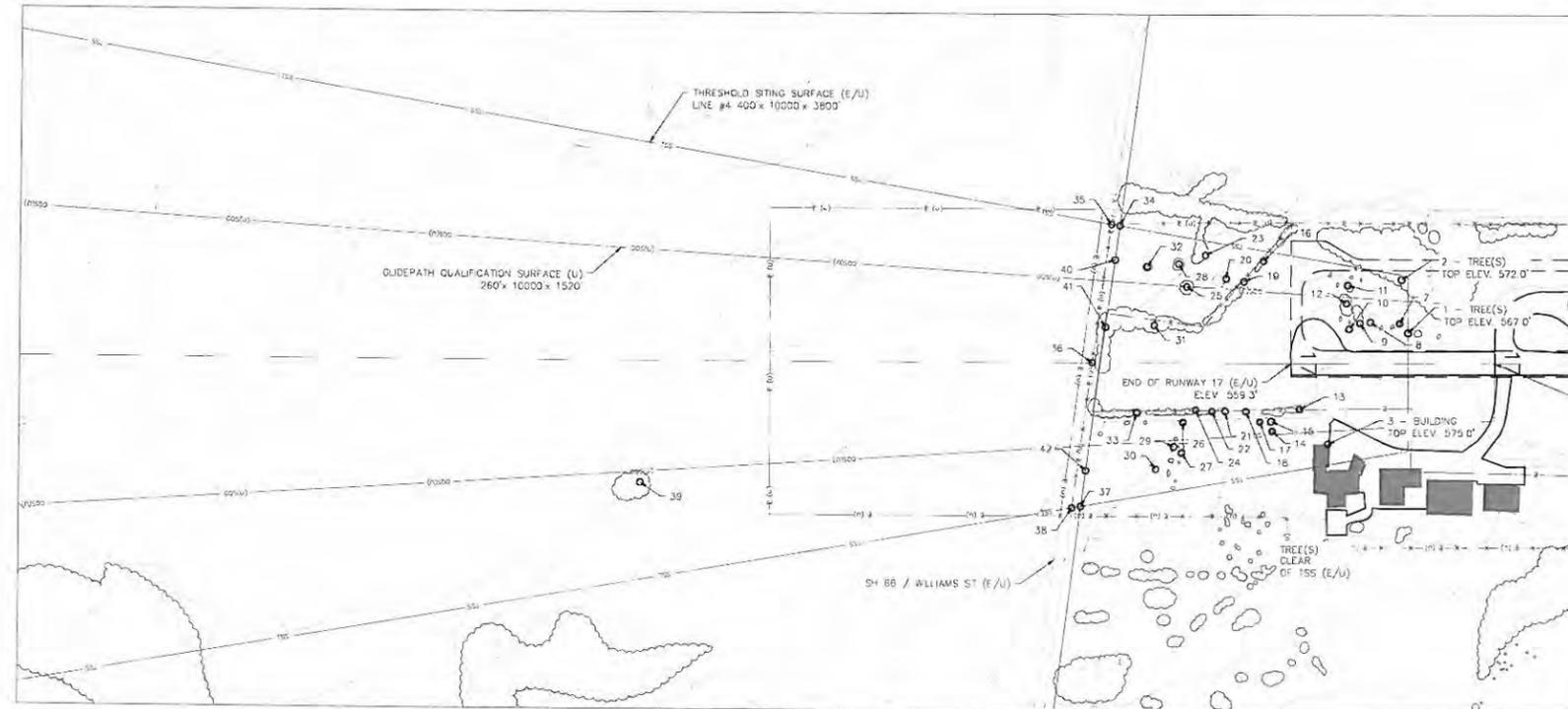
MEMORANDUM

TO: City Council
FROM: Joey Boyd, Director of Internal Operations
DATE: January 28, 2016
SUBJECT: Airport Layout Plan Approval

Included for the City Council's review are the new Airport Layout Plan drawings for the Ralph M. Hall / Rockwall Municipal Airport as a result of the Airport Development Plan. The City received FAA Airspace approval and the set will now go to TXDOT Aviation for their approval process. The City Council is asked to authorize the city manager to execute the documents on behalf of the City and send to TXDOT Aviation for their approval process.

The approval process at TXDOT Aviation is not anticipated to take a long period of time to complete since they have already reviewed the set internally as part of the airspace analysis. The Director of Aviation will sign the ALP and send the City a final copy.

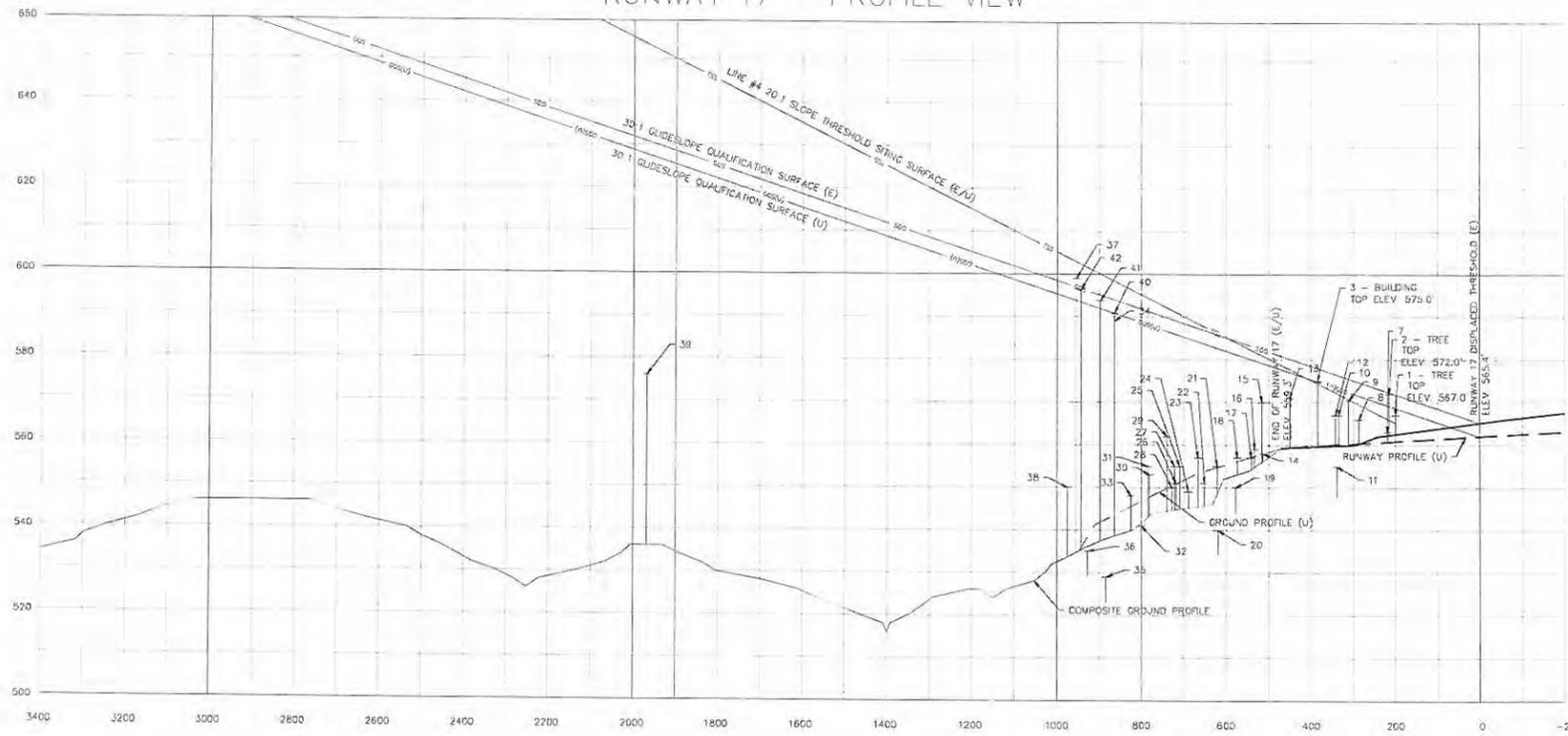
RUNWAY 17 - PLAN VIEW



PENETRATIONS TO THRESHOLD SITING SURFACE								
NO.	OBJECT DESCRIPTION	LATITUDE (N)	LONGITUDE (W)	DISTANCE FM RW END	OFFSET FM RW C/L*	TOP ELEVATION**	AV* OF PENETRATION	REMEDATION
1	TREE(S)	32°56'04.13"	96°26'09.09"	-270'	70' L	567.0'	1.6'	REMOVE TREE(S)
2	TREE(S)	32°56'04.43"	96°26'07.70"	-159'	92' L	572.0'	1.1'	REMOVE TREE(S)
3	BUILDING	32°56'05.61"	96°26'12.32"	-83'	184' R	575.0'	0.3'	REMOVE BUILDING

* OFFSETS FROM CENTERLINE ARE DESCRIBED RIGHT OR LEFT OF THE RUNWAY CENTERLINE AS SEEN BY A PILOT APPROACHING THE RUNWAY TO LAND
 ** ELEVATIONS ADJUSTED UPWARD 15' FOR PUBLIC ROADWAY, 17' FOR INTERSTATE HIGHWAY, 23' FOR RAILROADS
 NO OBSTRUCTION SURVEY COMPLETED. CONTOUR AND ELEVATION DATA FROM CITY OF ROCKWALL AND OTHER READILY AVAILABLE INFORMATION.

RUNWAY 17 - PROFILE VIEW



IPASD LEGEND		
FEATURE	EXISTING	ULTIMATE
RUNWAY/TAXIWAY OUTLINE	=====	-----
RUNWAY/TAXIWAY TO BE REMOVED	=====	-----
BUILDINGS/FACILITIES	=====	-----
AIRPORT PROPERTY LINE	-----	-----
AIRPORT PROPERTY LINE w/FENCE	-----	-----
THRESHOLD SITING SURFACE	-----	-----
FENCE LINE	-----	-----
THRESHOLD LIGHTS	****	****
RW END IDENTIFIER LIGHTS (REILS)	●	●
GROUND CONTOURS	-----	-----
SIGNIFICANT OBJECT PLAN VIEW	○	○
SIGNIFICANT OBJECT PROFILE VIEW	↑	↑
TREES/BRUSH	⊞	⊞

TEXAS DEPARTMENT OF TRANSPORTATION AVIATION DIVISION ALP APPROVED ACCORDING TO FAA AC 150/5300-13A CHANGE 1 PLUS THE REQUIREMENTS OF A FAVORABLE ENVIRONMENTAL FINDING AND FAA NEA STUDY PRIOR TO THE START OF ANY LAND ACQUISITION OR CONSTRUCTION ON AIRPORT PROPERTY. COPYRIGHT 2014 TxDOT AVIATION DIVISION, ALL RIGHTS RESERVED.	AIRPORT SPONSOR CURRENT AND FUTURE DEVELOPMENT DEPICTED ON THIS ALP IS APPROVED AND SUPPORTED BY AIRPORT SPONSOR. SPONSOR ACKNOWLEDGES APPROVAL OF ALP BY TxDOT DOES NOT CONSTITUTE A COMMITMENT TO FUNDING.
DAVID FULTON, DIRECTOR, AVIATION DIVISION	SIGNATURE
DATE	DATE
	TITLE, AIRPORT SPONSOR'S REPRESENTATIVE

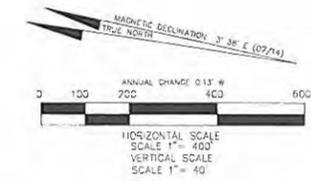
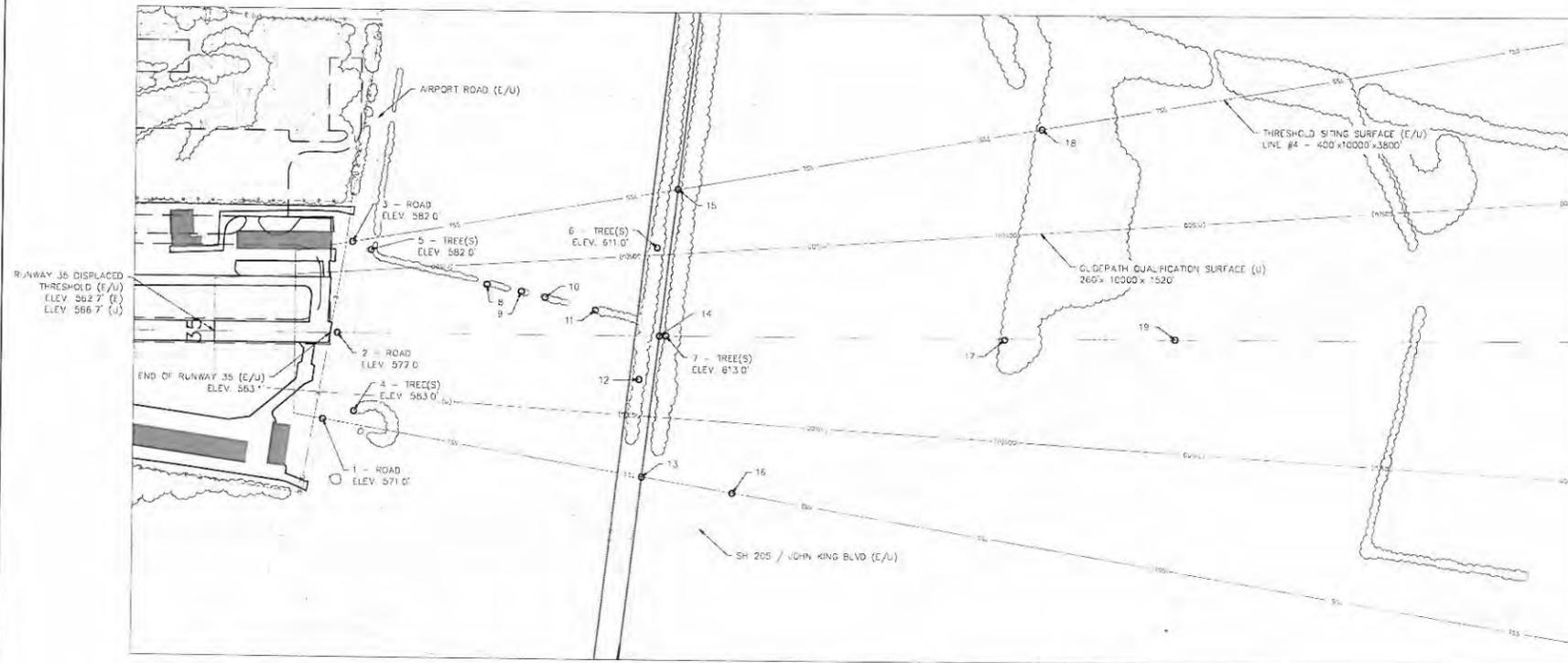
PREPARED BY: GARVER, LLC 3010 GAYLORD PKWY, #190 FRISCO, TX 75034 (972) 377-7480 (972) 377-8380 FAX	DATE: APRIL 2015 DATE: APRIL 2015 DATE:
--	---

IPASD RUNWAY 17
 RALPH M HALL MUNICIPAL AIRPORT
 ROCKWALL, TEXAS (F46)

Texas Department of Transportation
 Aviation Division

SHEET 2 OF 6

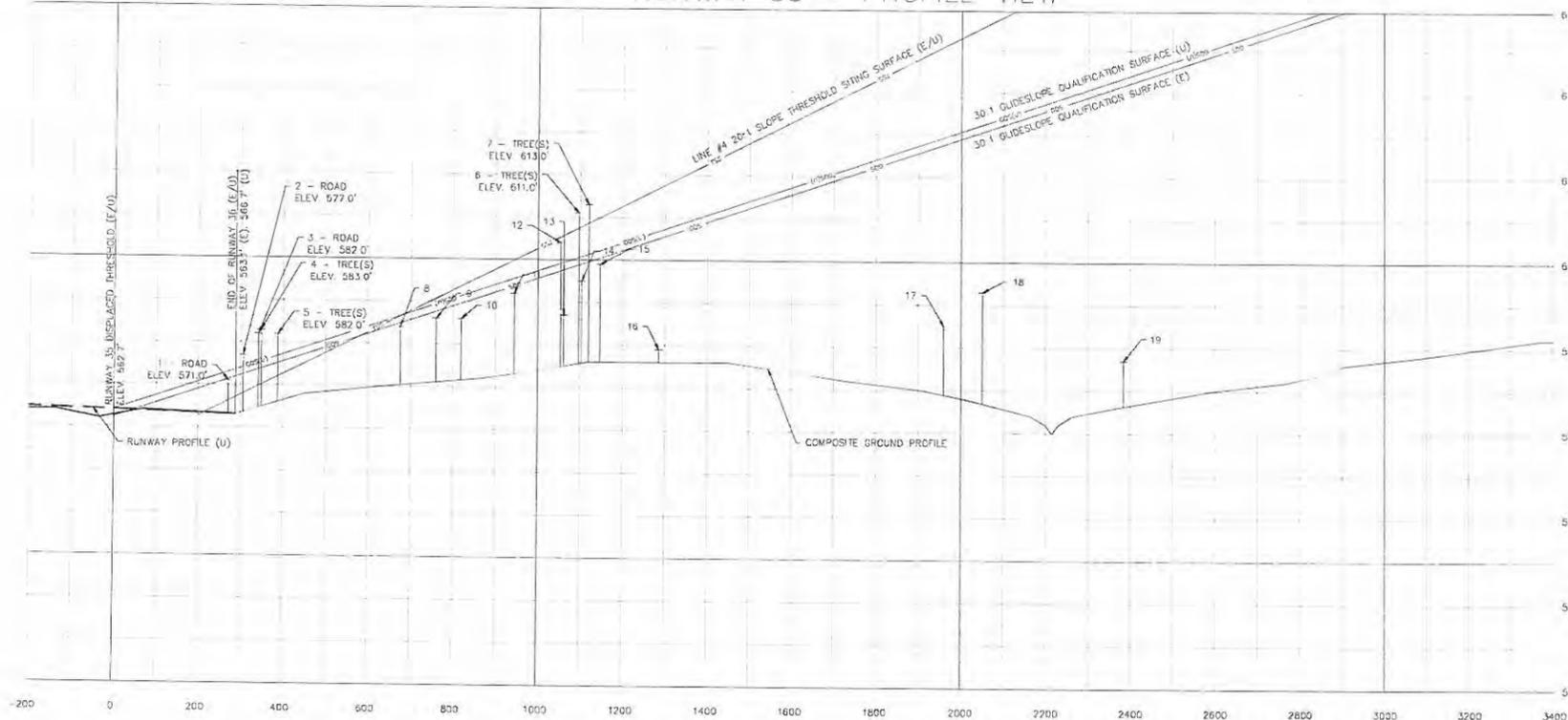
RUNWAY 35 - PLAN VIEW



PENETRATIONS TO THRESHOLD SITING SURFACE								
NO	OBJECT DESCRIPTION	LATITUDE (N)	LONGITUDE (W)	DISTANCE FM RW END	OFFSET FM RW C/L*	TOP ELEVATION**	AMT OF PENETRATION	REMEDIATION
1	AIRPORT RD	32°55'33.50"	96°26'07.81"	-18'	212' L	571.0'	4.8'	REMOVE/RELOCATE ROAD
2	AIRPORT RD	32°55'33.44"	96°26'05.09"	17'	C/L	577.0'	9.0'	REMOVE/RELOCATE ROAD
3	AIRPORT RD	32°55'33.37"	96°26'02.43"	53'	224' R	582.0'	12.2'	REMOVE/RELOCATE ROAD
4	TREE(S)	32°55'32.77"	96°26'07.26"	60'	192' L	583.0'	12.8'	REMOVE TREE(S)
5	TREE(S)	32°55'32.90"	96°26'02.58"	99'	205' R	582.0'	9.9'	REMOVE TREE(S)
6	TREE(S)	32°55'28.97"	96°26'01.35"	807'	217' R	611.0'	3.5'	REMOVE TREE(S)
7	TREE(S)	32°55'25.46"	96°26'03.84"	831'	C/L	613.0'	4.3'	REMOVE TREE(S)

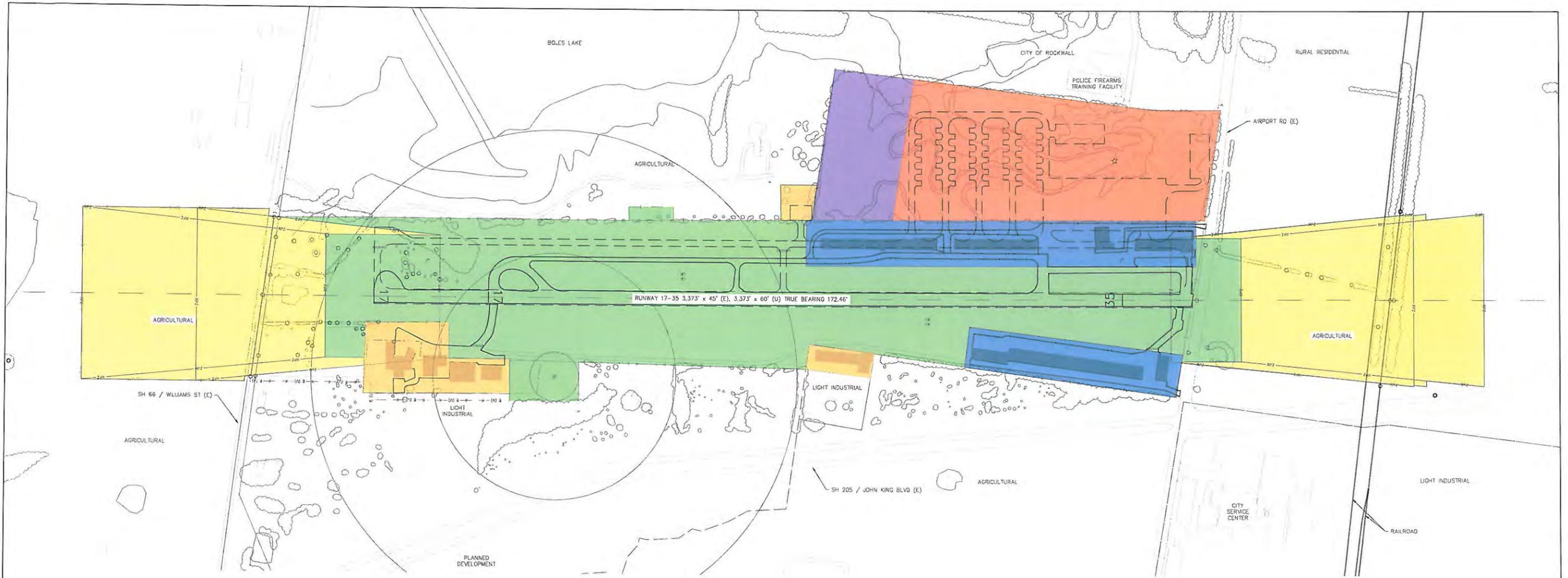
* OFFSETS FROM CENTERLINE ARE DESCRIBED RIGHT OR LEFT OF THE RUNWAY CENTERLINE AS SEEN BY A PILOT APPROACHING THE RUNWAY TO LAND
 ** ELEVATIONS ADJUSTED UPWARD 15' FOR PUBLIC ROADWAY, 17' FOR INTERSTATE HIGHWAY, 23' FOR RAILROADS
 NO OBSTRUCTION SURVEY COMPLETED. CONTOUR AND ELEVATION DATA FROM CITY OF ROCKWALL AND OTHER READILY AVAILABLE INFORMATION

RUNWAY 35 - PROFILE VIEW



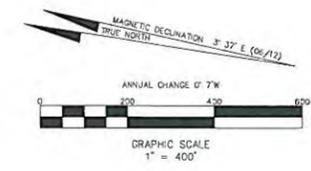
IPASD LEGEND		
FEATURE	EXISTING	ULTIMATE
RUNWAY/TAXIWAY OUTLINE	—	—
RUNWAY/TAXIWAY TO BE REMOVED	—	---
BUILDINGS/FACILITIES	■	■
AIRPORT PROPERTY LINE	—	—
AIRPORT PROPERTY LINE w/FENCE	—	—
THRESHOLD SITING SURFACE	—	—
FENCE LINE	—	—
THRESHOLD LIGHTS	••••	••••
RW END IDENTIFIER LIGHTS (REILS)	•	•
GROUND CONTOURS	—	—
SIGNIFICANT OBJECT PLAN VIEW	○	○
SIGNIFICANT OBJECT PROFILE VIEW	⊥	⊥
TREES/BRUSH	□	□

TEXAS DEPARTMENT OF TRANSPORTATION AVIATION DIVISION ALP APPROVED ACCORDING TO FAA AC 150/5300-13A CHANGE 1 PLUS THE REQUIREMENTS OF A FAVORABLE ENVIRONMENTAL FINDING AND FAA NIRA STUDY PRIOR TO THE START OF ANY LAND ACQUISITION OR CONSTRUCTION ON AIRPORT PROPERTY. COPYRIGHT 2014 TXDOT AVIATION DIVISION. ALL RIGHTS RESERVED.		AIRPORT SPONSOR CURRENT AND FUTURE DEVELOPMENT DEPICTED ON THIS ALP IS APPROVED AND SUPPORTED BY AIRPORT SPONSOR. SPONSOR ACKNOWLEDGES APPROVAL OF ALP BY TxDOT DOES NOT CONSTITUTE A COMMITMENT TO FUNDING.	
DAVID FULTON, DIRECTOR, AVIATION DIVISION	DATE	SIGNATURE	DATE
PREPARED BY: GARVER GARVER, LLC 3010 GAYLORD PKWY, #190 FRISCO, TX 75034 (972) 377-7480 (372) 377-8380 FAX		DATE: APRIL 2015 DATE: APRIL 2015	
IPASD RUNWAY 35 RALPH M. HALL MUNICIPAL AIRPORT ROCKWALL, TEXAS (F46)			

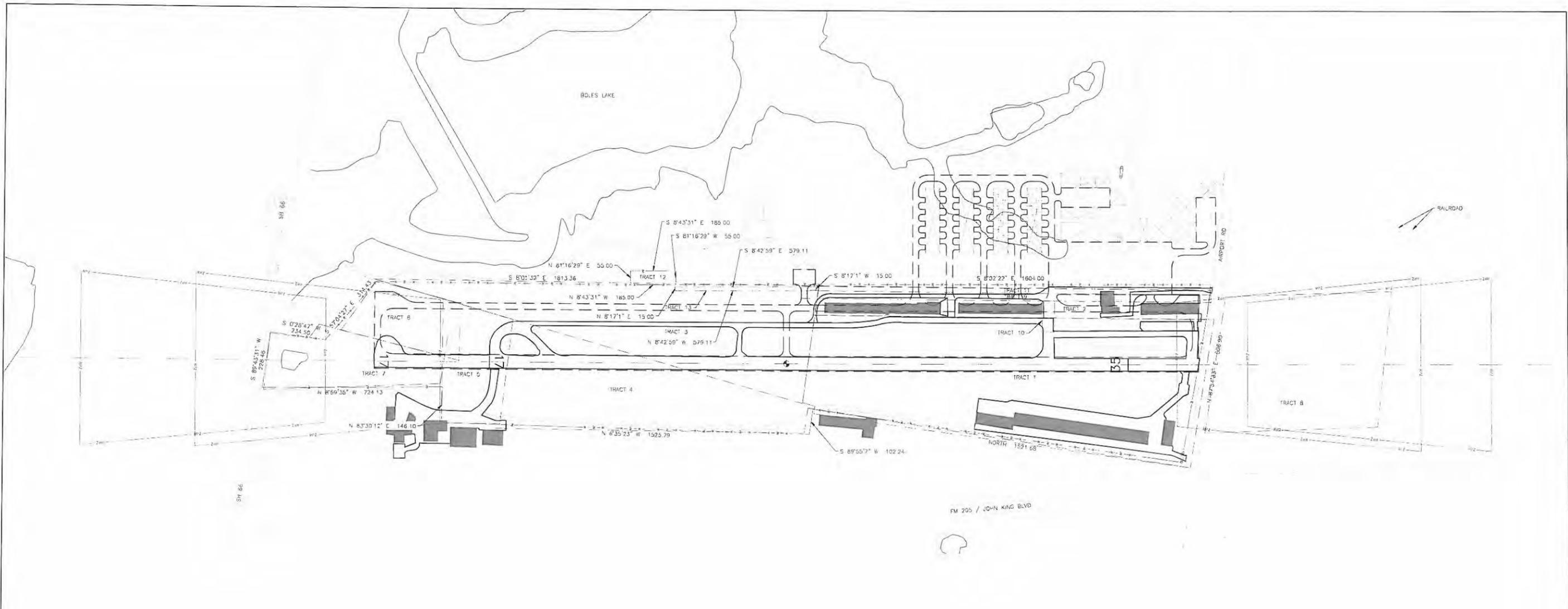


LEGEND

- AIRPORT OPERATIONS PROTECTED AREA
- TERMINAL AREA (E)
- RUNWAY PROTECTION ZONE AREA (E/U)
- TERMINAL AREA DEVELOPMENT (U)
- THROUGH-THE-FENCE HANGAR AREA (E)
- TENANT DEVELOPMENT AREA (U)

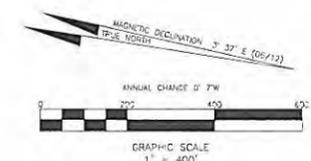


<p>TEXAS DEPARTMENT OF TRANSPORTATION AVIATION DIVISION</p> <p>ALP APPROVED ACCORDING TO FAA AC 150/5300-13A CHANGE 1 PLUS THE REQUIREMENTS OF A FAVORABLE ENVIRONMENTAL FINDING AND FAA NHA STUDY PRIOR TO THE START OF ANY LAND ACQUISITION OR CONSTRUCTION ON AIRPORT PROPERTY.</p> <p>COPYRIGHT 2014 TXDOT AVIATION DIVISION, ALL RIGHTS RESERVED.</p> <p>DAVID FULTON, DIRECTOR, AVIATION DIVISION DATE _____</p>	<p>AIRPORT SPONSOR</p> <p>CURRENT AND FUTURE DEVELOPMENT DEPICTED ON THIS ALP IS APPROVED AND SUPPORTED BY AIRPORT SPONSOR.</p> <p>SPONSOR ACKNOWLEDGES APPROVAL OF ALP BY TXDOT DOES NOT CONSTITUTE A COMMITMENT TO FUNDING.</p> <p>_____ TITLE: AIRPORT SPONSOR'S REPRESENTATIVE DATE _____</p>
<p>PREPARED BY:</p> <p>GARVER GARVER, LLC 3010 CAYLORD PKWY, #190 FRISCO, TX 75034 (972) 377-7480 (972) 377-8380 FAX</p>	<p>PLH APRIL, 2015 DESIGNED BY DATE</p> <p>JAH APRIL, 2015 DRAWN BY DATE</p>
<p>LAND USE DRAWING RALPH M. HALL MUNICIPAL AIRPORT ROCKWALL, TEXAS (F46)</p>	
<p>Aviation Division</p>	
<p>SHEET 5 OF 6</p>	



AIRPORT PROPERTY DATA TABLE

TRACT	ACRES	TITLE	GRANTOR/REMARKS	COUNTY RECORD VOL PAGE	DATE	FUNDING
1	17.99	FEE SIMPLE	ROY L COLE	VOL 53 / PG 47	10/20/55	
2	4.40	FEE SIMPLE	DALROCK CORPORATION	VOL 169 / PG 51	10/09/67	
3	9.60	FEE SIMPLE	ROY L COLE	VOL 53 / PG 48	10/01/55	
4	7.76	FEE SIMPLE	W L DUDLEY & CATHERINE DUDLEY	VOL 53 / PG 250	1/17/56	
5	2.84	FEE SIMPLE	ROY L COLE	VOL 53 / PG 48	10/20/55	
6	1.75	FEE SIMPLE	WILLIAM A. CURFMAN & GLADYS CURFMAN	VOL 87 / PG 525	4/21/69	
7	3.70	FEE SIMPLE	WILLIAM A. CURFMAN & GLADYS CURFMAN	VOL 87 / PG 526	4/21/69	
8	9.04	EASEMENT	F.B. ATHEY & RUBY ATHEY	VOL 87 / PG 381	6/20/69	
9	1.92	EASEMENT	CITY OF ROCKWALL	VOL XX / PG. 627	10/09/64	
10	0.4	EASEMENT	CITY OF ROCKWALL	VOL XX / PG. 627	10/09/64	
11	0.77	EASEMENT	HAROLD B. YOUNGER & ROBERT H. BURKS	VOL 71 / PG. 140	10/02/64	
12	0.234	EASEMENT	MICHAEL L. PEOPLES	VOL 5118 / PG. 239	1/18/11	
13	0.192	EASEMENT	RALPH M. HALL MUNICIPAL AIRPORT	VOL 5118 / PG. 239	7/20/11	



TEXAS DEPARTMENT OF TRANSPORTATION AVIATION DIVISION ALP APPROVED ACCORDING TO FAA AC 150/5300-13A CHANGE 1 PLUS THE REQUIREMENTS OF A FAVORABLE ENVIRONMENTAL FINDING AND FAA NEA STUDY PRIOR TO THE START OF ANY LAND ACQUISITION OR CONSTRUCTION ON AIRPORT PROPERTY. COPYRIGHT 2014 TxDOT AVIATION DIVISION, ALL RIGHTS RESERVED.		AIRPORT SPONSOR CURRENT AND FUTURE DEVELOPMENT DEPICTED ON THIS ALP IS APPROVED AND SUPPORTED BY AIRPORT SPONSOR. SPONSOR ACKNOWLEDGES APPROVAL OF ALP BY TxDOT DOES NOT CONSTITUTE A COMMITMENT TO FUNDING.	
DAVID FULTON, DIRECTOR, AVIATION DIVISION	DATE	SIGNATURE	DATE
PREPARED BY:  GARVER 3010 GAYLORD PKWY, #190 FRISCO, TX 75034 (972) 377-7480 (972) 377-8380 FAX		DESIGNED BY: APRIL 2015 DATE DRAWN BY: APRIL 2015 DATE	
PROPERTY MAP RALPH M. HALL MUNICIPAL AIRPORT ROCKWALL, TEXAS (F46)			 Texas Department of Transportation Aviation Division SHEET 6 OF 6

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and City Council Members

FROM: Kristy Cole, City Secretary / Assistant to the City Manager / EMC

DATE: January 29, 2016

SUBJECT: Appointments to the Historic Preservation Advisory Board

Included for consideration by the full city council are two applicants for placement on the city's Historic Preservation Advisory Board (HPAB). Mayor Pruitt is the city council liaison to this board, and these two applicants are being brought forth for consideration at his direction. I have included each of their applications in your informational packet.

Should these two individuals be appointed by Council Monday evening, they would be filling unexpired terms on the board, one of which would expire in August of 2016 and the other would expire in August of 2017.

Staff is available to answer any questions the council may have concerning this matter.

Cole, Kristy

From:

1:37 PM

To: Cole, Kristy; Casey, Jacky

Subject: Boards & Commissions Application

NAME & ADDRESS

Jay Odom
405 N Fannin St
Rockwall, TX 75087

VOTER REGISTRATION

Registered Voter: Yes 1042989670

PHONE NUMBERS & EMAIL

Home:
Cell:
Email:

PERSONAL DETAILS

Ive been a Rockwall resident since 2002. My wife and I have lived in old homes for many, many years and love everything about them. I have a great interest in design and architect and protecting the beauty of homes built from years ago. They possess an intangible characteristic that you can feel but sometimes cant even see. This characteristic cannot be replicated in todays world even if exact replicas of historic homes are built. Ive proudly owned two homes in the historic district (601 Parks Ave) and my current home on N Fannin St. I am the owner of Rockwall Mortgage Co (established in 2007) which is located in the historic business area of downtown Rockwall. I attended SMU in Dallas during the early 90s, majoring in Music Performance.

BOARDS & COMMISSIONS

Interested in Special Committee or Projects? - *Yes*

Architectural Review Board No		Board of Adjustments No
Building & Standards No		Parks Boards No
HPAB Yes		REDC No
P&Z No		Rockwall Housing No
Construction Advisory No		

ART Commission - No Visual Arts Professional - No Environmental Design Field - No
--

Rockwall Alliance for the Arts - No
Interested Citizen - No

Main Street Board - No
Downtown Business Owner - No
Downtown Property Owner- No
Interested Citizen - No

Cole, Kristy

From:
Sent: Monday, January 25, 2016 10:58 AM
To: Cole, Kristy; Casey, Jacky
Subject: Boards & Commissions Application

NAME & ADDRESS

Beverly Bowlin
2720 Massey Lane
Rockwall, TX 75032

VOTER REGISTRATION

Registered Voter: Yes 1052636107

PHONE NUMBERS & EMAIL

Home:
Cell:
Email:

PERSONAL DETAILS

I have 4 year degree and I am a small business owner with 30 years experience in retirement planning and private wealth management. I enjoy church membership, charity work and love Rockwall. I would like to be of service in whatever capacity needed.

BOARDS & COMMISSIONS

Interested in Special Committee or Projects? - *Yes*

Architectural Review Board No		Board of Adjustments No	
Building & Standards No		Parks Boards No	
HPAB No		REDC Yes	
P&Z Yes		Rockwall Housing No	Airport Advisory Board No
Construction Advisory No			

ART Commission - Yes

Visual Arts Professional - No
Environmental Design Field - No
Rockwall Alliance for the Arts - No
Interested Citizen - Yes

Main Street Board - Yes

Downtown Business Owner - No

Downtown Property Owner- No

Interested Citizen - Yes

THIS PAGE INTENTIONALLY LEFT BLANK



City of Rockwall
The New Horizon

Building Inspections Department Monthly Report

December 2015

Permits

Total Permits Issued: 240

Building Permits: 41

Contractor Permits: 199

Total Permit Values: \$ 8,686,552.77

Building Permits: \$ 1,529,595.77 Contractor Permits: \$ 7,156,957

Total Fees Collected: \$ 183,099.73

Building Permits: \$ 168,476.94

Contractor Permits: \$ 14,622.79

Board of Adjustment

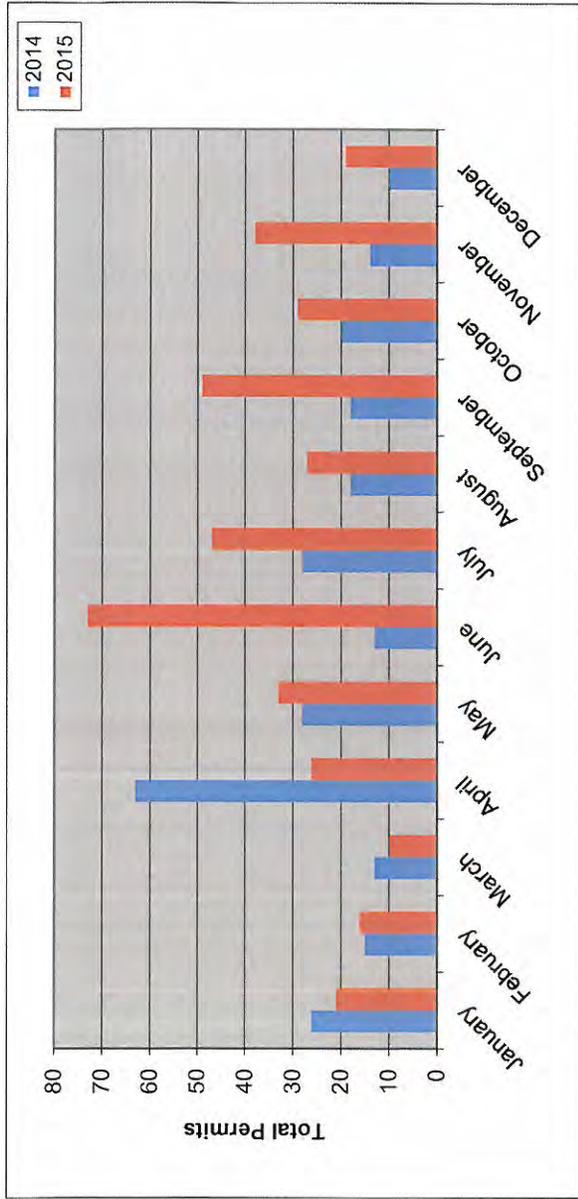
Board of Adjustment Cases 0

PERMITS ISSUED - Summary by Type and Subtype
For the Period 12/1/2015 thru 12/31/2015

Type / SubType	# of Permits Issued	Valuation of Work	Fees Charged
BANNER	4	\$0.00	\$201.50
30 DAY BANNER	4	\$0.00	\$201.50
CLEAN SHOW	1	\$0.00	\$76.50
CO	11	\$0.00	\$828.00
BUSINESS	9	\$0.00	\$676.50
NEW	1	\$0.00	\$76.50
NEW CONSTRUCTION	1	\$0.00	\$75.00
COMM	24	\$3,487,495.41	\$60,894.19
ALTERATION	2	\$550,000.00	\$3,970.50
CONCRETE	1	\$8,055.00	\$182.33
CONST TRAILER	1	\$0.00	\$102.00
ELECTRICAL	4	\$18,900.00	\$437.20
FENCE	2	\$19,200.00	\$71.50
INTERIOR COMP	2	\$750,000.00	\$5,144.21
IRRIGATION	1	\$0.00	\$36.50
MECHANICAL	3	\$202,900.41	\$2,044.24
NEW	1	\$1,500,000.00	\$47,101.42
PLUMBING	2	\$9,740.00	\$239.65
REMODEL	3	\$100,200.00	\$1,454.64
RETAINING WALL	1	\$325,000.00	\$75.00
ROOF	1	\$3,500.00	\$35.00
SIGNAGE	10	\$0.00	\$1,257.50
MONUMENT	3	\$0.00	\$428.00
WALL	7	\$0.00	\$829.50
SINGLE FAMILY	182	\$5,199,057.36	\$119,190.54
ACC BLDG	5	\$9,288.00	\$385.12
ADDITION	4	\$34,224.00	\$711.18
CONCRETE	2	\$19,000.00	\$371.75
ELECTRICAL	5	\$28,754.00	\$276.45
FENCE	36	\$129,983.00	\$1,665.35
IRRIGATION	32	\$49,050.00	\$1,125.00
MECHANICAL	7	\$63,364.00	\$1,314.35
NEW	19	\$4,185,128.00	\$108,983.71
PATIO COVER	4	\$28,117.00	\$624.16
PLUMBING	30	\$35,170.89	\$1,699.47
RETAINING WALL	4	\$9,200.00	\$140.00
ROOF	21	\$240,428.52	\$746.00
SWIM POOL	6	\$335,000.00	\$903.00
WINDOWS	7	\$32,349.95	\$245.00
SPECIAL EVENT	7	\$0.00	\$351.50
TCO	1	\$0.00	\$300.00
NEW CONSTRUCTION	1	\$0.00	\$300.00
Totals:	240	\$8,686,552.77	\$183,099.73

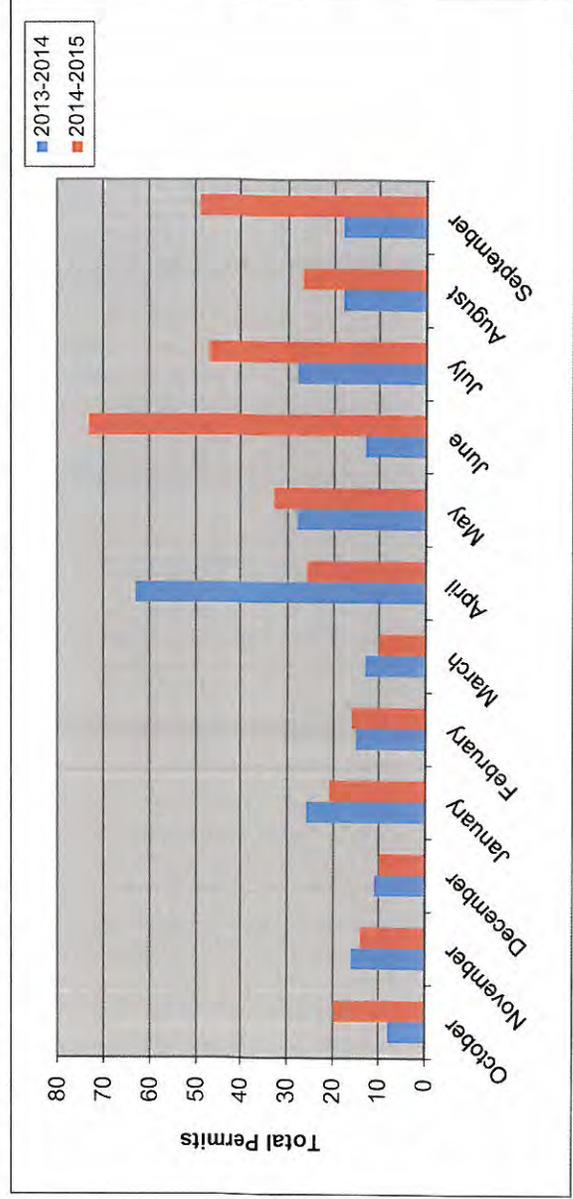
New Residential Permits Calendar Year

	Year	
	2014	2015
January	26	21
February	15	16
March	13	10
April	63	26
May	28	33
June	13	73
July	28	47
August	18	27
September	18	49
October	20	29
November	14	38
December	10	19
Totals	266	388



New Residential Permits Fiscal Year

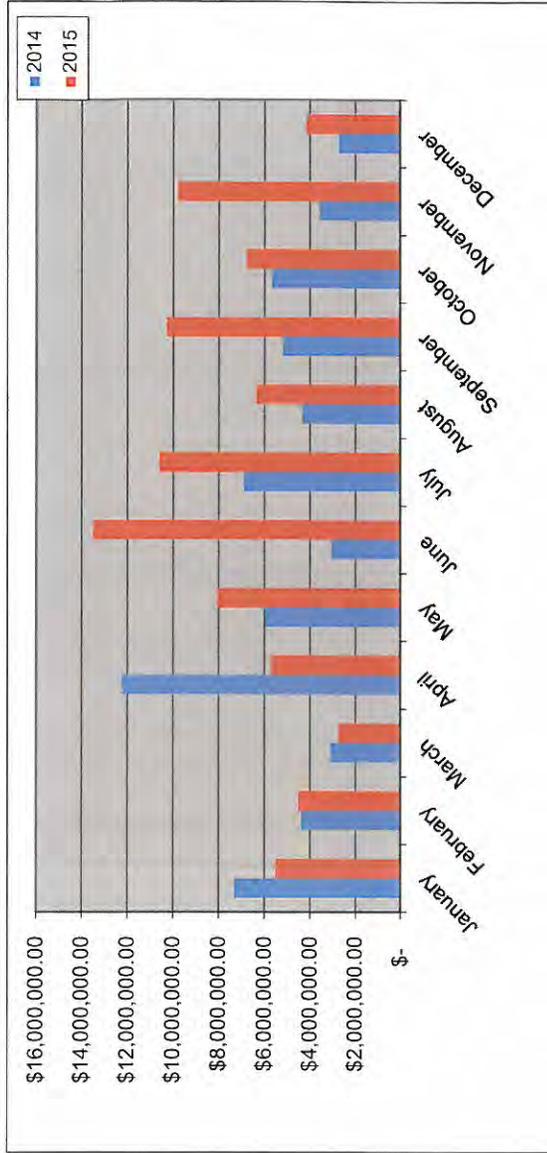
	Year	
	2013-2014	2014-2015
October	8	20
November	16	14
December	11	10
January	26	21
February	15	16
March	13	10
April	63	26
May	28	33
June	13	73
July	28	47
August	18	27
September	18	49
Totals	257	346



New Residential Value

Calendar Year

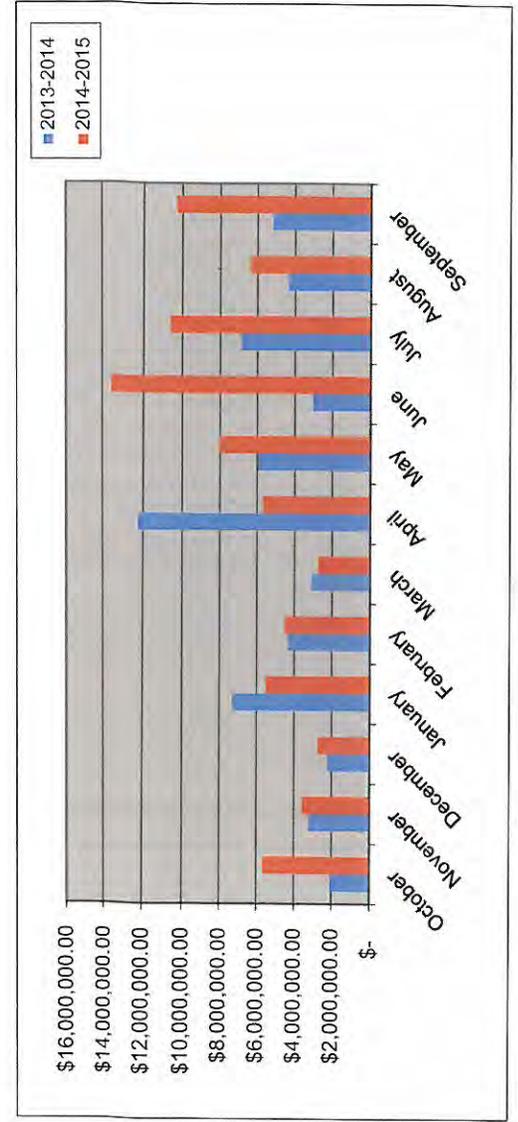
	Year	
	2014	2015
January	\$ 7,288,000.00	\$ 5,509,932.00
February	\$ 4,353,427.00	\$ 4,518,552.00
March	\$ 3,094,927.74	\$ 2,742,324.00
April	\$ 12,228,936.33	\$ 5,703,968.00
May	\$ 5,960,240.00	\$ 8,039,718.52
June	\$ 3,048,536.00	\$ 13,489,179.50
July	\$ 6,883,062.87	\$ 10,619,616.00
August	\$ 4,330,100.19	\$ 6,369,414.00
September	\$ 5,184,201.79	\$ 10,314,177.00
October	\$ 5,661,792.00	\$ 6,812,889.57
November	\$ 3,581,756.00	\$ 9,823,135.00
December	\$ 2,712,503.00	\$ 4,185,128.00
Totals	\$64,327,482.92	\$ 88,128,033.59



New Residential Value

Fiscal Year

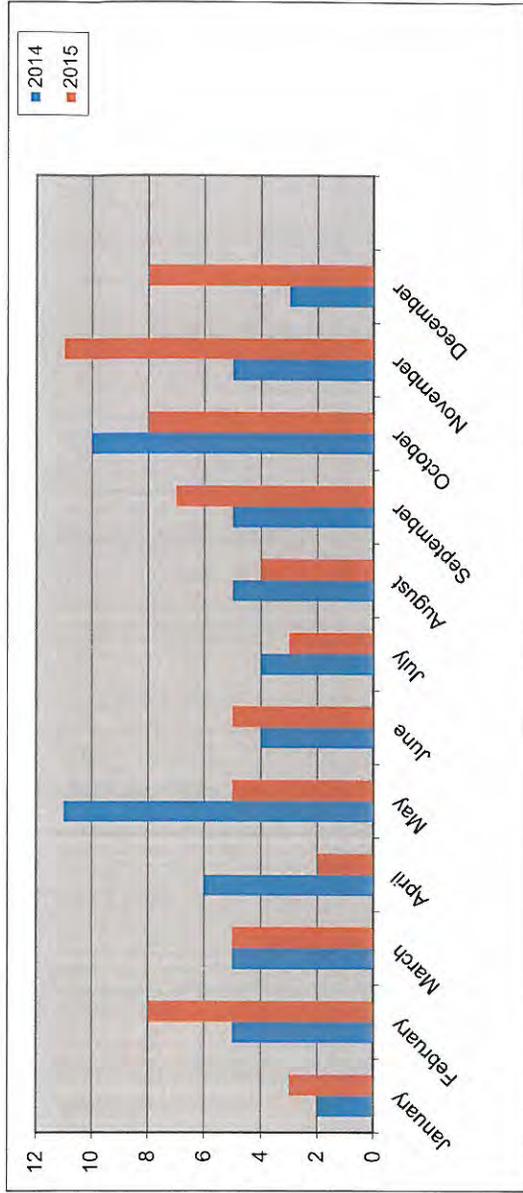
	Year	
	2013-2014	2014-2015
October	\$ 2,078,584.00	\$ 5,661,792.00
November	\$ 3,202,067.00	\$ 3,581,756.00
December	\$ 2,215,924.00	\$ 2,712,503.00
January	\$ 7,288,000.00	\$ 5,509,932.00
February	\$ 4,353,427.00	\$ 4,518,552.00
March	\$ 3,094,927.74	\$ 2,742,324.00
April	\$ 12,228,936.33	\$ 5,703,968.00
May	\$ 5,960,240.00	\$ 8,039,718.52
June	\$ 3,048,536.00	\$ 13,489,179.50
July	\$ 6,883,062.87	\$ 10,619,616.00
August	\$ 4,330,100.19	\$ 6,369,414.00
September	\$ 5,184,201.79	\$ 10,314,177.00
Totals	\$59,868,006.92	\$ 79,262,932.02



Residential Remodel Permits

Calendar Year

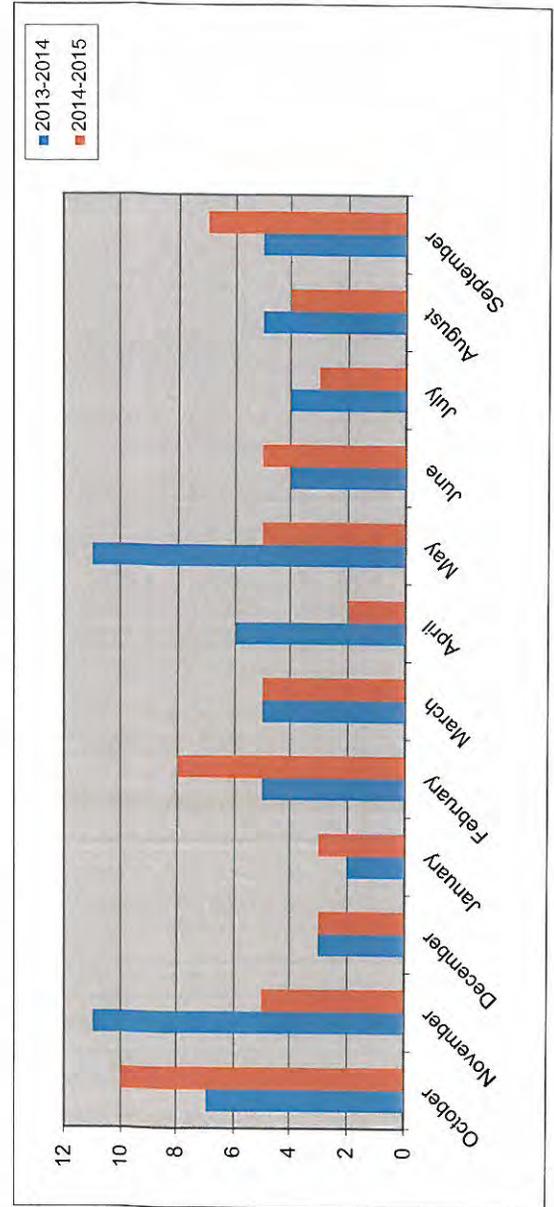
	Year	
	2014	2015
January	2	3
February	5	8
March	5	5
April	6	2
May	11	5
June	4	5
July	4	3
August	5	4
September	5	7
October	10	8
November	5	11
December	3	8
Totals	65	69



Residential Remodel Permits

Fiscal Year

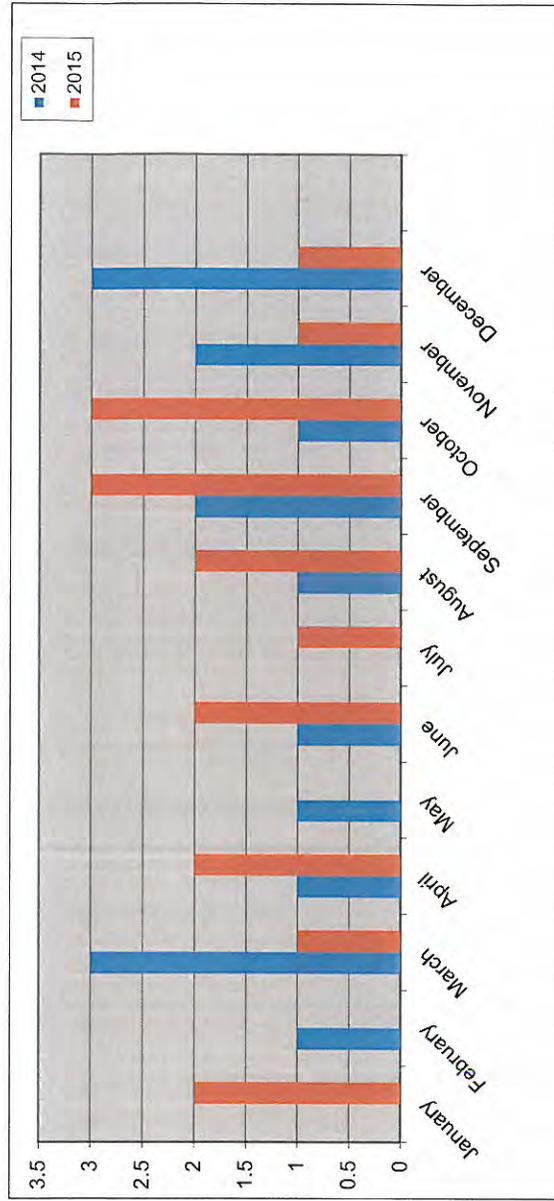
	Year	
	2013-2014	2014-2015
October	7	10
November	11	5
December	3	3
January	2	3
February	5	8
March	5	5
April	6	2
May	11	5
June	4	5
July	4	3
August	5	4
September	5	7
Totals	68	60



New Commercial Permits

Calendar Year

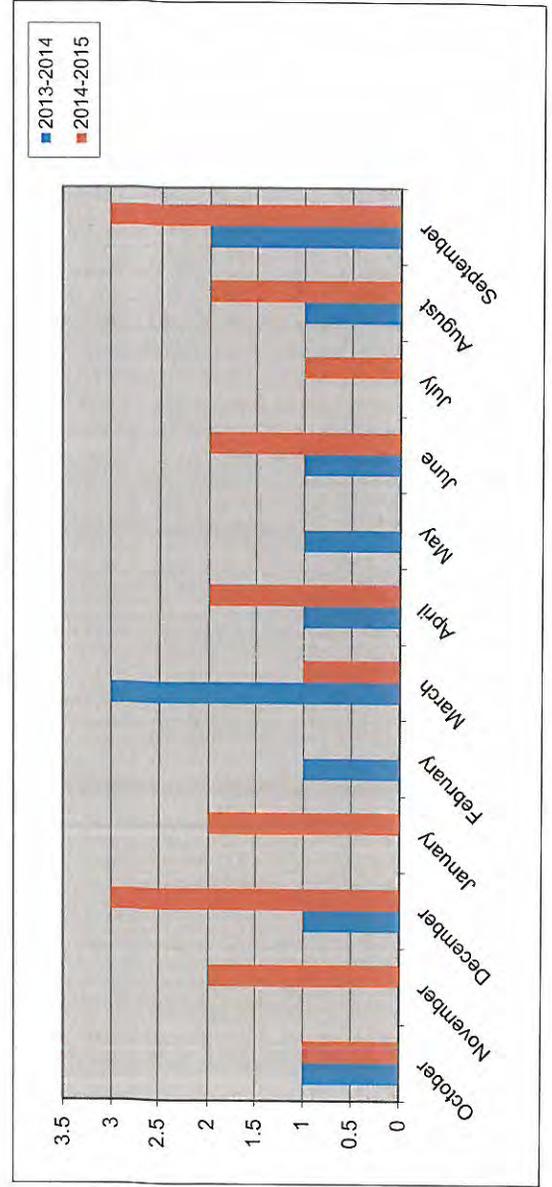
	Year	
	2014	2015
January	0	2
February	1	0
March	3	1
April	1	2
May	1	0
June	1	2
July	0	1
August	1	2
September	2	3
October	1	3
November	2	1
December	3	1
Totals	16	18



New Commercial Permits

Fiscal Year

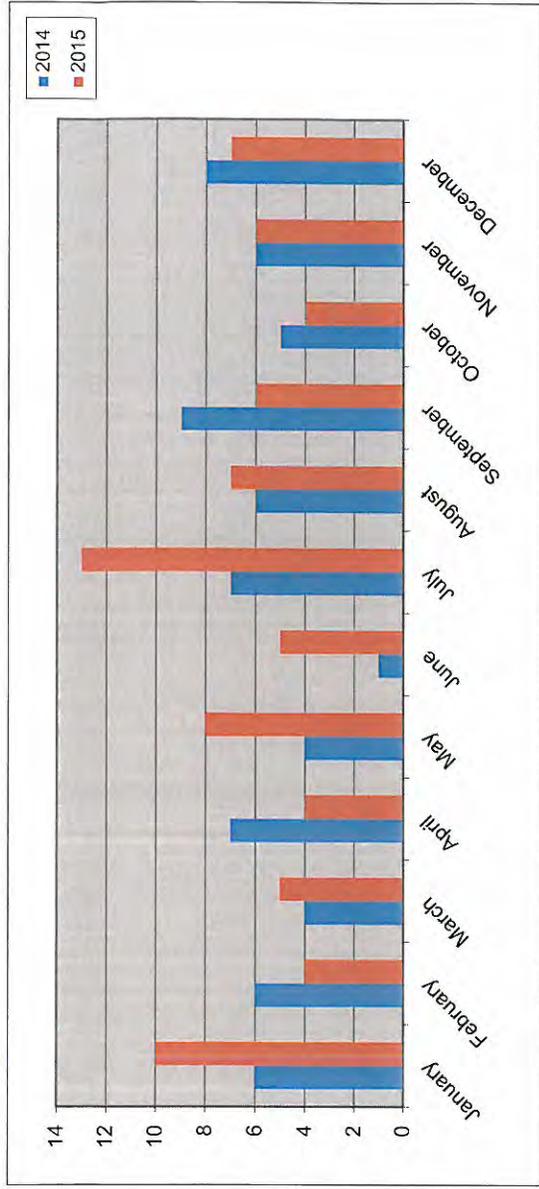
	Year	
	2013-2014	2014-2015
October	1	1
November	0	2
December	1	3
January	0	2
February	1	0
March	3	1
April	1	2
May	1	0
June	1	2
July	0	1
August	1	2
September	2	3
Totals	12	19



Commercial Remodel Permits

Calendar Year

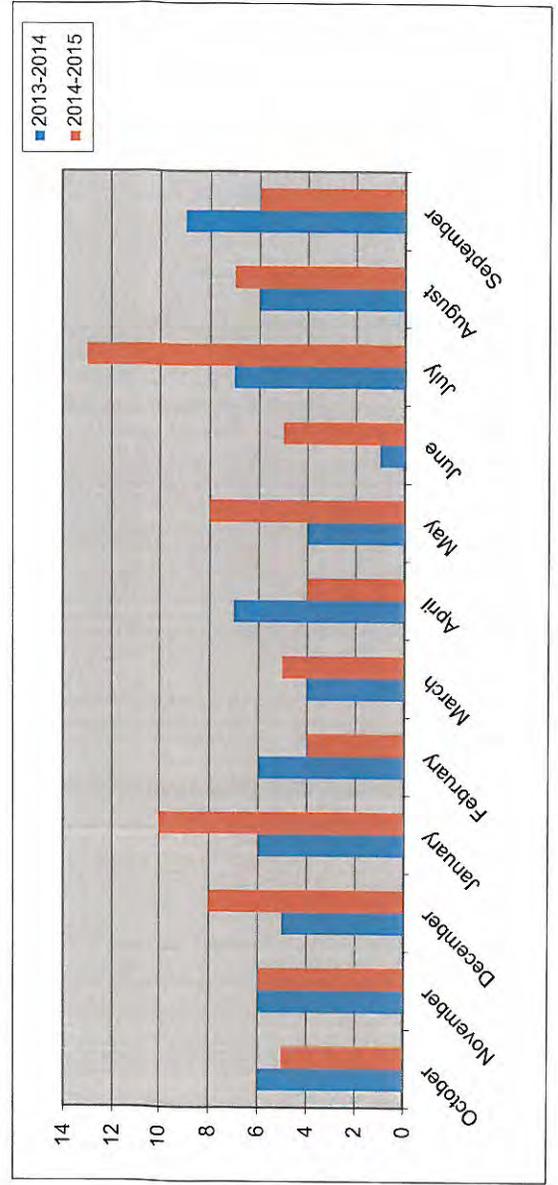
	Year	
	2014	2015
January	6	10
February	6	4
March	4	5
April	7	4
May	4	8
June	1	5
July	7	13
August	6	7
September	9	6
October	5	4
November	6	6
December	8	7
Totals	69	79



Commercial Remodel Permits

Fiscal Year

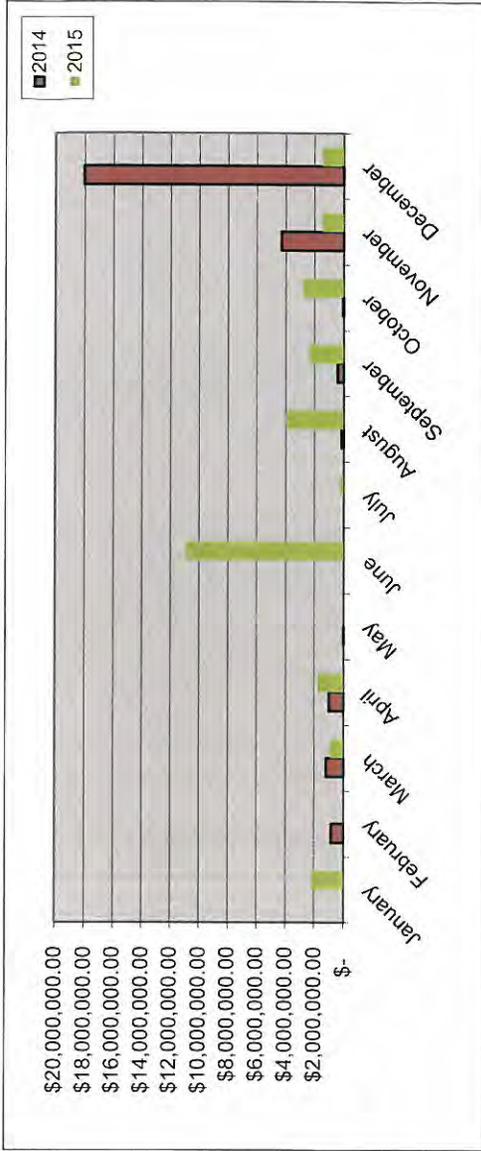
	Year	
	2013-2014	2014-2015
October	6	5
November	6	6
December	5	8
January	6	10
February	6	4
March	4	5
April	7	4
May	4	8
June	1	5
July	7	13
August	6	7
September	9	6
Totals	67	81



New Commercial Value

Calendar Year

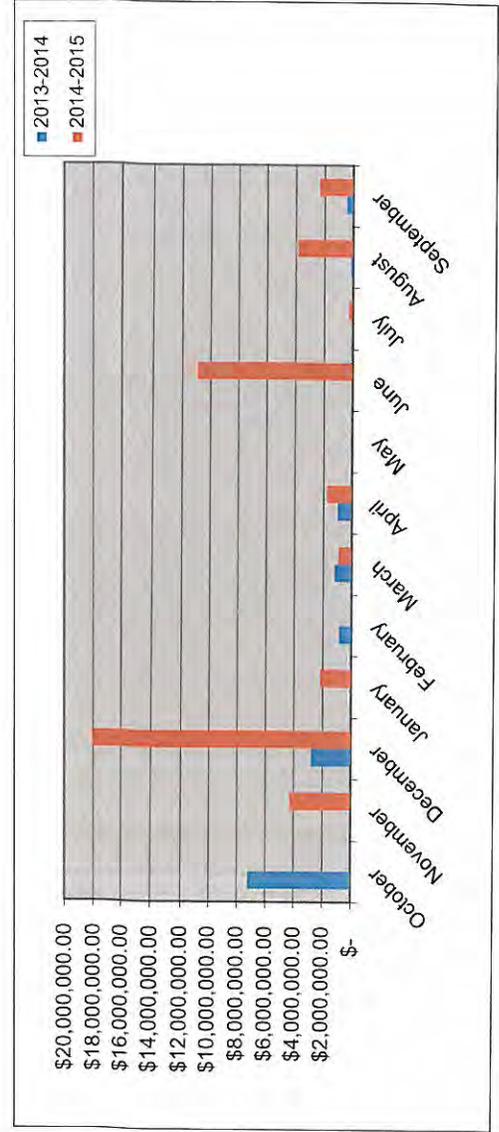
	Year	
	2014	2015
January	\$ -	\$ 2,200,000.00
February	\$ 850,000.00	\$ -
March	\$ 1,185,000.00	\$ 930,000.00
April	\$ 1,000,000.00	\$ 1,780,000.00
May	\$ 5,000.00	\$ -
June	\$ -	\$ 10,900,000.00
July	\$ -	\$ 282,279.31
August	\$ 150,000.00	\$ 3,903,000.00
September	\$ 430,795.00	\$ 2,370,000.00
October	\$ 49,000.00	\$ 2,830,000.00
November	\$ 4,300,000.00	\$ 1,500,000.00
December	\$ 18,050,000.00	\$ 1,500,000.00
Totals	\$ 26,019,795.00	\$ 28,195,279.31



New Commercial Value

Fiscal Year

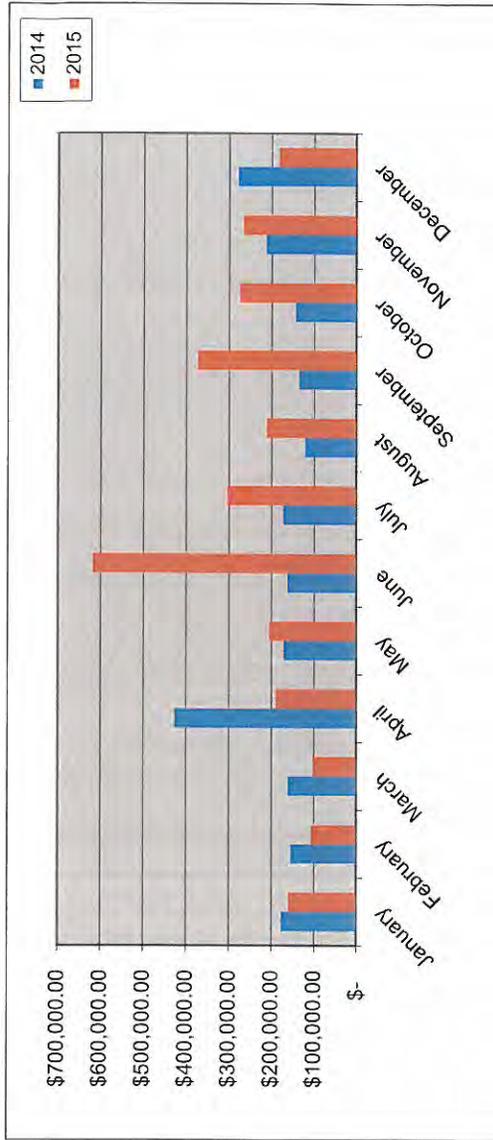
	Year	
	2013-2014	2014-2015
October	\$ 7,225,000.00	\$ 49,000.00
November	\$ -	\$ 4,300,000.00
December	\$ 2,800,000.00	\$ 18,050,000.00
January	\$ -	\$ 2,200,000.00
February	\$ 850,000.00	\$ -
March	\$ 1,185,000.00	\$ 930,000.00
April	\$ 1,000,000.00	\$ 1,780,000.00
May	\$ 5,000.00	\$ -
June	\$ -	\$ 10,900,000.00
July	\$ -	\$ 282,279.31
August	\$ 150,000.00	\$ 3,903,000.00
September	\$ 430,795.00	\$ 2,370,000.00
Totals	\$ 13,645,795.00	\$ 44,764,279.31



Total Fees Collected

Calendar Year

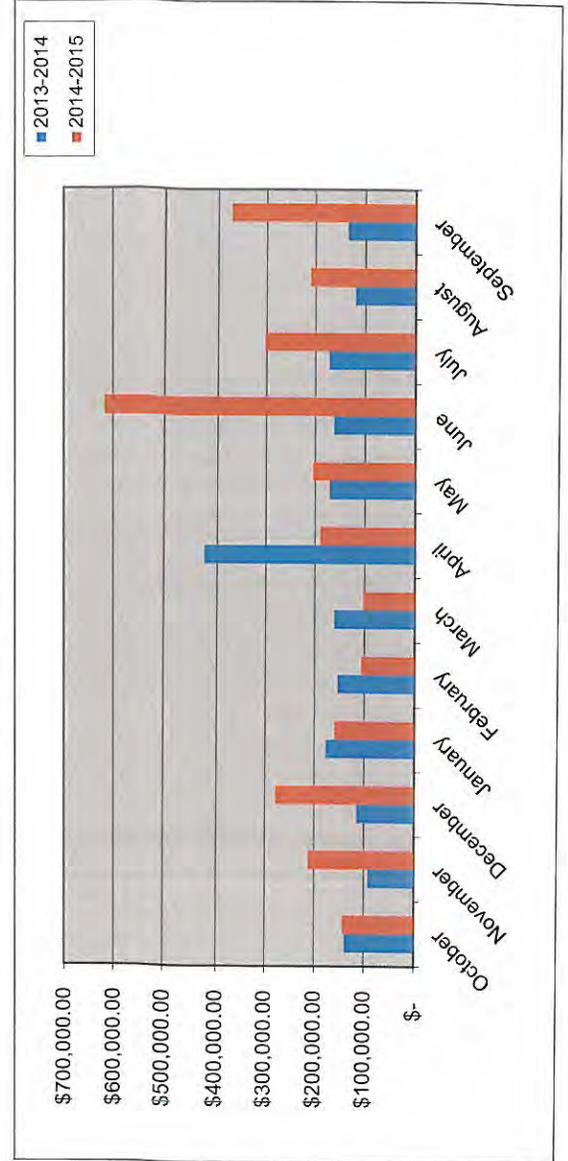
	Year	
	2014	2015
January	\$ 176,162.63	\$ 159,026.65
February	\$ 153,458.98	\$ 106,693.21
March	\$ 160,530.91	\$ 103,029.95
April	\$ 425,003.86	\$ 189,684.37
May	\$ 170,849.07	\$ 204,062.18
June	\$ 161,690.82	\$ 618,061.51
July	\$ 172,232.70	\$ 303,359.40
August	\$ 120,790.39	\$ 210,598.47
September	\$ 135,478.13	\$ 373,210.63
October	\$ 143,153.00	\$ 274,380.31
November	\$ 212,222.54	\$ 265,948.80
December	\$ 277,864.58	\$ 183,099.73
Totals	\$ 2,309,437.61	\$ 2,991,155.21



Total Fees Collected

Fiscal Year

	Year	
	2013-2014	2014-2015
October	\$ 138,771.53	\$ 143,153.00
November	\$ 91,778.83	\$ 212,222.54
December	\$ 114,645.28	\$ 277,864.58
January	\$ 176,162.63	\$ 159,026.65
February	\$ 153,458.98	\$ 106,693.21
March	\$ 160,530.91	\$ 103,029.95
April	\$ 425,003.86	\$ 189,684.37
May	\$ 170,849.07	\$ 204,062.18
June	\$ 161,690.82	\$ 618,061.51
July	\$ 172,232.70	\$ 303,359.40
August	\$ 120,790.39	\$ 210,598.47
September	\$ 135,478.13	\$ 373,210.63
Totals	\$ 2,021,531.39	\$ 2,900,966.49



City of Rockwall
PERMITS ISSUED

For the Period 12/1/2015 thru 12/31/2015

Permit Number	Permit Type	Site Address	Parcel Number	Valuation	Total Fees	Fees Paid
Application Date	Subtype	Subdivision Name	Plan Number		Total SQFT	
Issue Date	Status of Permit					
CO2015-0089	CO	606 S CLARK ST		0.00	\$ 75.00	\$ 75.00
8/28/2015	BUSINESS	4420-0003-0027-00-0R				
12/3/2015	Active	HARTMAN ADDITION				
		Mike Hogue			0	
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	MOORE, JAMES L		ROCKWALL	TX	75087	
BUSINESS	Mike Hogue	606 S Clark	Rockwall	TX	75087	
APPLICANT	Mike Hogue	1498 Hubbard Dr.	Forney	TX	75126	(214) 801-0635
BUS OWNER	Mike Hogue	606 S Clark	Rockwall	TX	75087	
CO2015-0106	CO	2951 Ridge Rd 119		0.00	\$ 75.00	\$ 75.00
10/2/2015	BUSINESS	4009-000A-0017-00-0R				
12/7/2015	ACTIVE	HORIZON RIDGE ADDITION				
		Dickey's Barbecue Pit			0	
Contact Type	Contact Name	Contact Address				Phone Number
APPLICANT	Myoungcheul Kim	3305 Patriot Dr.	Plano	TX	75025	(972) 772-7776
INSP RPT EMAIL	Myoungcheul Kim	2951 Ridge Rd # 119	Rockwall	TX	75032	(972) 772-7776
BUS OWNER	Myoungcheul Kim	2951 Ridge Rd # 119	Rockwall	TX	75032	(972) 772-7776
OWNER	REGENCY, CENTERS LP		CINCINNATI	OH	45202	
CO2015-0107	CO	2975 Discovery Blvd		0.00	\$ 75.00	\$ 75.00
10/8/2015	NEW CONSTRUCTION	4856-000B-0001-00-0R				
12/4/2015	ACTIVE	DISCOVERY BLVD & DATA DR (ROW)				
		Colmet Spray Booths			0	
Contact Type	Contact Name	Contact Address				Phone Number
BUS OWNER	Eric Jones	2975 Discovery Blvd,	Rockwall	TX	75032	(972) 772-1919
BUSINESS	COLMET SPRAY BOOTHS	2975 DISCOVERY BLVD.	Rockwall	TX	75032	(972) 772-1919
APPLICANT	Rick Losh					(817) 723-8718
CONTRACTOR	SCOTT & REID GENERAL CON	14785 PRESTON RD. #990	DALLAS	TX	75254	(469) 374-3400
OWNER	ROCKWALL, ECONOMIC DEV		ROCKWALL	TX	75087	
CO2015-0113	CO	2880 Ridge Road		0.00	\$ 75.00	\$ 75.00
10/29/2015	BUSINESS	3804-0001-0001-00-0R				
12/4/2015	ACTIVE	ECKERD ADDITION				
		Rockwall Health Center			0	
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	GARY HAMMER	12720 HILLCREST RD.	Dallas	TX	75230	(972) 960-6988
APPLICANT	SHAHRAM JAMALABADI					
BUS OWNER	Shahram Jamalabadi	2880 Ridge Road	Rockwall	TX	75032	(972) 722-4496
BUSINESS	ROCKWALL HEALTH CENTER	2880 RIDGE ROAD	Rockwall	TX	75032	(630) 488-0874

City of Rockwall
PERMITS ISSUED

For the Period 12/1/2015 thru 12/31/2015

Permit Number	Permit Type	Site Address	Parcel Number	Subdivision Name	Plan Number	Valuation	Total Fees	Total SQFT	Fees Paid
Application Date	Subtype								
Issue Date	Status of Permit								
CO2015-0116	CO	811 YELLOW JACKET 116				0.00	\$ 75.00		\$ 75.00
11/3/2015	BUSINESS	4830-0000-0001-C0-0R							
12/3/2015	Active	GARLAND FEDERAL SAVINGS & LOAN ADDN						0	
		Authentic Ridge Church							
Contact Type	Contact Name	Contact Address							Phone Number
BUS OWNER	Michael Chase Ridge	3105 Lakeside	ROCKWALL	TX	75087				(214) 931-5664
BUSINESS	Authentic Ridge Church	811 E Yellow Jacket	ROCKWALL	TX	75087				
OWNER	LANDLOW, LLC		ROCKWALL	TX	75087				
APPLICANT	Michael Chase Ridge	3105 Lakeside	ROCKWALL	TX	75087				(214) 931-5664
CO2015-0119	CO	2332 Greencrest Blvd.				0.00	\$ 75.00		\$ 75.00
11/11/2015	BUSINESS	5226-000A-0001-00-0R							
12/3/2015	ACTIVE	WAL-MART SUPER CENTER ADDITION						0	
		Fireside Chicken & Tacos							
Contact Type	Contact Name	Contact Address							Phone Number
OWNER	JLIU, ASSET MANAGEMENT L		DALLAS	TX	75234				
APPLICANT	Ardian Pozhegu								
BUS OWNER	Ardian Pozhegu	2332 Greencrest Blvd	Rockwall	TX	75087				(972) 533-0463
CO2015-0122	CO	3045 N Goliad St 107				0.00	\$ 75.00		\$ 75.00
11/24/2015	BUSINESS	4938-0001-0001-00-0R							
12/10/2015	ACTIVE	SHOPS AT RIDGE CREEK						0	
		Expert Cuts - New Interior finishout							
Contact Type	Contact Name	Contact Address							Phone Number
BUS OWNER	KIM CHI NGUYEN	3045 N GOLIAD ST.	ROCKWALL	TX	75087				
BUSINESS	EXPERT CUTS	909 NORTHWEST HWY	Garland	TX	75041				(972) 375-6993
OWNER	PCB, PROPERTIES LLC	ABDUL RAHMAN KHAN AND MA	BATON ROUGE	LA	70816				
APPLICANT	Toan Dan Du								(972) 375-6993
CONTRACTOR	EXPERT CUTS	909 NORTHWEST HWY	Garland	TX	75041				(972) 375-6993
MECH CONTR	Le Services	4518 Mimosa Cir	Sachse	TX	75048				(469) 360-5580
PLB CONTR	QKB Inc.	315 FoxGlove	Grand Prairie	TX	75052				(682) 551-8876
ELEC CONTR	Electra Plus	321 N. Rogers	Irving	TX	75061				(972) 254-1166
CO2015-0126	CO	102 Kenway				0.00	\$ 75.00		\$ 75.00
12/10/2015	BUSINESS	3140-0129-0000-00-0R							
12/17/2015	ACTIVE	B F BOYDSTON						0	
		Saint Matthias - Office Space							
Contact Type	Contact Name	Contact Address							Phone Number
OWNER	NBN, COMMERCIAL GROUP L		MESQUITE	TX	75150				
APPLICANT	Todd Bell	2913 Wild Oak Ln.	Rockwall	TX	75032				(214) 458-3368
BUS OWNER	Todd Bell	114 Kenway	Rockwall	TX	75087				(972) 771-1378
BUSINESS	Saint Matthias								

City of Rockwall
PERMITS ISSUED

For the Period 12/1/2015 thru 12/31/2015

Permit Number	Permit Type	Site Address	Parcel Number	Valuation	Total Fees	Fees Paid
Application Date	Subtype	Subdivision Name	Subdivision Name		Total SQFT	
Issue Date	Status of Permit	Plan Number	Plan Number			
CO2015-0128	CO	105 ST MARY'S PLACE 300		0.00	\$ 76.50	\$ 76.50
12/14/2015	BUSINESS	3140-0117-000D-00-0R				
12/18/2015	ACTIVE	B F BOYDSTON			0	
		DFW MEDICAL MASSAGE / ACTION FITNESS				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	BOND, DAVID L AND LOUIS /	DALLAS	TX	75243		
APPLICANT	DWIGHT TINNEY	Greenville	TX	75404		(903) 456-5712
BUS OWNER	DWIGHT TINNEY	Greenville	TX	75404		
BUSINESS	DFW MEDICAL MESSAGE/ AC					

CO2015-0130	CO	1200 YELLOW JACKET LN BLDG C		0.00	\$ 76.50	\$ 76.50
12/18/2015	NEW	3671-0001-0003-00-0R				
12/21/2015	ACTIVE	FIRST UNITED METHODIST CHURCH			0	
		First United Methodist Church - New Sanctuary Bld C				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	FIRST, UNITED METHODIST C	FINANCE OFFICE	ROCKWALL	TX	75087	
APPLICANT	Medco Construction	4005 Crutcher, #200	Dallas	TX	75226	(214) 820-2492
CONTRACTOR	Medco Construction	4005 Crutcher, #200	Dallas	TX	75226	(214) 820-2492
BUSINESS	First United Methodist Church	1200 E Yellow Jacket	ROCKWALL	TX	75087	
BUS OWNER	FIRST UNITED METHODIST CI	1200 E YELLOW JACKET LN.	ROCKWALL	TX	75087	(972) 771-5500

CO2015-0132	CO	955 W Ralph Hall Pkwy 101		0.00	\$ 75.00	\$ 75.00
12/22/2015	BUSINESS	4009-000B-0006-09-0R				
12/31/2015	ACTIVE	HORIZON RIDGE ADDITION			0	
		Kelly O'neill Insurance Agency				
Contact Type	Contact Name	Contact Address				Phone Number
OWNER	MILLER, ROLAND MORRIS III		ROCKWALL	TX	75087	
APPLICANT	Thomas K O'Neill	955 W Ralph Hall Pkwy Ste 101	ROCKWALL	TX	75087	(972) 772-4009
BUS OWNER	Thomas K O'Neill	955 W Ralph Hall Pkwy #101	Rockwall	TX	75032	(972) 772-4009

11 Permits Issued from: 12/1/2015 Thru: 12/31/2015

Total Valuation: \$ 0.00
Total Fees: \$ 828.00
Total Fees Paid: \$ 828.00

THIS PAGE INTENTIONALLY LEFT BLANK

THIS PAGE INTENTIONALLY LEFT BLANK



DECEMBER 2015 CALLS BY TYPE



City of Rockwall
The New Horizon

CITY CALLS Situation Type	December	COUNTY CALLS Situation Type	December
	#		#
111 Building fire	1	143 Grass fire	2
131 Passenger vehicle fire (cars, pickups, SUV's)	2	631 Authorized controlled burning	1
142 Brush or brush-and-grass mixture fire	1	743 Smoke detector activation, no fire - unintentional	1
311 Medical assist, assist EMS crew	2	Totals:	4
322 Motor vehicle accident with injuries	8		
323 Motor vehicle/pedestrian accident (MV Ped)	1		
324 Motor vehicle accident with no injuries.	13		
353 Removal of victim(s) from stalled elevator	1		
411 Gasoline or other flammable liquid spill	2		
412 Gas leak (natural gas or LPG)	6		
444 Power line down	1		
550 Public service assistance, other	2		
551 Assist police or other governmental agency	7		
553 Public service	5		
556 Public service - Non paged	9		
611 Dispatched & canceled en route	2		
651 Smoke scare, odor of smoke	8		
652 Steam, vapor, fog or dust thought to be smoke	1		
671 HazMat release investigation w/no HazMat	4		
733 Smoke detector activation due to malfunction	1		
735 Alarm system sounded due to malfunction	4		
736 CO detector activation due to malfunction	2		
740 Unintentional transmission of alarm, other	2		
743 Smoke detector activation, no fire - unintentional	11		
745 Alarm system activation, no fire - unintentional	10		
Unknown	2		
Totals:	108		

To: Chief Poindexter
From: BC Merritt
Re: December Structure Fire Report
Date: January 15, 2016

316 Lakeside

We responded to a report of a house on fire on December 9, 2015 at 316 Lakeside. Upon arrival firefighters reported a one story house with smoke coming from one end. Entry was made into the house and the fire was quickly located and extinguished. Moderate damage was done to the room of origin and the rest of the house sustained damage from the smoke. There were no firefighter injuries on this incident.

Dispatch Time: 10:00.50
Enroute Time: 10:02.01
On Scene Time: 10:04.29
Clear Time: 12:02.07

4 Men on Scene 10:07.54
8 Men on Scene
12 Men on Scene 10:12.43

Total personnel on scene: 2 Chiefs, 6 on duty personnel, 14 Volunteers, 1 Fire Investigator.

CITY RESPONSE
DECEMBER 2015

ENROUTE TIMES			
CITY CALLS	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0-1 1/2 Minutes		0-1 1/2 MINUTES	
CRITERIA MET %	22 OF 26 0.85%	CRITERIA MET %	4 of 4 100.00%
CRITERIA -ACHIEVE RESPONSE TIME	Criteria Not met	CRITERIA -ACHIEVE RESPONSE TIME	Criteria Met
90% OF TIME IN BOXES WITH STATIONS		60% OF TIME IN BOXES WITH STATIONS	
ARRIVAL TIMES			
	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
0-6 MINUTES		0-6 MINUTES	
CRITERIA MET %	25 of 26 0.96%	CRITERIA MET %	4 of 4 100.00%
CRITERIA -ACHIEVE RESPONSE TIME	Criteria Met	CRITERIA -ACHIEVE RESPONSE TIME	Criteria Met
90% OF TIME IN BOXES WITH STATIONS		60% OF TIME IN BOXES WITH STATIONS	
RESPONSE TIMES			
	STATIONS 1,2,3 and 4 TO BOXES WITH STATIONS		STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
CITY CALLS		0-7 1/2 MINUTES	
0-7 1/2 MINUTES		CRITERIA MET %	4 of 4 100.00%
CRITERIA MET %	25 of 26 0.96%	CRITERIA -ACHIEVE RESPONSE TIME	Criteria Met
CRITERIA -ACHIEVE RESPONSE TIME	Criteria Met	60% OF TIME IN BOXES WITH STATIONS	
90% OF TIME IN BOXES WITH STATIONS			

ENROUTE OVERAGES
CITY CALLS
DECEMBER 2015

venue	alarm date	alarm time	enroute time	Alarm to Enroute	inc. number	Fire Incident Station	Lights and Sirens	apparatus	Reason for overages
Rockwall	12/01/2015	16:08:50	16:10:54	0:02:04	2015-00001087	Rockwall 1	Code 3	E3	CAD times do not match radio times
Rockwall	12/12/2015	16:15:22	16:18:08	0:02:46	2015-00001125	Rockwall 2	Code 3	E2	CAD times do not match radio times
Rockwall	12/18/2015	10:59:03	11:01:00	0:01:57	2015-00001146	Rockwall 2	Code 3	LAD2	CAD times do not match radio times
Rockwall	12/29/2015	05:32:12	5:37:08	0:04:56	2015-00001199	Rockwall 4	Code 3	E4	CAD times do not match radio times

ARRIVAL OVERAGES
 CITY CALLS
 DECEMBER 2015

<u>venue</u>	<u>alarm date</u>	<u>enroute time</u>	<u>arrival time</u>	<u>Enroute to Arrival</u>	<u>inc. number</u>	<u>Fire Incident Station</u>	<u>Lights and Sirens</u>	<u>apparatus</u>	<u>Reason for overages</u>
Rockwall	12/23/2015	16:11:56	16:18:28	0:06:32	2015-00001169	Rockwall 2	Code 3	Mar1	Boat Call, Time required to get to location

RESPONSE OVERAGES
 CITY CALLS
 DECEMBER 2015

<u>venue</u>	<u>alarm date</u>	<u>alarm time</u>	<u>arrival time</u>	<u>response</u>	<u>inc. number</u>	<u>Fire Incident Station</u>	<u>Lights and Sirens</u>	<u>apparatus</u>	<u>Reason for overages</u>
Rockwall	12/23/2015	16:10:39	16:18:28	0:07:49	2015-00001169	Rockwall 2	Code 3	Mar1	Boat Call, time required to get to location

COUNTY AND MUTUAL AID
RESPONSE
DECEMBER 2015

COUNTY/MUTUAL	STATIONS 1,2,3, AND 4 TO BOXES WITHOUT STATIONS
ENROUTE	
0- 1 1/2 MINUTES	
CRITERIA MET %	1 of 2 50.00% Criteria Not Met
CRITERIA -ACHIEVE RESPONSE TIME	
60% OF TIME IN BOXES WITH STATIONS	
ARRIVAL	STATIONS 1,2,3 and 4 TO BOXES WITHOUT STATIONS
0 - 10 MINUTES	
CRITERIA MET %	2 of 2 100.00% Criteria Met
CRITERIA -ACHIEVE RESPONSE TIME	
60% OF TIME IN BOXES WITH STATIONS	
RESPONSE	STATIONS 1,2,3 and 4 TO BOXES WITHOUT STATIONS
0-11 1/2 MINUTES	
CRITERIA MET%	2 of 2 100.00% Criteria Met
CRITERIA -ACHIEVE RESPONSE TIME	
60% OF TIME IN BOXES WITH STATIONS	

COUNTY CALL OVERAGES
DECEMBER 2015

<u>venue</u>	<u>alarm date</u>	<u>alarm time</u>	<u>enroute time</u>	<u>alarm to enroute</u>	<u>inc. number</u>	<u>Fire Incident Station</u>	<u>Lights and Sirens</u>	<u>apparatus</u>	REASON FOR OVERAGES
Heath	12/11/2015	14:14:39	14:16:40	0:02:01	2015- 00001122	Rockwall 2	Code 3	BT4	CAD times don't match radio times



Total Dollar Losses

December 2015



City of Rockwall
The Other Town

	Current Month	Last Month	Same Month Last Year	Year To Date	Last Year To Date
Total Property Loss:	\$10,000.00	\$0.00	\$140,768.00	\$1,001,569.24	\$426,908.00
Total Content Loss:	\$5,000.00	\$0.00	\$204,860.80	\$458,402.90	\$313,254.80
Total Property Pre-Incident Value:	\$115,957.00	\$0.00	\$2,584,650.00	\$12,083,592.40	\$3,279,580.00
Total Contents Pre-Incident Value	\$82,000.00	\$0.00	\$6,104,826.00	\$6,150,682.50	\$6,490,050.00
Total Losses:	\$15,000.00	\$0.00	\$345,628.80	\$1,459,972.14	\$15,000.00
Total Value:	\$197,957.00	\$0.00	\$8,689,476.00	\$18,234,274.90	\$9,769,630.00



Inspection Status Summary Report



City of Rockwall
The New Frontier

Print Date/Time: 01/19/2016 16:15
Login ID: rck\lbrewer
Inspection Type: *All

From Date: 12/01/2015
To Date: 12/31/2015
Inspection Status: *All

Rockwall Fire Department
FDID Number: TX504
Inspected By: *All

Status	Inspection Type	Total Number of Inspections
Finalied	Annual	2
	Certificate of Occupancy	8
	Construction Final	2
	Courtesy	5
	Flow Test	1
	Follow Up	1
	Knox Box	2
	Tanks-TEMP	1
	Tanks-UST	2
Total Finalied :		24
Pending	Annual	4
	Certificate of Occupancy	4
	Construction Final	1
	Dry Fire Sprinkler System	1
	Follow Up	4
	Underground Fire Line	2
	Wet Fire Spinkler System	7
Total Pending :		23
Total :		47



Fire Investigation Status Summary



City of Rockwall
The New Horizon

Print Date/Time: 01/19/2016 16:16
Login ID: rck\lbrewer
Status: All

From Date: 12/01/2015
To Date: 12/31/2015
Investigation Type: All

Rockwall Fire Department
FDID Number: TX504

Status	Investigation Type	Total Number of Investigations
Admin Closed/Invest Suspended	No Investigations Exist For This Status	Total Admin Closed/Invest Suspended : 0
Active (Open)	No Investigations Exist For This Status	Total Active (Open) : 0
Admin Closed- no crimel incident	Accidental	Total Admin Closed- no crimel incident : 1
Closed - by arrest/case to DA	No Investigations Exist For This Status	Total Closed - by arrest/case to DA : 0
Pending Final Report	Accidental	Total Pending Final Report : 1
		Total : 2



Fire Permit Listing



City of Rockwall
The New Horizon

Print Date/Time: 01/19/2016 16:17
Login ID: rck\lbrewer
Permit Type: All
Permit Number From/To: All

From Application Date: 12/1/2015
Thru Application Date: 12/31/2015
Permit Status: All

Rockwall Fire Department
FDID Number: TX504
Inspector: All

Permit Number	Application Date	Applicant	Location	Permit Type	Status	Status Date
1749	12/07/2015	Advanced Auto Parts	1415 S GOLIAD ST ROCKWALL, TX 75087	Fire Sprinkler Monitoring System	Approved	01/06/2016
1750	12/08/2015	Honea Central Air	105 N FANNIN ST ROCKWALL, TX 75087	UST Removal	Approved	12/08/2015
1751	12/09/2015	Sunbelt Rentals	,	Temp Aboveground tank	Submitted	12/09/2015
1752	12/09/2015	Sunbelt Rentals	2582 SH 276 , TX	Aboveground Tank	Approved	12/11/2015
1753	12/10/2015	Platinum Storage	1245 SH276 , TX	Fire Sprinkler Monitoring System	Approved	01/13/2016
1754	12/18/2015	Nissan of Rockwall	1700 E I 30 ROCKWALL, TX 75087	Fire Alarm	Approved	01/06/2016
1755	12/21/2015	The Preserve Phase I	729 FAIRFAX LN ROCKWALL, TX 75087	Temp Aboveground tank	Approved	12/30/2015
1756	12/29/2015	Platinum Storage	1245 SH276 , TX	Fire Sprinkler Monitoring System	Submitted	12/29/2015

Total Number of Permits: 8

City of Rockwall
Project Routing Report By Date Sent (then by project)
For the Period 12/1/2015 thru 12/31/2015

Project #	Appl. Date Project Type	Aging	Address Description	Status Owner Name	Plan Review Detail		
					Contact Review Type	Date Sent Date Due	Completed Status
SP2015-024	11/16/2015 SITE PLAN	65	RALPH HALL PKWY	Ariana Hargrove	FIRE	12/04/2015 12/11/2015	12/04/2015 APPROVED
SP2015-018	07/20/2015 SITE PLAN	184	YELLOW JACKET LANE	Ariana Hargrove	FIRE	12/04/2015 12/11/2015	12/04/2015 COMMENTS
MIS2015-01C	12/22/2015 MISCELLANEOUS	29	3275 SPRINGER RD	Ariana Hargrove	FIRE	12/23/2015 12/30/2015	12/23/2015 APPROVED
E2015-027	10/16/2015 ENGINEERING	96	3011 N GOLIAD ST	Ariana Hargrove	Engineering: Fire	12/09/2015 12/23/2015	12/11/2015 COMMENTS
E2015-033	12/17/2015 ENGINEERING	34	RALPH HALL PKWY	Ariana Hargrove	ENG - FIRE	12/17/2015 12/31/2015	12/21/2015 APPROVED
SP2015-025	12/03/2015 SITE PLAN	48	1200 YELLOW JACKET LN	Ariana Hargrove	FIRE	12/03/2015 12/10/2015	12/16/2015 APPROVED
P2015-042	12/03/2015 PLAT	48	EAST FORK DR	Ariana Hargrove	FIRE	12/03/2015 12/10/2015	12/23/2015 APPROVED
P2015-043	12/10/2015 PLAT	41	FM549	Ariana Hargrove	FIRE	12/10/2015 12/17/2015	
P2015-044	12/16/2015 PLAT	35	503 N GOLIAD	Ariana Hargrove	FIRE	12/16/2015 12/23/2015	12/18/2015 APPROVED
Z2015-037	12/18/2015 ZONING	33	1200 YELLOW JACKET LN	Ariana Hargrove	FIRE	12/18/2015 12/25/2015	12/23/2015 APPROVED

City of Rockwall
Project Routing Report By Date Sent (then by project)
For the Period 12/1/2015 thru 12/31/2015

Project #	Appl. Date Project Type	Aging	Address Description	Status Owner Name	Plan Review Detail		
					Contact Review Type	Date Sent Date Due	Completed Status
Z2015-038	12/18/2015 ZONING	33	803 N GOLIAD		Ariana Hargrove	12/18/2015	12/23/2015
					FIRE	12/25/2015	APPROVED
Z2015-039	12/18/2015 ZONING	33	WHITE HILLS DR		Ariana Hargrove	12/18/2015	12/23/2015
					FIRE	12/25/2015	APPROVED
Z2015-036	12/18/2015 ZONING	33			Ariana Hargrove	12/18/2015	12/23/2015
					FIRE	12/25/2015	APPROVED

City of Rockwall
Permit Routing Report By Date Sent (then by permit)
For the Period 12/1/2015 thru 12/31/2015

Permit #	Appl. Date	Aging	Address	Description	Owner Name	Plan Review Detail					
						Contact	Review Type	Status	Date Sent	Date Due	Completed
BLD2015-176	12/01/15	50	1010 RIDGE RD	NEW IRRIGATION SYSTEM	HALL, CLIFFORD	Ariana Hargrove	FIRE		12/01/15	12/11/15	
PLB2015-038	12/01/15	50	2616 RIDGE RD	I-HOP Water Heater Replacement	ROBERT, H FAMILY TRUST AND BMK FIN COR	Ariana Hargrove	FIRE		12/01/15	12/11/15	
MEC2015-011	12/03/15	48	311 E IH 30 E	REPLACING HVAC SYSTEM FOR LAW FIRM (NOT A ROOF TOP)	EASTER, TERESE M	Ariana Hargrove	FIRE		12/03/15	12/13/15	
BLD2015-118	08/11/15	162	1350 Summer Lee Dr	Lowrance Dental - New	TEMUNOVIC, PARTNERSHIP LTD	Ariana Hargrove	FIRE	COMMENTS NEEDED	12/04/15	12/14/15	12/04/15
BLD2015-149	10/08/15	104	2500 SH 66	COLUMBARIUM FOR RESTHAVEN FUNERAL HOMES	REST, HAVEN FUNERAL HOMES INC	Ariana Hargrove	FIRE	APPROVED	12/04/15	12/14/15	12/04/15
BLD2015-177	12/04/15	47	1975 ALPHA	Emerus -Saw cutting curb & sidewalk & replacing	ELLIS, RICHARD M	Ariana Hargrove	FIRE		12/04/15	12/14/15	
BLD2015-177	12/04/15	47	1201 RIDGE 101	White Box Finish out- partial demo & remodel of existing sp.	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE	COMMENTS NEEDED	12/04/15	12/14/15	12/11/15
CO2015-0124	12/04/15	47	1861 SH 276	Pear Pediatrics	SIMMONS, ANGKANA	Ariana Hargrove	FIRE CO	APPROVED	12/04/15	12/07/15	12/07/15
MEC2015-011	12/04/15	47	1655-1695 Science Place	Replacing 19 Roof Top Units	ROCKWALL, ECONOMIC DEVELOPMENT	Ariana Hargrove	FIRE		12/04/15	12/14/15	
TCO2015-000	12/03/15	48	2650 Champions Dr	Shores HOA Clubhouse	SHORES, COUNTRY CLUB LLC	Ariana Hargrove	FIRE CO	APPROVED	12/04/15		12/04/15
BLD2015-178	12/07/15	44	206 N FANNIN ST	RE-Roof composite Shingles	Lynne Lueb	Ariana Hargrove	FIRE		12/07/15	12/17/15	
CO2015-0125	12/07/15	44	803 N GOLIAD	Our House	MILDER, SCOTT & LESLIE	Ariana Hargrove	FIRE CO	APPROVED	12/07/15	12/10/15	12/22/15
BLD2015-118	08/11/15	162	1350 Summer Lee Dr	Lowrance Dental - New	TEMUNOVIC, PARTNERSHIP LTD	Ariana Hargrove	FIRE	APPROVED	12/08/15	12/18/15	12/08/15
BLD2015-179	12/08/15	43	301 N FANNIN ST	The Majors Firm - Addition	Nathan Majors	Ariana Hargrove	FIRE	COMMENTS NEEDED	12/08/15	12/18/15	12/08/15
BLD2015-180	12/08/15	43	1480 JUSTIN RD	SPR Packaging-demo/expand interior room install printer	FLEXLAND, LP	Ariana Hargrove	FIRE	COMMENTS NEEDED	12/08/15	12/18/15	12/16/15
ELE2015-007	12/08/15	43	386 TL Townsend	AT&T add 3 radios behind existing antennas	CITY, OF ROCKWALL	Ariana Hargrove	FIRE		12/08/15	12/18/15	
ELE2015-007	12/08/15	43	2922 S GOLIAD ST.	MISC ELECTRICAL REPAIRS FOR FIRE DEPT REPORT	THE RISE	Ariana Hargrove	FIRE		12/08/15	12/18/15	

Permit Routing Report By Date Sent (then by permit)
For the Period 12/1/2015 thru 12/31/2015

Permit #	Appl. Date Permit Type	Aging	Address Description	Owner Name	Plan Review Detail					
					Contact	Review Type	Status	Date Sent	Date Due	Completed
ELE2015-007	12/08/15 COMM	43	4368 ST HWY 276 ELECTRICAL REPAIR TO EXISTING BILLBOARD SIGN	CLEAR CHANNEL OUTDOOR	Ariana Hargrove	FIRE 972-772-6431		12/08/15	12/18/15	
BLD2015-181	12/09/15 COMM	42	Ridge Rd. 6' Tall wrought Iron fence in two places	Chandlers Landing HOA	Ariana Hargrove	FIRE 972-772-6431		12/09/15	12/19/15	
CO2015-0126	12/10/15 CO	41	102 Kenway Saint Matthias - Office Space	NBN, COMMERCIAL GROUP LLC	Ariana Hargrove	FIRE CO	APPROVED	12/10/15		12/10/15
BLD2015-183	12/11/15 COMM	40	3142 HORIZON RD #100 Spine Team-REMODEL OF EXISTING FACILITY - SPINE TEAM	ROCKWALL, REGIONAL HOSPITAL LLP	Ariana Hargrove	FIRE 972-772-6431	APPROVED	12/11/15	12/21/15	12/16/15
BLD2015-184	12/11/15 COMM	40	1210 N GOLIAD YMCA - REPLACING CHAIN LINK WITH 8' WROUGHT IRON FENCE	YMCA, OF DALLAS	Ariana Hargrove	FIRE 972-772-6431	APPROVED	12/11/15	12/21/15	12/17/15
CO2015-0127	12/14/15 CO	37	577 IH 30 AP'S THREAD SALON	BENT, TREE REALTY CO	Ariana Hargrove	FIRE CO	APPROVED	12/14/15	12/17/15	12/14/15
CO2015-0128	12/14/15 CO	37	105 ST MARY'S PLACE 300 DFW MEDICAL MASSAGE / ACTION FITNESS	BOND, DAVID L AND LOUIS ANNE BOND A	Ariana Hargrove	FIRE CO	APPROVED	12/14/15	12/17/15	12/16/15
CO2015-0129	12/14/15 CO	37	204 N WEST ST CGC GROUP, INC.	DENISE EDWARDS	Ariana Hargrove	FIRE CO	APPROVED	12/14/15	12/17/15	12/14/15
BLD2015-185	12/15/15 COMM	36	2251 RIDGE RD NEW OFFICE BUILDING	JORDAN, MARK S &	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	12/15/15	12/25/15	12/21/15
BLD2015-185	12/15/15 COMM	36	2601 Lakefront Trail OFFICE TRAILER FOR CONSTRUCTION SITE	ROCKWALL, RENTAL PROPERTIES LP	Ariana Hargrove	FIRE 972-772-6431		12/15/15	12/25/15	
BLD2015-186	12/15/15 COMM	36	206 N FANNIN ST CAFE 29 RESTAURANT - RENOVATION	LYKE 29 LLC	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	12/15/15	12/25/15	12/16/15
PLB2015-041	12/15/15 COMM	36	1401 E I30 REPLACING OLD CAST IRON SEWER UNDER BLDG.	MCCALLUM, V LTD	Ariana Hargrove	FIRE 972-772-6431		12/15/15	12/25/15	
2015-0003	12/16/15 COMM	35	385 S GOLIAD 12' wood	CITY, OF ROCKWALL	Ariana Hargrove	FIRE 972-772-6431		12/16/15	12/26/15	
BLD2015-168	11/12/15 COMM	69	760 Ralph Hall Pkwy W 120 Standard Service	FLEMING, INVESTMENTS INC	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	12/16/15	12/26/15	12/16/15
BLD2015-187	12/16/15 COMM	35	731 FAIRFAX LN 6' CEDAR FENCE WITH STEEL POSTS	CHESMAR HOMES DFW LTD	Ariana Hargrove	FIRE 972-772-6431		12/16/15	12/26/15	
BLD2015-187	12/16/15 SINGLE FAMILY	35	424 GEARY DR RE-ROOFING (SHINGLES ONLY)	MORA, SILVIA	Ariana Hargrove	FIRE 972-772-6431		12/16/15	12/26/15	
BLD2015-180	12/08/15 COMM	43	1480 JUSTIN RD SPR Packaging-demo/expand interior room install printer	FLEXLAND, LP	Ariana Hargrove	FIRE 972-772-6431	APPROVED	12/18/15	12/28/15	12/18/15

**Permit Routing Report By Date Sent (then by permit)
For the Period 12/1/2015 thru 12/31/2015**

Permit #	Appl. Date Permit Type	Aging	Address Description	Owner Name	Plan Review Detail					
					Contact	Review Type	Status	Date Sent	Date Due	Completed
CO2015-0130	12/18/15 CO	33	1200 YELLOW JACKET LN BLDG C First United Methodist Church - New Sanctuary Bld C	FIRST, UNITED METHODIST CHURCH	Ariana Hargrove	FIRE 972-772-6431	APPROVED	12/18/15	12/28/15	12/18/15
PLB2015-041	12/18/15 COMM	33	408 S GOLIAD WATER HEATER REPLACEMENT FOR ROTARY CLUB	ROCKWALL, ROTARY CLUB	Ariana Hargrove	FIRE 972-772-6431		12/18/15	12/28/15	
BLD2015-187	12/17/15 COMM	34	107 E KAUFMAN BOOK CLUB CAFE REMODEL	ARISTA KAUFMAN LLC	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	12/21/15	12/31/15	12/28/15
CO2015-0131	12/21/15 CO	30	811 YELLOW JACKET LN 113 SEYCO JOIST INC.	LANDLOW, LLC	Ariana Hargrove	FIRE CO	APPROVED	12/21/15	12/24/15	12/21/15
CO2015-0132	12/22/15 CO	29	955 W Ralph Hall Pkwy 101 Kelly O'neill Insurance Agency	MILLER, ROLAND MORRIS III	Ariana Hargrove	FIRE CO	APPROVED	12/22/15	12/25/15	12/23/15
BLD2015-177	12/04/15 COMM	47	1201 RIDGE 101 White Box Finish out- partial demo & remodel of existing sp.	BENBROOKE, RIDGE PARTNERS LP	Ariana Hargrove	FIRE 972-772-6431	APPROVED	12/23/15	01/02/16	12/23/15
BLD2015-053	04/24/15 COMM	271	1700 IH 30 Fenton Nissan of Rockwall - New Bldg	NESBO, LIMITED PARNERSHIP	Ariana Hargrove	FIRE 972-772-6431	APPROVED	12/28/15	01/07/16	12/28/15
ELE2015-008	12/28/15 COMM	23	505 E BOYDSTUN AVE Meter Base Changeout	MYRELI, LLC A TEXAS LIMITED LIABILITY	Ariana Hargrove	FIRE 972-772-6431		12/28/15	01/07/16	
PLB2015-042	12/28/15 COMM	23	1040 IH 30 E INSTALL WATER HEATER AT VALUE PLAC HOTEL	VALUE HOTEL	Ariana Hargrove	FIRE 972-772-6431		12/28/15	01/07/16	
BLD2015-192	12/29/15 COMM	22	109 N GOLIAD Renovation - office burnout	Kerry Smith	Ariana Hargrove	FIRE 972-772-6431	COMMENTS NEEDED	12/29/15	01/08/16	12/29/15
BLD2015-192	12/31/15 COMM	20	1950 N Goliad St Kroger - Construction Trailer 12' x 60'	MAKKO, GOLIAD I LP	Ariana Hargrove	FIRE 972-772-6431		12/31/15	01/10/16	

THIS PAGE INTENTIONALLY LEFT BLANK

City of Rockwall
GIS Department Report
December 2015

GIS Project Request:

Month	2007	2008	2009	2010	2011	2012	2013	2014	2015	% Change from 2014	2015 Trend
January	5	14	19	24	31	21	26	28	38	35.71%	↑
February	13	16	26	28	28	25	26	27	33	22.22%	↑
March	4	6	32	23	36	22	23	28	30	7.14%	↑
April	9	25	17	22	29	37	23	30	35	16.67%	↑
May	16	25	18	30	32	33	38	24	31	29.17%	↑
June	11	9	27	22	38	35	28	15	34	126.67%	↑
July	15	24	15	32	23	27	21	31	41	32.26%	↑
August	15	7	23	24	38	35	36	34	27	-20.59%	↓
September	9	7	28	31	37	27	20	39	50	28.21%	↑
October	10	33	32	39	40	39	27	44	38	-13.64%	↓
November	35	6	15	27	22	13	29	34	46	35.29%	↑
December	10	13	13	28	22	17	28	19	42	121.05%	↑
Total:	152	185	265	330	376	331	325	353	445	26.062 %↑	

Key Projects:

Year to Date Project Request by Department:

- | | | |
|---|-----------------------------------|----|
| (1) FAA Online GIS Access. Set up City for FAA Airport GIS System online. This is a new tool for maintaining 'City to FAA' geographic information. | Admin / HR / Internal Ops | 2 |
| | Building Inspections | 0 |
| | Citizen Request | 2 |
| | City Council | 0 |
| | City Manager's Office | 2 |
| | Neighborhood Improvement Services | 0 |
| | Engineering / Public Works | 5 |
| | Finance / Utilities | 1 |
| | Fire Department | 1 |
| | GIS (Citywide Projects) | 5 |
| | IT | 0 |
| | Main Street Program | 1 |
| | Outside Agencies | 1 |
| | Parks and Recreation | 8 |
| | Planning | 11 |
| | Police Department | 2 |
| | REDC | 1 |
| | Total | 42 |
| | | |
| (6) NCTCOG Next Generation 911. Updating NCTCOG NG911 data and repairing any city or state MSAG errors. | | |
| (7) Parks Department. Update various parks maps and mowing documents with new zones, walking distances, and calculate acreages. New maps for online applications. Also provided softball registration software map, and irrigation map book updates. | | |
| (8) Planning Department. Assisted with various planned development maps, comprehensive map revisions, and various land use studies. Also created non-residential improvement value map. | | |
| (9) REDC Phase 4 Prospect. Created various project maps for potential development. | | |
| (10) Event Maps – Created various holiday event and parade planning maps. | | |

Rockwall Police Department
Harbor District Call For Service
December 2015

<u>Incident Number</u>	<u>Date</u>	<u>Time</u>	<u>Common Name</u>	<u>Incident Type</u>	<u>Incident CFS Disposition</u>
2015-00040366	12/04/2015	23:07:52	Cinemark Movies 12	Investigation	No Report
2015-00043113	12/26/2015	00:27:53	Cinemark Movies 12	BMV	No Report
2015-00040225	12/03/2015	21:45:22	City Salon and Spa, Zeus Botique	Alarm-BUSN	False Alarm
2015-00042246	12/18/2015	22:27:56	City Salon and Spa, Zeus Botique	Alarm-BUSN	False Alarm
2015-00043380	12/29/2015	07:24:50	City Salon and Spa, Zeus Botique	Alarm-BUSN	False Alarm
2015-00043607	12/30/2015	22:50:02	City Salon and Spa, Zeus Botique	Alarm-BUSN	False Alarm
2015-00043362	12/29/2015	00:07:09	En Fuego Tobacco Shop	Investigation	Report
2015-00040472	12/05/2015	21:12:12	Hilton	Criminal Trespass	No Report
2015-00040951	12/09/2015	13:00:35	Hilton	BMV	No Report
2015-00041702	12/14/2015	20:31:41	Hilton	Investigation	No Report
2015-00042518	12/20/2015	21:43:52	Hilton	Investigation	No Report
2015-00042697	12/21/2015	23:21:20	Hilton	Intoxicated	No Report
2015-00040946	12/09/2015	12:39:45	Luna de Noche	Alarm-BUSN	False Alarm
2015-00040345	12/04/2015	19:38:41	The Harbor	BMV	Report
2015-00040667	12/07/2015	10:55:32	The Harbor	Criminal Mischief	Report
2015-00041365	12/12/2015	15:19:12	The Harbor	Investigation	No Report
2015-00041453	12/13/2015	00:10:42	The Harbor	Disturbance	Arrest
2015-00041771	12/15/2015	11:51:20	The Harbor	Disturbance	Report
2015-00042142	12/18/2015	01:52:18	The Harbor	Assault	No Report
2015-00042778	12/22/2015	17:36:03	The Harbor	Motor Vehicle Theft	No Report
2015-00040375	12/05/2015	00:03:27	Three Sheets	Disturbance	No Report
2015-00041254	12/11/2015	21:40:27	Three Sheets	Disturbance	No Report
			Common Name		
			Cinemark Movies 12	2	
			City Salon and Spa, Zeus Botique	4	
			En Fuego Tobacco Shop	1	
			Hilton	5	
			Luna de Noche	1	
			The Harbor	7	
			Three Sheets	2	
			Total	22	

THIS PAGE INTENTIONALLY LEFT BLANK

CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
FACILITY MAINTENANCE REQUESTS FOR SERVICE
DECEMBER 2015

DEPARTMENT	# FMR REQUESTS	# FMR REQUESTS RESPONDED TO W / IN 24 HOURS	# FMR REQUESTS NOT RESPONDED TO W / IN 24 HOURS	% ON TIME
ADMINISTRATION	6	6	0	100%
ADMINISTRATIVE SERVICES	4	4	0	100%
AIRPORT	1	1	0	100%
ANIMAL SERVICES	3	3	0	100%
BUILDING INSPECTIONS / NEIGHBORHOOD IMPROVEMENT	0	0	0	0%
ENGINEERING	4	4	0	100%
FINANCE	1	1	0	100%
FIRE DEPARTMENT	34	34	0	100%
INTERNAL OPERATIONS	138	138	0	100%
MUNICIPAL COURT	7	7	0	100%
PARKS & RECREATION	27	27	0	100%
PLANNING & ZONING	2	2	0	100%
POLICE DEPARTMENT	31	31	0	100%
PUBLIC WORKS	7	7	0	100%
UTILITY BILLING	0	0	0	0%
TOTAL	265	265	0	100%

CITY OF ROCKWALL
INTERNAL OPERATIONS DEPARTMENT
RADIO SYSTEM
REQUESTS FOR SERVICE
DECEMBER 2015

DEPARTMENT	# OF REQUESTS	# OF REQUESTS RESPONDED TO W / IN 24 HOURS	# OF REQUESTS NOT RESPONDED TO W / IN 24 HOURS	% ON TIME
ANIMAL SERVICES	1	1	0	100%
CODE ENFORCEMENT	0	0	0	100%
FIRE DEPARTMENT	0	0	0	100%
EMS	0	0	0	100%
INTERNAL OPERATIONS	0	0	0	100%
PARKS & RECREATION	0	0	0	100%
POLICE DEPARTMENT	5	5	0	100%
PUBLIC WORKS	0	0	0	100%
UTILITY BILLING	0	0	0	100%
HEATH DEPT. PUBLIC SAFETY	0	0	0	100%
HOSPITAL CONTROL STATIONS	0	0	0	100%
SYSTEM ISSUES	1	1	0	100%
TOTAL	7	7	0	100%

Airport Operations Report

For Month of December 2015

FUEL SALES

	GALLONS SOLD	GROSS SALES
Jet - A Sales	1,157.00	\$1,326.00
Av-Gas Sales	1,667.60	\$7,099.42
TOTAL FUEL SALES	2,824.60	\$8,425.42

HANGAR RENTAL REVENUE

Open T Hangar Rental Revenue	\$2,805.00
Transient Covered Hgr - Nightly	\$0.00
Enclosed Hangar Rental Revenue	\$120.00
Nightly Tiedown Fees	\$49.00
North Community Hangar Rental Revenue	\$975.00
TOTAL HANGAR RENTALS	\$3,949.00

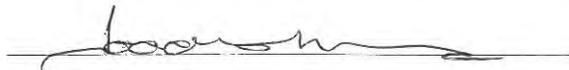
HANGAR OCCUPANCY RATES

	TOTAL HANGARS	QTY RENTABLE	QUANTITY LEASED	OCCUPANCY RATE
Open T Hangars	45	40	29	72.50%
Closed Hangar Rentals	2	2	2	100%
Open Hangar Cap Rentals	2	1	1	100%
TOTAL HANGAR OCCUPANCY	49	43	32	74%

Of the forty five hangars only forty can actually be rented. Most of these forty should be considered substandard and not easily marketed due to pad slope and width, electrical, and drainage issues.

CITY FEES DUE	FEE RATE	FRANCHISE FEE DUE	FUEL FLOWAGE FEES DUE	TOTAL FEES DUE
Fuel Sales (Gallons Sold)	\$0.10	\$0.00	\$282.46	\$282.46
City Owned Hangar Rentals	5.00%	\$197.45	\$0.00	\$0.00
TOTAL FEES DUE		\$197.45	\$282.46	\$479.91

I certify the information and amounts submitted on this form are true and correct.



Todd Parks
Managing Director - Texas Air Center, LLC

THIS PAGE INTENTIONALLY LEFT BLANK

Rockwall Police Department

Monthly Activity Report

December-2015

ACTIVITY	CURRENT MONTH DECEMBER	PREVIOUS MONTH NOVEMBER	YTD 2015	YTD 2014	YTD % CHANGE
----------	---------------------------	----------------------------	-------------	-------------	-----------------

PART 1 OFFENSES

Homicide / Manslaughter	1	0	1	1	0.00%
Sexual Assault	0	0	11	7	57.14%
Robbery	3	1	12	5	140.00%
Aggravated Assault	1	1	33	24	37.50%
Burglary	6	8	65	83	-21.69%
Larceny	54	60	639	644	-0.78%
Motor Vehicle Theft	3	4	37	61	-39.34%
TOTAL PART I	68	74	798	825	-3.27%
TOTAL PART II	106	111	1796	1673	7.35%
TOTAL OFFENSES	174	185	2594	2498	3.84%

ADDITIONAL STATISTICS

FAMILY VIOLENCE	11	10	188	206	-8.74%
D.W.I.	23	18	207	211	-1.90%
TEEN CURFEW	0	2	7	13	-46.15%

ARRESTS

FELONY	17	20	216	214	0.93%
MISDEMEANOR	66	61	808	929	-13.02%
WARRANT ARREST	23	23	429	376	14.10%
JUVENILE	0	0	26	72	-63.89%
TOTAL ARRESTS	106	104	1479	1591	-7.04%

DISPATCH

CALLS FOR SERVICE	1481	1449	18152	17524	3.58%
-------------------	------	------	-------	-------	-------

ACCIDENTS

INJURY	22	14	137	141	-2.84%
(INJURIES)	28	14	191	194	-1.55%
NON-INJURY	71	66	677	543	24.68%
FATALITY	1	0	2	1	100.00%
(FATALITIES)	1	0	2	1	100.00%
TOTAL	94	80	816	685	19.12%

FALSE ALARMS

RESIDENT ALARMS	58	64	772	709	8.89%
BUSINESS ALARMS	142	127	1488	1533	-2.94%
TOTAL FALSE ALARMS	200	191	2260	2242	0.80%
Estimated Lost Hours	132	126.06	1491.6	1479.72	0.80%
Estimated Cost	\$3,140.00	\$2,998.70	\$35,482.00	\$35,199.40	0.80%

ROCKWALL NARCOTICS UNIT

Number of Cases	3
Arrests	7
Arrest Warrants	0
Search Warrants	0
Seized	
Marijuana	16.35 ounces
Meth	113.4 grams
Synth. Marijuana	194 ounces
Weapons	2
Vehicles	2

**Rockwall Police Department
Dispatch and Response Times**

December-2015

Police Department

Average Response Time		
Priority 1		Number of Calls 118
Call to Dispatch	0:00:55	
Call to Arrival	0:05:23	
% over 7 minutes	25%	

Average Response Time		
Priority 2		Number of Calls 299
Call to Dispatch	0:01:13	
Call to Arrival	0:07:46	
% over 7 minutes	44%	

Average Response Time		
Priority 3		Number of Calls 14
Call to Dispatch	0:02:41	
Call to Arrival	0:09:14	
% over 7 minutes	50%	

*Priority 4	0:08:24	Number of Calls 969
--------------------	---------	----------------------------

**Priority 5	0:05:55	Number of Calls 4
---------------------	---------	--------------------------

*Priority 4 call averages are not given because they are calls that do not require an immediate response by police.

**Priority 5 calls are incidents that officers initiate themselves therefore response times are not calculated.

Average dispatch response time goals are as follows:

Priority 1: 30 Seconds

Priority 2: 45 Seconds

Priority 3: 1 Minute

Fire Department

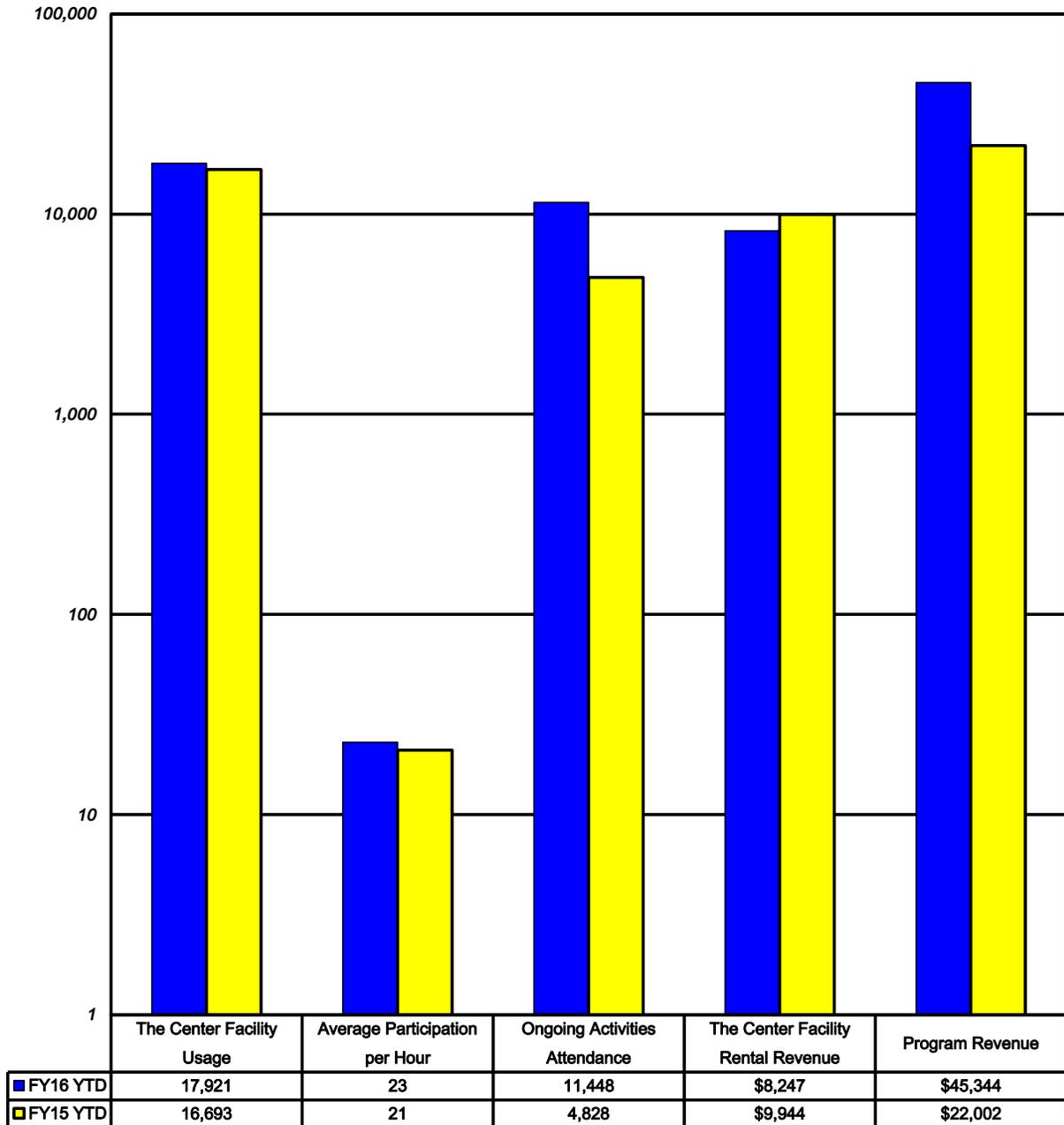
Average Response Time		
Call to Dispatch	0:00:17	Number of Calls 77
Call to Arrival	0:06:53	

Overages

Incident No.	Date	Time Rec'd	Call Type	Time Disp	Resp Time	Reason

THIS PAGE INTENTIONALLY LEFT BLANK

City of Rockwall Parks and Recreation Department FY16 December Report



The Center Facility Usage - Total number of visitors and participants that come thru The Center - includes Ongoing Activities.

Average Participation per Hour - The Center Facility Usage divided by the number of hours the facility is open.

Ongoing Activities Attendance - Non fee based activities conducted on a routine basis (Bingo, Exercise with Anita, etc).

THIS PAGE INTENTIONALLY LEFT BLANK

Rockwall Animal Adoption Center Monthly Report
CCHS at Rockwall
December 2015

DISPOSITION REPORT

	December
Intakes	93
1045	5
Adopted	69
Returned to Owner	29
Rescued	6
Euthanized	5
Live Outcome %	91%
Number of Animals in Foster	2

FINANCIAL REPORT

Income	December
City of Rockwall	\$0
Adoption Fee Income	\$5,425
Impound Fee Income	\$720
Owner Surrender	\$695
General Donations	\$4,453
Medical	\$215
Quarantine Fee	\$290
Other Income	\$5
Total Income	\$11,803

Expenses	December
Administrative Expenses (Payroll, etc)	\$52,984
Shelter Expenses (Microchips, Drugs, etc)	\$3,278
Veterinary Expenses	\$3,518
Professional Services	\$5,180
Total Expenses	\$66,019
Balance	-\$54,314

THIS PAGE INTENTIONALLY LEFT BLANK

**FY2016 City of Rockwall In kind values /Meals 1stQuarter
Meals on Wheels Senior Services**

Oct-15		22 Days served		Nov-15		20Days served		Dec-15		22Days served	
ROUTES	MILES	\$	HOURS	ROUTES	MILES	\$	HOURS	ROUTES	MILES	\$	HOURS
A	100	\$172.48		A	100	\$56.00		A	100	\$172.48	
B	220	\$123.20		B	200	\$112.00		B	220	\$123.20	
C	748	\$418.88		C	680	\$380.80		C	748	\$418.88	
E	682	\$381.92		E	620	\$347.20		E	682	\$381.92	
F & K	440	\$246.40		F & K	400	\$224.00		F & K	440	\$246.40	
H	276	\$154.56		H	250	\$140.00		H	276	\$154.56	
I&J	1320	\$739.20		I&J	1200	\$672.00		I&J	1320	\$739.20	
RM & R	332	\$185.92		RM & R	301	\$168.56		RM & R	332	\$185.92	
	4326	\$2,422.56			3751	\$2,100.56			4326	\$2,422.56	
			HOURS				HOURS				HOURS
A	22	\$323.40		A	20	\$294.00		A	22	\$323.40	
B	32	\$470.40		B	30	\$441.00		B	32	\$470.40	
C	22	\$323.40		C	20	\$294.00		C	22	\$323.40	
E	22	\$323.40		E	20	\$294.00		E	22	\$323.40	
F & K	40	\$588.00		F & K	42	\$500.22		F & K	40	\$588.00	
H	22	\$323.40		H	20	\$294.00		H	22	\$323.40	
I&J	32	\$470.40		I&J	25	\$367.50		I&J	32	\$470.40	
RM & R	32	\$470.40		RM & R	30	\$441.00		RM & R	32	\$470.40	
	224	\$3,292.80			207	\$2,925.72			224	\$3,292.80	
\$ Value in kind volunteer services			\$5,715.36	\$ Value in kind volunteer services			\$5,026.28	\$ Value in kind volunteer services			\$ 5,715.36

Christmas Holiday Meal Sponsored by Dr. Sandknop prepared by Zanata's \$750 Restaurant Reduced price and miles & hrs. \$1,875 Total December inkind value \$7,590.36	Thanksgiving Holiday Meal Sponsored by Kiwanis Prepared by Lubys \$850.00 Miles & Hrs. Inkind \$225.00 Total November inkind value \$6,101.28
---	--

ROCKWALL PROGRAM MEALS 1,928 Home Delivered and Disabled 480 Congregate Centers Total purchased Meals 2,408	ROCKWALL PROGRAM MEALS 1,877 Home Delivered and Disabled 435 Congregate Centers 165 Holiday Meal Total purchased Meals 2,477	ROCKWALL PROGRAM MEALS 2,085 Home Delivered and Disabled 411 Congregate Centers 165 Holiday Meal Total Purchased Meals 2,661
---	---	---

THANK YOU FOR YOUR SUPPORT
 Sincerely, Margie VerHagen E.D.

Total meals Program Purchased 7,546
 In-kind VALUE Donated 1st Quarter 2016 \$5,715.36 Oct. Total \$ 19,407.00
 \$6,101.28 Nov. \$7,590.36 Dec.

THIS PAGE INTENTIONALLY LEFT BLANK